

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139 2022 FEB 10 PM 4: 35

617-349-6100

OFFICE OF THE CITY CLERK CAMSPIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 161669

Date: 2/10/22

General Information

The undersigned	d hereby petitions the Board	of Zoning App	eal for the follow	wing:
Special Permit:	XVarian	ice:		Appeal:
PETITIONER: 1	Aaron Paul C/O Pomeroy & C	<u>;o.</u>		
PETITIONER'S	ADDRESS: 18 Spice Street,	Boston, MA (02129	
LOCATION OF	PROPERTY: <u>11 Ellsworth A</u>	<u>ve , Unit 1 , (</u>	<u>Cambridge, MA</u>	ı
TYPE OF OCCU	JPANCY: Residential	;	ZONING DISTR	ICT: Residence C-1 Zone
REASON FOR I	PETITION:			
/Adding skyligh	ts/			
DESCRIPTION	N OF PETITIONER'S PRO	POSAL:		
We're proposing	to install 3 skylights on the 3	ird floor but th	ey fall inside the	e set-back limitations for this property.
SECTIONS OF	ZONING ORDINANCE CITE	D:		
Article: 8.000	Section: 8.22.2(d) (Non-C	onforming Str	ucture).	
	Original Signature	ə(s):	life	(Petitioner (s) / Owner)
			Andrew	(Print Name)
	Address:	71	Ellsworth	Le.
	Tel. No.		9 222 9216	-
	E-Mail A	auress: ath	ompson@pome	eroyco.com

BZA Application Form

DIMENSIONAL INFORMATION

Applicant:

Aaron Paul

Present Use/Occupancy: Residential

Location:

11 Ellsworth Ave, Unit 1, Cambridge, MA

Zone: Residence C-1 Zone

Phone:

339 222 9216

Requested Use/Occupancy: Residential

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		3,194	3,194	3,194	(max.)
LOT AREA:		5,760	5,760	5,760	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		.55	.55	.55?	
LOT AREA OF EACH DWELLING UNIT		N/A	N/A	N/A	
SIZE OF LOT:	WIDTH	60	60	60	
	DEPTH	96	96	96	
SETBACKS IN FEET:	FRONT	7.5'	7.5'	7.5'	
	REAR	7.5'	7.5'	7.5'	
	LEFT SIDE	12'	12'	12'	
	RIGHT SIDE	12	7.25'	12	
SIZE OF BUILDING:	HEIGHT	32.25'	32.25'	32.35'	
	WIDTH	59'	59'	59'	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		N/A	N/A	N/A	
NO. OF DWELLING UNITS:		2	2	N/A	
NO. OF PARKING SPACES:		2	2	N/A	
NO. OF LOADING AREAS:		0	0	0	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- 3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM **DIMENSION OF 15'.**

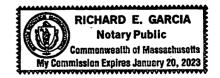
BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Hannah Paul
(OWNER)
Address: 11 Ellsworth Ave, Unit #1, Cambridge, MA 02130
State that I/We own the property located at 11 Ellsworth Ave #1,
which is the subject of this zoning application.
The record title of this property is in the name of Agron B. Paw
*Pursuant to a deed of duly recorded in the date 4/28/2017, Middlesex South
County Registry of Deeds at Book 69205 , Page 466 ; or
Middlesex Registry District of Land Court, Certificate No
Book Page
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT* *Written evidence of Agent's standing to represent petitioner may be requested.
Commonwealth of Massachusetts, County of
The above-name <u> </u>
Mithond Esting 4 Notary
My commission expires $\frac{1/20/2023}{}$ (Notary Seal).

• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

(ATTACHMENT B - PAGE 3)

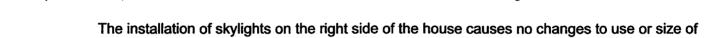


BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for <u>11 Ellsworth Ave</u>, <u>Unit 1</u>, <u>Cambridge</u>, <u>MA</u> (location) would not be a detriment to the public interest because:



Requirements of the Ordinance can or will be met for the following reasons:

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed skylights have no effect on eggress or traffic.

The continued operation of or the development of adjacent uses as permitted in the Zoning

Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

N/A

building.

A)

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

N/A

For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Many other homes in the neighborhood have non-conforming skylights and windows.

*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.



March 7, 2022

Cambridge Board of Zoning Appeal

Re: Case No. BZA-161669-2022, 11 Ellsworth Avenue #1

Dear Members of the Board,

As a homeowner, architect, and direct northern abutter to the 11 Ellsworth Avenue #1 property, I have known the applicants for over five years, and they are exemplary members of the community. I met with them to discuss their proposed plans for the property and have reviewed the plans which are before the Cambridge Board of Zoning Appeal for review. Any questions or concerns have been addressed to my satisfaction.

I do not believe that this application would provide a detrimental impact to my property, the neighborhood and surrounding community. Nor would the application substantially derogate from the intent or purpose of the ordinance. Please consider our wholehearted support for the application as submitted by the applicant.

Sincerely,

Kyle Sheffield, AIA, LEED AP

Principal

Cambridge Historical Commission, Alternate Member

Home Address: 13 Ellsworth Avenue Cambridge, MA 02139

BZA Application Form

DIMENSIONAL INFORMATION

Applicant:

Aaron Paul

Present Use/Occupancy: Residential

Location:

11 Ellsworth Ave , Unit 1 , Cambridge, MA

Zone: Residence C-1 Zone

Phone:

339 222 9216

Requested Use/Occupancy: Residential

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		3,194	3,194	3,194	(max.)
LOT AREA:		5,760	5,760	5,760	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		.55	.55	.55?	
LOT AREA OF EACH DWELLING UNIT		N/A	N/A	N/A	
SIZE OF LOT:	WIDTH	60	60	60	
	DEPTH	96	96	96	
SETBACKS IN FEET:	FRONT	7.5' 17 '	7.5	10' 7.5'	
	REAR	7.5' 22'3"	7.5	20' 7.5'	
	LEFT SIDE	12' 16'8"	121	12'	
	RIGHT SIDE	12 5'	7.25' 7.5'	12	
SIZE OF BUILDING:	HEIGHT	32.25'	32.25'	32.35'	
	WIDTH	59'	59'	59'	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		N/A	N/A	N/A	
NO. OF DWELLING UNITS:		2	2	N/A	
NO. OF PARKING SPACES:		2	2	N/A	
NO. OF LOADING AREAS:		0	0	0	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
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Janis 3/18/22

BZA Application Form

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Granting the Special Permit requested for <u>11 Ellsworth Ave</u>, <u>Unit 1</u>, <u>Cambridge</u>, <u>MA</u> (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The installation of skylights on the right side of the house causes no changes to use or size of building.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed skylights have no effect on eggress or traffic.

The continued operation of or the development of adjacent uses as permitted in the Zoning

Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

N/A The location of the skylight won't affect any existing conditions.

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

N/A

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Many other homes in the neighborhood have non-conforming skylights and windows.

*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.

DESIGN PER INTERNATIONAL RESIDENTIAL CODE 2012, AND AS AMENDED BY 780 CMR 51.00 MASSACHUSETTS RESIDENTIAL CODE 8TH EDITION

GENERAL NOTES:

- 1. ALL THE WORK IS SHOWN, DESCRIBED OR SPECIFIED IN THE DRAWINGS AND ON FULL SPECIFICATION
- 2. FIELD DIRECTIONS FROM OWNERS AGENTS OTHER THAN PQA TO THE GENERAL CONTRACTOR SHALL BE COPIED TO THE ARCHITECT. ANY DEVIATION FROM THESE PLANS INVOLVING ISSUES PERTAINING TO LIFE SAFETY. STATE BUILDING CODE OR CAMBRIDGE ZONING REGULATIONS SHALL REQUIRE THE APPROVAL OF THE ARCHITECT PRIOR TO IMPLEMENTATION.
- 3. PRIOR TO CONSTRUCTION COMMENCING A PRE-CONSTRUCTION MEETING SHALL BE CALLED BY THE CONTRACTOR AND HELD WITH THE OWNER. THE CONTRACTOR AND THE ARCHITECT.

DIV.1 — GENERAL REQUIREMENTS:

- 1. THE GENERAL CONTRACTOR SHALL BE LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS.
- 2. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN A COMPANY OR COMPANIES LICENSED TO DO BUSINESS IN THE COMMONWEALTH OF MASSACHUSETTS.

 LIABILITY INSURANCE SHALL INCLUDE ALL MAJOR DIVISIONS OF COVERAGE AND BE ON A COMPREHENSIVE BASIS INCLUDING.
 - A. PREMISES. OPERATIONS
 - B. INDEPENDENT CONTRACTOR'S PROTECTIVE.
- C. PRODUCTS AND COMPLETED OPERATIONS.
- D. CONTRACTUAL.
- E. OWNED, NOT OWNED, AND HIRED MOTOR VEHICLES.
- F. BROAD FORM COVERAGE FOR PROPERTY DAMAGE.
- G. WORKMAN'S COMPENSATION.
- 3. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE INTERNATIONAL, RESIDENTIAL CODE. 780 CMR 51.00 MASSACHUSETTS RESIDENTIAL CODE 8TH EDITION, AS AMENDED, AND ALL ARE IN INDICATED IN THESE DRAWINGS.
- 4. PROVIDE SUPERVISION AND EQUIPMENT. TOOL AND APPLIANCE INSPECTION TO INSURE A SAFE WORKING ENVIRONMENT IN COMPLIANCE WITH O.S.H.A. RECULATIONS
- ENVIRONMENT IN COMPLIANCE WITH O.S.H.A REGULATIONS.
- 5. DO NOT SCALE DRAWINGS.
- 6. ALL NEW AND EXISTING DIMENSIONS AND ELEVATIONS TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION, CONTACT THE ARCHITECT ABOUT ANY DISCREPANCIES THAT MAY ARISE.
- 7. ALL WORK MATERIAL AND LABOR SHALL BE WARRANTED FOR THREE(3) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 8. PRIOR TO ANY EXCAVATION CONTACT DIGSAGE 1-800-322-4844.
- 9. CONTRACTOR TO APPLY FOR AND ACQUIRE ALL PERMITS FROM THE CITY OF CAMBRIDGE.
- 10. ALL PRODUCTS, EQUIPMENT AND WORK SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN REQUIREMENTS AND SPECIFICATIONS APPLICABLE TO THE CONSTRUCTION CONDITIONS. THERE SHALL BE NO DEVIATIONS MADE FROM THIS SPECIFICATION OR THE APPROVED SHOP DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE MANUFACTURER.

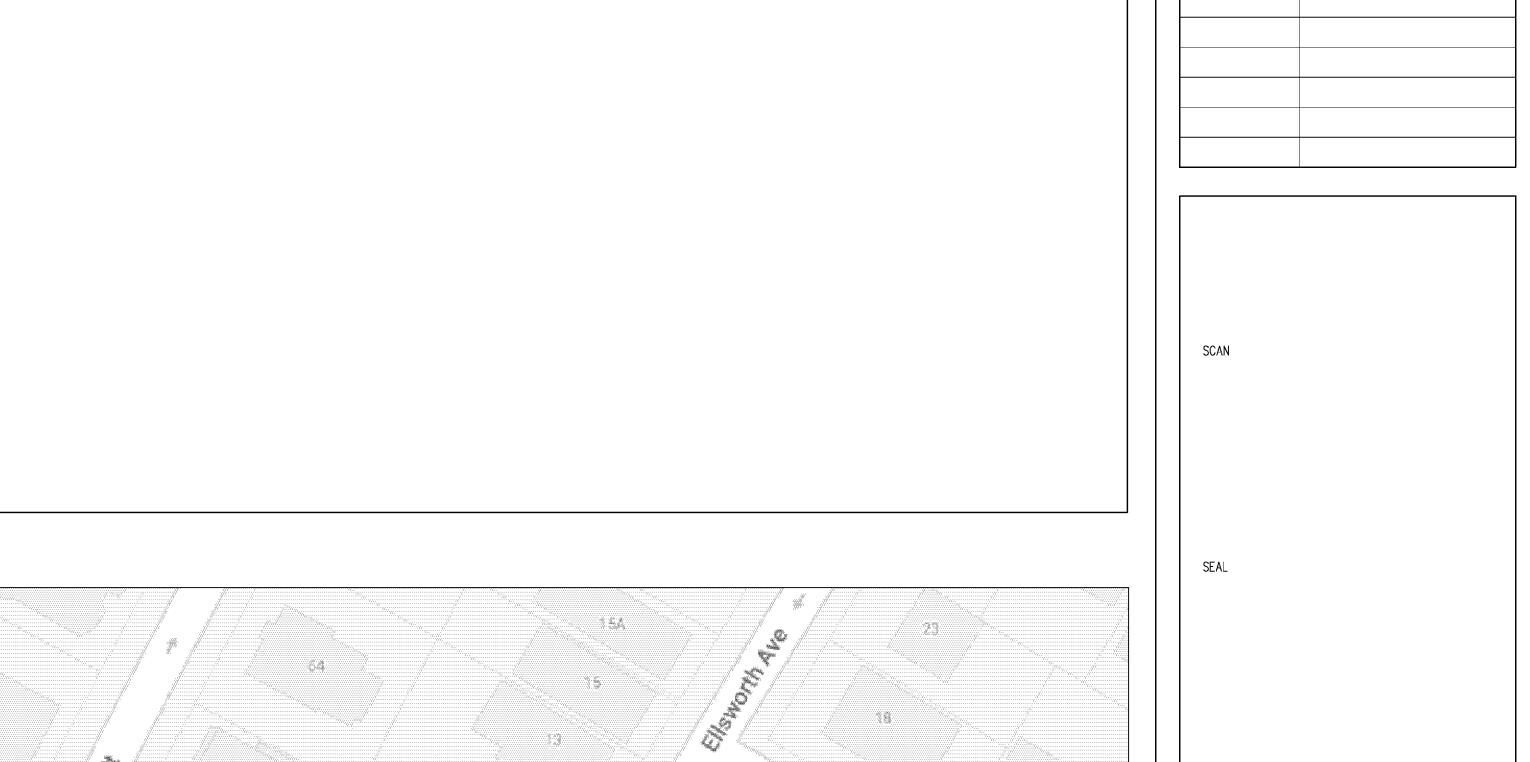
ELLSWORTH

11 ELLSWORTH AVENUE, CAMBRIDGE, MA 02139 BLOCK AND LOT INFO

OCCUPANCY CLASS: R-2 CONSTRUCTION CLASS: FRAMING GROUP II CATEGORY C LOT: 139-65 MAP: C1 DISTRICT: MID-CAMBRIDGE NEIGHBORHOOD CONSERVATION

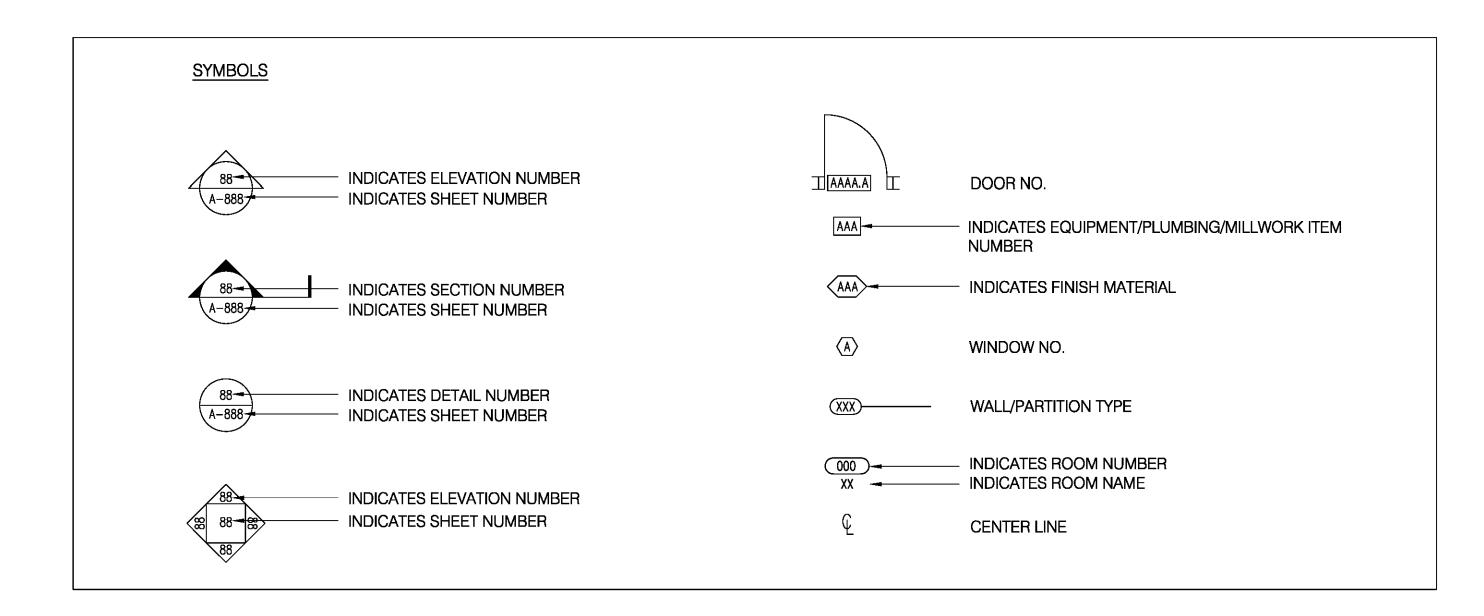
DRAWING LIST

A-001.00 COVER SHEET
A-002.00 GENERAL NOTE
A-003.00 SCHEDULES - SHADE AND WINDOW
A-100.00 EXISTING SITE PLAN
A-101.00 DEMOLITION & PROPOSED EXTERIOR ELEVATIONS
A-204.00 DEMOLITION & PROPOSED THIRD FLOOR PLAN
A-205.00 DEMOLITION & PROPOSED ROOF PLAN



11 Ellsworth Ave,

Cambridge, MA 02139



SITE PLAN

NTS

e pili Pris Pris Roll India

A-001.00

11 ELLSWORTH AVENUE

CAMBRIDGE, MA 02139

2022 FEBRUARY 03

COVER SHEET

FM PROJECT 2102

drawing status FOR PERMIT

SCALE

DESIGNER

ISSUES

2022 FEBRUARY 03 FOR PERMIT

94 Prince Street, 2nd floor, New York, NY 10012 p - 212.584.5660 www.francesmildred.com

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED

ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE

DESIGNER. THESE DRAWINGS MUST NOT BE SCALED.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT

PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED,

ALTERED, OR REUSED WITHOUT THE DESIGNER'S WRITTEN APPROVAL.

GENERAL NOTES

- 1. SCOPE OF WORK: COSMETIC RENOVATION TO EXISTING RESIDENTIAL HOUSE. WORK TO INCLUDE REPLACEMENT OF RECESSED LIGHTING AND CONTROLS, REPLACEMENT OF EXISTING KITCHEN MILLWORK, BUILDING NEW MILLWORK IN BEDROOM AND INSTALLATION OF NEW PLUMBING FIXTURES ON EXISTING ROUGH—INS. NO CHANGE IN USE OR EGRESS PROPOSED UNDER THIS APPLICATION.

 2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, FIRE DEPARTMENT
- 2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- 3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE
 DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING CAMBRIDGE AGENCIES.
 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT
- ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

 5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- 6. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- 8. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- 9. THE PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL
- ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN—OFFS.

 10. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED
- ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

 11. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- 11. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGE 12. THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN—OFFS AS REQUIRED.
- 13. OBEY ALL RULES OF THE OWNER OF THE BUILDING. COORDINATE USE TIMES WITH THE BUILDING OWNER FOR USE OF ELEVATORS AND SHUTDOWNS.
- 14. ALL AREA TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND DUST DURING CONSTRUCTION.
- 15. NO CHANNELING OR CUTTING OF STRUCTURE, DEMISING WALLS, EXTERIOR WALLS, OR PIPE CHASE/SHAFT ENCLOSURES WILL BE PERMITTED EXCEPT WHERE OTHERWISE SHOWN ON APPROVED DRAWINGS. IF AN CUTTING OR CHANNELING IS OBSERVED DURING THE COURSE OF THE WORK, THE WORK WILL BE STOPPED IMMEDIATELY AND THE DESIGNER WILL BE NOTIFIED FOR INSPECTION.

 16. CONTRACTOR TO PROVIDE SHOP DRAWINGS, MATERIAL SAMPLES AND MOCKUPS FOR DESIGNER'S APPROVAL PRIOR TO FABRICATION.

DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
 ALL EXISTING SURFACES AND EQUIPMENT SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
 NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE AND THE FRONT ROAD SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
 NO STRUCTURAL FLEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY FITHEI
- 4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

 5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED.
- 6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- 7. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
- 8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- 9. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

SMOKE DETECTING DEVICES

1. SMOKE DETECTING DEVICES SHALL CONFORM TO CHAPTER 9, SECTION BC 907.2.11 OF THE BUILDING CODE (2014). FIRE ALARM SYSTEMS AND THEIR COMPONENTS SHALL BE DESIGNATED AND INSTALLED IN ACCORDANCE WITH NFPA 72 AS MODIFIED IN APPENDIX Q AND THE "NEW YORK CITY ELECTRICAL CODE".

- 2. DWELLING UNITS SHALL BE EQUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM A DEDICATED BRANCH CIRCUIT OR THE UNSWITCHED PORTION OF A BRANCH CIRCUIT ALSO USED FOR POWER AND LIGHTING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP, WITH THE ONLY EXCEPTION OF SMOKE ALARM WITH INTEGRAL STROBES, IN WHICH CASE SHALL NOT REQUIRE BATTERY BACKUP PROVIDED THAT THE SMOKE ALARMS ARE CONNECTED TO AN EMERGENCY ELECTRICAL SOURCE. SMOKE ALARM SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER—CURRENT PROTECTION.
- 3. SMOKE ALARMS SHOULD BE INSTALLED AND MAINTAINED REGARDLESS OF OCCUPANT LOAD, WITHIN ALL DWELLING UNITS, ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET FROM THE DOOR TO SUCH ROOM AND IN EACH ROOM USED FOR SLEEPING PURPOSES.

 4. WHEN MORE THAN ONE SMOKE ALARM AND DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE SMOKE ALARMS OR DETECTORS SHALL BE INTERCONNECTED IN SUCH MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR WILL ACTIVATE ALL OF THE ALARM OR DETECTORS IN THE INDIVIDUAL UNIT. THE ALARM OR DETECTOR SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS
- WITH ALL INTERVENING DOORS CLOSED.

 5. SMOKE ALARMS SHALL BE PROVIDED WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH ICC/ANSI A117.1.

CARBON MONOXIDE DETECTOR NOTES

- 1. CARBON MONOXIDE DETECTION DEVICES SHALL CONFORM TO CHAPTER 9 SECTION BC 908.7 OF THE BUILDING CODE (2014).
- 2. CARBON MONOXIDE DETECTION DEVICES SHALL COMPLY WITH THE POWER SOURCE, INTERCONNECTION AND ACCEPTANCE TESTING REQUIREMENTS AS REQUIRED FOR SMOKE ALARMS (SEE NOTE 2, SMOKE DETECTING DEVICES)
 3. CARBON MONOXIDE ALARMS OR DETECTORS SHALL BE INSTALLED WITHIN DWELLING UNITS OUTSIDE OF ANY ROOM USED FOR SLEEPING PURPOSED, WITHIN 15 FEET OF THE ENTRANCE OF SUCH ROOM AND IN ANY ROOM USED FOR SLEEPING PURPOSES.

TEMPORARY SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR NOTES

1. TEMPORARY SMOKE AND/OR CARBON MONOXIDE ALARM SHALL CONFORM TO CHAPTER 9 — SECTION 901.9.5 OF THE BUILDING CODE (2014). TEMPORARY SMOKE AND/OR CARBON MONOXIDE ALARM, COMPLYING WITH THE LOCATION, INTERCONNECTION AND POWER SOURCE REQUIREMENT, SHALL BE PROVIDED THROUGHOUT A DWELLING UNIT DURING ALTERATIONS, WHEN ALTERATION WORK RESULTS IN THE REMOVAL OF EXISTING AND/OR INSTALLATION OF NEW INTERIOR WALL OR CEILING FINISHES PERMITTING THE INSTALLATION OF CONCEALED WIRING FOR ALL THE REQUIRED ALARMS THROUGHOUT THE DWELLING UNIT.

ICC ANSI 117.1 (2009)

DOORWAYS, AS PER 404.2.

PROPOSED WORK TO COMPLY WITH APPLICABLE REQUIREMENTS OF ICC ANSI 117.1 (2009) STANDARD FOR ACCESSIBLE AND USABLE FACILITIES.
 CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WR AISST PER 409, 607.5,
 ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN NEW FACILITIES, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE ACCESSIBLE ROUTE AS PER SECTION 403.5, AND A MINIMUM OF 32 INCHES OF WIDTH AT

DESIGNER

| Frances Mildred

94 Prince Street, 2nd floor, New York, NY 10012 p - 212.584.5660 www.francesmildred.com

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES
AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED

ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE

DESIGNER. THESE DRAWINGS MUST NOT BE SCALED.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE DESIGNER'S WRITTEN APPROVAL.

ISSUES		
ISSUES 2022 FEBRUARY 03	FOR PERMIT	
	FOR PERMIT	

SCAN

SEAL

11 ELLSWORTH AVENUE CAMBRIDGE, MA 02139 FM PROJECT 2102

DRAWING STATUS FOR PERMIT

DATE 2022 FEBRUARY 03 SCALE

GENERAL NOTE

A-002 00

WINDOW SCHEDULE									
WINDOW #	ROOM#	TYPE	MANUFACTURER	SERIES	OPENING SIZE (H x W)	HEIGHT GLAZING	QUANTITY	FINISH	NOTES
101	Stair	Skylight	Velux	VSE	30" X 54"" V.I.F.	Low-E	1	i vynite/Alliminiim	w/ motorized shade - refer to SH07 in shade sched.
102	Guest Bedroom 301	Skylight	Velux	VSE	30" X 54"" V.I.F.	Low-E	2		w/ motorized shade - refer to SH07 in shade sched.

WINDOW SCHEDULE NA

SHADE SCHEDULE							
LOCATION	TYPE	DESCRIPTION	MANUFACTURER	OPERATION	FABRIC MODEL(PROVIDED BY DESIGNER)	FABRIC COLOR	MOUNTING LOCATION
Stair, Guest Bedroom 301	SH07	Skylight Solar Shade	Skylight manufacturer	MATCH MASTER BEDROOM SHADE	TBD	TBD	Skylight
NOTE:							
1. REFER TO A-200 SERIES DRAWINGS FOR ALL SHADE LOCATIONS.							

SHADE SCHEDULE NA

DESIGNER

Frances Mildred

94 Prince Street, 2nd floor, New York, NY 10012 p-212.584.5660 www.francesmildred.com

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER. THESE DRAWINGS MUST NOT BE SCALED.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE DESIGNER'S WRITTEN APPROVAL.

ISSUES

2022 FEBRUARY 03 FOR PERMIT

004

SEAL

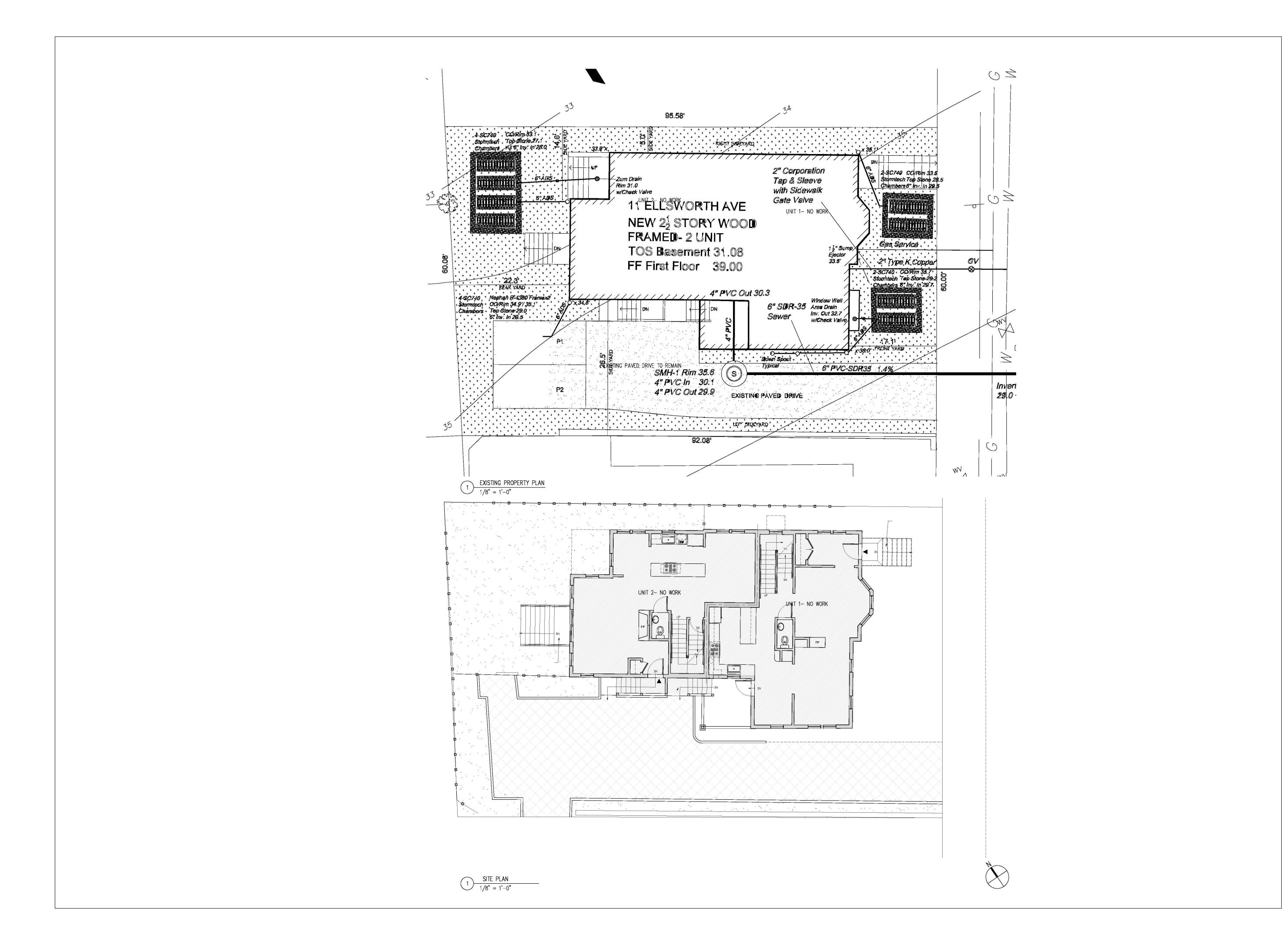
11 ELLSWORTH AVENUE CAMBRIDGE, MA 02139 FM PROJECT 2102

drawing status FOR PERMIT

DATE 2022 FEBRUARY 03 SCALE N/A

SHADE & WINDOW SCHEDULE

A-003.00



DESIGNER

Frances Mildred

94 Prince Street, 2nd floor, New York, NY 10012 p - 212.584.5660 www.francesmildred.com

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ISSUES	
2022 FEBRUARY 03	FOR PERMIT

SCAN

11 ELLSWORTH AVENUE CAMBRIDGE, MA 02139 FM PROJECT 2102

drawing status FOR PERMIT

date 2022 FEBRUARY 03

 $\frac{\text{SCALE}}{1/8}$ " = 1'-0"

SITE PLAN

A-100.00



WALL AND) INTERIOR SURFACE SCHEDULE	
KEY	DESCRIPTION	CONSTRUCTION NOTES:
	EXISTING WALL	 PROVIDE AND INSTALL NEW BASEBOARD AT NEW PARTITION TO MATCH EXISTING PATCH & REPAIR EXISTING FLOOR, PARTITION, CEILING & TRIMS AS REQUIRED NO CHANGE TO EXISTING WINDOWS
	NEW WALL CONSTRUCTION	 PROVIDE LOW VOLTAGE TO EACH WINDOW FOR NEW WINDOW TREATMENT AS REQUIRED ON SHADE SCHEDULE. ALL SMOKE DETECTOR TO REMAIN AT EXISTING LOCATION UNLESS OTHERWISE NOTED. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENT OF THE MASSACHUSETTS BLDG. CODE
_1	NEW STUD FRAMING WITH NEW GYPSUM BOARD SHEATHING	 NO CUTTING OR CHANNELING INTO THE BUILDING STRUCTURAL FLOOR, CEILING, COLUMNS OR BEAMS. THERE SHALL BE NO INTERRUPTION OR RELOCATION OF BUILDING SERVICES, EXCEPT WITH THE CONSENT OF THE OWNER. TEST EXISTING DIMMER SWITCHES THROUGHOUT FOR COMPATIBILITY WITH EXISTING LIGHTINGS TO AVOID FLICKERING. REPLACE SWITCH OR INSTALL DRIVER AS REQUIRED.
		10. EXISTING ELECTRICAL OUTLETS/DATA PORTS TO REMAIN UNLESS OTHERWISE NOTED. ALL DEVICES SHOWN ON PROPOSED PLANS

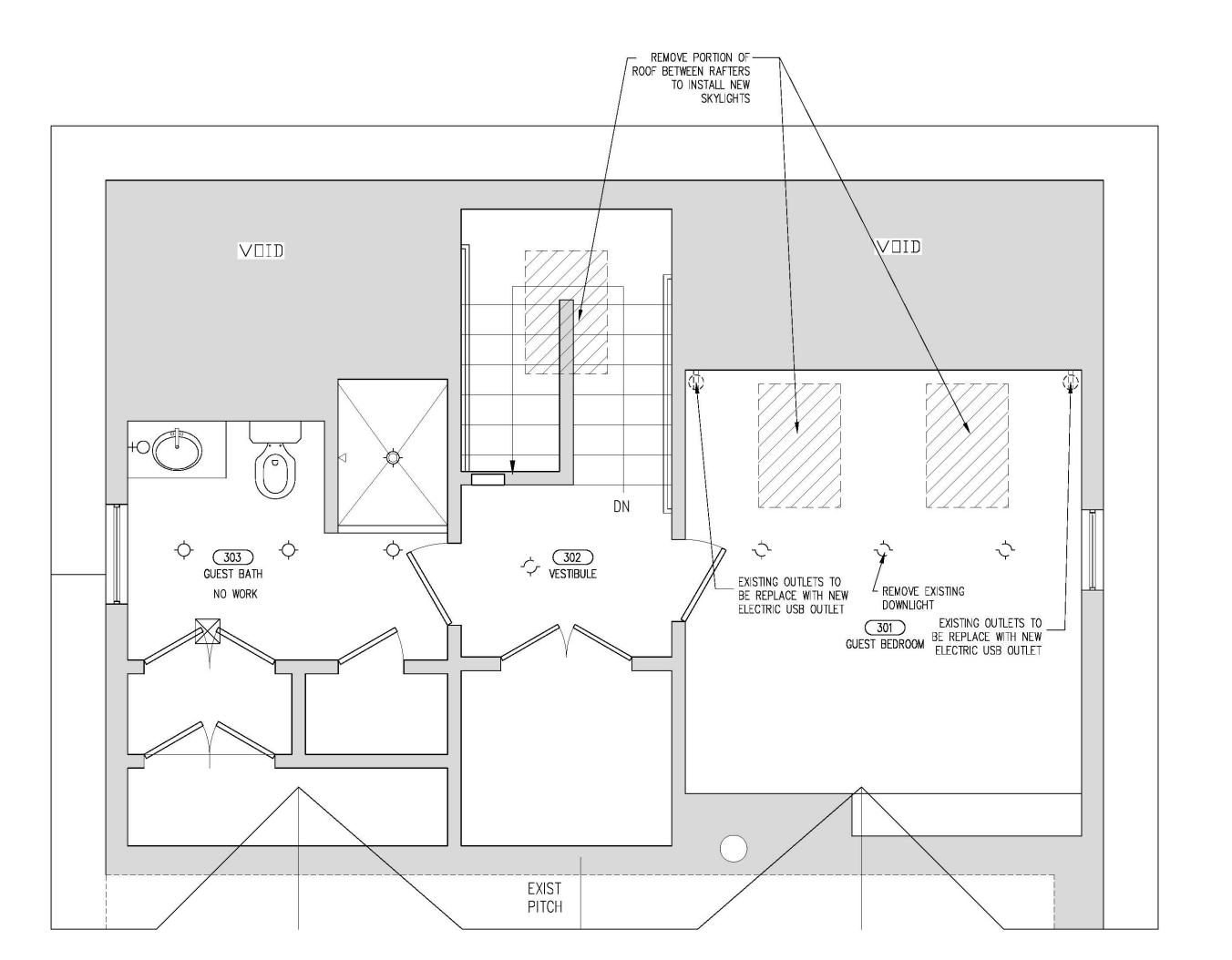
WALL AND) INTERIOR SURFACE SCHEDULE
KEY	DESCRIPTION
	EXISTING WALL
	WALL TO BE DEMOLISHED

DE	EMOLITION NOTES:
1.	SEAL ALL VENTILATION DURING DEMOLITION PROVIDE PROPER MEMBRANE & FLASHING AROUND NEW SKYLIGHTS
<u>ک</u> ، ۲	. ALL RECESSED DOWNLIGHTS NOT NOTED ARE TO BE REMOVED AND REPLACED WITH LO1, ALL
J.	NOTED DOWNLIGHTS ARE TO BE REMOVED AND REPLACED WITH NEW SURFACE MOUNTED FIXTURE.

GC TO REVIEW POSSIBLE POSITION W/DESIGNER
VOID
BSN DN 1'-0" PATCH & REPAIR CEILING CEILING
SAND, REPAIR PAINT THROUGHOUT NO WORK SAND, REPAIR PAINT THROUGHOUT WESTIBULE GUEST BEDROOM INSALL EL/USB OUTLET GUEST BEDROOM
SAND, REPAIR PAINT ENTIRE ROOM PROVIDE NEW DATA
PROVIDE NEW DATA OF CONNECTION 2
EXIST PITCH

ARE IN ADDITION TO EXISTING DEVICES. ALL NEW DEVICES TO MATCH EXISTING SPECIFICATION.

11. SEE A-600 DRAWINGS FOR PROPOSED LIGHTING LAYOUTS/QUANTITIES.



DESIGNER

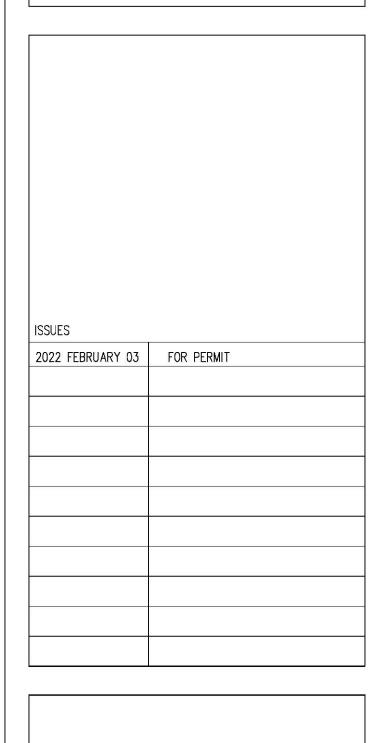
Frances Mildred

94 Prince Street, 2nd floor, New York, NY 10012 p-212.584.5660 www.francesmildred.com

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SEAL

11 ELLSWORTH AVENUE CAMBRIDGE, MA 02139 FM PROJECT 2102

drawing status FOR PERMIT

3RD FL

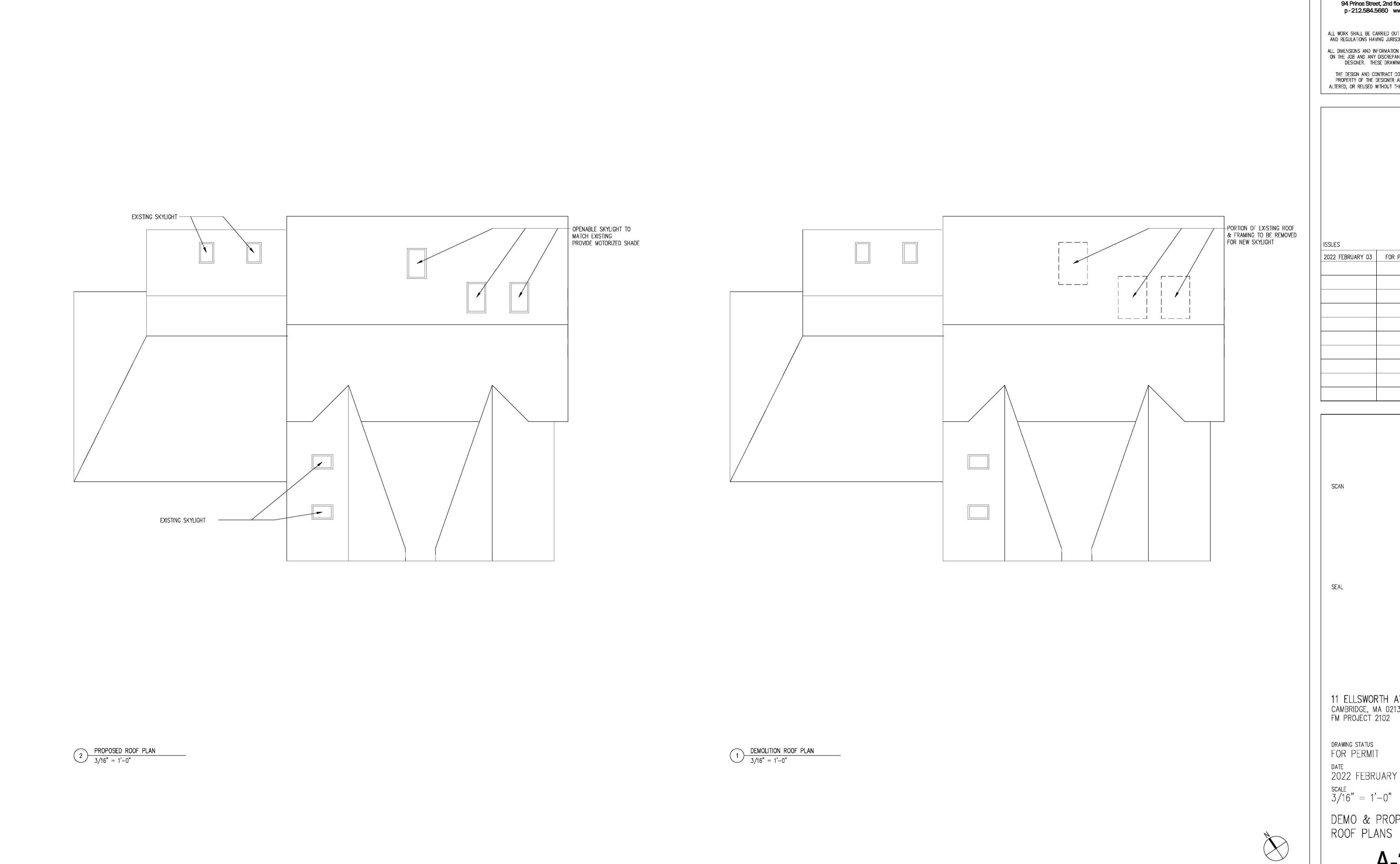
DATE 2022 FEBRUARY 03 SCALE 3/8" = 1'-0"

DEMO & PROPOSED PLANS

A-204.00

PROPOSED PLAN - 3RD FLOOR 3/8" = 1'-0"

DEMOLITION PLAN - 3RD FLOOR 3/8" = 1'-0"



DESIGNER

94 Prince Street, 2nd floor, New York, NY 10012 p - 212.584.5660 www.francesmildred.com

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2022 FEBRUARY 03 FOR PERMIT

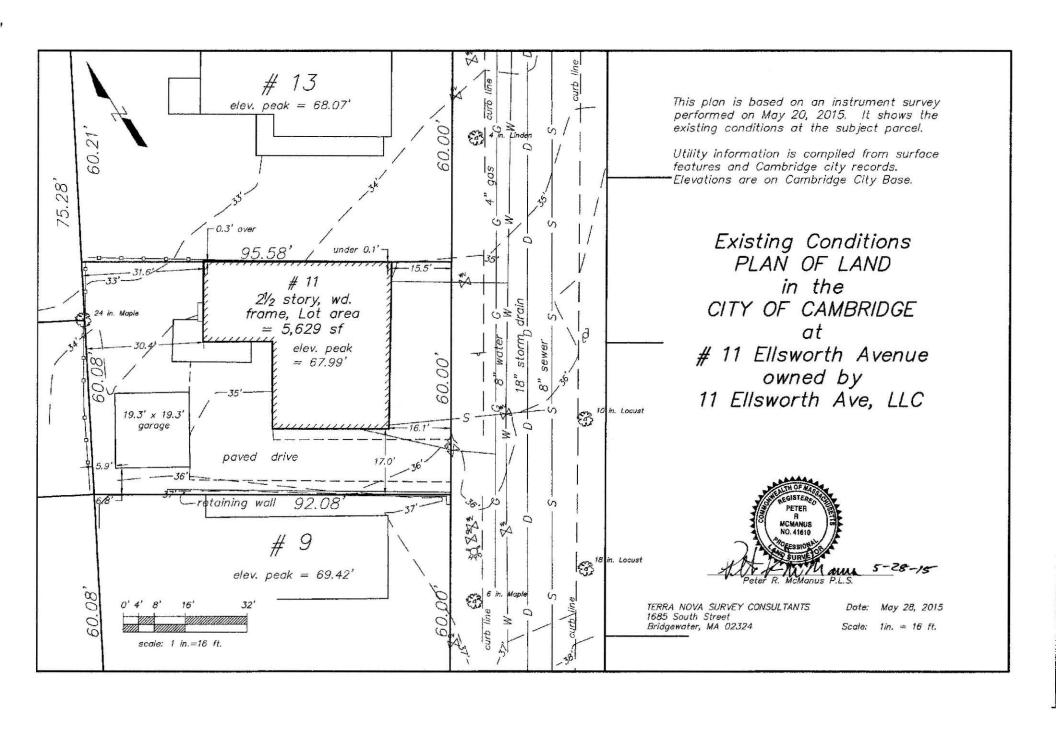
SEAL

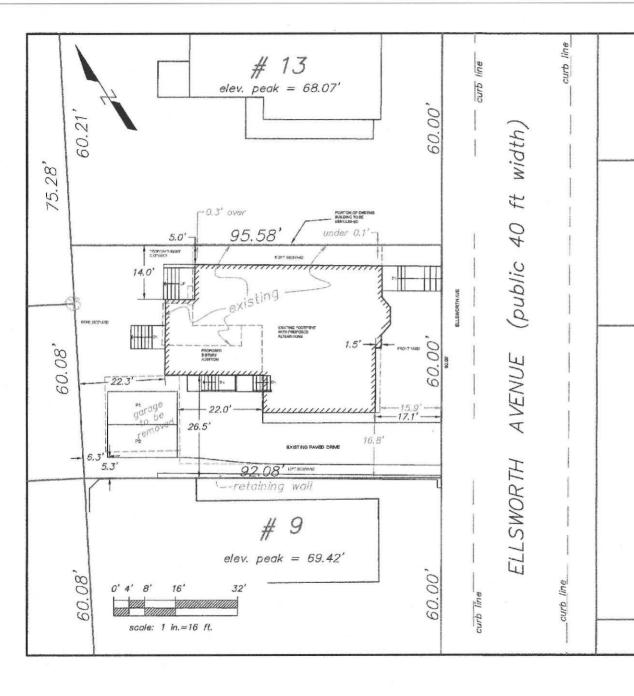
11 ELLSWORTH AVENUE CAMBRIDGE, MA 02139 FM PROJECT 2102

drawing status FOR PERMIT

date 2022 FEBRUARY 03 3/16" = 1'-0"

DEMO & PROPOSED

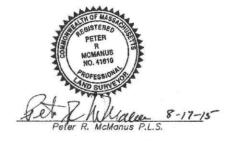




This plan is based on an instrument survey performed on May 20, 2015. It shows the existing conditions at the subject parcel.

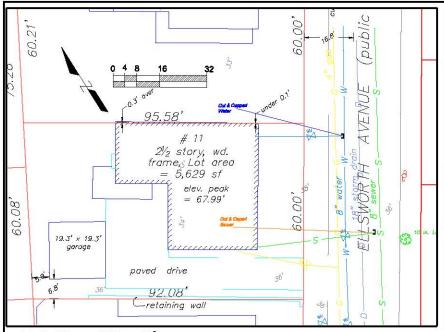
Existing is shown in gray dashed lines, proposed shown in black solid lines with hatching.

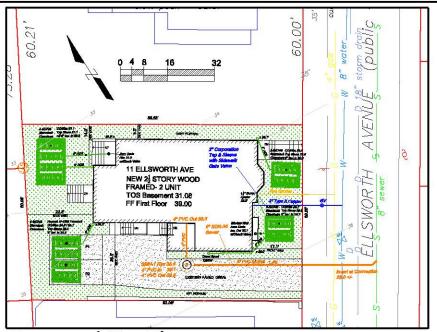
Existing with Proposed
PLAN OF LAND
in the
CITY OF CAMBRIDGE
at
11 Ellsworth Avenue
owned by
11 Ellsworth Ave, LLC



TERRA NOVA SURVEY CONSULTANTS 1685 South Street Bridgewater, MA 02324 Date: August 17, 2015

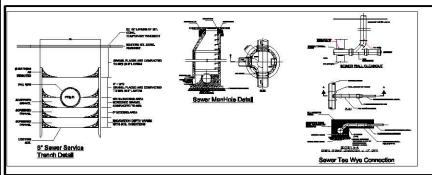
Scale: 1in. = 16 ft.

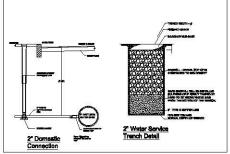


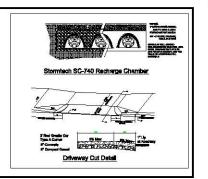


Existing Site Plan

Proposed Site Plan







Notes:

Existing Impervious Area: 3,401sf
Proposed Impervious Area: 2,990sf
Stormwater Calculations under separate
cover, to be reviewed by DPW.

a" Water Service assumed adequate Plumber to calculate demand of service based on flow test and fixtures.

Sewer invert on street to be confirmed.

Existing Sidewalk and curbcut to remain Protect existing public sidewalk pavers Install silt sock erosion control around entire site during construction

Refer to Lanscape plan for layout and materials

Refer to Proposed Plot Plan for setbacks and plan references

Refer to Foundation Plan for Footing details and grades.

All work per City of Cambridge DPW and Construction documents by PQA

Details nts

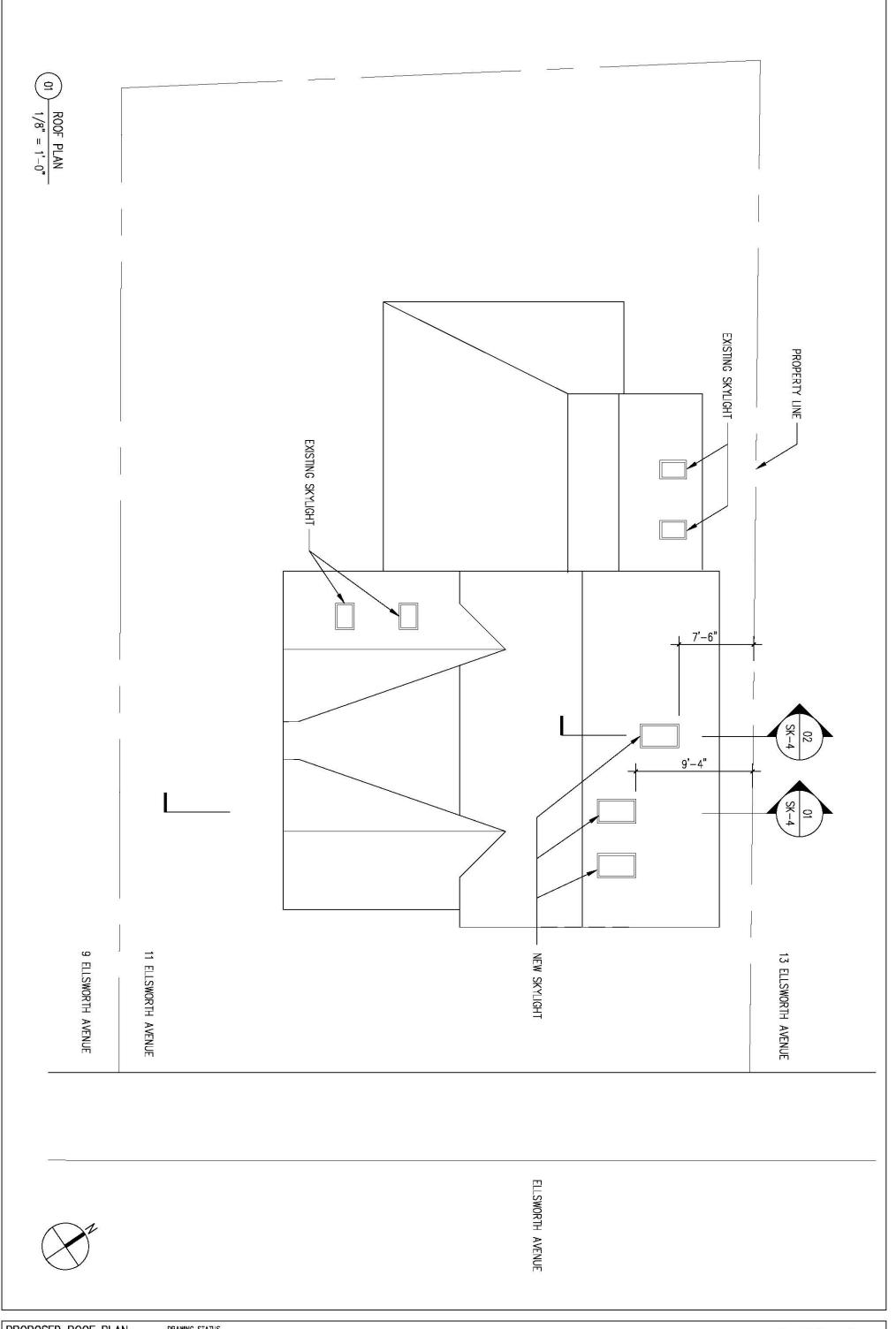
Fergal Brennock P.E. 71 Lovell Road Watertown, MA 02472 617 828 0376 fergalbrennock@hotmail.com



| Title: Site Plan CD Set 12-10-15 | Pro| Site | Stale: Plan: 1*=10' | 11 the |
| Revisions: | Date: | December 10, 2015 |



City of Cambridge:

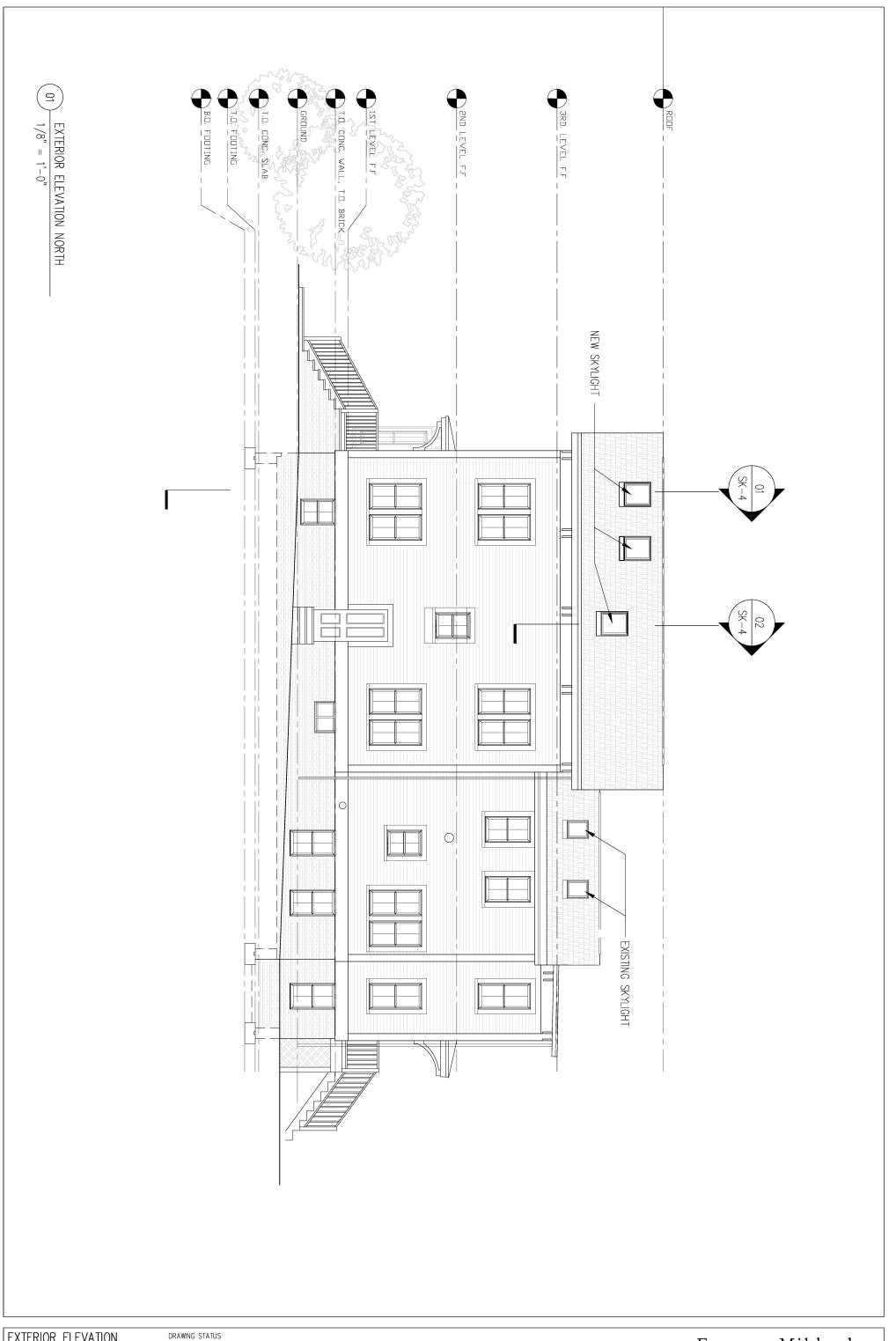


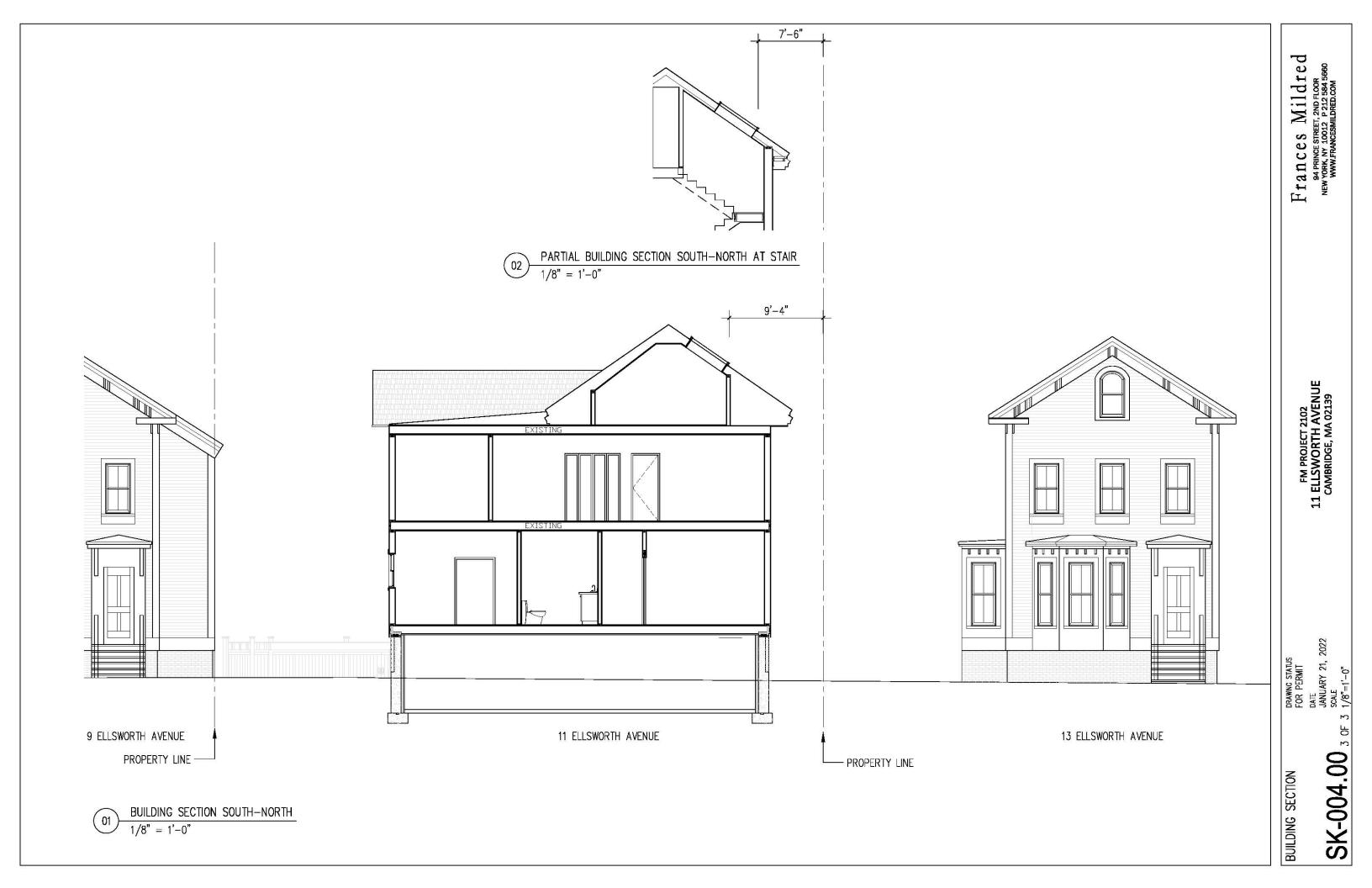
PROPOSED ROOF PLAN

DRAWING STATUS FOR PERMIT

FM PROJECT 2102 11 ELLSWORTH AVENUE CAMBRIDGE, MA 02139 Frances Mildred

94 PRINCE STREET, 2ND FLOOR
NEW YORK, NY 10012 P 212 584 5660
WWW.FRANCESMILDRED.COM

















Mid Cambridge Neighborhood Conservation **District Commission**

831 Massachusetts Avenue, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

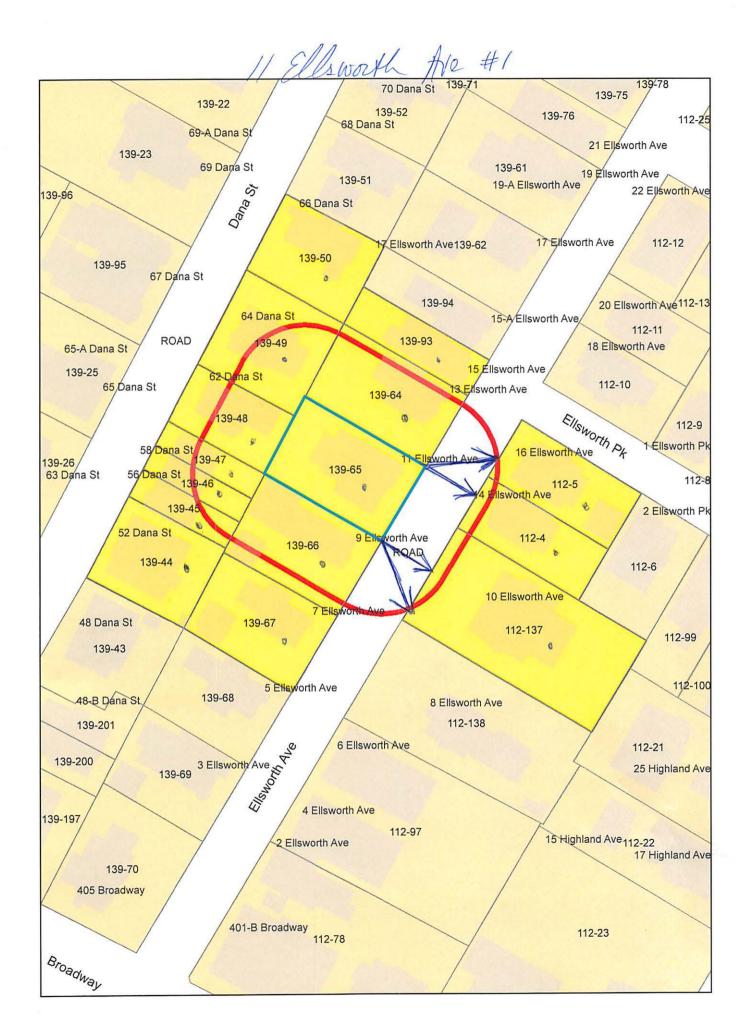
E-mail: histncds@cambridgema.gov

www.cambridgema.gov/historic/districts Historic Properties/midcambridgencd

Tony Hsiao Chair Lestra Litchfield Vice Chair

Monika Pauli, Charles Redmon, Members Margaret McMahon, Alternate			
CERTIFICATE OF NON-APPLICABILITY			
Property:	11 Ellsworth Avenue		
Applicant:	Andrew Thompson		
The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the order establishing said district that the work described below does not involve any activity requiring issuance of a Certificate of Appropriateness or Hardship:			
Additional skylight. Total area of proposed three skylights does not exceed 1/3 of roof area.			
Permit #161669			
All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.			
This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding six months each may be allowed in writing by the Chair.			
Case Number: <u>MC-6385</u>	Date of Certificate: February 18, 2022		
Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on February 18, 2022. By Tony Hsiao/aac, Chair			

Twenty days have elapsed since the filing of this decision. No appeal has been filed Appeal has been filed Date City Clerk:			



112-4 SOLEM, RACHEL K. & BRIANA PEARSON 14 ELLSWORTH AVE CAMBRIDGE, MA 02139

139-44 HILLTOP REAL ESTATE LLC 52 DANA ST., # 1 CAMBRIDGE, MA 02138 ANDREW THOMPSON 12 LANGDON AVENUE WATERTOWN, MA 02472

139-47 BRIMLEY, RICHARD E. ELEANOR R BRIMLEY 60 DANA ST CAMBRIDGE, MA 02138-4309 139-48 NAEF, EDWARD & JANA NAEF 62 DANA ST CAMBRIDGE, MA 02139 POMEROY & CO. C/O AARON PAUL 18 SPICE STREET BOSTON, MA 02129

139-50 DOEBELE, JUSTIN W., SAMUEL K. & WILLIAM L. C/O OXFORD STREET REALTY, INC. 1644 MASSACHUSETTS AVE CAMBRIDGE, MA 02138 139-67
RODRIQUES, LOUIS A & ROBBE BURNSTINE
TR. OF THE ROBBE BURNSTINE REVOC TRUST
7 ELLSWORTH AVE
CAMBRIDGE, MA 02139

11 Ellsworth Ave #1

139-93 SABBEY, JOHN G. & ESTHER C SABBEY 15 ELLSWORTH AVE CAMBRIDGE, MA 02139-1009

112-137 GRIGGS, TAMARA & PHILIPPE CLUZEL 10-12 ELLSWORTH AVE., #2 CAMBRIDGE, MA 02139 139-65
PAUL, AARON B. & HANNAH E. PAUL
11 ELLSWORTH AVE. UNIT 1
CAMBRIDGE, MA 02139

112-5 HARRINGTON, THERESA JANICE TINGLE & ELAINE V. HARRINGTON 16 ELLSWORTH AVE CAMBRIDGE, MA 02139

139-44 JACKSON, JEAN E. 52-54 DANA ST 3 CAMBRIDGE, MA 02138-4309 139-49
MEDEIROS, R. MARGARET
TR OF R.MARGARET MEDEIROS FAMILY TRUST.
64 DANA ST
CAMBRIDGE, MA 02138

139-66 CORNING, JR. ROBERT M, LAUREN J. CORNING 20 SOMERSET ST BELMONT, MA 02478

112-137 KREILKAMP, THOMAS A. VERA KREILKAMP, TRS 10-12 ELLSWORTH AVE 1 CAMBRIDGE, MA 02138 139-46 SHOWERS ALEXANDER J & KATHERINE C PHILLI 58 DANA ST CAMBRIDGE, MA 02139

139-65 11 ELLSWORTH HOLDING LLC 11 ELLSOWRTH AVE CAMBRIDGE , MA 02139

139-45 CARVALHO, BRUNO M. MICHAEL E. ROZAS 56 DANA ST CAMBRIDGE, MA 02138 139-44 GROSS, LISA 52 DANA ST., #2 CAMBRIDGE, MA 02138 139-64 SCHIRM. CLAIR W., JR., PAMELA J. SCHIRM PETER K. SHEFFIELD III & MELANIE M. 13 ELLSWORTH AVE CAMBRIDGE, MA 02139 To: Cambridge Zoning Committee

To Whom It May Concern:

This letter is in regards to the proposed sky lights at 11 Ellsworth Ave, Unit 1. Many of the houses on our street have third floor skylights, in fact both of our direct neighbors have multiple skylights. Well-placed skylights, as are the proposed at 11, in no way interfere with any neighbors or our beautiful Ellsworth Ave streetscape.

I would argue that the skylights improve the neighborhood, allowing families to have better use of their 3rd floors. Especially now that so many of us are working from home full or at least part-time, having an additional well-lit room makes a world of difference. I myself work from home full-time and greatly appreciate the extra light. I know that will also be the use case for the family living at 11 Ellsworth.

Thank you,

Kellan Hays 17 Ellsworth Ave Cambridge MA 02139



City of Cambridge

Massachusetts

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA. (617) 349-6100

BZA

POSTING NOTICE - PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Aubru Trompson (Print)	Date: 3/4/27
Address: 1/ Ellsworth	Are #1
Case No. BTA - 16/469	
Hearing Date: 3/24/22	•

Thank you, Bza Members