



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 FEB 10 PM 4:35

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 161669

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Aaron Paul C/O Pomeroy & Co.

PETITIONER'S ADDRESS: 18 Spice Street, Boston, MA 02129

LOCATION OF PROPERTY: 11 Ellsworth Ave., Unit 1, Cambridge, MA

TYPE OF OCCUPANCY: Residential

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Adding skylights/

DESCRIPTION OF PETITIONER'S PROPOSAL:

We're proposing to install 3 skylights on the 3rd floor but they fall inside the set-back limitations for this property.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2(d) (Non-Conforming Structure).

Original
Signature(s):

(Petitioner (s) / Owner)

Andrew P. Thompson

(Print Name)

Address:

11 Ellsworth Ave.

Tel. No.

339 222 9216

E-Mail Address:

athompson@pomeroyco.com

Date: 2/10/22

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Aaron Paul

Present Use/Occupancy: Residential

Location: 11 Ellsworth Ave., Unit 1., Cambridge, MA

Zone: Residence C-1 Zone

Phone: 339 222 9216

Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3,194	3,194	3,194	(max.)
<u>LOT AREA:</u>		5,760	5,760	5,760	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.55	.55	.55?	
<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	N/A	N/A	
<u>SIZE OF LOT:</u>	WIDTH	60	60	60	
	DEPTH	96	96	96	
<u>SETBACKS IN FEET:</u>	FRONT	7.5'	7.5'	7.5'	
	REAR	7.5'	7.5'	7.5'	
	LEFT SIDE	12'	12'	12'	
	RIGHT SIDE	12	7.25'	12	
<u>SIZE OF BUILDING:</u>	HEIGHT	32.25'	32.25'	32.35'	
	WIDTH	59'	59'	59'	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>		2	2	N/A	
<u>NO. OF PARKING SPACES:</u>		2	2	N/A	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Hannah Paul
(OWNER)

Address: 11 Ellsworth Ave, Unit #1, Cambridge, MA 02139

State that I/We own the property located at 11 Ellsworth Ave #1, which is the subject of this zoning application.

The record title of this property is in the name of Aaron B. Paul

*Pursuant to a deed of duly recorded in the date 4/28/2017, Middlesex South County Registry of Deeds at Book 69205, Page 466; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Hannah Paul
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

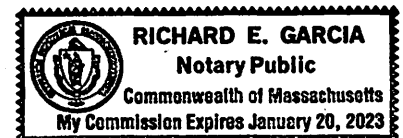
Commonwealth of Massachusetts, County of Middlesex

The above-name Hannah Paul personally appeared before me, this 3 of Feb, 2022, and made oath that the above statement is true.

Richard Estrella Notary

My commission expires 1/20/2023 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 11 Ellsworth Ave , Unit 1 , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The installation of skylights on the right side of the house causes no changes to use or size of building.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed skylights have no effect on egress or traffic.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

N/A

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

N/A

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Many other homes in the neighborhood have non-conforming skylights and windows.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

March 7, 2022

Cambridge Board of Zoning Appeal

Re: Case No. BZA-161669-2022, 11 Ellsworth Avenue #1

Dear Members of the Board,

As a homeowner, architect, and direct northern abutter to the 11 Ellsworth Avenue #1 property, I have known the applicants for over five years, and they are exemplary members of the community. I met with them to discuss their proposed plans for the property and have reviewed the plans which are before the Cambridge Board of Zoning Appeal for review. Any questions or concerns have been addressed to my satisfaction.

I do not believe that this application would provide a detrimental impact to my property, the neighborhood and surrounding community. Nor would the application substantially derogate from the intent or purpose of the ordinance. Please consider our wholehearted support for the application as submitted by the applicant.

Sincerely,



Kyle Sheffield, AIA, LEED AP
Principal

Cambridge Historical Commission, Alternate Member

Home Address:
13 Ellsworth Avenue
Cambridge, MA 02139

BZA Application Form

Revised 3/18/22

DIMENSIONAL INFORMATION

Applicant: Aaron Paul

Present Use/Occupancy: Residential

Location: 11 Ellsworth Ave., Unit 1., Cambridge, MA

Zone: Residence C-1 Zone

Phone: 339 222 9216

Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
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<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	N/A	N/A	
<u>SIZE OF LOT:</u>	WIDTH	60	60	60	
	DEPTH	96	96	96	
<u>SETBACKS IN FEET:</u>	FRONT	7.5' 17'	7.5'	10' 7.5'	
	REAR	7.5' 22'3"	7.5'	20' 7.5'	
	LEFT SIDE	12' 16'8"	12'	12'	
	RIGHT SIDE	12' 5'	7.25' 7.5'	12	
<u>SIZE OF BUILDING:</u>	HEIGHT	32.25'	32.25'	32.35'	
	WIDTH	59'	59'	59'	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		N/A	N/A	N/A	
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<u>NO. OF PARKING SPACES:</u>		2	2	N/A	
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<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

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N/A

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Revised 3/18/22

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B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed skylights have no effect on egress or traffic.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

N/A **The location of the skylight won't affect any existing conditions.**

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

N/A

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Many other homes in the neighborhood have non-conforming skylights and windows.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

DESIGNER

Frances Mildred

94 Prince Street, 2nd floor, New York, NY 10012
p-212.584.5660 www.francesmildred.com

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER. THESE DRAWINGS MUST NOT BE SCALED.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE DESIGNER'S WRITTEN APPROVAL.

ISSUES

2022 FEBRUARY 03	FOR PERMIT

SCAN

SEAL

11 ELLSWORTH AVENUE
CAMBRIDGE, MA 02139
FM PROJECT 2102

DRAWING STATUS
FOR PERMIT

DATE
2022 FEBRUARY 03

SCALE
N/A

SHADE & WINDOW
SCHEDULE

A-003.00

WINDOW SCHEDULE										
WINDOW #	ROOM #	TYPE	MANUFACTURER	SERIES	OPENING SIZE (H x W)	HEIGHT	GLAZING	QUANTITY	FINISH	NOTES
101	Stair	Skylight	Velux	VSE	30" X 64" V.I.F.		Low-E	1	White/Aluminum	w/ motorized shade - refer to SH07 in shade sched.
102	Guest Bedroom 301	Skylight	Velux	VSE	30" X 64" V.I.F.		Low-E	2	White/Aluminum	w/ motorized shade - refer to SH07 in shade sched.

2 WINDOW SCHEDULE
NA

SHADE SCHEDULE							
LOCATION	TYPE	DESCRIPTION	MANUFACTURER	OPERATION	FABRIC MODEL(PROVIDED BY DESIGNER)	FABRIC COLOR	MOUNTING LOCATION
Stair, Guest Bedroom 301	SH07	Skylight Solar Shade	Skylight manufacturer	MATCH MASTER BEDROOM SHADE	TBD	TBD	Skylight
NOTE: 1. REFER TO A-200 SERIES DRAWINGS FOR ALL SHADE LOCATIONS.							

1 SHADE SCHEDULE
NA

DESIGNER

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94 Prince Street, 2nd floor, New York, NY 10012
p-212.584.5660 www.francesmildred.com

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ISSUES

2022 FEBRUARY 03	FOR PERMIT

SCAN

SEAL

11 ELLSWORTH AVENUE
CAMBRIDGE, MA 02139
FM PROJECT 2102

DRAWING STATUS
FOR PERMIT

DATE
2022 FEBRUARY 03

SCALE
3/16" = 1'-0"

EXTERIOR ELEVATIONS
DEMOLITION/PROPOSED

A-101.00



02 PROPOSED ELEVATION
3/16" = 1'-0"



02 DEMOLITION ELEVATION
3/16" = 1'-0"

WALL AND INTERIOR SURFACE SCHEDULE

KEY	DESCRIPTION
	EXISTING WALL
	NEW WALL CONSTRUCTION
	NEW STUD FRAMING WITH NEW GYPSUM BOARD SHEATHING

CONSTRUCTION NOTES:

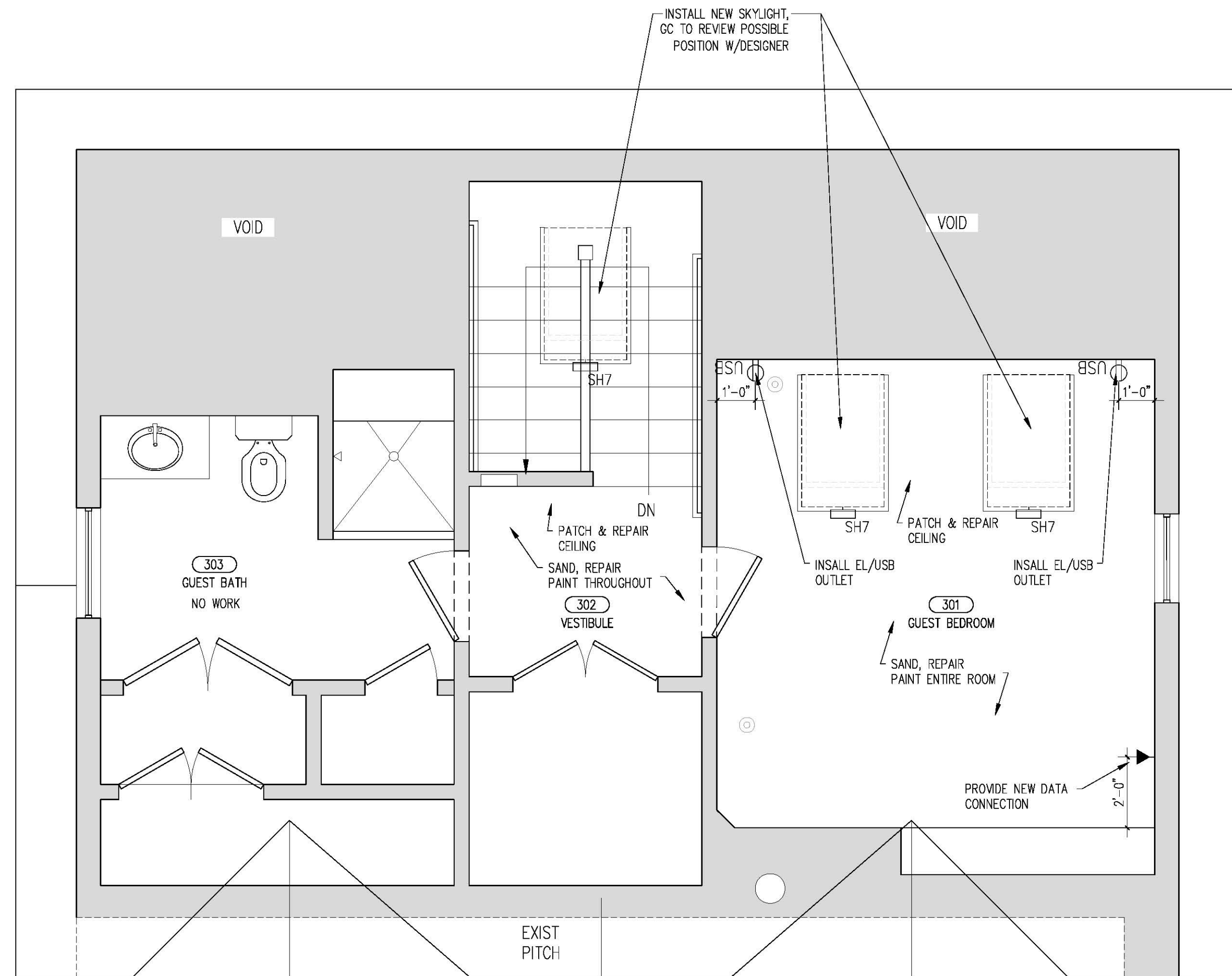
1. PROVIDE AND INSTALL NEW BASEBOARD AT NEW PARTITION TO MATCH EXISTING
2. PATCH & REPAIR EXISTING FLOOR, PARTITION, CEILING & TRIMS AS REQUIRED
3. NO CHANGE TO EXISTING WINDOWS
4. PROVIDE LOW VOLTAGE TO EACH WINDOW FOR NEW WINDOW TREATMENT AS REQUIRED ON SHADE SCHEDULE. ALL SMOKE DETECTOR TO REMAIN AT EXISTING LOCATION UNLESS OTHERWISE NOTED.
5. ALL CONSTRUCTION TO COMPLY WITH THE REQUIREMENT OF THE MASSACHUSETTS BLDG. CODE
6. NO CUTTING OR CHANNELING INTO THE BUILDING STRUCTURAL FLOOR, CEILING, COLUMNS OR BEAMS.
7. THERE SHALL BE NO INTERRUPTION OR RELOCATION OF BUILDING SERVICES, EXCEPT WITH THE CONSENT OF THE OWNER.
8. TEST EXISTING DIMMER SWITCHES THROUGHOUT FOR COMPATIBILITY WITH EXISTING LIGHTINGS TO AVOID FLICKERING. REPLACE SWITCH OR INSTALL DRIVER AS REQUIRED.
9. EXISTING ELECTRICAL OUTLETS/DATA PORTS TO REMAIN UNLESS OTHERWISE NOTED. ALL DEVICES SHOWN ON PROPOSED PLANS ARE IN ADDITION TO EXISTING DEVICES. ALL NEW DEVICES TO MATCH EXISTING SPECIFICATION.
10. SEE A-800 DRAWINGS FOR PROPOSED LIGHTING LAYOUTS/QUANTITIES.

WALL AND INTERIOR SURFACE SCHEDULE

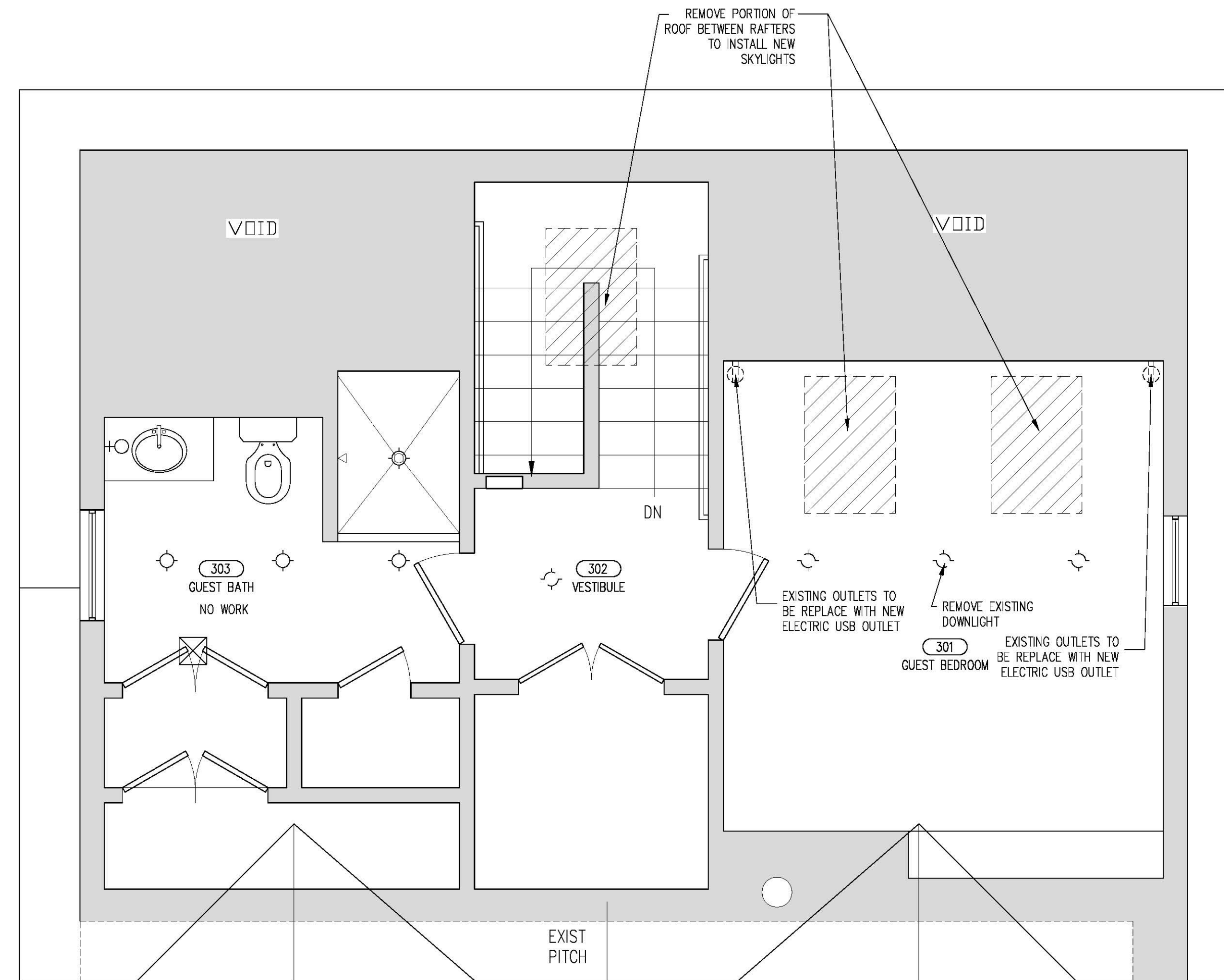
KEY	DESCRIPTION
	EXISTING WALL
	WALL TO BE DEMOLISHED

DEMOLITION NOTES:

1. SEAL ALL VENTILATION DURING DEMOLITION
2. PROVIDE PROPER MEMBRANE & FLASHING AROUND NEW SKYLIGHTS
3. ALL RECESSED DOWNLIGHTS NOT NOTED ARE TO BE REMOVED AND REPLACED WITH L01, ALL NOTED DOWNLIGHTS ARE TO BE REMOVED AND REPLACED WITH NEW SURFACE MOUNTED FIXTURE.



2 PROPOSED PLAN - 3RD FLOOR
3/8" = 1'-0"



1 DEMOLITION PLAN - 3RD FLOOR
3/8" = 1'-0"

DESIGNER

Frances Mildred

94 Prince Street, 2nd floor, New York, NY 10012
p-212.584.5660 www.francesmildred.com

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ISSUES

2022 FEBRUARY 03 FOR PERMIT

NO.	DATE	DESCRIPTION

SCAN

SEAL

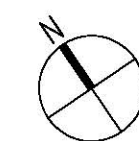
11 ELLSWORTH AVENUE
CAMBRIDGE, MA 02139
FM PROJECT 2102

DRAWING STATUS
FOR PERMIT

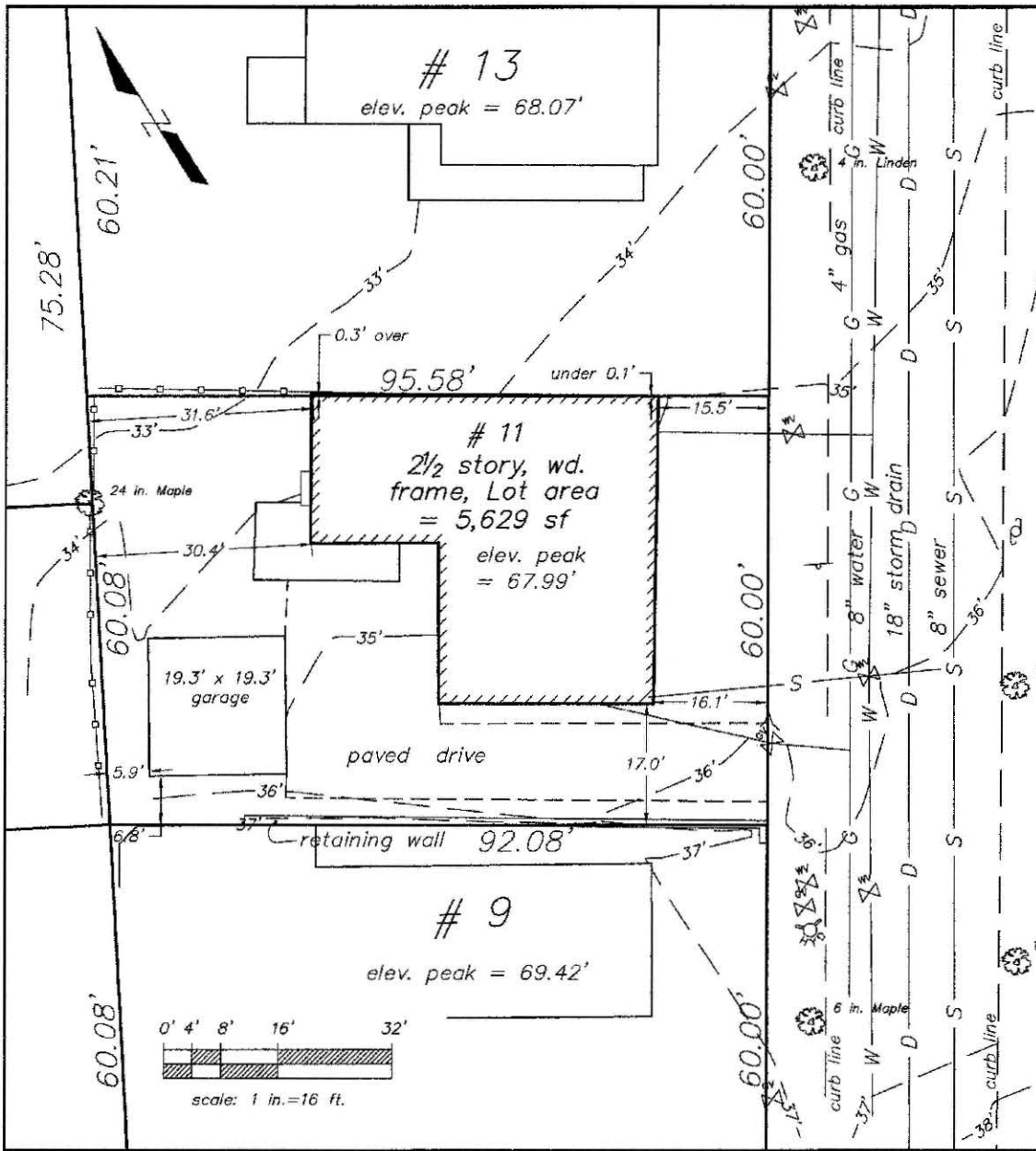
DATE
2022 FEBRUARY 03

SCALE
3/8" = 1'-0"

DEMO & PROPOSED PLANS
3RD FL



A-204.00



This plan is based on an instrument survey performed on May 20, 2015. It shows the existing conditions at the subject parcel.

Utility information is compiled from surface features and Cambridge city records. Elevations are on Cambridge City Base.

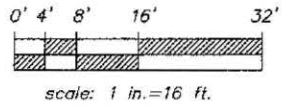
Existing Conditions
 PLAN OF LAND
 in the
 CITY OF CAMBRIDGE
 at
 # 11 Ellsworth Avenue
 owned by
 11 Ellsworth Ave, LLC

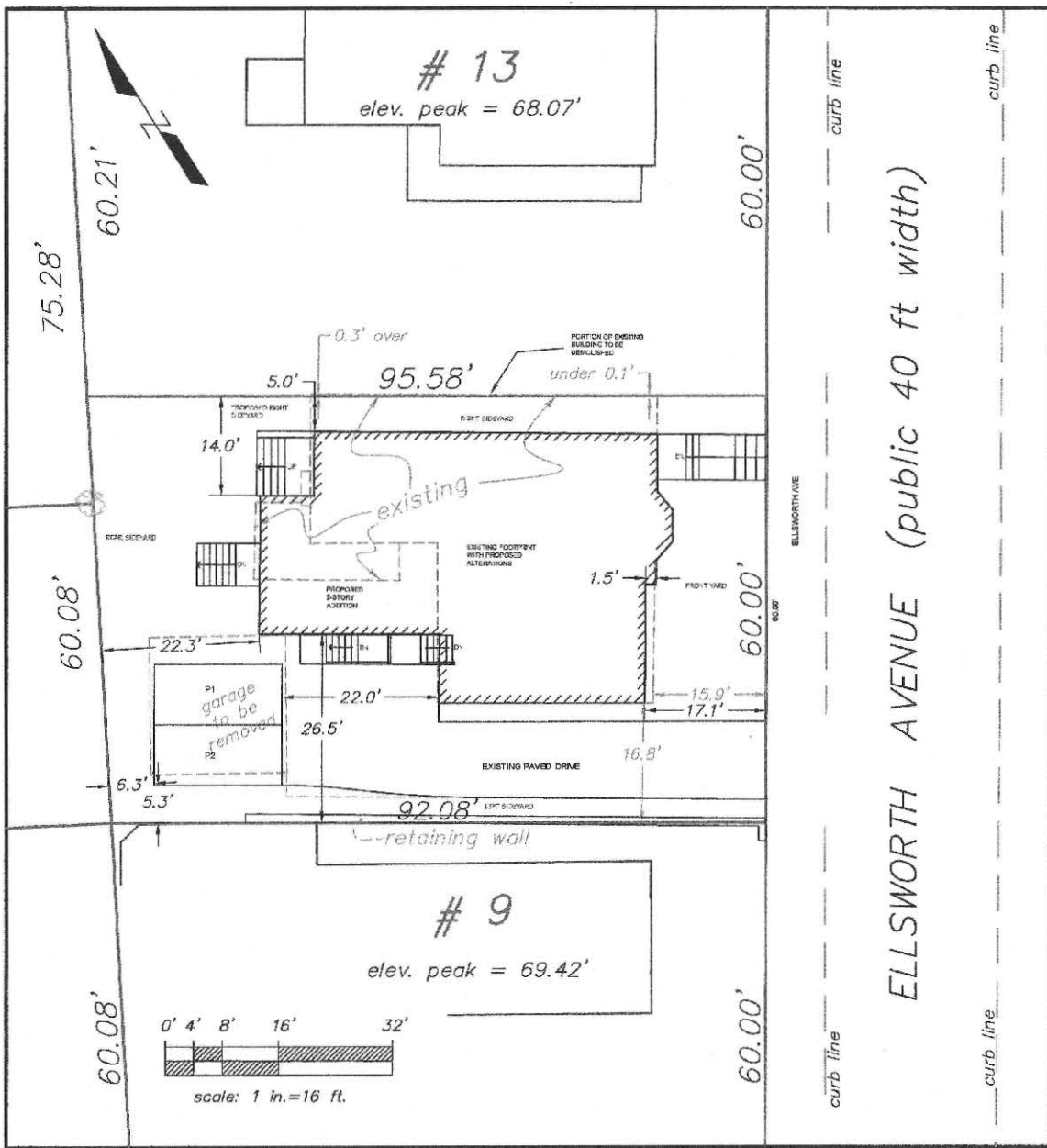


Peter R. McManus 5-28-15
 Peter R. McManus P.L.S.

TERRA NOVA SURVEY CONSULTANTS
 1685 South Street
 Bridgewater, MA 02324

Date: May 28, 2015
 Scale: 1 in. = 16 ft.

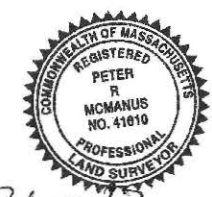




This plan is based on an instrument survey performed on May 20, 2015. It shows the existing conditions at the subject parcel.

Existing is shown in gray dashed lines, proposed shown in black solid lines with hatching.

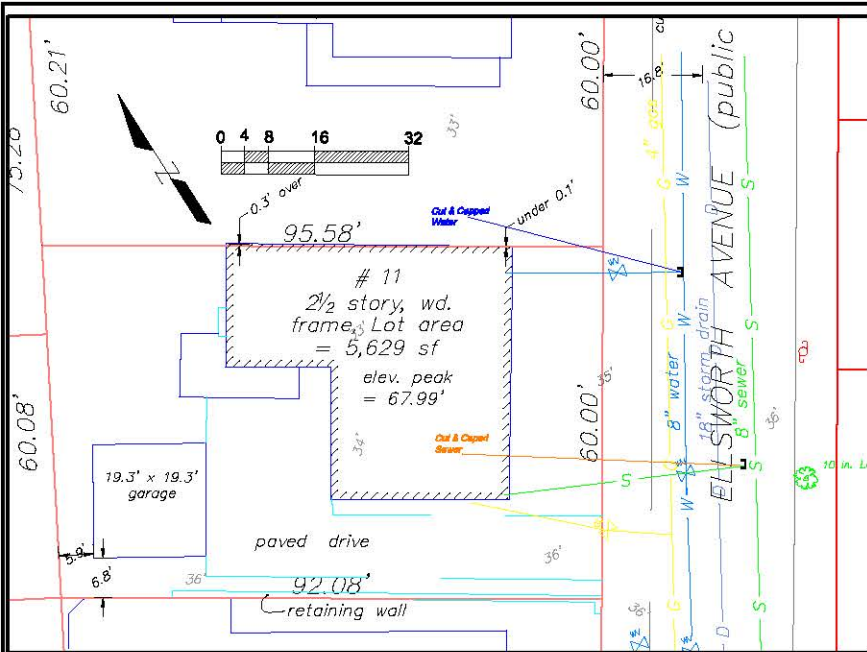
Existing with Proposed
 PLAN OF LAND
 in the
 CITY OF CAMBRIDGE
 at
 # 11 Ellsworth Avenue
 owned by
 11 Ellsworth Ave, LLC



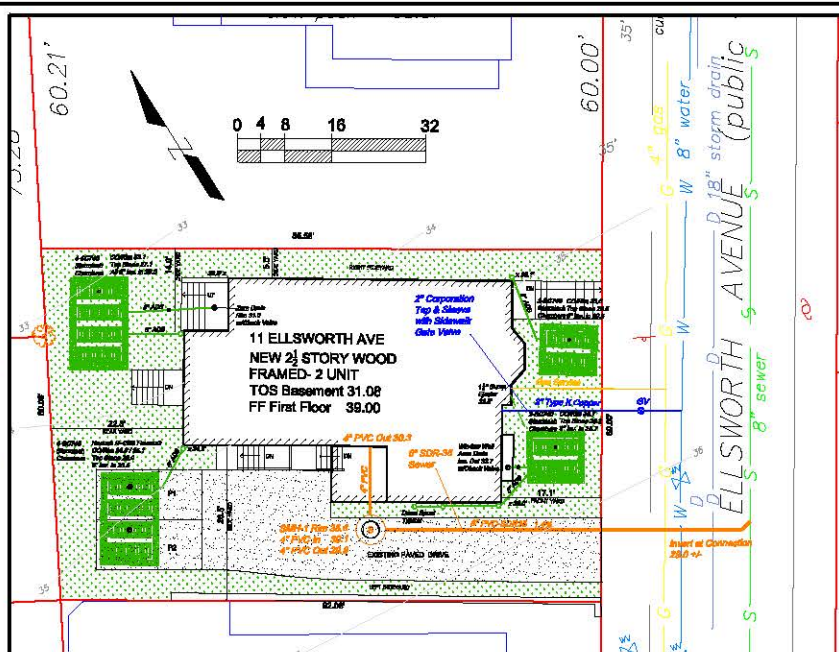
Peter R. McManus 8-17-15
 Peter R. McManus P.L.S.

TERRA NOVA SURVEY CONSULTANTS
 1685 South Street
 Bridgewater, MA 02324

Date: August 17, 2015
 Scale: 1 in. = 16 ft.



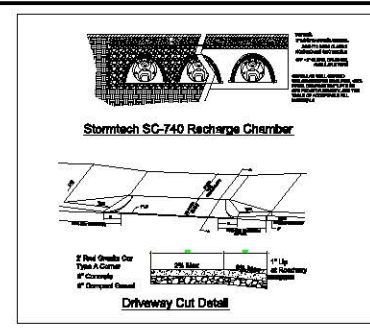
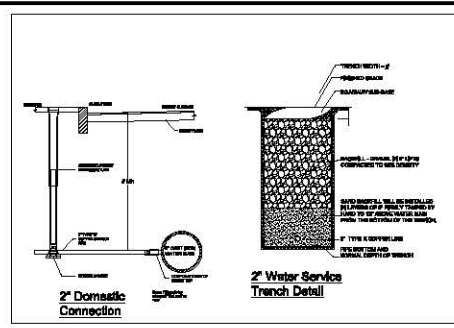
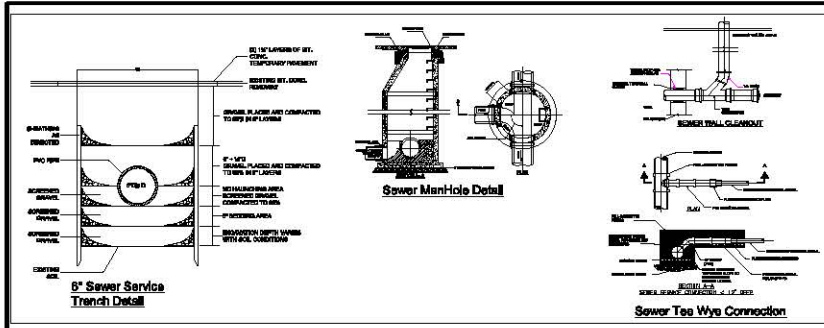
Existing Site Plan



Proposed Site Plan

Notes:

- Existing Impervious Area: 3,401sf
- Proposed Impervious Area: 2,990sf
- Stormwater Calculations under separate cover, to be reviewed by DPW.
- 2" Water Service assumed adequate Plumber to calculate demand of service based on flow test and fixtures.
- Sewer invert on street to be confirmed.
- Existing Sidewalk and curbcut to remain Protect existing public sidewalk pavers Install silt sock erosion control around entire site during construction
- Refer to Lanscape plan for layout and materials
- Refer to Proposed Plot Plan for setbacks and plan references
- Refer to Foundation Plan for Footing details and grades.
- All work per City of Cambridge DPW and Construction documents by POA



Details nts

Fergal Brennock P.E.
 71 Lovell Road
 Watertown, MA 02472
 617 828 0376
 fergalbrennock@hotmail.com

Title: Site Plan CD Set 12-10-15
Scale: Plan: 1" = 10'
Revisions:
Date: December 10, 2015

Project
 Site Plan
 11 Ellsworth Ave
 Cambridge, MA
 Drawing **C1.0**

City of Cambridge:

01
ROOF PLAN
1/8" = 1'-0"

9 ELLSWORTH AVENUE

11 ELLSWORTH AVENUE

NEW SKYLIGHT

13 ELLSWORTH AVENUE

PROPERTY LINE

EXISTING SKYLIGHT

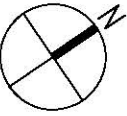
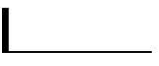
EXISTING SKYLIGHT

02
SK-4

01
SK-4

7'-6"

9'-4"



PROPOSED ROOF PLAN

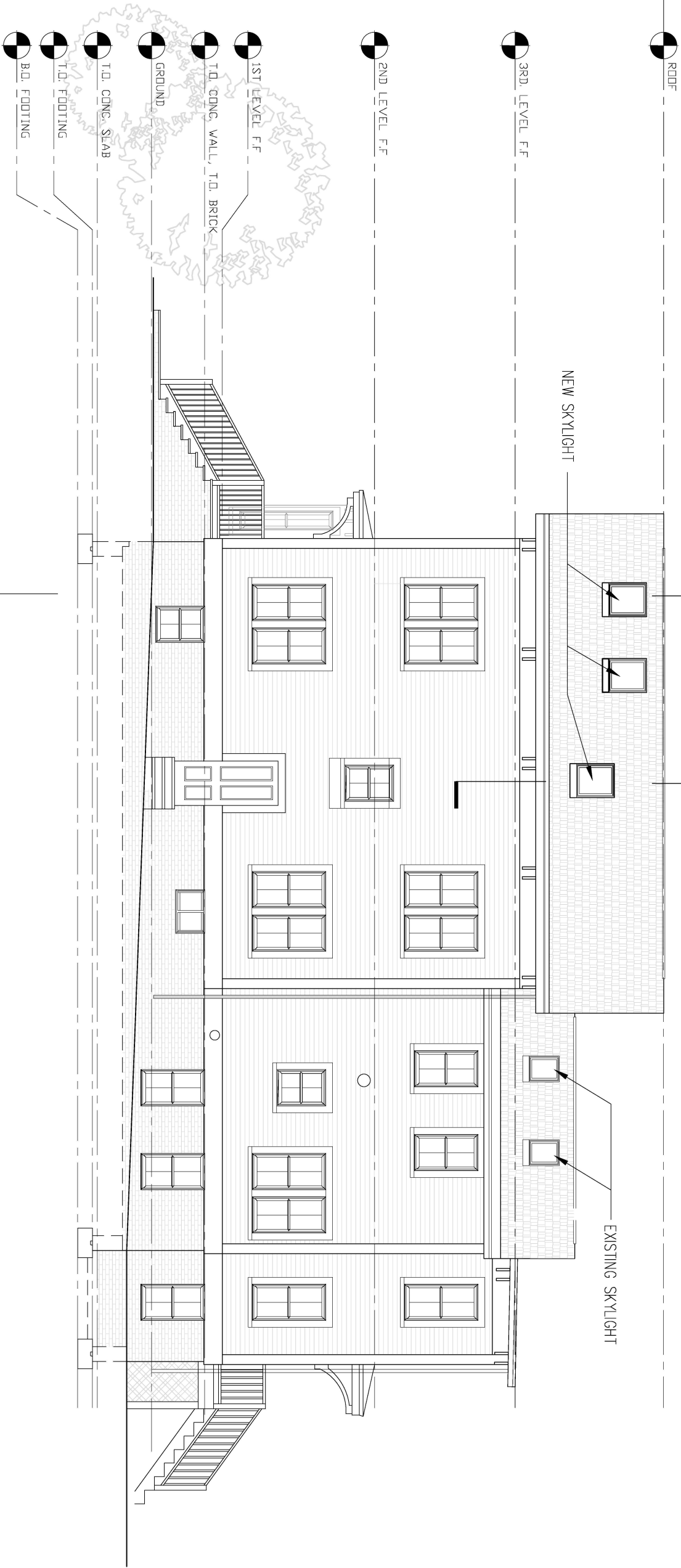
DRAWING STATUS
FOR PERMIT
DATE
JANUARY 21, 2022
SCALE
1/8"=1'-0"

FM PROJECT 2102
11 ELLSWORTH AVENUE
CAMBRIDGE, MA 02139

Frances Mildred
94 PRINCE STREET, 2ND FLOOR
NEW YORK, NY 10012 P 212 584 5660
WWW.FRANCESMILDRED.COM

SK-004.00

1 OF 3



01
EXTERIOR ELEVATION NORTH
1/8" = 1'-0"

EXTERIOR ELEVATION
NORTH

SK-004.00

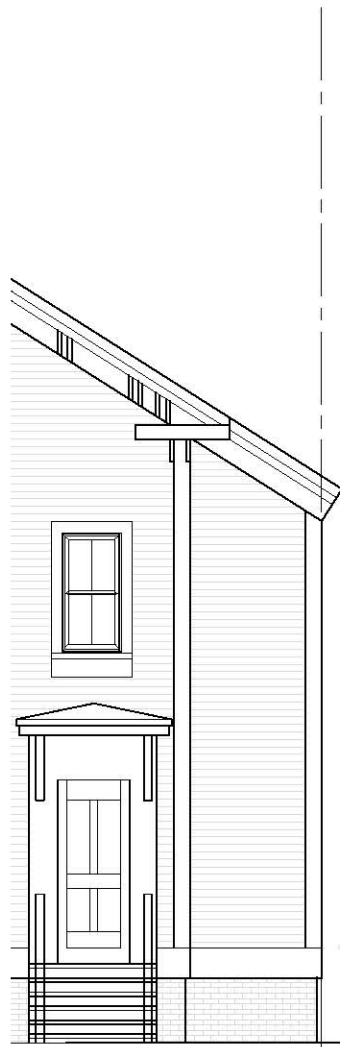
2 OF 3 1/8"=1'-0"

DRAWING STATUS
FOR REVIEW
DATE
JANUARY 21, 2022
SCALE

FM PROJECT 2102
11 ELLSWORTH AVENUE
CAMBRIDGE, MA 02139

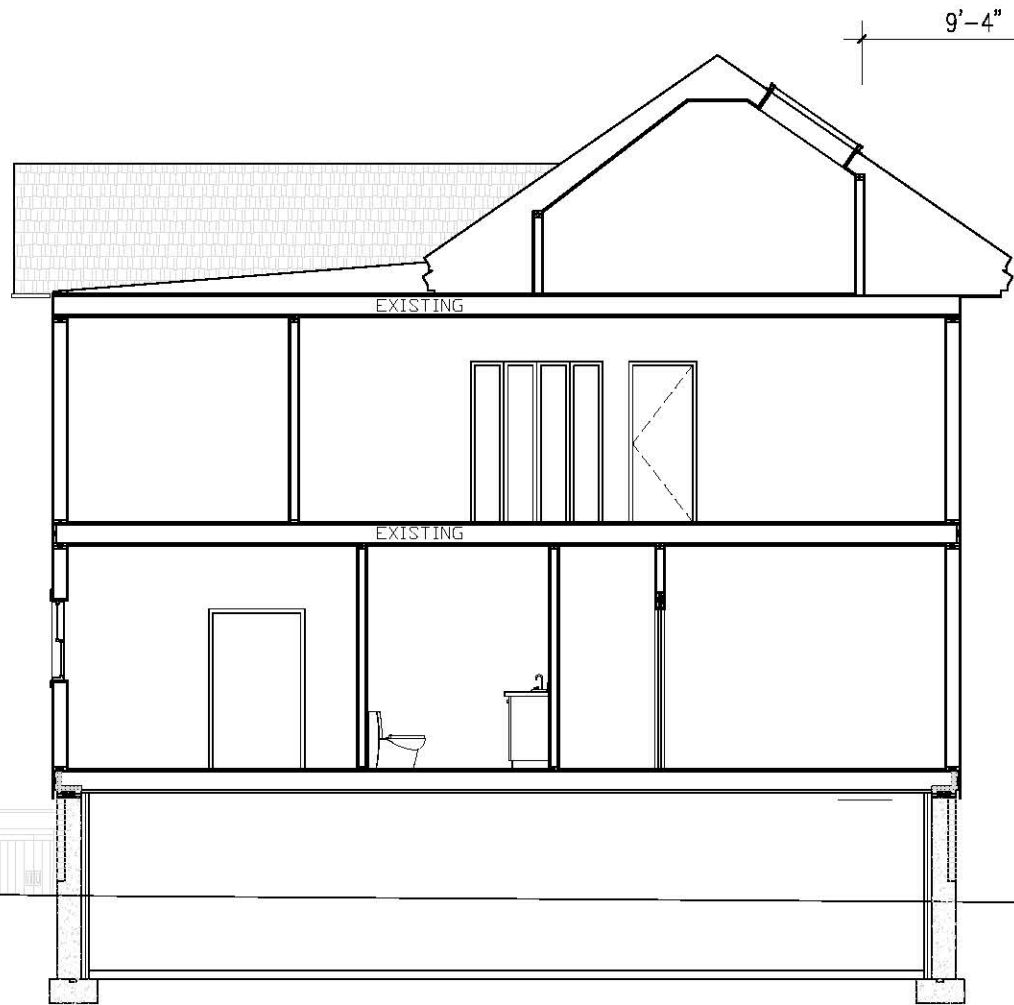
Frances Mildred

94 PRINCE STREET, 2ND FLOOR
NEW YORK, NY 10012 P 212 584 5660
WWW.FRANCESMILDRED.COM



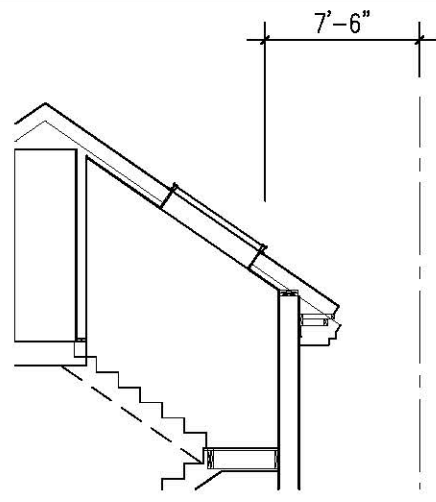
9 ELLSWORTH AVENUE
PROPERTY LINE

01 BUILDING SECTION SOUTH-NORTH
1/8" = 1'-0"



11 ELLSWORTH AVENUE

02 PARTIAL BUILDING SECTION SOUTH-NORTH AT STAIR
1/8" = 1'-0"



13 ELLSWORTH AVENUE

PROPERTY LINE



11 Ellsworth Ave - Unit 1









Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histncds@cambridgema.gov
www.cambridgema.gov/historic/districtsHistoricProperties/midcambridgencd

Tony Hsiao, *Chair*, Lestra Litchfield, *Vice Chair*
Monika Pauli, Charles Redmon, *Members*
Margaret McMahon, *Alternate*

CERTIFICATE OF NON-APPLICABILITY

Property: 11 Ellsworth Avenue

Applicant: Andrew Thompson

The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the order establishing said district that the work described below does not involve any activity requiring issuance of a Certificate of Appropriateness or Hardship:

Additional skylight. Total area of proposed three skylights does not exceed 1/3 of roof area.

Permit #161669

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding six months each may be allowed in writing by the Chair.

Case Number: MC-6385

Date of Certificate: February 18, 2022

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on February 18, 2022.

By Tony Hsiao/aac, Chair

Twenty days have elapsed since the filing of this decision. No appeal has been filed ____ .
Appeal has been filed ____ . Date _____ City Clerk:

11 Ellsworth Ave #1

Petitioner

112-4
SOLEM, RACHEL K. & BRIANA PEARSON
14 ELLSWORTH AVE
CAMBRIDGE, MA 02139

139-44
HILLTOP REAL ESTATE LLC
52 DANA ST., # 1
CAMBRIDGE, MA 02138

ANDREW THOMPSON
12 LANGDON AVENUE
WATERTOWN, MA 02472

139-47
BRIMLEY, RICHARD E. ELEANOR R BRIMLEY
60 DANA ST
CAMBRIDGE, MA 02138-4309

139-48
NAEF, EDWARD & JANA NAEF
62 DANA ST
CAMBRIDGE, MA 02139

POMEROY & CO.
C/O AARON PAUL
18 SPICE STREET
BOSTON, MA 02129

139-50
DOEBELE, JUSTIN W., SAMUEL K. & WILLIAM L.
C/O OXFORD STREET REALTY, INC.
1644 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

139-67
RODRIQUES, LOUIS A & ROBBE BURNSTINE
TR. OF THE ROBBE BURNSTINE REVOC TRUST
7 ELLSWORTH AVE
CAMBRIDGE, MA 02139

139-93
SABBEY, JOHN G. & ESTHER C SABBEY
15 ELLSWORTH AVE
CAMBRIDGE, MA 02139-1009

112-137
GRIGGS, TAMARA & PHILIPPE CLUZEL
10-12 ELLSWORTH AVE., #2
CAMBRIDGE, MA 02139

139-65
PAUL, AARON B. & HANNAH E. PAUL
11 ELLSWORTH AVE. UNIT 1
CAMBRIDGE, MA 02139

112-5
HARRINGTON, THERESA JANICE TINGLE &
ELAINE V. HARRINGTON
16 ELLSWORTH AVE
CAMBRIDGE, MA 02139

139-44
JACKSON, JEAN E.
52-54 DANA ST 3
CAMBRIDGE, MA 02138-4309

139-49
MEDEIROS, R. MARGARET
TR OF R.MARGARET MEDEIROS FAMILY TRUST.
64 DANA ST
CAMBRIDGE, MA 02138

139-66
CORNING, JR. ROBERT M, LAUREN J. CORNING
20 SOMERSET ST
BELMONT, MA 02478

112-137
KREILKAMP, THOMAS A. VERA KREILKAMP, TRS
10-12 ELLSWORTH AVE 1
CAMBRIDGE, MA 02138

139-46
SHOWERS ALEXANDER J & KATHERINE C PHILLI
58 DANA ST
CAMBRIDGE, MA 02139

139-65
11 ELLSWORTH HOLDING LLC
11 ELLSOWRTH AVE
CAMBRIDGE, MA 02139

139-45
CARVALHO, BRUNO M. MICHAEL E. ROZAS
56 DANA ST
CAMBRIDGE, MA 02138

139-44
GROSS, LISA
52 DANA ST., #2
CAMBRIDGE, MA 02138

139-64
SCHIRM. CLAIR W., JR., PAMELA J. SCHIRM
PETER K. SHEFFIELD III & MELANIE M.
13 ELLSWORTH AVE
CAMBRIDGE, MA 02139

March 6, 2022

To: Cambridge Zoning Committee

To Whom It May Concern:

This letter is in regards to the proposed sky lights at 11 Ellsworth Ave, Unit 1. Many of the houses on our street have third floor skylights, in fact both of our direct neighbors have multiple skylights. Well-placed skylights, as are the proposed at 11, in no way interfere with any neighbors or our beautiful Ellsworth Ave streetscape.

I would argue that the skylights improve the neighborhood, allowing families to have better use of their 3rd floors. Especially now that so many of us are working from home full or at least part-time, having an additional well-lit room makes a world of difference. I myself work from home full-time and greatly appreciate the extra light. I know that will also be the use case for the family living at 11 Ellsworth.

Thank you,

Kellan Hays
17 Ellsworth Ave
Cambridge MA 02139



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Andrew Thompson Date: 3/4/22
(Print)

Address: 11 Ellsworth Ave #1

Case No. BZA-16/469

Hearing Date: 3/24/22

Thank you,
Bza Members