



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 FEB 17 PM 12:25

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 163050

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: 133 Fayerweather Street LLC C/O Daniel P Anderson

PETITIONER'S ADDRESS: Anderson Porter Design, Cambridge, MA 02140

LOCATION OF PROPERTY: 133 Fayerweather St., Cambridge, MA

TYPE OF OCCUPANCY: Residential two-family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

The proposed project at 133 Fayerweather proposes the extension of two existing non-conformities, FAR and side yard encroachment by the addition of a third floor. Changes to window openings in the non conforming side yard elevations are proposed.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.2.D & 8.22.2.C (Non-Conforming Structure).
Article: 10.000	Section: 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

DANIEL P. ANDERSON

(Print Name)

Address:

1972 MASS AVE 4TH FL CAMB-40

Tel. No.

617 794 2371

E-Mail Address:

dan@andersonporter.com

Date: 2.16.2022

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We 133 Fayerweather Street LLC


(OWNER)

Address: 1 Garfield Circle, Unit 6, Burlington, MA 01803

State that I/We own the property located at 133 Fayerweather Street, Cambridge, MA 02138, which is the subject of this zoning application.

The record title of this property is in the name of 133 Fayerweather Street LLC

*Pursuant to a deed of duly recorded in the date 01/18/2022, Middlesex South County Registry of Deeds at Book N/A, Page N/A; or Middlesex Registry District of Land Court, Certificate No. 278450
Book 1584 Page 84.


**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

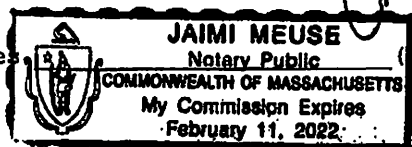
***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name Ozan Dokmecioglu personally appeared before me, this 10th of February, 2022, and made oath that the above statement is true.


Notary

My commission expires _____



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 133 Fayerweather St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed project at 133 Fayerweather proposes the extension of two existing non-conformities, FAR and side yard encroachment by the addition of a third floor. Changes to window openings in the side yard elevations are proposed. The proposed project remains a two-family duplex and improves the overall design and construction quality of the building.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No increase in traffic, access or egress is proposed. The proposed addition conforms with height limits and is in keeping with the mix of two- and three-story structures found in the neighborhood and zoning district generally.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No change in the existing permitted residential use. The proposed project is consistent in use with the surrounding neighborhood and adjacent residential uses and does not adversely affect continued or future adjacent uses.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No change in the existing permitted residential use will occur. The project will not create any nuisance or hazard to the detriment of health, safety or welfare of its occupants or citizens.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed project will not impair the integrity of the district or otherwise derogate from the intent or purpose of this ordinance as it improves the overall character of the

residence. The project exceeds the minimum open space requirements and proposes no increase in footprint or lot coverage.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: 133 Fayerweather Street LLC
Location: 133 Fayerweather St., Cambridge, MA
Phone: 617 794 2371

Present Use/Occupancy: Residential two-family
Zone: Residence B Zone
Requested Use/Occupancy: Residential two-family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2909.6	4505.5	2386	(max.)
<u>LOT AREA:</u>		4772	4772	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.6	0.95	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2386	2386	2500	
<u>SIZE OF LOT:</u>	WIDTH	41.17	41.17	50	
	DEPTH	91.95	91.95	100	
<u>SETBACKS IN FEET:</u>	FRONT	22.9	22.9	15	
	REAR	28.4	28.4	25	
	LEFT SIDE	7.4	7.4	12.5	
	RIGHT SIDE	3.2	3.2	7.5	
<u>SIZE OF BUILDING:</u>	HEIGHT	27.2	34.75	35	
	WIDTH	41.17	41.17	na	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		63%	63%	40%	
<u>NO. OF DWELLING UNITS:</u>		2	2	2	
<u>NO. OF PARKING SPACES:</u>		0	0	2	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		na	na	na	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

*No other occupancies on the same lot, no other buildings or structures on the same lot.
Proposed enclosure of rear porches and addition to third floor. Construction type is wood frame.*

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

SPECIAL PERMIT: 133 FAYERWEATHER ST

CAMBRIDGE, MA 02138

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
2. THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
6. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION.
7. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
8. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR: THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.
10. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.
11. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
12. THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
13. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS.
15. DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION OR COMMENCING THE WORK.
16. DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
17. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
18. UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.
19. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
20. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.
21. THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
22. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
2. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
3. DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.
5. CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
6. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
8. REMOVE FROM THE JOBSITE, AS SOON AS PRACTICAL, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
9. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
10. REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (I.E. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
11. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.
13. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS.
14. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED - TO BE APPROVED BY ARCHITECT AND OWNER.
15. PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.



ANDERSON
PORTER
DESIGN

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign		
1972 Massachusetts Ave, 4th Floor Cambridge, MA 02140		
Tel. 617.354.2501 Fax. 617.354.2509		
Project:	133 FAYERWEATHER	
Address:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138	
Title:	COVER SHEET	
Drawing Issued By:	ANDERSON PORTER DESIGN	
Project #:	2125	Drawn No.
Date:	2022.02.15	
Scale:	1/4" = 1'-0"	G0.1
Drawn by:	AR.S.	

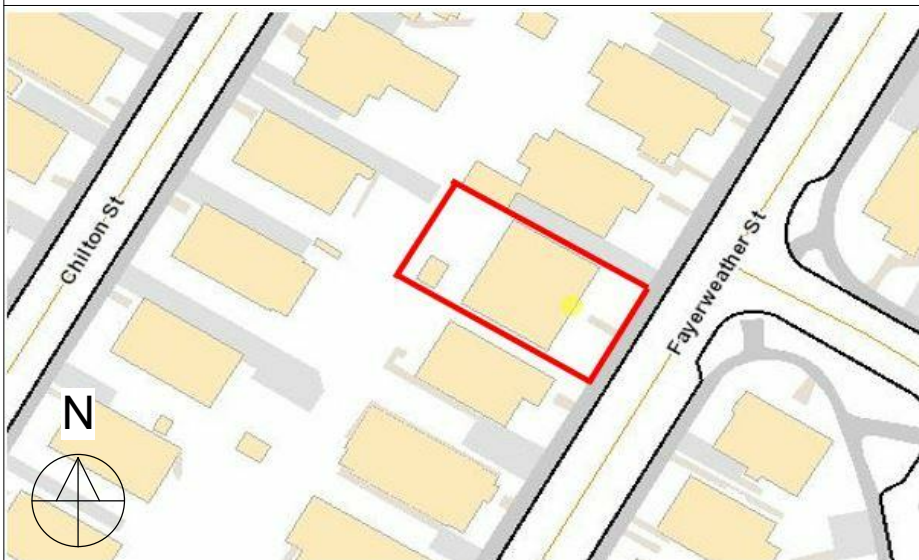
LIST OF SYMBOLS

- EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED
- EXISTING STRUCTURE OR PARTITION TO REMAIN
- NEW STRUCTURE OR PARTITION
- FINISH ELEVATION
- ROOM TAG
- GENERAL DETAIL
- WALL SECTION
- INTERIOR ELEVATION
- FINISH TAG
- DOOR IDENTIFICATION SYMBOL
- WALL TYPE TAG
- WINDOW IDENTIFICATION SYMBOL
- DUPLEX OUTLET
- GROUND FAULT OUTLET
- CAT 5/COAX/DATA
- CARBON MONOXIDE DETECTOR
- SMOKE ALAM

ABBREVIATIONS

- AFF ABOVE FINISHED FOOR
- CJ CONTROL JOINT
- CLB CEILING
- CLR CLEAR
- CO CLEAN OUT
- COL COLUMN
- CONC CONCRETE
- CONT CONTINUOUS
- DN DOWN
- EJ EXPANSION JOINT
- EL ELEVATION
- ELEC ELECTRICAL
- EQ EQUAL
- EXIST EXISTING
- FC FURRING CHANNEL
- FD FLOOR DRAIN
- FIN FINISH
- FL FLOOR
- GL GLASS
- GWB GYPSUM WALLBOARD
- HT HEIGHT
- HDWD HARDWOOD
- HVAC HEATING, VENTILATION AND AIR CONDITIONING
- INSUL INSULATION
- MAX MAXIMUM
- MFR MANUFACTURER
- MIN MINIMUM
- MO MASONRY OPENING
- MTL METAL
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OC ON CENTER
- PLAN PLASTIC LAMINATE
- PLYWD PLYWOOD
- PTD PAINTED
- REQD REQUIRED
- RL RAIN LEADER
- STL STEEL
- STR STRUCTURE/STRUCTURAL
- T.O.C. TOP OF CONCRETE
- T.O.S TOP OF SLAB
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VCT VINYL COMPOSITION TILE
- WD WOOD
- W WITH
- WINDW WINDOW

SITE LOCATION



CONTACTS

- ARCHITECT**
Anderson Porter Design
1972 Massachusetts Ave,
4th Floor
Cambridge MA 02139

OWNER
DND Homes, LLC
1 GARFIELD CIR,
BURLINGTON, MA 01803
Trina Murphy
781.460.8437
- Dan Anderson
617.354.2501
dan@andersonporter.com
- CIVIL ENGINEER**
Spruhan Engineering, P.C.
80 Jewett Street, Suite 2
Newton MA 02458
Edmond Spruhan
617.816.0722

DRAWING LIST

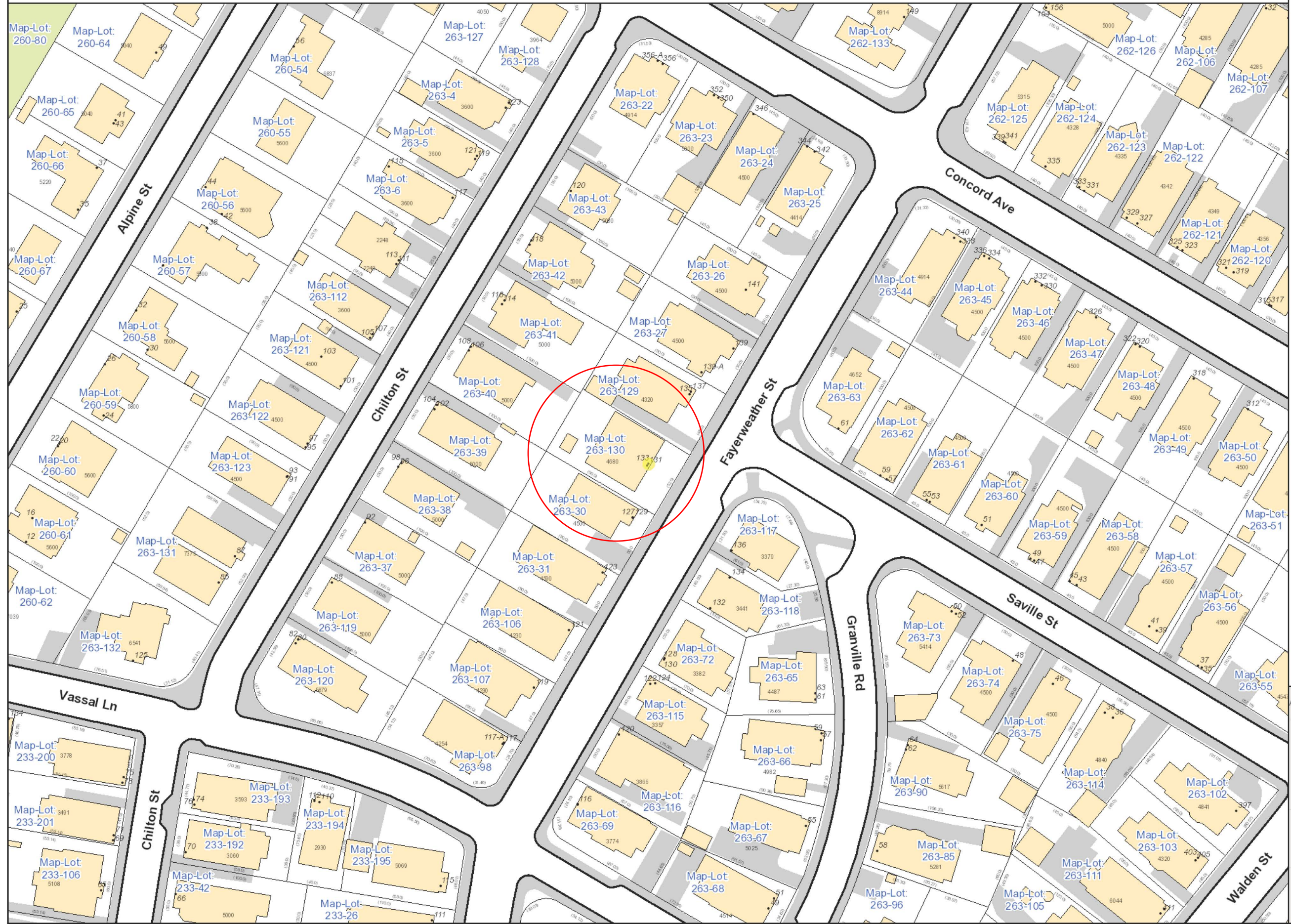
- G0.1 COVER SHEET
- C.1 EXISTING CIVIL PLAN
- L1.1 PROPOSED SITE PLAN
- Z1.1 ZONING COMPLIANCE
- Z1.2 ZONING COMPLIANCE
- AX1.1 EXISTING FLOOR PLANS
- AX1.2 EXISTING FLOOR PLANS
- AX2.1 EXISTING ELEVATIONS
- A1.1 PROPOSED FLOOR PLANS
- A1.2 PROPOSED FLOOR PLANS
- A1.3 PROPOSED FLOOR PLANS
- A2.1 PROPOSED ELEVATIONS
- SK1 EXISTING PHOTOS

CODE SUMMARY

PROPERTY ADDRESS:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138
ZONING DISTRICT:	RESIDENCE B
PROJECT DESCRIPTION:	RENOVATION OF EXISTING TWO-FAMILY STRUCTURE
CHAPTER 3 - BUILDING PLANNING	SECTION 316
SECTION 302	FOAM PLASTIC
R302.3	GC shall verify that any foam plastics used shall comply with code.
R302.7	SECTION 317
A1.1	FIRE-RESISTANT CONSTRUCTION
SECTION 303	Dwelling units shall be separated by a 1-hour fire-resistance rated wall.
R303.3	Enclosed space under stairs that is accessed by door or access panel
R303.10	shall be covered with 1/2" gypsum board.
SECTION 304	SECTION 318
SECTION 305	LIGHT, VENTILATION AND HEATING
R305.1	Mechanical ventilation shall be provided.
SECTION 306	SECTION 319
SECTION 307	ACCESSIBILITY
SECTION 308	Dwelling units shall be provided with required heating.
SECTION 309	SECTION 320
SECTION 310	All habitable room areas shall comply with code.
SECTION 311	SECTION 321
R311.1	CEILING HEIGHT
R311.2.1	Ceiling heights shall be equal to, or greater than, minimum requirements.
R311.7.5.1-2	SECTION 322
R311.7.5.1-2	STORM SHELTERS
R311.7.5.1-2	The basement shall be constructed to anticipate the estimated seasonal high ground water level.
R311.7.5.1-2	SECTION 323
R311.7.5.1-2	Sanitation
R311.7.5.1-2	Toilet fixtures, kitchens, sewage disposal, and water supply to fixtures shall be provided.
R311.7.5.1-2	SECTION 324
R311.7.5.1-2	TOILET, BATH AND SHOWER SPACES
R311.7.5.1-2	Toilet, baths, and showers spaces shall comply with code.
R311.7.5.1-2	SECTION 325
R311.7.5.1-2	GLAZING
R311.7.5.1-2	All glazing shall comply with code.
R311.7.5.1-2	SECTION 326
R311.7.5.1-2	GARAGES AND CARPORTS
R311.7.5.1-2	This section of the code is not applicable to the proposed design.
R311.7.5.1-2	SECTION 327
R311.7.5.1-2	EMERGENCY ESCAPE AND RESCUE OPENINGS
R311.7.5.1-2	This section of the code is not applicable to the proposed design.
R311.7.5.1-2	SECTION 328
R311.7.5.1-2	MEANS OF EGRESS
R311.7.5.1-2	Each dwelling unit shall be provided with a primary and secondary means of egress with clear widths that comply with code.
R311.7.5.1-2	SECTION 329
R311.7.5.1-2	All interior doors shall have nominal widths and heights that comply with code.
R311.7.5.1-2	SECTION 330
R311.7.5.1-2	Riser heights shall not be more than 81/4". Tread depths shall not be less than 9".
R311.7.5.1-2	SECTION 331
R311.7.5.1-2	Winder treads shall have a minimum tread depth of 3" at any point.
R311.7.5.1-2	SECTION 332
R311.7.5.1-2	GUARDS AND WINDOW FALL PROTECTION
R311.7.5.1-2	Guard locations and heights, and window openings and fall protections shall comply with code.
R311.7.5.1-2	SECTION 333
R311.7.5.1-2	AUTOMATIC FIRE SPRINKLER SYSTEMS
R311.7.5.1-2	The proposed design does not have an aggregate area greater than 14,400 square feet.
R311.7.5.1-2	SECTION 334
R311.7.5.1-2	SMOKE ALARMS
R311.7.5.1-2	Smoke alarms shall be provided and located as required.
R311.7.5.1-2	SECTION 335
R311.7.5.1-2	CARBON MONOXIDE ALARMS
R311.7.5.1-2	Carbon monoxide alarms shall be provided and located as required.

LEGEND

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
 - Unpaved Roads
 - Unpaved Parking
 - Sidewalks
 - Driveways
 - Alleys
 - Other Paved Surface
 - Public Footpath



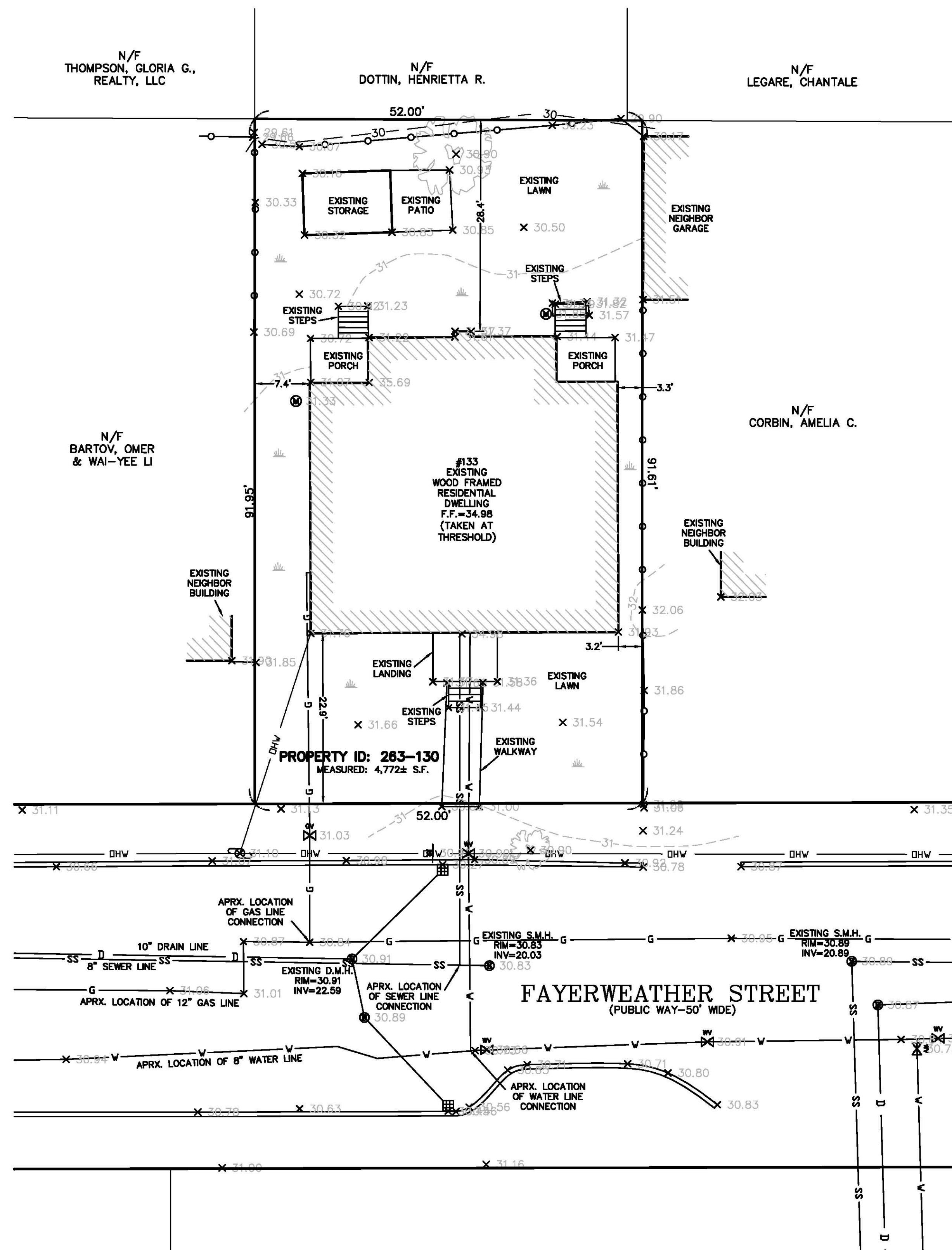
City of Cambridge
Massachusetts





































1" = 69 ft

All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

www.cambridgema.gov/gis





LEGEND	
	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (M/R)
	CONTOUR LINE (M/R)

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.

2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197
PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 16992A
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.


4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.

5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.

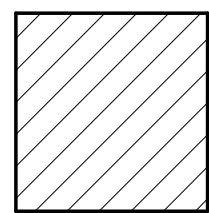
SCALE 1"=10'					
DATE 12/08/21	REV	DATE	REVISION	BY	
SHEET 1	133 FAYERWEATHER STREET CAMBRIDGE MASSACHUSETTS				
PLAN NO. 1 OF 1					
CLIENT:	EXISTING CONDITIONS PLAN				
DRAWN BY OB	 PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com				
CHKD BY P.J.N					
APPD BY P.J.N					
					SHEET NO. 1

[illegible]

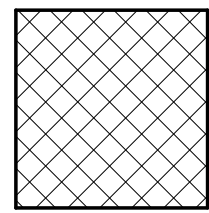
Project:	133 FAYERWEATHER
Address:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138

Drawing Issued By: ANDERSON PORTER DESIGN

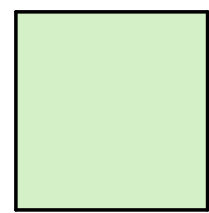
Project #:	2125	Drawn No. <div style="font-size: 2em; font-weight: bold;">L1.1</div>
Date:	2022.02.15	
Scale:	$3/16'' = 1'-0''$	
Drawn by:	AR.S.	



REQUIRED PRIVATE OPEN SPACE
MIN 15'x15'
954 S.F. +/-



REQUIRED PERMEABLE OPEN SPACE
954 S.F. +/-

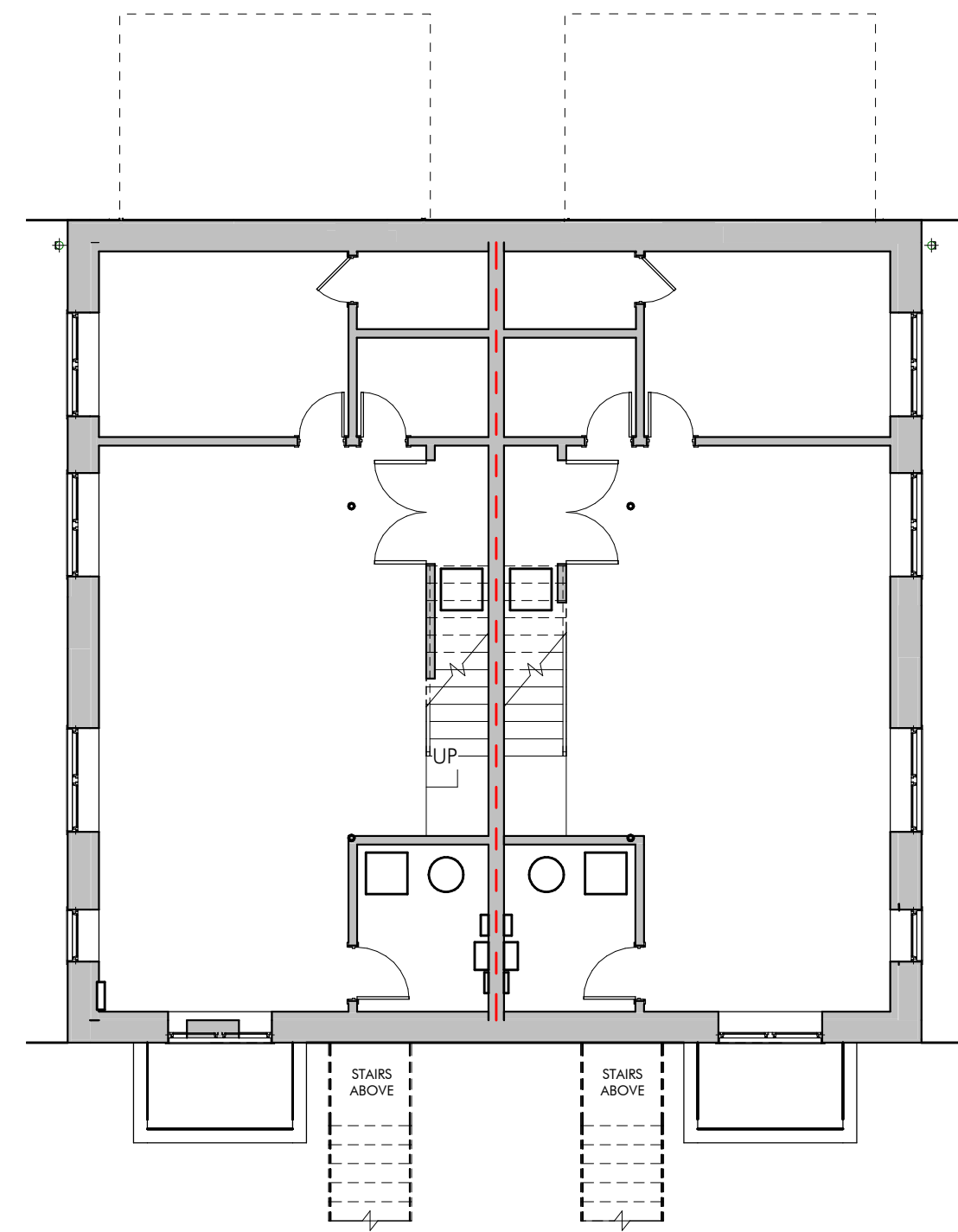


TOTAL REQUIRED OPEN SPACE
2984 S.F. +/- > 1908 S.F.

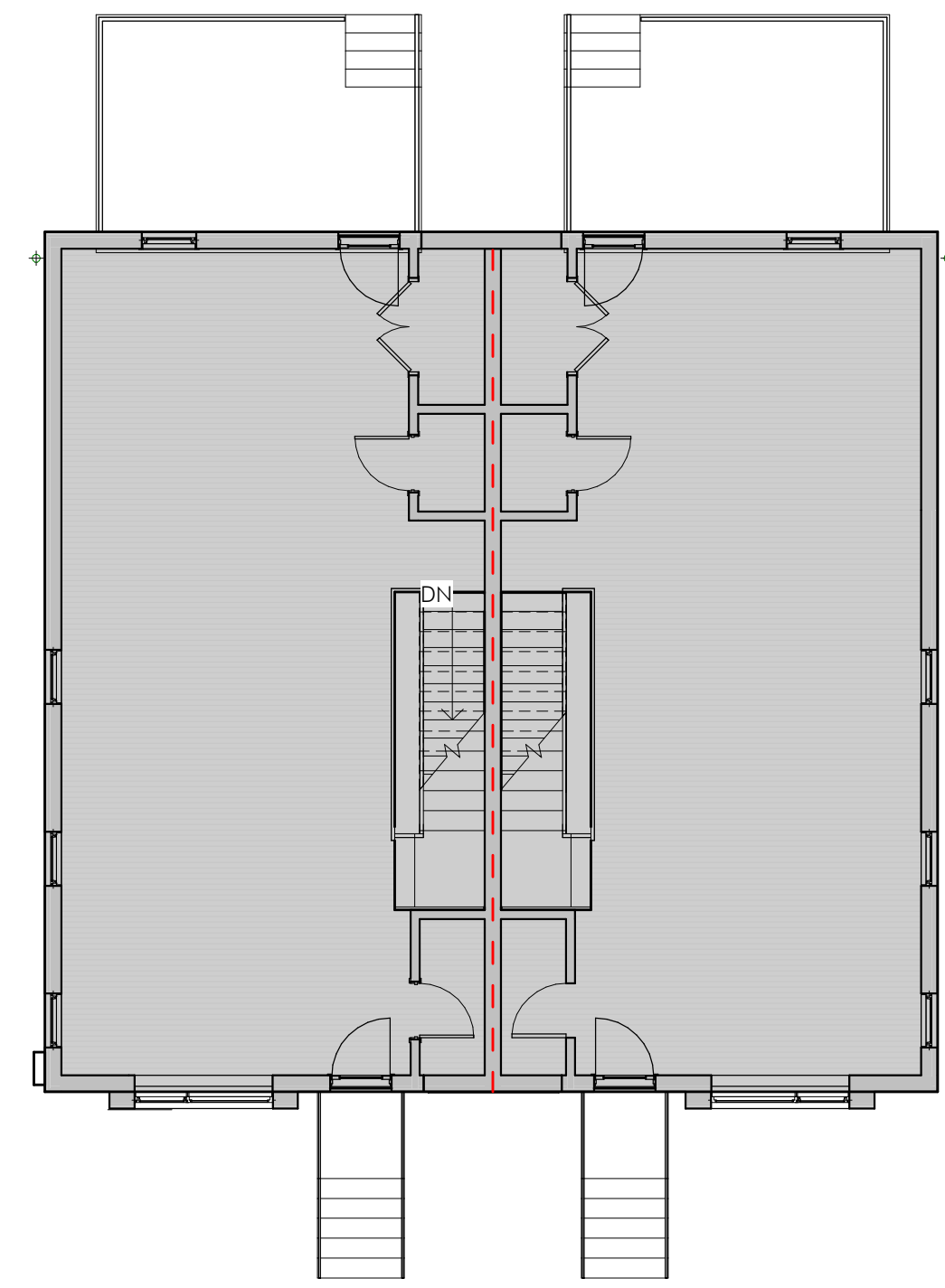
ZONING CHART - CAMBRIDGE				
LOT SIZE:	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	B ZONE	B ZONE	B ZONE	COMPLIES
USE	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	COMPLIES
MIN LOT SIZE	5,000 S.F.	4,772 +/- S.F.	4,772 +/- S.F.	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	2,500 S.F.	2,386 S.F.	2,386 S.F.	EXISTING NON CONFORMING
MAX FLOOR AREA RATIO (FAR)	0.50	0.60	0.95	EXISTING NON CONFORMING
MAX BUILDING HEIGHT	35'	27.2'	34.75'	COMPLIES
MIN. YARD SETBACKS				
FRONT	15'	22.9'	22.9'	COMPLIES
RIGHT SIDE	7.5' SUM TO 20'	3.2'	3.2'	EXISTING NON CONFORMING
LEFT SIDE	7.5' SUM TO 20'	7.4'	7.4'	EXISTING NON CONFORMING
REAR	25'	28.4'	28.4'	COMPLIES
MIN LOT WIDTH	50'	52'	52'	COMPLIES
PARKING REQUIREMENTS	1 PER DWELLING UNIT	0 SPOTS	0 SPOTS	EXISTING NON CONFORMING
TOTAL OPEN SPACE, MIN % OF LOT	40% = 1908.80 S.F.	63% = 2994.21 S.F. +/-	63% = 2994.21 S.F. +/-	COMPLIES
PRIVATE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	56% = 2691.26 S.F. +/-	56% = 2691.26 S.F. +/-	COMPLIES
PERMEABLE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	25% = 1175.45 S.F. +/-	25% = 1175.45 S.F. +/-	COMPLIES
BICYCLE PARKING	N/A	0 SPOTS	0 SPOTS	COMPLIES

Min. distance between buildings: Sum of Heights/6 or 10'-0", whichever is greater

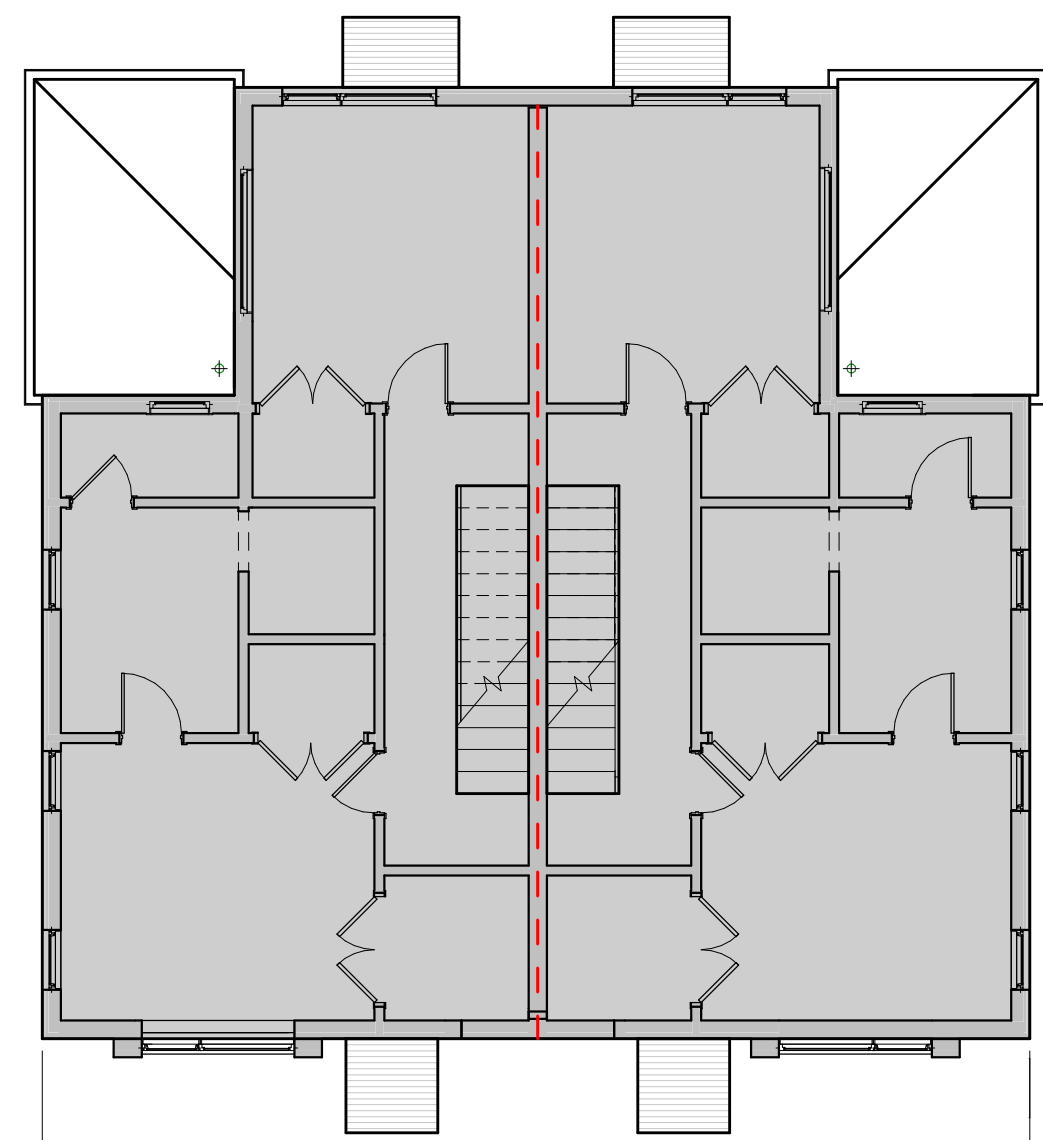
38 PM 5 AREA ELEVATION
1/4" = 1'-0"



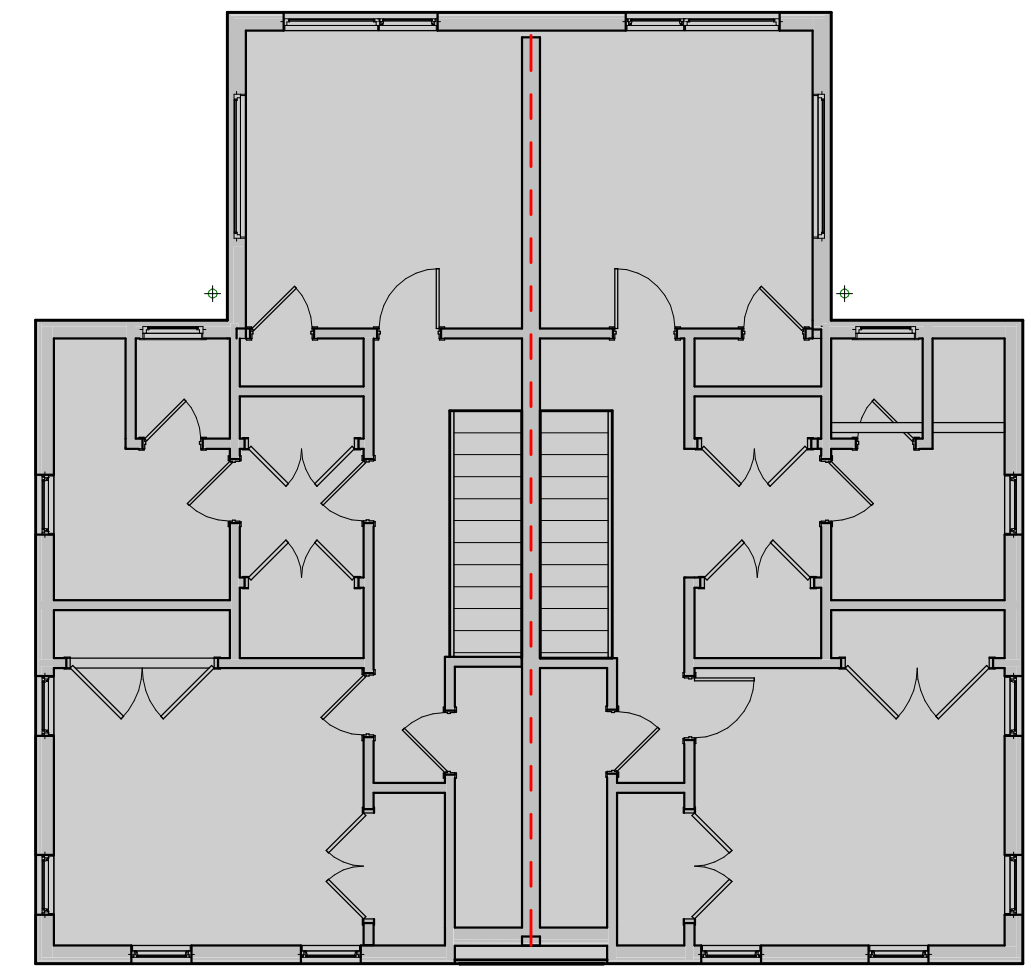
① BAZEMENT ZONING
1/8" = 1'-0"



② FIRST PLAN ZONING
1/8" = 1'-0"



3 SECOND FLOOR ZONING
1/8" = 1'-0"



④ THIRD FLOOR ZONING
1/8" = 1'-0"

AREA CALCULATIONS	EXISTING	PROPOSED	LIVABLE
BASEMENT UNIT 01 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 01	727.40	819.36	819.36
SECOND FLOOR UNIT 01	727.40	716.70	716.70
THIRD FLOOR UNIT 01	N/A	716.70	716.70
TOTAL (UNIT 01)	1,454.80	2,252.76	2,941.79
BASEMENT UNIT 02 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 02	727.40	819.36	819.36
SECOND FLOOR UNIT 02	727.40	716.70	716.70
THIRD FLOOR UNIT 02	N/A	716.70	716.70
TOTAL (UNIT 02)	1,454.80	2,252.76	2,941.79
GRAND TOTAL	2,909.60	4,505.52	5,883.58

N/A; BASEMENT AREA IS EXCLUDED FROM GROSS FLOOR AREA PER ARTICLE 2.

UNIT 1 - LEFT
UNIT 2 - RIGHT

SPECIAL PERMIT

[illegible]

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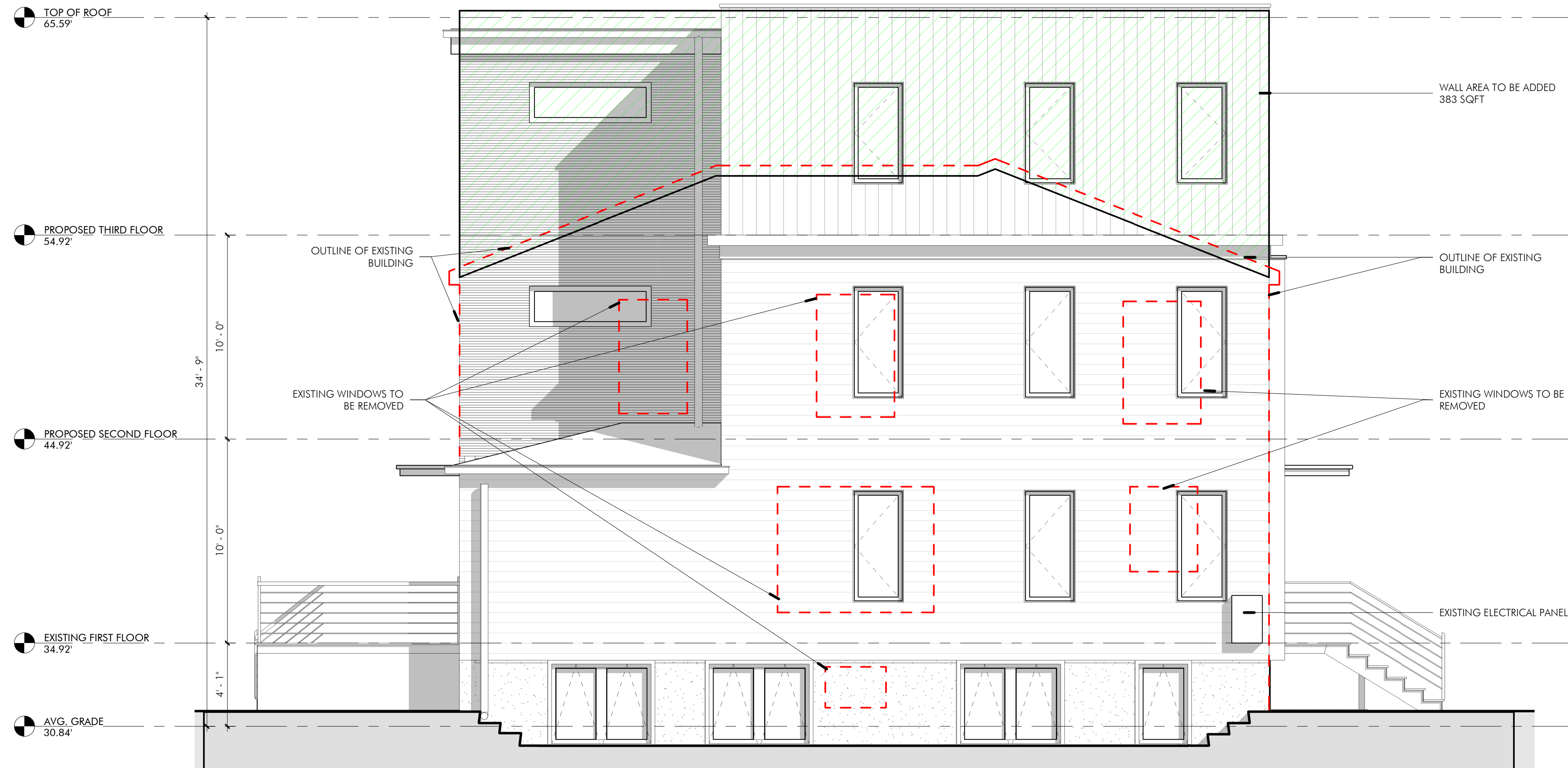
Project:	133 FAYERWEATHER
Address:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138

Title: **ZONING COMPLIANCE**

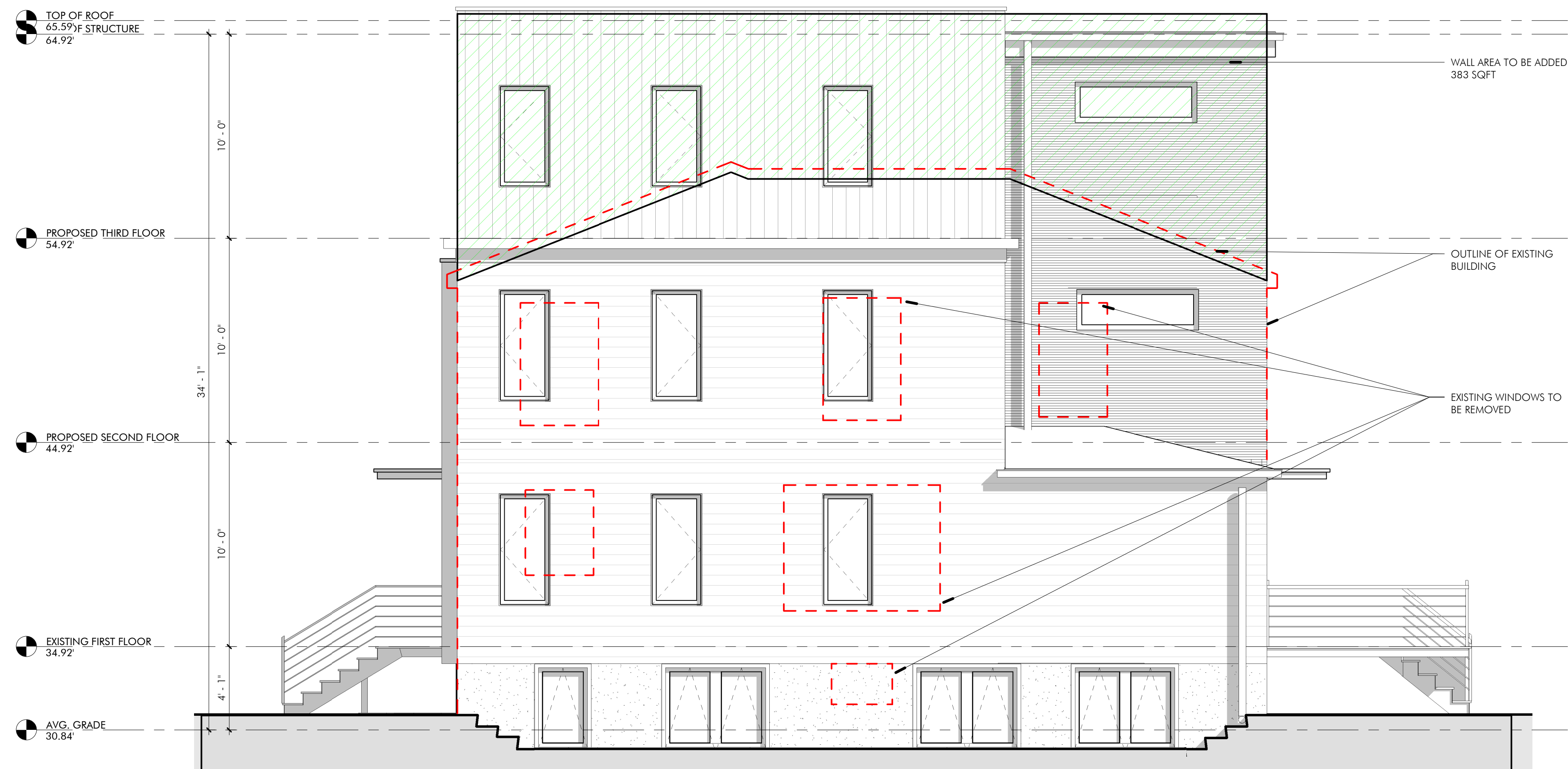
Drawing Issued By: ANDERSON PORTER DESIGN	
Project #:	2125
Date:	2022.02.15
Scale:	As indicated
Drawn by:	A.R.S.

Drawn No.

Z1.1



1 PROPOSED NORTH ELEVATION, ZONING
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION, ZONING
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

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Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: ZONING COMPLIANCE

Drawing Issued By:	ANDERSON PORTER DESIGN	
Project #:	2125	Drawn No.
Date:	2022.02.15	
Scale:	1/4" = 1'-0"	
Drawn by:	AR.S.	

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

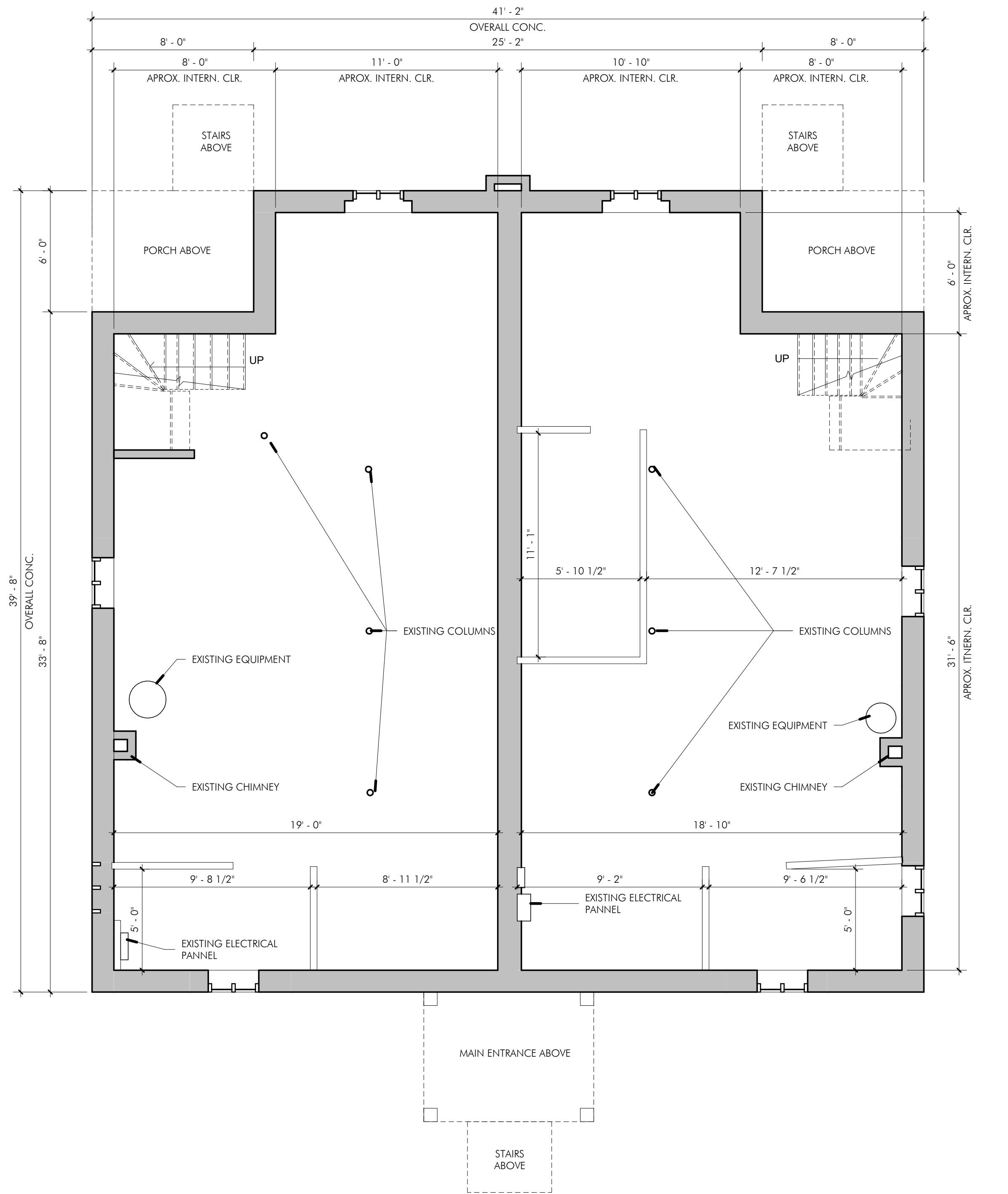
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

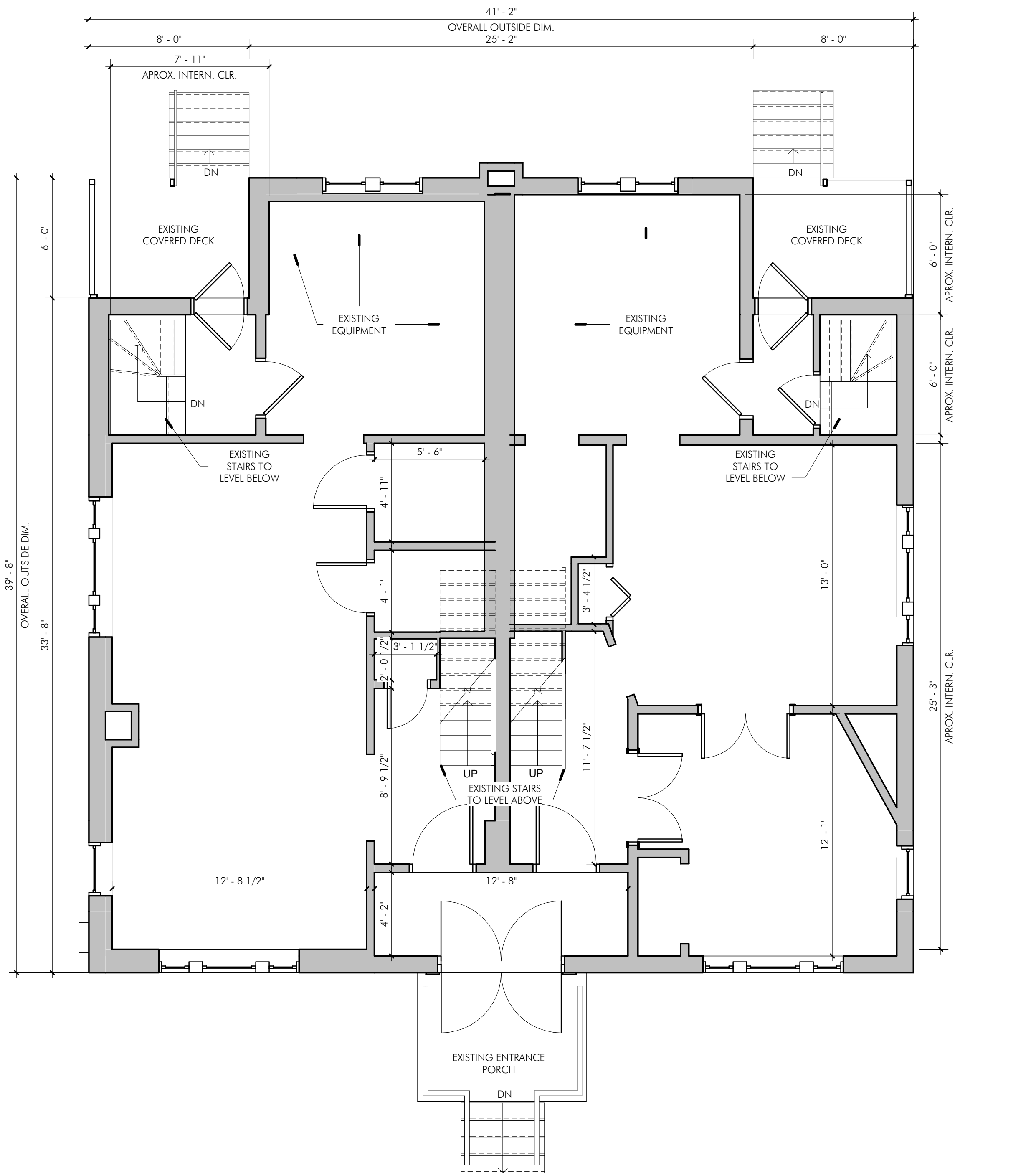
Title: EXISTING FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

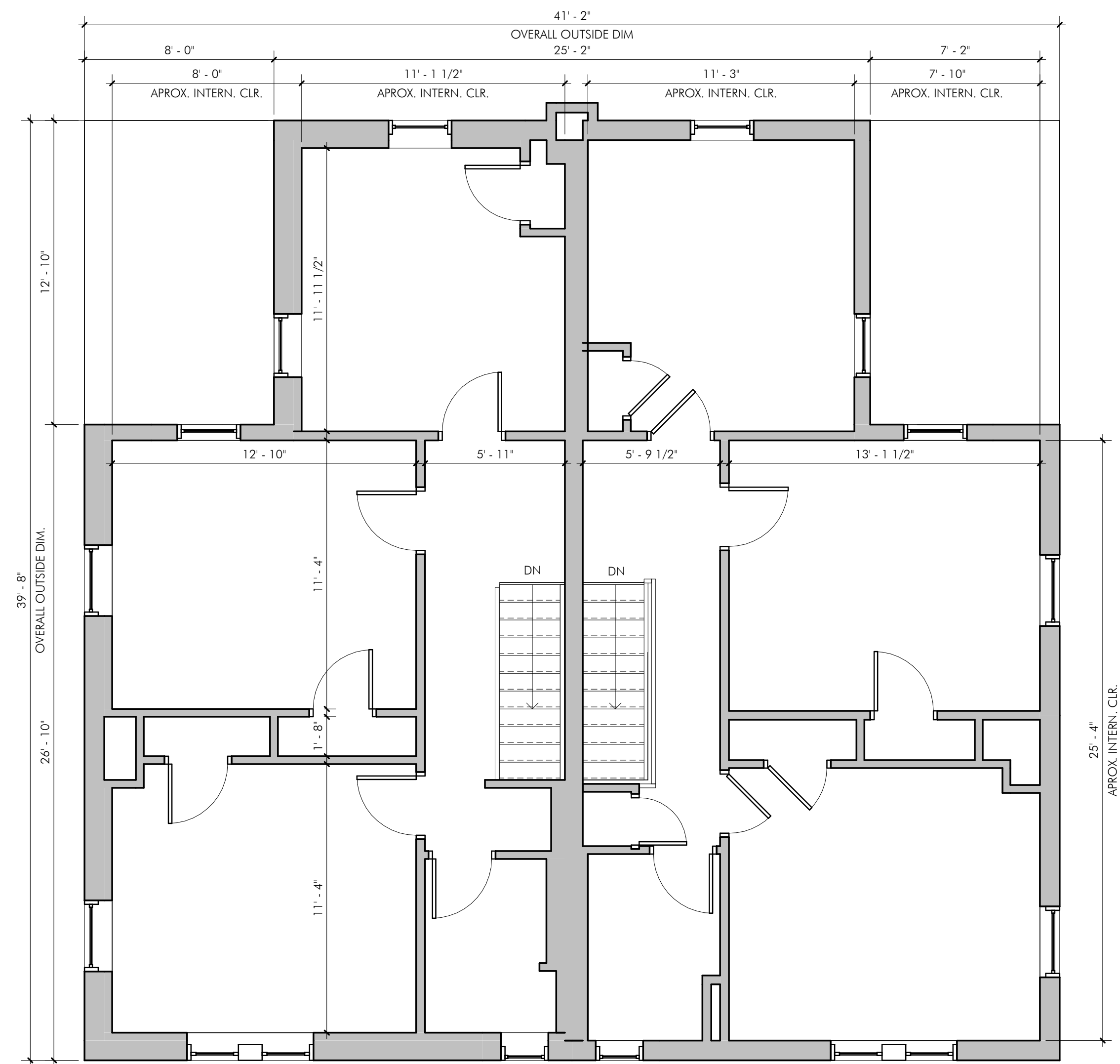
AX1.1



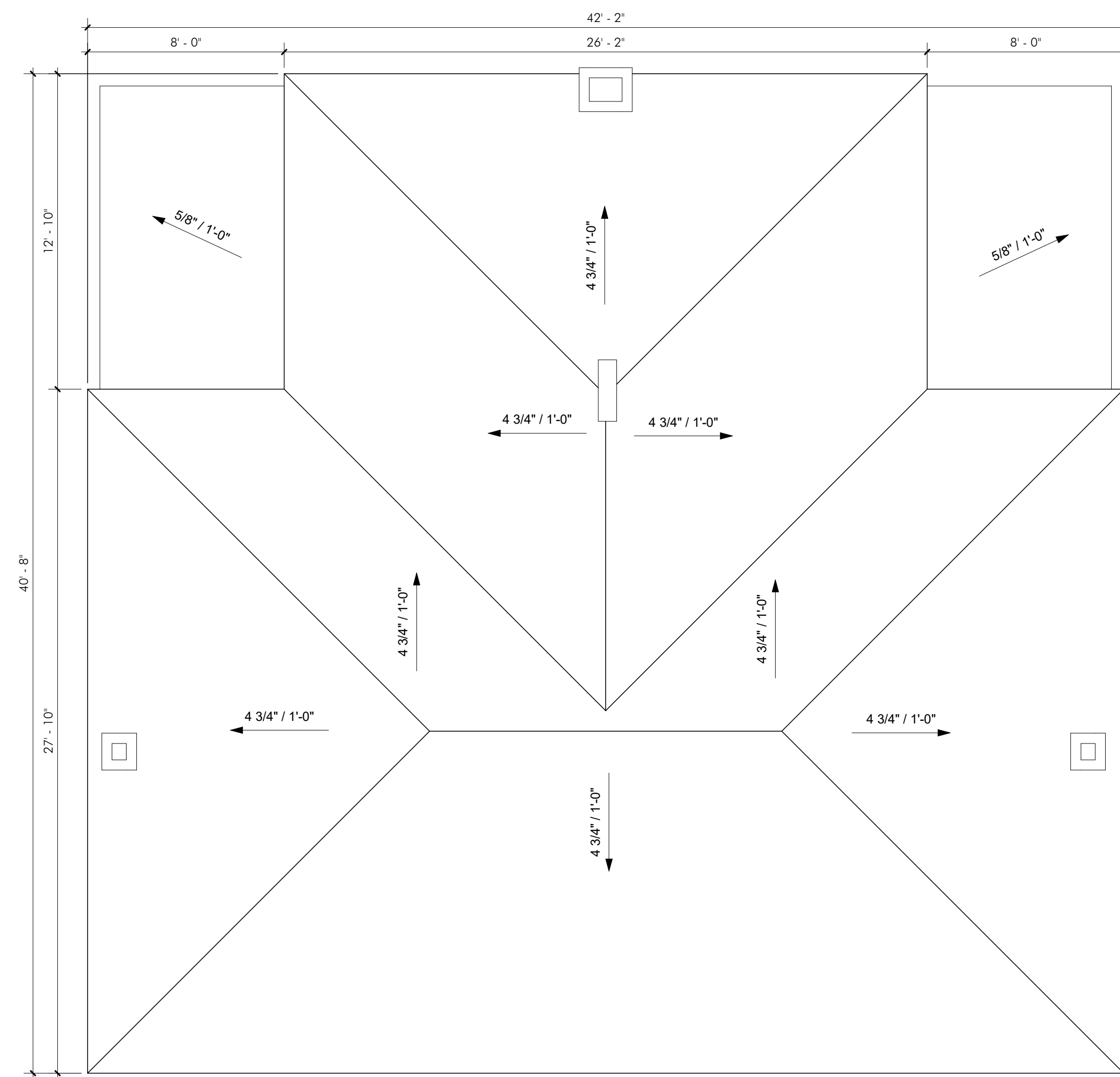
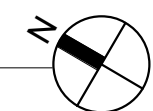
① EXISTING BASEMENT
1/4" = 1'-0"



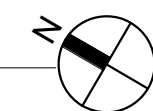
② EXISTING FIRST FLOOR
1/4" = 1'-0"



① EXISTING SECOND FLOOR
1/4" = 1'-0"



② EXISTING ROOF
1/4" = 1'-0"



SPECIAL PERMIT

[illegible]

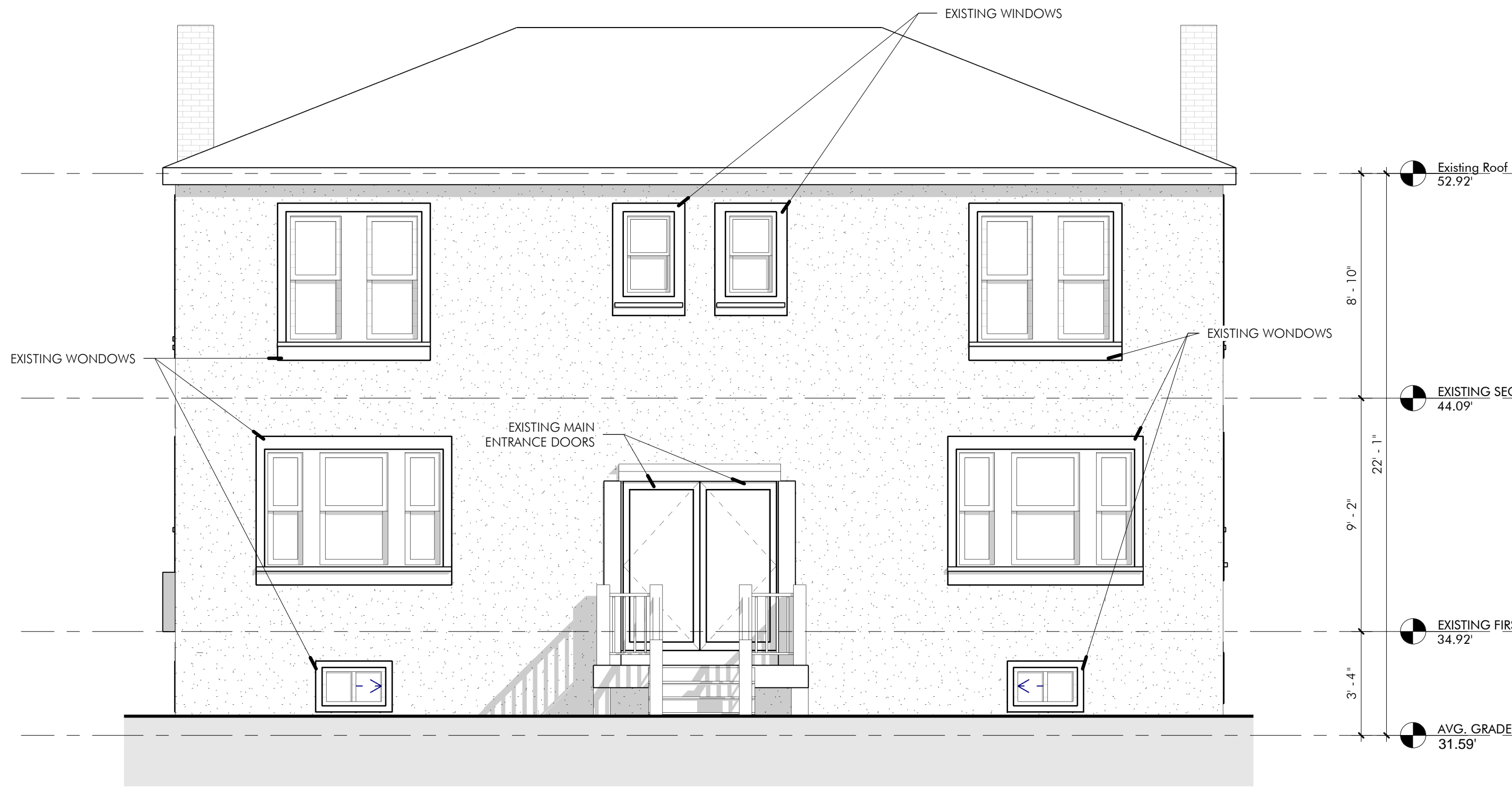
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project:	133 FAYERWEATHER
Address:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138

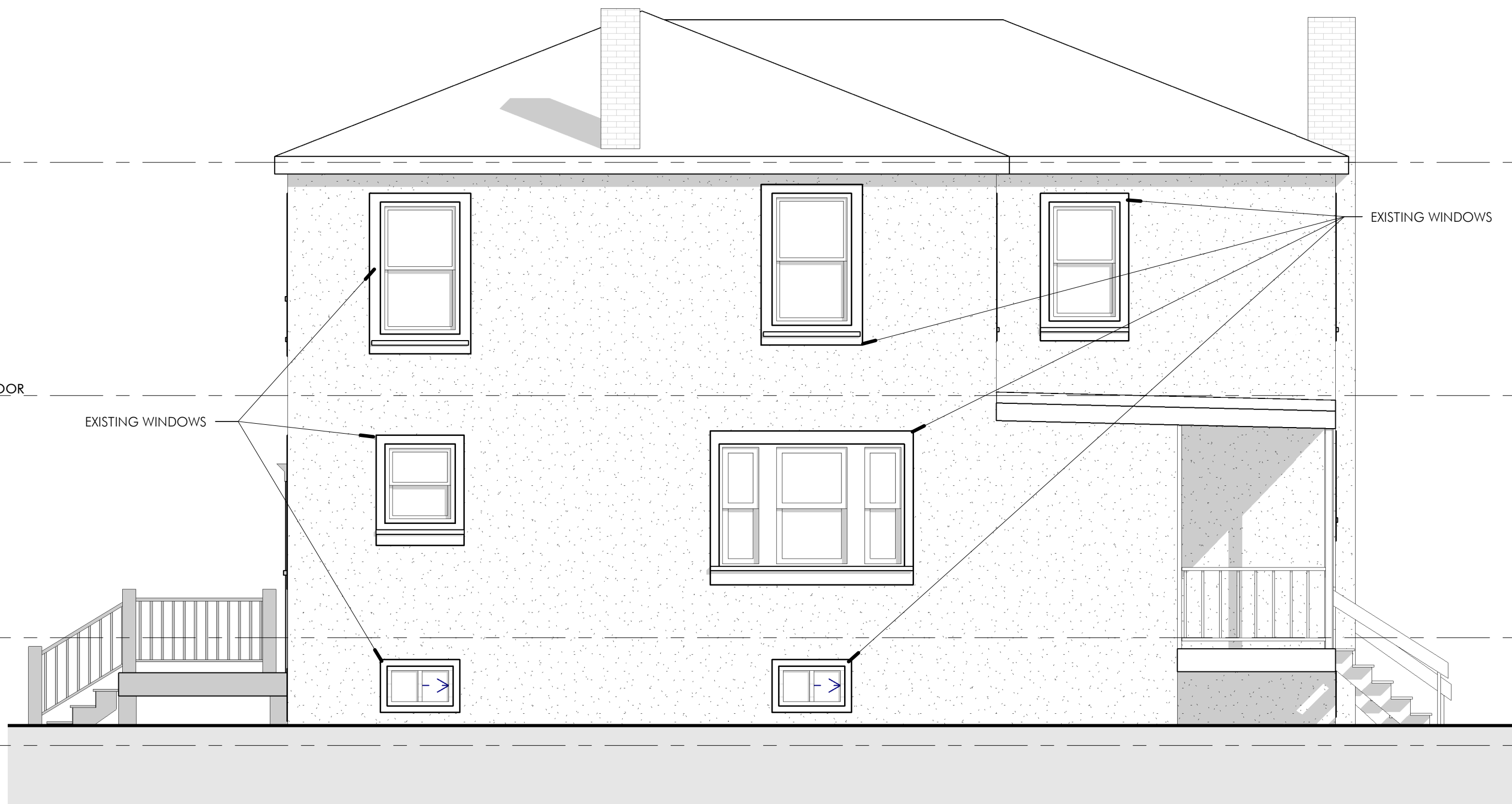
Title:	EXISTING FLOOR PLANS
--------	----------------------

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #:	2125
Date:	2022.02.15
Scale:	1/4" = 1'-0"
Drawn by:	AR.S.

AX1.2



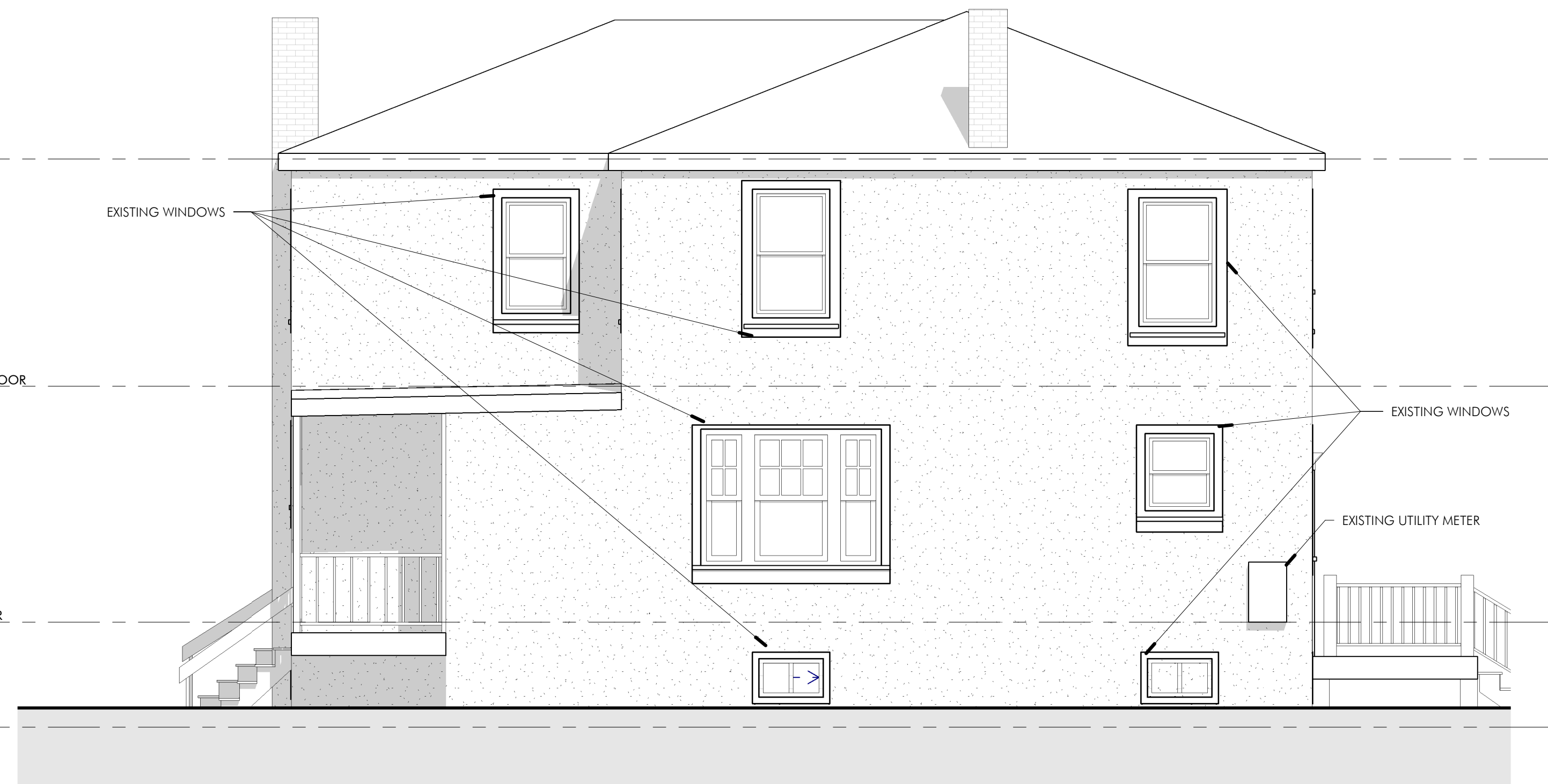
④ EXISTING EAST ELEVATION
1/4" = 1'-0"



① EXISTING NORTH ELEVATION
1/4" = 1'-0"



② EXISTING WEST ELEVATION
1/4" = 1'-0"



③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

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Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: EXISTING ELEVATIONS

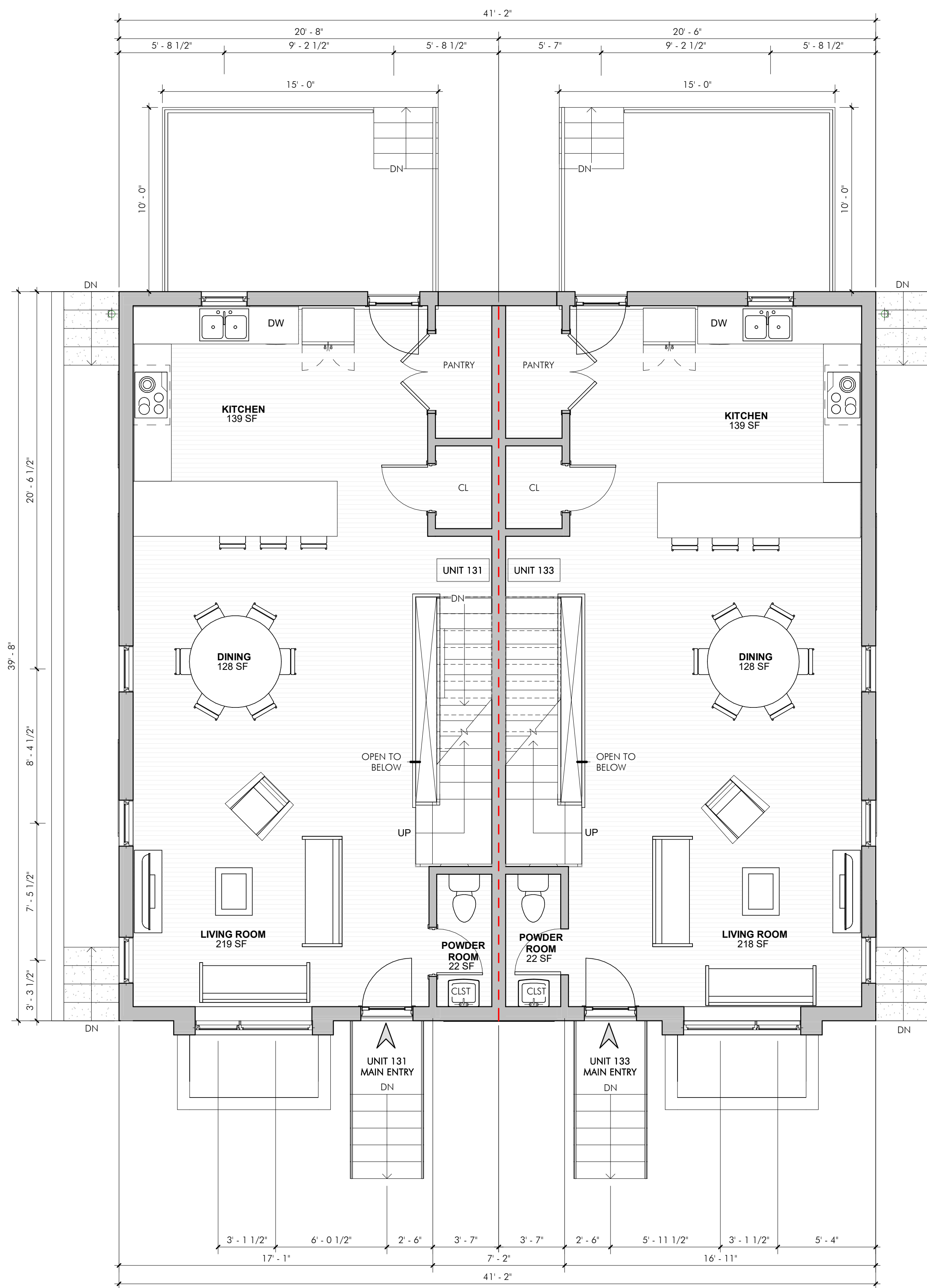
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Project #: 2125 Drawn No.
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

AX2.1

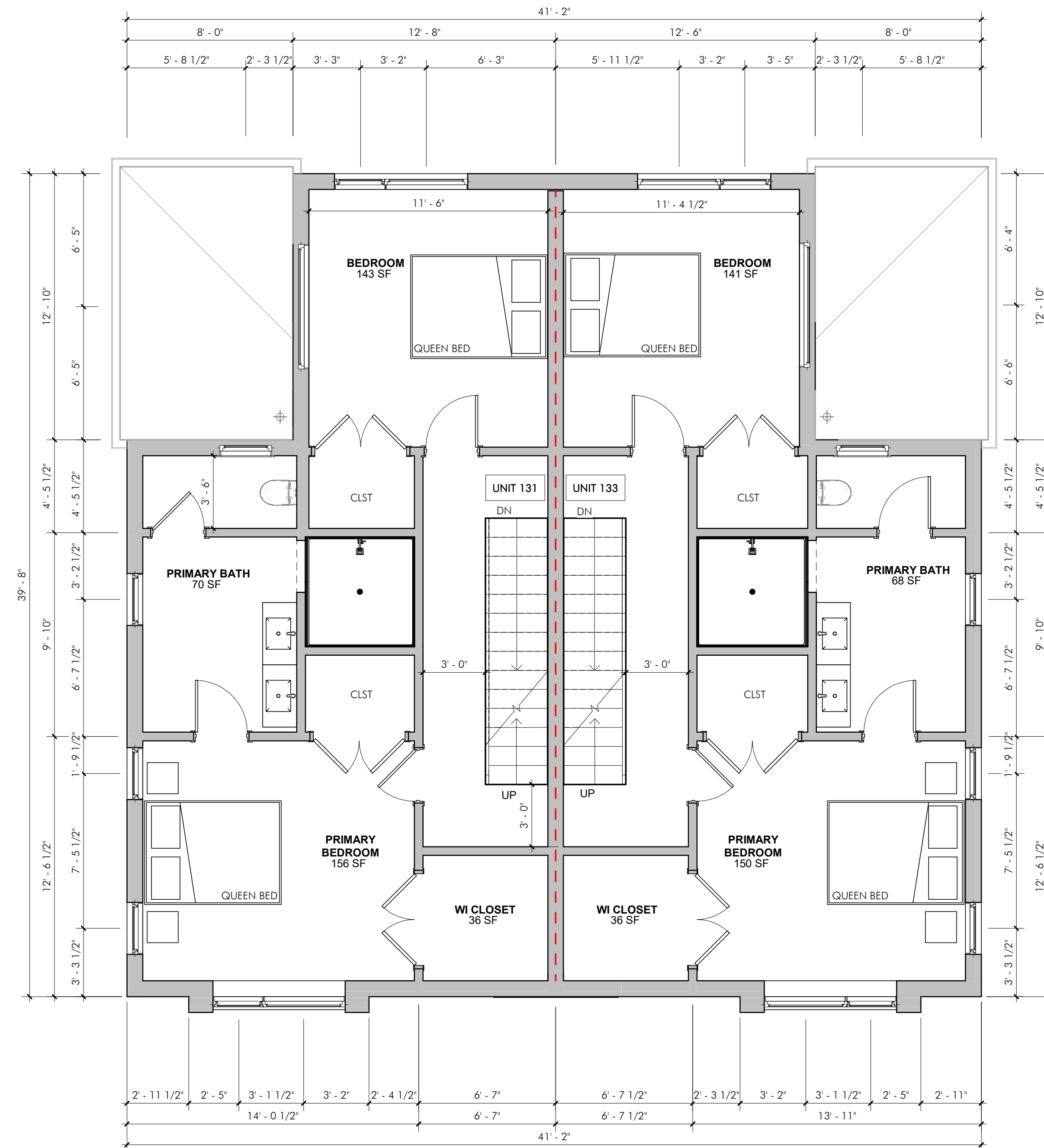
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Title:	PROPOSED FLOOR PLANS

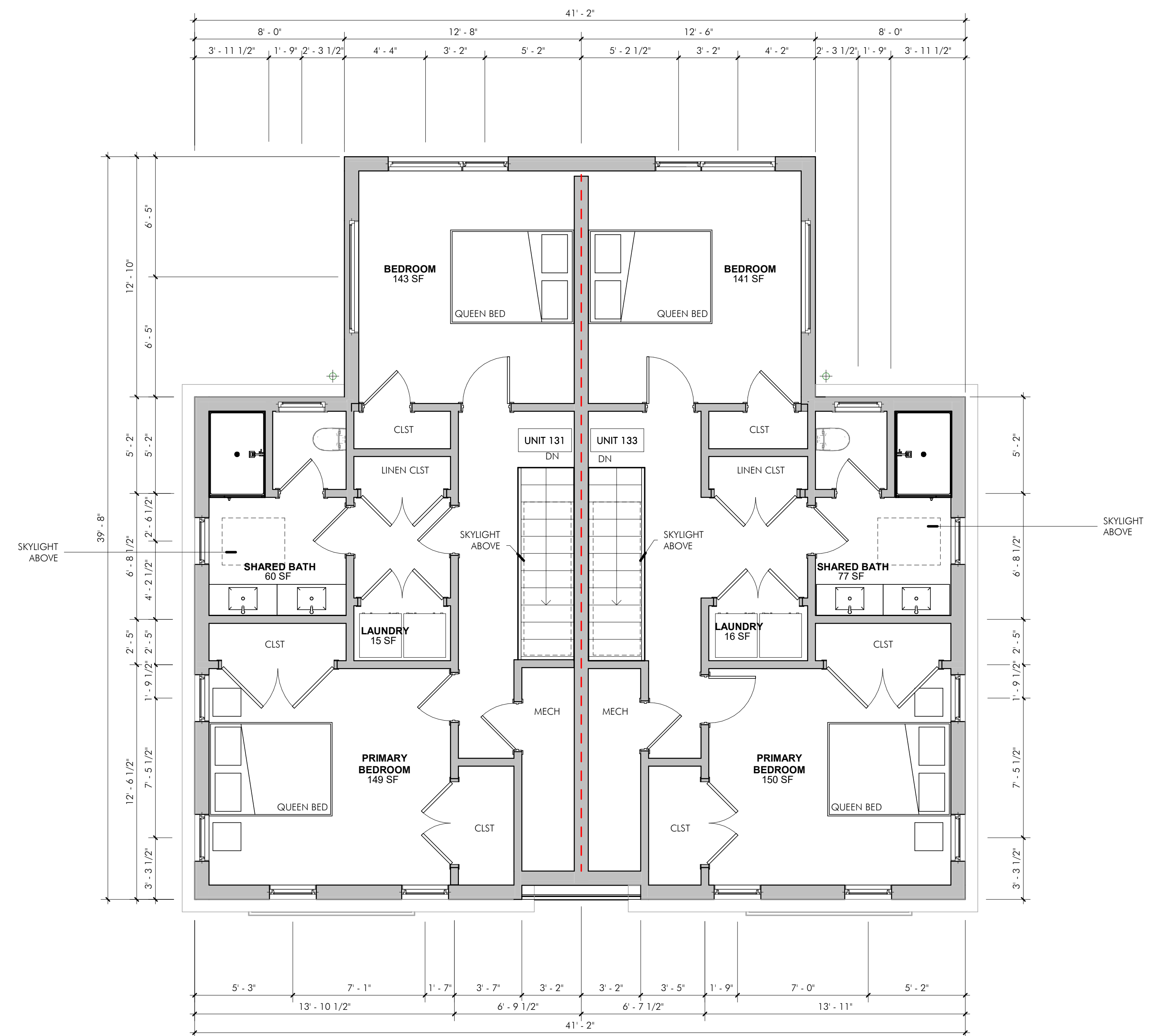
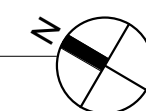
Date:	2022.02.15
Scale:	1/4" = 1'-0"



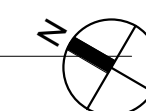
② PROPOSED FIRST FLOOR
1/4" = 1'-0"



① PROPOSED SECOND FLOOR
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR
1/4" = 1'-0"



SPECIAL PERMIT

[illegible]

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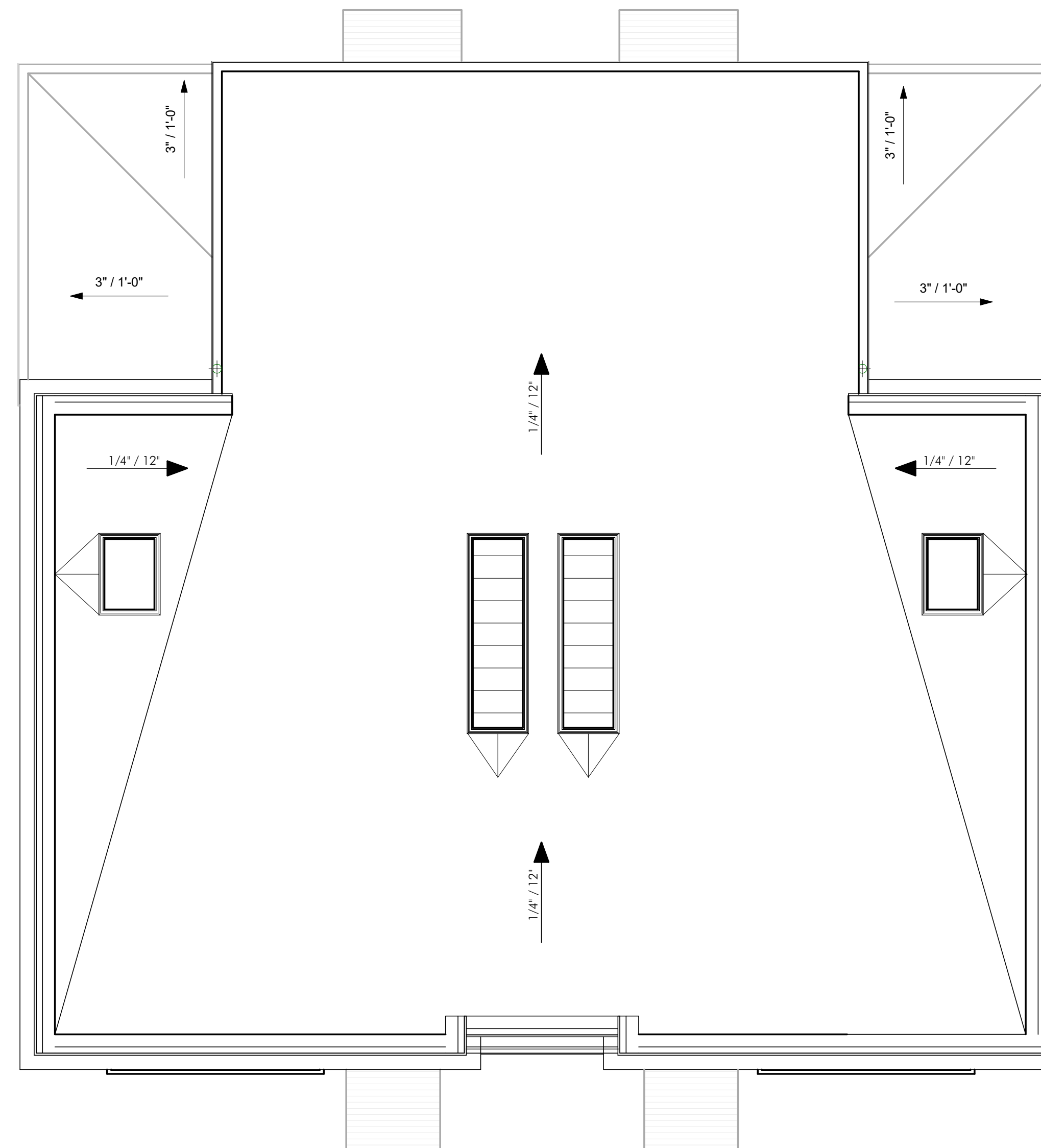
Project:	133 FAYERWEATHER
Address:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138

Title:
PROPOSED FLOOR PLANS

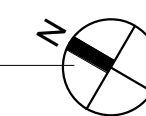
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Project #:	2125
Date:	2022.02.15
Scale:	1/4" = 1'-0"
Drawn by:	AR.S.

A1.2

A1.2



1 PROPOSED ROOF
1/4" = 1'-0"



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[illegible]

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Project:	133 FAYERWEATHER
Address:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138

Title: **PROPOSED FLOOR PLANS**

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #:	2125
Date:	2022.02.15
Scale:	1/4" = 1'-0"
Drawn by:	AR.S.

Drawn No.

A1.3



① PROPOSED EAST ELEVATION
1/4" = 1'-0"



② PROPOSED NORTH ELEVATION
1/4" = 1'-0"



③ PROPOSED WEST ELEVATION
1/4" = 1'-0"



④ PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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No.	Description	Date

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Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

A2.1



VIEW OF FRONT



VIEW OF REAR



VIEW OF SIDE



VIEW OF CORNER

SPECIAL PERMIT

REVISIONS

No.	Description	Date

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Project:
133 FAYERWEATHER

Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title:
EXISTING PHOTOS

Drawing Issued By:
ANDERSON PORTER DESIGN

Project #:
2125

Date:
2022.02.15

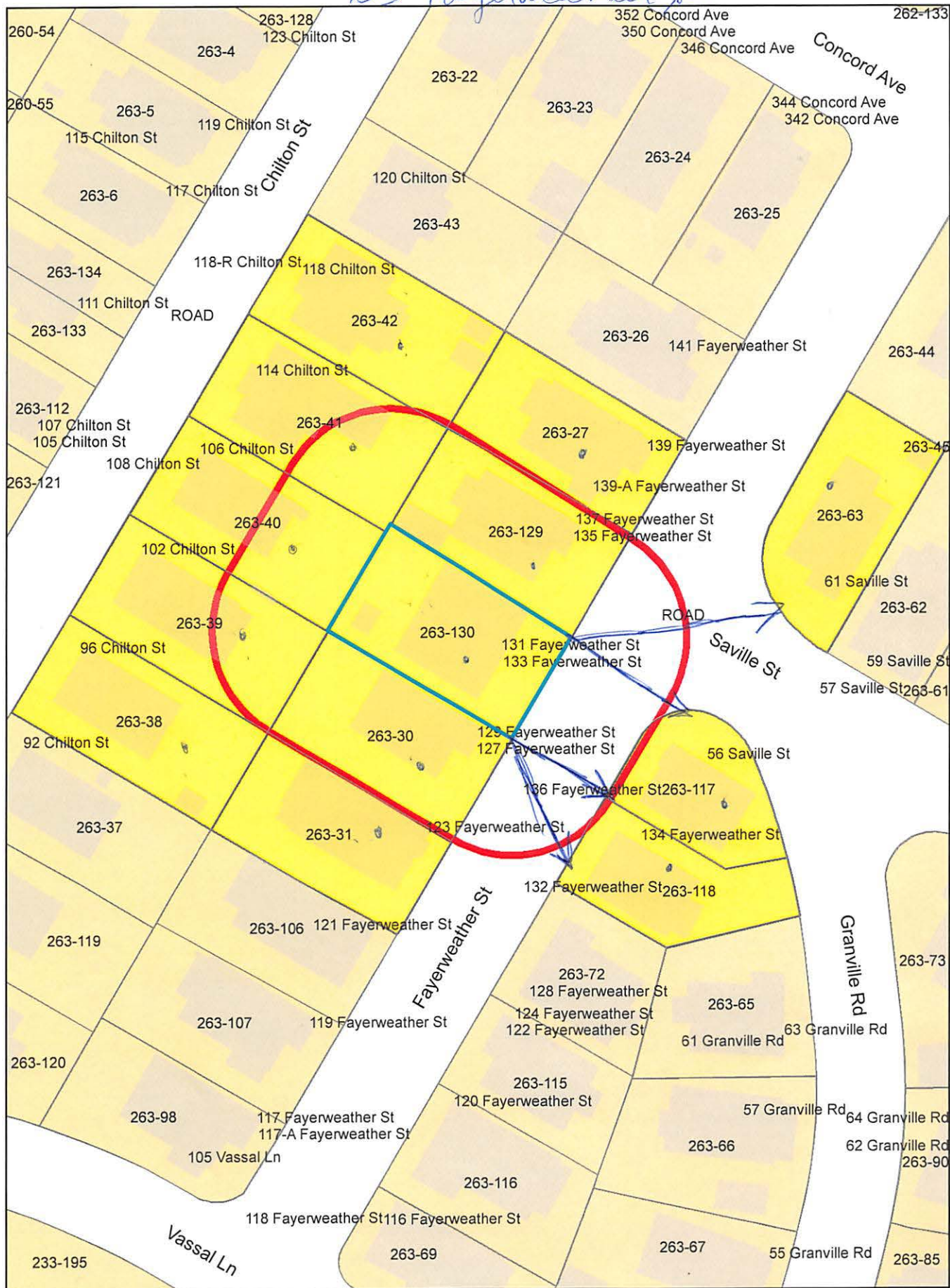
Scale:

Drawn by:
DS

Drawn No.

SK1

133 Fayerweather St



133 Fayerweather St. Retitioner
ANDERSON PORTER DESIGN
C/O DANIEL P. ANDERSON
1972 MASS AVENUE – 4TH FL.
CAMBRIDGE, MA 02140

263-118
BERGSON, JUDITH
30 PRESTON RD.
SOMERVILLE, MA 02143

263-129
CORBIN, AMELIA C.
TRUSTEE OF AMELIA C. TRUST
191 WILLOW AVE
SOMERVILLE, MA 02144

263-118
BERCU, STEVEN A.,
TRUSTEE THE STEVEN A. BERCU REV TRUST
132 FAYERWEATHER ST
CAMBRIDGE, MA 02138

263-130
COBHAM, WILLIAM L. &
JACQUELINE S. COBHAM
131 FAYERWEATHER ST.
CAMBRIDGE, MA 02138-6812

263-27
AHERN, KATHLEEN M.
139 FAYERWEATHER ST
CAMBRIDGE, MA 02138

263-42
HUTCHINSON, GEORGE E., SR.,
TR THE HUTCHINSON CHILTON TRUST
118 CHILTON ST
CAMBRIDGE, MA 02138

263-30
K & A O'HANA PROPERTIES LLC
592 HURON AVE., #2
CAMBRIDGE, MA 02138

263-38
KANTOR, CALVIN J. &
SYLVIA D. KANTOR A LIFE ESTATE
98 CHILTON ST
CAMBRIDGE, MA 02138-6803

263-39
THOMPSON, GLORIA G., REALTY, LLC
82 CHILTON ST
CAMBRIDGE, MA 02138

263-40
DOTTIN, HENRIETTA R. & GERALD A. DOTTIN, JR.
106 CHILTON ST.
CAMBRIDGE, MA 02138-6803

263-41
LEGARE, CHANTALE
114 CHILTON ST
CAMBRIDGE, MA 02138

263-63
KASSAY, NUMAN & GUMJA KASSAY
61 SAVILLE ST
CAMBRIDGE, MA 02138

263-27
AHERN, KATHLEEN
139 FAYERWEATHER ST #139A
CAMBRIDGE, MA 02138

263-30
BARTOV, OMER & WAI-YEE LI
129 FAYERWEATHER ST., UNIT #2
CAMBRIDGE, MA 02138

263-31
CHARLES, ROY P. WENDY U CHARLES
123 FAYERWEATHER ST
CAMBRIDGE, MA 02138-6812

263-117
RICHARDS, STUART L.
136 FAYERWEATHER ST
CAMBRIDGE, MA 02138

SPECIAL PERMIT: 133 FAYERWEATHER ST

CAMBRIDGE, MA 02138

ANDERSON
PORTER
DESIGN

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2022 MAR 18 A 9:13

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
- THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION.
- ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
- THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.
- CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.
- THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
- THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS.
- DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.
- DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.
- ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.
- MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.
- THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
- THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
- THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.
- DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- REMOVE FROM THE JOBSITE, AS SOON AS PRACTICAL, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (I.E. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.
- CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS.
- PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED - TO BE APPROVED BY ARCHITECT AND OWNER.
- PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.



LIST OF SYMBOLS

- EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED
- EXISTING STRUCTURE OR PARTITION TO REMAIN
- NEW STRUCTURE OR PARTITION
- FINISH ELEVATION
- ROOM TAG
- GENERAL DETAIL
- WALL SECTION
- INTERIOR ELEVATION
- FINISH TAG
- DOOR IDENTIFICATION SYMBOL
- WALL TYPE TAG
- WINDOW IDENTIFICATION SYMBOL
- DUPLEX OUTLET
- GROUND FAULT OUTLET
- CAT 5/COAX/DATA
- CARBON MONOXIDE DETECTOR
- SMOKE ALARM

ABBREVIATIONS

- AFF ABOVE FINISHED FLOOR
- CJ CONTROL JOINT
- CLG CEILING
- CLR CLEAR
- CO CLEAN OUT
- COL COLUMN
- CONC CONCRETE
- CONT CONTINUOUS
- DN DOWN
- ED EXPANSION JOINT
- EL ELEVATION
- ELEC ELECTRICAL
- EQ EQUAL
- EXIST EXISTING
- FC FLOOR CHANNEL
- FD FLOOR DRAIN
- FM FRESH
- FL FLOOR
- GL GLASS
- GWB GYPSUM WALLBOARD
- HT HEIGHT
- HDWD HARDWOOD
- HVAC HEATING, VENTILATION AND AIR CONDITIONING
- INSUL INSULATION
- MAX MAXIMUM
- MFR MANUFACTURER
- MIN MINIMUM
- MO MASONRY OPENING
- MIL METAL
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OC ON CENTER
- PLAM PLASTIC LAMINATE
- PLYWD PLYWOOD
- PTD PAINTED
- REQD REQUIRED
- RL RAIN LEADER
- STL STEEL
- STR STRUCTURE/STRUCTURAL
- T.O.C. TOP OF CONCRETE
- T.O.S TOP OF SLAB
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VCT VINYL COMPOSITION TILE
- W/ WOOD
- WTH WITH
- WINDW WINDOW

SITE LOCATION



CONTACTS

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617.354.2501
dan@andersonporter.com

CIVIL ENGINEER
Spruhan Engineering, P.C.
80 Jewett Street, Suite 2
Newton MA 02458
Edmond Spruhan
617.816.0722

DRAWING LIST

- G0.1 COVER SHEET
- C.0 EXISTING PLOT PLAN
- C.1 EXISTING CIVIL PLAN
- L1.1 PROPOSED SITE PLAN
- Z1.1 ZONING COMPLIANCE
- Z1.2 ZONING COMPLIANCE
- AX1.1 EXISTING FLOOR PLANS
- AX1.2 EXISTING FLOOR PLANS
- AX2.1 EXISTING ELEVATIONS
- A1.1 PROPOSED FLOOR PLANS
- A1.2 PROPOSED FLOOR PLANS
- A2.1 PROPOSED ELEVATIONS
- SK1 EXISTING PHOTOS

CODE SUMMARY

- PROPERTY ADDRESS: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138
- ZONING DISTRICT: RESIDENCE B
- PROJECT DESCRIPTION: RENOVATION OF EXISTING TWO-FAMILY STRUCTURE

- | | | |
|---|-------------|---|
| CHAPTER 3 - BUILDING PLANNING | | |
| SECTION R302 FIRE-RESISTANT CONSTRUCTION | SECTION 316 | FOAM PLASTIC |
| R302.3 Dwelling units shall be separated by a 1-hour fire-resistance rated wall. | SECTION 317 | GC shall verify that any foam plastics used shall comply with code. |
| R302.7 Enclosed space under stairs that is accessed by door or access panel shall be covered with 1/2" gypsum board. | SECTION 318 | PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY |
| R302.11 Fireblocking shall be provided per code. | SECTION 319 | GC shall verify that construction complies with code. |
| SECTION R303 LIGHT, VENTILATION AND HEATING | SECTION 320 | PROTECTION AGAINST SUBTERRANEAN TERMITES |
| R303.3 Mechanical ventilation shall be provided. | SECTION 321 | GC shall verify that construction complies with code. |
| R303.10 Dwelling units shall be provided with required heating. | SECTION 322 | GC shall verify that construction complies with code. |
| SECTION R304 MINIMUM ROOM AREAS | SECTION 323 | CEILING HEIGHT |
| R304.1 All habitable room areas shall comply with code. | SECTION 324 | Storm shelters |
| SECTION R305.1 Ceiling heights shall be equal to, or greater than, minimum requirements. | SECTION 325 | TOILET, BATH AND SHOWER SPACES |
| SECTION R306 SANITATION | SECTION 326 | Glazing |
| R306.1 Toilet fixtures, kitchens, sewage disposal, and water supply to fixtures shall be provided. | SECTION 327 | MEZZANINES |
| SECTION R307 TOILET, BATH AND SHOWER SPACES | SECTION 328 | Swimming pools, spas and hot tubs |
| R307.1 Toilet, bath, and shower spaces shall comply with code. | SECTION 329 | STATIONARY STORAGE BATTERY SYSTEMS |
| SECTION R308 GLAZING | SECTION 330 | GC shall verify that construction complies with code. |
| R308.1 All glazing shall comply with code. | SECTION 331 | CHAPTER 4 - FOUNDATIONS |
| SECTION R309 GARAGES AND CARPORTS | R311.1 | GC shall verify that construction complies with code. |
| R309.1 This section of the code is not applicable to the proposed design. | R311.2.1 | CHAPTER 5 - FLOORS |
| SECTION 310 EMERGENCY ESCAPE AND RESCUE OPENINGS | R311.2.1 | GC shall verify that construction complies with code. |
| This section of the code is not applicable to the proposed design. | R311.2.5 | CHAPTER 6 - WALL CONSTRUCTION |
| MEANS OF EGRESS | R311.2.5 | GC shall verify that construction complies with code. |
| SECTION 311 | R311.2.5 | CHAPTER 7 - WALL COVERING |
| R311.1 Each dwelling unit shall be provided with a primary and secondary means of egress with clear widths that comply with code. | R311.2.5 | GC shall verify that construction complies with code. |
| R311.2.1 All interior doors shall have nominal widths and heights that comply with code. | R311.2.5 | CHAPTER 8 - ROOF-CEILING CONSTRUCTION |
| R311.2.5 Riser heights shall not be more than 81/4". Tread depths shall not be less than 9". Winder treads shall have a minimum tread depth of 3" at any point. | R311.2.5 | GC shall verify that construction complies with code. |
| SECTION 312 GUARDS AND WINDOW FALL PROTECTION | R311.2.5 | CHAPTER 9 - ROOF ASSEMBLIES |
| R312.1 Guard locations and heights, and window openings and fall protection shall comply with code. | R311.2.5 | GC shall verify that construction complies with code. |
| SECTION 313 AUTOMATIC FIRE SPRINKLER SYSTEMS | R311.2.5 | CHAPTER 10 - CHIMNEY AND FIREPLACES |
| R313.2 The proposed design does not have an aggregate area greater than 14,400 square feet. | R311.2.5 | GC shall verify that construction complies with code. |
| SECTION R314 SMOKE ALARMS | R311.2.5 | CHAPTER 11 - ENERGY EFFICIENCY |
| R314.3 Smoke alarms shall be provided and located as required. | R311.2.5 | GC shall verify that construction complies with code. |
| SECTION R315 CARBON MONOXIDE ALARMS | R311.2.5 | This section of the code is not applicable to the proposed design. |
| R315.3 Carbon monoxide alarms shall be provided and located as required. | R311.2.5 | |

SPECIAL PERMIT

REVISIONS	
No.	Description

AndersonPorterDesign

1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

133 FAYERWEATHER

133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

COVER SHEET

Drawing Issued By: ANDERSON PORTER DESIGN

Project #: 2125

Date: 2022.02.15

Scale: 1/4" = 1'-0"

Drawn by: A.R.S.

G0.1

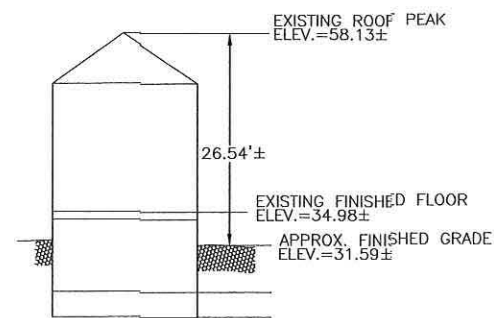
- + Adresse
- Rail
- ☐ Building Footprints
- ☐ Parcels
- Paved Surfaces
 - ☐ Paved Roads
 - ☐ Bridges
 - ☐ Unpaved Roads
 - ☐ Unpaved Parking
 - ☐ Sidewalks
 - ☐ Driveways
 - ☐ Alleys
 - ☐ Other Paved Surface
 - ☐ Public Footpath


$$1'' = 69 \text{ ft}$$

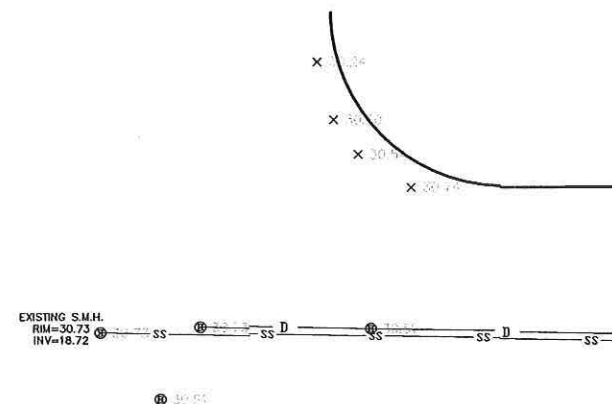
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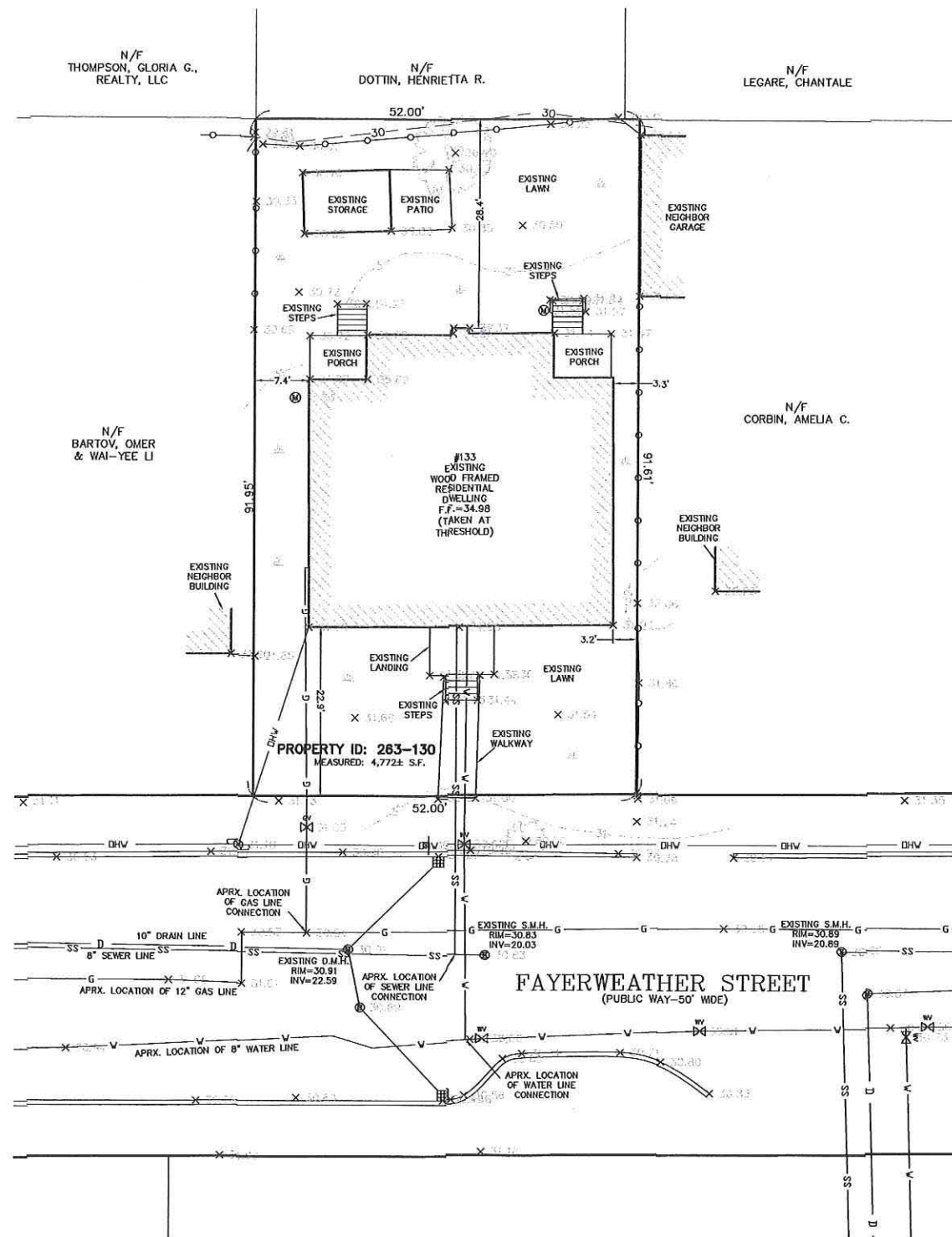
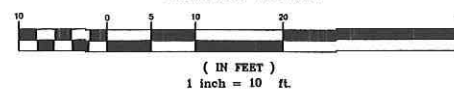




EXISTING PROFILE
NOT TO SCALE



GRAPHIC SCALE



LEGEND

□	BOUND
○	IRON PIN/PIPE
⊙	STONE POST
⊗	TREE
⌵	TREE STUMP
⊗	SHRUBS/FLOWERS
⌵	SIGN
○	BOLLARD
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	CATCH BASIN
⊙	WATER MANHOLE
⊙	WATER VALVE
⊙	HYDRANT
⊙	GAS VALVE
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC HANDHOLE
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	MANHOLE
⊙	SPOT GRADE
⊙	TOP OF WALL
⊙	BOTTOM OF WALL
⊙	EXISTING BUILDING
⊙	RETAINING WALL
⊙	STONE WALL
⊙	FENCE
⊙	TREE LINE
⊙	SEWER LINE
⊙	DRAIN LINE
⊙	WATER LINE
⊙	GAS LINE
⊙	UNDERGROUND ELECTRIC LINE
⊙	OVERHEAD WIRES
⊙	CONTOUR LINE (MJR)
⊙	CONTOUR LINE (MNR)

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.
2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197
PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 16992A
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.

SCALE 1"=10'			
DATE 12/08/21	REV	DATE	REVISION
SHEET 1			
PLAN NO. 1 OF 1			
CLIENT:	133 FAYERWEATHER STREET CAMBRIDGE MASSACHUSETTS		
	EXISTING CONDITIONS PLAN		
DRAWN BY OB			
CHKD BY P.N			
APPD BY P.N			
	PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		
	SHEET NO.		1

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REVISIONS		
No.	Description	Date

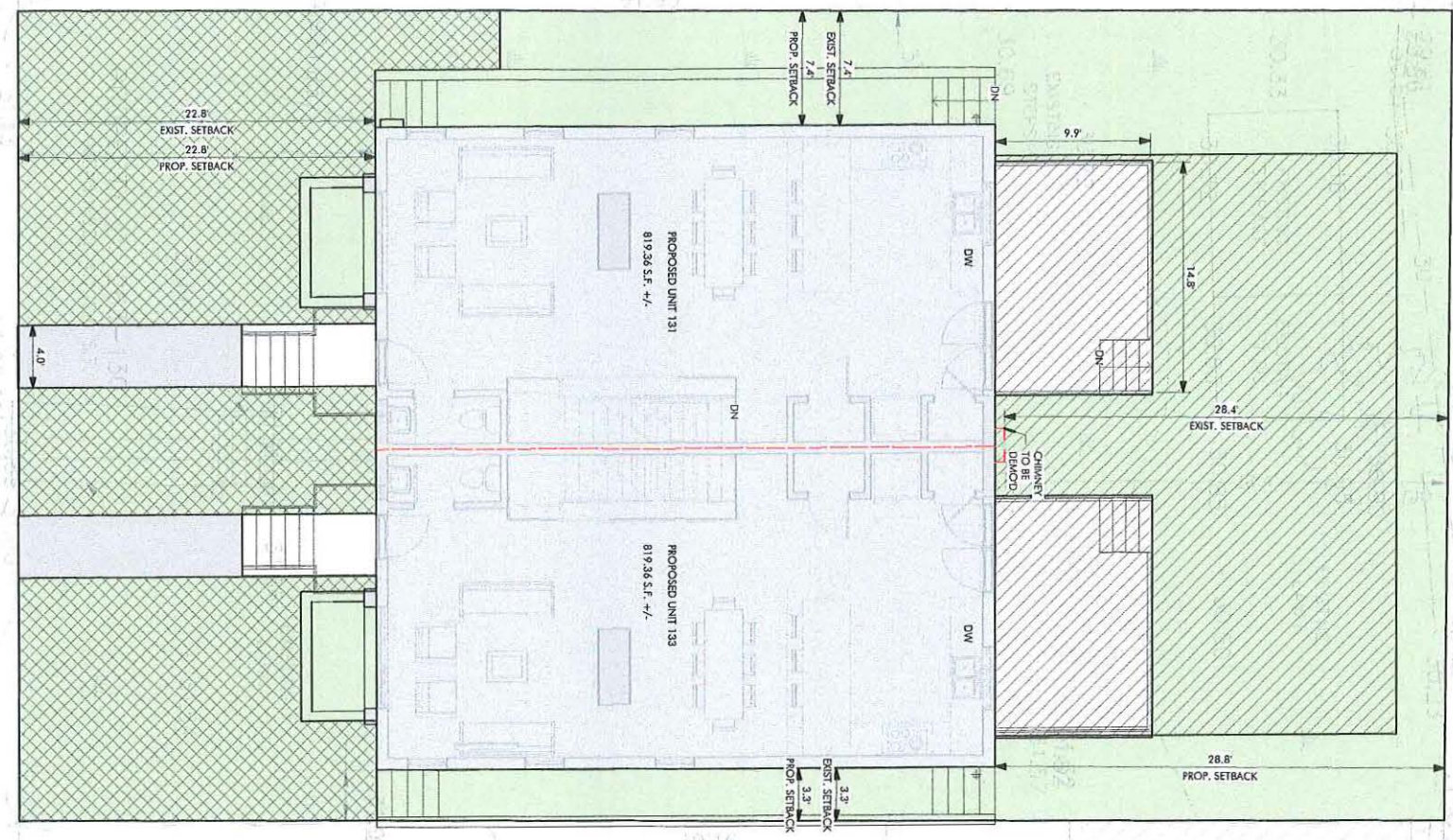
AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED SITE PLAN

Drawn by: ARS	Project #: 2125	Drawn No.
Date: 2022.02.15	Scale: 3/16" = 1'-0"	L1.1

- REQUIRED PRIVATE OPEN SPACE
MIN 15'x15'
954 S.F. +/-
- REQUIRED PERMEABLE OPEN SPACE
954 S.F. +/-
- TOTAL REQUIRED OPEN SPACE
2984 S.F. +/- > 1908 S.F.



FAYERWEATHER STREET

ZONING CHART - CAMBRIDGE				
LOT SIZE:	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	B ZONE	B ZONE	B ZONE	COMPLIES
USE	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	COMPLIES
MIN LOT SIZE	5,000 S.F.	4,772 +/- S.F.	4,772 +/- S.F.	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	2,500 S.F.	2,386 S.F.	2,386 S.F.	EXISTING NON CONFORMING
MAX FLOOR AREA RATIO (FAR)	0.50	0.60	0.95	EXISTING NON CONFORMING
MAX BUILDING HEIGHT	35'	27.2'	33.10'	COMPLIES
MIN. YARD SETBACKS				
FRONT	15'	22.9'	22.9'	COMPLIES
RIGHT SIDE	7.5' SUM TO 20'	3.2'	3.2'	EXISTING NON CONFORMING
LEFT SIDE	7.5' SUM TO 20'	7.4'	7.4'	EXISTING NON CONFORMING
REAR	25'	28.4'	28.4'	COMPLIES
MIN LOT WIDTH	50'	52'	52'	COMPLIES
PARKING REQUIREMENTS	1 PER DWELLING UNIT	0 SPOTS	0 SPOTS	EXISTING NON CONFORMING
TOTAL OPEN SPACE, MIN % OF LOT	40% = 1908.80 S.F.	63% = 2994.21 S.F. +/-	63% = 2994.21 S.F. +/-	COMPLIES
PRIVATE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	56% = 2691.26 S.F. +/-	56% = 2691.26 S.F. +/-	COMPLIES
PERMEABLE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	25% = 1175.45 S.F. +/-	25% = 1175.45 S.F. +/-	COMPLIES
BICYCLE PARKING	N/A	0 SPOTS	0 SPOTS	COMPLIES

FOOTNOTES:

Identifying rear yard set back.

Min. distance between buildings: Sum of Heights/6 or 10'-0", whichever is greater.

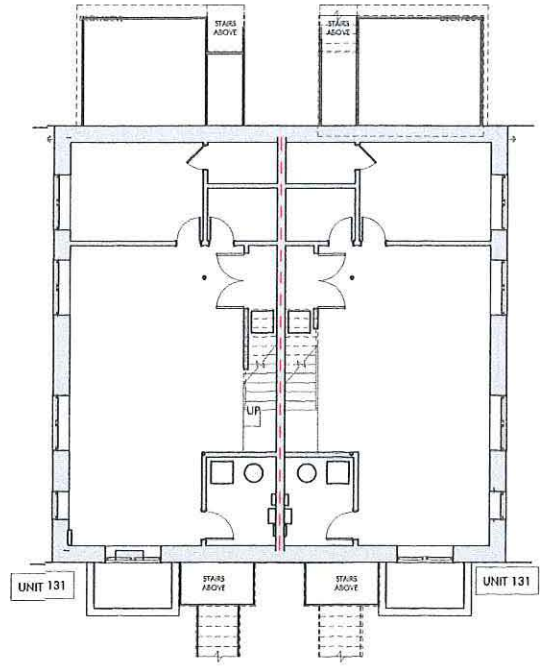


5 AREA ELEVATION
1/4" = 1'-0"

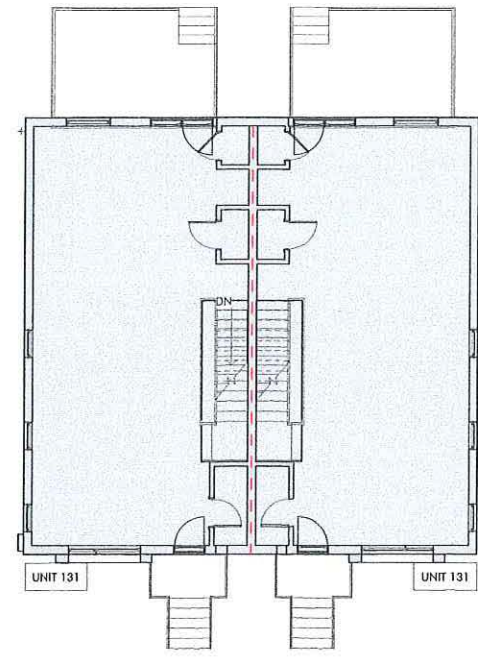
AREA CALCULATIONS	EXISTING	PROPOSED	LIVABLE
BASEMENT UNIT 01 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 01	727.40	819.36	819.36
SECOND FLOOR UNIT 01	727.40	716.70	716.70
THIRD FLOOR UNIT 01	N/A	716.70	716.70
TOTAL (UNIT 01)	1,454.80	2,252.76	2,941.79
BASEMENT UNIT 02 (N/A)	N/A	N/A	689.03
FIRST FLOOR UNIT 02	727.40	819.36	819.36
SECOND FLOOR UNIT 02	727.40	716.70	716.70
THIRD FLOOR UNIT 02	N/A	716.70	716.70
TOTAL (UNIT 02)	1,454.80	2,252.76	2,941.79
GRAND TOTAL	2,909.60	4,505.52	5,883.58

N/A: BASEMENT AREA IS EXCLUDED FROM GROSS FLOOR AREA PER ARTICLE 2.

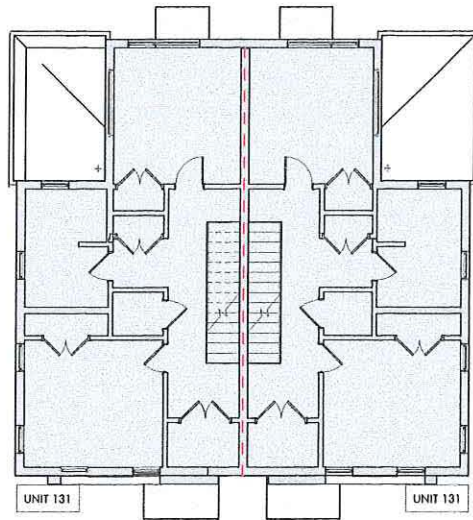
UNIT 1 - LEFT
UNIT 2 - RIGHT



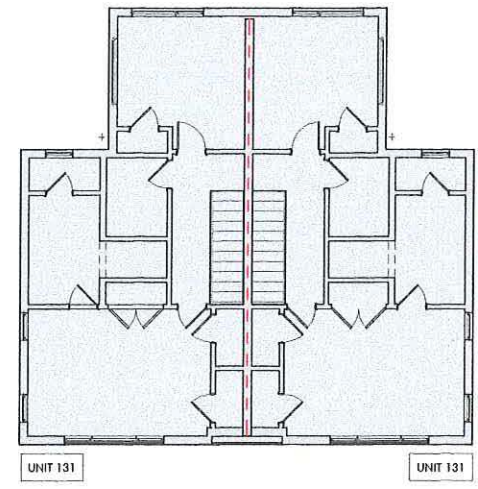
1 BASEMENT ZONING
1/8" = 1'-0"



2 FIRST PLAN ZONING
1/8" = 1'-0"



3 SECOND FLOOR ZONING
1/8" = 1'-0"



4 THIRD FLOOR ZONING
1/8" = 1'-0"

ANDERSON
PORTER
DESIGN

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REVISIONS		
No.	Description	Date

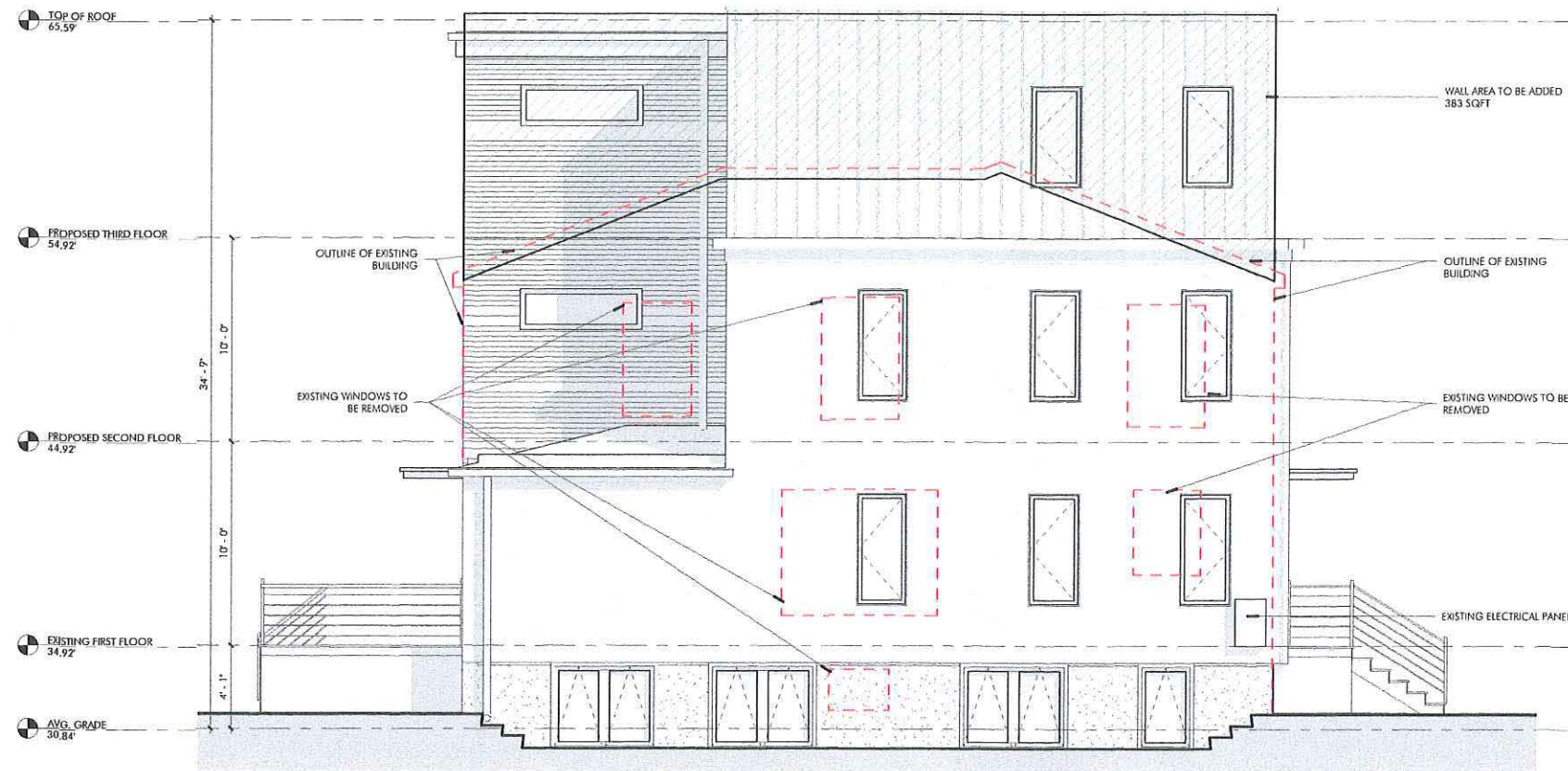
AndersonPorterDesign
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Project
133 FAYERWEATHER
Address
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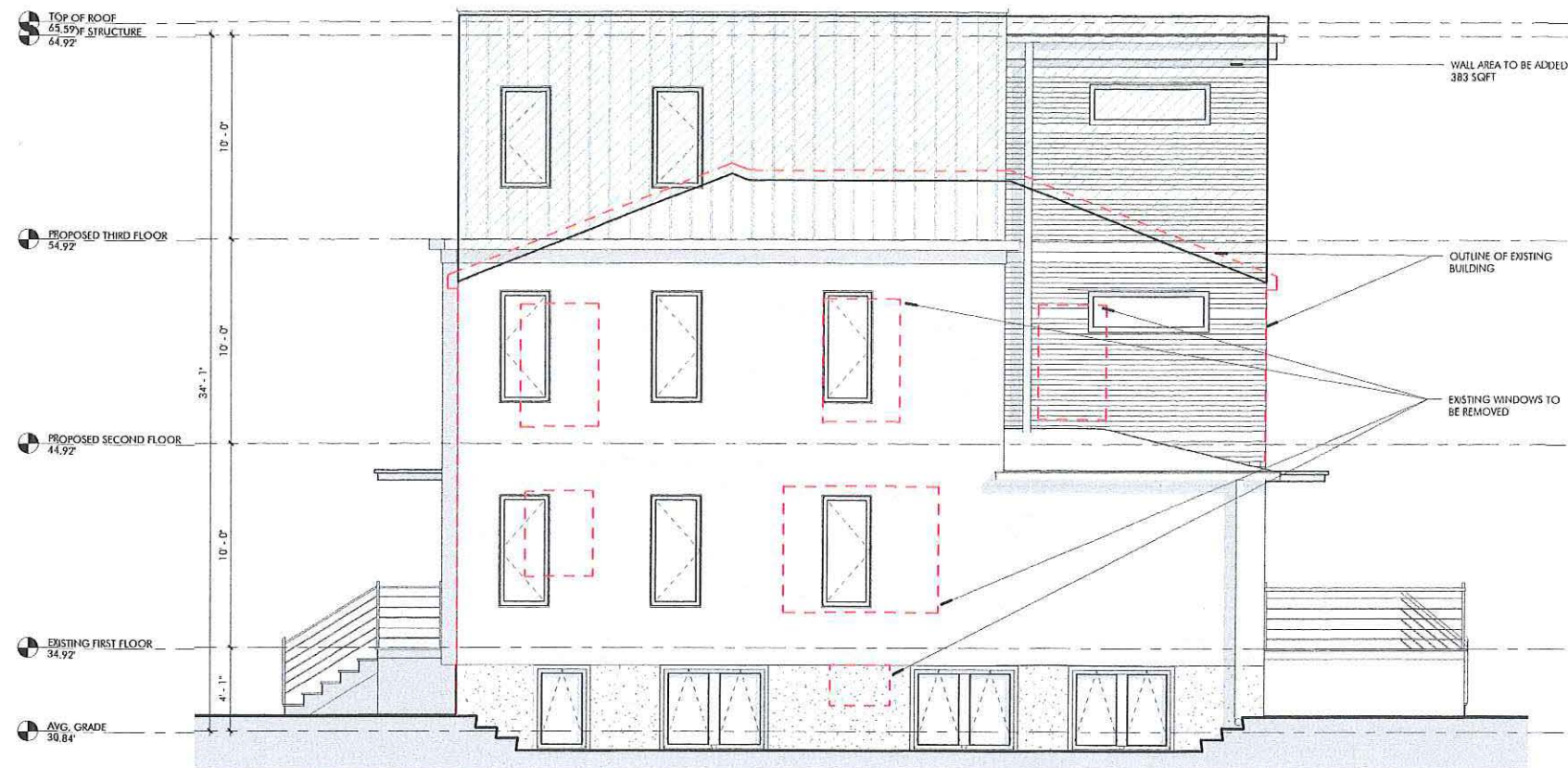
Title
ZONING COMPLIANCE

Drawing Issued By:	ANDERSON PORTER DESIGN	Drawn By:
Project #:	2125	Date:
Date:	2022.02.15	Scale:
Scale:	As indicated	Drawn by:
Drawn by:	ARS.	

Z1.1



① PROPOSED NORTH ELEVATION ZONING
1/4" = 1'-0"



② PROPOSED SOUTH ELEVATION ZONING
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

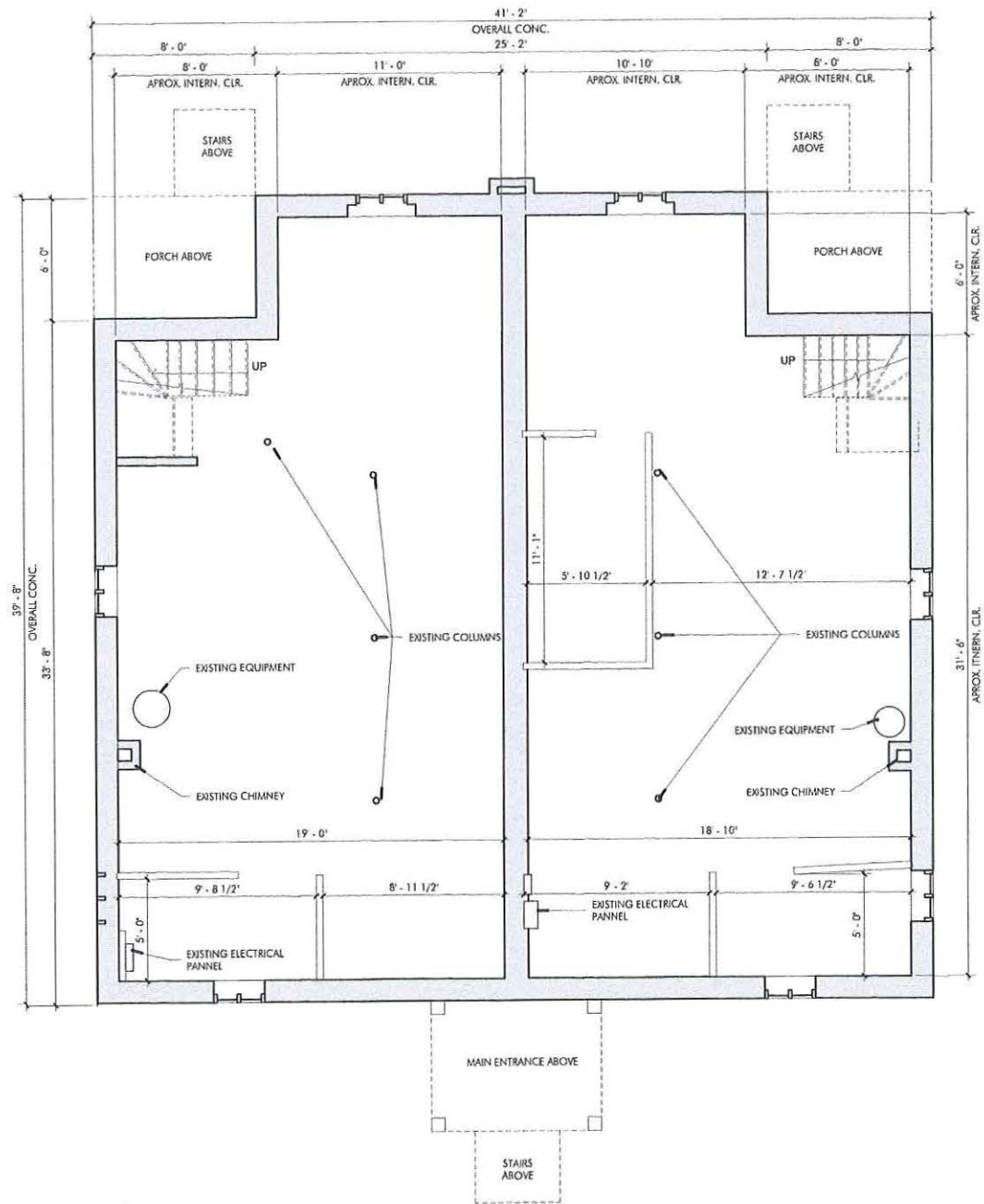
AndersonPorterDesign
1972 Massachusetts Ave., 4th Floor
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Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

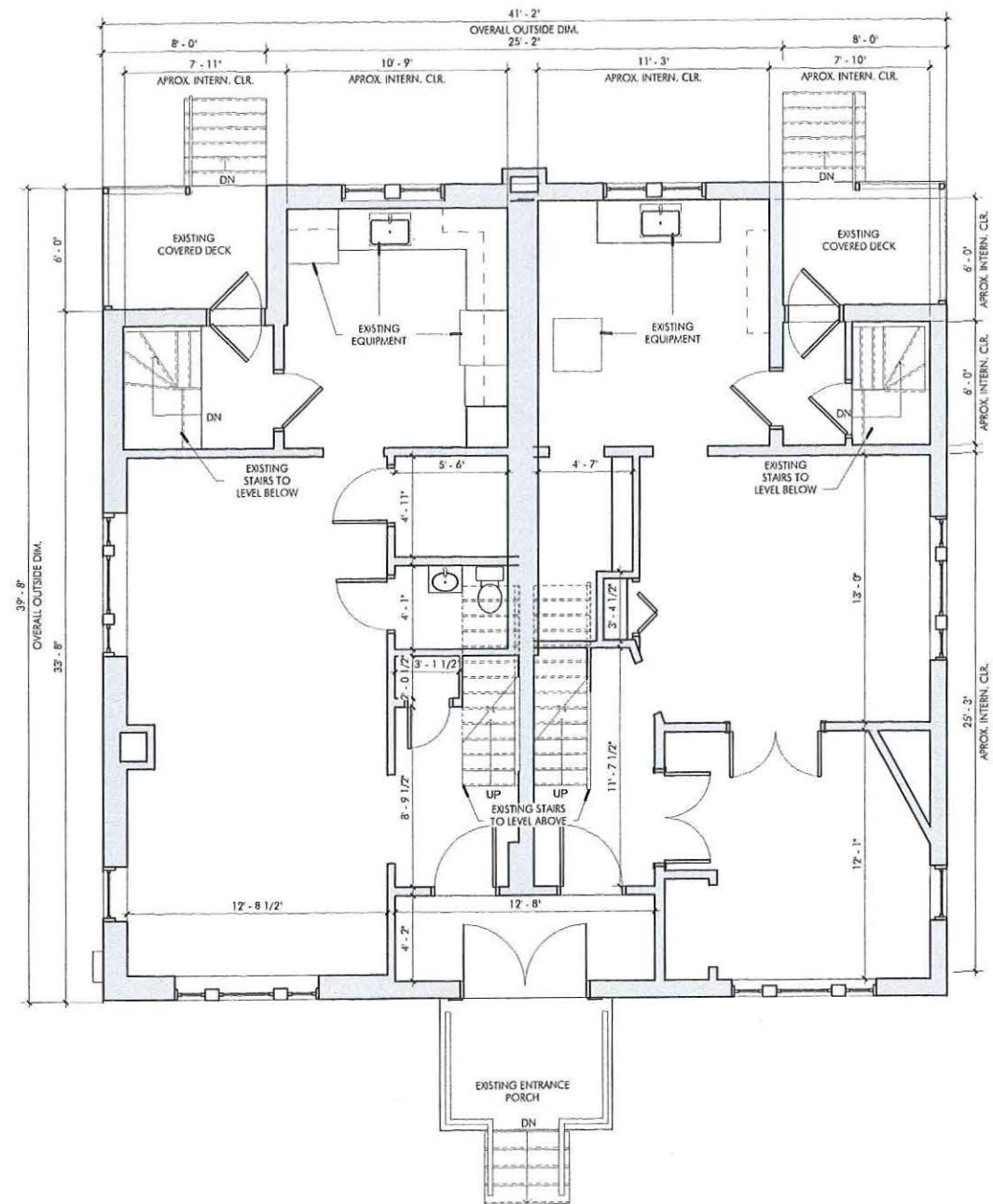
Title: ZONING COMPLIANCE

Drawing Board No.	2125	Drawn By:
Date:	2022.02.15	Scale:
Scale:	1/4" = 1'-0"	Drawn by:
Drawn by:	AR.S.	

Z1.2



① EXISTING BASEMENT
1/4" = 1'-0"



② EXISTING FIRST FLOOR
1/4" = 1'-0"

SPECIAL PERMIT

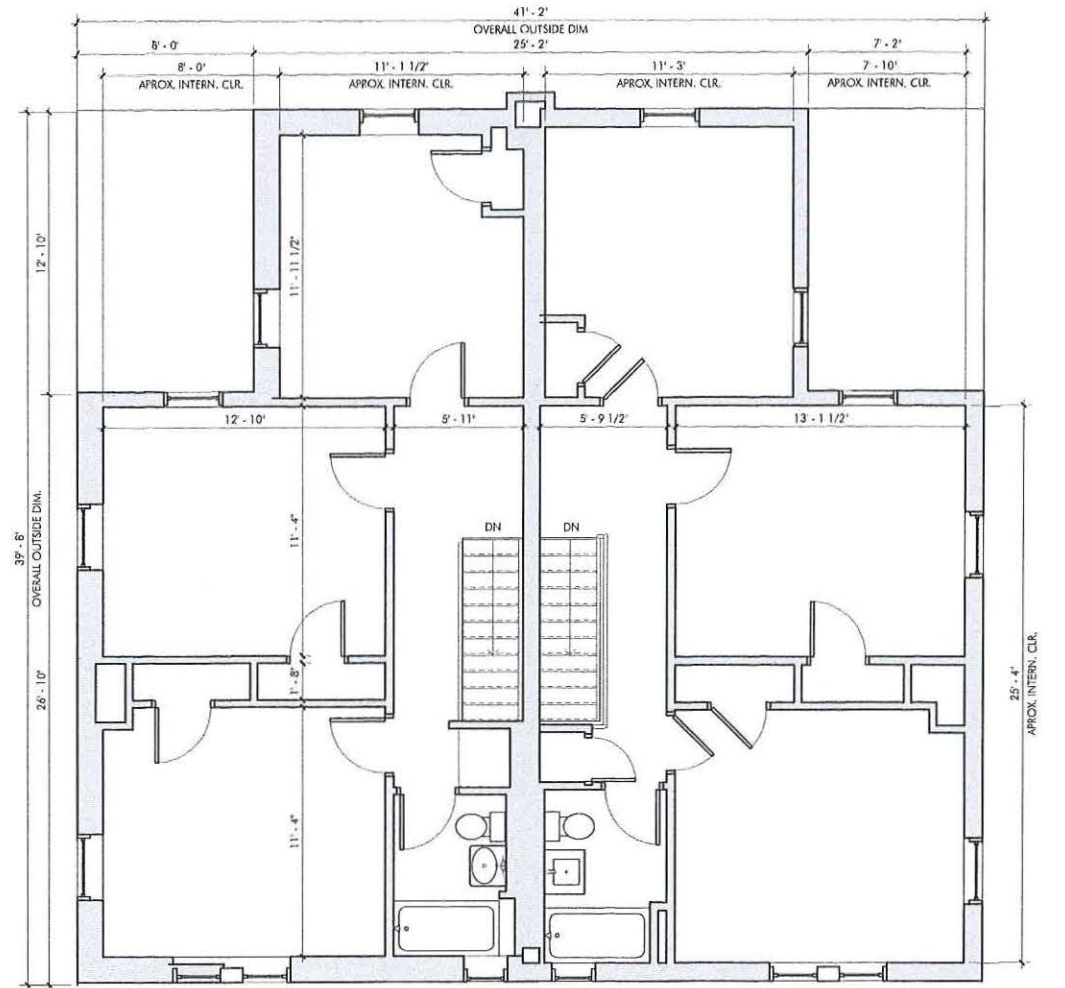
REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

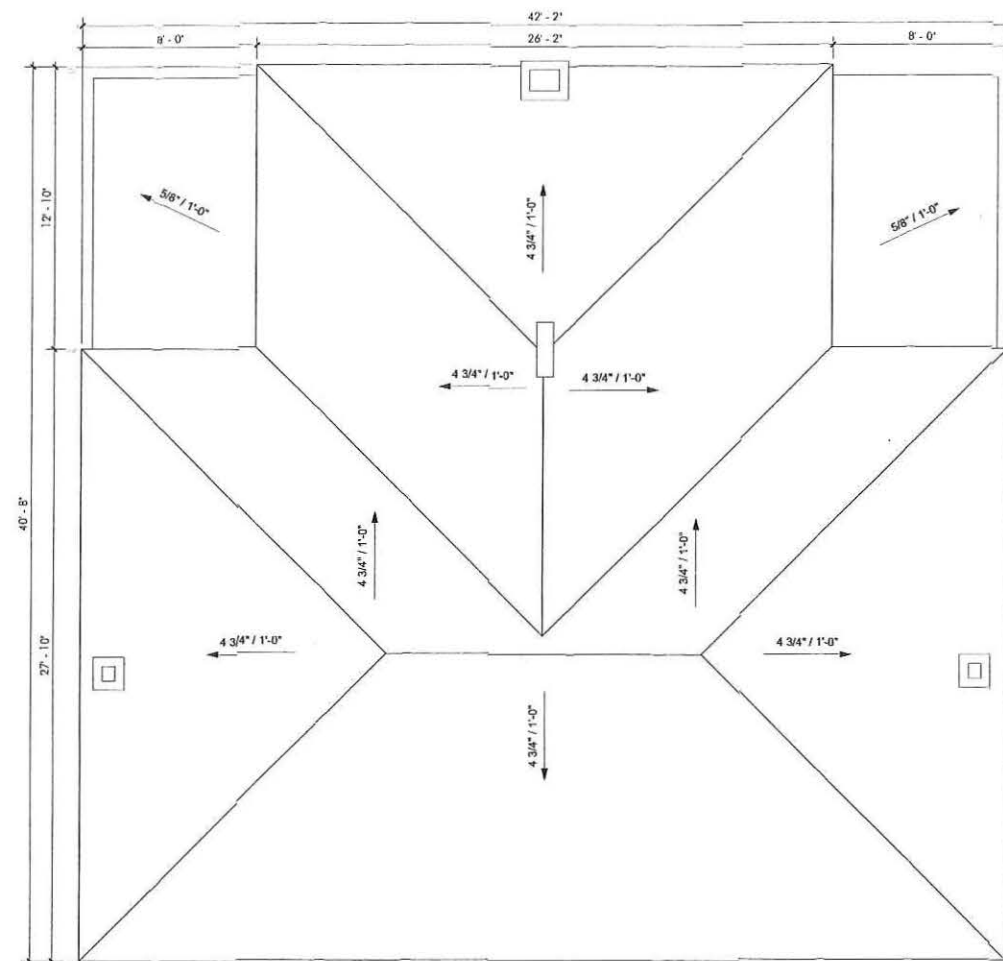
Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

EXISTING FLOOR PLANS

Drawing by: ANDERSON PORTER DESIGN	
Project #: 2125	Drawn by:
Date: 2022.02.15	Scale: 1/4" = 1'-0"
Drawn by: A.R.S.	AX1.1



1 EXISTING SECOND FLOOR
1/4" = 1'-0"



2 EXISTING ROOF
1/4" = 1'-0"



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No.	Description	Date

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Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

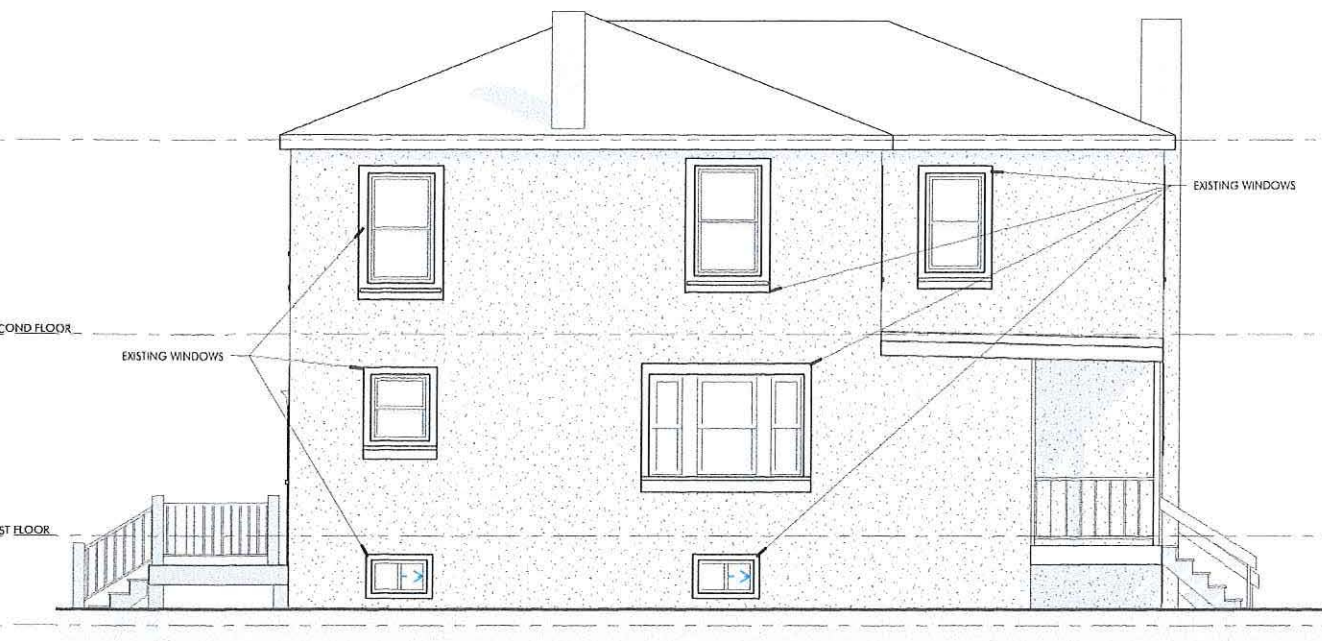
Title: EXISTING FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: ARLS

AX1.2



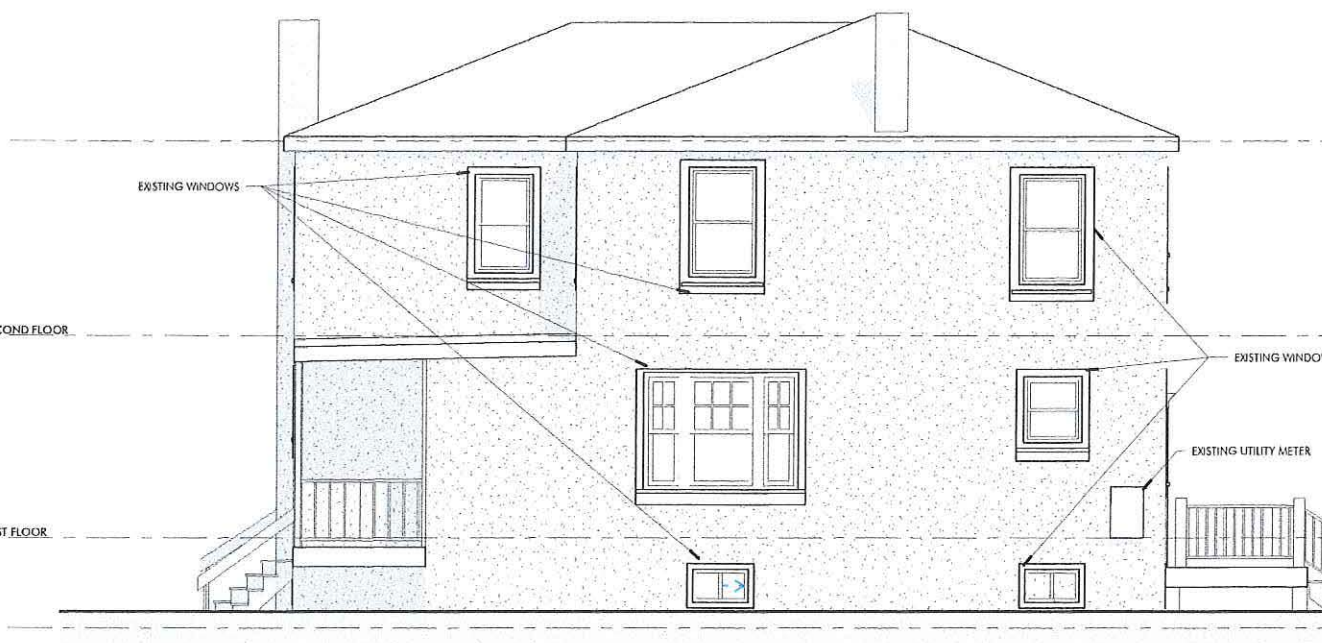
④ EXISTING EAST ELEVATION
1/4" = 1'-0"



① EXISTING NORTH ELEVATION
1/4" = 1'-0"



② EXISTING WEST ELEVATION
1/4" = 1'-0"



③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

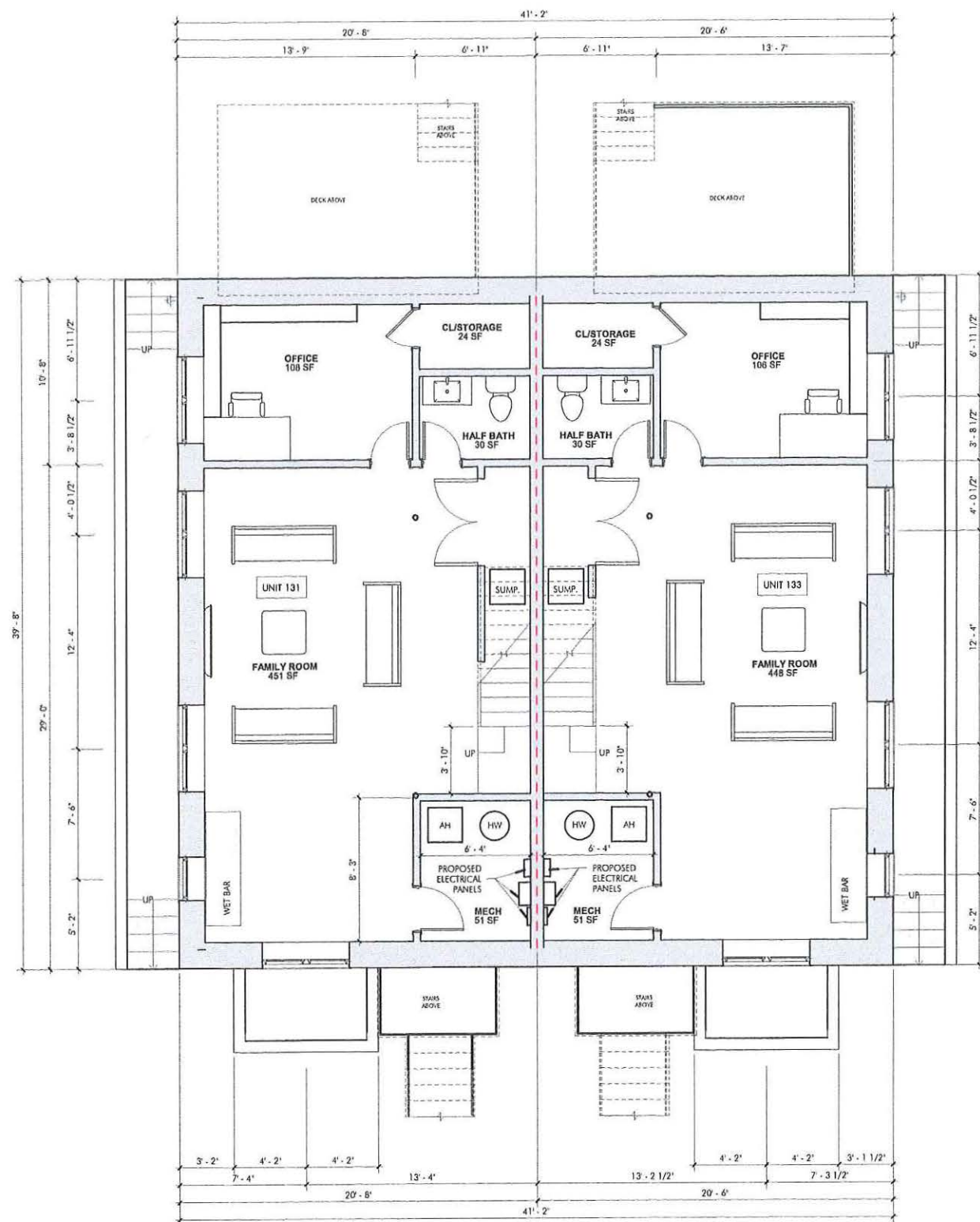
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133 FAYERWEATHER
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

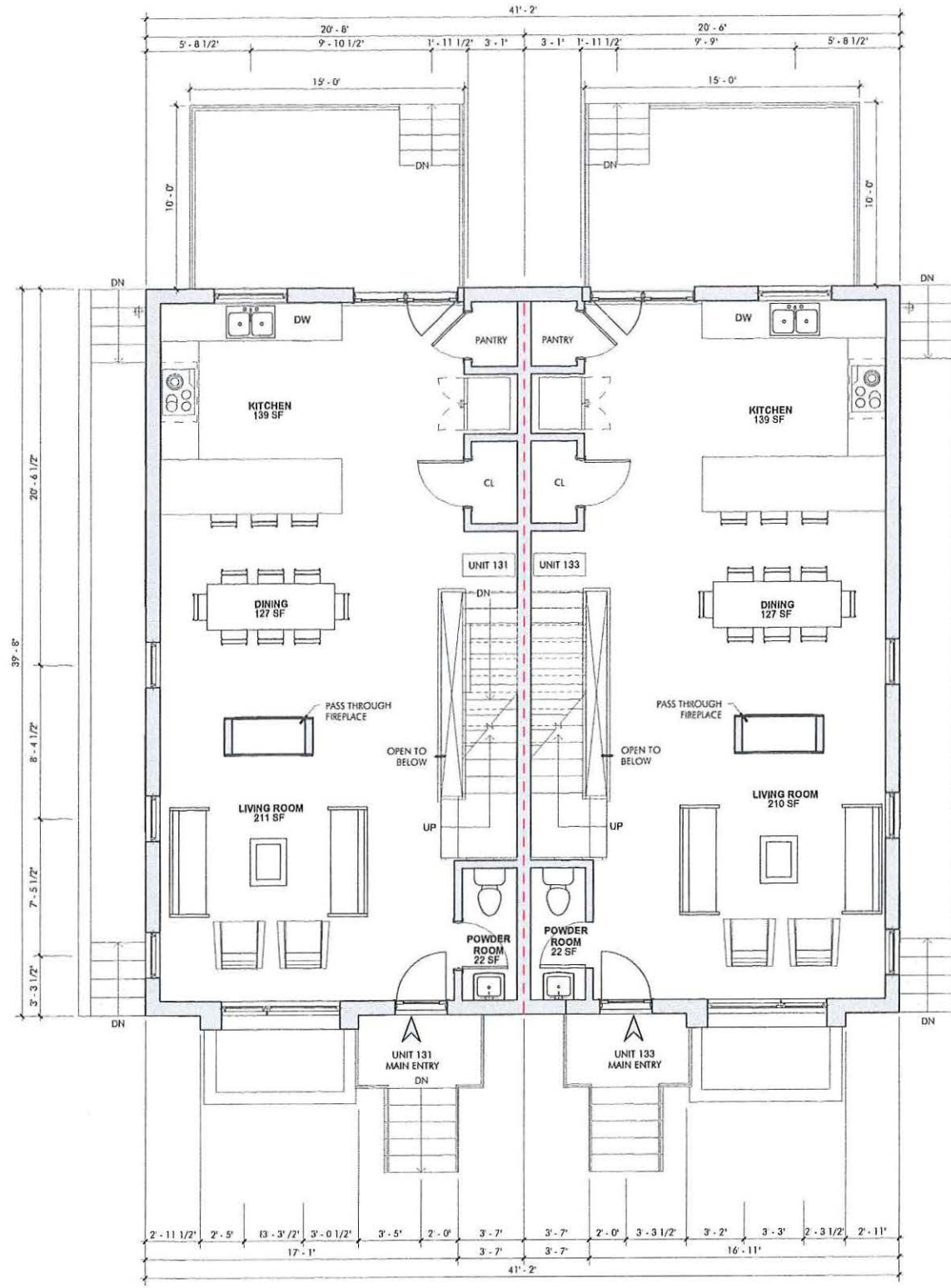
EXISTING ELEVATIONS

Drawing based on: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: AR.S.

AX2.1



1 PROPOSED BASEMENT
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
1/4" = 1'-0"

SPECIAL PERMIT

REV	DESCRIPTION	DATE

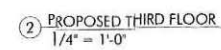
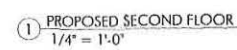
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Project: 133 FAYERWEATHER
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CAMBRIDGE, MA 02138

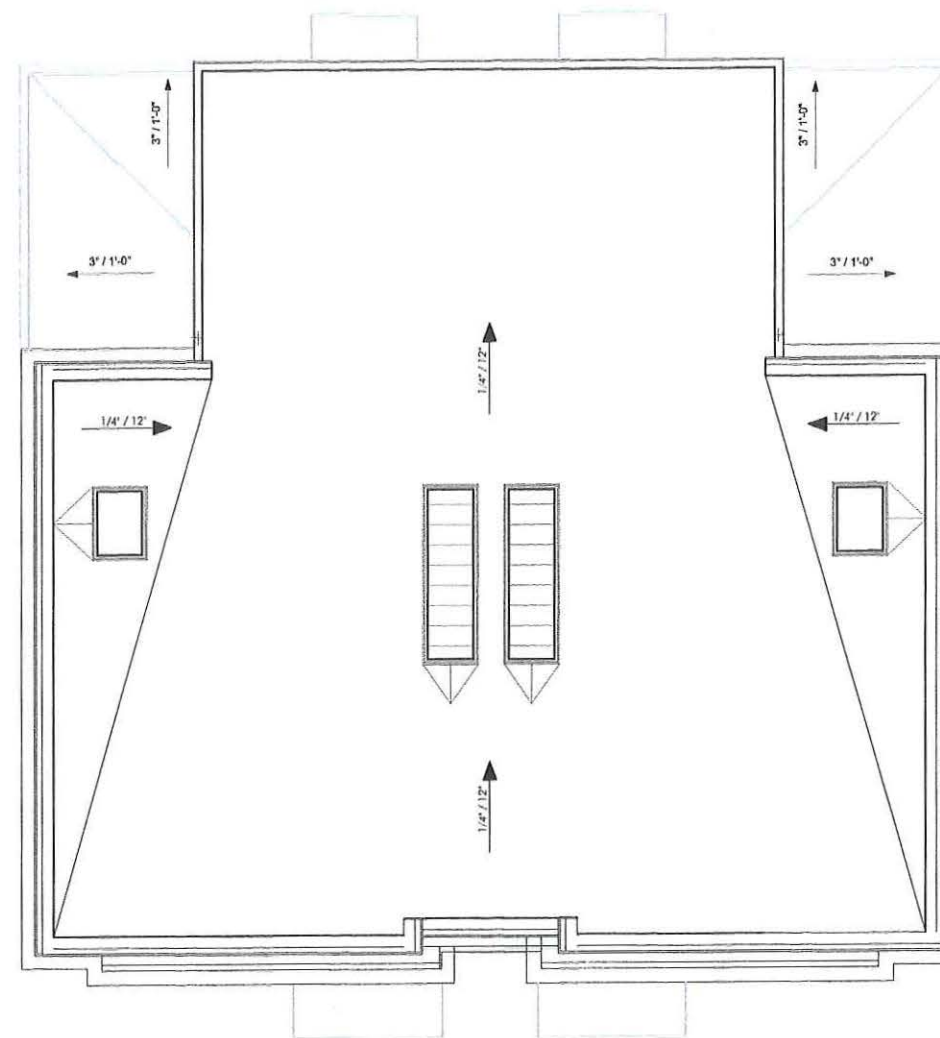
Title: PROPOSED FLOOR PLANS

Drawn by: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.

A1.1

[illegible]

A1.2



① PROPOSED ROOF
 $1/4" = 1'-0"$



SPECIAL PERMIT

[illegible]

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133 FAYERWEATHER
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: **PROPOSED FLOOR PLANS**

Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2125	Drawn For:
Date: 2022.02.15	A1.3
Scale: 1/4" = 1'-0"	
Drawn by: A.R.S.	



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
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Project
133 FAYERWEATHER
Address
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CAMBRIDGE, MA 02138

Title
PROPOSED ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.02.15
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.



VIEW OF FRONT



VIEW OF REAR



VIEW OF SIDE



VIEW OF CORNER

SPECIAL PERMIT

REVISION		
No.	Description	Date

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Title
EXISTING PHOTOS

Drawing made by: ANDERSON PORTER DESIGN	
Project No.: 2125	Drawn by:
Date: 2022.02.15	SK1
Scale:	
Drawn by: DS	



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Jesse Germain Date: 3/7/22
(Print)

Address: 133 Fayerweather St.

Case No. BZA-163050

Hearing Date: 3/24/22

Thank you,
Bza Members

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2022 MAY 16 P 4:09

ANDERSON
PORTER
DESIGN

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.

2. THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS.

4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE SCOPE OF WORK DEFINED ON THE DRAWINGS.

5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.

6. CONTRACTOR SHALL PROVIDE ADEQUATE SHIELDING AND BRACING DURING DEMOLITION.

7. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.

8. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS, ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

9. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.

10. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED.

11. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.

12. THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION.

13. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HIMSELF WITH EXISTING CONDITIONS.

15. DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK.

16. METHODS ARE INTENDED TO SHOW METHODS AND MEANS OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.

17. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE FOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.

18. ALL EQUIPMENT OR WORKMANSHIP NOT SPECIFIED TO BE PROVIDED OR FURNISHED BY THE CONTRACTOR SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT.

19. ALL WORK SHALL BE PERFORMED BY SKILLED WORKMEN IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS.

20. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE ARCHITECT.

21. THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.

22. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.

2. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS.

3. DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.

4. THE CONTRACTORS RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.

5. CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.

6. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.

8. REMOVE FROM THE JOBSITE, AS SOON AS PRACTICED, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.

9. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

10. REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (E.G. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING DONE UNDER THIS CONTRACT.

11. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.

12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.

13. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS.

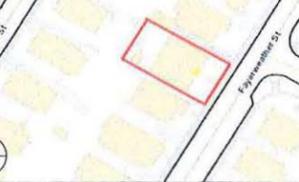
14. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASES, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH MATERIALS EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED - TO BE APPROVED BY ARCHITECT AND OWNER.

15. PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.



	EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED
	EXISTING STRUCTURE OR PARTITION TO REMAIN
	NEW STRUCTURE OR PARTITION
	FINISH ELEVATION
	ROOM TAG
	GENERAL DETAIL
	WALL SECTION
	INTERIOR ELEVATION
	FINISH TAG
	DOOR IDENTIFICATION SYMBOL
	WALL TYPE TAG
	WINDOW IDENTIFICATION SYMBOL
	DUPLEX OUTLET
	GROUND FAULT OUTLET
	CAT 5/COAX/DATA
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

AF	ABOVE FINISHED FLOOR
CJ	CONTROL JOINT
GLG	CEILING
CLR	CLEAR
CO	CLEAN OUT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DN	DOWN
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EQ	EQUIPMENT
EXIST	EXISTING
FD	FURRING CHANNEL
FL	FLOOR DRAIN
FIN	FINISH
FLR	FLOOR
GL	GLASS
GWB	GIPS WALLBOARD
H	HIGHT
HDWD	HEARDWOOD
HVAC	HEATING, VENTILATION AND AIR CONDITIONING
INSUL	INSULATION
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MSO	MASONRY OPENING
NIT	NETA
NTC	NOT IN CONTRACT
HTS	NOT TO SCALE
QC	ON CENTER
PL	PLASTER/PLASTER
PLYWD	PLYWOOD
PTD	PAINTED
REG	REQUIRED
RLN	RAIN LEADER
STR	STEEL
STL	STRUCTURE/STRUCTURAL
T.O.C.	TOP OF CONCRETE
T.O.S	TOP OF SLAB
TP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
W	WOOD
W/	WITH
WINDW	WINDOW



CONTACTS

ARCHITECT

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1972 Massachusetts Ave,
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Cambridge MA 02139

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617.354.2501
dan@andersonporter.com

CIVIL ENGINEER

Spruhan Engineering, P.C.
80 Jewett Street, Suite 2
Newton MA 02458
Edmond Spruhan
617.816.0722

GO.1	COVER SHEET
C.0	EXISTING LOT PLAN
C.1	EXISTING CIVIL PLAN
L1.1	PROPOSED SITE PLAN
Z1.1	ZONING COMPLIANCE
Z1.2	ZONING COMPLIANCE
AX1.1	EXISTING FLOOR PLANS
AX1.2	EXISTING FLOOR PLANS
AX2.1	EXISTING ELEVATIONS
AI.1	PROPOSED FLOOR PLANS
AI.2	PROPOSED FLOOR PLANS
AI.3	PROPOSED ROOF PLAN
A2.1	PROPOSED ELEVATIONS
SK1.0	EXISTING PHOTOS
SK2.1	EXISTING STREET VIEW 1
SK2.2	PROPOSED STREET VIEW 1
SK2.3	EXISTING STREET VIEW 2
SK2.4	PROPOSED STREET VIEW 2
SK3.0	EXISTING SHADOW STUDY
SK3.1	PROPOSED SHADOW STUDY

PROPERTY ADDRESS:	133 FAYEWEATHER STREET CAMBRIDGE, MA 02138
ZONING DISTRICT:	RESIDENCE B
PROJECT DESCRIPTION:	RENOVATION OF EXISTING TWO-FAMILY STRUCTURE
CHAPTER 3 – BUILDING PLANNING	
SECTION R302	FIRE-RESISTANT CONSTRUCTION
R302.3	Dwelling units shall be separated by a 1-hour fire-resistance rated wall.
R302.7	Endosed space under stairs that is accessed by door or access panel shall be covered with 1/2" gypsum board.
R302.11	Firestopping shall be provided per code.
SECTION R303	LIGHT, VENTILATION AND HEATING
R303.3	Mechanical ventilation shall be provided.
R303.10	Dwelling units shall be provided with required heating.
SECTION R304	MINIMUM ROOM AREAS
R304.1	All habitable room areas shall comply with code.
SECTION 305	CILING HEIGHT
R305.1	Ceiling heights shall be equal to, or greater than, minimum requirements.
SECTION 306	SAFETY
R306.1	Tollet fixtures, kitchens, sewage disposal, and water supply to fixtures shall be provided.
SECTION 307	TOILET, BATH AND SHOWER SPACES
R307.1	Tollet, baths, and showers spaces shall comply with code.
SECTION 308	GLAZING
R308.1	All glazing shall comply with code.
SECTION 309	GARAGES AND CARPORTS
R309.1	This section of the code is not applicable to the proposed design.
SECTION 310	EMERGENCY ESCAPE AND RESCUE OPENINGS
R310.1	This section of the code is not applicable to the proposed design.
SECTION 311	MEANS OF EGRESS
R311.1	Each dwelling unit shall be provided with a primary and secondary means of egress with clear widths that comply with code.
R311.2.1	All interior doors shall have nominal widths and heights that comply with code.
R311.7.5.1	2.Riser heights shall not be more than 8 1/4". Tread depths shall not be less than 9". Winder treads shall have a minimum tread depth of 3' at any point.
SECTION 312	GUARDS AND WINDOW FALL PROTECTION
R312.1	Guard locations and heights, and window openings and fall protections shall comply with code.
SECTION 313	AUTOMATIC FIRE SPRINKLER SYSTEMS
R313.2	The proposed design does not have an aggregate area greater than 14,400 square feet.
SECTION R314	SMOKE ALARMS
R314.3	Smoke alarms shall be provided and located as required.
SECTION 315	CARBON MONOXIDE ALARMS
R315.3	Carbon monoxide alarms shall be provided and located as required.
SECTION 316	FOAM PLASTIC
R316.1	GC shall verify that any foam plastics used shall comply with code.
SECTION 317	PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY
R317.1	GC shall verify that construction complies with code.
SECTION 318	PROTECTION AGAINST SUBTERRANEAN TERMITES
R318.1	GC shall verify that construction complies with code.
SECTION 319	SITE ADDRESS
R319.1	This section of the code is not applicable to the proposed design.
SECTION 320	ACCESSIBILITY
R320.1	This section is not applicable to the proposed design.
SECTION 321	ELEVATORS AND PLATFORM LIFTS
R321.1	This section is not applicable to the proposed design.
SECTION 322	FLOOD-RESISTANT CONSTRUCTION
R322.1	The basement shall be constructed to anticipate the estimated seasonal high ground water level.
SECTION 323	STORM SHEETERS
R323.1	This section is not applicable to the proposed design.
SECTION 324	SOLAR ENERGY SYSTEMS
R324.1	This section is not applicable to the proposed design.
SECTION 325	MEZZANINES
R325.1	This section is not applicable to the proposed design.
SECTION 326	SWIMMING POOLS, SPAS AND HOT TUBS
R326.1	This section is not applicable to the proposed design.
SECTION 327	STATIONARY STORAGE BATTERY SYSTEMS
R327.1	This section is not applicable to the proposed design.
CHAPTER 4 – FOUNDATIONS	
R401.1	GC shall verify that construction complies with code.
CHAPTER 5 – FLOORS	
R501.1	GC shall verify that construction complies with code.
CHAPTER 6 – WALL CONSTRUCTION	
R601.1	GC shall verify that construction complies with code.
CHAPTER 7 – WALL COVERING	
R701.1	GC shall verify that construction complies with code.
CHAPTER 8 – ROOF – CEILING CONSTRUCTION	
R801.1	GC shall verify that construction complies with code.
CHAPTER 9 – ROOF ASSEMBLIES	
R901.1	GC shall verify that construction complies with code.
CHAPTER 10 – CHIMNEYS AND FIREPLACES	
R1001.1	This section of the code is not applicable to the proposed design.
CHAPTER 11 – ENERGY EFFICIENCY	
R1101.1	This section of the code is not applicable to the proposed design.

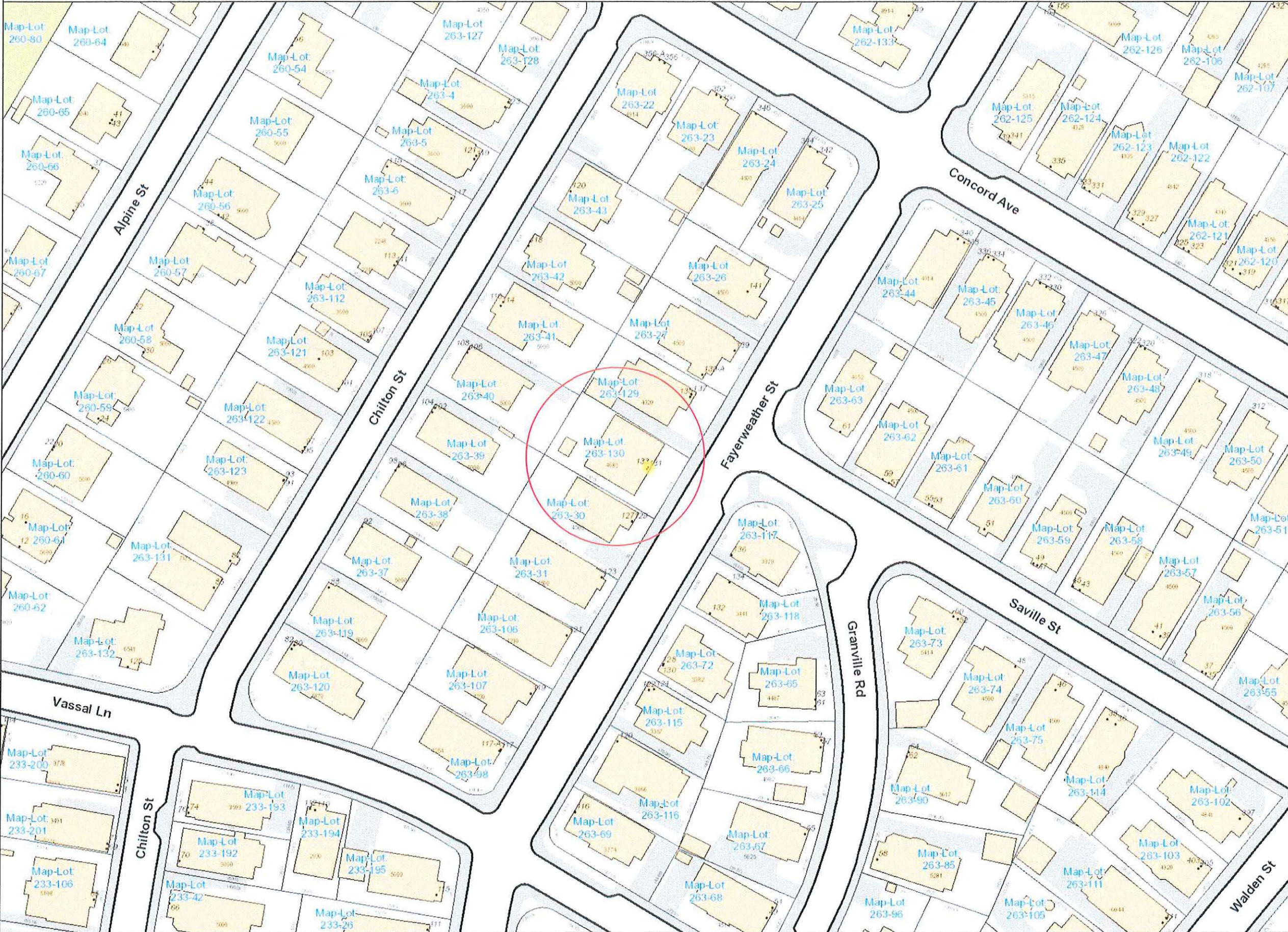
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Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Drawing Issued By: ANDERSON-PORTER DESIGN	
Project #: 2125	Drawing No.
Date: 2022.04.26	G0.1
Scale: 1/4" = 1'-0"	

GO.1



LEGEND

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
 - Paved Roads
 - Bridges
- Unpaved Roads
- Unpaved Parking
- Sidewalks
- Driveways
- Alleys
- Other Paved Surface
- Public Footpath

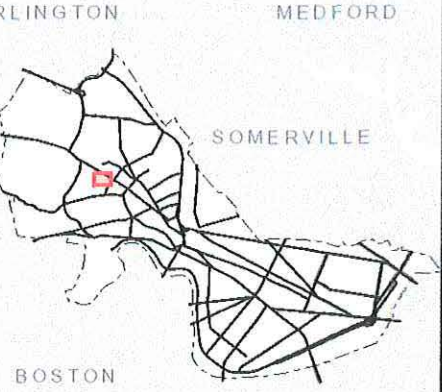


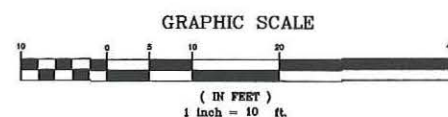
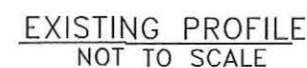
City of Cambridge
Massachusetts

1" = 69 ft

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www.cambridgema.gov/gis





	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)

NOTES:

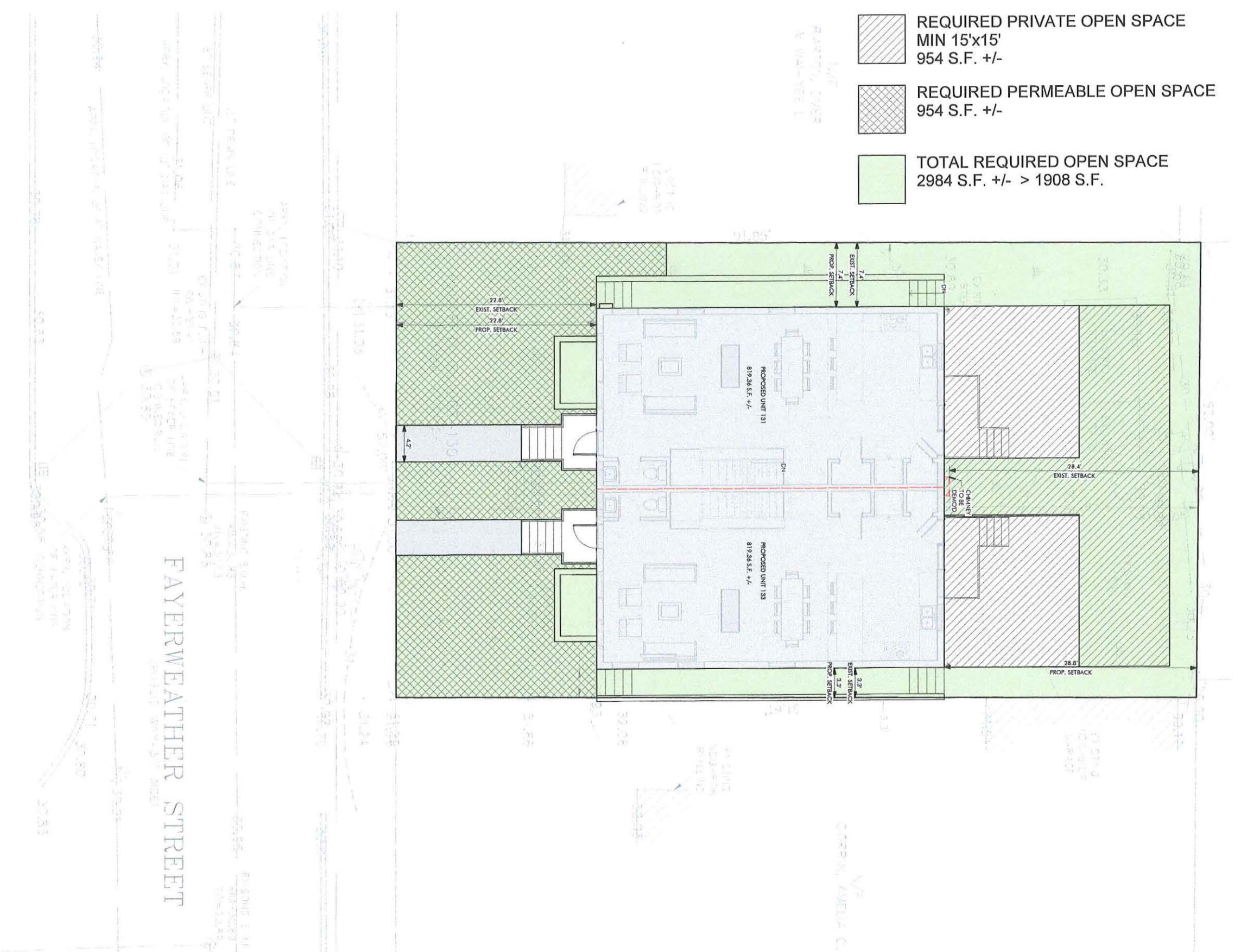
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.
2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197
PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 169992A
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.

SCALE				
1"=10'				
DATE				
12/08/21	REV	DATE	REVISION	BY
SHEET	133 FAYERWEATHER STREET CAMBRIDGE MASSACHUSETTS			
1				
PLAN NO.	EXISTING CONDITIONS PLAN			
1 OF 1				
CLIENT:	 PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnassociates.com			
DRAWN BY				
OB				
CHKD BY				
PJN				
APPD BY				
PJN				
	SHEET NO. 1			

REQUIRED PRIVATE OPEN SPACE
MIN 15'x15'
954 S.F. +/-

REQUIRED PERMEABLE OPEN SPACE
954 S.F. +/-

TOTAL REQUIRED OPEN SPACE
2984 S.F. +/- > 1908 S.F.



SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project:
133 FAYERWEATHER
Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title:
PROPOSED SITE PLAN

Drawn by: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.04.26
Scale: 3/16" = 1'-0"
Drawn by: A.R.S.

L1.1



ZONING CHART - CAMBRIDGE				
LOT SIZE:	ALLOWED / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
ZONE	B ZONE	B ZONE	B ZONE	COMPLIES
USE	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	COMPLIES
MIN LOT SIZE	5,000 S.F.	4,772 +/- S.F.	4,772 +/- S.F.	EXISTING NON CONFORMING
MIN LOT AREA PER DWELLING	2,500 S.F.	2,386 S.F.	2,386 S.F.	EXISTING NON CONFORMING
MAX FLOOR AREA RATIO (FAR)	0.50	0.64	0.87	EXISTING NON CONFORMING
MAX BUILDING HEIGHT	35'	27.2'	34.8'	COMPLIES
MIN. YARD SETBACKS				
FRONT	15'	22.9'	22.9'	COMPLIES
RIGHT SIDE	7.5' SUM TO 20'	3.2'	3.2'	EXISTING NON CONFORMING
LEFT SIDE	7.5' SUM TO 20'	7.4'	7.4'	EXISTING NON CONFORMING
REAR	25'	28.4'	28.4'	COMPLIES
MIN LOT WIDTH	50'	52'	52'	COMPLIES
PARKING REQUIREMENTS	1 PER DWELLING UNIT	0 SPOTS	0 SPOTS	EXISTING NON CONFORMING
TOTAL OPEN SPACE, MIN % OF LOT	40% = 1908.80 S.F.	63% = 2994.21 S.F. +/-	63% = 2994.21 S.F. +/-	COMPLIES
PRIVATE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	56% = 2691.26 S.F. +/-	56% = 2691.26 S.F. +/-	COMPLIES
PERMEABLE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	25% = 1175.45 S.F. +/-	25% = 1175.45 S.F. +/-	COMPLIES
BICYCLE PARKING	N/A	0 SPOTS	0 SPOTS	COMPLIES

AREA CALCULATIONS	EXISTING	PROPOSED
BASEMENT UNIT 01 (N/A)	N/A	N/A
FIRST FLOOR UNIT 01	820	820
SECOND FLOOR UNIT 01	717	717
THIRD FLOOR UNIT 01	N/A	550
TOTAL (UNIT 01)	1,537	2,087
BASEMENT UNIT 02 (N/A)	N/A	N/A
FIRST FLOOR UNIT 02	813	813
SECOND FLOOR UNIT 02	711	711
THIRD FLOOR UNIT 02	N/A	545
TOTAL (UNIT 02)	1,524	2,069
GRAND TOTAL	3,061	4,156

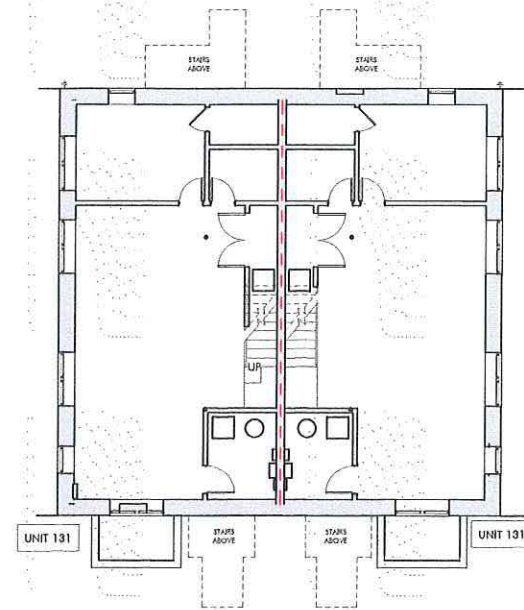
N/A: BASEMENT AREA IS EXCLUDED FROM GROSS FLOOR AREA PER AREA 2.

UNIT 1 - LEFT
UNIT 2 - RIGHT

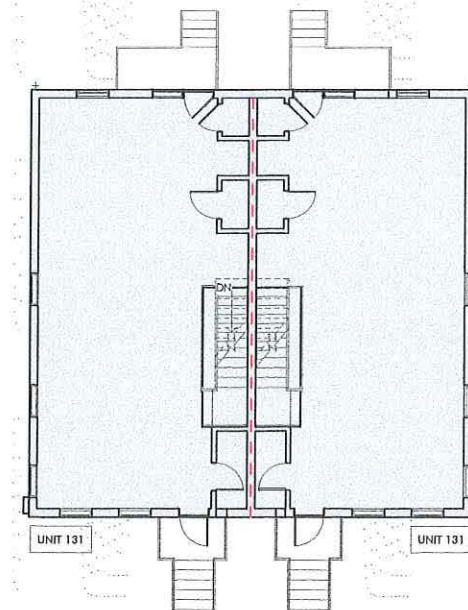
FOOTNOTES:

Identifying rear yard set back

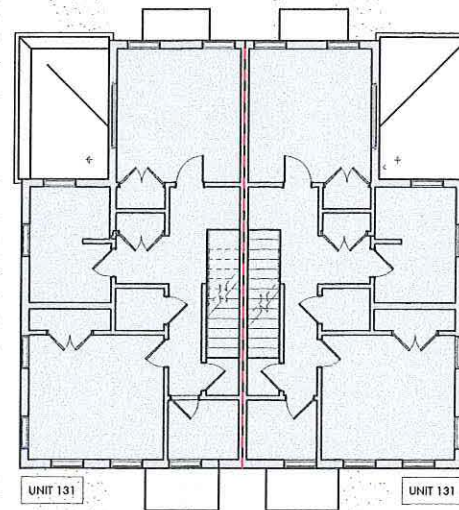
Min. distance between buildings: Sum of Heights/6 or 10'-0", whichever is greater.



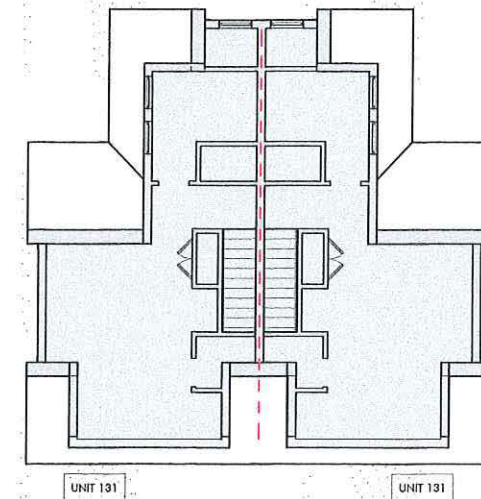
① BAZEMENT ZONING
1/8" = 1'-0"



② FIRST PLAN ZONING
1/8" = 1'-0"



③ SECOND FLOOR ZONING
1/8" = 1'-0"



④ THIRD FLOOR ZONING
1/8" = 1'-0"

ANDERSON
PORTER
DESIGN


SPECIAL PERMIT

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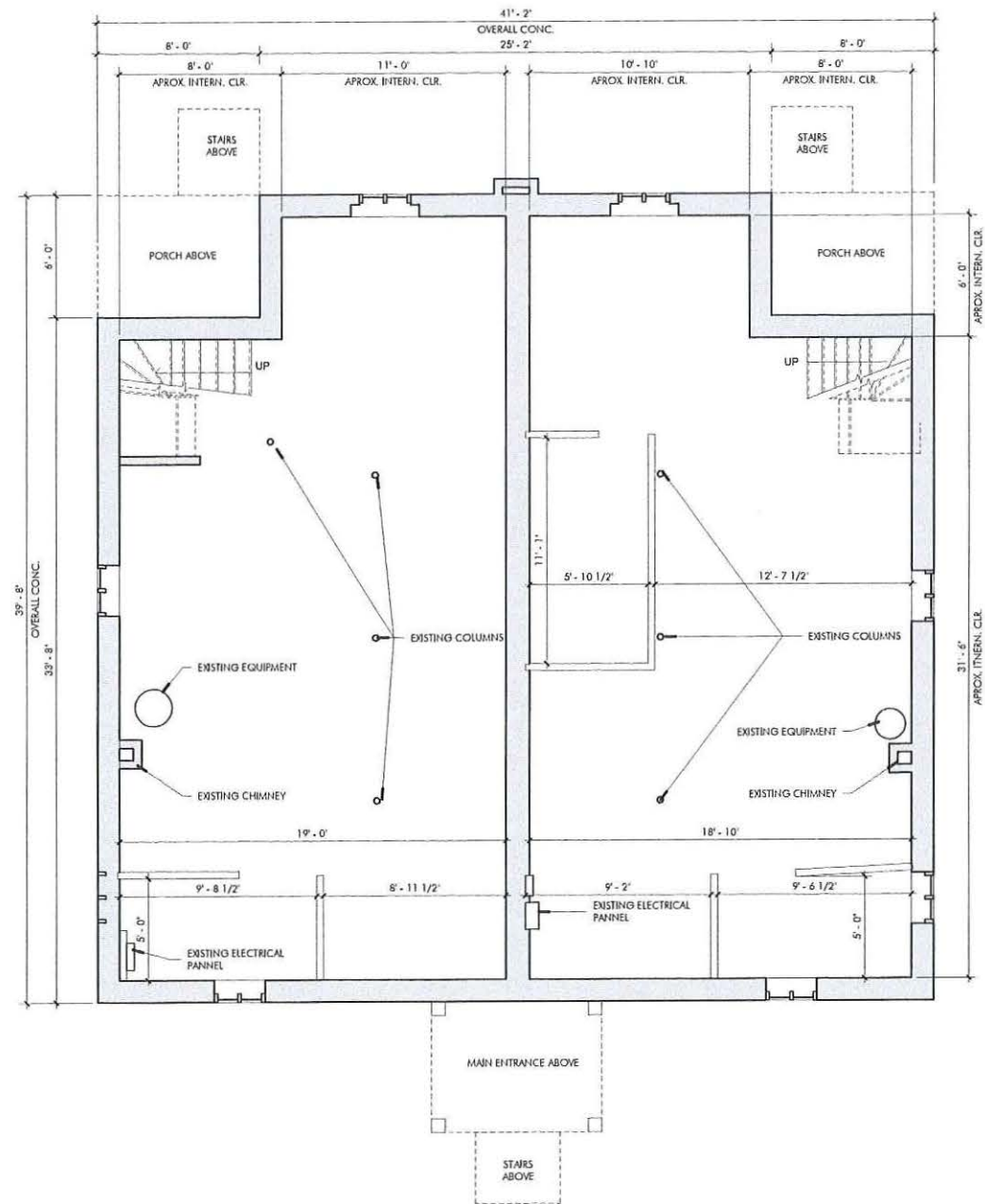
AndersonPorterDesign
1972 Massachusetts Ave., 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2500

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

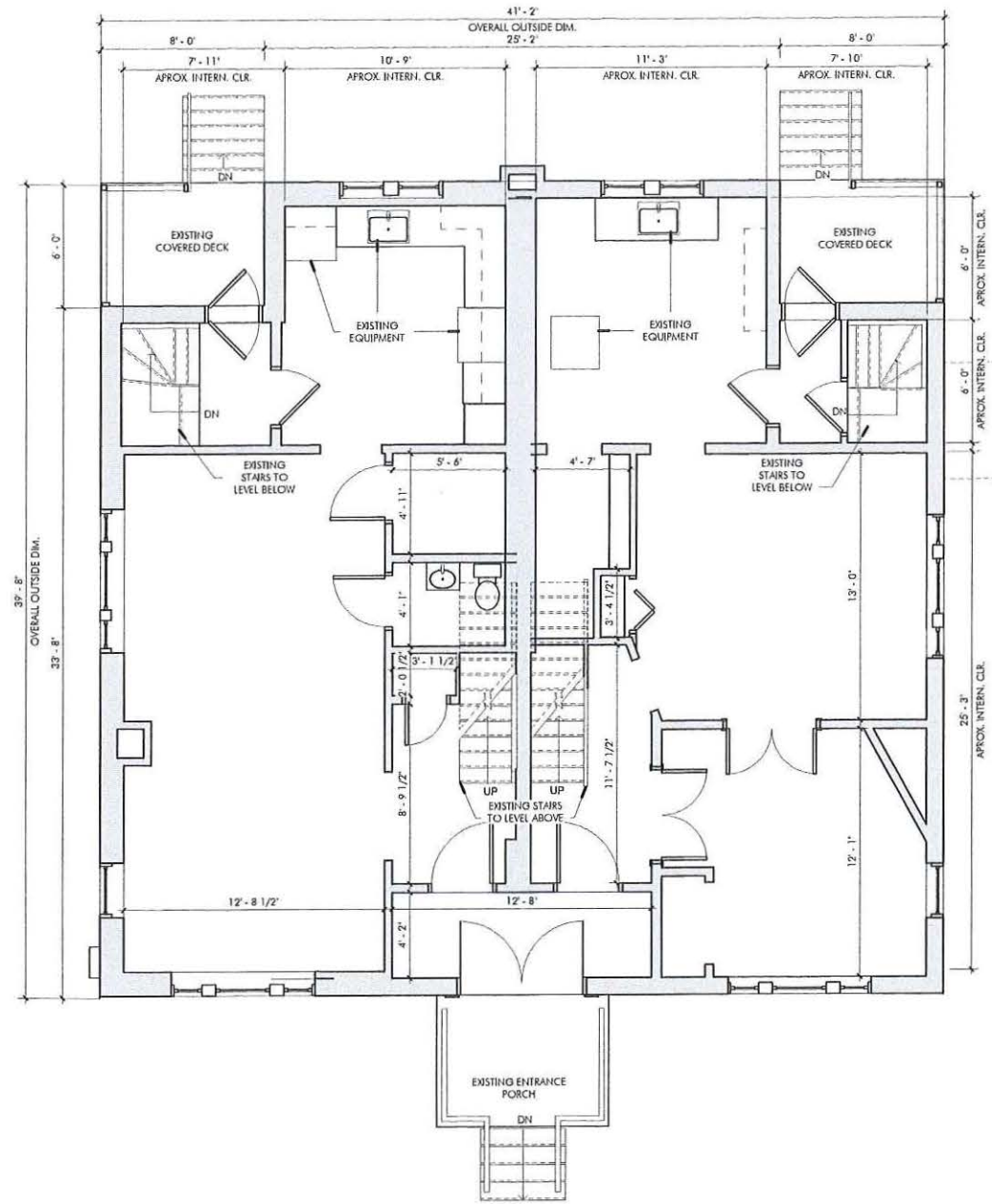
Tdc
ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN		
Project #: 2125	Drawn By:	
Date: 2022.04.26		
Scale: As indicated		
Drawn by: A.R.S.		

Z1.1



① EXISTING BASEMENT
1/4" = 1'-0"



② EXISTING FIRST FLOOR
1/4" = 1'-0"

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

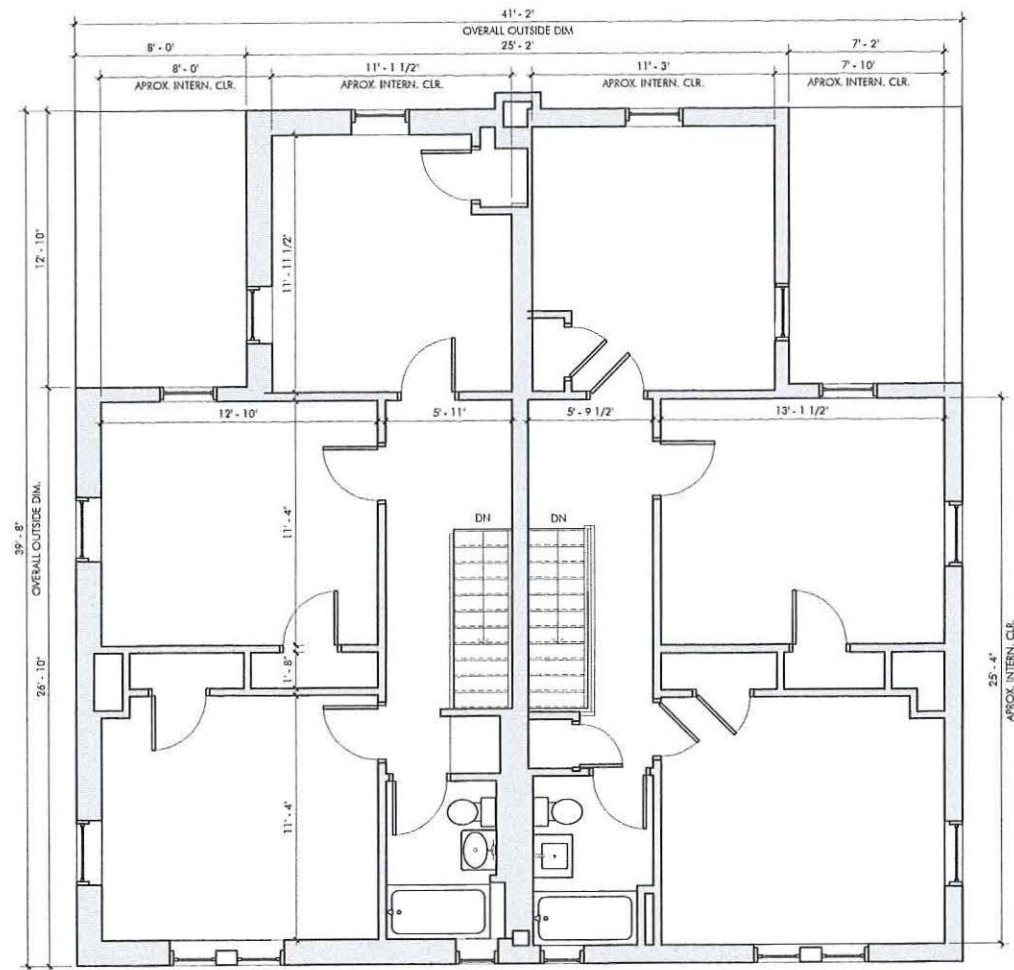
AndersonPorterDesign
1972 Massachusetts Ave., 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project
133 FAYERWEATHER
Address
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

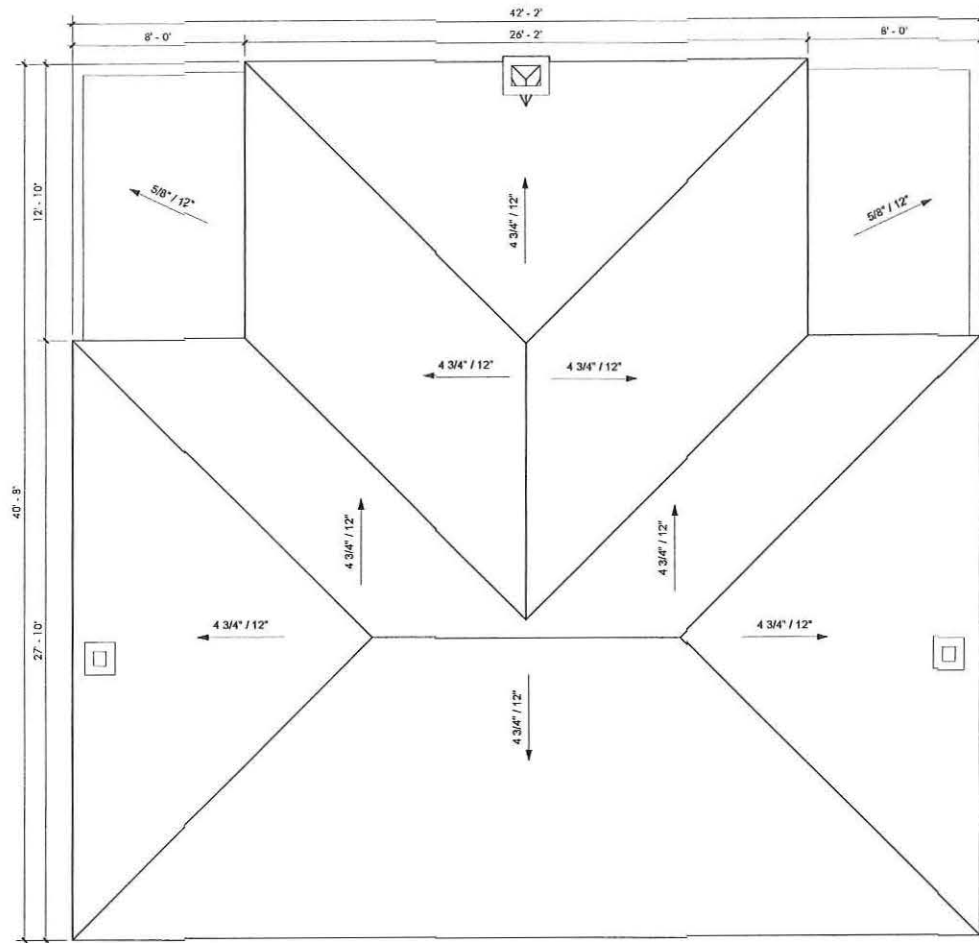
Title
EXISTING FLOOR PLANS

Drawn by: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.04.26
Scale: 1/4" = 1'-0"
Drawing: AR.S.

AX1.1



① EXISTING SECOND FLOOR
1/4" = 1'-0"



② EXISTING ROOF
1/4" = 1'-0"

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Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project
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Address
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

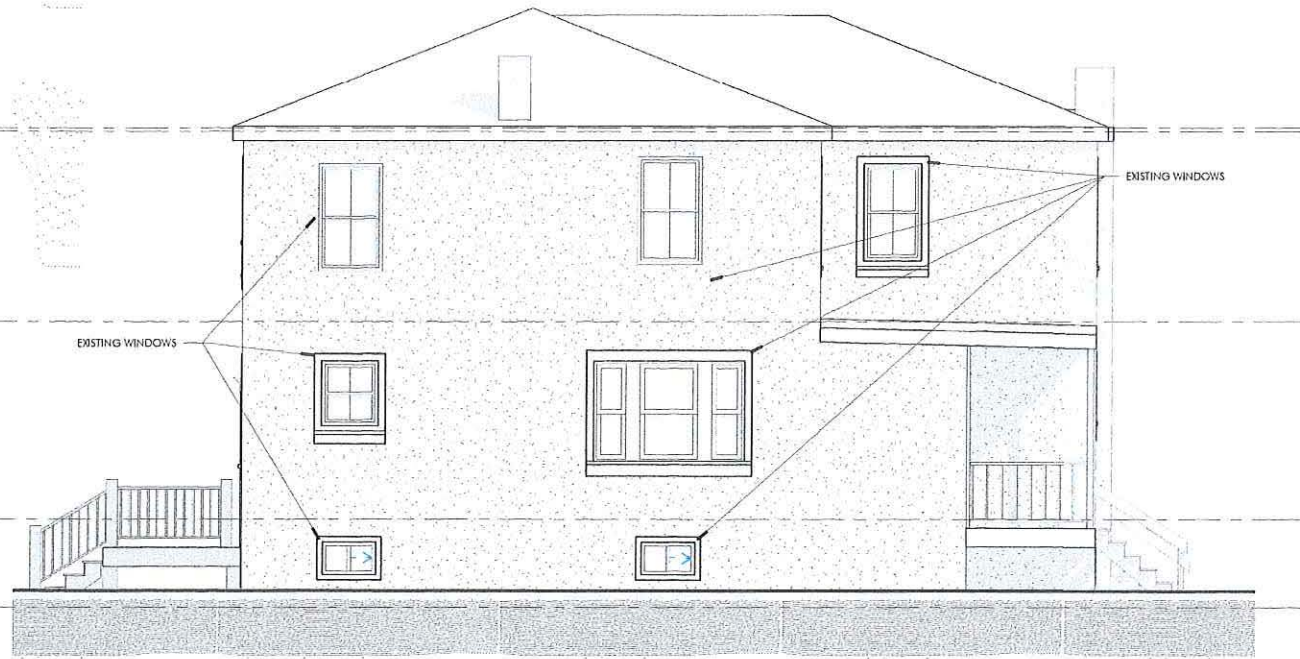
EXISTING FLOOR PLANS

Drawn by	AR.S
Project #	2125
Date	2022.04.26
Scale	1/4" = 1'-0"
Drawn by	AR.S

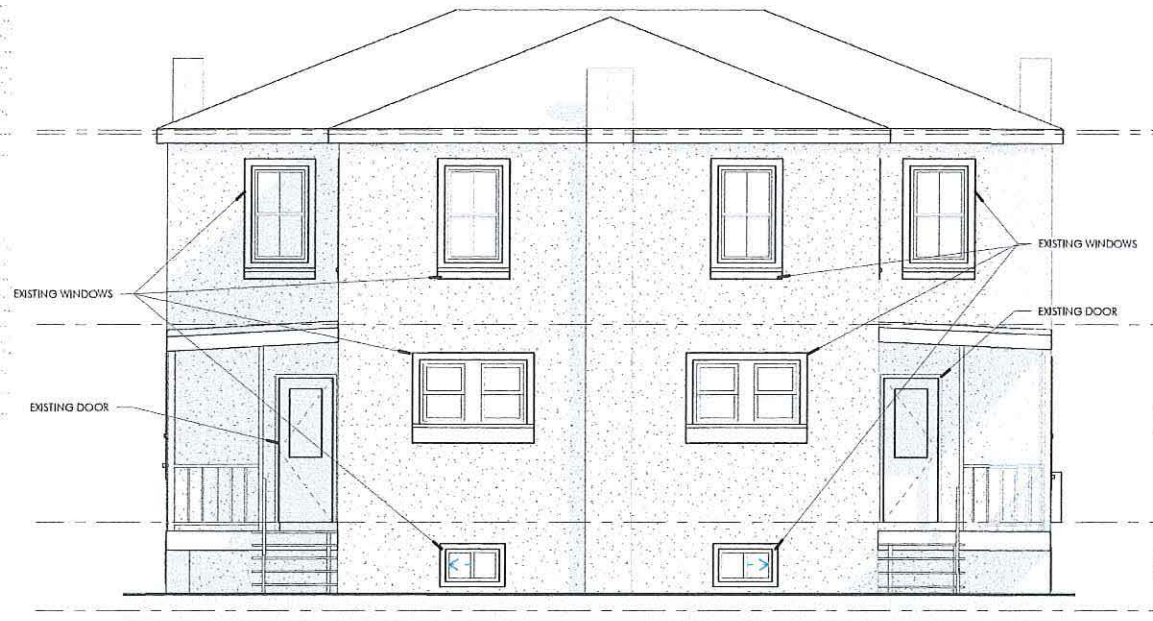
AX1.2



④ EXISTING EAST ELEVATION
1/4" = 1'-0"



① EXISTING NORTH ELEVATION
1/4" = 1'-0"



② EXISTING WEST ELEVATION
1/4" = 1'-0"



③ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

SPECIAL PERMIT

REV	DESCRIPTION	DATE

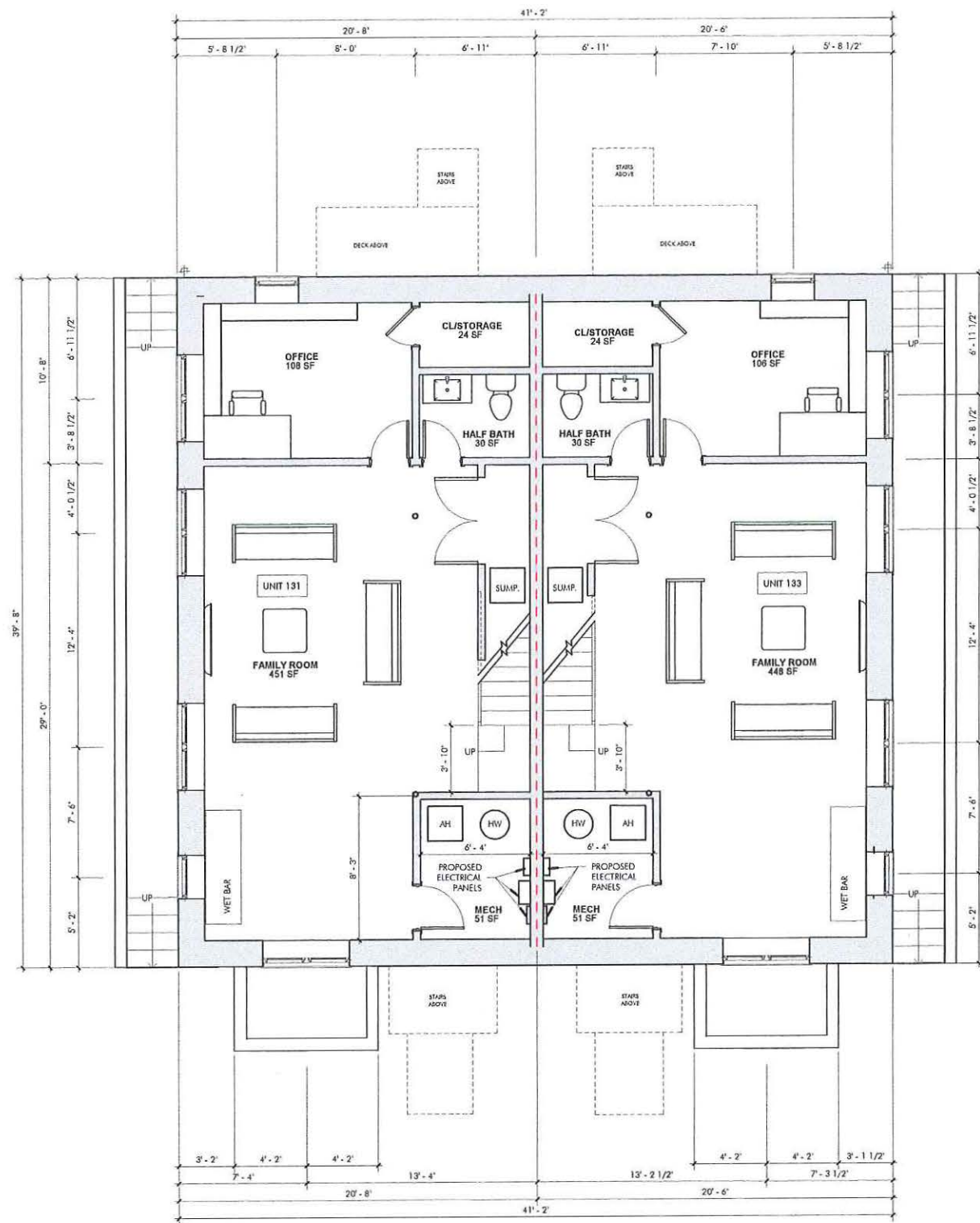
AndersonPorterDesign
1972 Massachusetts Ave., 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2500

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

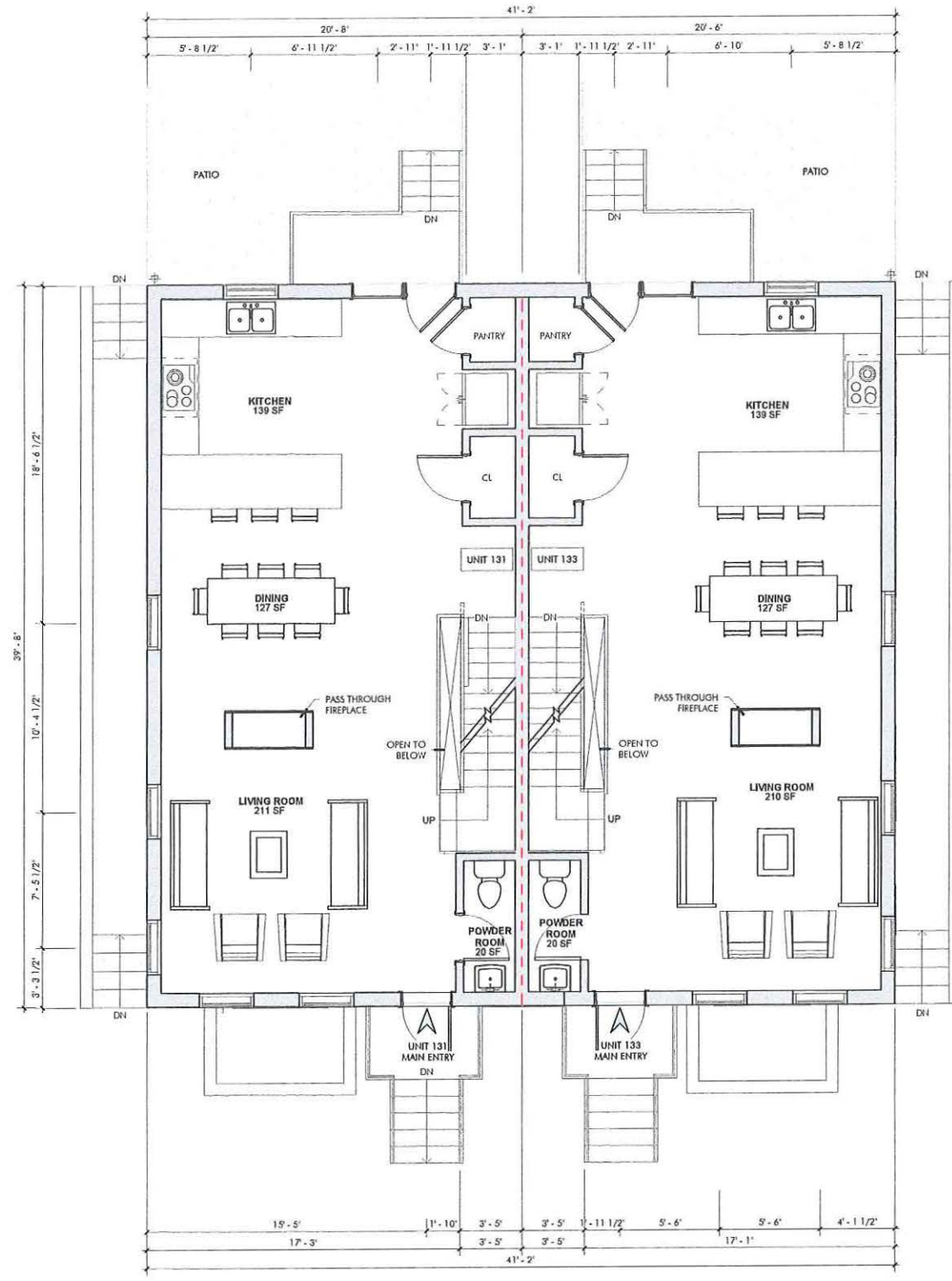
Title: EXISTING ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.04.26
Scale: 1/4" = 1'-0"
Drawing: AR.S

AX2.1



1 PROPOSED BASEMENT
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR
1/4" = 1'-0"



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Tel. 617.354.2501 Fax. 617.354.2509

133 FAYERWEATHER
Address
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CAMBRIDGE, MA 02138

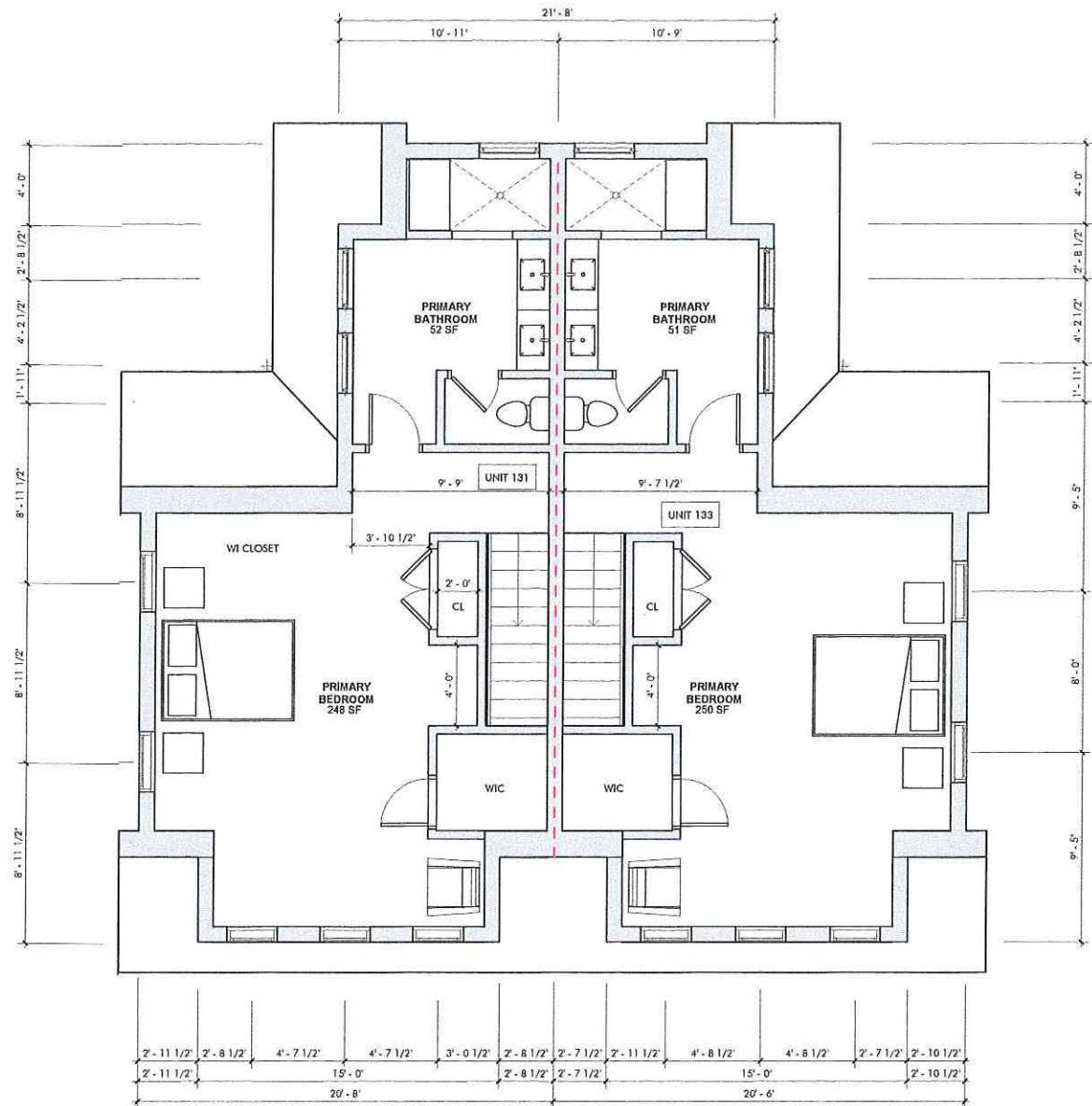
PROPOSED FLOOR PLANS

Drawn by	AndersonPorterDesign	Project #	2125	Discipline	
Date	2022.04.26	Scale	1/4" = 1'-0"	Drawn by	AR.S

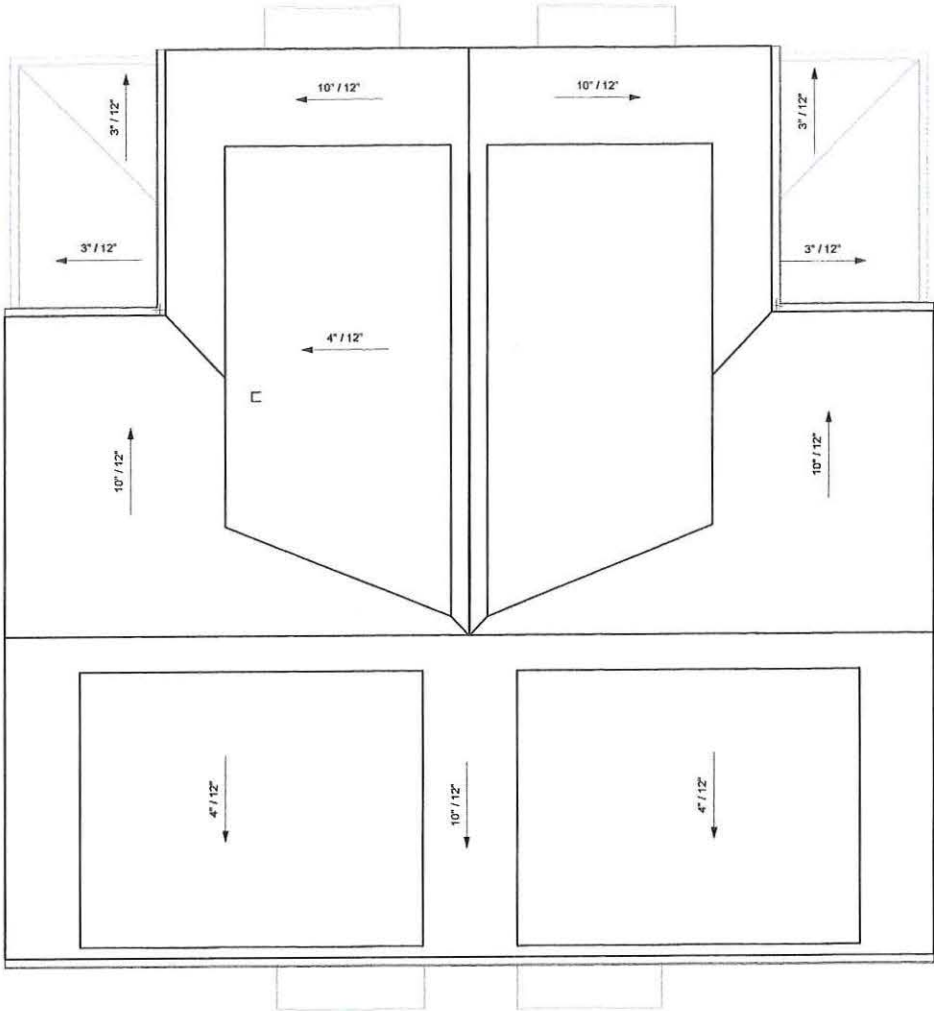
A1.1

[illegible]

Al.2



② PROPOSED THIRD FLOOR
1/4" = 1'-0"



① PROPOSED ROOF
1/4" = 1'-0"



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REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project:
133 FAYERWEATHER
Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title:
PROPOSED ROOF PLAN

Designed by ANDERSON PORTER DESIGN		Drawn by A1.3
Project #:	2125	
Date:	2022.04.26	
Scale:	1/4" = 1'-0"	
Drawn by:	AR.S.	



① PROPOSED EAST ELEVATION
1/4" = 1'-0"



② PROPOSED NORTH ELEVATION
1/4" = 1'-0"



③ PROPOSED WEST ELEVATION
1/4" = 1'-0"



④ PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2500

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title: PROPOSED ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN
Project #: 2125
Date: 2022.04.26
Scale: 1/4" = 1'-0"
Drawn by: A.R.S.



VIEW OF FRONT



VIEW OF REAR



VIEW OF SIDE



VIEW OF CORNER

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

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1972 Massachusetts Ave., 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project:
133 FAYERWEATHER
Address:
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title:
EXISTING PHOTOS

Drawing Issued By:	ANDERSON PORTER DESIGN	Drawn By:	DS
Project #:	2125		
Date:	2022.02.15		
Scale:			
Drawn By:	DS		

SK1



EXISTING STREET VIEW 1

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REVISIONS		
No.	Description	Date

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Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER
Address: 133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

PROPOSED STREET VIEWS

Drawing issued by: ANDERSON PORTER DESIGN	Project #: 2125	Drawn by:
Date: 2022.04.26	Author:	SK2.1
Drawn by:	Author:	



PROPOSED STREET VIEW 1

ANDERSON
PORTER
DESIGN

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave., 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project
133 FAYERWEATHER
Address
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

PROPOSED STREET VIEWS

Drawing Based By	ANDERSON PORTER DESIGN
Project #	2125
Date	2022.04.26
Scale	SK2.2
Drawn by	Author



EXISTING STREET VIEW 2

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project
133 FAYERWEATHER
Address
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

PROPOSED STREET VIEWS

Drawing based by: ANDERSON PORTER DESIGN		
Project #:	2125	Disc No.
Date:	2022.04.26	
Scale:		
Drawn by:	AR.S.	

SK2.3



PROPOSED STREET VIEW 2

SPECIAL PERMIT

REVISIONS		
No.	Description	Date

AndersonPorterDesign
1972 Massachusetts Ave, 4th Floor
Cambridge, MA 02140
Tel. 617.354.2501 Fax. 617.354.2509

Project
133 FAYERWEATHER
Address
133 FAYERWEATHER STREET
CAMBRIDGE, MA 02138

Title
PROPOSED STREET VIEWS

Drawn by	AR.S
Project #	2125
Date	2022.04.26
Scale	
Drawn by	AR.S

SK2.4

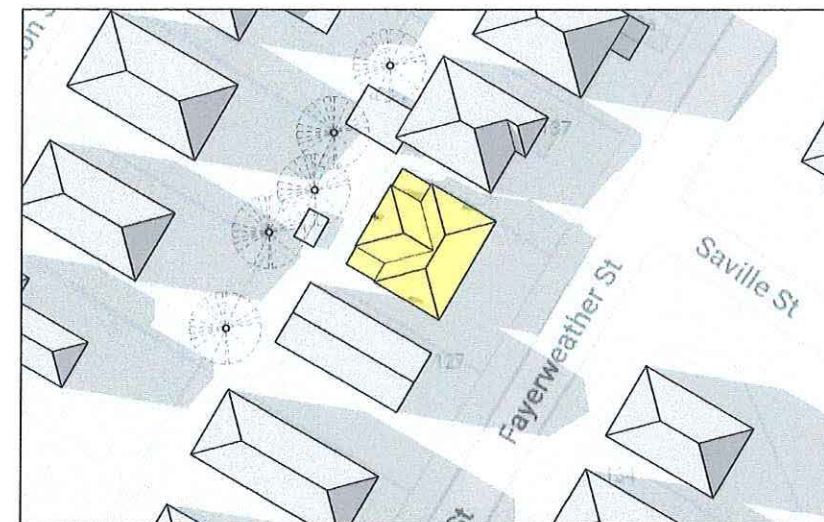
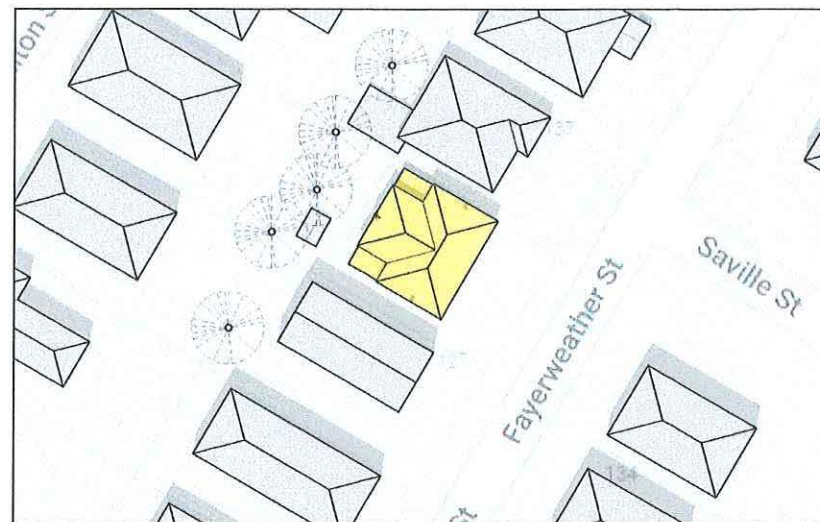
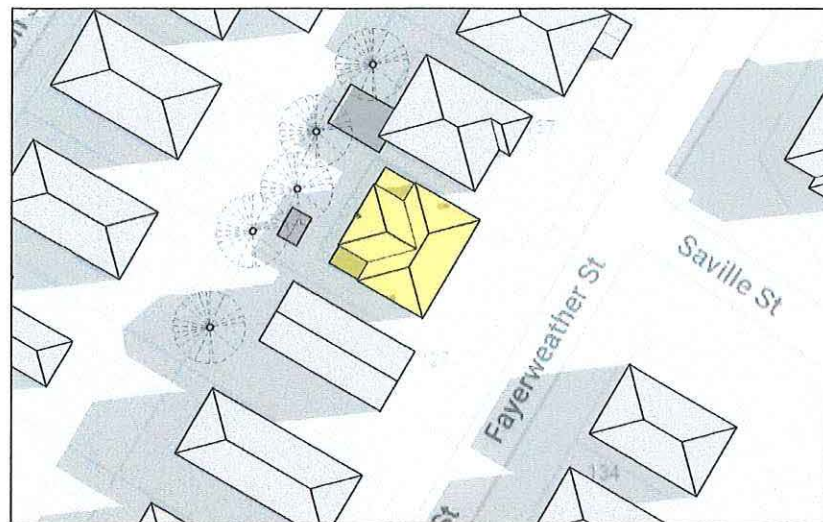


MORNING (7 AM)

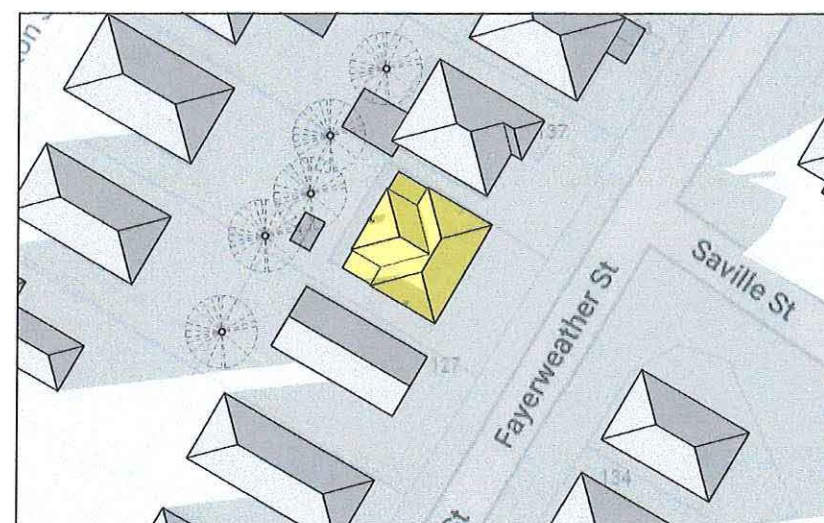
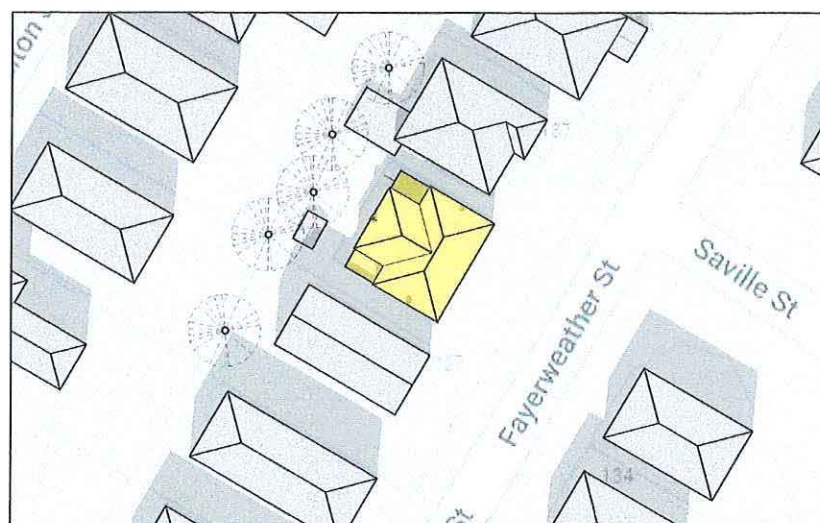
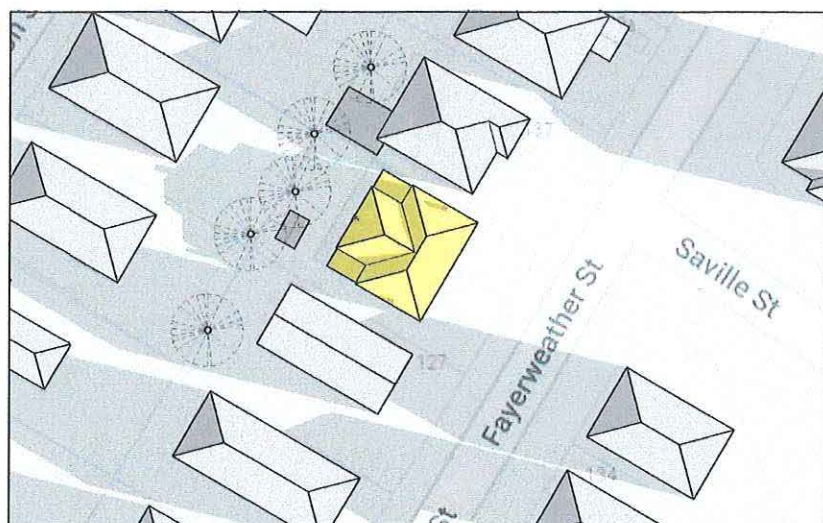
NOON (12 PM)

AFTERNOON (5 PM)

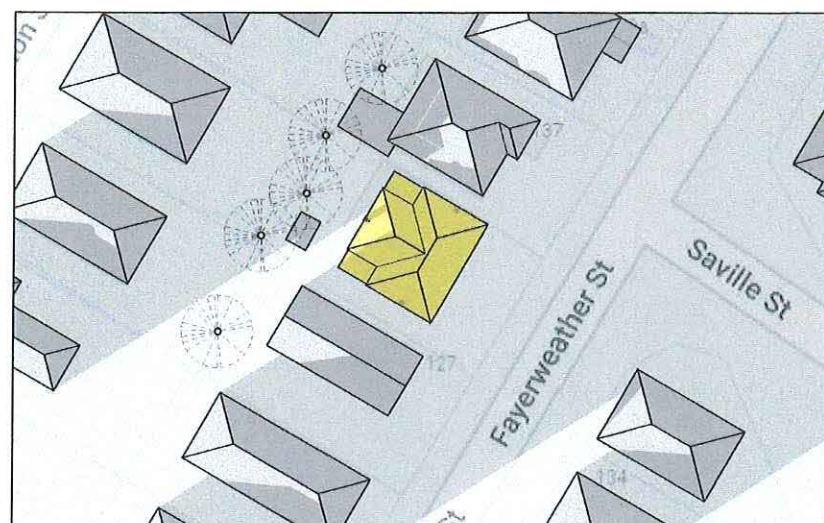
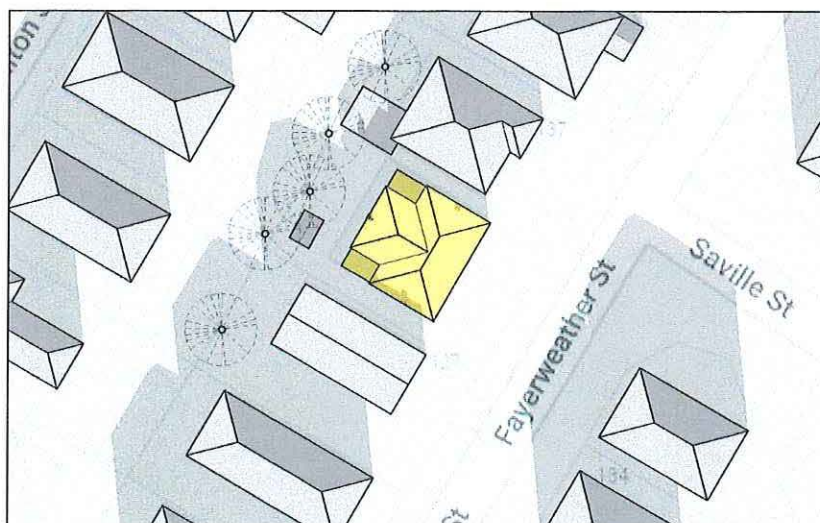
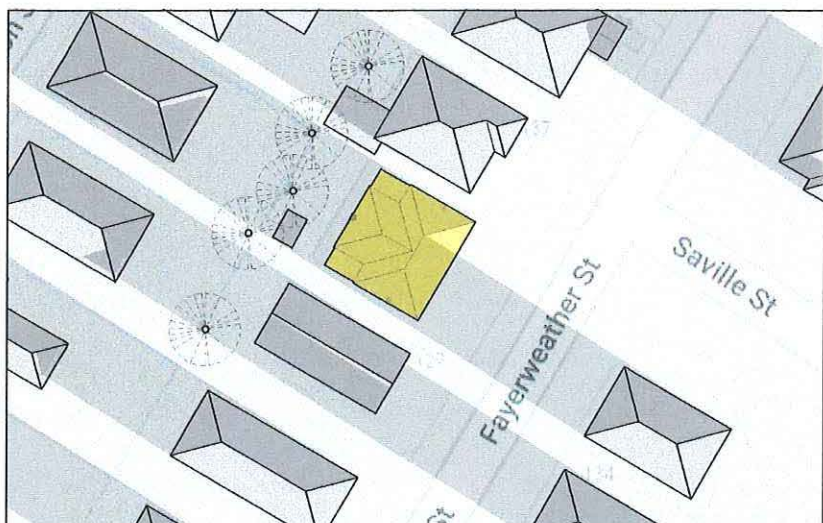
SUMMER
SOLSTICE



EQUINOX



WINTER
SOLSTICE



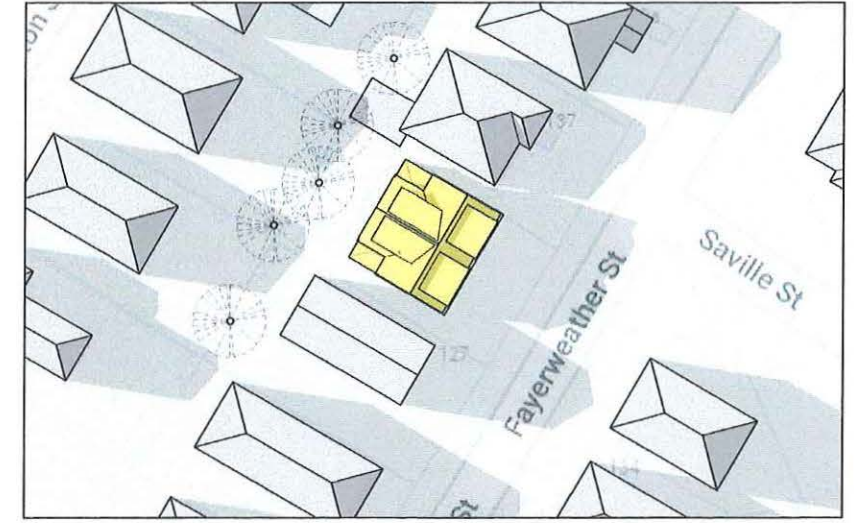
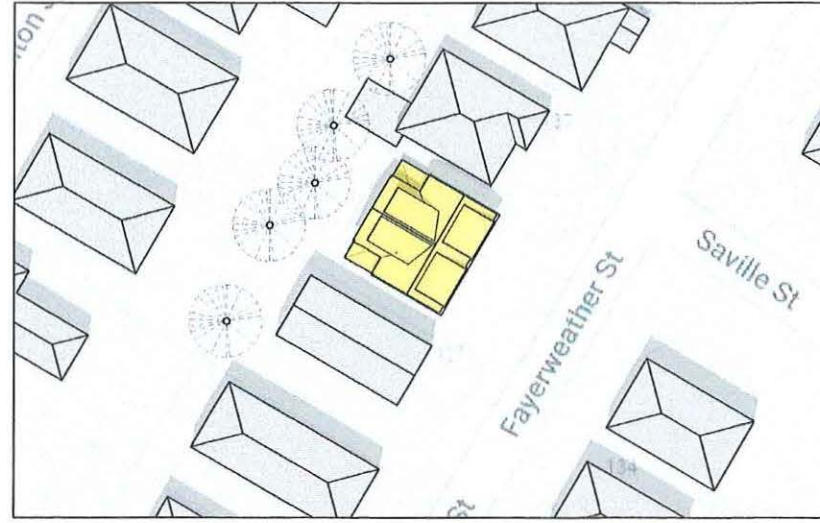
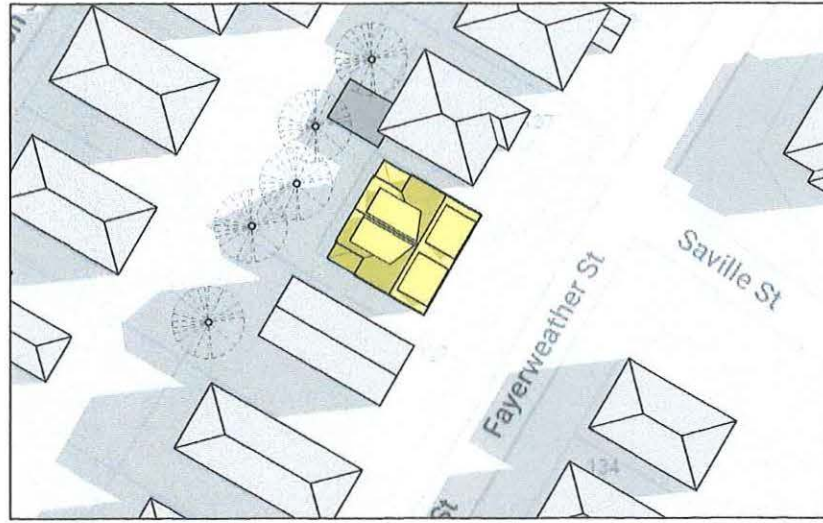


MORNING (7 AM)

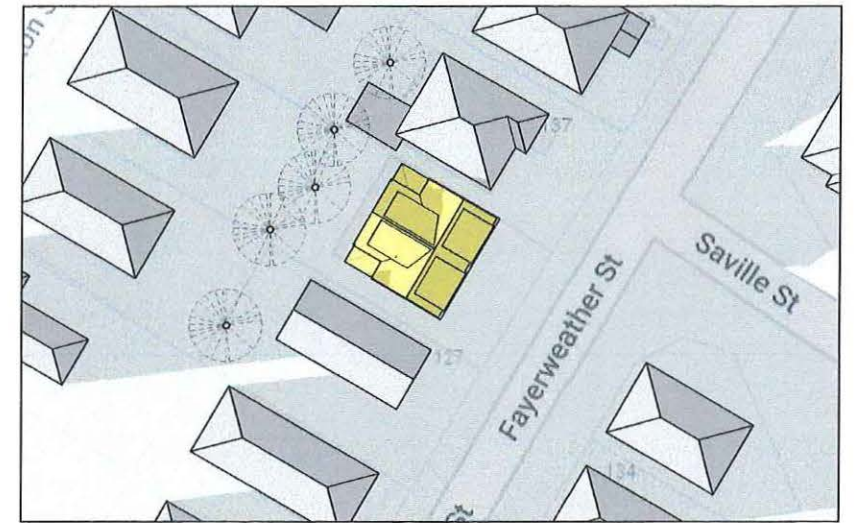
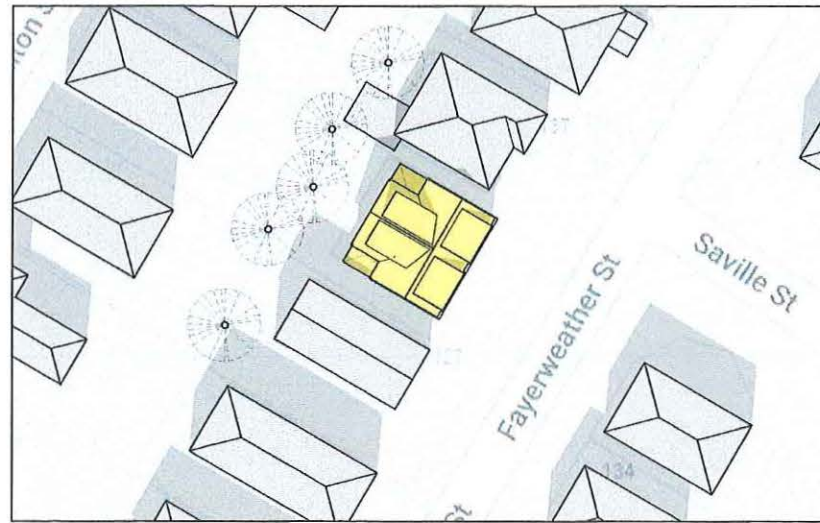
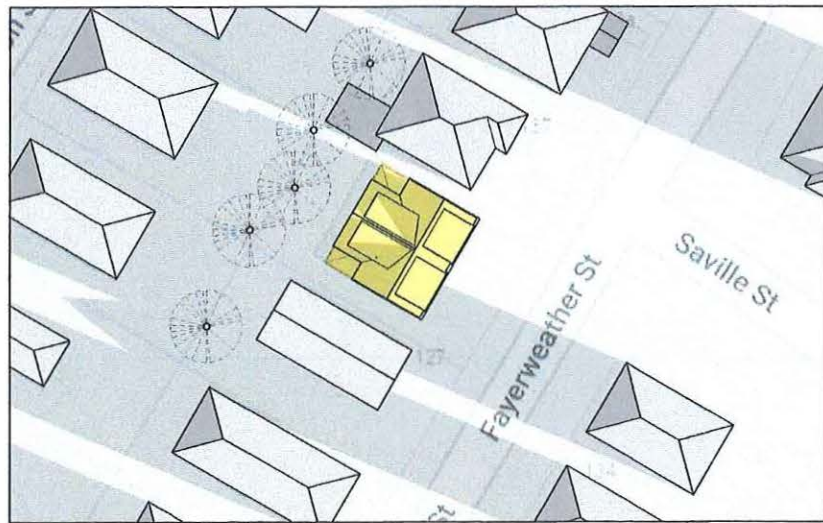
NOON (12 PM)

AFTERNOON (5 PM)

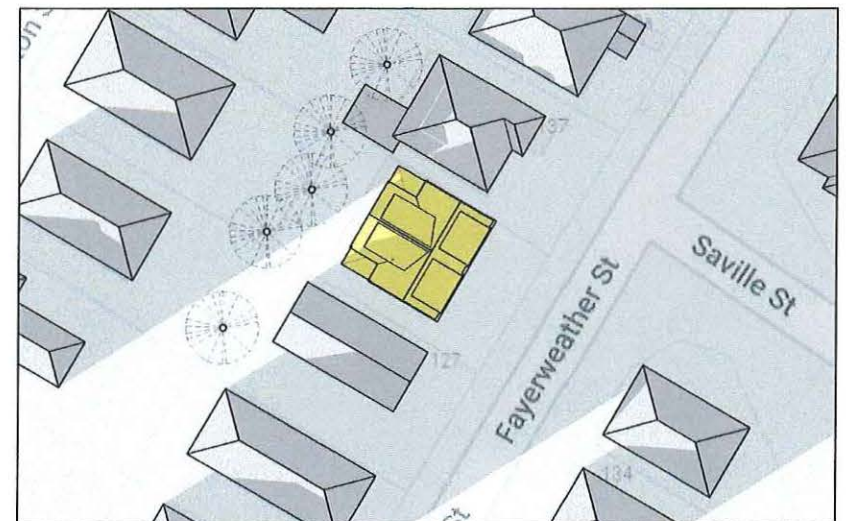
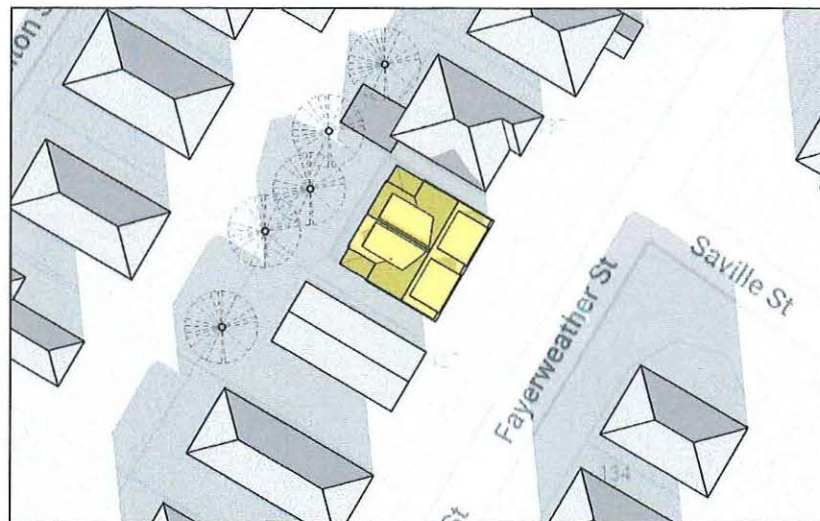
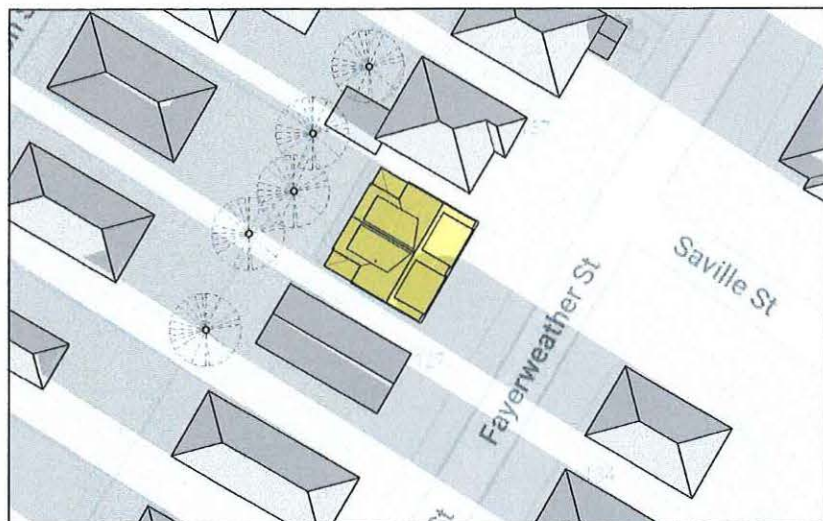
SUMMER
SOLSTICE



EQUINOX



WINTER
SOLSTICE



Pacheco, Maria

From: Gerald Dottin Jr <dottinuniversitybasketball@gmail.com>
Sent: Tuesday, March 22, 2022 10:42 PM
To: Pacheco, Maria
Subject: BZA-163050 133 Fayerweather Street Renovation

To whom it may concern,

My name is Gerald dottin and I am the owner of 106-108 Chilton street, the property directly located behind 133 Fayerweather, This house has been in my family since 1935 when my grandparents purchased it after relocating from Maine, My mother grew up here and I purchased the property 32 years ago as my children have grown up here as well.

I am vehemently opposed to this development,.as it will eradicate all the sunlight that I will receive in my backyard that my family has enjoyed with backyard barbecues/ family events,.growing vegetable gardens and planting flowers. This particular property at 133 Fayerweather, unique in its building design/ like 1 other on that side of the street, has a large front yard, and much less back yard space than other properties on that side of the street, therefore a third floor edition will overshadow the properties that reside behind it. Especially mine situated directly behind it,

My family has lived in this city since Cambridge had railyards, and the city allows all of these wealthy developers to come in and build these expansive units at the cost of the increasing revenue for the city, while the average people who have lived here for years cannot afford to purchase these homes at such exorbitant prices, as they build higher to extract more profits. I value my sunlight and the ability to see the sun rising through my window as I arise and start my day! Seeing the proposed plans for this monsticity will only allow another developer to line their greedy pockets at the expense of my families and other opposing neighbors whom I spoke to, of our comfort and living enjoyment, so the city can extract higher tax revenues while these developers, many of whom don't live in the city, get rich and move onto the next project without caring who they inconvenience at their expense.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2022 MAR 28 AM 11:58

CITY OF THE COMMONWEALTH OF MASSACHUSETTS
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-163050

Address: 133 Fayerweather Street

☐ Owner, ☐ Petitioner, or ☐ Representative: Daniel Anderson
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☐ Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 3-25-22

Signature

1 (10:28 p.m.)

* * * * *

2 Sitting Members: Constantine Alexander, Brendan Sullivan,
3 Jim Monteverde, Slater Anderson, and
4 Wendy Leiserson

5 BRENDAN SULLIVAN: The Board will now hear Case
6 Number 163050 -- 133 Fayerweather Street. Mr. Anderson?

7 DAN ANDERSON: Good evening, Mr. Chair and
8 Members of the Board. Nice to see you. I think that we're
9 last in the docket, so we're almost there.

10 So I'm not sure if Trina Murphy, who is
11 representing ownership D&D Homes is online, but I'm more
12 than happy to begin the presentation.

13 So we're in front of you with the project at 133
14 Fayerweather Street. It's an existing nonconforming
15 duplex, two-family structure in Zone. And it's
16 nonconforming in terms of side yard setbacks and overall
17 FAR. So we're here with the special permit, as a one- and
18 two-family structure to extend those nonconformities.

19 Currently, it's a two-story with low-hipped roof
20 structure, and the proposal on the GFA side is to add -- to
21 replace that low-hipped roof with a third-floor addition.

22 Because it's nonconforming in terms of the side

1 yard setbacks, that's also an increased encroachment of
2 additional nonconformity to those nonconforming side yard
3 setbacks with some changes of openings also in those.

4 We feel that this is consistent with the scale,
5 density and otherwise character of the neighborhood. There
6 is no increased traffic.

7 Unfortunately, this is a site with no onsite -- no
8 off-street parking. There is no curb cut, and because of
9 the side yard setbacks, it would not be possible to conform
10 with parking. We'd end up with parking spaces in the front
11 yard.

12 I participated in at least one of the number of
13 neighborhood meetings -- I'm sorry, two of the neighborhood
14 meetings -- which were held by Zoom, and generally and
15 overall the feedback and impressions from the neighbors is
16 very positive.

17 In terms of parking, there's really feeling that
18 there's always plenty of on-street parking. So I'm sure
19 that if we could have fit it, we certainly would have.

20 We did sun shadow studies, existing and proposed.
21 In particular, had discussions and feedback with neighbors
22 to the north, who will be most impacted and it was received

1 favorably. I think the general sense was that the
2 redispotion of windows was a little bit more advantageous
3 than the current.

4 So the overall structure is in relatively poor
5 shape. It's been a rental property for a number of years.
6 I think generally the neighborhood was looking favorably at
7 just seeing the property improved.

8 It's currently a three-bedroom, one and a half
9 bath. It's increased particularly through the top floor,
10 with the house to be a four-bedroom, three-and-a-half bath.
11 So -- and the total GFA for the two units is around \$2250.

12 So, again, a reasonably sized family-oriented
13 development.

14 And so we're feeling that with your consideration
15 that the request for a special permit could be granted
16 without derogating from public health or nuisance, and that
17 it would not impair in any way the integrity of the
18 districts or derogate from the ordinance. I think that it's
19 an improvement to the overall character.

20 It is a relatively reasonable lot. It does exceed
21 the minimum lot open space coverages, and we're not
22 proposing any increase in footprint or lot coverage.

1 So I know you've had this in front of you. I'm
2 more than happy to run through the project documentation.
3 Olivia, if you'd like to do that, we can kind of look at it
4 quickly.

5 SAM WOLFF: We're happy to take questions.

6 BRENDAN SULLIVAN: Yeah. Are you aware of a
7 letter that was sent to us on March 22 from a Mr. Dottin
8 (phonetic)?

9 DAN ANDERSON: I am not aware of that letter.

10 BRENDAN SULLIVAN: Well, let me read it. It's --
11 rather than going to public comments --

12 DAN ANDERSON: Sure.

13 BRENDAN SULLIVAN: -- we might as well get it out
14 now.

15 "To whom it may concern,

16 "My name is Gerald Dottin, and I am the owner of
17 106-108 Chilton Street, the property directly located behind
18 133 Fayerweather. This house has been in my family since
19 1935 when my grandparents purchased it after relocating to
20 Maine. My mother grew up here, and I purchased the property
21 32 years ago.

22 "I am vehemently opposed to this development, as

1 it will eradicate all the sunlight that I will receive in my
2 back yard and my family has enjoyed with barbecues, family
3 events, growing vegetable gardens, and planting flowers.

4 "This particular property at 133 Fayerweather is
5 unique in its building design like one other on that side of
6 the street. Has a large front yard, and much less back yard
7 space than other properties on that side of the street.

8 "Therefore, a third-floor 'edition'" -- it should
9 be, "addition" -- "will overshadow the property that resides
10 beside it, especially mine, situated directly beside it --
11 behind it, I'm sorry.

12 "My family has lived in the city --" well, it goes
13 on for -- just reading it -- "-- I value my sunlight, and
14 ability to see the sun rising from my window as I rise and
15 start my day. Seeing the proposed plans for this
16 monstrosity would only allow another developer to align
17 their --" well, anyhow...

18 "Our comfort, living enjoyment, so that the City
19 can extract higher tax --" Well anyhow, it's -- and so
20 anyhow, that's the sum and substance.

21 DAN ANDERSON: I appreciate your reading that.
22 I'm sorry that I did not receive that letter, and I'm a bit

1 surprised, given the outreach that my clients had done that
2 there was no responsiveness to. I think there were three
3 invitations to neighborhood meetings. And I apologize as
4 well. I'm looking through our deck.

5 Olivia, could you confirm whether we have our sun
6 shadow study included in the special permit set?

7 BRENDAN SULLIVAN: There were none.

8 OLIVIA RATAY: Hang on.

9 DAN ANDERSON: There's not a sun shadow? I
10 apologize for that, but the -- while I concur with their
11 observation that this structure is set back farther from the
12 front yard than the others in the district, there are
13 several that are commensurate in terms of setback.

14 And my recollection of those sun shadow studies,
15 which I could pull up and share if it would be the pleasure
16 of the Board, the shadows are predominantly cast to the
17 north. They are situated although behind the structure just
18 north of west.

19 So the times when their yard would potentially be
20 shadowed would be -- are fairly limited.

21 BRENDAN SULLIVAN: It would cast a shadow --

22 DAN ANDERSON: In the more.

1 BRENDAN SULLIVAN: -- in the morning and -- in the
2 morning.

3 DAN ANDERSON: Right. So then only -- only in the
4 late fall and wintertime, because the sun when it rises is
5 quite high in the east. And so the shadow would not be --
6 so the sun is rising as it moves to the west, so by the time
7 it got to a point of, say, you know, 10:00, the shadow is
8 not going to reach their back yard until well after the
9 equinox.

10 The -- but, again, apologies. I -- the sun shadow
11 study was shared with all of the neighbors, and for some
12 reason isn't in the set.

13 BRENDAN SULLIVAN: Did anybody talk to Mr. Dottin?

14 DAN ANDERSON: Well, this is surprising. I know
15 that letters were sent to all the abutters, and that there
16 was outreach with flyers with Zoom invitations on three
17 occasions.

18 And, as I said, the response from -- I would say
19 it was -- there were probably six responders from all those
20 and across the two neighborhood meetings that I participated
21 in, and again all of the responses were positive,
22 predominantly given the kind of --

1 BRENDAN SULLIVAN: Is this 133 Fayerweather, LLC?

2 DAN ANDERSON: Yes, that's correct.

3 BRENDAN SULLIVAN: So this is a development?

4 DAN ANDERSON: So it's a -- my client is a
5 builder, developer. That's correct. The intention is that
6 this would be sold as condominiums, so it's --

7 BRENDAN SULLIVAN: Condo units?

8 DAN ANDERSON: Excuse me?

9 BRENDAN SULLIVAN: Two condo units?

10 DAN ANDERSON: Two condo units, side-by-side,
11 correct. So it's been rental housing, and relatively
12 dilapidated for a good number of years. So --

13 BRENDAN SULLIVAN: Well, it's unique in its
14 design. It stands out, and what is proposed is unique in
15 its design, and will stand out. That's my comment. But
16 anyhow --

17 DAN ANDERSON: Sure. So how -- would you like
18 comments, questions? I'm at the pleasure of the Board.

19 BRENDAN SULLIVAN: Let me open it up. Mr.
20 Alexander, any --

21 CONSTANTINE ALEXANDER: Well, I have the same
22 problem with this case, as I did with the immediately prior

1 case. It's too much house for -- or structure -- for the
2 lot.

3 The, under our Zoning Ordinance, if I've got your
4 numbers correctly, the match could be for GFA is 226 -- 2386
5 feet. Right now, the building is 2908 feet or nine feet,
6 and the relief you're seeking would make the building have
7 4505 square feet, or twice what our ordinance permits. To
8 me, that's too much, that you've got another story, third
9 story. I just can't get there.

10 DAN ANDERSON: So, you know, it's interesting. I
11 understand, I think that it's already nonconforming. I did
12 a quick review of just that residential B neighborhood in
13 the lower West Cambridge, and for everyone that I picked,
14 they were all over the FAR.

15 And of let's say 20 that I kind of mulled through
16 that have smaller lot sizes, I would say half of them -- we
17 can do it with you, if you'd like -- are in that same GFA or
18 greater.

19 So we have a lot of FAR within that district of 1,
20 1.1, in some cases 1.2 or I think that was about the
21 greatest, 1.26. So it's not out of keeping with the overall
22 scale and density of that neighborhood, which is why I think

1 that I felt confident in putting this forward.

2 So, again, it is not increasing the footprint,
3 agreed, and allocated (sic) that it's increasing the height,
4 which is also -- we have a building of the same and
5 commensurate height immediately to the left-hand side.

6 So it's not out of scale with the neighborhood,
7 but I certainly take your point that it is a -- not an
8 insubstantial increase in GFA over the existing. But again,
9 I maintain that it's not inconsistent with -- representative
10 not the majority, but representative building scale of
11 residence B in that neighborhood.

12 BRENDAN SULLIVAN: Jim Monteverde any comments or
13 questions?

14 JIM MONTEVERDE: No. I echo Mr. Alexander's
15 concern. I was looking at the chart that's on the drawings.
16 It's the same conversation. You know, allowed is 0.5, the
17 existing is 0.6, the proposed is 0.95. I just -- too much
18 building, I think.

19 And I -- you know, Mr. Anderson, I heard your
20 explanation.

21 BRENDAN SULLIVAN: Yeah. It is a special permit.
22 It is seeking relief under the Bellalta decision. But

1 Slater any comments?

2 SLATER ANDERSON: No. I mean, I'm in concurrence
3 with everybody else. I mean, I think that the letter you
4 read, which is from the neighbor to the west on Chilton
5 Street I believe --

6 BRENDAN SULLIVAN: Right behind.

7 SLATER ANDERSON: Yeah, right behind. I mean,
8 correct me you know, you're going up seven and a half feet
9 in height, you know? And that's -- you know, that's
10 significant. And that's -- you know, that sun is rising in
11 that east to southeast, you know, range, and it would seem
12 impactful to me.

13 I know we don't have the shadow studies, but I
14 could see the concern. And then the FAR, you know, just is
15 -- it's a big ask.

16 DAN ANDERSON: Sure. Well, I appreciate the
17 comments. Other Members of the Board?

18 WENDY LEISERSON: I concur with the concerns
19 expressed by my colleagues.

20 DAN ANDERSON: Could I query you besides the
21 increase in FAR and potential impacts from the shadow, is
22 there any other concern regarding height? I mean, certainly

1 we're not creating a new nonconformity. There are plenty of
2 triple-deckers in this neighborhood. This is obviously a
3 two-family. The structure next door is based at that
4 height, and the -- any particular comments on the scale?

5 BRENDAN SULLIVAN: I guess what it is, is Dan, is
6 -- it's, you know, you're introducing something that's not
7 there, you know, that the existing houses obviously were
8 built prior to zoning -- I don't know if any of them have
9 ever received any kind of relief.

10 I know there's one across the street there that
11 has, but they were tweaking, sort of enclosing some
12 entrances. Actually, they were changing the location of the
13 front door and built a portico and stuff like that. But
14 that's a whole other issue is that you're taking a fairly
15 simple, not so pretty looking house and putting in a much
16 larger structure. Putting in twice as much house as what's
17 there now. And, you know, it's sort of like, "oh my gosh"
18 that type of thing.

19 However, it is a special permit. And, you know,
20 what we have to find is that the special permit is not more
21 -- let me try and read. [Did you have the Hancock? I think
22 I left my papers. The Hancock?] -- not more detrimental to

1 the neighborhood than the existing structure." I guess
2 that's really what the key phrase in there.

3 And, you know, Mr. Dottin said, obviously, it is
4 far more detrimental to him, to his way of life, to his
5 enjoyment of his property. So, you know, it's not a
6 variance, but by the same token --

7 DAN ANDERSON: Sure.

8 BRENDAN SULLIVAN: -- there is a standard that you
9 have to meet, or that the Board feels it satisfies, or the
10 alternative is that you don't satisfy that standard, you
11 know?

12 DAN ANDERSON: No, understood. I would be happy
13 to take a continuance. I know it's late. My clients
14 apparently went to bed. So, you know, maybe we all should.

15 Since we had not had the opportunity to speak in
16 person with the Chilton Street neighbor who issued the
17 letter -- and unfortunately, for whatever reason, he or they
18 were not available for any of the public meetings -- we'd
19 welcome the opportunity to, you know, go through our shadow
20 studies with them, make any modifications that might be an
21 impact to them, and try and address any of the concerns of
22 the Board.

1 Again, I think that, you know, I look at it in
2 terms of whether or not the overall scale and size of the
3 project is consistent with examples in the neighborhood.

4 So regardless of my opinion, whether it's more or
5 less, you know, this could be a -- you know, small workers'
6 cottage and, you know, really need to be increased in bulk,
7 and would be allowable, you know, up until the limits.

8 But given that it's this is an existing
9 nonconforming, as are the majority of the houses in the
10 neighborhood, you know, certainly from my clients'
11 standpoint, I'm trying to follow their program and help them
12 through the process. So --

13 BRENDAN SULLIVAN: Yeah.

14 DAN ANDERSON: -- I'm sure you understand that.

15 BRENDAN SULLIVAN: I think that Mr. Dottin is
16 calling in. Let me open it to public comment, Dan, and then
17 you can listen in.

18 DAN ANDERSON: Oh, sure.

19 BRENDAN SULLIVAN: Any member of the public who
20 wishes to speak should now click the button that says,
21 "Participants," and then click the button that says, "Raise
22 hand."

1 If you are calling in by phone, you can raise your
2 hand by pressing *9 and unmute or mute by pressing *6, and
3 you will have up to three minutes to speak.

4 OLIVIA RATAY: Gerald Dottin?

5 BRENDAN SULLIVAN: Mr. Dottin?

6 [Pause]

7 You may want to unmute.

8 GERALD DOTTIN: Yes, I did. Hello. Thank you,
9 folks, for hearing me. And unfortunately, I know I only
10 have three minutes, but I'd like to also, you know, request
11 a little bit more time so I can rule out a couple of the
12 things that he's already talked about.

13 Number 1, I was alerted to meetings. One of my
14 neighbors called me and told me about the structure, which
15 unfortunately I had knee operation. I've been very busy
16 with an elderly parent who is sick, and I really have been
17 doing a lot of stuff like I said that -- you know, that's
18 really not allowed me to participate.

19 So in order to correct a few things right off the
20 bat, a lot of these houses -- I've lived in this
21 neighborhood for over 40 years now, 50 years. Most of the
22 houses in this neighborhood are two-family houses. Most of

1 them, there are also a lot of split-level houses in this
2 area that are the size of singles, but they do not go up as
3 far as height is concerned.

4 This was not a rental property. This was a
5 family-owned property for well over 65-75 years, I'm sure.
6 Unfortunately the grandfather had recently passed away and
7 left it to the daughter.

8 The house I don't know what the exterior
9 condition, although it does not look good, quite a few years
10 back the interior of the property was also renovated. I
11 know that for a fact, because they were one of my customers
12 and I've known them for years as family and friends.

13 And in reference to a sun study, I don't care what
14 he said, there are not very -- the house next door to him to
15 that structure is a three-family house, and like you said,
16 that addition on the third floor was granted -- it's
17 actually a two-family, but that addition on the third floor
18 was granted years ago before all these variances were set
19 into place and approved, I'm sure.

20 If you look like you said in the condition of
21 these houses in the neighborhood, most of them are two-
22 family -- upstairs, downstairs structures in themselves.

1 And the other thing is is I was glad to listen in, because I
2 also talked about -- I heard you talking about, you know,
3 making these properties affordable as well.

4 And, you know, that's the idea is that, you know,
5 this has been a family neighborhood for years. As we've
6 watched, you know, the developers come in and most of the
7 developers do not live in the area, they do not know the
8 complexion of the neighborhood or as far as the -- you know,
9 the, the, the feel of the neighborhood with the people.
10 It's a very family-oriented environment, as you well know,
11 Brendan Sullivan, because you were one of my baseball
12 coaches years ago.

13 So that's how long I've been here. My family is
14 very synonymous (sic) in this city. We own several
15 properties as far as, you know, our family has been in here
16 for years. We're one of the largest Black families in the
17 city.

18 But I'm also concerned about the fact that, you
19 know, gentrification is alive and well. This was a
20 predominantly Black area at one point, where a lot of this
21 gentrification obviously happened due to, you know,
22 obviously socioeconomic conditions. However, that -- you

1 know, with these developments going up, they're certainly
2 not being affordable. They're not being made affordable for
3 families to come in here and be able to raise their children
4 who are not ridiculously affluent or wealthy.

5 BRENDAN SULLIVAN: All right.

6 GERALD DOTTIN: I'm also concerned about, you
7 know, the affordability of those units. It's a four-bedroom
8 and I'm showing that those units are going to be going
9 upwards of \$1.3, \$1.4 for something like that, which is what
10 these things in the neighborhood are going for, which your
11 average family is not going to be able to afford in general.

12 BRENDAN SULLIVAN: All right, thank you, Gerry. I
13 think we -- you've exceeded the -- thank you.

14 GERALD DOTTIN: Yep. I done, Dave. Done, Dave.

15 BRENDAN SULLIVAN: Okay, thanks.

16 GERALD DOTTIN: I've said enough. I've said
17 enough. I think I've made my point very call.

18 BRENDAN SULLIVAN: No, no, we get the point. We
19 get the point.

20 DAN ANDERSON: Yeah. Mr. Dottin, thank you very
21 much for calling in. Certainly, we're hearing both the
22 feedback from the Board and from you. I'm sorry for family

1 issues. I realize that sometimes it's hard to get to --
2 engage with neighborhood meetings.

3 I would like the opportunity to connect you with
4 our client and review sun shadow studies, which are -- you
5 know, accurate representations of what those proposed
6 conditions will look like, and discuss any modifications
7 that would lessen any impact on the property.

8 In terms of anything that I may have misstated in
9 terms of fact, I was told that this was purchased and been
10 used as a rental property. Although I've been in Cambridge
11 for 30 years, I don't have your tenure, nor do I live in
12 your immediate neighborhood. So I don't know the exact
13 history of the house. But very much appreciate your calling
14 in.

15 BRENDAN SULLIVAN: Okay. We're into May.

16 OLIVIA RATAY: There's one more. There's another.

17 BRENDAN SULLIVAN: I'm sorry. There's somebody
18 else calling in.

19 OLIVIA RATAY: Adam Soroca?

20 ADAM SOROCA: Good evening, Board and Chairman.
21 Thanks for hearing me out. Let me start by saying we are
22 the owners of 127 Fayerweather Street since 2002. That's

1 the first-floor unit directly abutting this proposed
2 project. It's a pretty tight community around this
3 neighborhood.

4 We actually no longer live there. We raised our
5 kids there, and we've moved out to another property nearby a
6 few blocks away, while we rent the property and we do have
7 this property earmarked for either my parents or my wife's
8 parents when they need to come back.

9 As we talked to our former neighbors, which we
10 remain very close with, none of them were familiar with this
11 project. So unfortunately, I don't think this has been as
12 collaborative of a process as the developers seem to have
13 indicated. We'd love to be part of that process, but at
14 this point that unfortunately has not happened.

15 So as the project is currently proposed, we too
16 are against it. The project is quite a disruptive change
17 for the neighborhood. It both increases the footprint
18 significantly, it detracts from the skyline and the open
19 space, while also introducing a dangerous precedent for what
20 is quite a special neighborhood in Cambridge.

21 We bought that property because of the deeded
22 yard, and this openness feel that we would get in the middle

1 of Cambridge.

2 Seeing that sky is really quite calming and
3 relaxing, but the subject house that is being discussed is
4 already quite close to our house over the setbacks. It's
5 already claustrophobic, and this variance if approved would
6 amplify that awful feeling and significantly cut down on
7 skyline and space.

8 BRENDAN SULLIVAN: Okay. Thank you. Great.
9 Thank you. Anyone else? That is the sum and substance of
10 anybody calling in, so we will close public comment at this
11 time. I think we'll be discussing a continuance into May,
12 the end of May, was it?

13 OLIVIA RATAY: June.

14 BRENDAN SULLIVAN: June 9.

15 CONSTANTINE ALEXANDER: I'm not sure I can make
16 it.

17 BRENDAN SULLIVAN: Huh?

18 CONSTANTINE ALEXANDER: Pushing -- I was, as I
19 said, pushing the envelope about continuing cases. And I'm
20 -- June 9, we have more openings? I'll go along with June
21 9, but no more continuances later into other than the --

22 BRENDAN SULLIVAN: Okay.

1 CONSTANTINE ALEXANDER: -- you know, the -- in the
2 name of the development.

3 BRENDAN SULLIVAN: Jim Monteverde, are you
4 available on the ninth of June?

5 JIM MONTEVERDE: I am, I am. Slater?

6 SLATER ANDERSON: I am not.

7 BRENDAN SULLIVAN: You are not?

8 SLATER ANDERSON: I am out of the country.

9 BRENDAN SULLIVAN: After June 9?

10 CONSTANTINE ALEXANDER: I can't make it.

11 BRENDAN SULLIVAN: No. What's before June 9, May
12 what? May 19? I would just go with May.

13 CONSTANTINE ALEXANDER: Yeah. I'll go with that.

14 BRENDAN SULLIVAN: All right. May 19? Jim, May
15 19?

16 JIM MONTEVERDE: Yep, yes.

17 BRENDAN SULLIVAN: I think you're here anyhow,
18 right? Slater, you're here on May 19?

19 SLATER ANDERSON: I'm available May 19.

20 BRENDAN SULLIVAN: And Wendy, you're available?

21 WENDY LEISERSON: Yes, on May 19.

22 BRENDAN SULLIVAN: Okay. Dan, May 19?

1 DAN ANDERSON: May 19. I appreciate your
2 flexibility.

3 BRENDAN SULLIVAN: Okay. So let me make a motion,
4 then, to continue this matter to May 19, 2022 at 6:00 p.m.
5 on the condition that the petitioner change the posting sign
6 and maintain the posting sign for at least 14 days prior to
7 the May 19 hearing, change it to reflect the new date of May
8 19, 2022 and the time of 6:00 p.m.

9 Also that any new submittals regarding this
10 application, dimensional form, supporting statements and/or
11 drawings be submitted to the Board -- must be submitted to
12 the Board by 5:00 p.m. on the Monday prior to the May 19
13 hearing.

14 We would ask that the petitioner sign a waiver to
15 the statutory requirement for a hearing and a decision to be
16 rendered thereof.

17 That such waiver be in the file by 5:00 p.m. on
18 Monday a week from next Monday -- can be obtained from the
19 secretary, Maria Pacheco. Any other conditions?

20 [Pause]

21 No. Also, Dan, I think if you do have this either
22 neighborhood meeting or meeting one-on-one what have you,

1 there may be -- and I only say maybe -- some misinformation
2 about the footprint and some of the other things, so that
3 you may obviously explain exactly what you're doing. And
4 that the building basically going straight up.

5 But I'm sure that you can explain that, as you've
6 heard the public comment anyhow. So

7 DAN ANDERSON: I heard the -- comment.

8 BRENDAN SULLIVAN: Yeah. Can understand the
9 relief that's actually being requested. So anyhow. That
10 being said, on the affirmative vote of five Members?

11 CONSTANTINE ALEXANDER: In favor.

12 BRENDAN SULLIVAN: Everybody's in favor of
13 continuing this?

14 CONSTANTINE ALEXANDER: May 19, I vote in favor.

15 BRENDAN SULLIVAN: Okay. Everybody's in favor of
16 continuing this matter until May 19? Jim has said yes.

17 JIM MONTEVERDE: Correct.

18 BRENDAN SULLIVAN: Wendy said yes, Slater has said
19 yes, Brendan Sullivan yes, and Gus Alexander yes to
20 continuing the matter.

21 [All vote YES]

22 BRENDAN SULLIVAN: The matter is continued until

1 May 19 at 6:00 p.m.

2 DAN ANDERSON: Thank you very much. Have a good
3 night.

4 COLLECTIVE: Thank you. Goodnight.

5 JIM MONTEVERDE: All right-y. Goodnight, all.

6 WENDY LEISERSON: Goodnight, everyone.

7 CONSTANTINE ALEXANDER: Goodnight.

8 SLATER ANDERSON: Thank you.

9 BRENDAN SULLIVAN: Thank you, everybody. You
10 served the City well.

11 CONSTANTINE ALEXANDER: What a night.

12 [10:59 p.m. End of Proceedings]

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