### 4/3/23, 10:19 AM

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# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

2023 APR -4 AM 10: 42

617-349-6100

OFFICE OF THE CITY CLERK AMBRIDGE, HASSACHUSETT

**BZA Application Form** 

### **BZA Number: 214799**

## **General Information**

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: \_\_\_\_\_

Appeal: \_\_\_\_\_

PETITIONER: Daniel P Anderson C/O Anderson Porter Design

PETITIONER'S ADDRESS: 1972 Massachusetts Avenue, Cambridge, 02140

LOCATION OF PROPERTY: 133 Fayerweather St, Cambridge, MA

TYPE OF OCCUPANCY: residential two-family

ZONING DISTRICT: Residence B Zone

### **REASON FOR PETITION:**

/Demolition more than 25%/

### DESCRIPTION OF PETITIONER'S PROPOSAL:

Roof collapse and structurally unstable walls resulted in demolition of more than 25% of the existing nonconforming structure

## SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements). Article: 8.000 Section: 8.22.2.d (Non-Conforming Structure). Article: 10.000 Section: 10.40 (Special Permit).

> Original Signature(s):

(Petitioner (s) / Owner)

DANIEL P. ANDERSON

(Print Name)

Address: Tel. No.

# 1972 MASSAVE CAMBRIDGE 02140

6177942371 E-Mail Address: dan@andersonporter.com

Date: 4323

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1/4

### BZA APPLICATION FORM -OWNERSHIP INFORMATION

(To be completed by **OWNER**, signed before a notary, and returned to Secretary of Board of Appeal).

I/We 133 Fayerweather Street LLC

(OWNER). Address: One Garfield Circle, Unit 6, Burlington, MA 01803

State that I/We own the property located at **133 Fayerweather Street, Cambridge, MA** 02141, which is the subject of this zoning application.

The record title of this property is in the name of 133 Fayerweather Street LLC

\*Pursuant to a deed of duly recorded in the date <u>01/18/2022</u>, Middlesex South County Registry of Deeds at Book <u>N/A</u>, Page <u>N/A</u>; or Middlesex Registry District of Land Court, Certificate No. <u>278450</u> Book <u>1584</u> Page <u>84</u>

SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Ozan Doknecioglu this of, April_2023 and made	personally appeared before me, oath that the above statement is true.
	De Motary
mission expires 10/19/2027	GENESIS I. RODRIGUEZ Notary Public (Notary Commonwealth of Massachusetts My Commission Expires October 19, 2029

rship is not shown in recorded deed, e.g. if by court order, recent - inheritance, please include documentation.

(ATTACHMENT B -PAGE 3)

# **BZA Application Form**

### SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

# Granting the Special Permit requested for <u>133 Fayerweather St</u>, <u>Cambridge</u>, <u>MA</u> (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed project is under construction permitted by a previously approved special permit. No change is proposed to the approved project design. Demolition to the existing structure is greater than 25% due to a roof collapse under snow load and the necessary removal of structurally damaged walls to make the building safe.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No change to the previously approved project which improved the overall design and construction of the existing two-family residential building. No increase or change in traffic is proposed.

The continued operation of or the development of adjacent uses as permitted in the ZoningC) Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No change to the previously approved project which improved the overall design and construction of the existing two-family residential building. The repair and replacement of structurally damaged and unsound building elements will ensure the continued operation of and safety of adjacent uses.

Nuisance or hazard would not be created to the detriment of the health, safety, and/or
 welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No change to the previously approved project. The repair and replacement of structurally damaged and unsound building elements will eliminate hazard or nuisance to the health, safety and welfare of its occupants or citizens.

For other reasons, the proposed use would not impair the integrity of the district or
 adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed project will not impair the integrity of the district or otherwise derogate from the intent or purpose of this ordinance as the previously approved project improves the

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overall character of the residence. The unavoidable demolition of unsafe structure exceeds the 25% limit but is necessary for the safety of workers and abutters and to restore two residences to secure and well built condition.

\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.

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### **BZA Application Form**

### DIMENSIONAL INFORMATION

Applicant: <u>Daniel P Anderson</u> Location: 133 Fayerweather St, Cambridge, MA **Phone:** 6177942371

Present Use/Occupancy: residential two-family Zone: Residence B Zone Requested Use/Occupancy: residential two-family

		Existing Conditions	<u>Requested</u> Conditions	<u>Ordinance</u> <u>Requirements</u>	
<u>Total gross floor</u> <u>Area:</u>		4505.5	4505.5	2386	(max.)
LOT AREA:		4772	477	5000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: 2		0.95	0.95	0.5	
<u>LOT AREA OF EACH</u> DWELLING UNIT		2386	2386	2500	
<u>SIZE OF LOT:</u>	WIDTH	41.17	41.17	50	
	DEPTH	91.95	91.95	100	
SETBACKS IN FEET:	FRONT	22.9	22.9	15.0	
	REAR	28.4	28.4	25	
	LEFT SIDE	7.4	7.4	12.5	
	RIGHT SIDE	3.2	3.2	7.5	
SIZE OF BUILDING:	HEIGHT	34.75	34.75	35.0	
	WIDTH	40.65	40,65	NA	
	LENGTH	30.27	30.27	NA	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		63	63	40	
<u>NO. OF DWELLING</u> <u>UNITS:</u>		2	2	1	
<u>NO. OF PARKING</u> SPACES:		0	0	0	
<u>NO. OF LOADING</u> AREAS:		0	0	0	
DISTANCE TO NEAREST BLDG. ON SAME LOT		NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

NA

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- 3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM **DIMENSION OF 15'.**

1

# SPECIAL PERMIT: 133 FAYERWEATHER ST

# CAMBRIDGE, MA 02138

# <u>GENERAL NOTES</u>

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.

THE DRAWINGS SHALL BE WORKED IN CONJUNCTION WITH THE SPECIFICATIONS AND/OR PROJECT MANUAL THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO THE START OF WORK. NOTIFY THE ARCHITECT OF CHANGES IN DIMENSIONS OR CONDITIONS. 4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND NECESSARY FACILITIES, AND PERFORM ALL LABOR AND SERVICES OF EVERY DESCRIPTION AS MAY BE NECESSARY TO COMPLETE THE

- SCOPE OF WORK DEFINED ON THE DRAWINGS. 5. THE CONTRACTOR SHALL ARRANGE FOR, OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, INSPECTIONS, AGENCY APPROVALS, ETC. AND PAY ALL FEES LEVIED BY STATE, LOCAL, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER WORK PERFORMED UNDER THIS CONTRACT. PROVIDE COPIES OF ALL REQUIRED PERMITS, CERTIFICATES, INSPECTIONS, AND AGENCY APPROVALS TO THE OWNER.
- . CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING DEMOLITION. ALL WORK SHALL BE FABRICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL BUILDING/RESIDENTIAL CODE, ALL APPLICABLE STATE AND LOCAL CODES, AND THE GENERAL AND SUPPLEMENTARY CONDITIONS OF THE CONTRACT.
- 8. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE DRAWINGS RECOGNIZED BY THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR: THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, MEANS AND METHODS OF CONSTRUCTION, AND SAFETY AND SECURITY ON SITE.
- 10. CUTTING AND PATCHING SHALL BE PERFORMED BY EACH TRADE AS NECESSARY FOR THE PERFORMANCE AND INSTALLATION OF THEIR WORK. CUTTING AND PATCHING SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH INDUSTRY STANDARDS FOR FINISHES AND SUBSTRATES AFFECTED. 11. THE CONTRACTOR SHALL PROTECT THE FACILITY FROM WEATHER AND MAINTAIN SECURITY DURING ALL CONSTRUCTION WORK.
- 12. THE EXISTING PROPERTY SHALL BE PROTECTED DURING CONSTRUCTION. REPAIR OR REPLACE, WITHOUT ADDITIONAL CHARGE TO THE OWNER, ANY EXISTING WORK DAMAGED DURING THE COURSE OF CONSTRUCTION 13. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A PLUMB, LEVEL, AND SQUARE STRUCTURE UNLESS OTHERWISE NOTED. ANY DEVIATION FROM THIS GENERAL INTENT SHOULD BE
- BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE AND VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING THE PROJECT OR THE COMMENCEMENT OF WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR
- CHANGES TO THE WORK DUE TO THE FAILURE OF THE CONTRACTOR TO FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS. 15. DO NOT SCALE DRAWINGS: ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND BE FIELD-VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR DISCREPANCIES ARE FOUND. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION BEFORE BIDDING OR COMMENCING THE WORK. 16. DETAILS ARE INTENDED TO SHOW METHODS AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATION MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SHALL BE INCLUDED AS PART
- OF THE WORK. 17. THE CONTRACTOR SHALL VERIFY THE SIZES AND LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES, AS WELL AS POWER, WATER, AND DRAIN REQUIREMENTS FOR SUCH EQUIPMENT
- WITH THE EQUIPMENT MANUFACTURER. DEVIATION OF THE AFOREMENTIONED REQUIREMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. 18. UNLESS ITEMS, MATERIALS, EQUIPMENT, OR WORK ARE SPECIFICALLY NOTED TO BE PROVIDED OR FURNISHED BY OTHERS, THEY SHALL BE PROVIDED BY THE CONTRACTOR UNDER THIS CONTRACT. 19. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH INDUSTRY STANDARDS. 20. MATERIALS AND COMPONENTS AS SPECIFIED CONSTITUTE A STANDARD OF QUALITY, UNLESS OTHERWISE NOTED. EQUAL SUBSTITUTES WILL BE ACCEPTABLE ONLY WITH WRITTEN PRIOR APPROVAL BY THE
- ARCHITECT. 21. THE CONTRACTOR SHALL PERFORM TESTS AT HIS/HER OWN EXPENSE, AS NECESSARY OR AS REQUIRED BY ANY INSPECTION AGENCY. TESTS SHALL BE MADE TO VERIFY WHETHER THE SYSTEM OR COMPONENTS INSTALLED COMPLY WITH THE SPECIFICATIONS AND ARE IN WORKING ORDER.
- 22. THE CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

# DEMOLITION NOTES

- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS.
- THE DEMOLITION PLANS ARE DERIVED FROM EXISTING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. DEMOLITION NOTES ON THE DRAWINGS IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND
- COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE . IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DIMENSION OF ALL COMPONENTS TO BE DEMOLISHED.
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" PRIOR TO COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF MATERIALS TO BE DEMOLISHED. VERIFY WITH OWNER, THE DISPOSAL AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. 8. REMOVE FROM THE JOBSITE, AS SOON AS PRACTICAL, DEMOLISHED MATERIALS, DEBRIS, AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE.
- 9. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. 10. REMOVE ONLY NON-LOAD-BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS (I.E. BEARING WALLS, BEAMS, HEADERS, ETC.) SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS
- BEING ALTERED UNDER THIS CONTRACT. 11. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY TEMPORARY SHORING ASSOCIATED WITH ANY DEMOLITION WORK.
- 13. CONTRACTOR SHALL COORDINATE EXISTING UTILITY DEMOLITION AND CREATING ANY NEW TEMPORARY SERVICE FOR TEMPORARY-USE ITEMS. 14. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, AND RAILS. VERIFY MATCH OF NEW FINISH
- MATERIALS TO EXISTING IN: COLOR, TEXTURE, THICKNESS, AND CUT TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED TO BE APPROVED BY
- ARCHITECT AND OWNER. 15. PATCH EXISTING WALLS, GYPSUM BOARD, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPACKLING, SANDED, AND LEFT IN A PAINT-READY CONDITION.

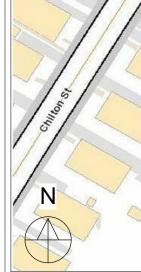
# LIST OF SYMBOLS

	EXISTING PARTITION OR PARTITION W/ DOOR TO BE REMOVED	AFF CJ CLG	ABOVE FIN CONTROL CEILING
	EXISTING STRUCTURE OR PARTITION TO REMAIN	CLR CO COL	CLEAR CLEAN OL COLUMN
	NEW STRUCTURE OR PARTITION	CONC CONT DN	CONCRET CONTINU DOWN
➡ FIRST FLOOR 0'-0"	FINISH ELEVATION	EJ EL	EXPANSION ELEVATION ELECTRICA
101 NEW ROOM	ROOM TAG	ELEC EQ EXIST FC FD	ELECTRICA EQUAL EXISTING FURRING ( FLOOR DR
(A1.1)	GENERAL DETAIL	FIN FL	FINISH FLOOR
	WALL SECTION	GL GWB HT HDWD	GLASS GYPSUM V HEIGHT HARDWOO
	INTERIOR ELEVATION	HVAC	HEATING, AND AIR C
P-1	FINISH TAG	INSUL MAX	INSULATIC MAXIMUM
001	DOOR IDENTIFICATION SYMBOL	MFR MIN	MANUFAC MINIMUM
<li>1&gt;</li>	WALL TYPE TAG	MO MTL NIC	MASONRY METAL NOT IN CO
	WINDOW IDENTIFICATION SYMBOL	NTS OC	NOT IN CONTROL
$\square$	DUPLEX OUTLET	PLAM PLYWD PTD	PLASTIC LA PLYWOOD PAINTED
GFI	GROUND FAULT OUTLET	REQ'D RL	REQUIRED RAIN LEAD
$\mathbb{V}$	CAT 5/COAX/DATA	STL	STEEL
	CARBON MONOXIDE DETECTOR	T.O.C. T.O.S	TOP OF C TOP OF SI
$O_{SA}$	SMOKE ALAM	TYP UNO VCT WD W/	TYPICAL UNLESS NO VINYL CO WOOD WITH
06 PM		WNDW	WINDOW

# ABBREVIATIONS

**ABOVE FINISHED FOOR** CONTROL JOINT Ceiling CLEAR CLEAN OUT OLUMN CONCRETE CONTINUOUS NOWN expansion joint LEVATION LECTRICAL QUAL FURRING CHANNEL LOOR DRAIN =INISH =LOOR Glass GYPSUM WALLBOARD IEIGHT IARDWOOD EATING, VENTILATION ND AIR CONDITIONING NSULATION MAXIMUM MANUFACTURER AINIMUM ASONRY OPENING METAL NOT IN CONTRACT JOT TO SCALE ON CENTER PLASTIC LAMINATE LYWOOD PAINTED Required AIN LEADER TOP OF CONCRETE top of slab YPICAL UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VOOD WITH

# SITE LOCATION



# CONTACTS

ARCHITECT Anderson Porter Design 1972 Massachusetts Ave, 4th Floor Cambridge MA 02139

Dan Anderson 617.354.2501 dan@andersonporter.com

**CIVIL ENGINEER** Spruhan Engineering, P.C. 80 Jewett Street, Suite 2 Newton MA 02458 Edmond Spruhan 617.816.0722



# **DRAWING LIST**

COVER SHEET EXISTING LOT PLAN EXISTING CIVIL PLAN PROPOSED SITE PLAN ZONING COMPLIANCE Z1.2 ZONING COMPLIANCE EXISTING FLOOR PLANS AX1.1 AX1.2 EXISTING FLOOR PLANS EXISTING ELEVATIONS AX2.

A1 :

A2.

SK2.1

SK2.2

SK3.0

SK3.1

PROPOSED FLOOR PLANS PROPOSED FLOOR PLANS PROPOSED ROOF PLAN PROPOSED ELEVATIONS EXISTING PHOTOS

PROPOSED STREET VIEWS PROPOSED STREET VIEWS EXISTING SHADOW STUDY

PROPOSED SHADOW STUDY



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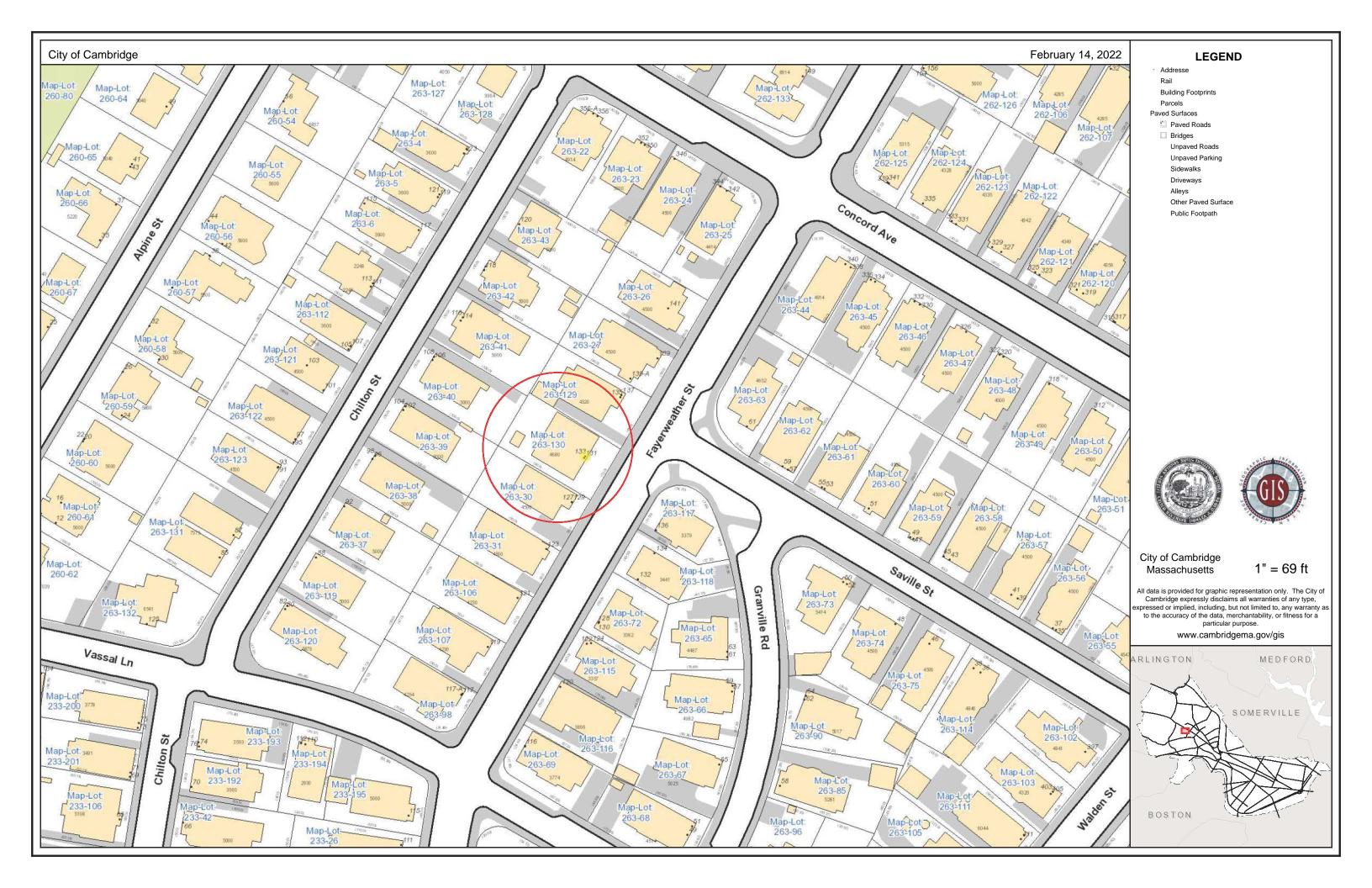
CODE SI	UMMARY					Description		Dale
PROPERTY ADD	DRESS:	133 FAYERWEATHER STREET CAMBRIDGE, MA 02138						
ZONING DISTR	RIC1:	RESIDENCE B						
PROJECT DESC	CRIPTION:	RENOVATION OF EXIS	STING TWO-F	AMILY STRUCTURE				
<u>Chapter 3 - Bui</u> Section R302	ILDING PLANNING FIRE-RESISTANT CONSTRUCTION		SECTION 316	FOAM PLASTIC				
R302.3 R302.7	Dwelling units shall be separated by a Enclosed space under stairs that is ac		SECTION 317	GC shall verify that any foam plastics used shall comply with code. PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY GC shall verify that construction complies with code.				
R302.11	shall be covered with 1/2" gypsum bo Fireblocking shall be provided per co	de.	SECTION 318	PROTECTION AGAINST SUBTERRANEAN TERMITES GC shall verify that construction complies with code.				
SECTION R303 R303.3	LIGHT, VENTILATION AND HEATING Mechanical ventilation shall be provide		SECTION 319	SITE ADDRESS				
R303.10 SECTION R304	Dwelling units shall be provided with a MINIMUM ROOM AREAS		SECTION 320	This section of the code is not applicable to the proposed design. ACCESSIBILITY This section is not applicable to the proposed design.				
SECTION 305	All habitable room areas shall comply CEILING HEIGHT		SECTION 321	ELEVATORS AND PLATFORM LIFTS This section is not applicable to the proposed design.				
R305.1	Ceiling heights shall be equal to, or g requirements. SANITATION	greater than, minimum	SECTION 322	FLOOD-RESISTANT CONSTRUCTION The basement shall be constructed to anticipate the estimated				
SECTION 306	Toilet fixtures, kitchens, sewage disposishall be provided.	sal, and water supply to fixtures	SECTION 323	seasonal high ground water level. STORM SHELTERS				
SECTION 307	TOILET, BATH AND SHOWER SPACE Toilet, baths, and showers spaces sha		SECTION 324	This section is not applicable to the proposed design. SOLAR ENERGY SYSTEMS				
SECTION 308	GLAZING	in comply with code.	SECTION 325	This section is not applicable to the proposed design. MEZZANINES		AndersonPor	terDesig	In
SECTION 309	All glazing shall comply with code. GARAGES AND CARPORTS			This section is not applicable to the proposed design.		72 Massachusetts	C	
SECTION 310	This section of the code is not applica EMERGENCY ESCAPE AND RESCUE	able to the proposed design. OPENINGS	SECTION 326	SWIMMING POOLS, SPAS AND HOT TUBS This section is not applicable to the proposed design. STATIONARY STORAGE BATTERY SYSTEMS		Cambridge, N 617.354.2501 Fc	A 02140	
	This section of the code is not applica		SECTION 327	This section is not applicable to the proposed design.		517.354.2501 FC	IX. 017.354	4.2509
SECTION 311 R311.1	MEANS OF EGRESS Each dwelling unit shall be provided v		<u>CHAPTER 4 - FC</u>	<u>DUNDATIONS</u> GC shall verify that construction complies with code.	Project:	133 FAYERV	VEATHE	R
R311.2.1	means of egress with clear widths that All interior doors shall have nominal w		<u>CHAPTER 5 - FLO</u>		Address:			
R311.7.5.1-	with code. 2 Riser heights shall not be more than 8 less than 9". Winder treads shall have		<u>CHAPTER 6 - WA</u> CHAPTER 7 - WA	ALL CONSTRUCTION GC shall verify that construction complies with code.		3 Fayerwea Cambridge,		
SECTION 312	at any point. GUARDS AND WINDOW FALL PROT Guard locations and heights, and wir		CHAPTER 8 - RC	GC shall verify that construction complies with code. <u>OF-CEILING CONSTRUCTION</u> GC shall verify that construction complies with code.	Title:	COVER S	HEET	
SECTION 313	shall comply with code. AUTOMATIC FIRE SPRINKLER SYSTE/	MS	<u>CHAPTER 9 - RC</u>	OOF ASSEMBLIES	Drawing Iss	sued By: ANDERSON	I PORTER DESIG	N
R313.2	The proposed design does not have a		<u>CHAPTER 10 - C</u>	GC shall verify that construction complies with code. <u>CHIMNEY AND FIREPLACES</u>	Project #:	2125	Drawr	n No.
SECTION R314	14,400 square feet. SMOKE ALARMS		<u>CHAPTER 11</u> - E	This section of the code is not applicable to the proposed design NERGY EFFICIENCY	Date:	2022.06.01		_
R314.3 SECTION 315	Smoke alarms shall be provided and CARBON MONOXIDE ALARMS	located as required.		This section of the code is not applicable to the proposed design	Scale:	1/4" = 1'-0"	G	).1
R315.3	Carbon monoxide alarms shall be pro	ovided and located as required.			Drawn by:	AR.S.		

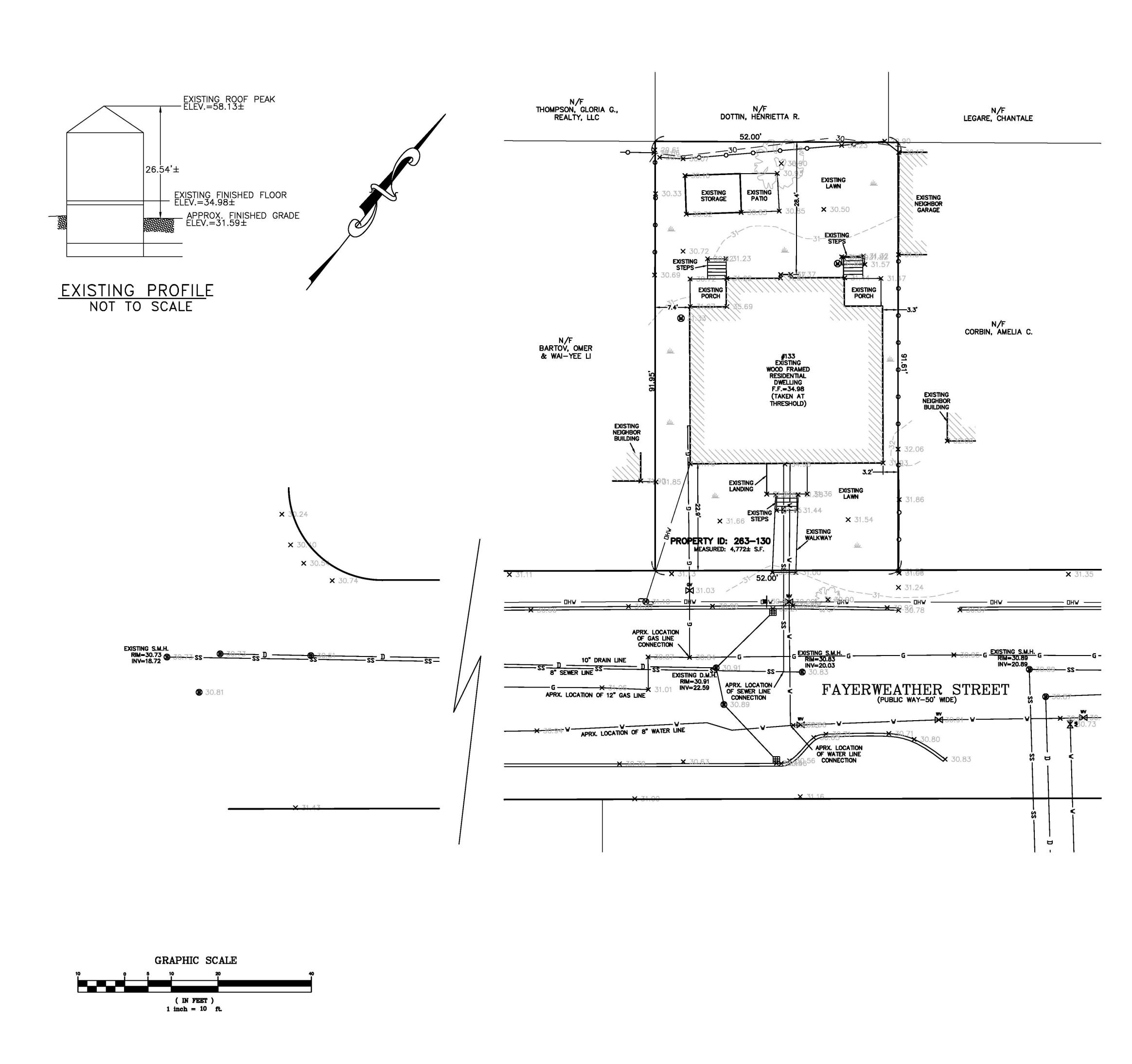


SPECIAL PERMIT

REVISIONS Description

No.





	LEGEND				
·	BOUND				
0	IRON PIN/PIPE				
O	STONE POST				
	TREE				
<u>ا</u> ر	TREE STUMP				
Θ	SHRUBS/FLOWERS				
٩	SIGN				
0	BOLLARD				
S	SEWER MANHOLE				
0	DRAIN MANHOLE				
⊞	CATCH BASIN				
8	WATER MANHOLE				
X≋	WATER VALVE				
ж Х	HYDRANT				
X₃¾	GAS VALVE				
ELECTRIC MANHOLE					
E ELECTRIC HANDHOLE					
¢	LIGHT POLE				
MANHOLE					
<b>X</b> 148.00	SPOT GRADE				
TW	TOP OF WALL				
BW	BOTTOM OF WALL				
///////////////////////////////////////	EXISTING BUILDING				
	RETAINING WALL				
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	STONE WALL				
	FENCE				
uu	TREE LINE				
S	SEWER LINE				
D	DRAIN LINE				
W	WATER LINE				
G	GAS LINE				
——— E ———	UNDERGROUND ELECTRIC LINE				
онw	OVERHEAD WIRES				
145	CONTOUR LINE (MJR)				
146	CONTOUR LINE (MNR)				

# NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.

2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197 PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 16992A MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.

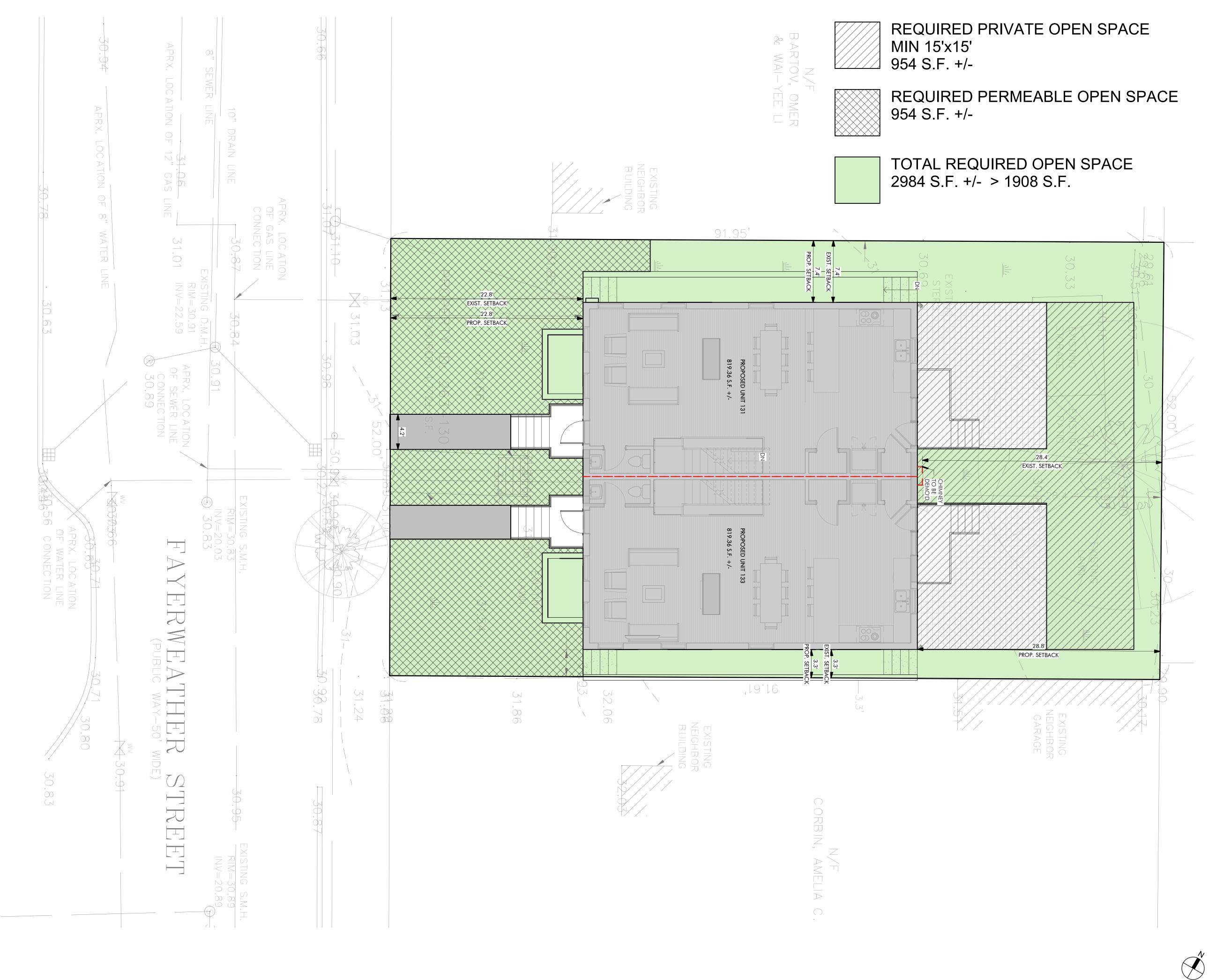
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

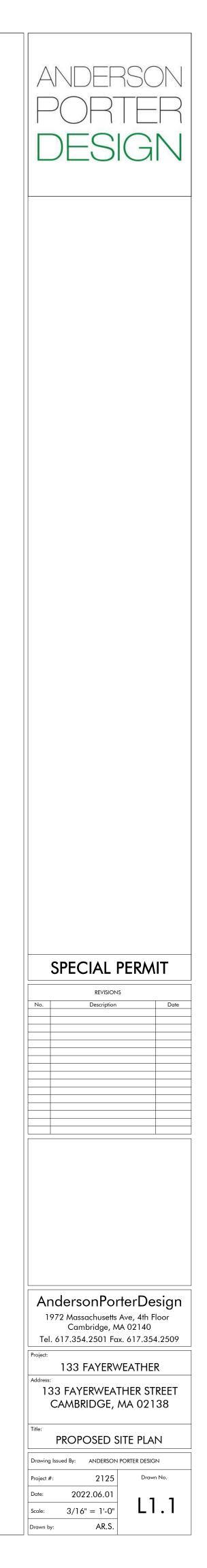
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.

SCALE 1"=10'					
DATE					
12/08/21	REV	DATE	REVISION	BY	
SHEET 1		13	3 FAYERWEATHER STREET		
PLAN NO. 1 OF 1			CAMBRIDGE MASSACHUSETTS		
CLIENT:			EXISTING CONDITIONS		SHEET NO.
DRAWN BY			PLAN		- 1
OB CHKD BY PJN APPD BY PJN			TER NOLAN & ASSOCIATES LLC ND SURVEYORS/CIVIL ENGINEERING CONSULTANT 80 JEWETT STREET, SUITE 2 NEWTON, MA 02458 1: 857 891 7478/617 782 1533 FAX: 617 202 56 AIL: pholan@phasurveyors.cor	s 91	





ZONING CHART - CAMBRIDGE					
LOT SIZE:	ALLOWED / REQUIRED	EXISTING	PROPOSED		
ZONE	B ZONE	B ZONE	b zone		
USE	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING	RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING		
MIN LOT SIZE	5,000 S.F.	4,772 +/- S.F.	4,772 +/- S.F.		
MIN LOT AREA PER DWELLING	2,500 S.F.	2,386 S.F.	2,386 S.F.		
MAX FLOOR AREA RATIO (FAR)	0.50	0.64	0.87		
MAX BUILDING HEIGHT	35'	27.2	34.8'		
MIN. YARD SETBACKS					
FRONT	15'	22.9'	22.9'		
RIGHT SIDE	7.5' SUM TO 20'	3.2'	3.2'		
LEFT SIDE	7.5' SUM TO 20'	7.4'	7.4'		
REAR	25'	28.4'	28.4'		
MIN LOT WIDTH	50'	52'	52'		
PARKING REQUIREMENTS	1 PER DWELLING UNIT	o spots	o spots		
TOTAL OPEN SPACE, MIN % OF LOT	40% = 1908.80 S.F.	63% = 2994.21 S.F. +/-	63% = 2994.21 S.F. +/-		
PRIVATE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	56% = 2691.26 S.F. +/-	56% = 2691.26 S.F. +/		
PERMEABLE OPEN SPACE	20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)	25% = 1175.45 S.F. +/-	25% = 1175.45 S.F. +/		
BICYCLE PARKING	N/A	o spots	0 SPOTS		

# <u>FOOTNOTES:</u>

Identifying rear yard set back

Min. distance between buildings: Sum of Heights/6 or 10'-0", whichever is greater.

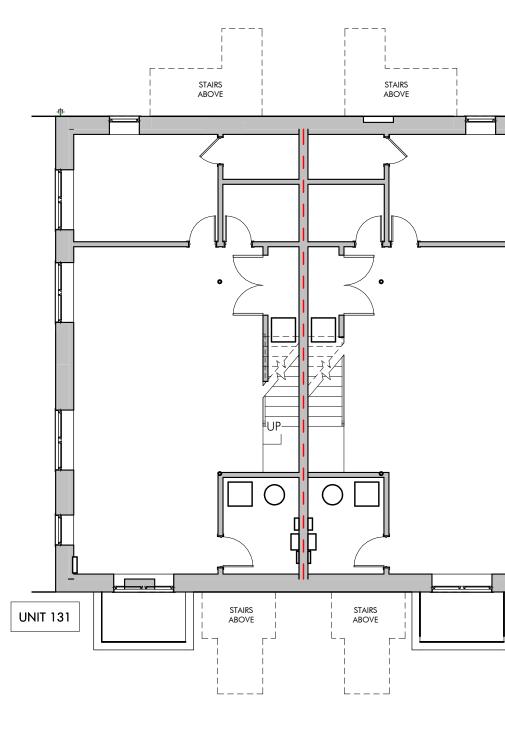


 $\sum_{n=1}^{\infty} 5 \frac{\text{AREA ELEVATION}}{1/4" = 1'-0"}$ 

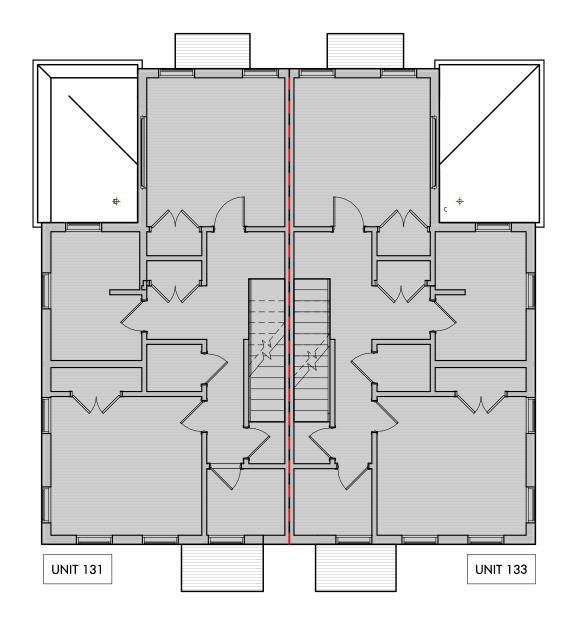
	AREA C
	BASEME
COMPLIANCE	FIRST FL
COMPLIES	Seconi
COMPLIES	THIRD F
	TOTAL (
EXISTING NON CONFORMING	BASEME
EXISTING NON CONFORMING	FIRST FL
EXISTING NON CONFORMING	Seconi
COMPLIES	THIRD F
COMPLIES	TOTAL (
EXISTING NON CONFORMING	GRAND
EXISTING NON CONFORMING COMLIES	N/A; BA GROSS
COMPLIES	UNIT 1 - UNIT 2 -
EXISTING NON CONFORMING	
COMPLIES	
COMPLIES	
COMPLIES	
COMPLIES	

AREA CALCULATIONS	EXISTING	PROPOSED		
BASEMENT UNIT 01 (N/A)	N/A	N/A		
FIRST FLOOR UNIT 01	820	820		
SECOND FLOOR UNIT 01	717	717		
THIRD FLOOR UNIT 01	N/A	523		
TOTAL (UNIT 01)	1,537	2,060		
BASEMENT UNIT 02 (N/A)	N/A	N/A		
FIRST FLOOR UNIT 02	813	813		
SECOND FLOOR UNIT 02	711	711		
THIRD FLOOR UNIT 02	N/A	518		
TOTAL (UNIT 02)	1,524	2,042		
GRAND TOTAL 3,061 4,10				

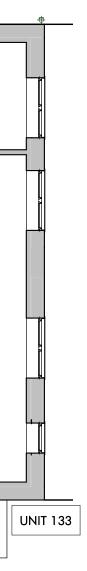
I - LEFT 2 - RIGHT

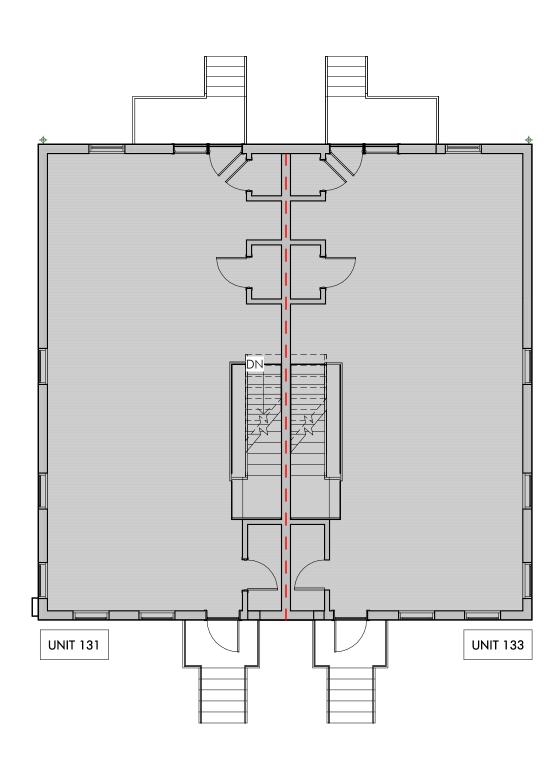


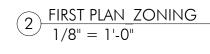
 $1 \frac{\text{BAZEMENT ZONING}}{1/8" = 1'-0"}$ 

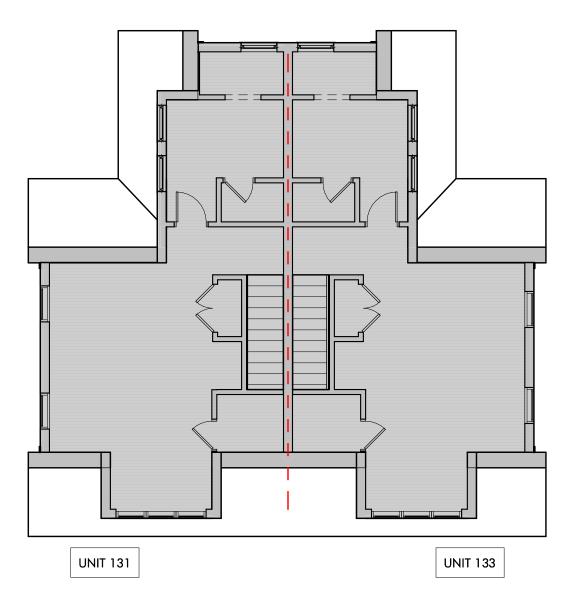


 $3 \frac{\text{SECOND FLOOR ZONING}}{1/8" = 1'-0"}$ 

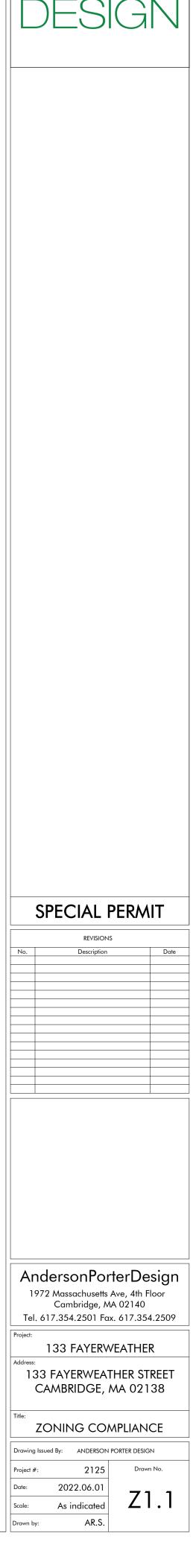


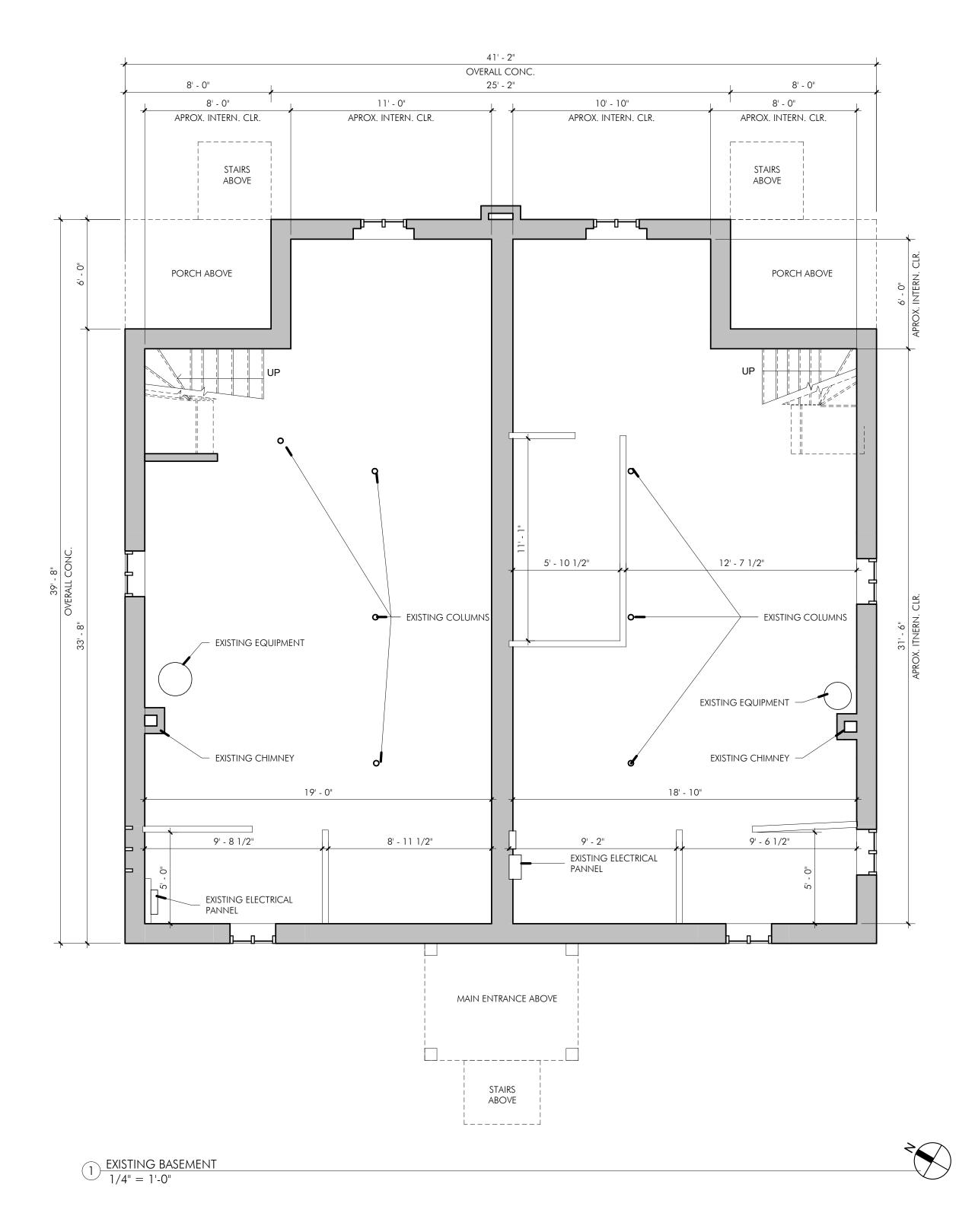


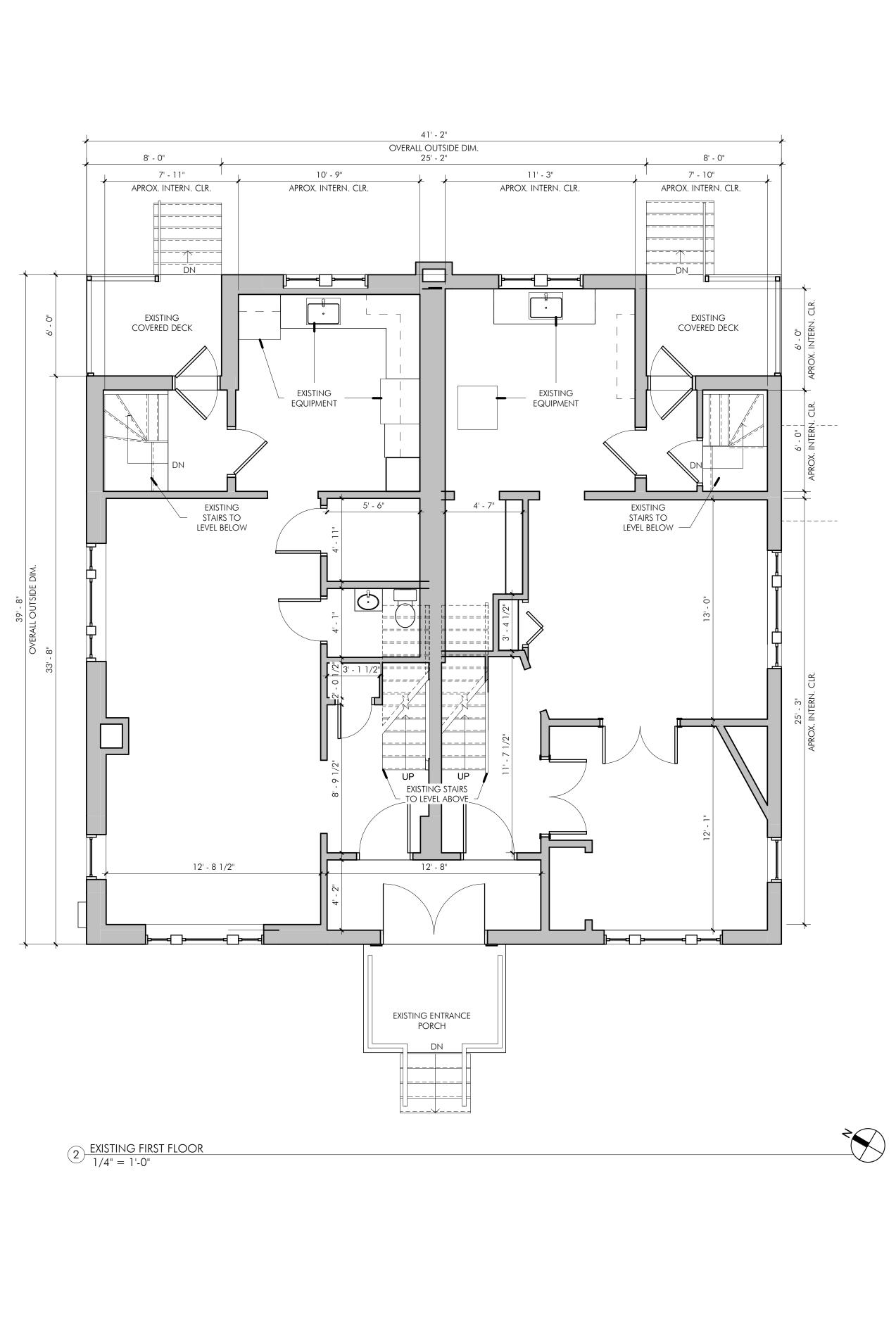


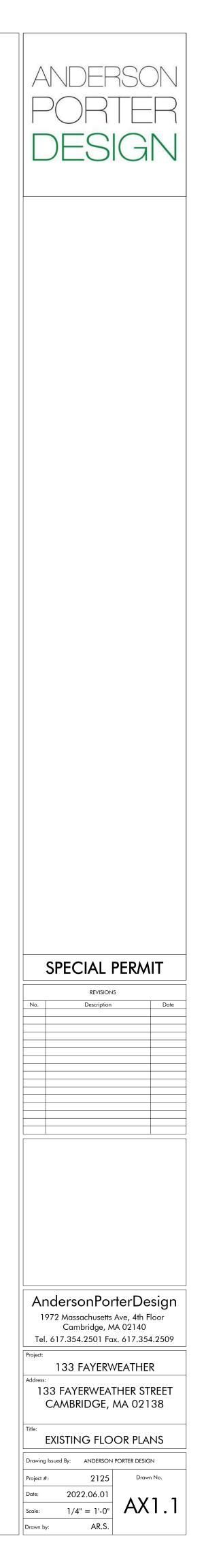


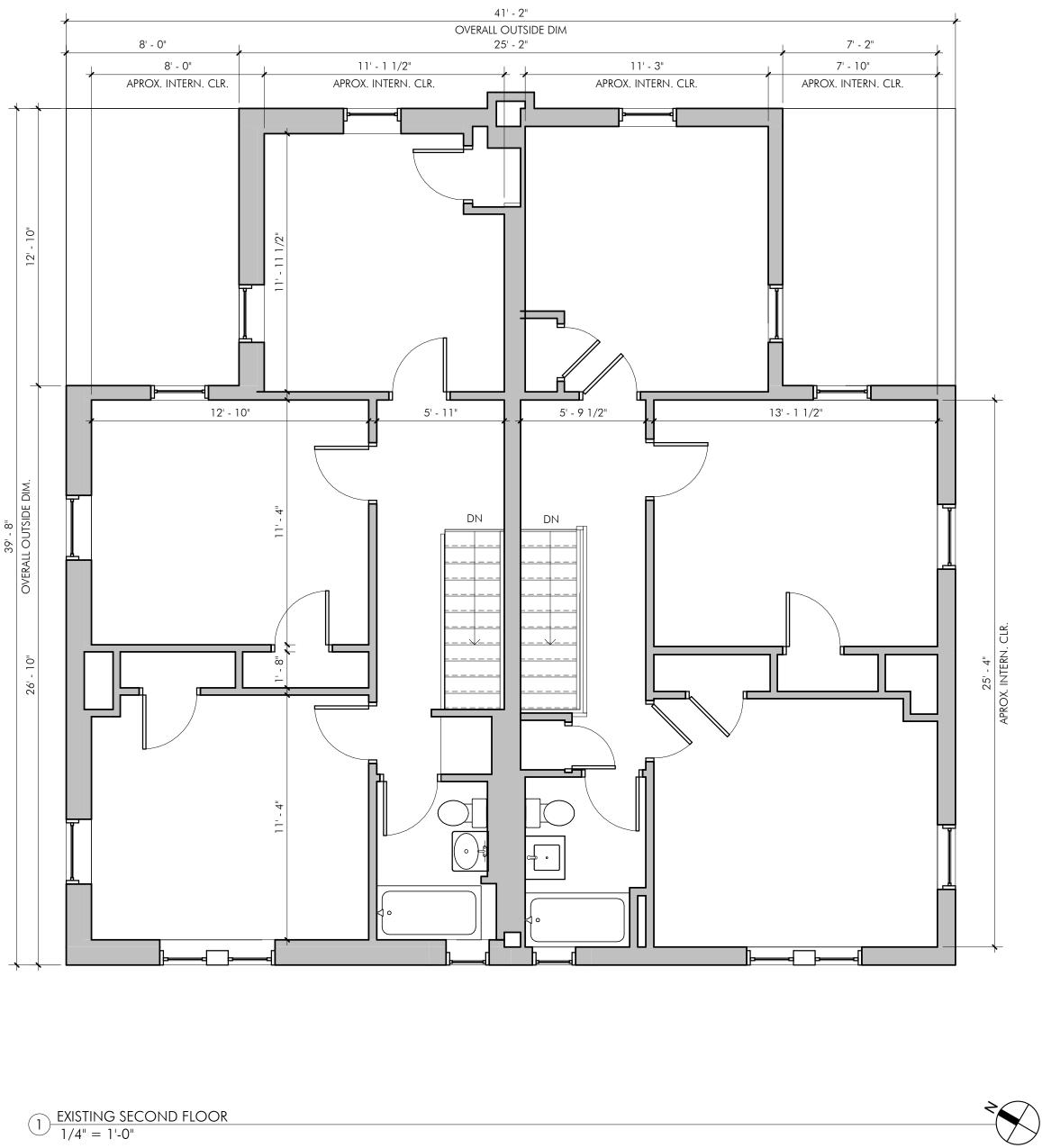
 $4 \frac{\text{THIRD FLOOR} ZONING}{1/8" = 1'-0"}$ 



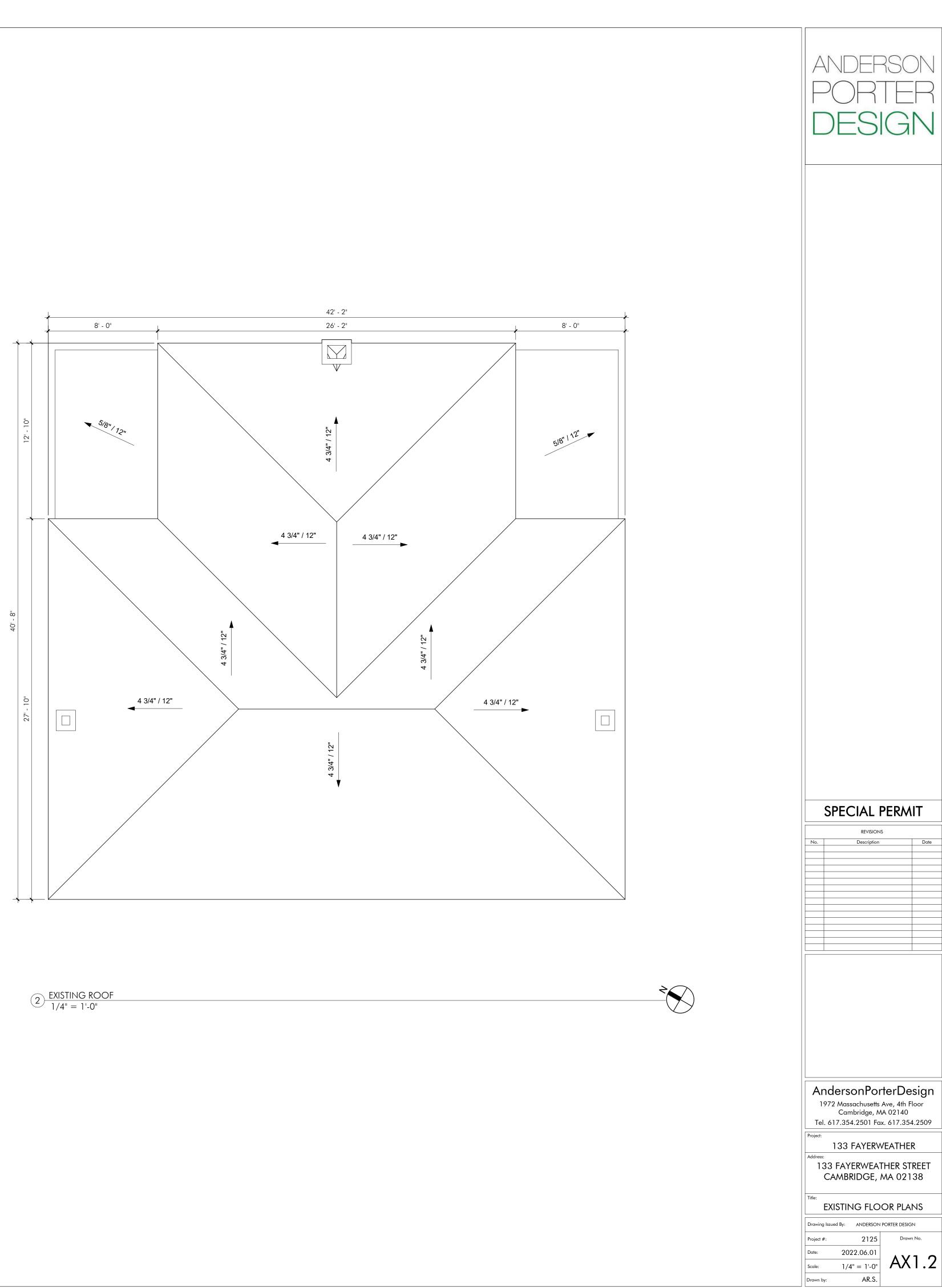




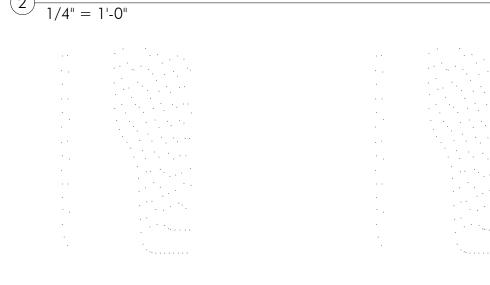




 $1 \frac{\text{EXISTING SECOND FLOOR}}{1/4" = 1'-0"}$ 



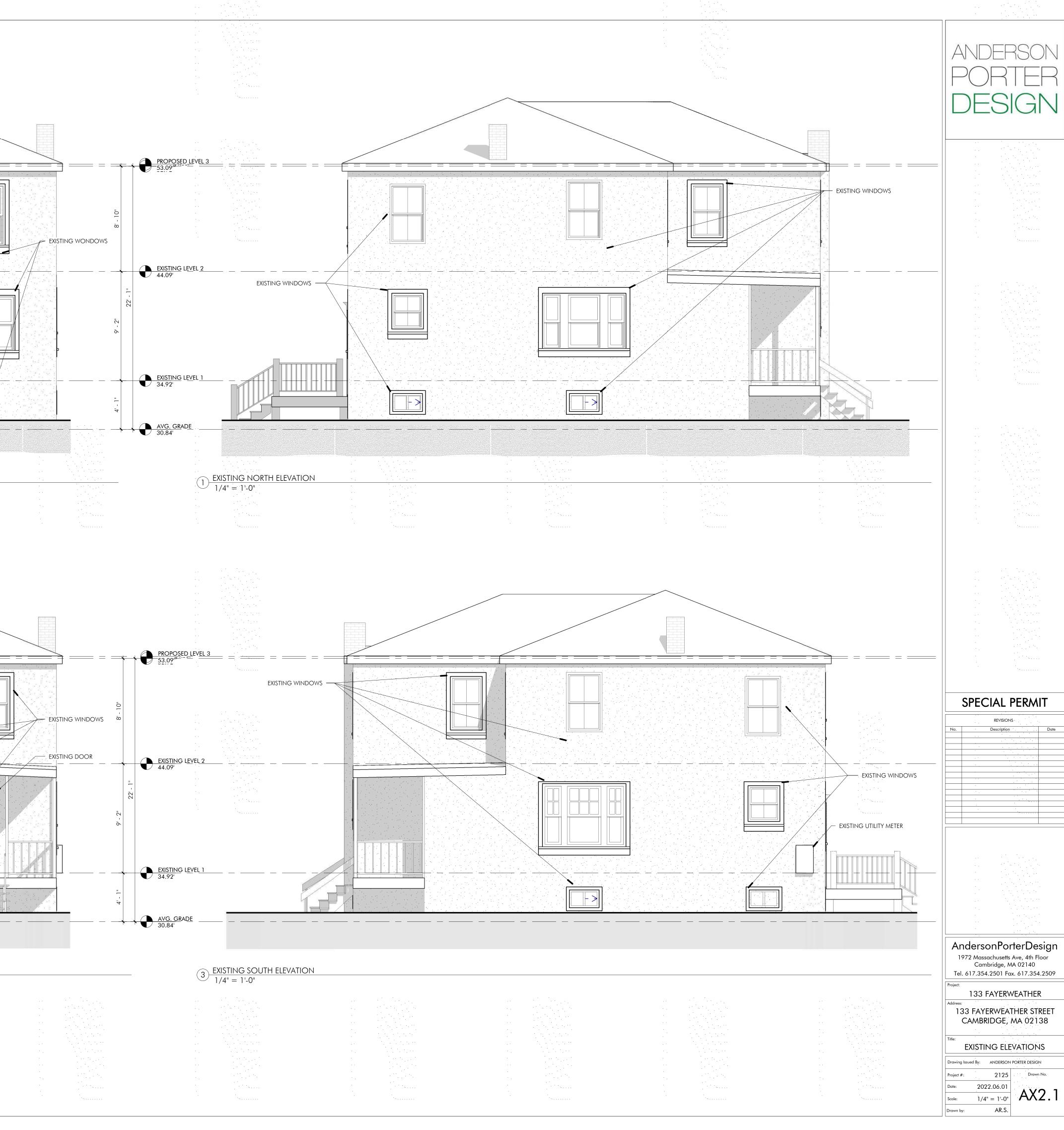




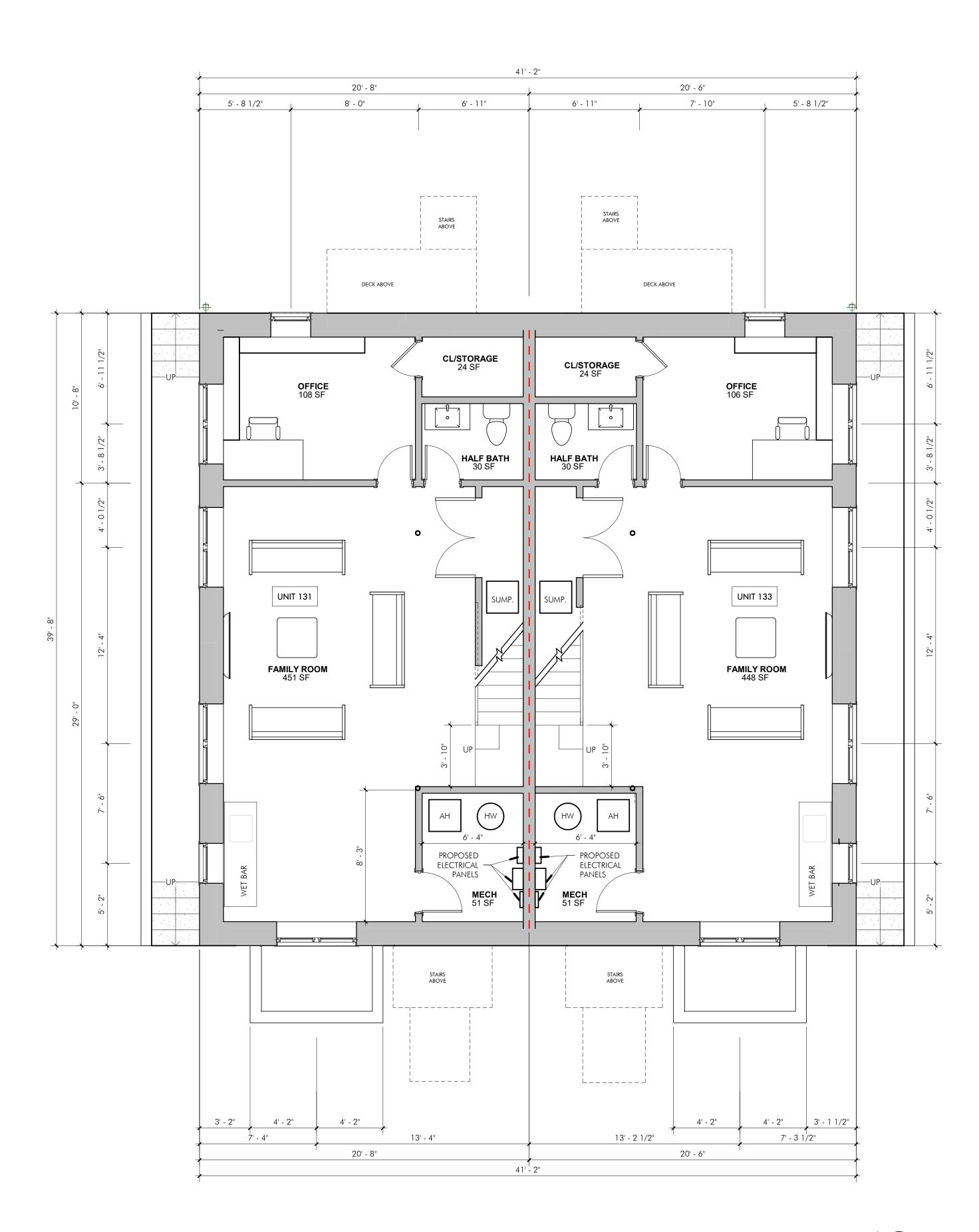


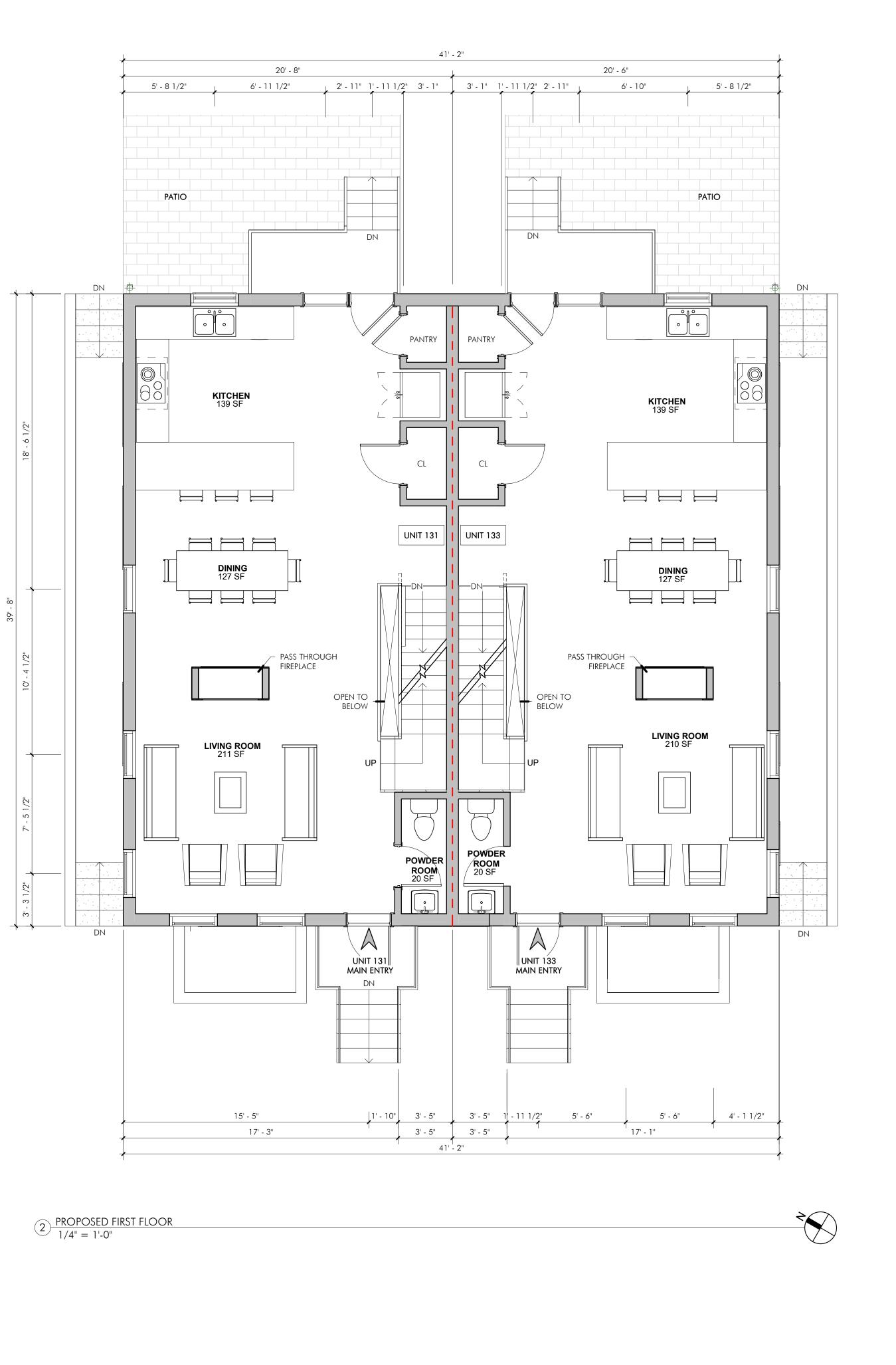




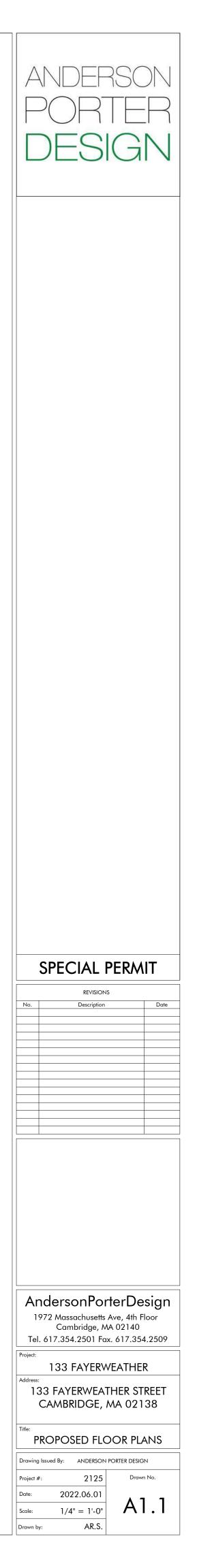


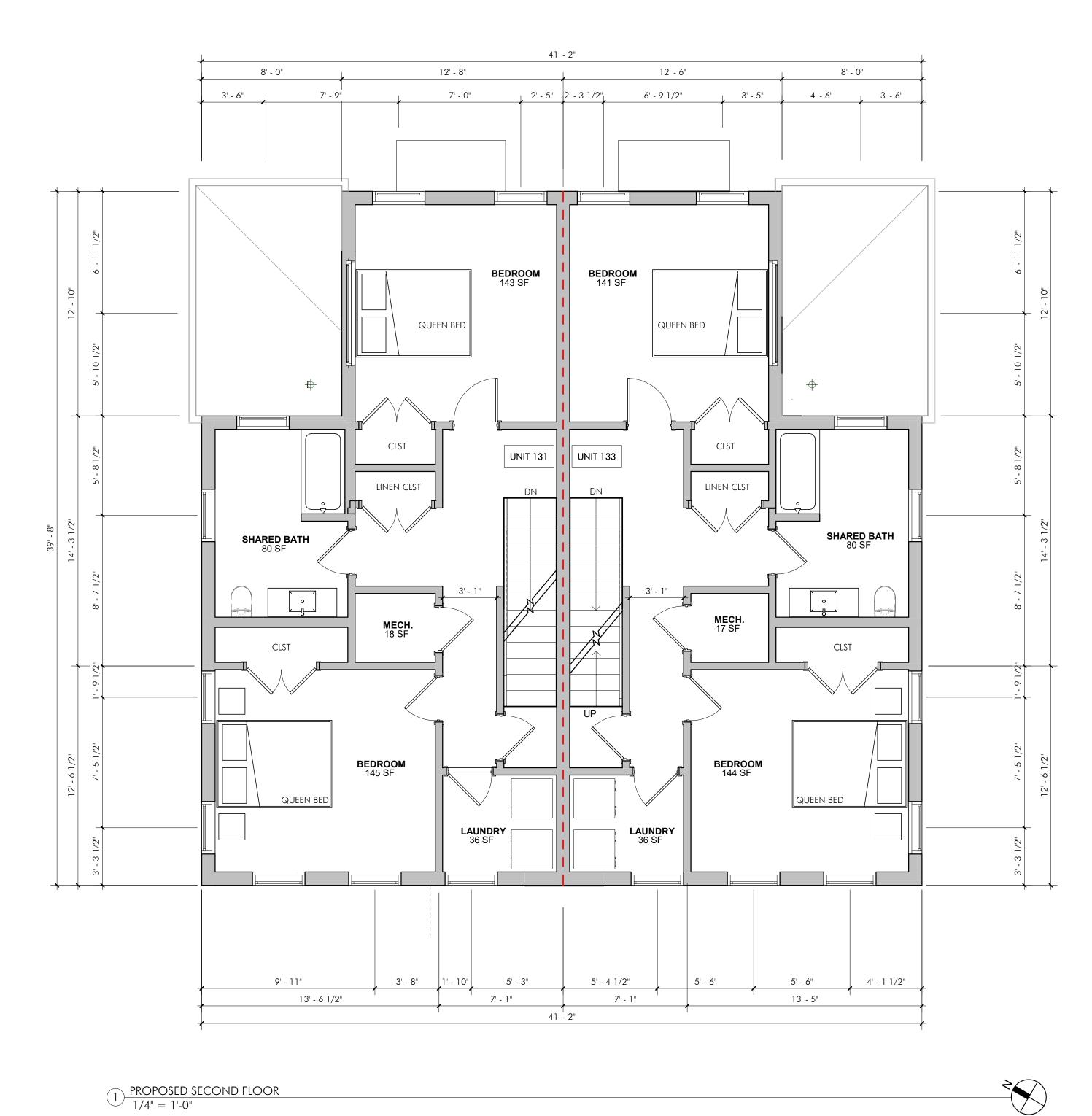
 $1 \frac{\text{PROPOSED BASEMENT}}{1/4" = 1'-0"}$ 



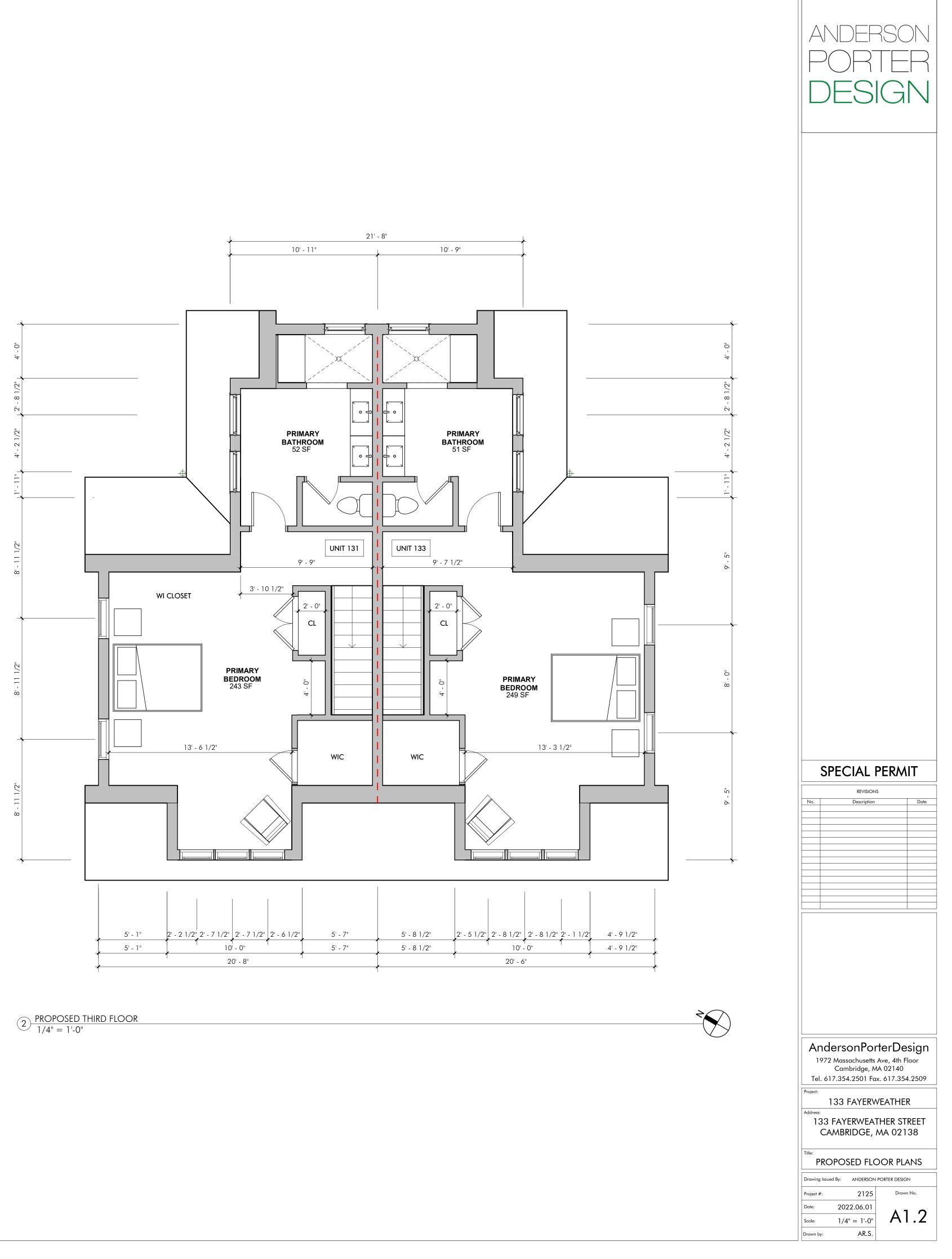


 $\widehat{\phantom{a}}$ 

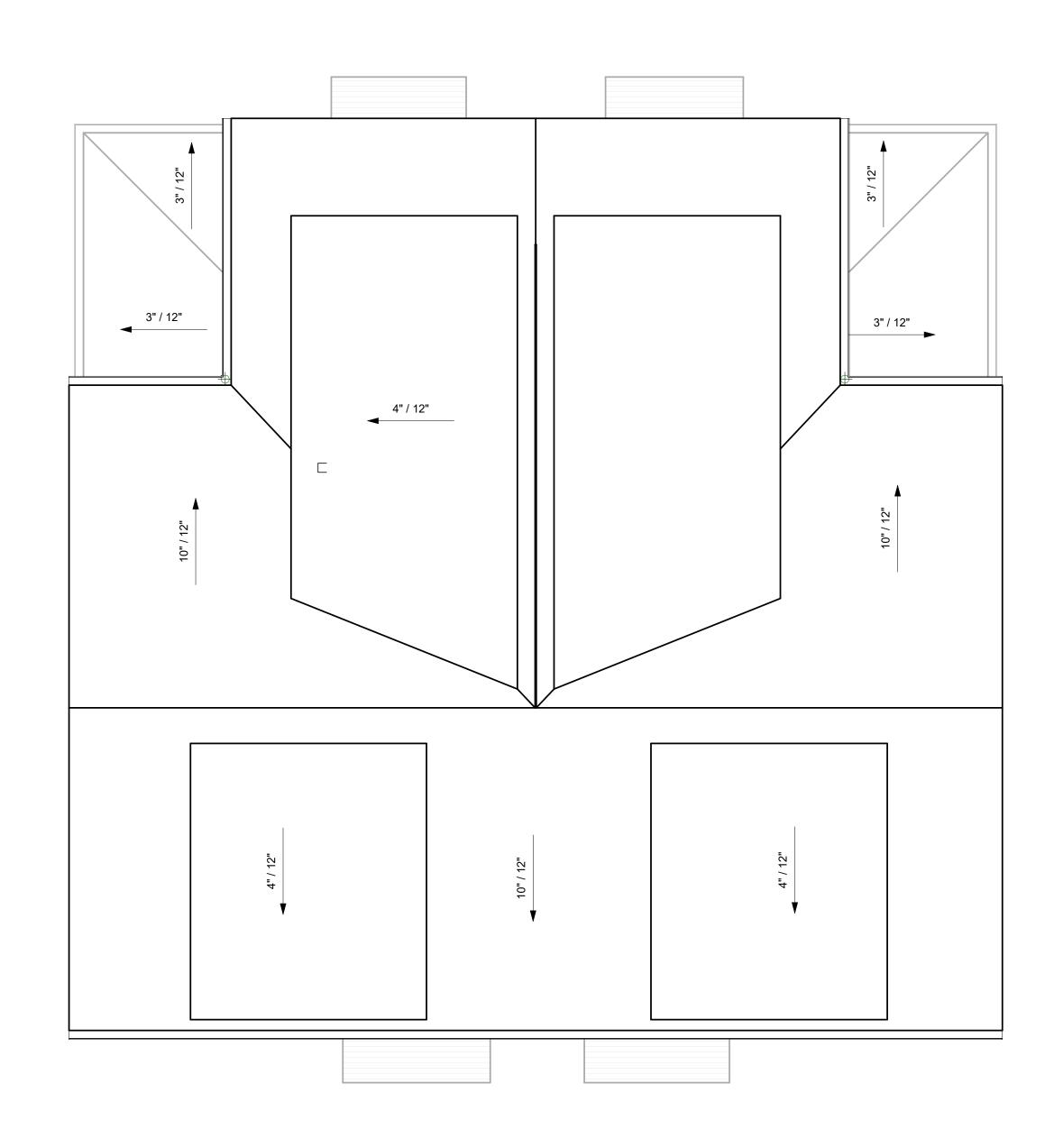




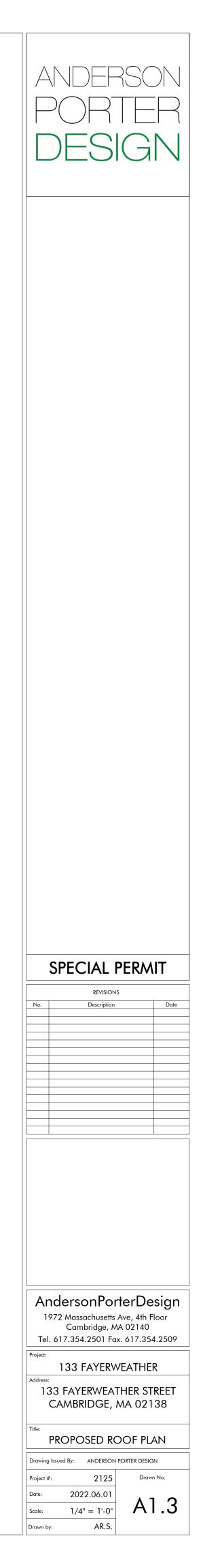
 $1 \frac{\text{PROPOSED SECOND FLOOR}}{1/4" = 1'-0"}$ 



6/1/2022 3:30:35 PM

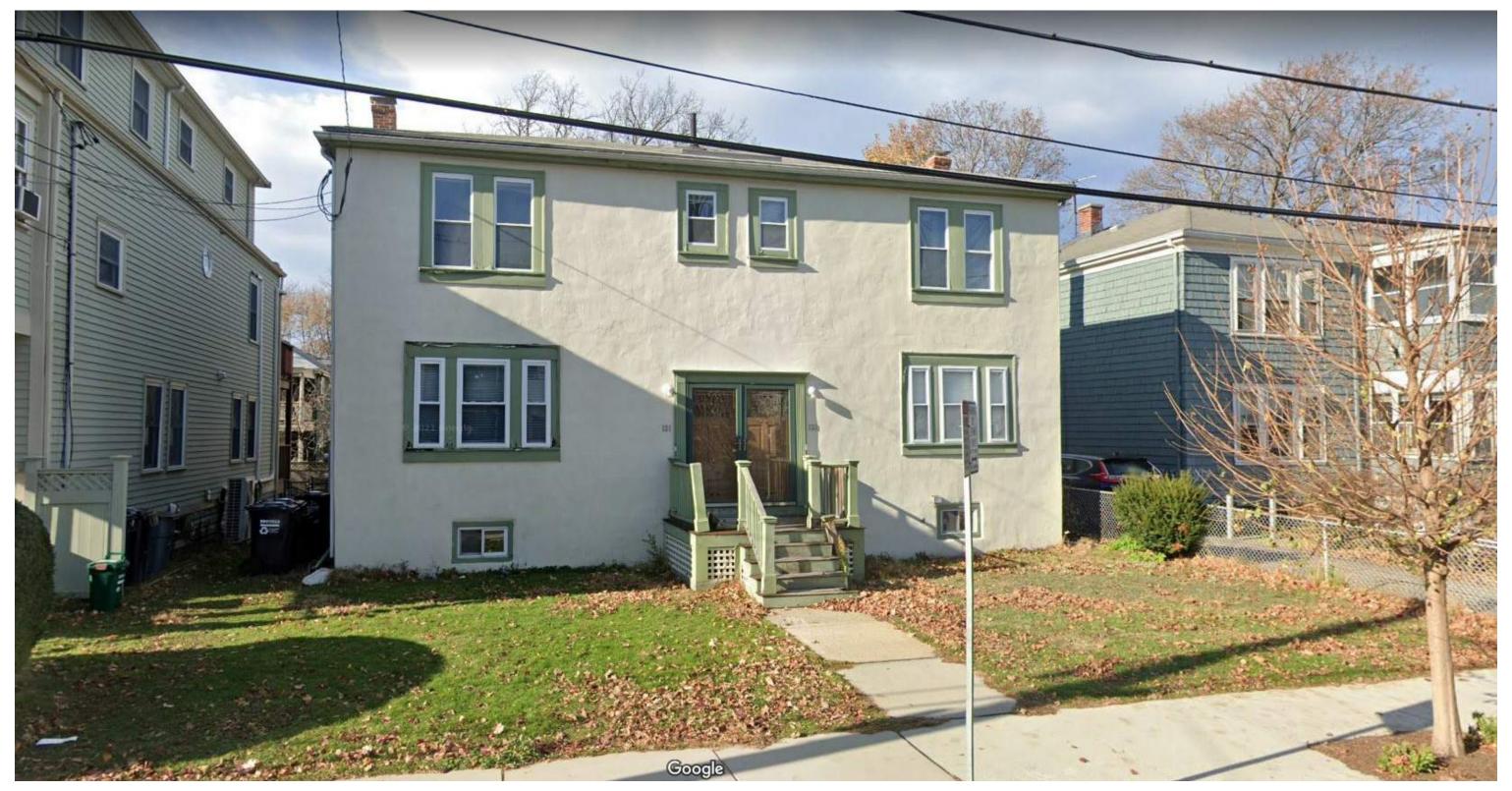


 $1 \frac{PROPOSED ROOF}{1/4" = 1'-0"}$ 









VIEW OF FRONT



VIEW OF SIDE



VIEW OF REAR



VIEW OF CORNER



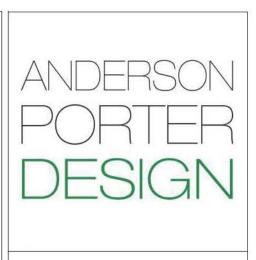
	SPECIAL	PERM	IT
	REVISION	S	
No.	Description		Date
			]
Ar	ndersonPo	rterDe	sign
	972 Massachusetts	Ave, 4th F	
_	Cambridge, M		
Tel	. 617.354.2501 Fo	x. 617.354	1.2509
Project:	133 FAYERV	VEATHEI	र
Address		דנורס כיד	
	33 FAYERWEA		
	CAMBRIDGE,	INA UZI	30
Title:			
	EXISTING P	HOTOS	
Drawing	g Issued By: ANDERSON	PORTER DESIG	N
Project #	#: 2125	Drawr	n No.
Date:	2022.06.01		
		Sł	<b>(</b> 1
Scale:			<b>\</b> I

DS

awn by



# **EXISTING STREET VIEW 1**



	<b>–</b>
SPECIAL PERMI	
REVISIONS No. Description	Date
	-
1972 Massachusetts Ave, 4th Flo Cambridge, MA 02140	
Tel. 617.354.2501 Fax. 617.354.	2509
133 FAYERWEATHER	
Address: 133 FAYERWEATHER STR	EET
CAMBRIDGE, MA 0213	88
Tifle: PROPOSED STREET VIEV	WS
Drawing Issued By: ANDERSON PORTER DESIGN	
Project #: 2125 Drawn 1	No.
Date: 2022.04.06	ר ר
Scale:	2.1

Author



# **PROPOSED STREET VIEW 1**



	١T
REVISIONS	
No. Description	Date
AndersonPorterDe	esign
1972 Massachusetts Ave, 4th Cambridge, MA 02140	
Tel. 617.354.2501 Fax. 617.35	4.2509
Project: 133 FAYERWEATHE	:P
Address:	
133 FAYERWEATHER S CAMBRIDGE, MA 02	
Title: PROPOSED STREET VI	EWS
Drawing Issued By: ANDERSON PORTER DESI	GN
Project #: 2125	vn No.
Date: 2022.04.06	2.2
Scale:	<b>Z.</b> 4

Author

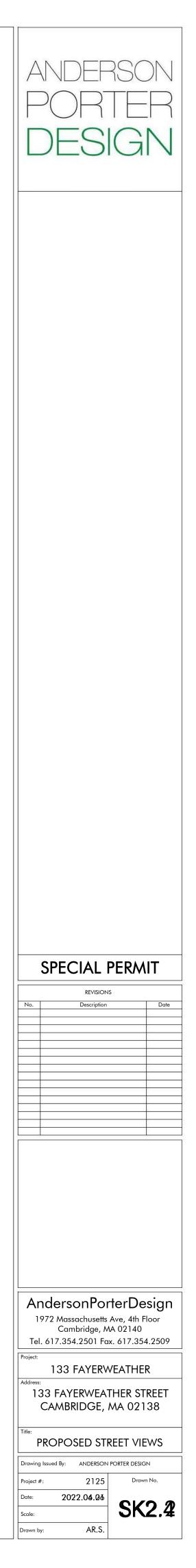


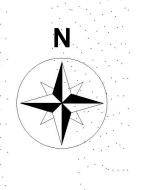
**EXISTING STREET VIEW 2** 

P	NDEF OR ES	TE	R
S	PECIAL	PERM	IT
No.	REVISION Description	S	Date
AndersonPorterDesign 1972 Massachusetts Ave, 4th Floor Cambridge, MA 02140 Tel. 617.354.2501 Fax. 617.354.2509			
Project: 133 FAYERWEATHER Address: 133 FAYERWEATHER STREET CAMBRIDGE, MA 02138			
Title: PR	OPOSED STI	REET VIE	WS
Drawing Issued By: ANDERSON PORTER DESIGN Project #: 2125 Drawn No.			
Project # : Date: Scale:	2125 2022.0 <b>4</b> .0ð	SK	



**PROPOSED STREET VIEW 2** 





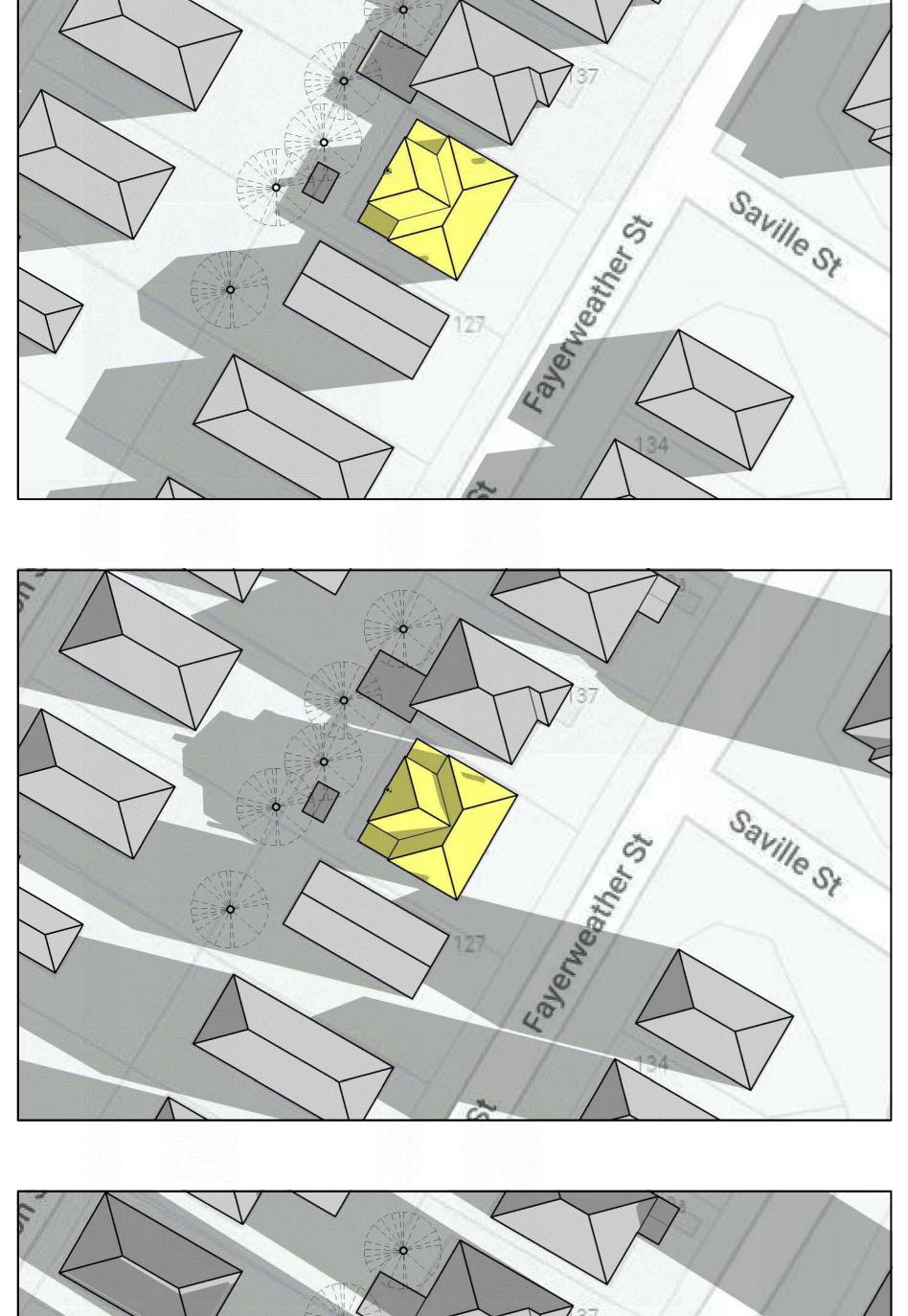
MORNING (7 AM)



# SUMMER SOLSTICE

XOZ

EQUIN



**WINTER** Solstice



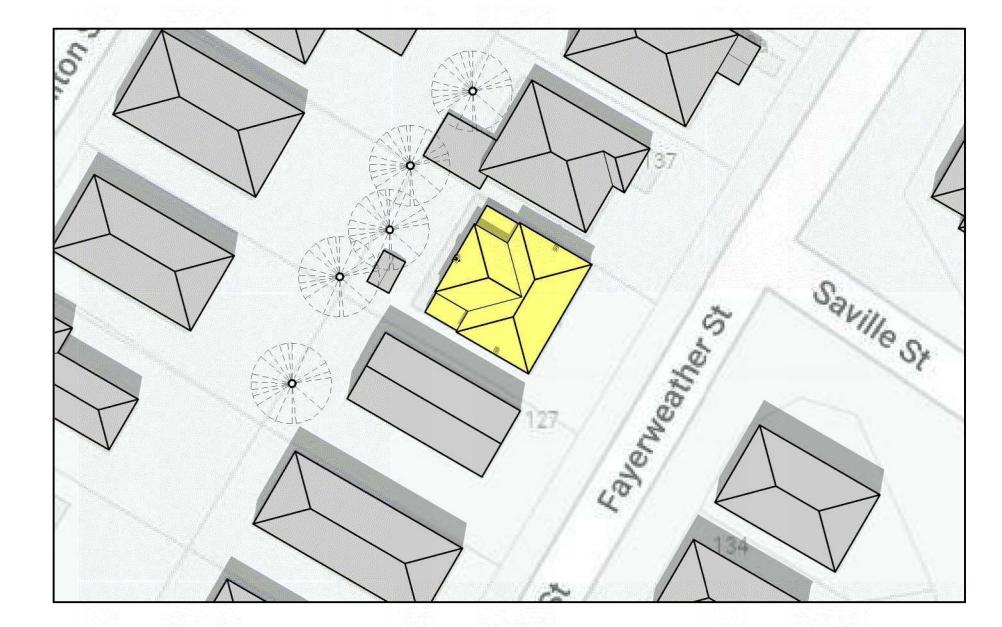
 Project:
 133 FAYERWEATHER

 Drawing:
 EXISTING SHADOW STUDY

 Date:
 2022.06.26

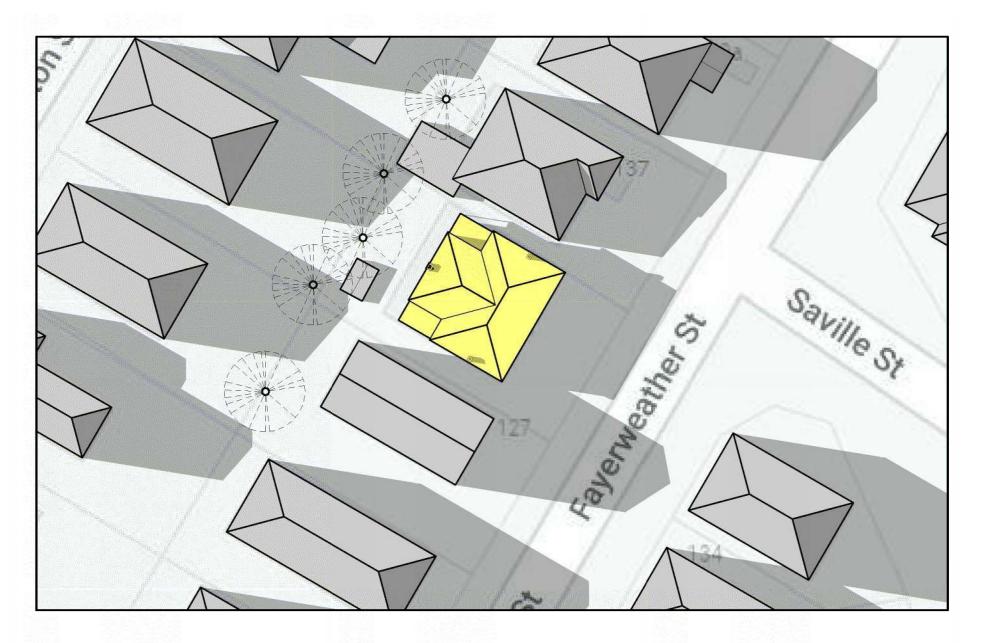
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 1/32" = 1'-0"

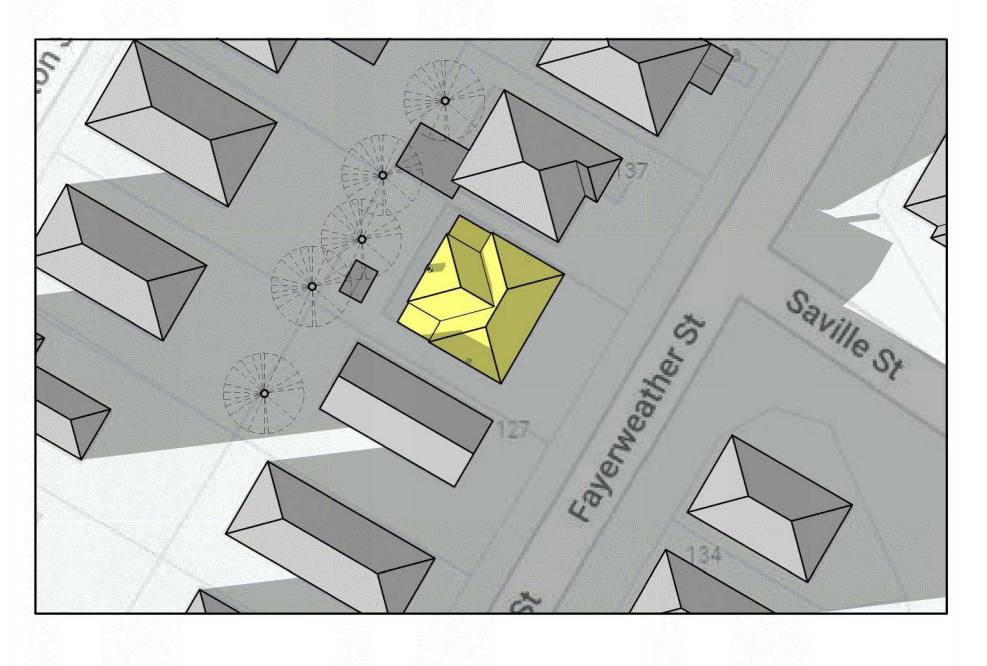


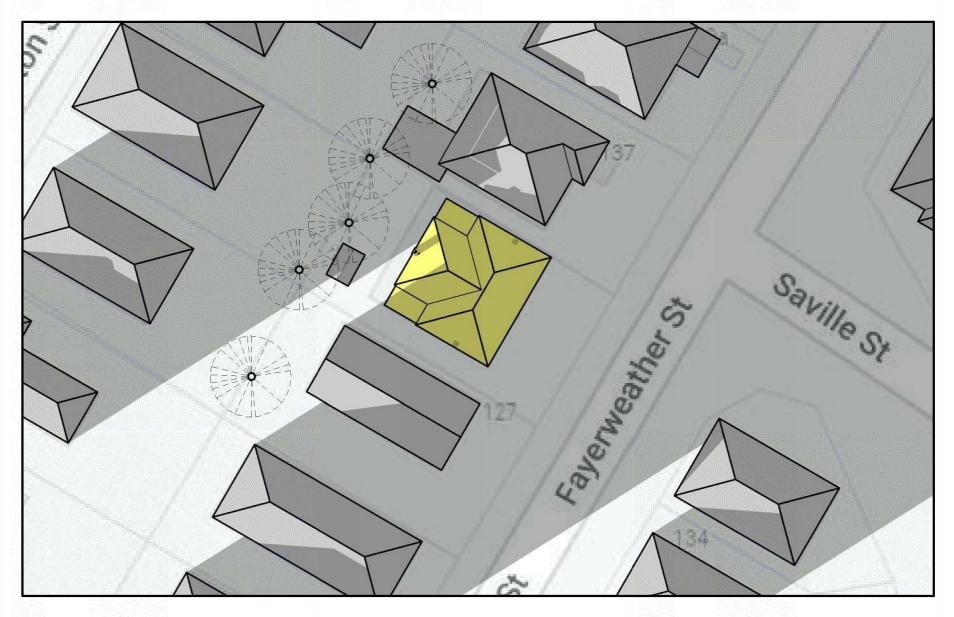




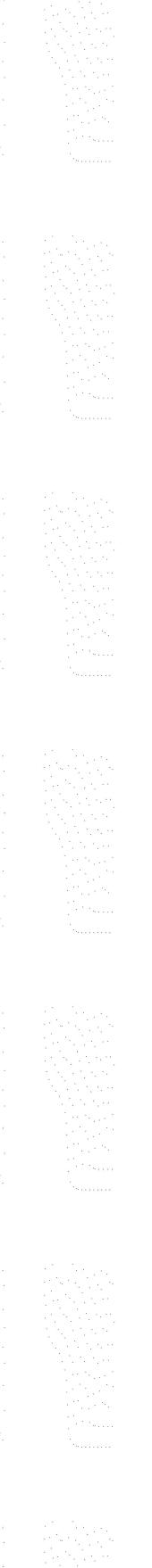






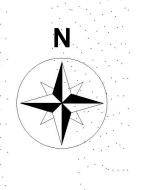






SK3.0

1972 Massachusetts Ave, Cambridge, MA 02140 Tel: 617.354.2501

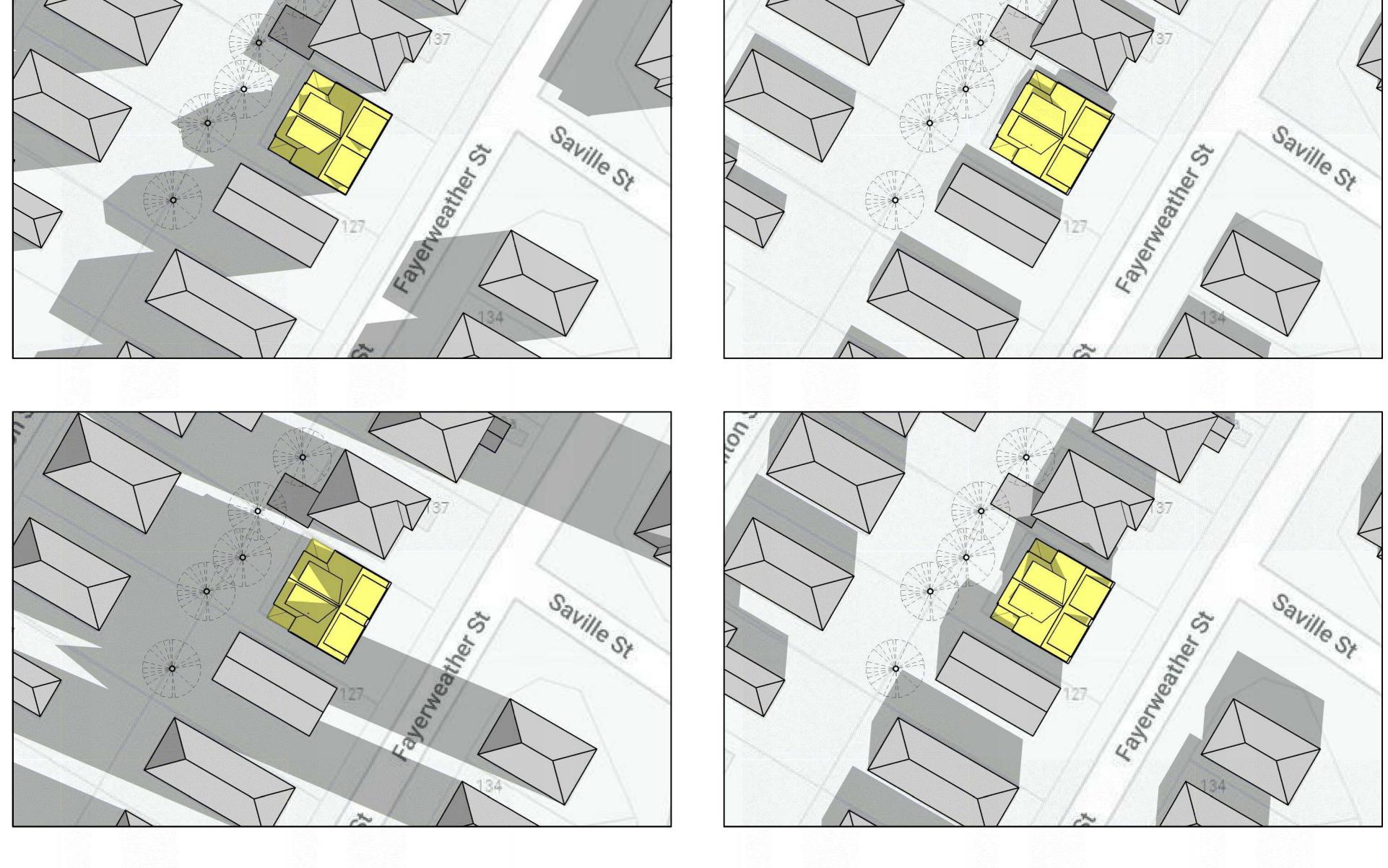






XOZ

EQUIN



WINTER  $\underline{\bigcirc}$ ST -S



 Project:
 133 FAYERWEATHER

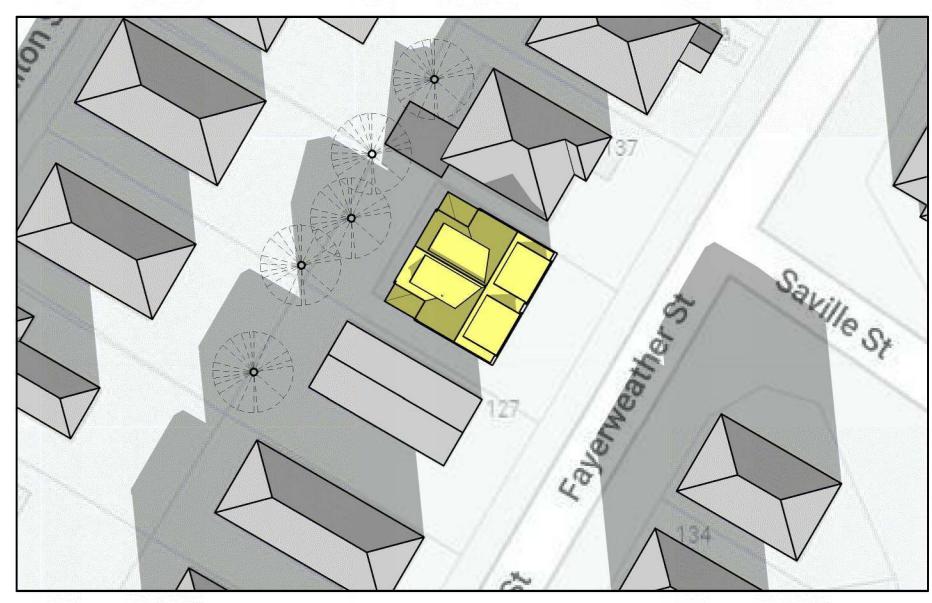
 Drawing:
 PROPOSED SHADOW STUDY

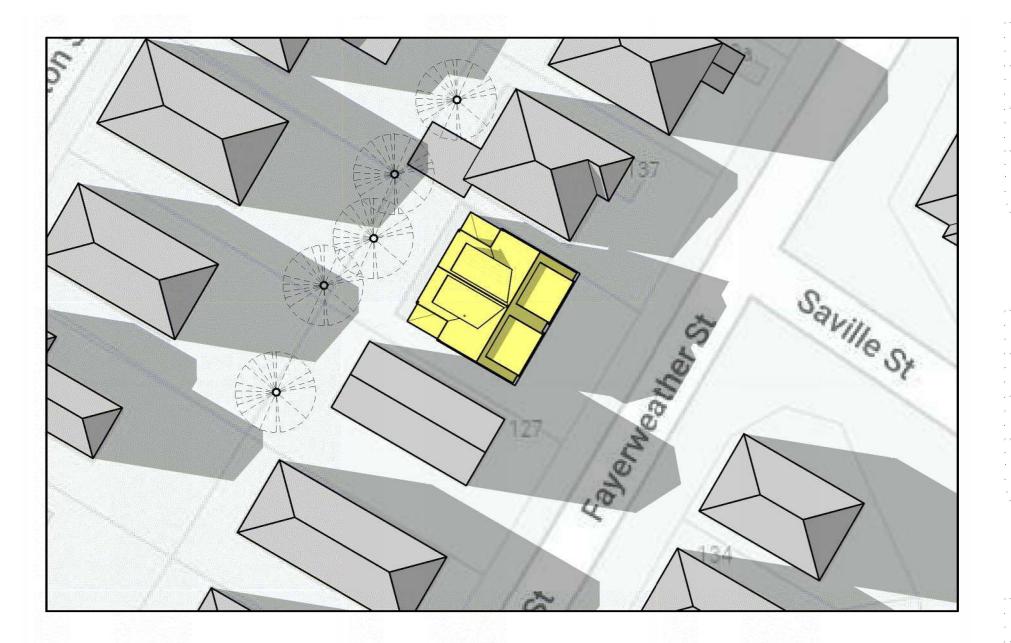
 Date:
 2022.06.26

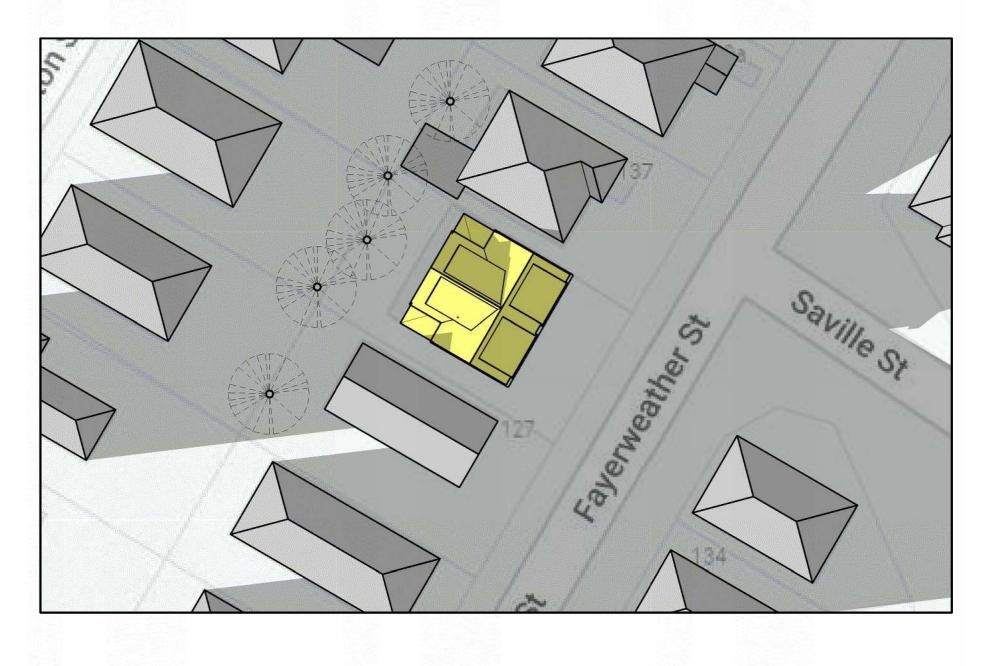
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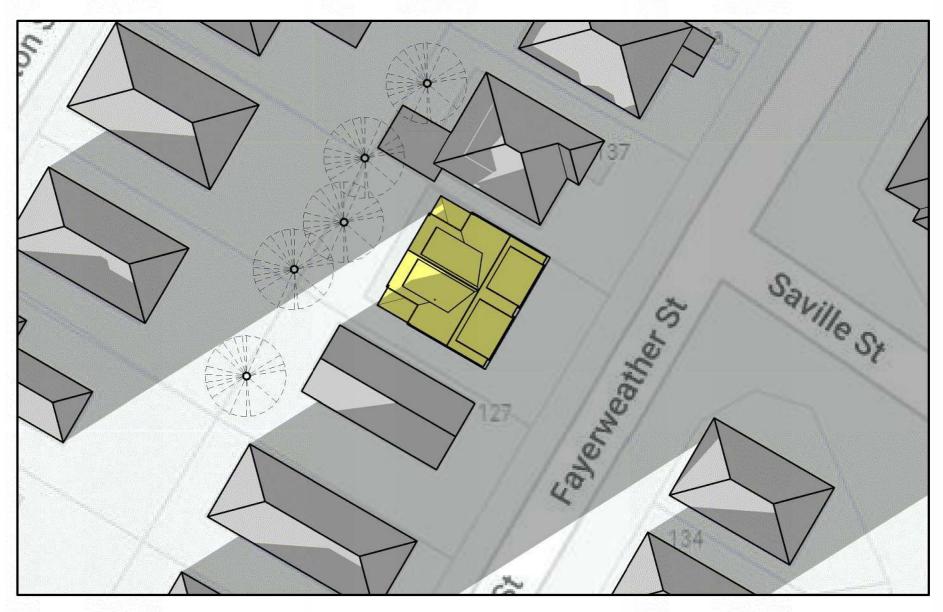








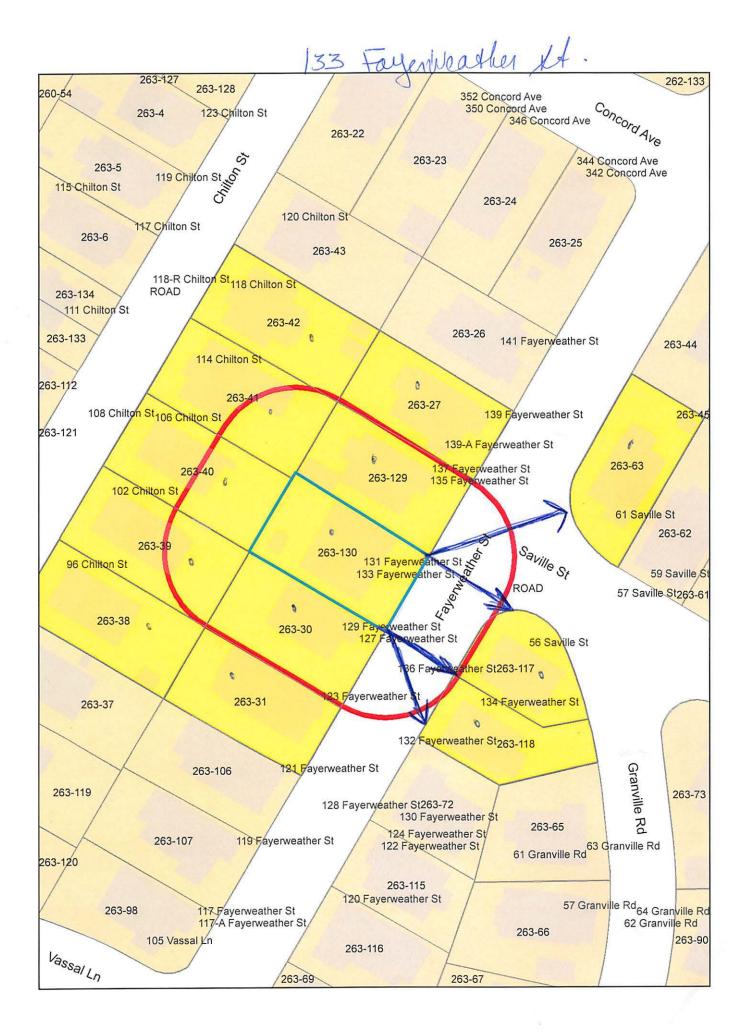




# AFTERNOON (5 PM)



1972 Massachusetts Ave, Cambridge, MA 02140 Tel: 617.354.2501



263-30 K & A O'HANA PROPERTIES LLC 592 HURON AVE., #2 CAMBRIDGE, MA 02138

263-40 DOTTIN, HENRIETTA R. & GERALD A. DOTTIN, JR. 106 CHILTON ST. CAMBRIDGE, MA 02138-6803

263-39 THOMPSON, GLORIA G., REALTY, LLC 82 CHILTON ST CAMBRIDGE, MA 02138

263-129 CORBIN, AMELIA C. TRUSTEE OF AMELIA C. TRUST 191 WILLOW AVE SOMERVILLE, MA 02144

263-31 CHARLES, ROY P. WENDY U CHARLES 123 FAYERWEATHER ST CAMBRIDGE, MA 02138-6812

263-130 133 FAYERWEATHER STREET LLC ONE GARFIELD CIR - UNIT 6 BURLINGTON, MA 01803

133 Fayerweather st

263-38 KANTOR, CALVIN J. & SYLVIA D. KANTOR A LIFE ESTATE 98 CHILTON ST CAMBRIDGE, MA 02138-6803

263-41 LEGARE, CHANTALE 116 CHILTON ST CAMBRIDGE, MA 02138

263-42 HUTCHINSON, GEORGE E., SR., TR THE HUTCHINSON CHILTON TRUST 118 CHILTON ST CAMBRIDGE, MA 02138

263-27 AHERN, KATHLEEN M. 139 FAYERWEATHER ST #139A CAMBRIDGE, MA 02138

263-117 RICHARDS, STUART L. 136 FAYERWEATHER ST CAMBRIDGE, MA 02138 ANDERSON PORTER DESIGN C/O DANIEL P. ANDERSON 1972 MASS AVENUE CAMBRIDGE, MA 02140

263-63 KASSAY, NUMAN & GUMJA KASSAY 61 SAVILLE ST CAMBRIDGE, MA 02138

263-118 BERGSON, JUDITH 30 PRESTON RD. SOMERVILLE, MA 02143

263-30 BARTOV, OMER & WAI-YEE LI 129 FAYERWEATHER ST., UNIT #2 CAMBRIDGE, MA 02138

263-118 BERCU, STEVEN A., TRUSTEE THE STEVEN A. BERCU REV TRUST 132 FAYERWEATHER ST CAMBRIDGE, MA 02138



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA. (617) 349-6100

# BZA

# POSTING NOTICE - PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ENDER SAILLCAY (Print)	Date: 04/21/23
Address: 133 Fayeweather	A.
Case No. BZA - Z14799	
Hearing Date: <u>5/11/23</u>	<i>*</i>

Thank you, Bza Members

# Pacheco, Maria

From:	Bartov, Omer <omer_bartov@brown.edu></omer_bartov@brown.edu>
Sent:	Thursday, April 27, 2023 8:34 AM
То:	Pacheco, Maria
Cc:	Omer Bartov
Subject:	Case No. BZA - 214799 Petition

Dear Board of Zoning,

I am writing to you in regards to Case No. BZA-214799, dealing with a petition presented to the BZA on 133 Fayerweather St Cambridge MA 02138. I live in the adjacent house, 129 Fayerweather St, Cambridge, MA 02138, unit 2, on the second and third floors. The property on 133 Fayerweather was being demolished in what appeared to be a rather chaotic manner during the early spring of 2023. About two months ago all work on the site stopped. The half-demolished house is both a terrible eyesore and seems to present a real and present danger to our own house, as it is clearly structurally unsafe. I have nor idea why the work stopped or when it will resume. Moreover, the extent of the fence surrounding 133 Fayerweather also seems to exceed the area allowed in the zoning agreement.

I will be grateful if this matter is urgently resolved so as to prevent any damage to my property and to remove this public eyesore from the neighborhood.

Your sincerely,

Omer Bartov

Omer Bartov Samuel Pisar Professor of Holocaust and Genocide Studies Department of History Faculty Fellow, Watson Institute for International & Public Affairs Brown University <u>Genocide, the Holocaust, and Israel-Palestine: First-Person History in Times of Crisis</u> <u>The Butterfly and the Axe</u> <u>Tales from the Borderlands: Making and Unmaking the Galician Past</u> <u>Anatomy of a Genocide: The Life and Death of a Town Called Buczacz</u>



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

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# BZA

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Name: ENDER SAILLCAY (Print)	Date: 04/21/23
Address: 133 Fayeweather	A.
Case No. BZA - Z14799	
Hearing Date: <u>5/11/23</u>	<i>*</i>

Thank you, Bza Members