



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 FEB 17 PM 12:25

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 163050

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: 133 Fayerweather Street LLC C/O Daniel P Anderson

PETITIONER'S ADDRESS: Anderson Porter Design, Cambridge, MA 02140

LOCATION OF PROPERTY: 133 Fayerweather St., Cambridge, MA

TYPE OF OCCUPANCY: Residential two-family **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

The proposed project at 133 Fayerweather proposes the extension of two existing non-conformities, FAR and side yard encroachment by the addition of a third floor. Changes to window openings in the non conforming side yard elevations are proposed.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
- Article: 8.000 Section: 8.22.2.D & 8.22.2.C (Non-Conforming Structure).
- Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

DANIEL P. ANDERSON

(Print Name)

Address:

1972 MASS AVE 4TH FL CAMB-40

Tel. No.

617 794 2371

E-Mail Address:

dan@andersonporter.com

Date: 2.16.2022

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We 133 Fayerweather Street LLC
(OWNER)

Address: 1 Garfield Circle, Unit 6, Burlington, MA 01803

State that I/We own the property located at 133 Fayerweather Street, Cambridge, MA 02138, which is the subject of this zoning application.

The record title of this property is in the name of 133 Fayerweather Street LLC

*Pursuant to a deed of duly recorded in the date 01/18/2022, Middlesex South County Registry of Deeds at Book N/A, Page N/A; or Middlesex Registry District of Land Court, Certificate No. 278450
Book 1584 Page 84.



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

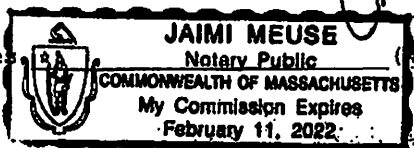
***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name OZAN DOKMECIOGLU personally appeared before me, this 10th of February, 2022, and made oath that the above statement is true.



Notary

My commission expires:  (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 133 Fayerweather St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed project at 133 Fayerweather proposes the extension of two existing non-conformities, FAR and side yard encroachment by the addition of a third floor. Changes to window openings in the side yard elevations are proposed. The proposed project remains a two-family duplex and improves the overall design and construction quality of the building.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No increase in traffic, access or egress is proposed. The proposed addition conforms with height limits and is in keeping with the mix of two- and three-story structures found in the neighborhood and zoning district generally.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No change in the existing permitted residential use. The proposed project is consistent in use with the surrounding neighborhood and adjacent residential uses and does not adversely affect continued or future adjacent uses.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No change in the existing permitted residential use will occur. The project will not create any nuisance or hazard to the detriment of health, safety or welfare of its occupants or citizens.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed project will not impair the integrity of the district or otherwise derogate from the intent or purpose of this ordinance as it improves the overall character of the

residence. The project exceeds the minimum open space requirements and proposes no increase in footprint or lot coverage.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: 133 Fayerweather Street LLC
Location: 133 Fayerweather St., Cambridge, MA
Phone: 617 794 2371

Present Use/Occupancy: Residential two-family
Zone: Residence B Zone
Requested Use/Occupancy: Residential two-family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2909.6	4505.5	2386	(max.)
<u>LOT AREA:</u>		4772	4772	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		0.6	0.95	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2386	2386	2500	
<u>SIZE OF LOT:</u>	WIDTH	41.17	41.17	50	
	DEPTH	91.95	91.95	100	
<u>SETBACKS IN FEET:</u>	FRONT	22.9	22.9	15	
	REAR	28.4	28.4	25	
	LEFT SIDE	7.4	7.4	12.5	
	RIGHT SIDE	3.2	3.2	7.5	
<u>SIZE OF BUILDING:</u>	HEIGHT	27.2	34.75	35	
	WIDTH	41.17	41.17	na	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		63%	63%	40%	
<u>NO. OF DWELLING UNITS:</u>		2	2	2	
<u>NO. OF PARKING SPACES:</u>		0	0	2	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		na	na	na	

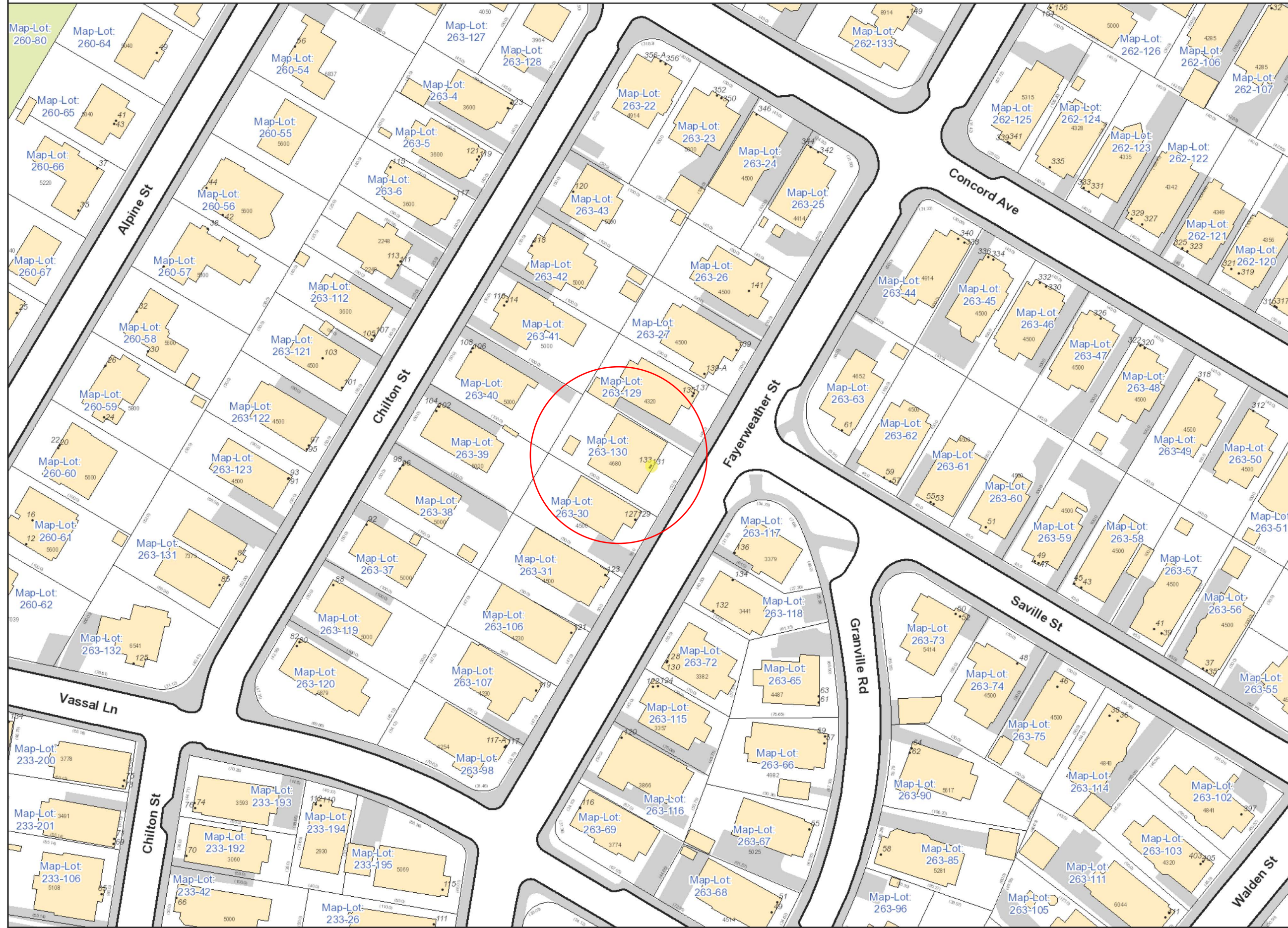
Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

*No other occupancies on the same lot, no other buildings or structures on the same lot.
 Proposed enclosure of rear porches and addition to third floor. Construction type is wood frame.*

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

LEGEND

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath



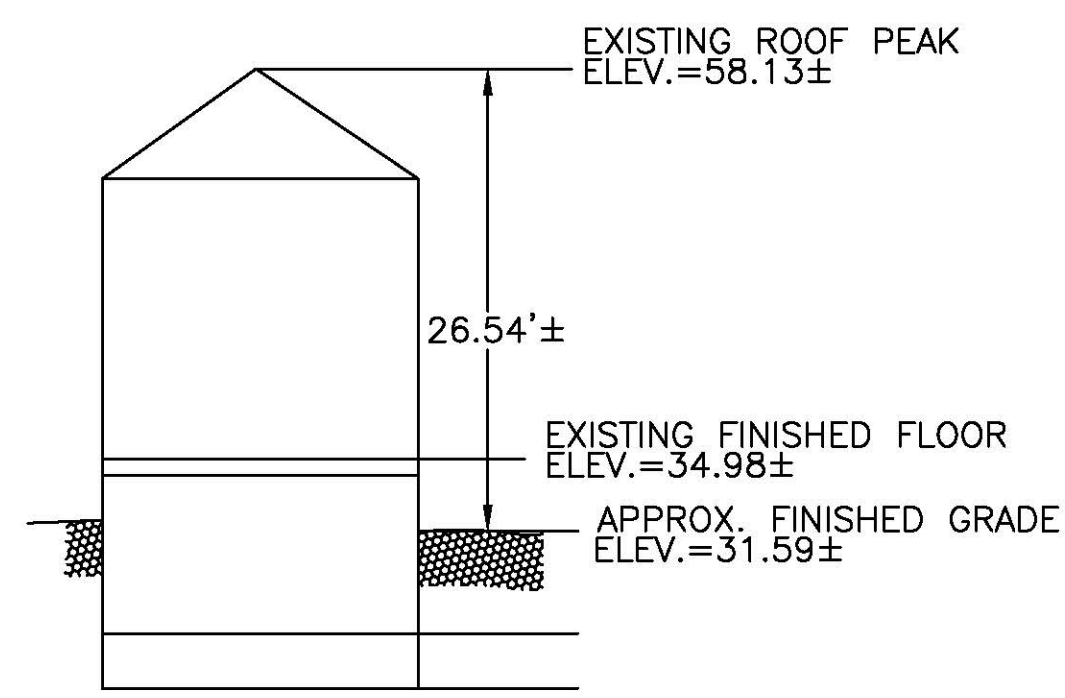
City of Cambridge
Massachusetts

1" = 69 ft

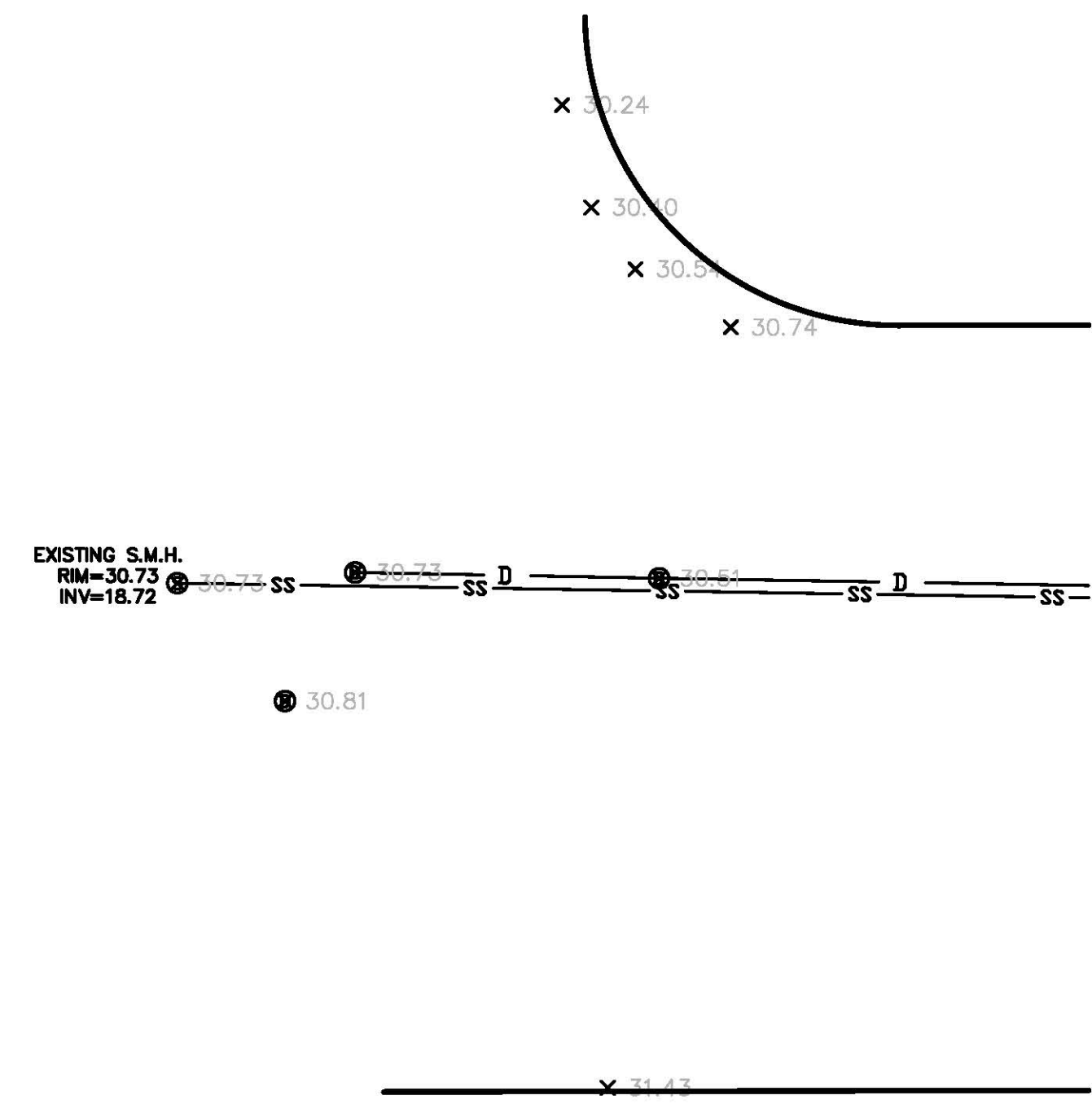
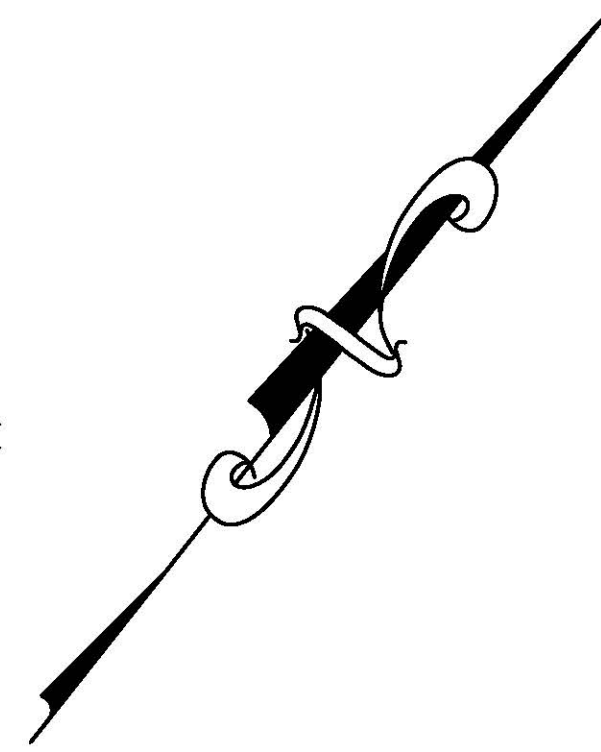
All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

www.cambridgema.gov/gis

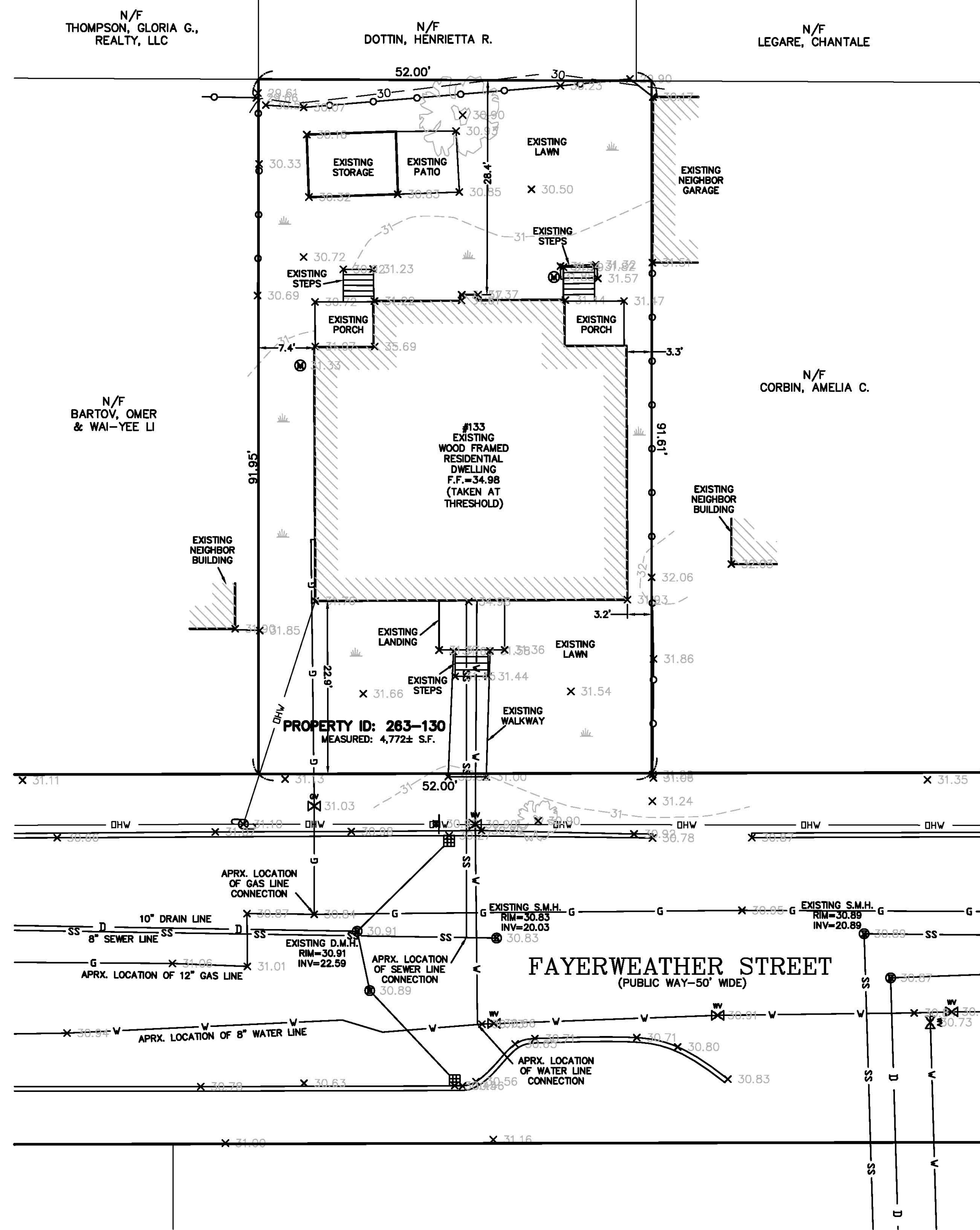
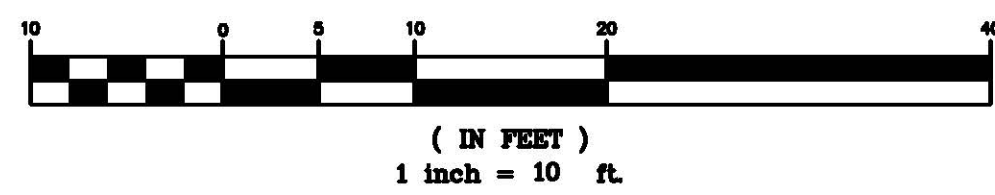




EXISTING PROFILE
NOT TO SCALE



GRAPHIC SCALE



LEGEND	
□	BOUND
○	IRON PIN/PIPE
⊙	STONE POST
⊗	TREE
⌒	TREE STUMP
⊕	SHRUBS/FLOWERS
⊖	SIGN
○	BOLLARD
⊙	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊗	CATCH BASIN
⊕	WATER MANHOLE
⊖	WATER VALVE
⊗	HYDRANT
⊕	GAS VALVE
⊙	ELECTRIC MANHOLE
⊕	ELECTRIC HANDHOLE
⊖	UTILITY POLE
⊗	LIGHT POLE
⊕	MANHOLE
⊗	SPOT GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
▨	EXISTING BUILDING
▨	RETAINING WALL
▨	STONE WALL
○	FENCE
⌒	TREE LINE
—S—	SEWER LINE
—D—	DRAIN LINE
—W—	WATER LINE
—G—	GAS LINE
—E—	UNDERGROUND ELECTRIC LINE
—OHW—	OVERHEAD WIRES
—145—	CONTOUR LINE (MJR)
—146—	CONTOUR LINE (MNR)

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.
2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197
PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 16992A
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.

SCALE 1"=10'			
DATE 12/08/21	REV	DATE	REVISION
SHEET 1			BY
PLAN NO. 1 OF 1	133 FAYERWEATHER STREET CAMBRIDGE MASSACHUSETTS		
CLIENT:	EXISTING CONDITIONS PLAN		
DRAWN BY OB	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
CHKD BY P.J.N			
APPD BY P.J.N			
			SHEET NO. 1

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

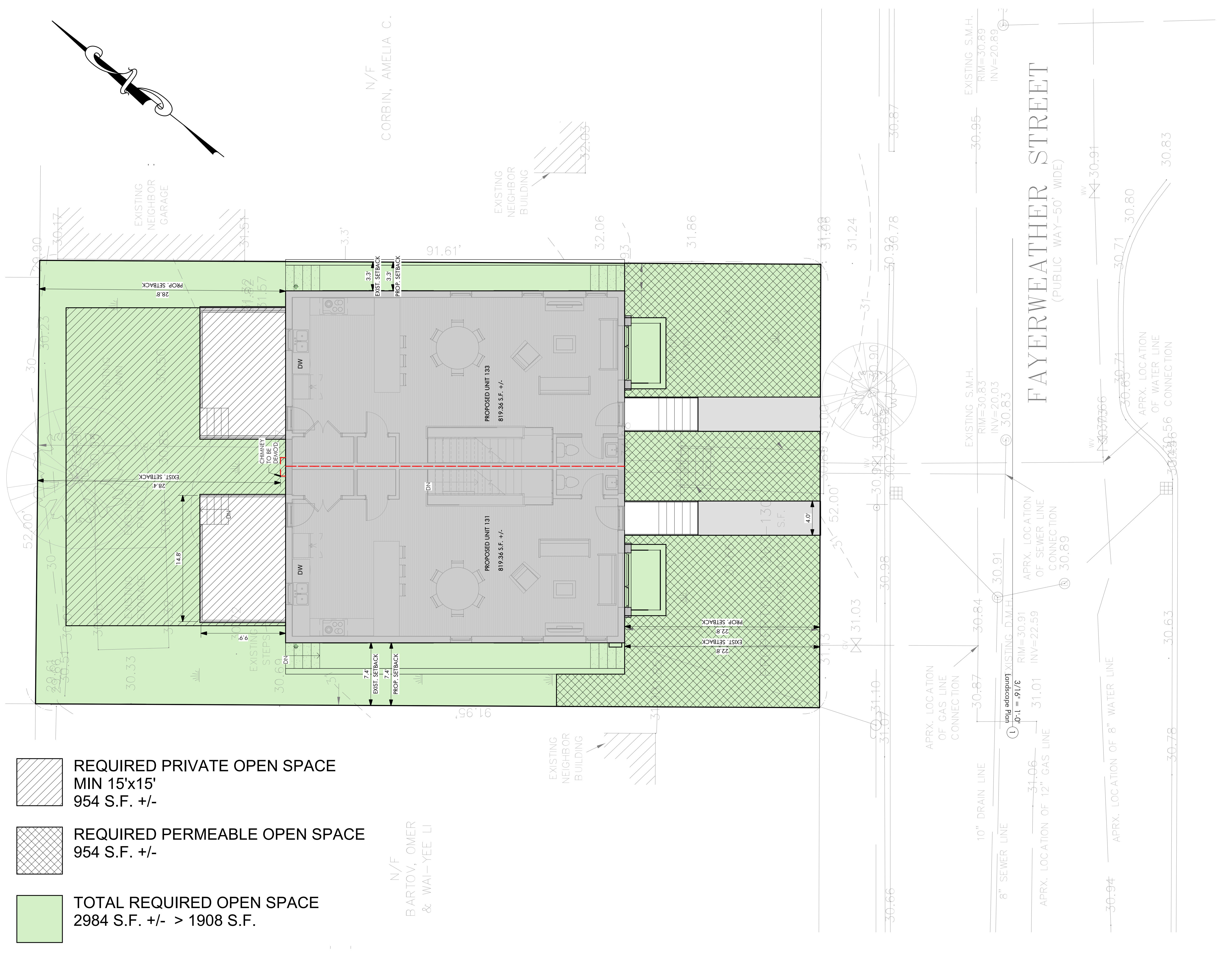
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

PROPOSED SITE PLAN

Drawing Issued By:	ANDERSON PORTER DESIGN
Project #:	2125
Date:	2022.02.15
Scale:	3/16" = 1'-0"
Drawn by:	AR.S.

L1.1



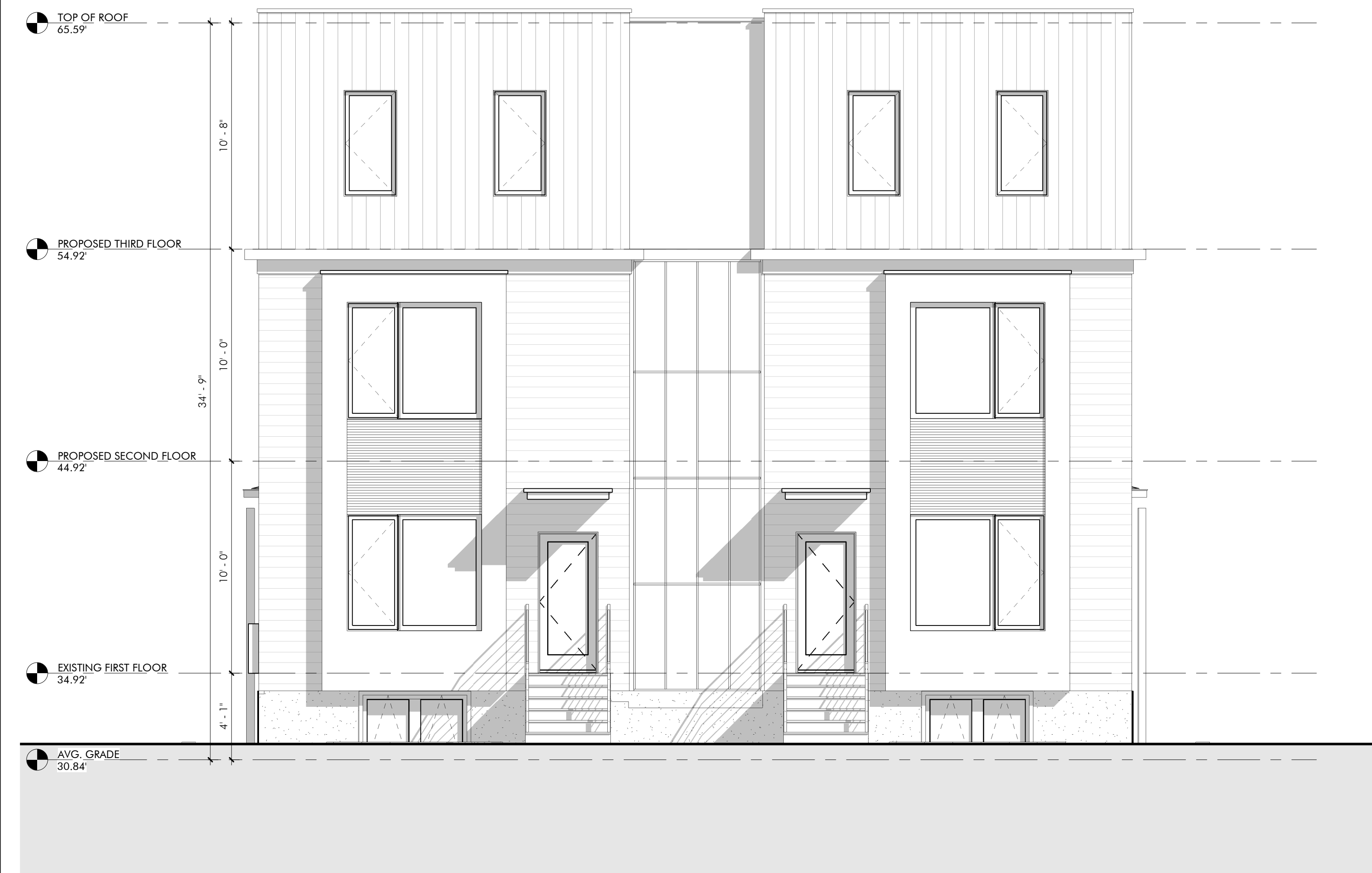
- REQUIRED PRIVATE OPEN SPACE**
MIN 15'x15'
954 S.F. +/-
- REQUIRED PERMEABLE OPEN SPACE**
954 S.F. +/-
- TOTAL REQUIRED OPEN SPACE**
2984 S.F. +/- > 1908 S.F.

ZONING CHART - CAMBRIDGE

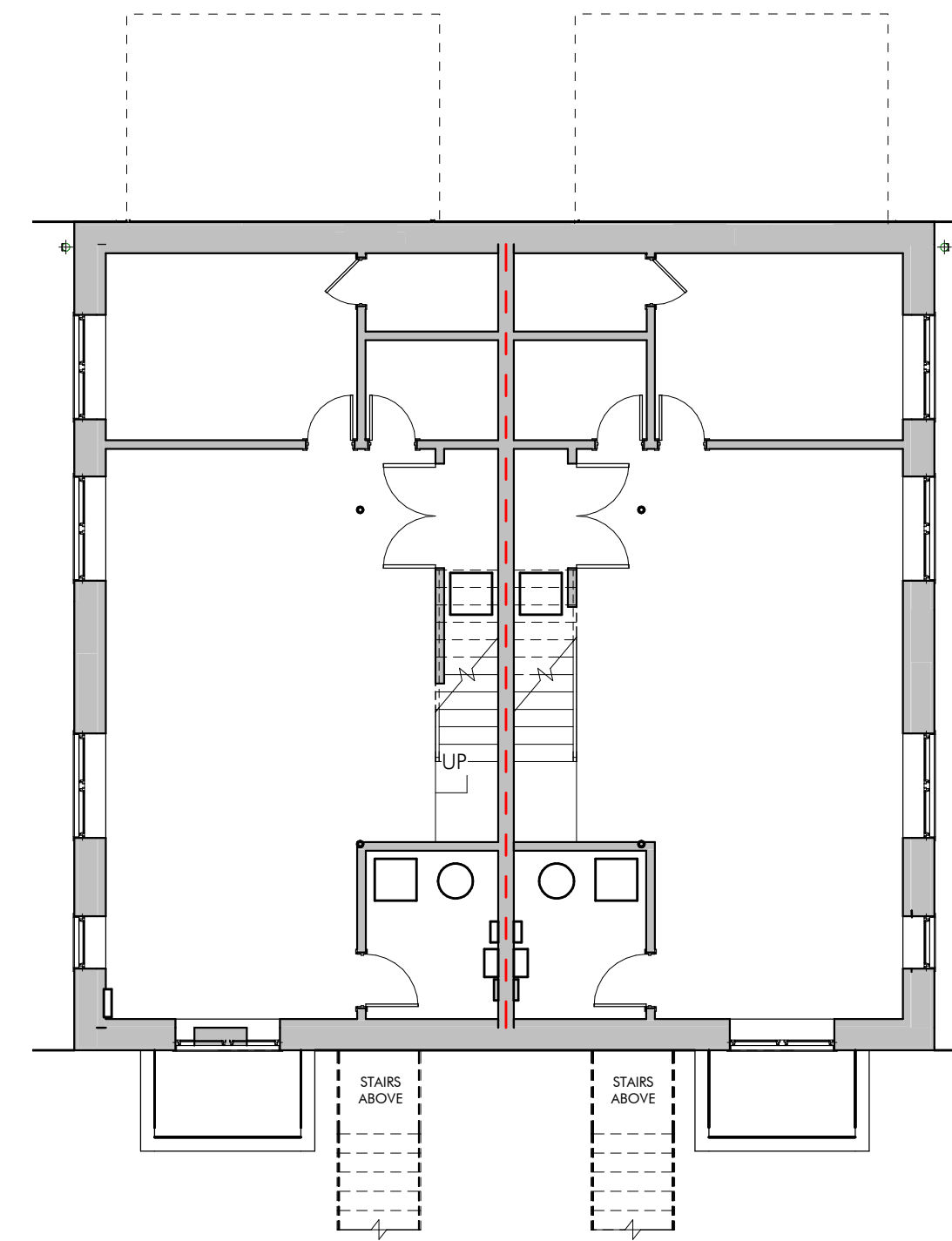
LOT SIZE:	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	B ZONE	B ZONE	B ZONE	COMPLIES
USE	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	COMPLIES
MIN LOT SIZE	5,000 S.F.	4,772 +/- S.F.	4,772 +/- S.F.	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	2,500 S.F.	2,386 S.F.	2,386 S.F.	EXISTING NON CONFORMING
MAX FLOOR AREA RATIO (FAR)	0.50	0.60	0.95	EXISTING NON CONFORMING
MAX BUILDING HEIGHT	35'	27.2'	34.75'	COMPLIES
MIN. YARD SETBACKS				
FRONT	15'	22.9'	22.9'	COMPLIES
RIGHT SIDE	7.5' SUM TO 20'	3.2'	3.2'	EXISTING NON CONFORMING
LEFT SIDE	7.5' SUM TO 20'	7.4'	7.4'	EXISTING NON CONFORMING
REAR	25'	28.4'	28.4'	COMPLIES
MIN LOT WIDTH	50'	52'	52'	COMPLIES
PARKING REQUIREMENTS	1 PER DWELLING UNIT	0 SPOTS	0 SPOTS	EXISTING NON CONFORMING
TOTAL OPEN SPACE, MIN % OF LOT	40% = 1908.80 S.F.	63% = 2994.21 S.F. +/-	63% = 2994.21 S.F. +/-	COMPLIES
PRIVATE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	56% = 2691.26 S.F. +/-	56% = 2691.26 S.F. +/-	COMPLIES
PERMEABLE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	25% = 1175.45 S.F. +/-	25% = 1175.45 S.F. +/-	COMPLIES
BICYCLE PARKING	N/A	0 SPOTS	0 SPOTS	COMPLIES

FOOTNOTES:

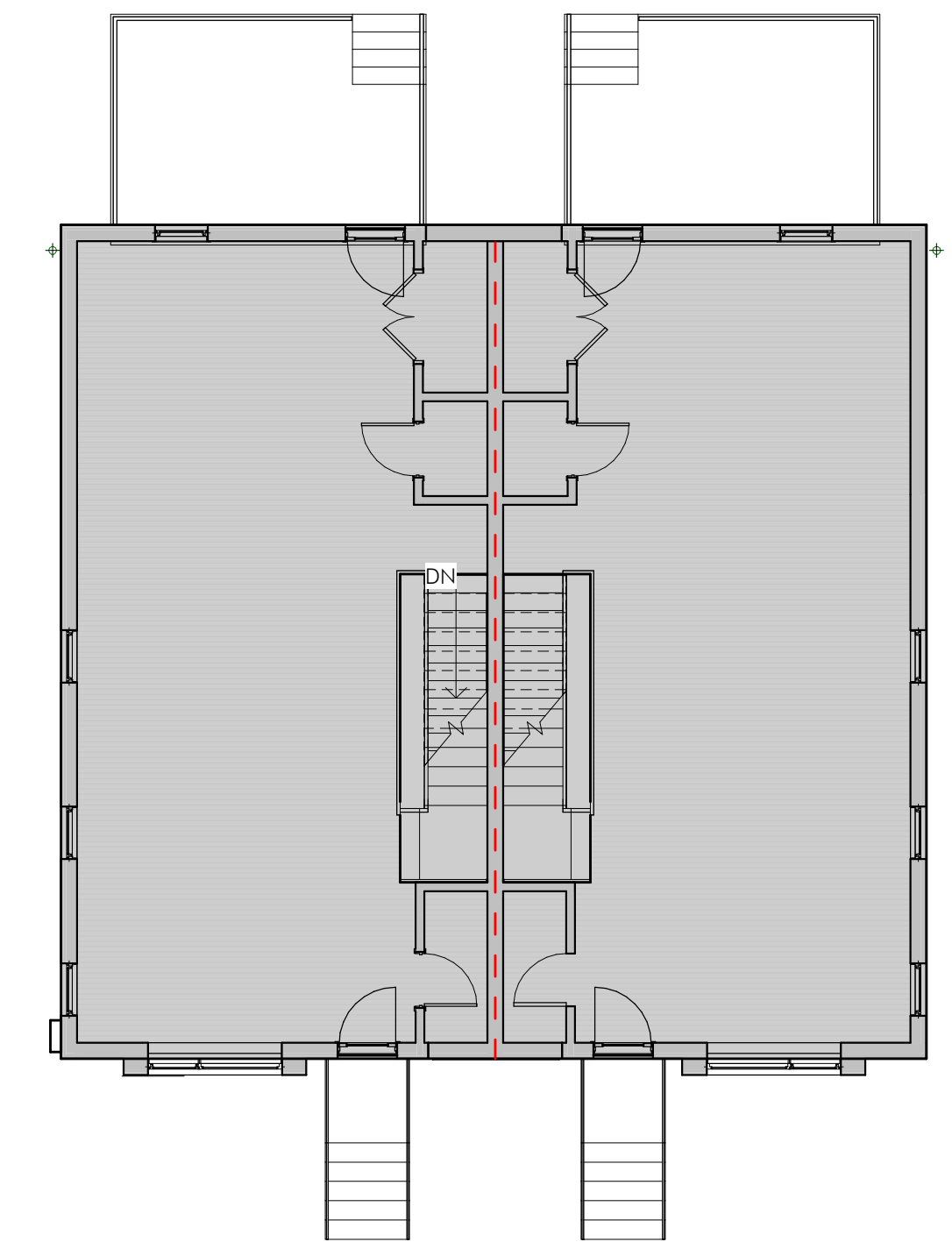
- Identifying rear yard set back
- Min. distance between buildings: Sum of Heights/6 or 10'-0", whichever is greater.



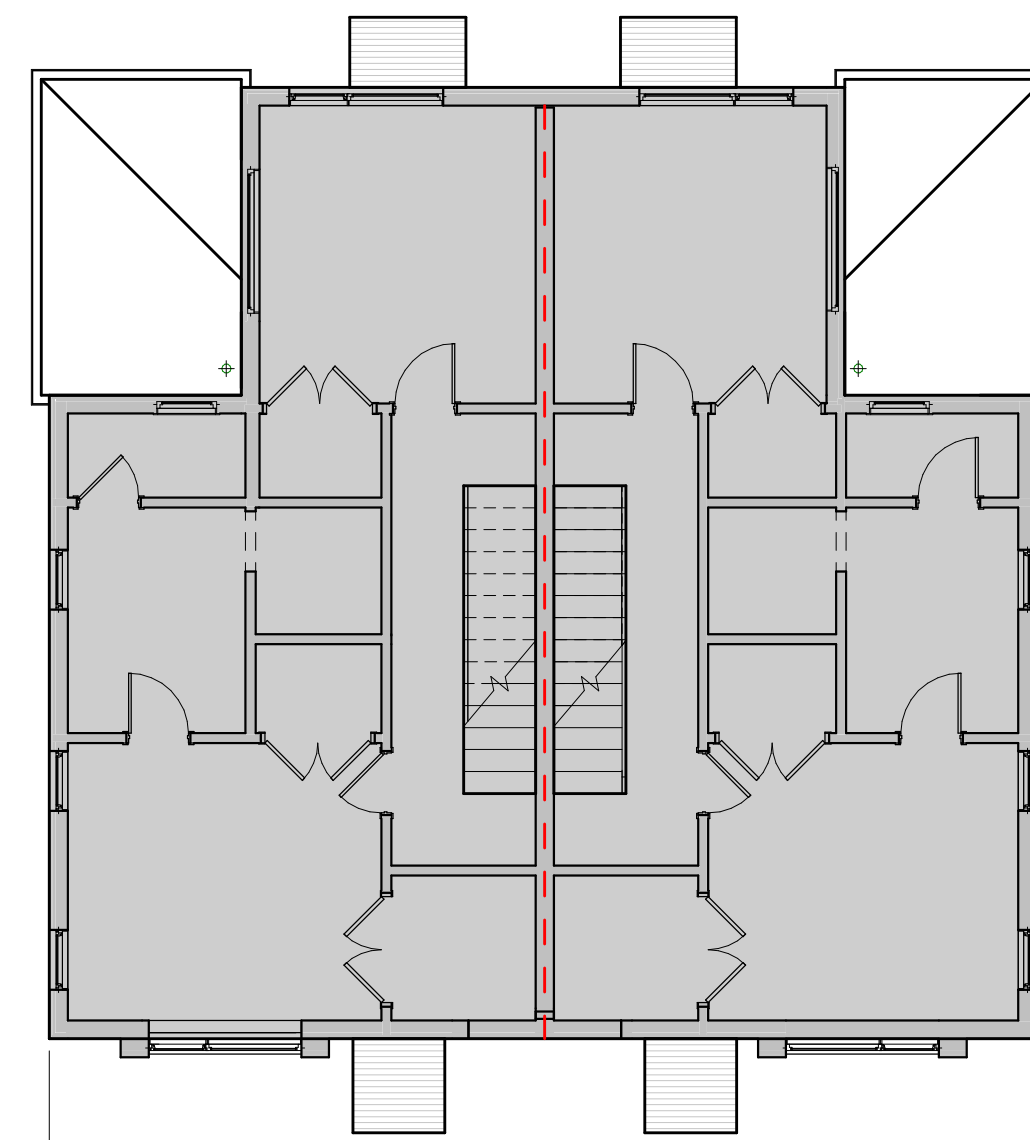
5 AREA ELEVATION
1/4" = 1'-0"



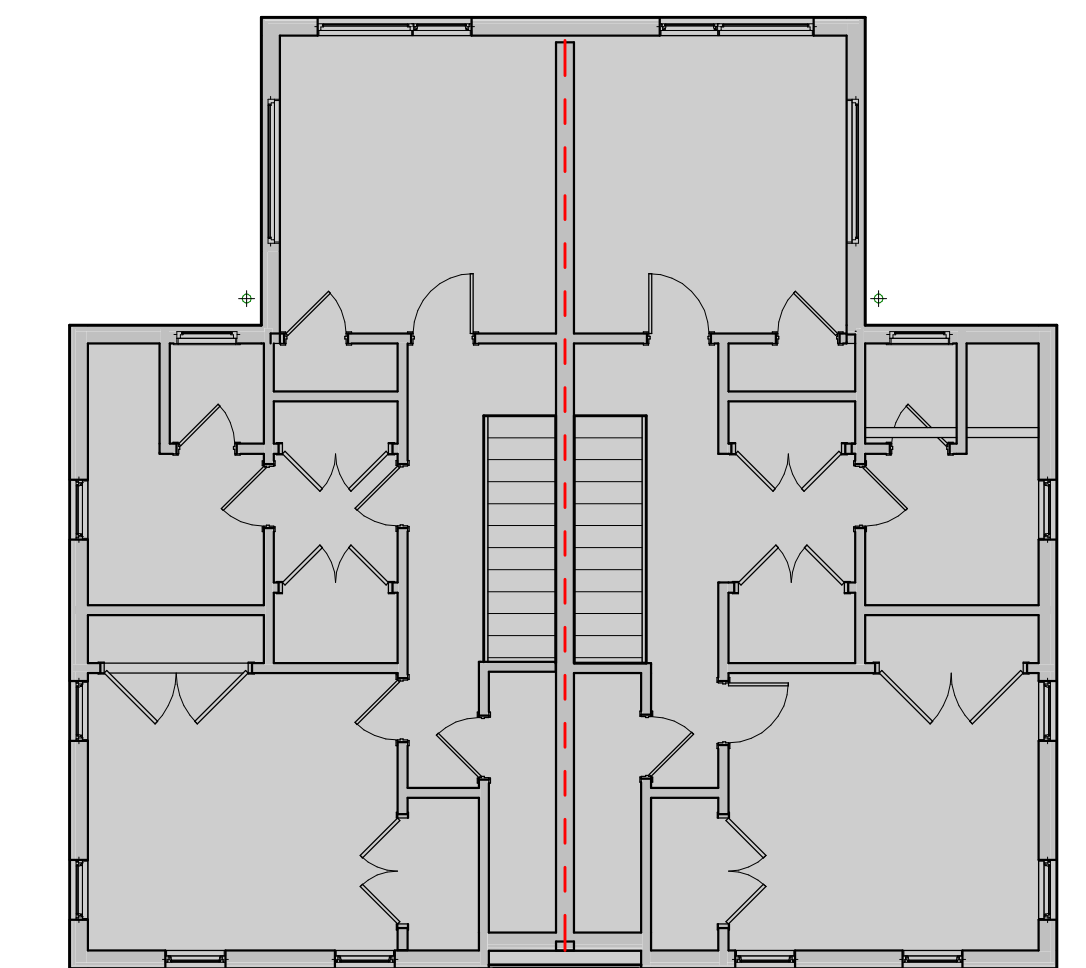
1 BASEMENT ZONING
1/8" = 1'-0"



2 FIRST FLOOR ZONING
1/8" = 1'-0"



3 SECOND FLOOR ZONING
1/8" = 1'-0"



4 THIRD FLOOR ZONING
1/8" = 1'-0"

AREA CALCULATIONS	EXISTING	PROPOSED	LIVABLE
BASEMENT UNIT 01 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 01	727.40	819.36	819.36
SECOND FLOOR UNIT 01	727.40	716.70	716.70
THIRD FLOOR UNIT 01	N/A	716.70	716.70
TOTAL (UNIT 01)	1,454.80	2,252.76	2,941.79
BASEMENT UNIT 02 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 02	727.40	819.36	819.36
SECOND FLOOR UNIT 02	727.40	716.70	716.70
THIRD FLOOR UNIT 02	N/A	716.70	716.70
TOTAL (UNIT 02)	1,454.80	2,252.76	2,941.79
GRAND TOTAL	2,909.60	4,505.52	5,883.58

N/A: BASEMENT AREA IS EXCLUDED FROM GROSS FLOOR AREA PER ARTICLE 2.

UNIT 1 - LEFT
UNIT 2 - RIGHT

SPECIAL PERMIT

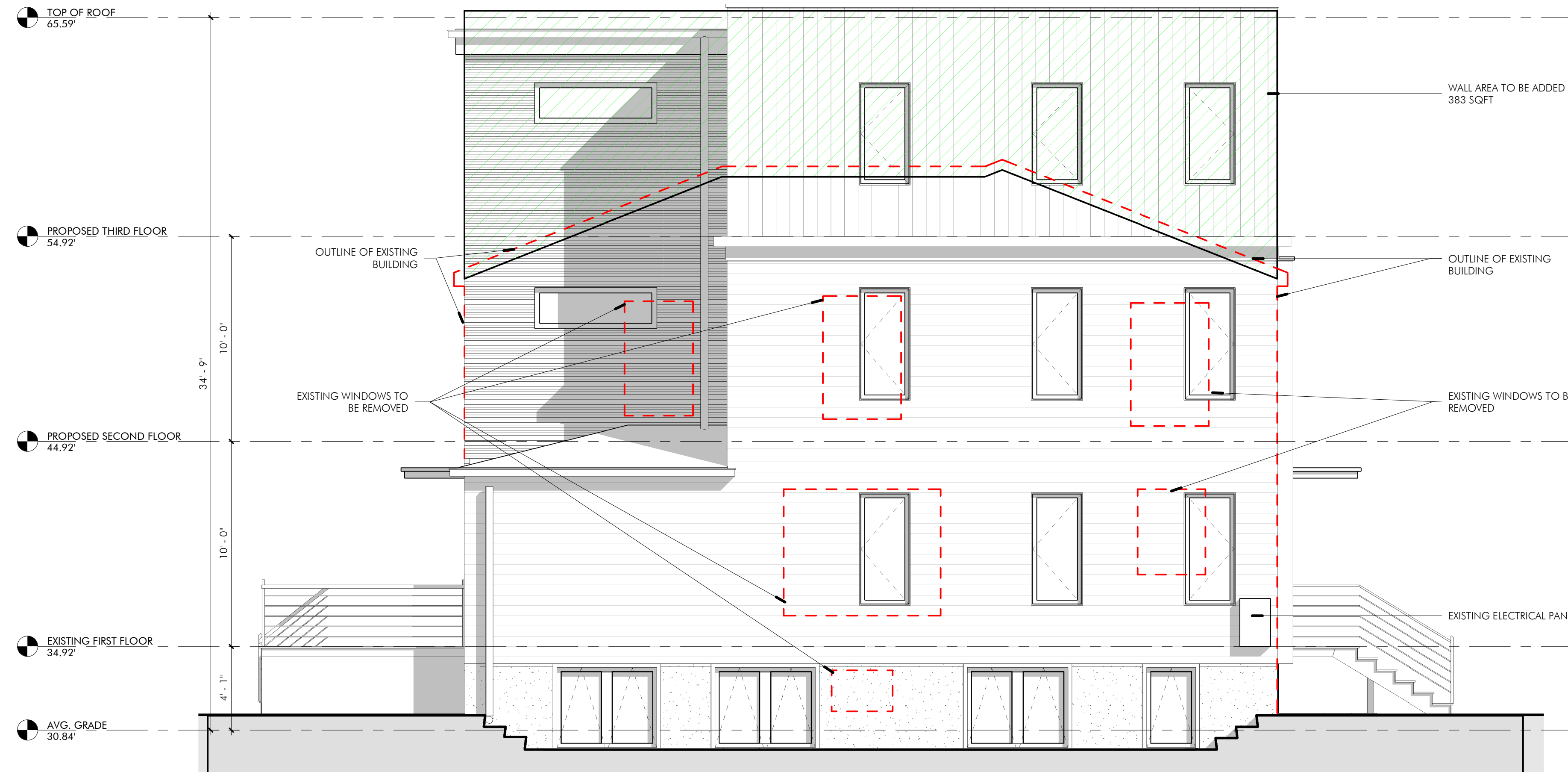
REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

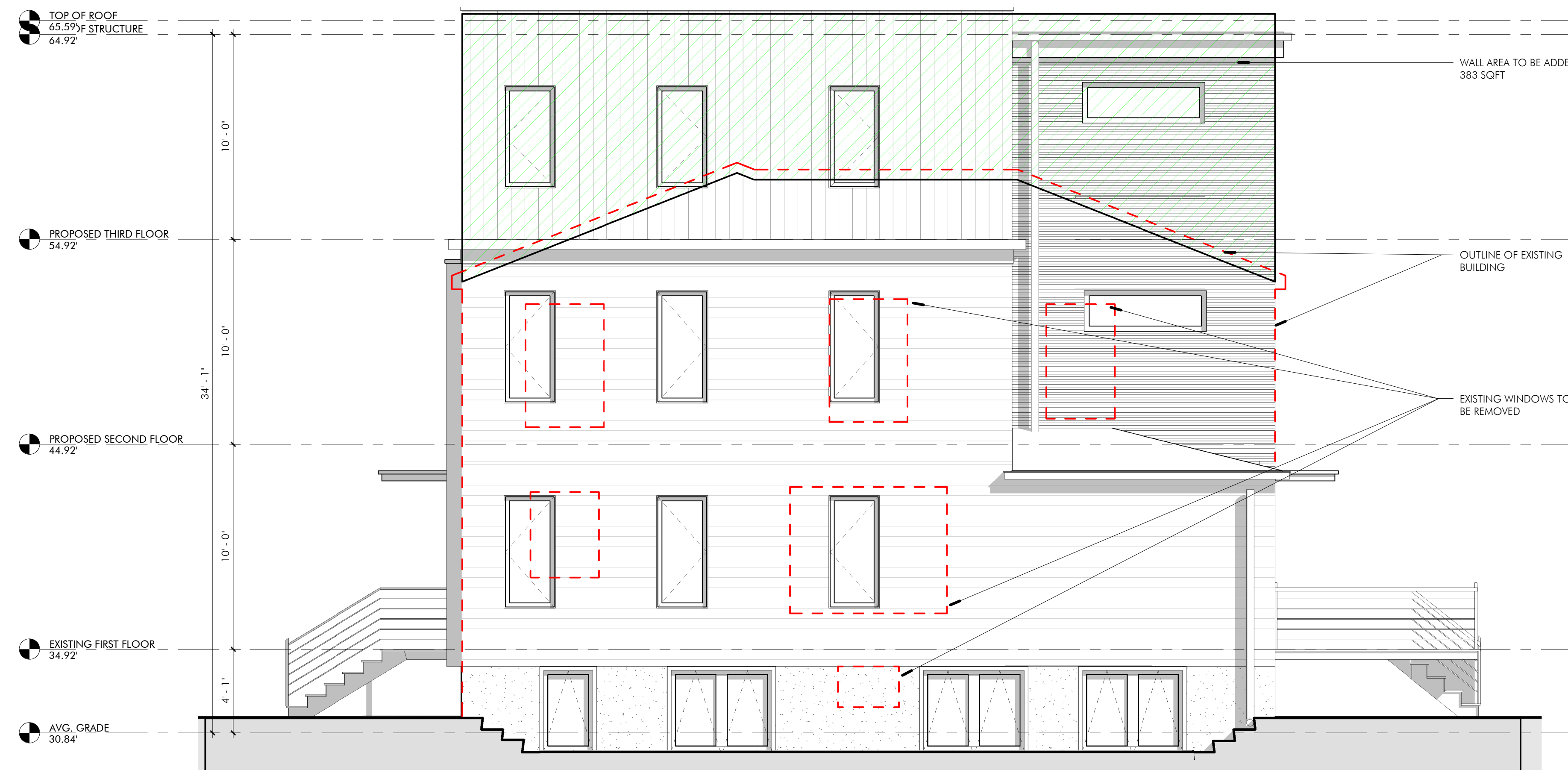
Project: **133 FAYERWEATHER**
Address: **133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138**

Title: **ZONING COMPLIANCE**

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2125	Drawn No.
Date: 2022.02.15	Z1.1
Scale: As indicated	
Drawn by: AR.S.	



1 PROPOSED NORTH ELEVATION ZONING
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION ZONING
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

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Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

SPECIAL PERMIT

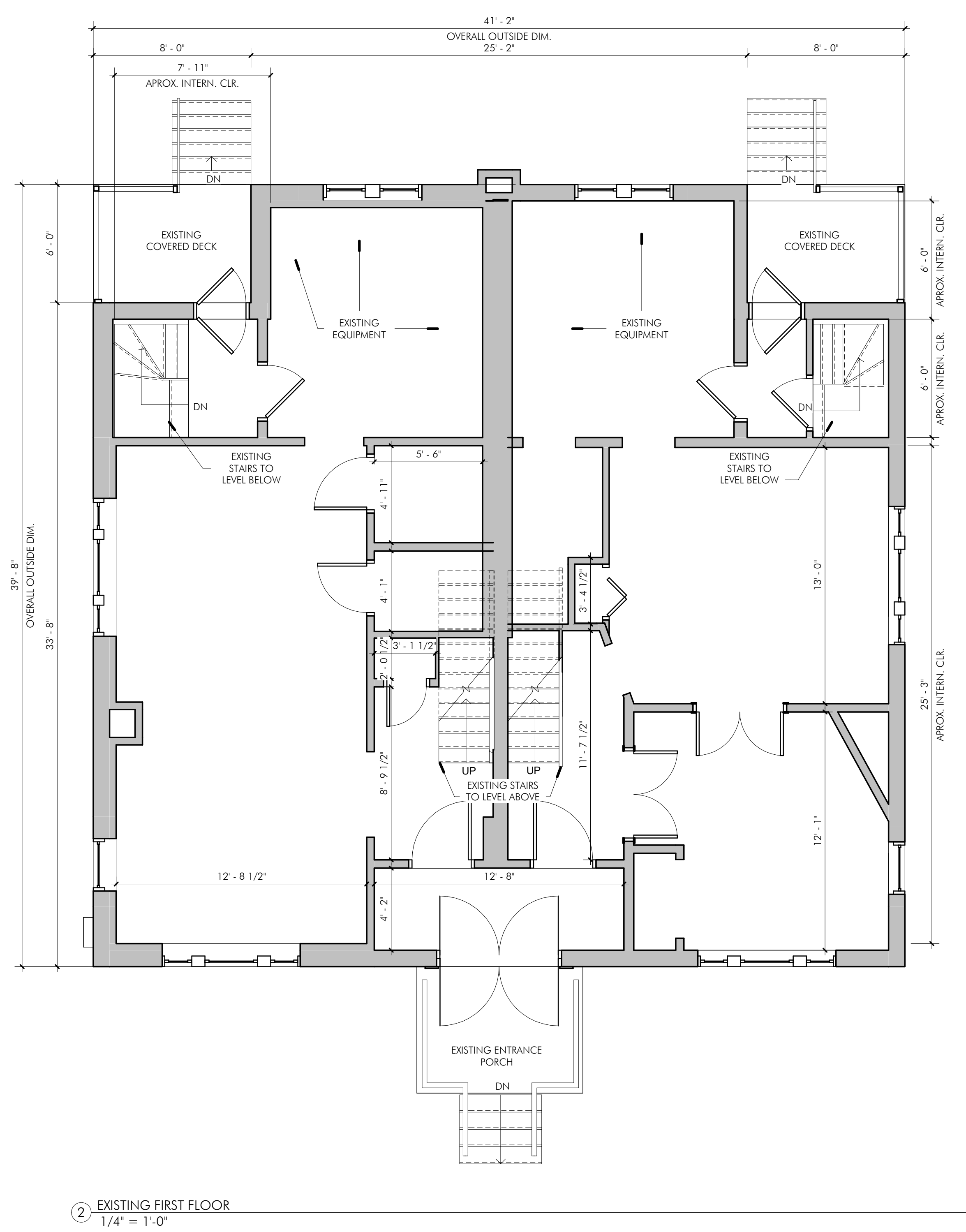
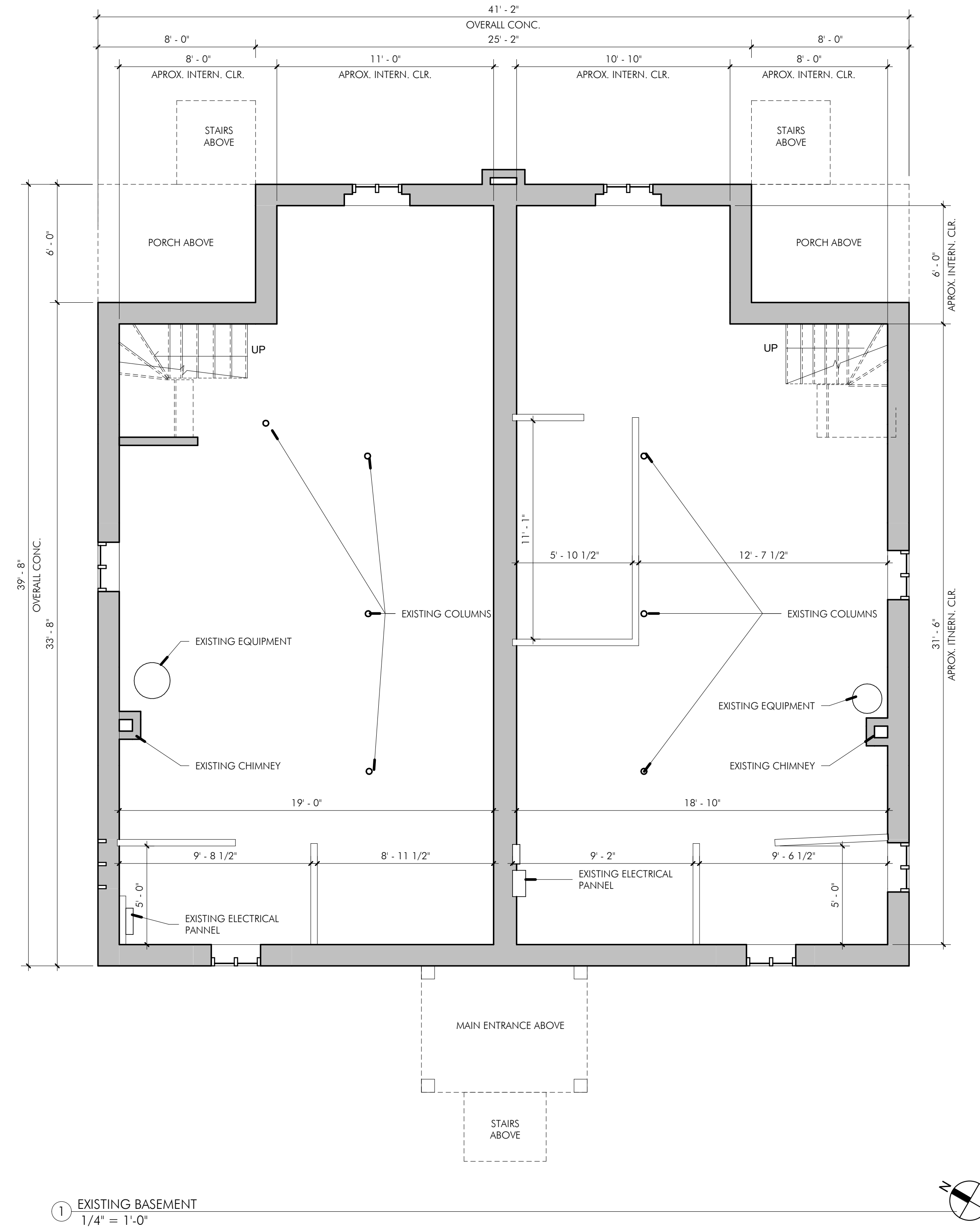
REVISIONS		
No.	Description	Date

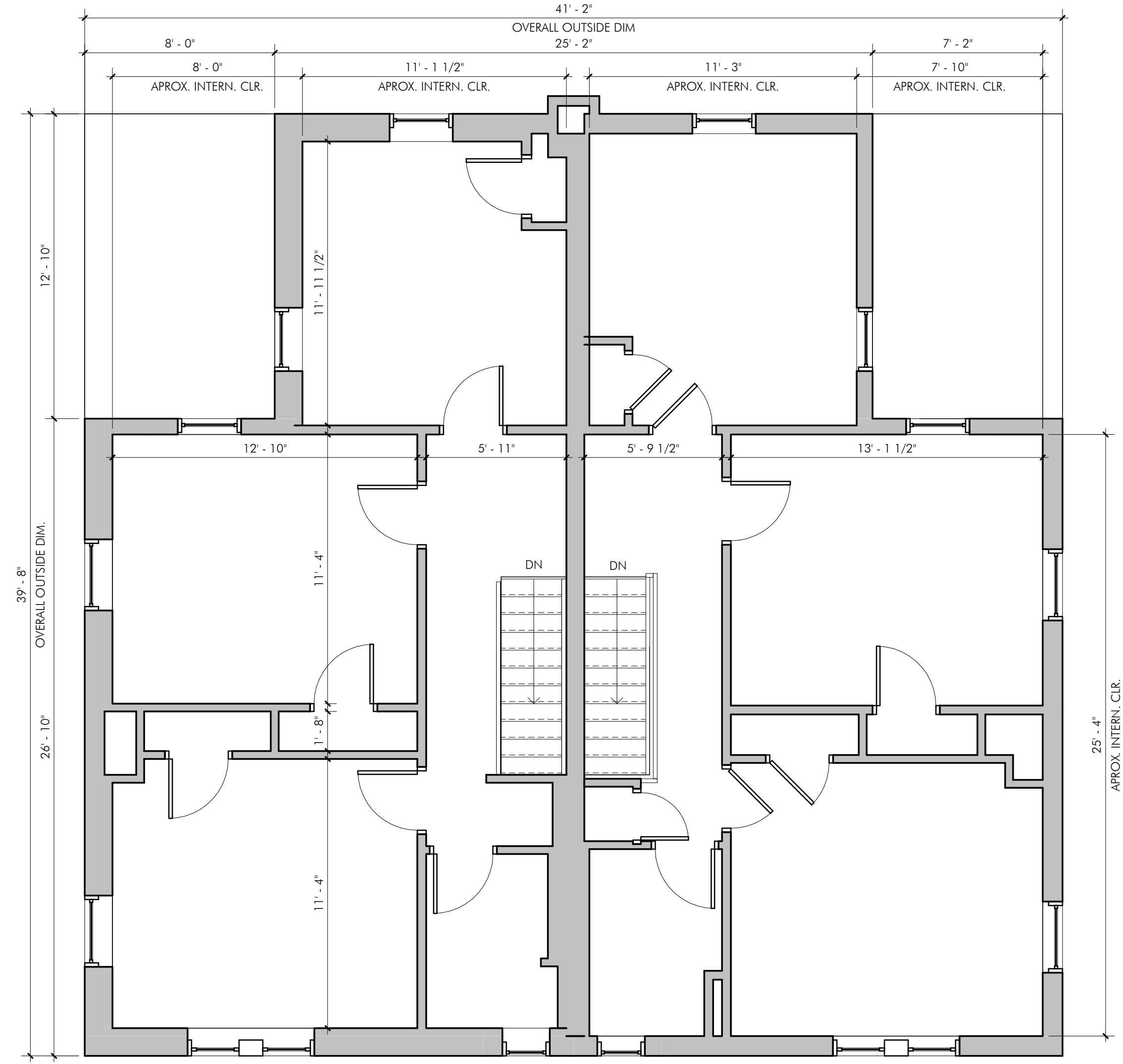
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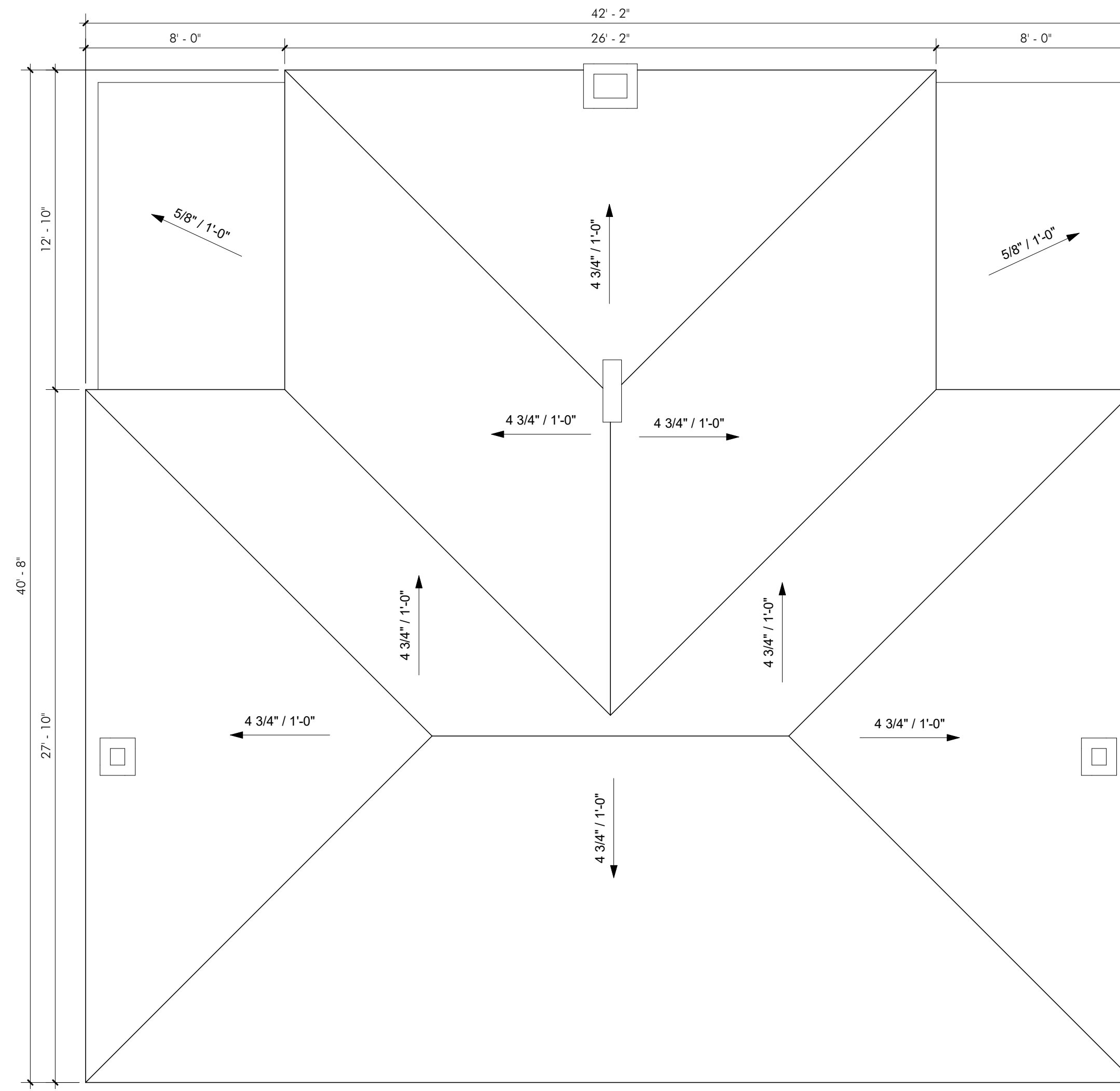
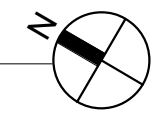
Title: **EXISTING FLOOR PLANS**

Drawing Issued By: **ANDERSON PORTER DESIGN**
Project #: **2125** Drawn No. _____
Date: **2022.02.15**
Scale: **1/4" = 1'-0"** **AX1.1**
Drawn by: **AR.S.**

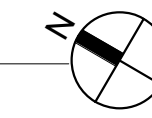




① EXISTING SECOND FLOOR
1/4" = 1'-0"



② EXISTING ROOF
1/4" = 1'-0"



SPECIAL PERMIT

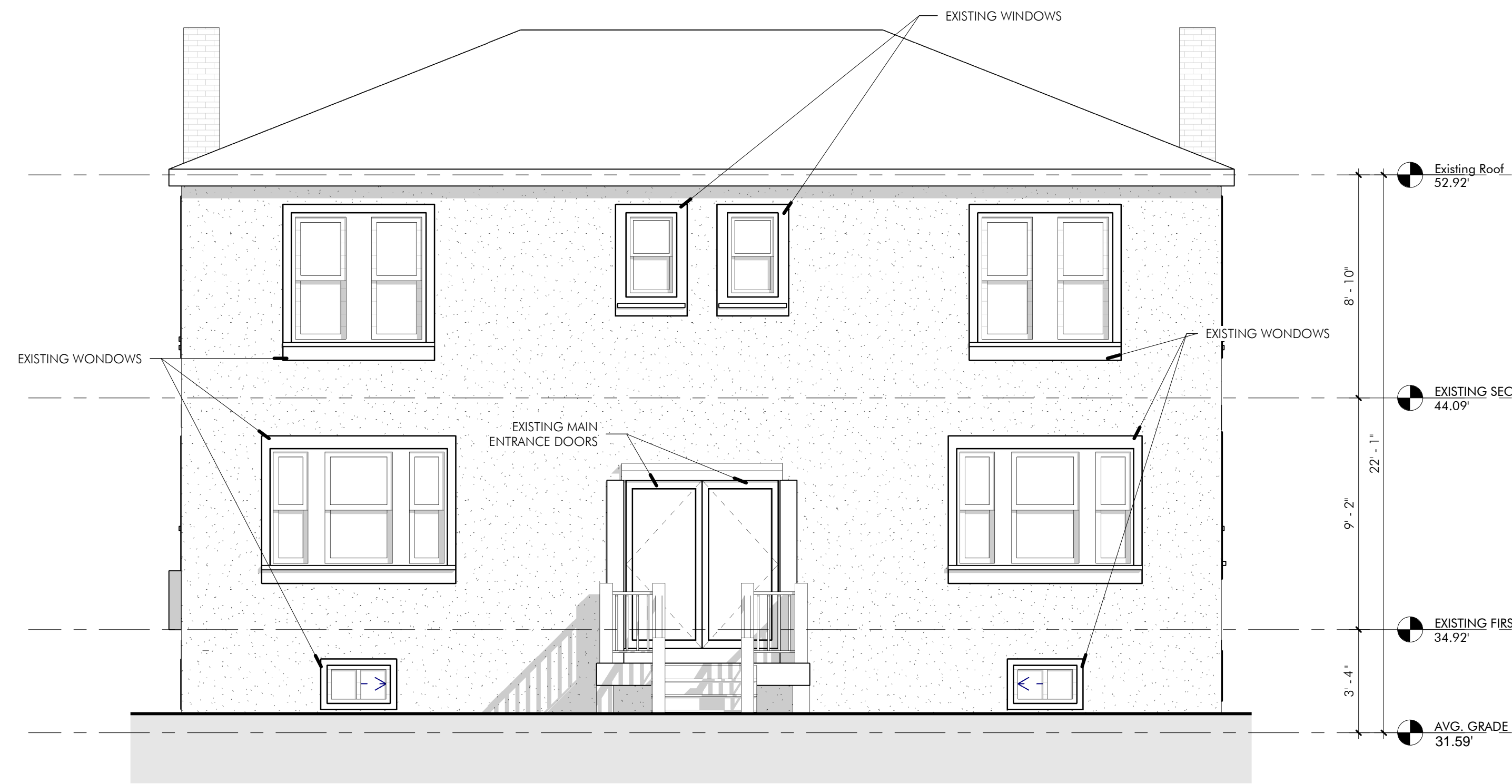
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AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
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Tel. 617.354.2501 Fax. 617.354.2509

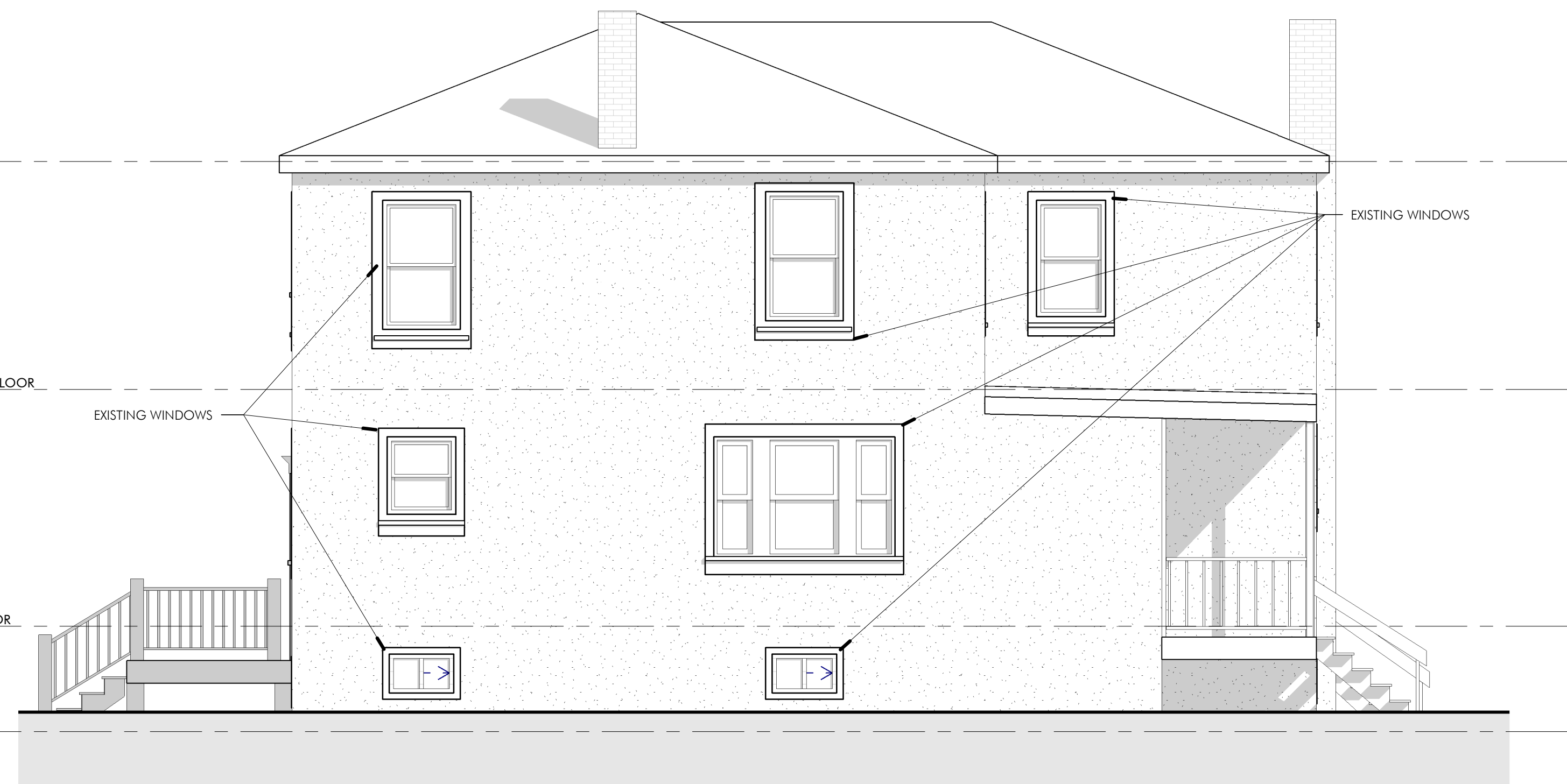
Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: EXISTING FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0" **AX1.2**
Drawn by: A.R.S.



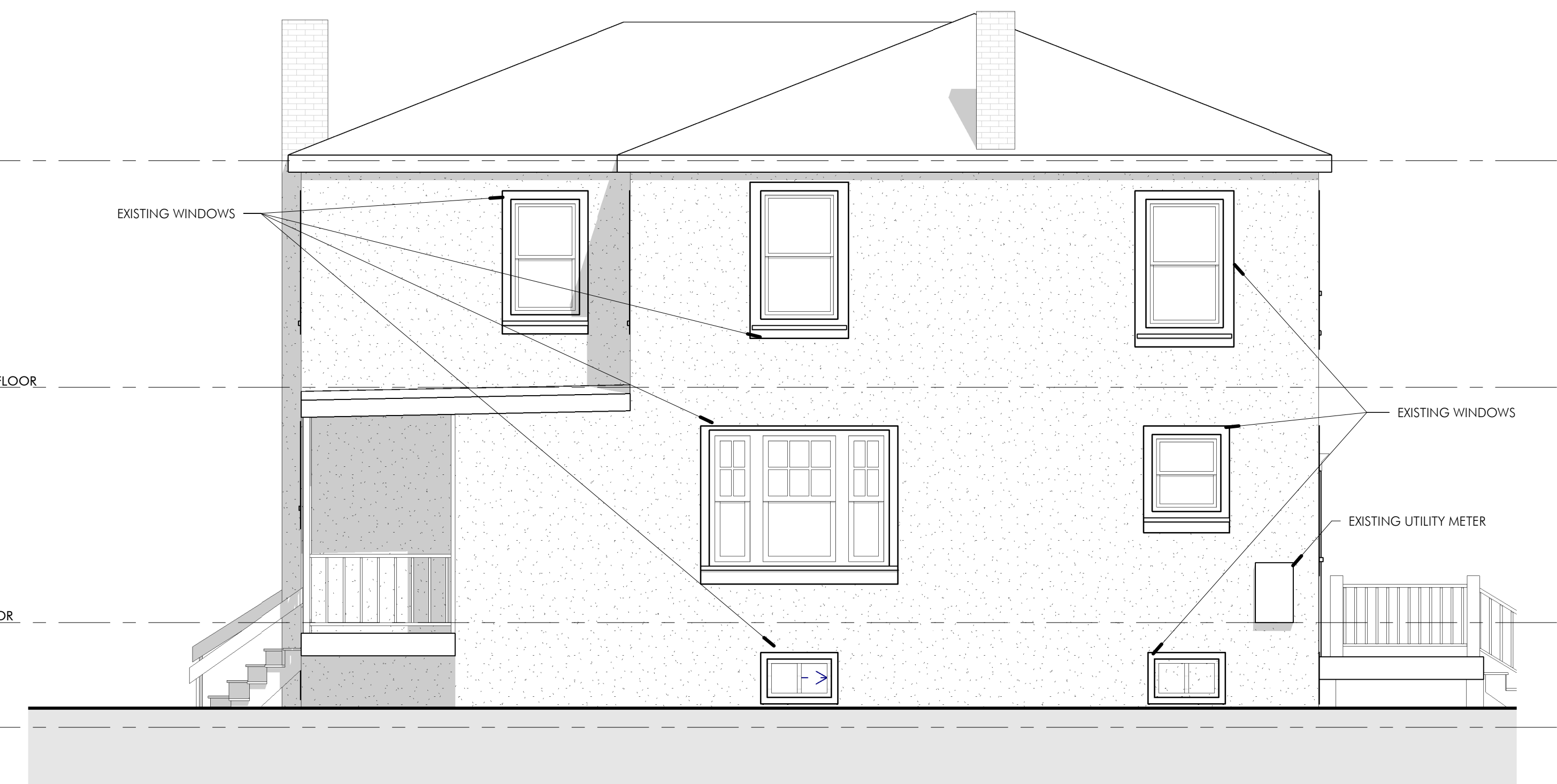
4 EXISTING EAST ELEVATION
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

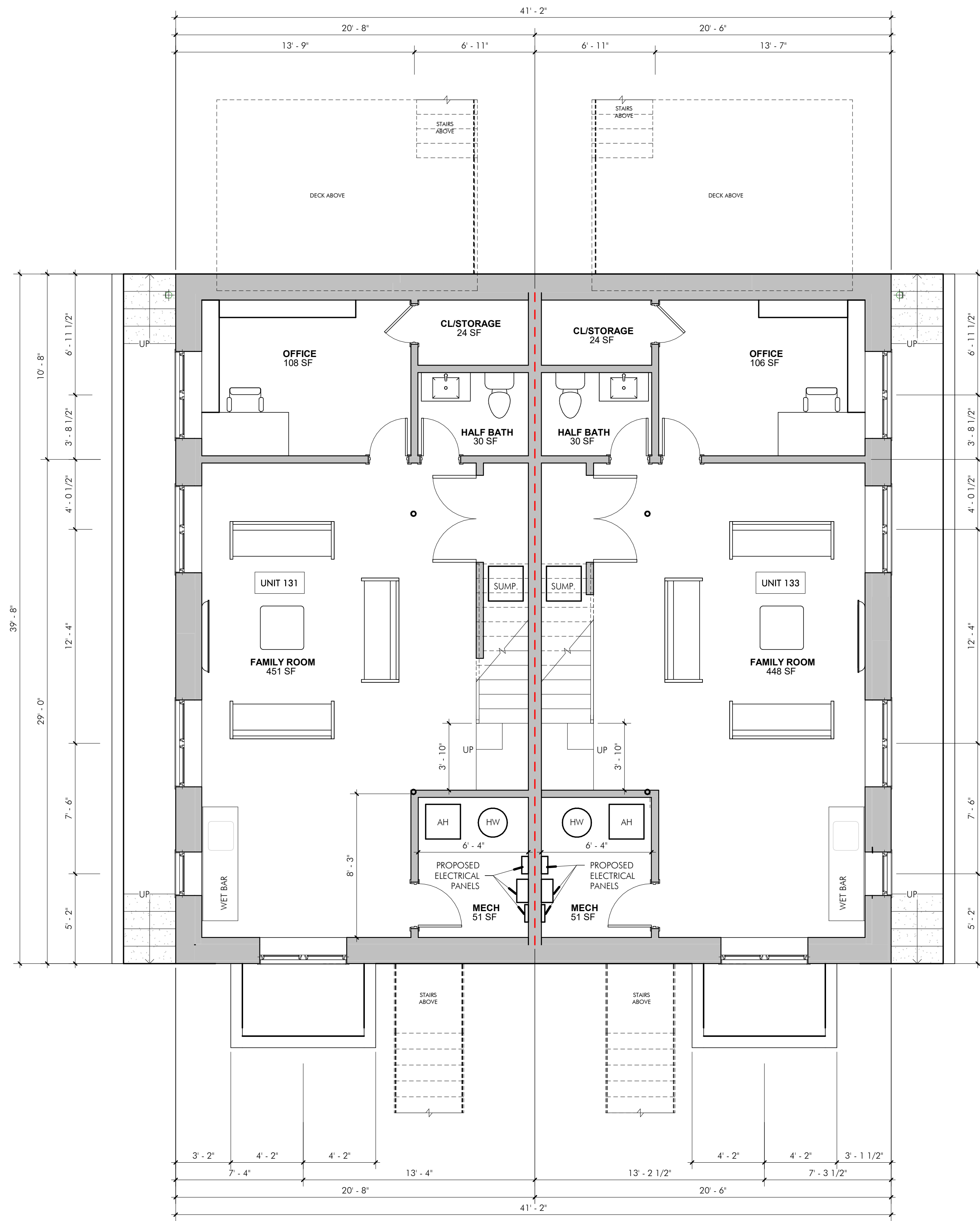
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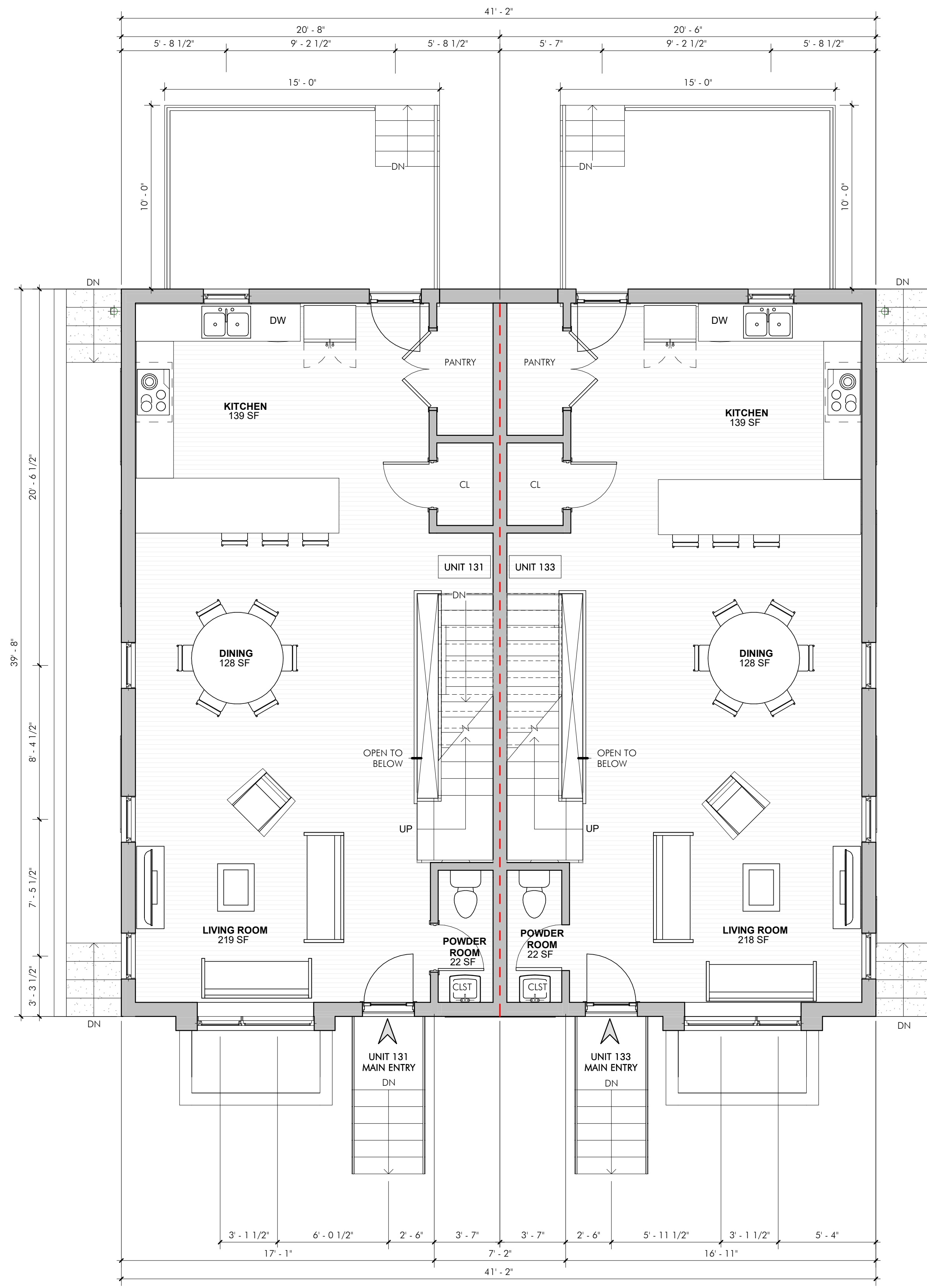
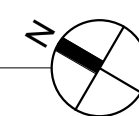
Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: EXISTING ELEVATIONS

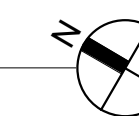
Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0" AX2.1
Drawn by: A.R.S.



1 PROPOSED BASEMENT
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
1/4" = 1'-0"



SPECIAL PERMIT

REVISIONS		
No.	Description	Date

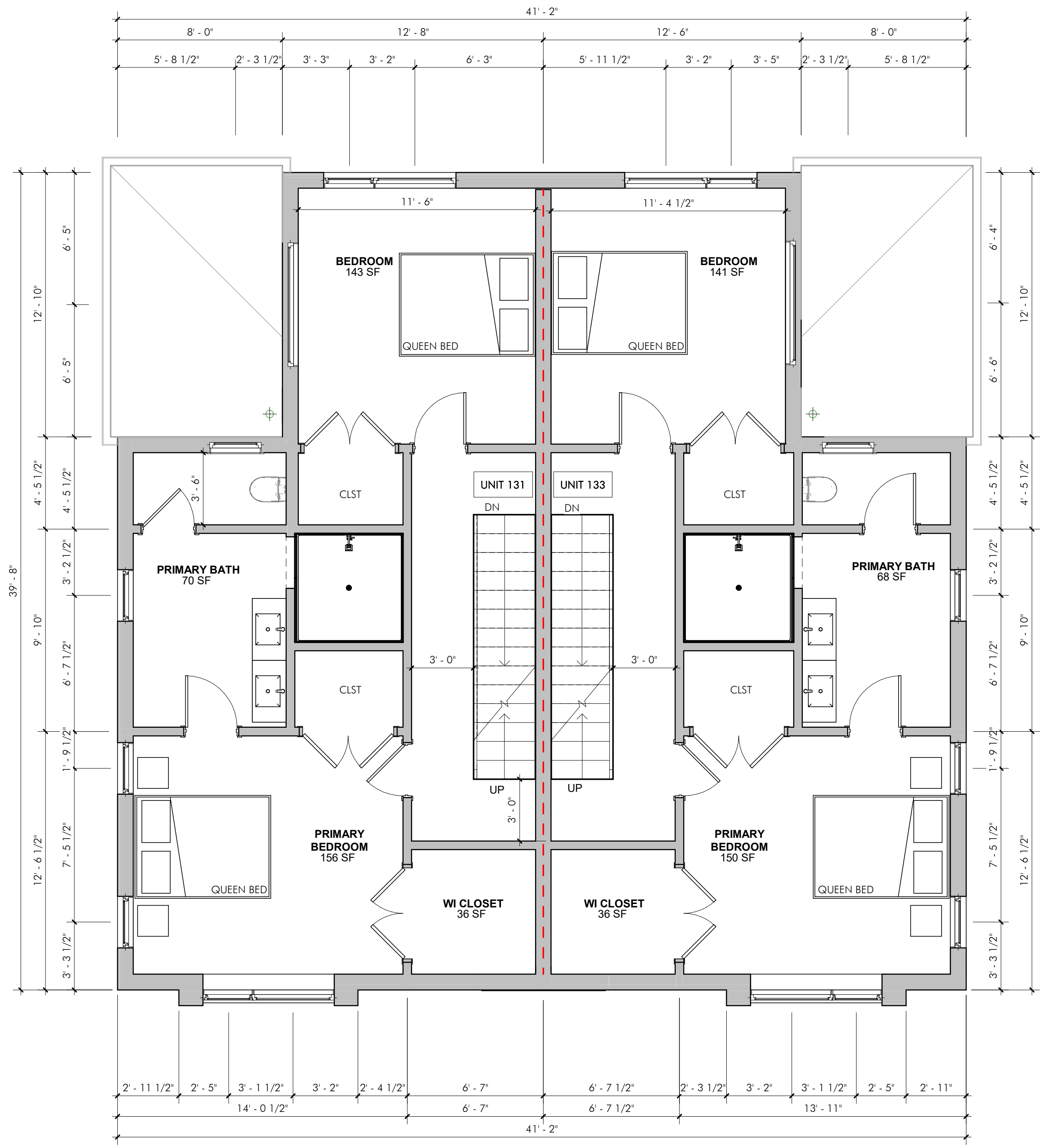
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

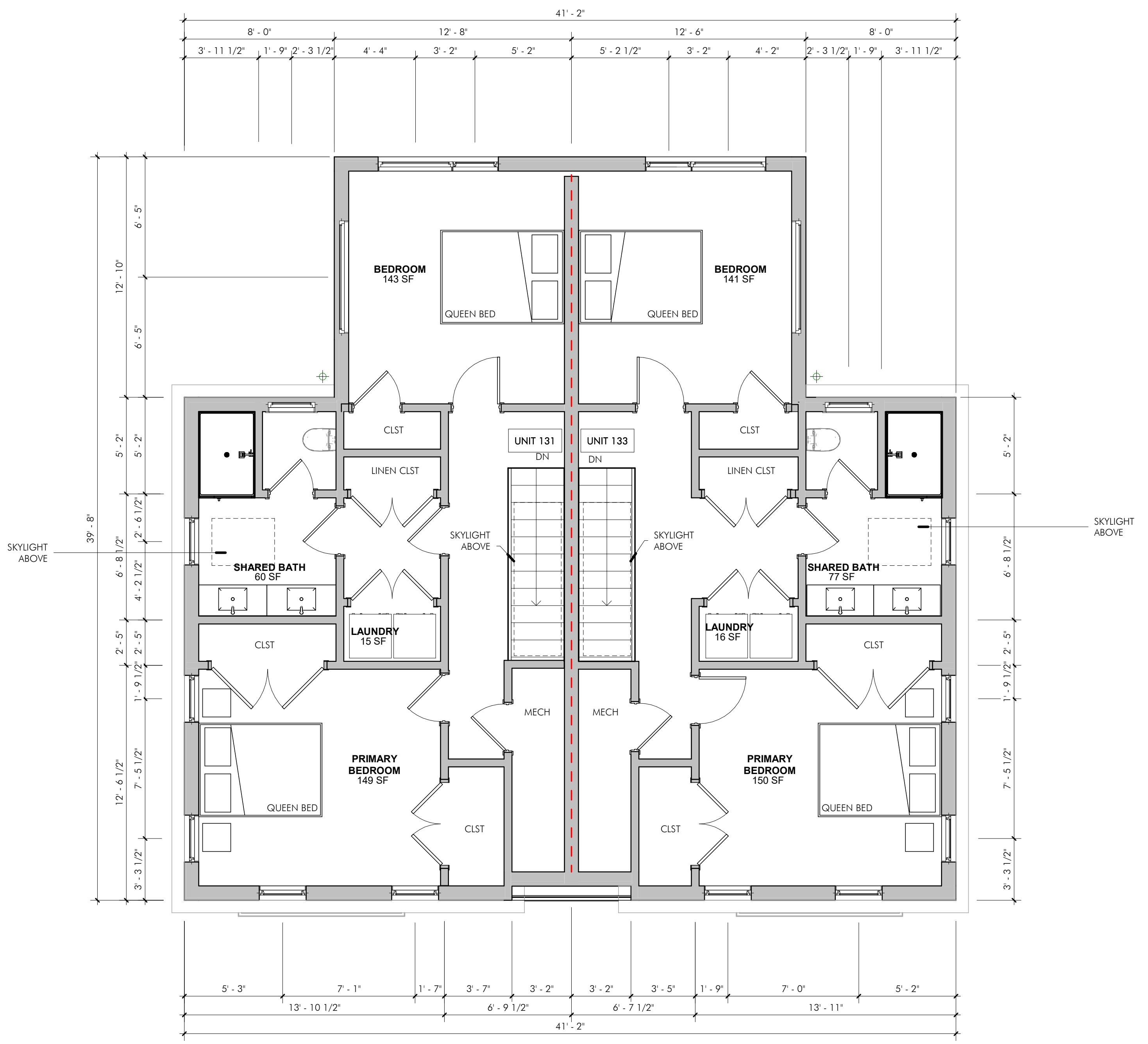
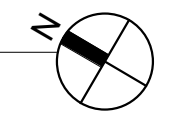
Title: PROPOSED FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

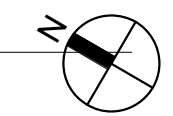
A1.1



1 PROPOSED SECOND FLOOR
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR
1/4" = 1'-0"



SPECIAL PERMIT

REVISIONS		
No.	Description	Date

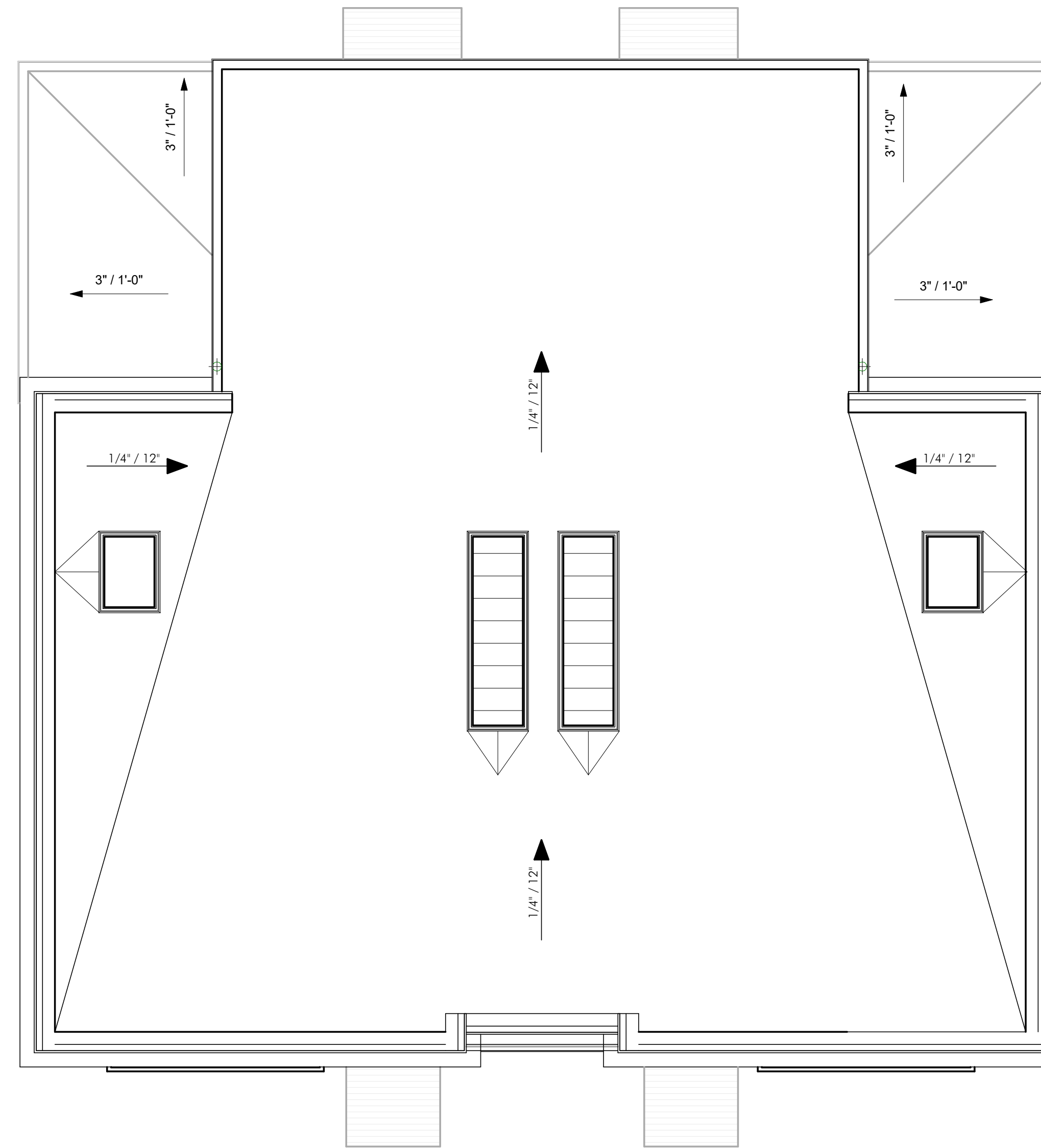
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

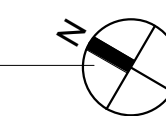
Title: PROPOSED FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: AR.S.

A1.2



① PROPOSED ROOF
1/4" = 1'-0"



SPECIAL PERMIT

REVISIONS		
No.	Description	Date

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Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0" **A1.3**
Drawn by: A.R.S.



① PROPOSED EAST ELEVATION
1/4" = 1'-0"



② PROPOSED NORTH ELEVATION
1/4" = 1'-0"



③ PROPOSED WEST ELEVATION
1/4" = 1'-0"



④ PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

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Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: AR.S.

A2.1



VIEW OF FRONT



VIEW OF REAR



VIEW OF SIDE



VIEW OF CORNER

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

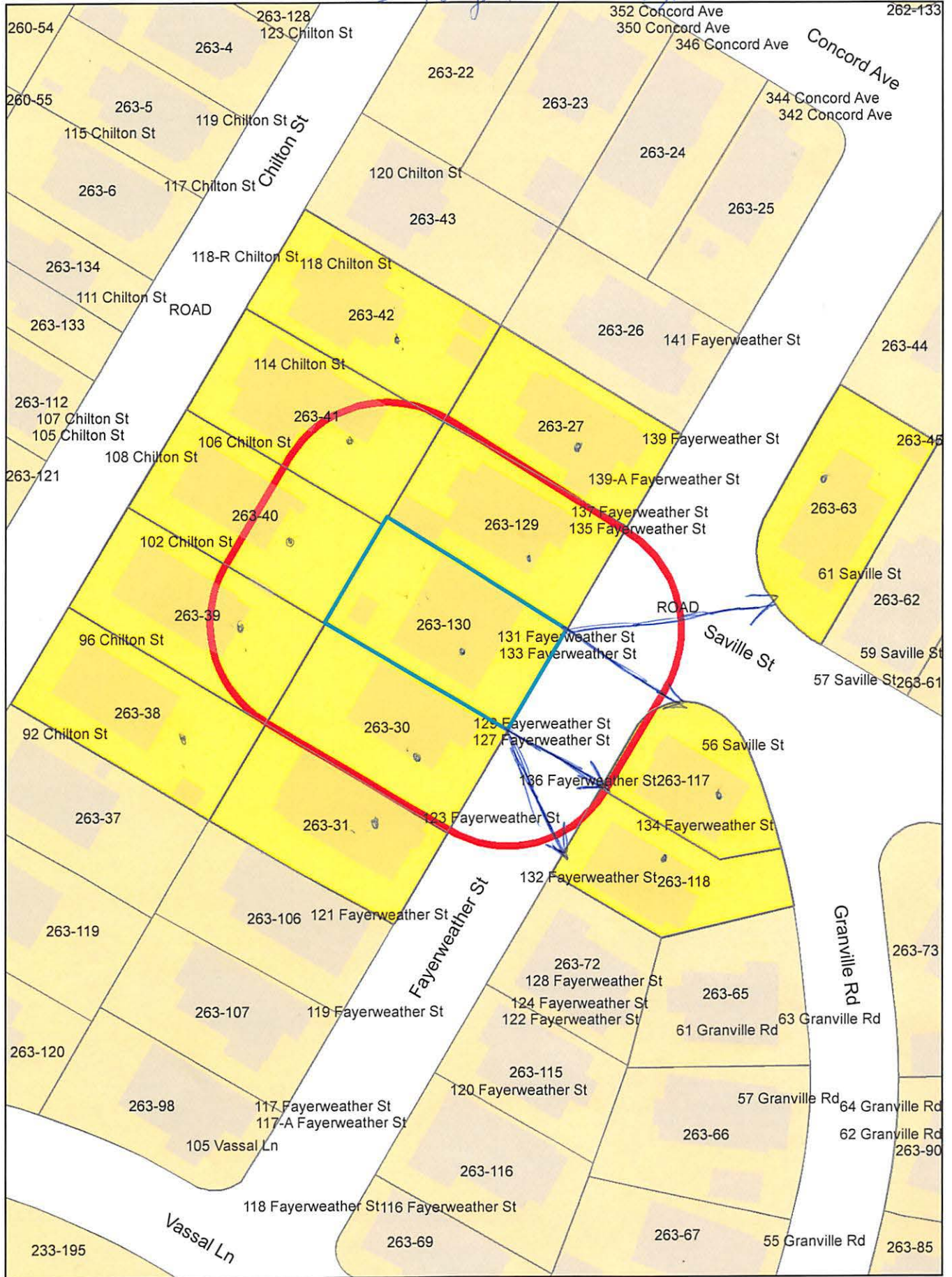
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: EXISTING PHOTOS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125 Drawn No. SK1
Date: 2022.02.15
Scale:
Drawn by: DS

133 Fayerweather St



133 Fayerweather St. Retitioner

263-118
BERGSON, JUDITH
30 PRESTON RD.
SOMERVILLE, MA 02143

263-129
CORBIN, AMELIA C.
TRUSTEE OF AMELIA C. TRUST
191 WILLOW AVE
SOMERVILLE, MA 02144

ANDERSON PORTER DESIGN
C/O DANIEL P. ANDERSON
1972 MASS AVENUE - 4TH FL.
CAMBRIDGE, MA 02140

263-118
BERCU, STEVEN A.,
TRUSTEE THE STEVEN A. BERCU REV TRUST
132 FAYERWEATHER ST
CAMBRIDGE, MA 02138

263-130
COBHAM, WILLIAM L. &
JACQUELINE S. COBHAM
131 FAYERWEATHER ST.
CAMBRIDGE, MA 02138-6812

263-27
AHERN, KATHLEEN M.
139 FAYERWEATHER ST
CAMBRIDGE, MA 02138

263-42
HUTCHINSON, GEORGE E., SR.,
TR THE HUTCHINSON CHILTON TRUST
118 CHILTON ST
CAMBRIDGE, MA 02138

263-30
K & A O'HANA PROPERTIES LLC
592 HURON AVE., #2
CAMBRIDGE, MA 02138

263-38
KANTOR, CALVIN J. &
SYLVIA D. KANTOR A LIFE ESTATE
98 CHILTON ST
CAMBRIDGE, MA 02138-6803

263-39
THOMPSON, GLORIA G., REALTY, LLC
82 CHILTON ST
CAMBRIDGE, MA 02138

263-40
DOTTIN, HENRIETTA R. & GERALD A. DOTTIN, JR.
106 CHILTON ST.
CAMBRIDGE, MA 02138-6803

263-41
LEGARE, CHANTALE
114 CHILTON ST
CAMBRIDGE, MA 02138

263-63
KASSAY, NUMAN & GUMJA KASSAY
61 SAVILLE ST
CAMBRIDGE, MA 02138

263-27
AHERN, KATHLEEN
139 FAYERWEATHER ST #139A
CAMBRIDGE, MA 02138

263-30
BARTOV, OMER & WAI-YEE LI
129 FAYERWEATHER ST., UNIT #2
CAMBRIDGE, MA 02138

263-31
CHARLES, ROY P. WENDY U CHARLES
123 FAYERWEATHER ST
CAMBRIDGE, MA 02138-6812

263-117
RICHARDS, STUART L.
136 FAYERWEATHER ST
CAMBRIDGE, MA 02138

LEGEND

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath

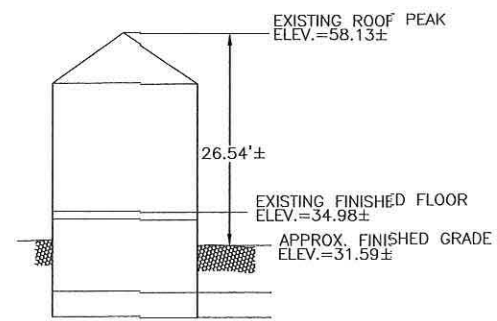


City of Cambridge
Massachusetts
1" = 69 ft

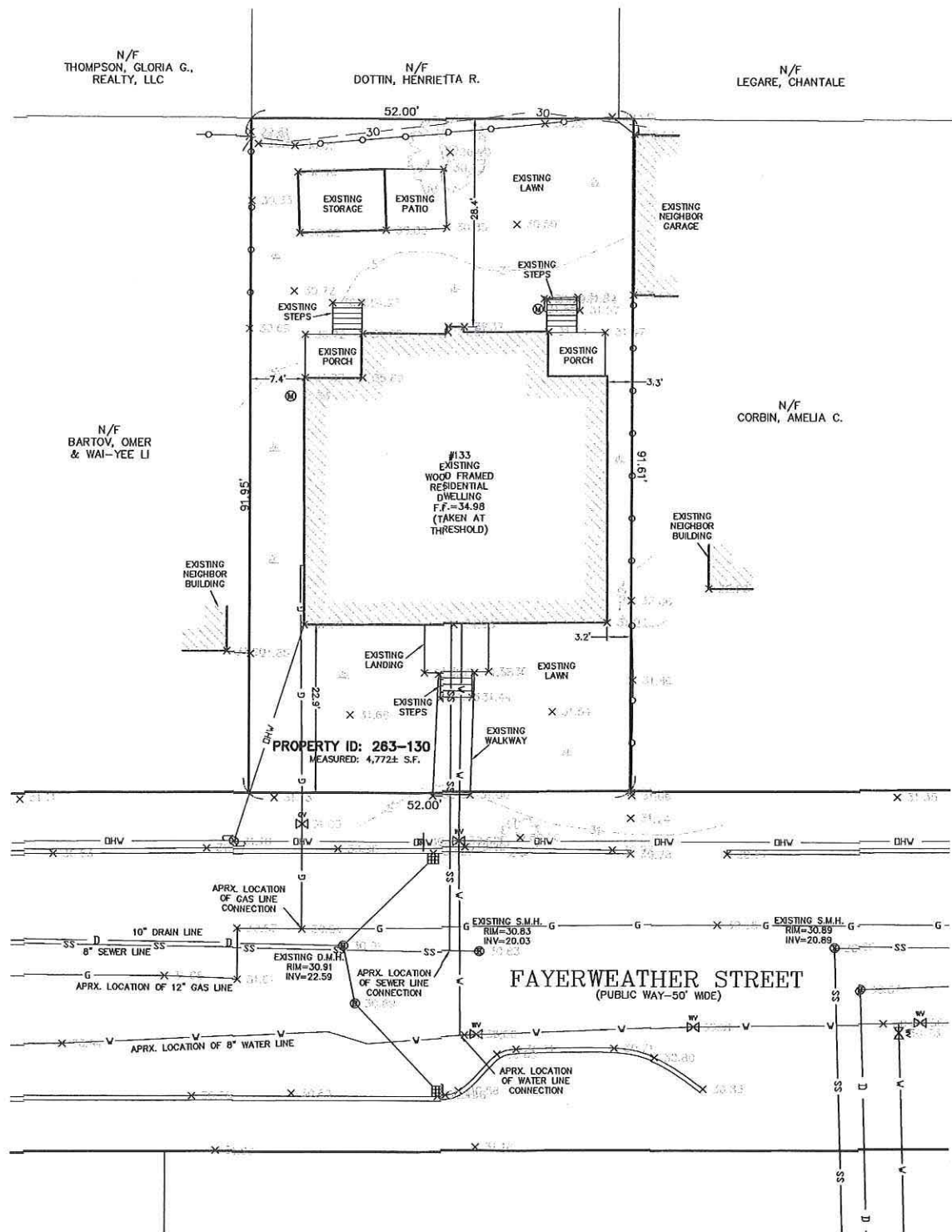
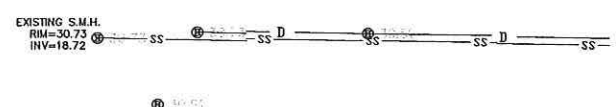
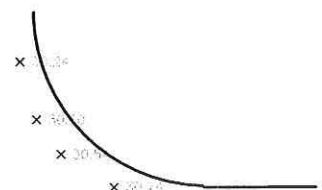
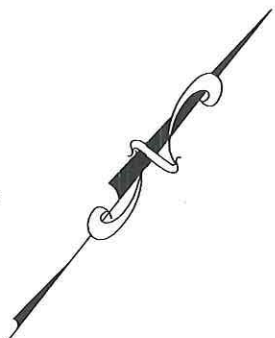
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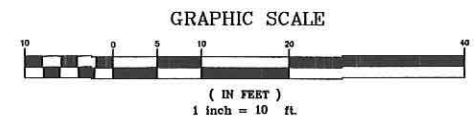


EXISTING PROFILE
NOT TO SCALE






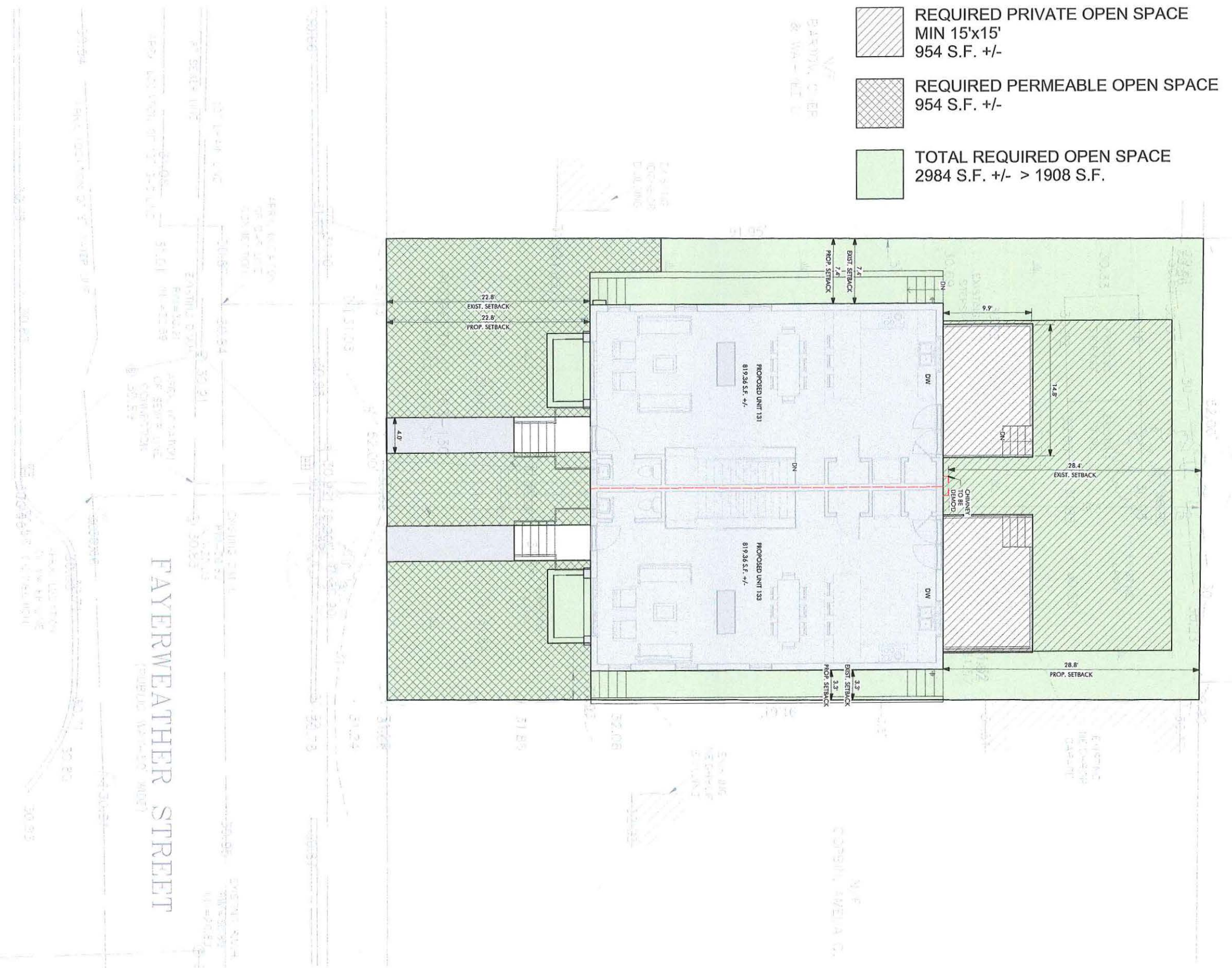
LEGEND	
□	BOUND
○	IRON PIN/PIPE
⊙	STONE POST
⊗	TREE
⌵	TREE STUMP
⊕	SHRUBS/FLOWERS
⊖	SIGN
○	BOLLARD
⊙	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊗	CATCH BASIN
⊕	WATER MANHOLE
⊖	WATER VALVE
⊕	HYDRANT
⊕	GAS VALVE
⊕	ELECTRIC MANHOLE
⊕	ELECTRIC HANDHOLE
⊕	UTILITY POLE
⊕	LIGHT POLE
⊕	MANHOLE
X	SPOT GRADE
—	TOP OF WALL
—	BOTTOM OF WALL
—	EXISTING BUILDING
—	RETAINING WALL
—	STONE WALL
—	FENCE
—	TREE LINE
—	SEWER LINE
—	DRAIN LINE
—	WATER LINE
—	GAS LINE
—	UNDERGROUND ELECTRIC LINE
—	OVERHEAD WIRES
—	CONTOUR LINE (MJR)
—	CONTOUR LINE (MNR)

- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.
 2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197
PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 16992A
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.



SCALE 1"=10'			
DATE 12/08/21	REV	DATE	REVISION
SHEET 1	133 FAYERWEATHER STREET CAMBRIDGE MASSACHUSETTS		
PLAN NO. 1 OF 1	EXISTING CONDITIONS PLAN		
CLIENT:	SHEET NO. 1		
DRAWN BY OB	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
CHKD BY P:JN			
APPD BY P:JN			

-  REQUIRED PRIVATE OPEN SPACE
MIN 15'x15'
954 S.F. +/-
-  REQUIRED PERMEABLE OPEN SPACE
954 S.F. +/-
-  TOTAL REQUIRED OPEN SPACE
2984 S.F. +/- > 1908 S.F.



FAYERWEATHER STREET
(PROPOSED 15'-0" WIDENING)

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED SITE PLAN

Drawn by:	ANDERSON PORTER DESIGN
Project #:	2125
Date:	2022.02.15
Scale:	3/16" = 1'-0"
Drawn by:	ARS.

1 Landscape Plan
3/16" = 1'-0"



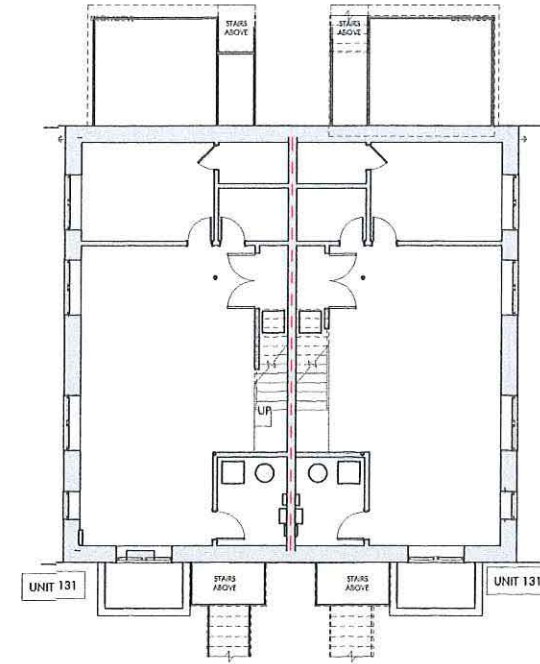
L1.1

ZONING CHART - CAMBRIDGE

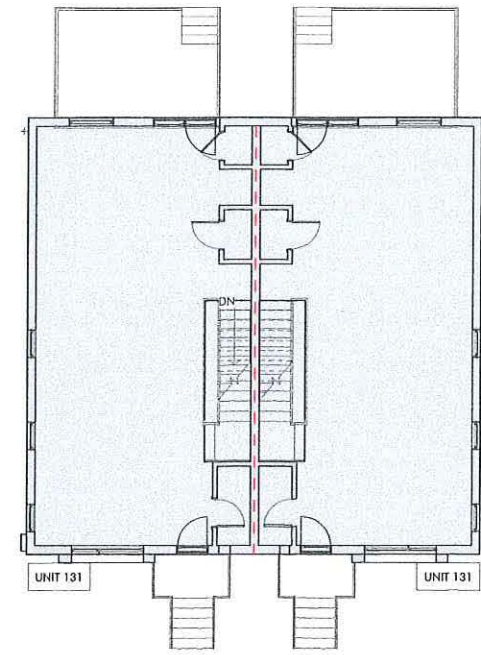
LOT SIZE:	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	B ZONE	B ZONE	B ZONE	COMPLIES
USE	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	COMPLIES
MIN LOT SIZE	5,000 S.F.	4,772 +/- S.F.	4,772 +/- S.F.	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	2,500 S.F.	2,386 S.F.	2,386 S.F.	EXISTING NON CONFORMING
MAX FLOOR AREA RATIO (FAR)	0.50	0.60	0.95	EXISTING NON CONFORMING
MAX BUILDING HEIGHT	35'	27.2'	33.10'	COMPLIES
MIN. YARD SETBACKS				
FRONT	15'	22.9'	22.9'	COMPLIES
RIGHT SIDE	7.5' SUM TO 20'	3.2'	3.2'	EXISTING NON CONFORMING
LEFT SIDE	7.5' SUM TO 20'	7.4'	7.4'	EXISTING NON CONFORMING
REAR	25'	28.4'	28.4'	COMPLIES
MIN LOT WIDTH	50'	52'	52'	COMPLIES
PARKING REQUIREMENTS	1 PER DWELLING UNIT	0 SPOTS	0 SPOTS	EXISTING NON CONFORMING
TOTAL OPEN SPACE, MIN % OF LOT	40% = 1908.80 S.F.	63% = 2994.21 S.F. +/-	63% = 2994.21 S.F. +/-	COMPLIES
PRIVATE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	56% = 2691.26 S.F. +/-	56% = 2691.26 S.F. +/-	COMPLIES
PERMEABLE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	25% = 1175.45 S.F. +/-	25% = 1175.45 S.F. +/-	COMPLIES
BICYCLE PARKING	N/A	0 SPOTS	0 SPOTS	COMPLIES

AREA CALCULATIONS	EXISTING	PROPOSED	LIVABLE
BASEMENT UNIT 01 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 01	727.40	819.36	819.36
SECOND FLOOR UNIT 01	727.40	716.70	716.70
THIRD FLOOR UNIT 01	N/A	716.70	716.70
TOTAL (UNIT 01)	1,454.80	2,252.76	2,941.79
BASEMENT UNIT 02 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 02	727.40	819.36	819.36
SECOND FLOOR UNIT 02	727.40	716.70	716.70
THIRD FLOOR UNIT 02	N/A	716.70	716.70
TOTAL (UNIT 02)	1,454.80	2,252.76	2,941.79
GRAND TOTAL	2,909.60	4,505.52	5,883.58

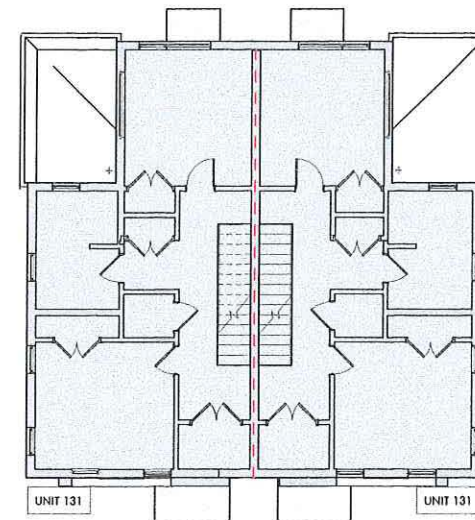
N/A: BASEMENT AREA IS EXCLUDED FROM GROSS FLOOR AREA PER ARTICLE 2.
UNIT 1 - LEFT
UNIT 2 - RIGHT



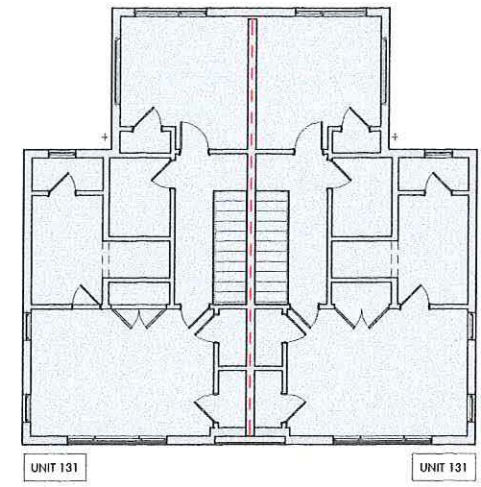
1 BASEMENT ZONING
1/8" = 1'-0"



2 FIRST FLOOR ZONING
1/8" = 1'-0"



3 SECOND FLOOR ZONING
1/8" = 1'-0"



4 THIRD FLOOR ZONING
1/8" = 1'-0"

FOOTNOTES:
Identifying rear yard set back.
Min. distance between buildings: Sum of Heights/6 or 10'-0", whichever is greater.



5 AREA ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

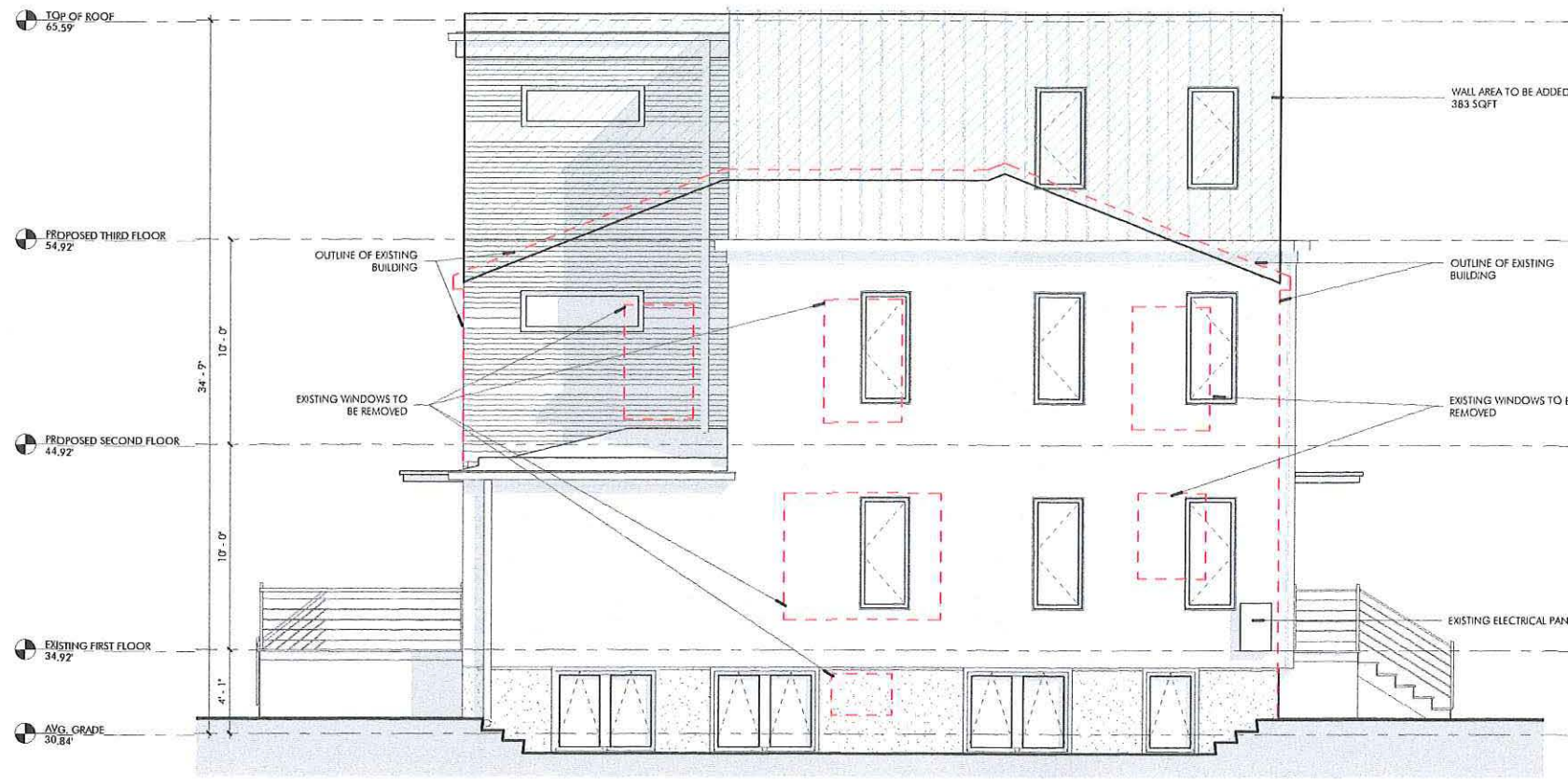
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

133 FAYERWEATHER
Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

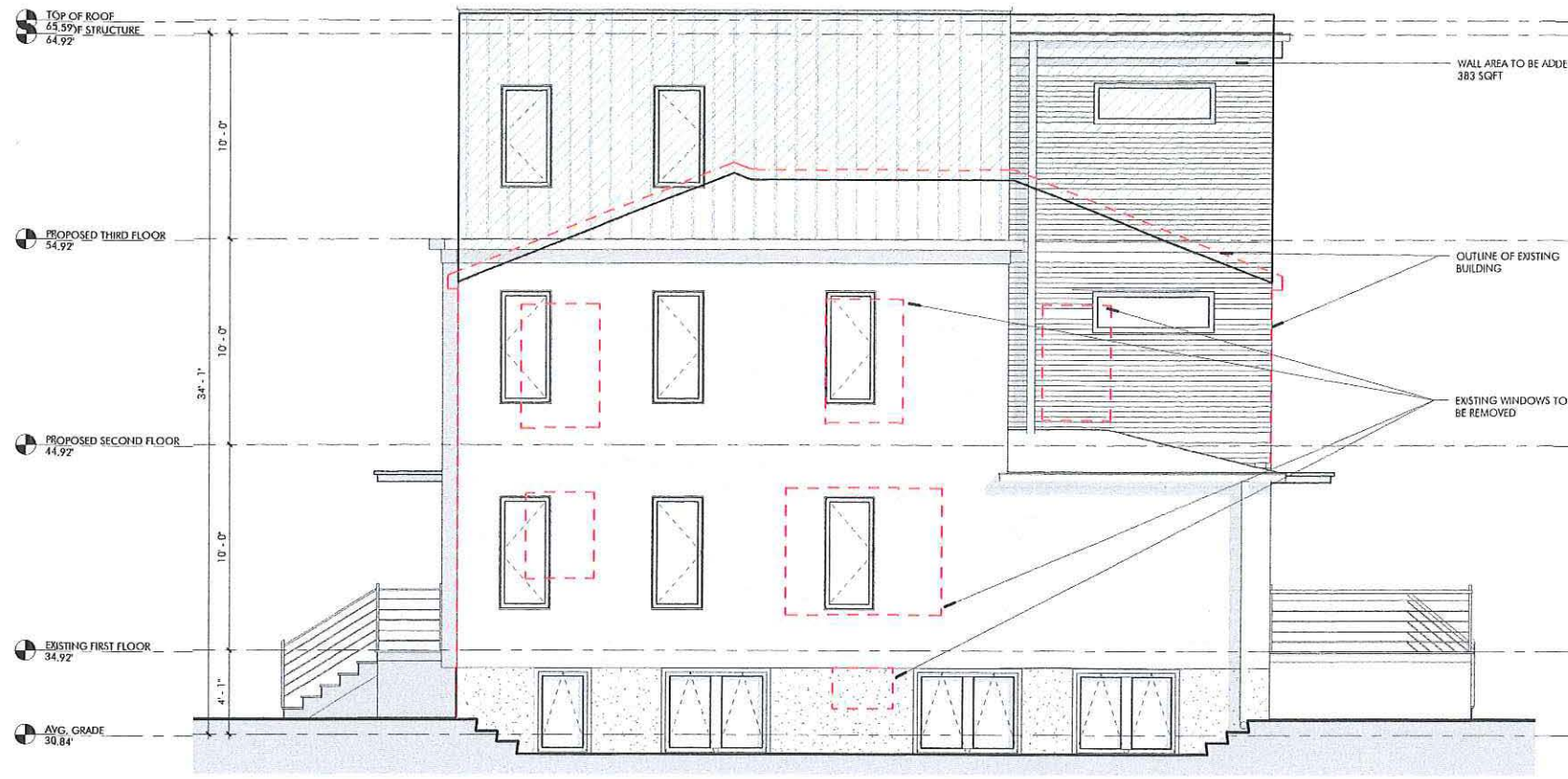
ZONING COMPLIANCE

Drawing No:	2125	Drawn By:	
Date:	2022.02.15	Scale:	As indicated
Drawn by:	ARS.		

Z1.1



① PROPOSED NORTH ELEVATION ZONING
1/4" = 1'-0"



② PROPOSED SOUTH ELEVATION ZONING
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

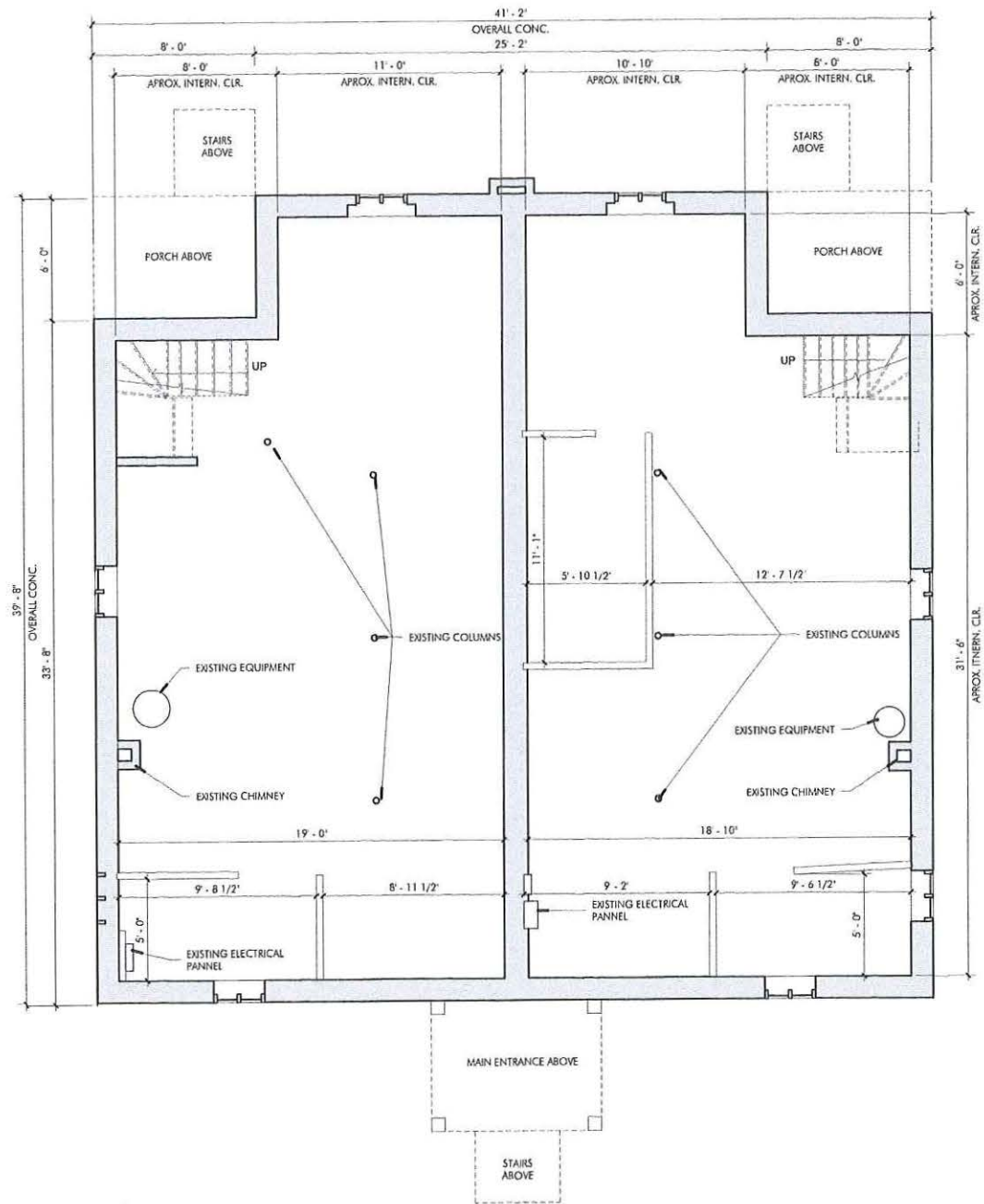
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

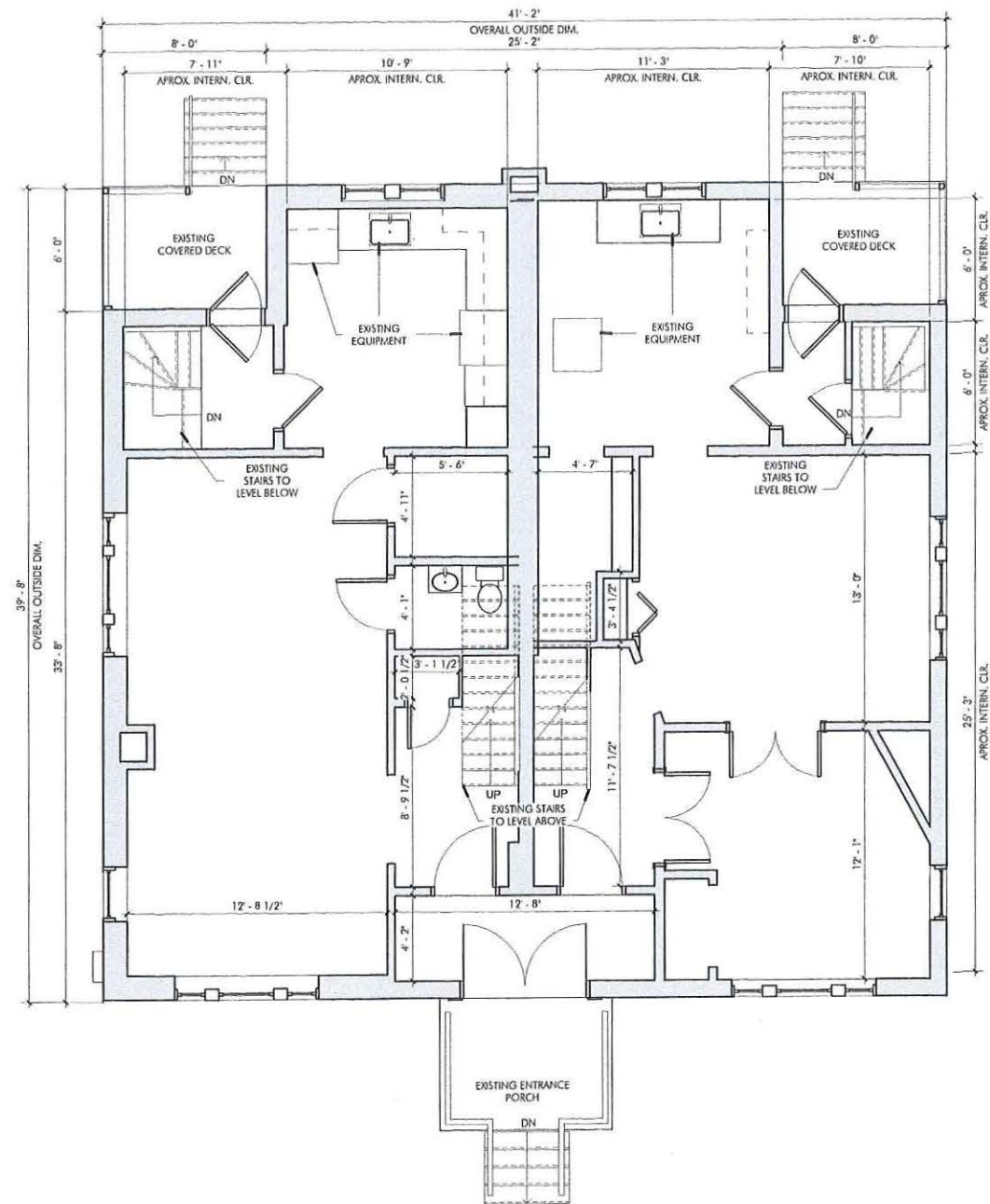
ZONING COMPLIANCE

Project #:	2125	Drawn By:	
Date:	2022.02.15	Scale:	1/4" = 1'-0"
Drawn by:	AR.S.		

Z1.2



① EXISTING BASEMENT
1/4" = 1'-0"



② EXISTING FIRST FLOOR
1/4" = 1'-0"



SPECIAL PERMIT

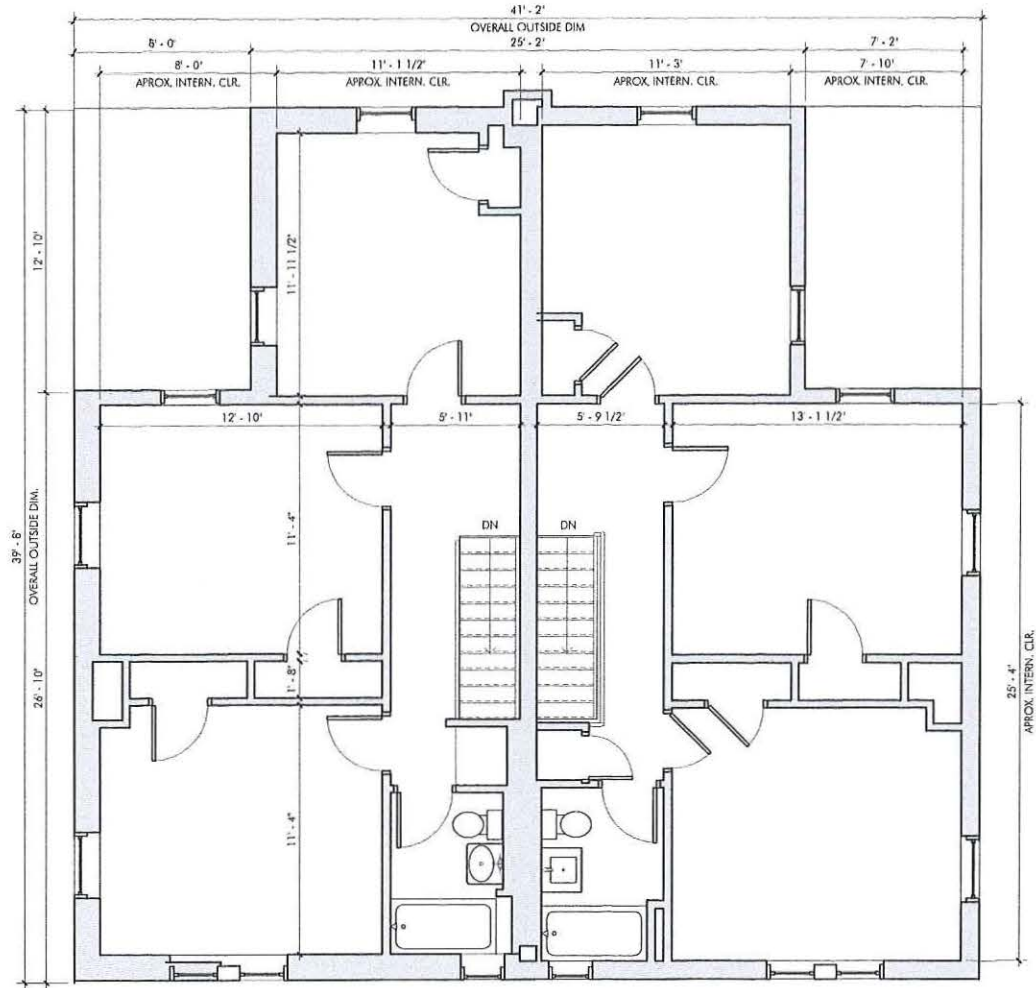
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 46 Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

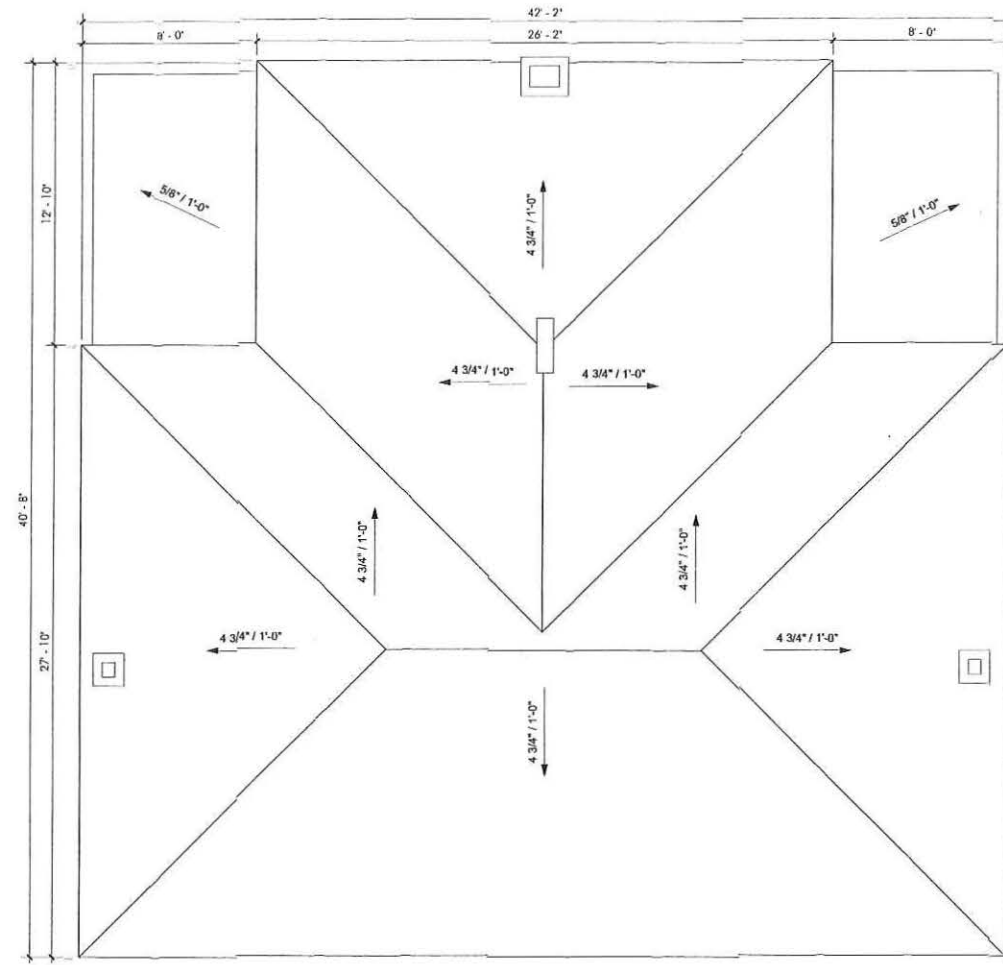
Project:
133 FAYERWEATHER
Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

EXISTING FLOOR PLANS

Drawing by: ANDERSON PORTER DESIGN	
Project #: 2125	Drawn by:
Date: 2022.02.15	Scale: 1/4" = 1'-0"
Drawn by: ARS.	AX1.1



1 EXISTING SECOND FLOOR
1/4" = 1'-0"



2 EXISTING ROOF
1/4" = 1'-0"



SPECIAL PERMIT

REV.	DESCRIPTION	DATE

AndersonPorterDesign
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Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: EXISTING FLOOR PLANS

Drawn by: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: ARLS

AX1.2



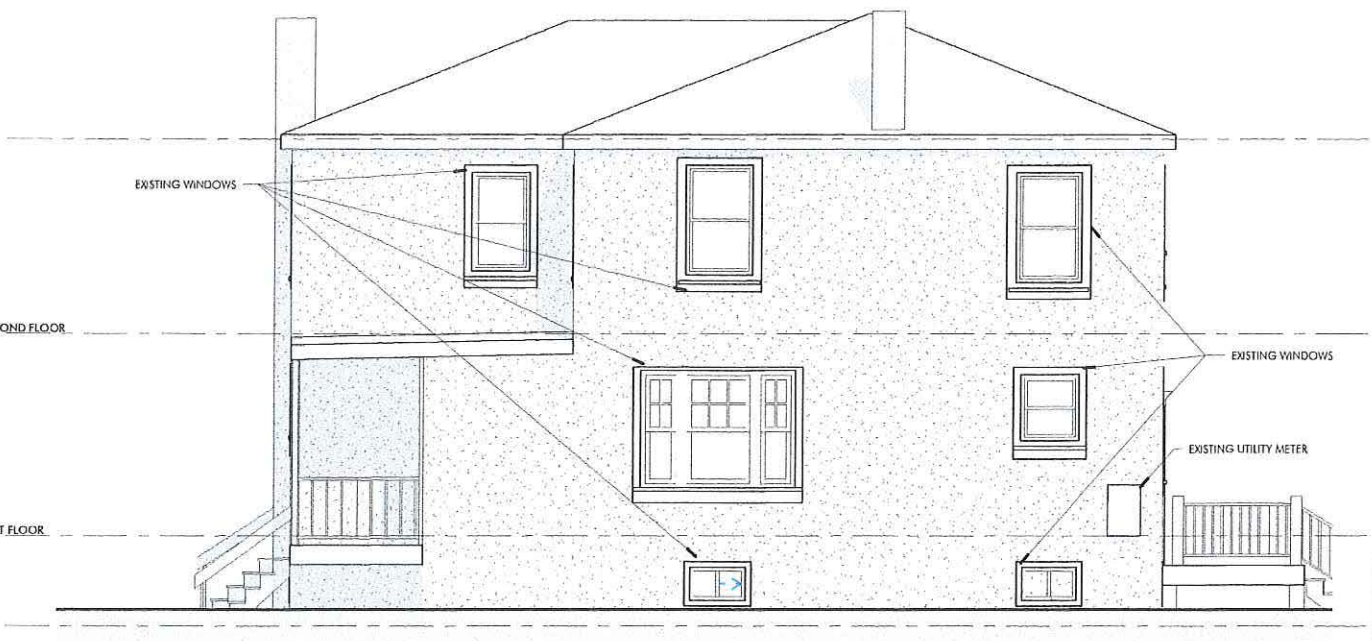
④ EXISTING EAST ELEVATION
1/4" = 1'-0"



① EXISTING NORTH ELEVATION
1/4" = 1'-0"



② EXISTING WEST ELEVATION
1/4" = 1'-0"



③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

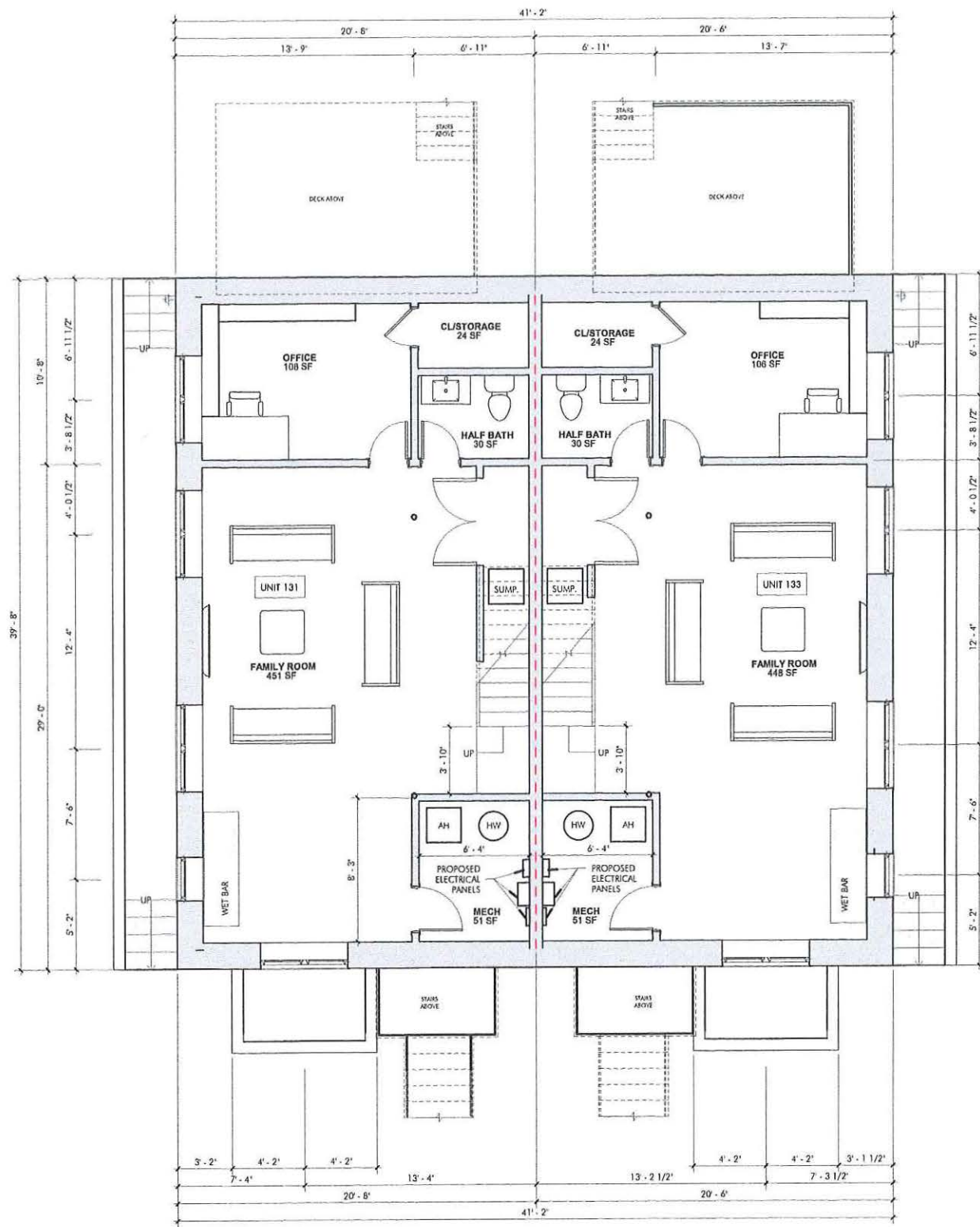
AndersonPorterDesign
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Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

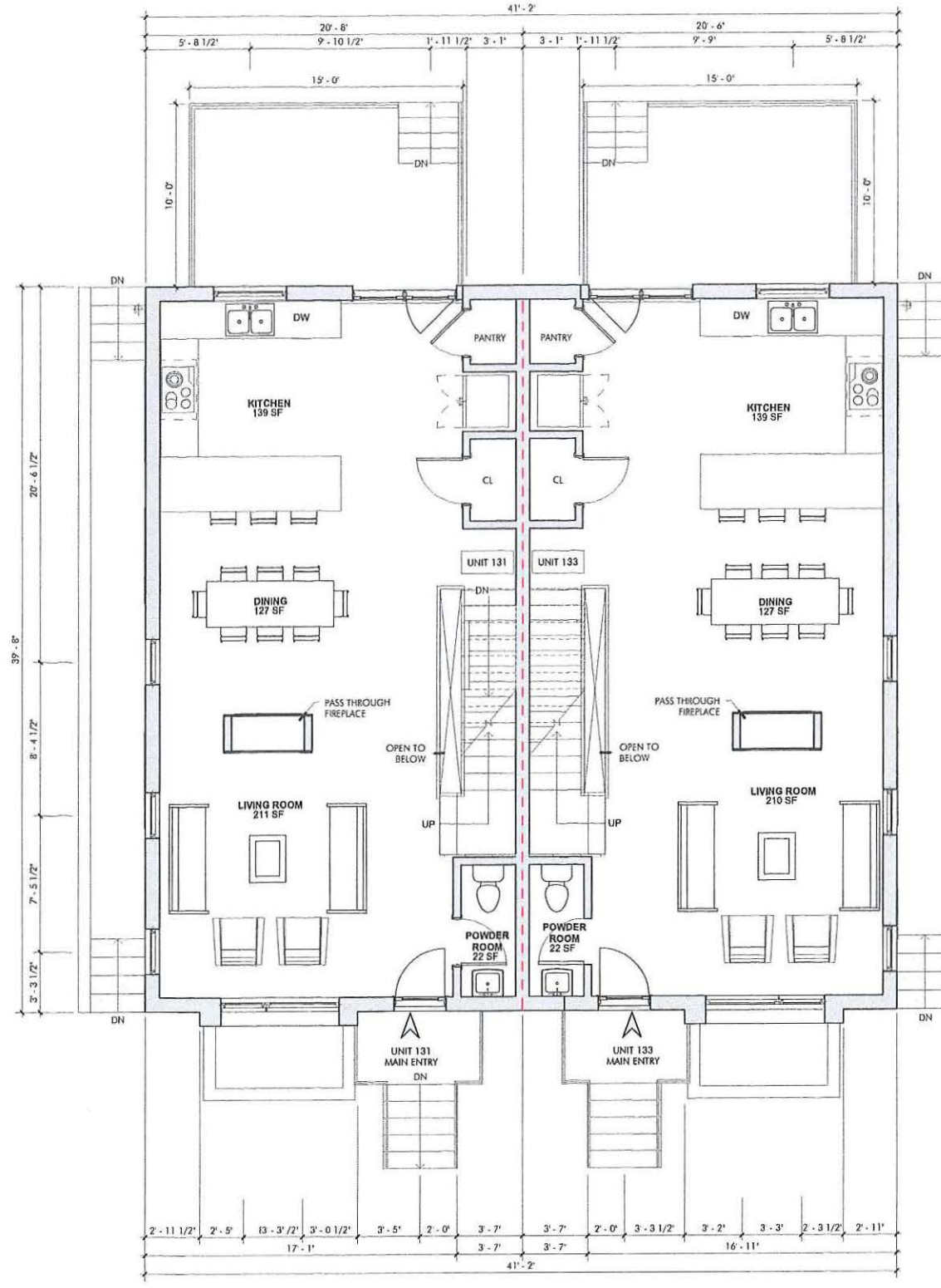
EXISTING ELEVATIONS

Drawing level for: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

AX2.1



1 PROPOSED BASEMENT
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
1/4" = 1'-0"



SPECIAL PERMIT

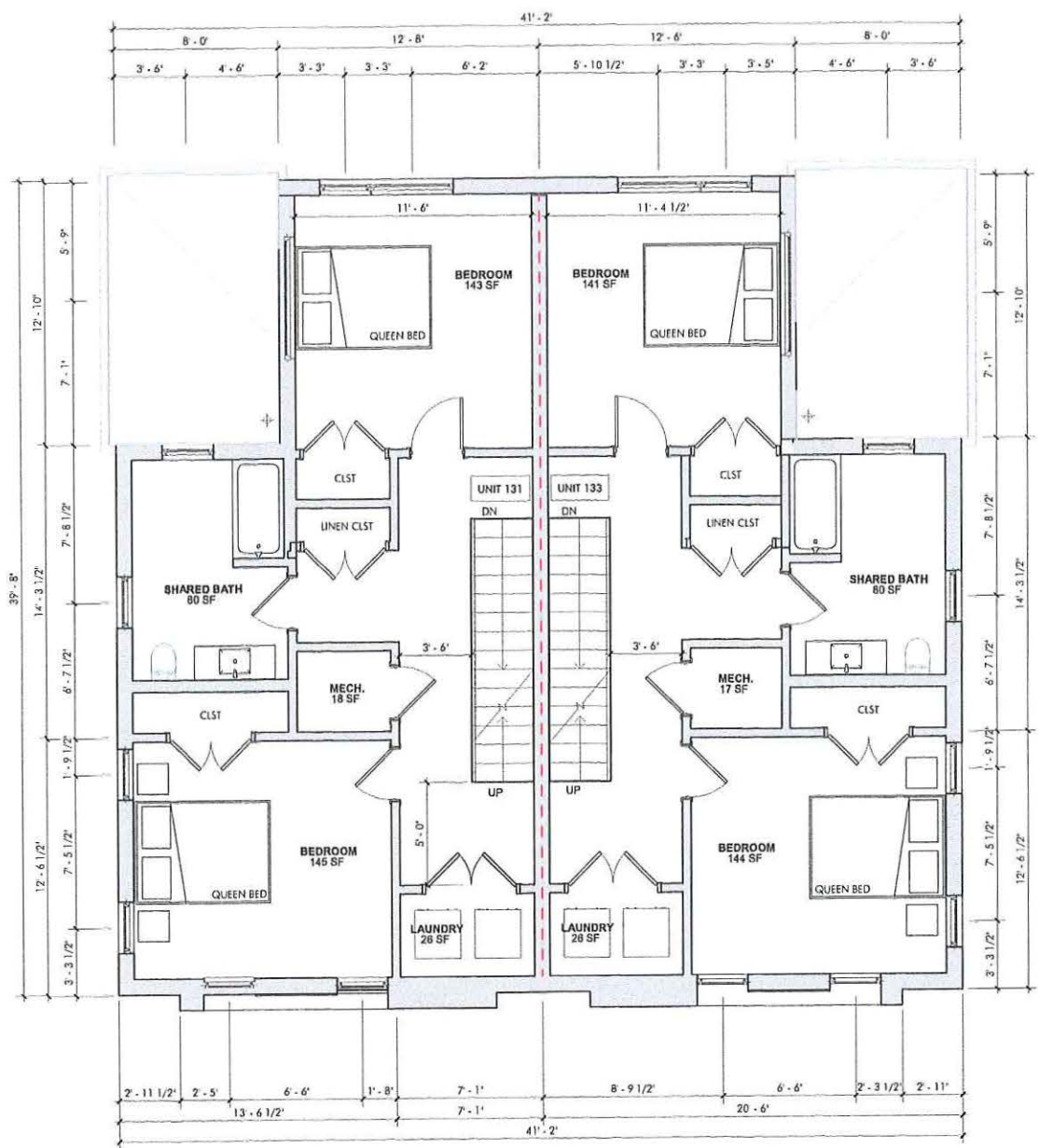
REVISION	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave., 4th Floor
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Tel. 617.354.2501 Fax. 617.354.2509

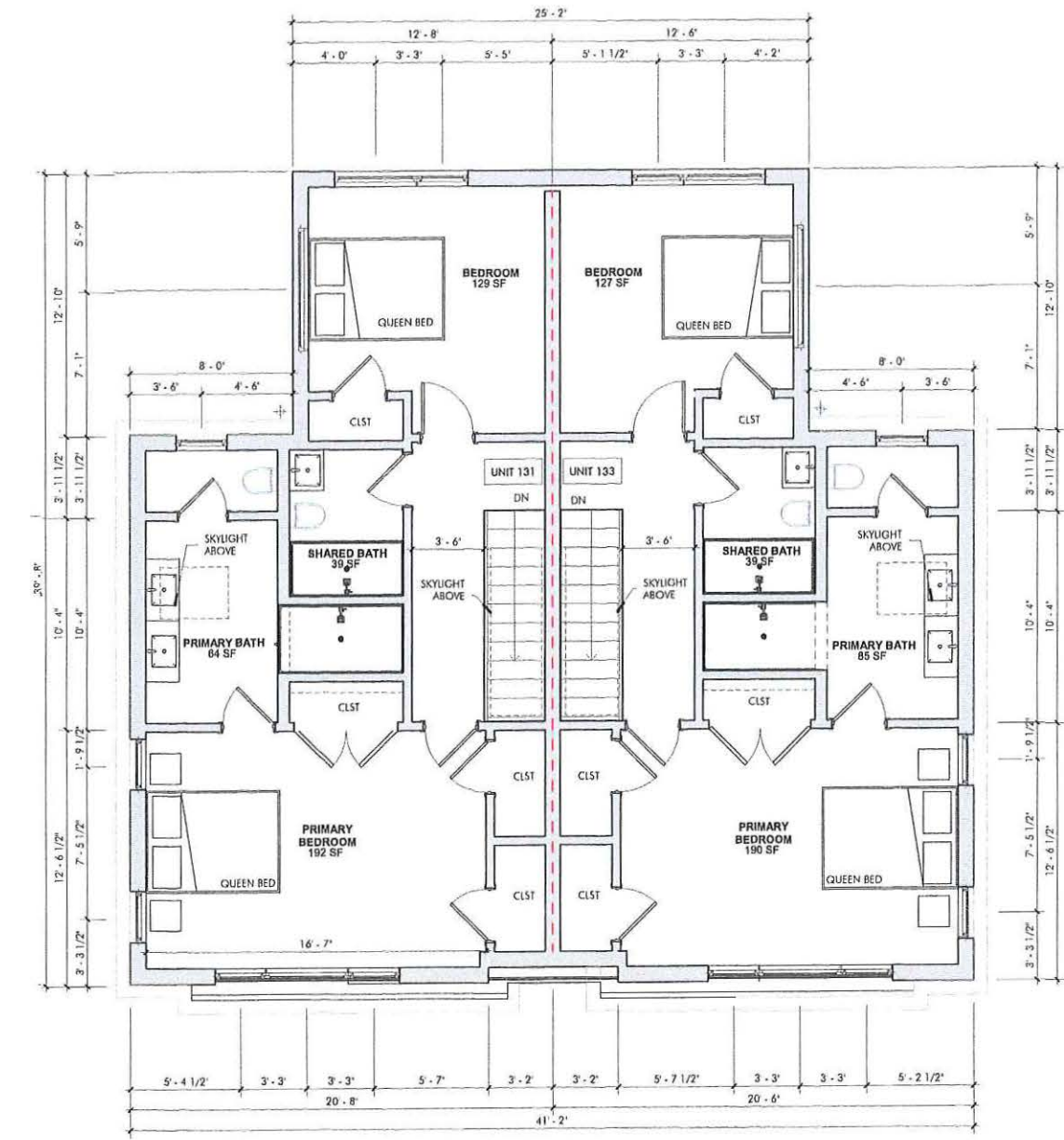
Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED FLOOR PLANS

Drawing: ANDERSON PORTER DESIGN
Project #: 2125 Date: 2022.02.15
Scale: 1/4" = 1'-0" Drawn By: ARS
Drawn By: ARS



1 PROPOSED SECOND FLOOR
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR
1/4" = 1'-0"

SPECIAL PERMIT

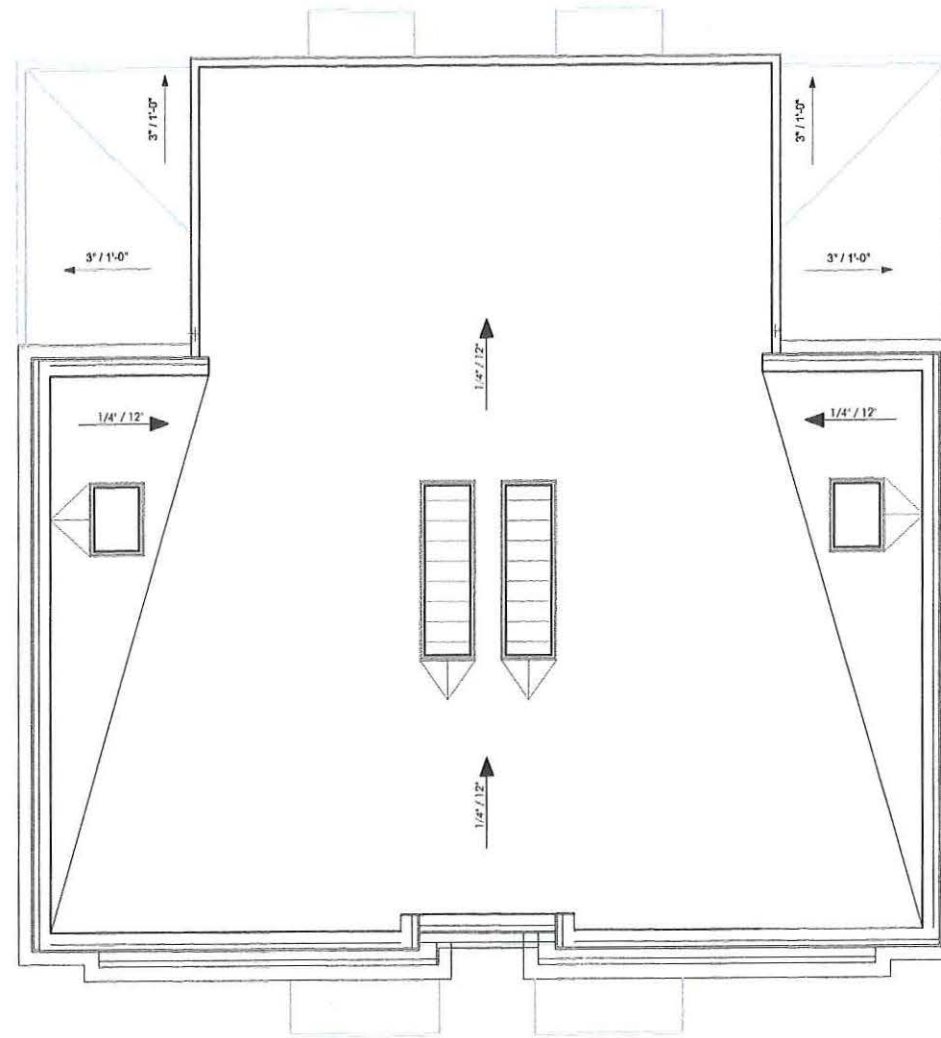
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

PROPOSED FLOOR PLANS

Drawn by: ANDERSON PORTER DESIGN
Project #: 2125 Date: 2022.02.15
Scale: 1/4" = 1'-0" Drawn by: ARS.



① PROPOSED ROOF
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project:
133 FAYERWEATHER
Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title:
PROPOSED FLOOR PLANS

Drawn by:	ANDERSON PORTER DESIGN	
Project #:	2125	Drawn by:
Date:	2022.02.15	
Scale:	1/4" = 1'-0"	A1.3
Drawn by:	AR.S.	



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
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Cambridge, MA 02140
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Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED ELEVATIONS

Drawing level by: ANDERSON PORTER DESIGN
Project #: 2125 Draw No.
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.



VIEW OF FRONT



VIEW OF REAR



VIEW OF SIDE



VIEW OF CORNER

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project
133 FAYERWEATHER
Address
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title
EXISTING PHOTOS

Drawn by: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale:
Drawn by: DS

SK1



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Jesse Germain Date: 3/7/22
(Print)

Address: 133 Fayerweather St.

Case No. BZA-163050

Hearing Date: 3/24/22

Thank you,
Bza Members