



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 APR -4 AM 10:42

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

**BZA Number: 214799**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X                        Variance:                             Appeal:       

**PETITIONER:** Daniel P Anderson C/O Anderson Porter Design

**PETITIONER'S ADDRESS:** 1972 Massachusetts Avenue, Cambridge, 02140

**LOCATION OF PROPERTY:** 133 Fayerweather St., Cambridge, MA

**TYPE OF OCCUPANCY:** residential two-family                      **ZONING DISTRICT:** Residence B Zone

**REASON FOR PETITION:**

/Demolition more than 25%/

**DESCRIPTION OF PETITIONER'S PROPOSAL:**

Roof collapse and structurally unstable walls resulted in demolition of more than 25% of the existing non-conforming structure

**SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000            Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000            Section: 8.22.2.d (Non-Conforming Structure).

Article: 10.000        Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner (s) / Owner)

DANIEL P. ANDERSON

(Print Name)

Address:

1972 MASS AVE CAMBRIDGE 02140

Tel. No.

6177942371

E-Mail Address:

dan@andersonporter.com

Date: 4/3/23

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

(To be completed by OWNER, signed before a notary, and returned to Secretary of Board of Appeal).

I/We 133 Fayerweather Street LLC  
(OWNER).

Address: One Garfield Circle, Unit 6, Burlington, MA 01803

State that I/We own the property located at 133 Fayerweather Street, Cambridge, MA 02141, which is the subject of this zoning application.

The record title of this property is in the name of 133 Fayerweather Street LLC

\*Pursuant to a deed of duly recorded in the date 01/18/2022, Middlesex South County Registry of Deeds at Book N/A, Page N/A; or Middlesex Registry District of Land Court, Certificate No. 278450 Book 1584 Page 84

*Ozkan Dokmecioglu*  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Ozkan Dokmecioglu personally appeared before me, this 1<sup>st</sup> of April 2023 and made oath that the above statement is true.

*[Signature]* Notary

Commission expires 10/19/2027 (Notary  **GENESIS I. RODRIGUEZ**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
October 19, 2029

Ownership is not shown in recorded deed, e.g. if by court order, recent inheritance, please include documentation.

**BZA Application Form**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 133 Fayerweather St , Cambridge, MA (location) would not be a detriment to the public interest because:**

**A)** Requirements of the Ordinance can or will be met for the following reasons:

The proposed project is under construction permitted by a previously approved special permit. No change is proposed to the approved project design. Demolition to the existing structure is greater than 25% due to a roof collapse under snow load and the necessary removal of structurally damaged walls to make the building safe.

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No change to the previously approved project which improved the overall design and construction of the existing two-family residential building. No increase or change in traffic is proposed.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No change to the previously approved project which improved the overall design and construction of the existing two-family residential building. The repair and replacement of structurally damaged and unsound building elements will ensure the continued operation of and safety of adjacent uses.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No change to the previously approved project. The repair and replacement of structurally damaged and unsound building elements will eliminate hazard or nuisance to the health, safety and welfare of its occupants or citizens.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed project will not impair the integrity of the district or otherwise derogate from the intent or purpose of this ordinance as the previously approved project improves the

overall character of the residence. The unavoidable demolition of unsafe structure exceeds the 25% limit but is necessary for the safety of workers and abutters and to restore two residences to secure and well built condition.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**BZA Application Form****DIMENSIONAL INFORMATION**

**Applicant:** Daniel P Anderson  
**Location:** 133 Fayerweather St., Cambridge, MA  
**Phone:** 6177942371

**Present Use/Occupancy:** residential two-family  
**Zone:** Residence B Zone  
**Requested Use/Occupancy:** residential two-family

|   |                   | <b><u>Existing Conditions</u></b> | <b><u>Requested Conditions</u></b> | <b><u>Ordinance Requirements</u></b> |        |
|---|-------------------|-----------------------------------|------------------------------------|--------------------------------------|--------|
| <b><u>TOTAL GROSS FLOOR AREA:</u></b>                             |                   | 4505.5                            | 4505.5                             | 2386                                 | (max.) |
| <b><u>LOT AREA:</u></b>   |                   | 4772                              | 477                                | 5000                                 | (min.) |
| <b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b> |                   | 0.95                              | 0.95                               | 0.5                                  |        |
| <b><u>LOT AREA OF EACH DWELLING UNIT</u></b>                      |                   | 2386                              | 2386                               | 2500                                 |        |
| <b><u>SIZE OF LOT:</u></b>  | <b>WIDTH</b>      | 41.17                             | 41.17                              | 50                                   |        |
|   | <b>DEPTH</b>      | 91.95                             | 91.95                              | 100                                  |        |
| <b><u>SETBACKS IN FEET:</u></b>                                   | <b>FRONT</b>      | 22.9                              | 22.9                               | 15.0                                 |        |
|   | <b>REAR</b>       | 28.4                              | 28.4                               | 25                                   |        |
|   | <b>LEFT SIDE</b>  | 7.4                               | 7.4                                | 12.5                                 |        |
|   | <b>RIGHT SIDE</b> | 3.2                               | 3.2                                | 7.5                                  |        |
| <b><u>SIZE OF BUILDING:</u></b>                                   | <b>HEIGHT</b>     | 34.75                             | 34.75                              | 35.0                                 |        |
|   | <b>WIDTH</b>      | 40.65                             | 40,65                              | NA                                   |        |
|   | <b>LENGTH</b>     | 30.27                             | 30.27                              | NA                                   |        |
| <b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>             |                   | 63                                | 63                                 | 40                                   |        |
| <b><u>NO. OF DWELLING UNITS:</u></b>                              |                   | 2                                 | 2                                  | 1                                    |        |
| <b><u>NO. OF PARKING SPACES:</u></b>                              |                   | 0                                 | 0                                  | 0                                    |        |
| <b><u>NO. OF LOADING AREAS:</u></b>                               |                   | 0                                 | 0                                  | 0                                    |        |
| <b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>               |                   | NA                                | NA                                 | NA                                   |        |

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

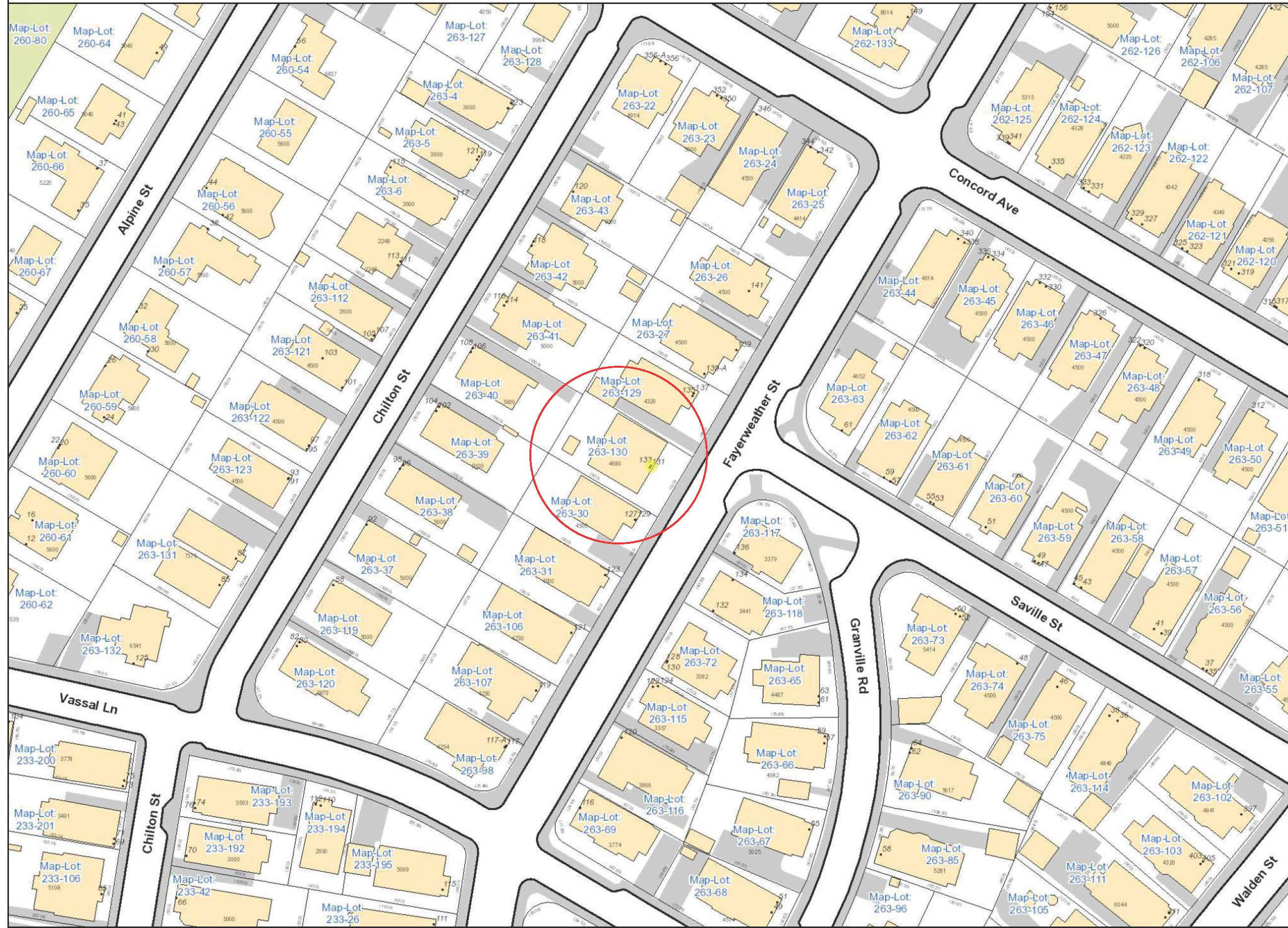
NA

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



LEGEND

- Address
- Rail
- Building Footprints
- Parcels
- Paved Surfaces
  - Paved Roads
  - Bridges
  - Unpaved Roads
  - Unpaved Parking
  - Sidewalks
  - Driveways
  - Alleys
  - Other Paved Surface
  - Public Footpath



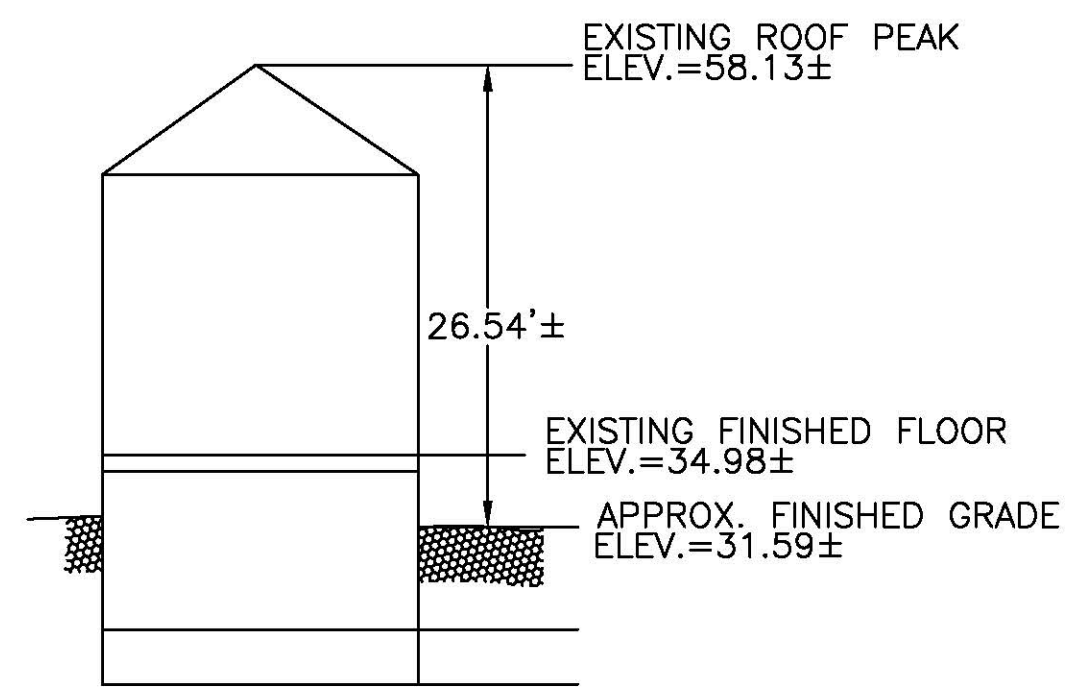
City of Cambridge  
Massachusetts

1" = 69 ft

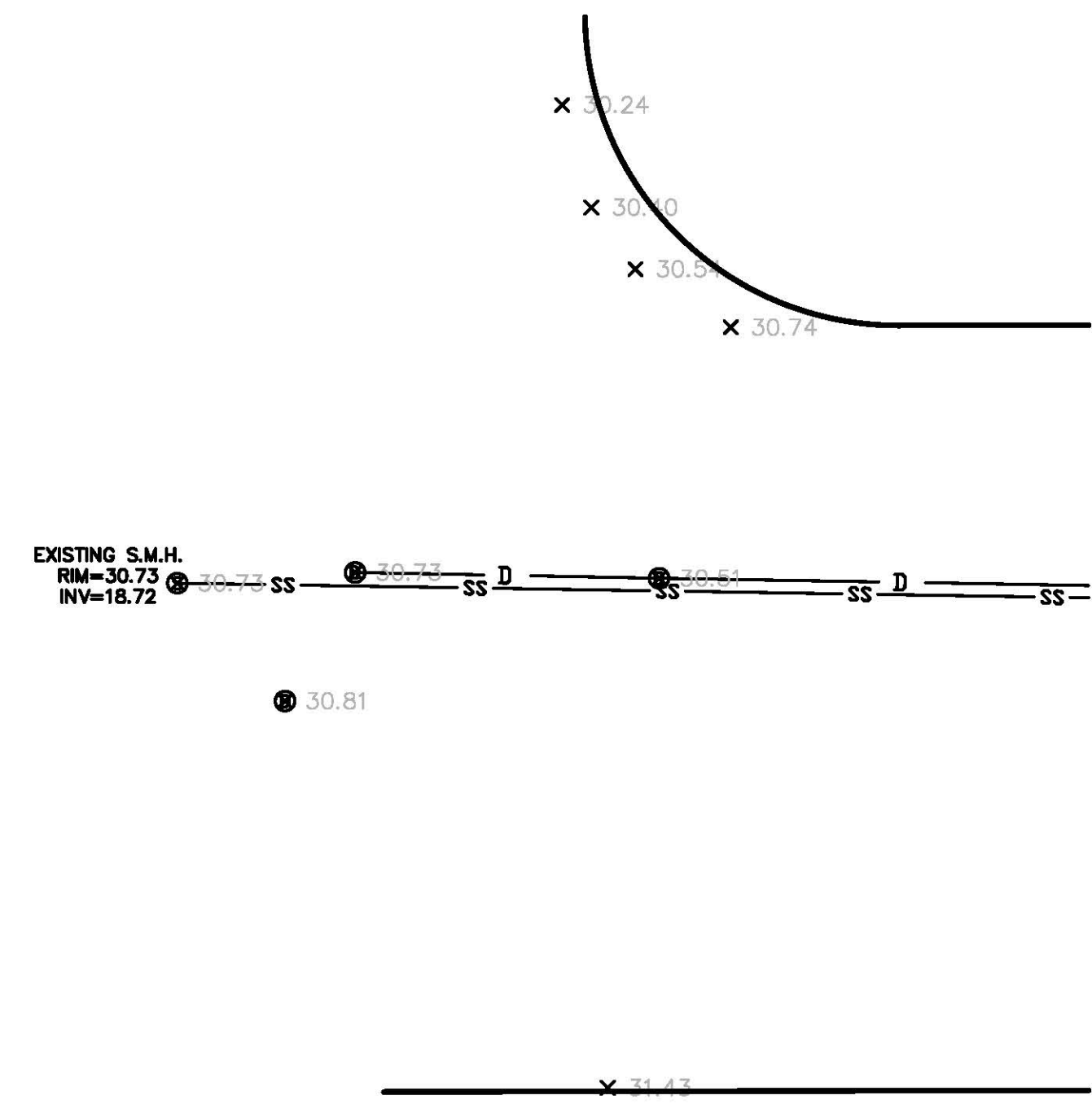
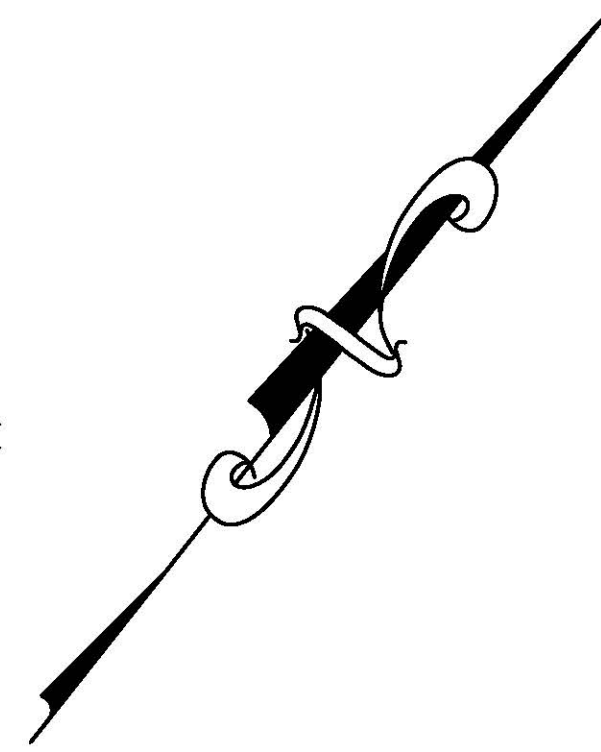
All data is provided for graphic representation only. The City of Cambridge expressly disclaims all warranties of any type, expressed or implied, including, but not limited to, any warranty as to the accuracy of the data, merchantability, or fitness for a particular purpose.

[www.cambridgema.gov/gis](http://www.cambridgema.gov/gis)

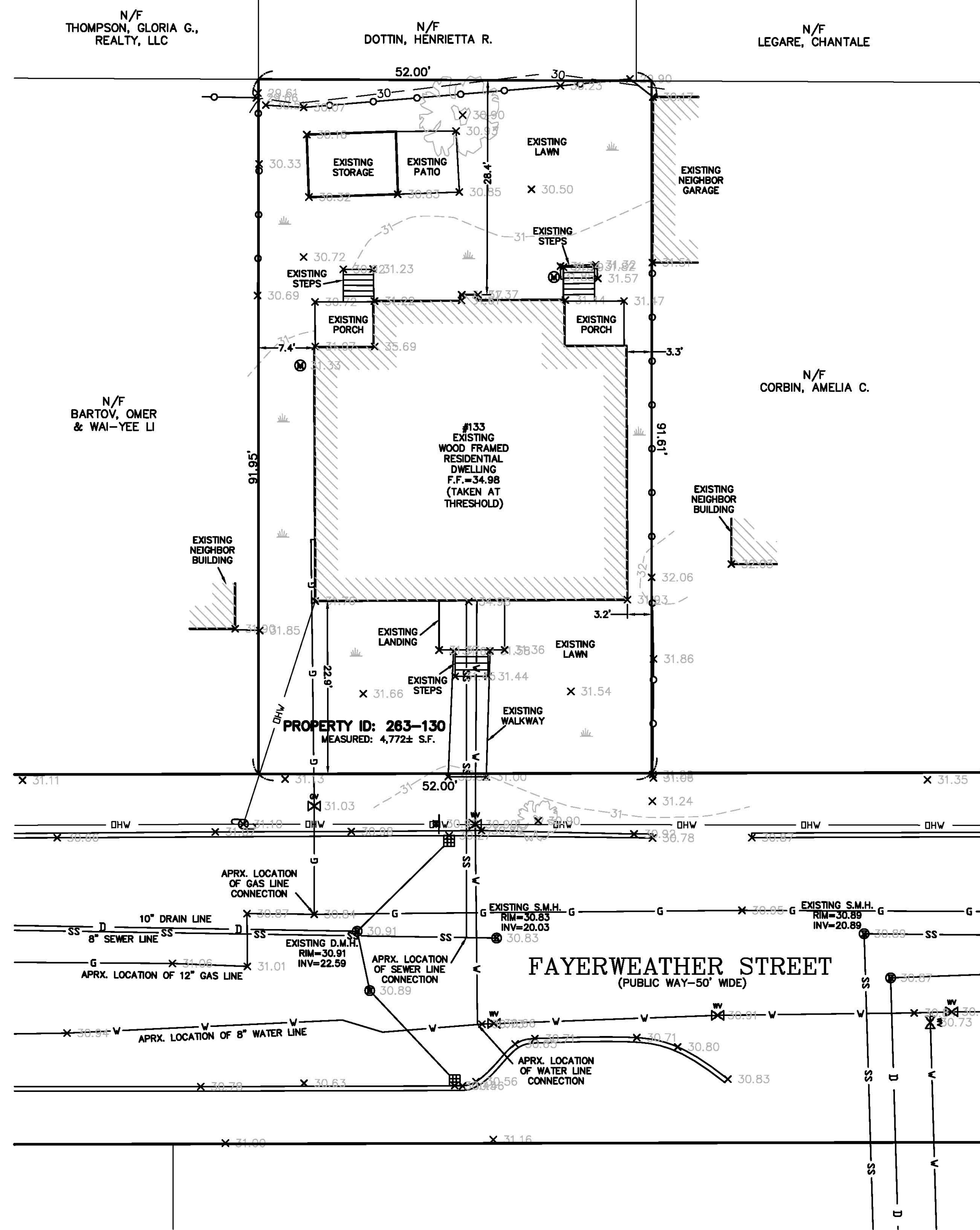
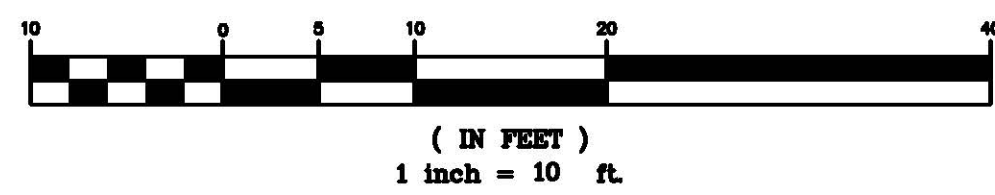




EXISTING PROFILE  
NOT TO SCALE



GRAPHIC SCALE



| LEGEND |                           |
|--------|---------------------------|
| □      | BOUND                     |
| ○      | IRON PIN/PIPE             |
| ○      | STONE POST                |
| ⊗      | TREE                      |
| ⌒      | TREE STUMP                |
| ⊕      | SHRUBS/FLOWERS            |
| ⊖      | SIGN                      |
| ○      | BOLLARD                   |
| ⊙      | SEWER MANHOLE             |
| ⊕      | DRAIN MANHOLE             |
| ⊗      | CATCH BASIN               |
| ⊙      | WATER MANHOLE             |
| ⊖      | WATER VALVE               |
| ⊗      | HYDRANT                   |
| ⊖      | GAS VALVE                 |
| ⊙      | ELECTRIC MANHOLE          |
| ⊕      | ELECTRIC HANDHOLE         |
| ⊖      | UTILITY POLE              |
| ⊗      | LIGHT POLE                |
| ⊙      | MANHOLE                   |
| ⊗      | SPOT GRADE                |
| TW     | TOP OF WALL               |
| BW     | BOTTOM OF WALL            |
| ▨      | EXISTING BUILDING         |
| ▨      | RETAINING WALL            |
| ▨      | STONE WALL                |
| ○      | FENCE                     |
| ⌒      | TREE LINE                 |
| —S—    | SEWER LINE                |
| —D—    | DRAIN LINE                |
| —V—    | WATER LINE                |
| —G—    | GAS LINE                  |
| —E—    | UNDERGROUND ELECTRIC LINE |
| —OHW—  | OVERHEAD WIRES            |
| —145—  | CONTOUR LINE (MJR)        |
| —146—  | CONTOUR LINE (MNR)        |

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 11/15/2021.
2. DEED REFERENCE: DOC# 792718, BOOK 01053, PAGE 197  
PLAN REFERENCE 1: BOOK 300, PAGE 505, CERTIFICATE 48137, PLAN No. 16992A  
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.

|                    |   |      |                       |
|--------------------|---|------|-----------------------|
| SCALE<br>1"=10'    |   |      |                       |
| DATE<br>12/08/21   | REV   | DATE | REVISION              |
| SHEET<br>1         |   |      | BY                    |
| PLAN NO.<br>1 OF 1 | 133 FAYERWEATHER STREET<br>CAMBRIDGE<br>MASSACHUSETTS   |      |                       |
| CLIENT:            | EXISTING CONDITIONS<br>PLAN   |      |                       |
| DRAWN BY<br>OB     | <b>PETER NOLAN &amp; ASSOCIATES LLC</b><br>LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS<br>80 JEWETT STREET, SUITE 2 NEWTON, MA 02458<br>PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691<br>EMAIL: pnolan@pnasurveyors.com |      |                       |
| CHKD BY<br>P.J.N   |   |      |                       |
| APPD BY<br>P.J.N   |   |      |                       |
|                    |   |      |                       |
|                    |   |      | SHEET NO.<br><b>1</b> |



**SPECIAL PERMIT**

| REVISIONS |             |      |
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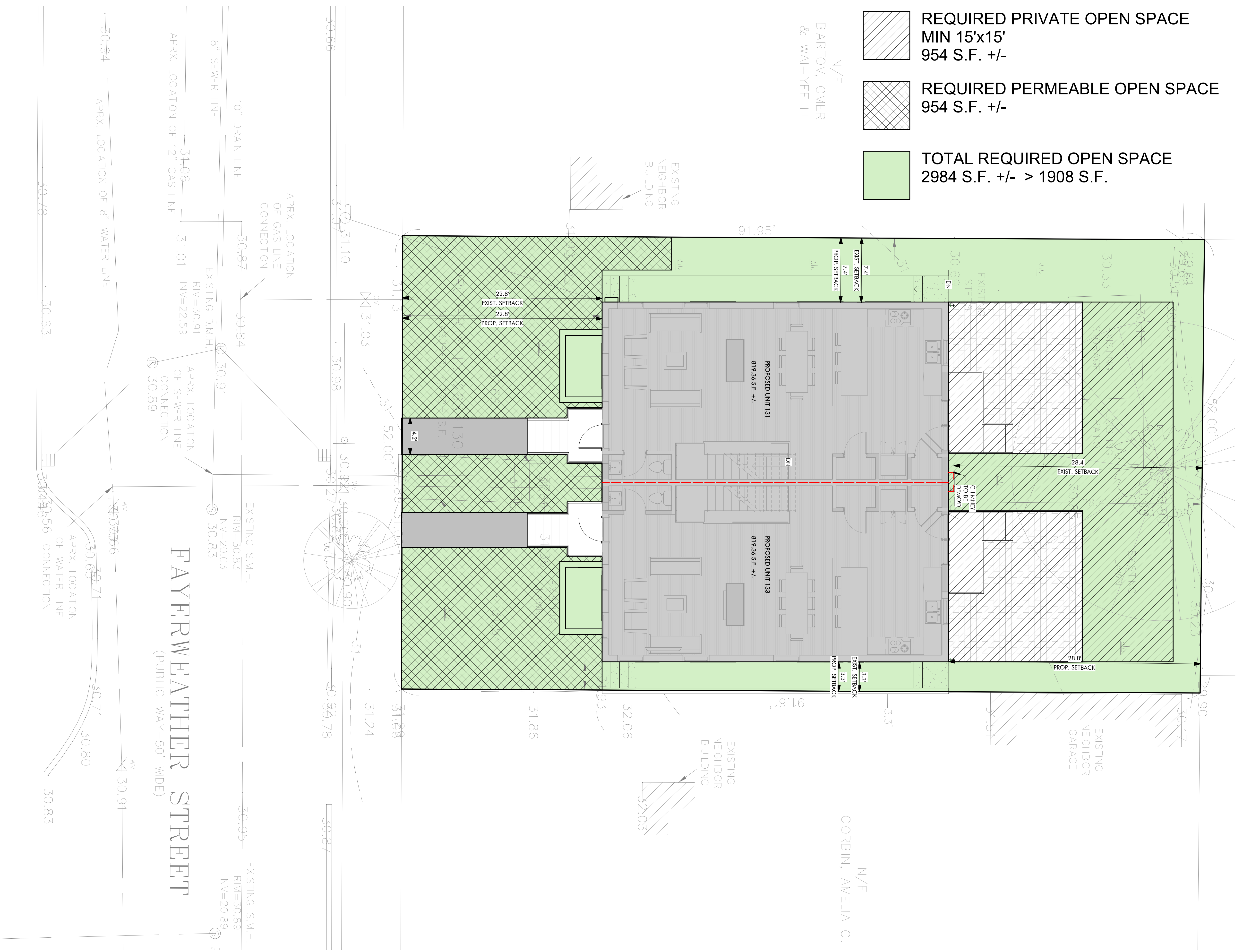
**AndersonPorterDesign**  
1972 Massachusetts Ave, 4th Floor  
Cambridge, MA 02140  
Tel. 617.354.2501 Fax. 617.354.2509

Project: **133 FAYERWEATHER**  
Address: **133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138**

Title: **PROPOSED SITE PLAN**

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No. \_\_\_\_\_  
Date: 2022.06.01  
Scale: 3/16" = 1'-0"  
Drawn by: AR.S.

**L1.1**



**REQUIRED PRIVATE OPEN SPACE**  
**MIN 15'x15'**  
**954 S.F. +/-**

**REQUIRED PERMEABLE OPEN SPACE**  
**954 S.F. +/-**

**TOTAL REQUIRED OPEN SPACE**  
**2984 S.F. +/- > 1908 S.F.**

**FAYERWEATHER STREET**  
(PUBLIC WAY-50' WIDE)

N/F  
CORBIN, AMELIA C.

N/F  
BARTOV, OMER  
& WAI-YEE LI

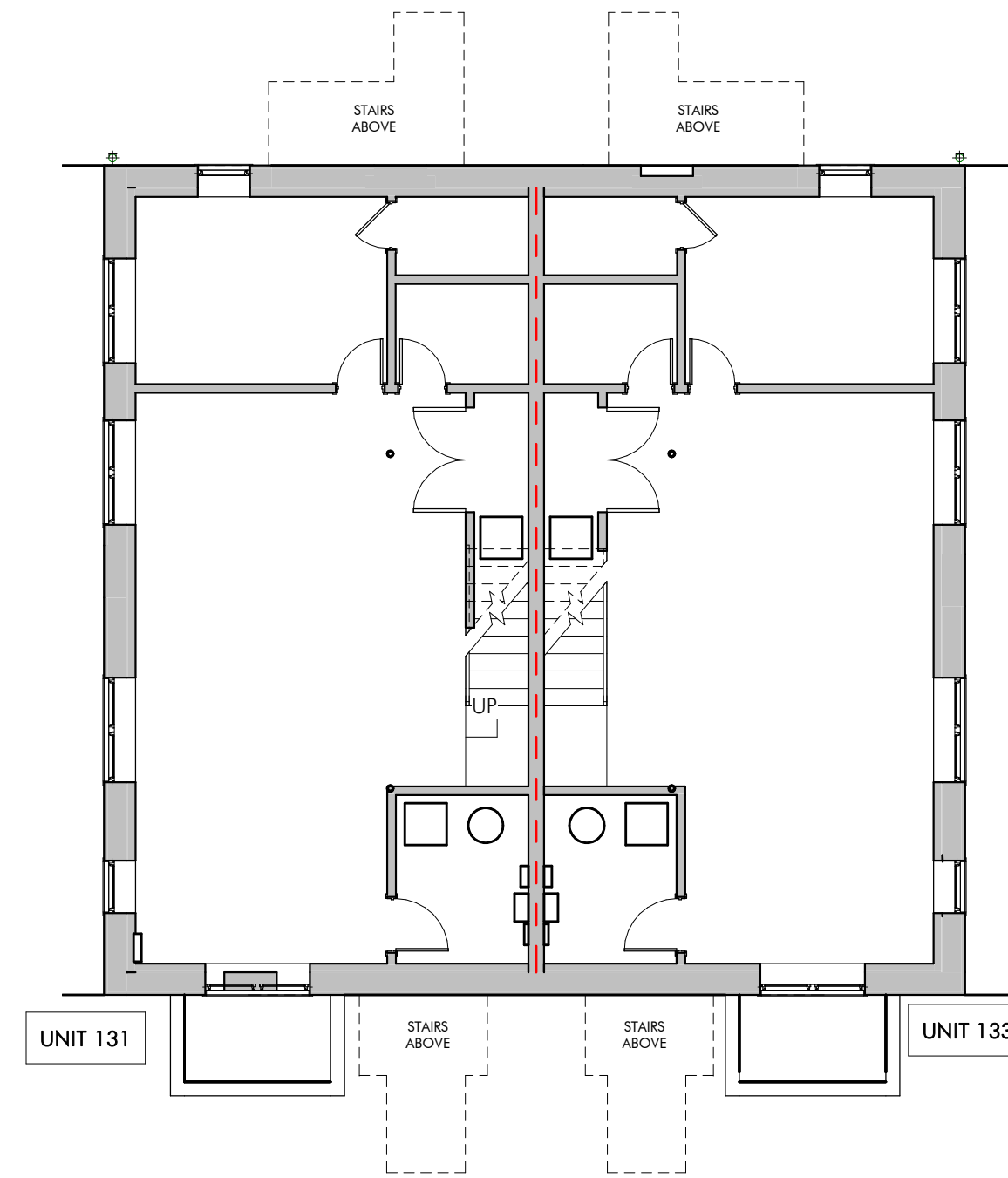
## ZONING CHART - CAMBRIDGE

| LOT SIZE:                      | ALLOWED / REQUIRED                                    | EXISTING  | PROPOSED  | COMPLIANCE              |
|--------------------------------|---|---|---|-------------------------|
| ZONE                           | B ZONE  | B ZONE  | B ZONE  | COMPLIES                |
| USE                            | RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING | RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING | RESIDENTIAL / SINGLE AND TWO-FAMILY DETACHED DWELLING | COMPLIES                |
| MIN LOT SIZE                   | 5,000 S.F.  | 4,772 +/- S.F.  | 4,772 +/- S.F.  | EXISTING NON CONFORMING |
| MIN LOT AREA PER DWELLING      | 2,500 S.F.  | 2,386 S.F.  | 2,386 S.F.  | EXISTING NON CONFORMING |
| MAX FLOOR AREA RATIO (FAR)     | 0.50  | 0.64  | 0.87  | EXISTING NON CONFORMING |
| MAX BUILDING HEIGHT            | 35'   | 27.2'   | 34.8'   | COMPLIES                |
| MIN. YARD SETBACKS             |   |   |   |                         |
| FRONT                          | 15'   | 22.9'   | 22.9'   | COMPLIES                |
| RIGHT SIDE                     | 7.5' SUM TO 20'                                       | 3.2'  | 3.2'  | EXISTING NON CONFORMING |
| LEFT SIDE                      | 7.5' SUM TO 20'                                       | 7.4'  | 7.4'  | EXISTING NON CONFORMING |
| REAR                           | 25'   | 28.4'   | 28.4'   | COMPLIES                |
| MIN LOT WIDTH                  | 50'   | 52'   | 52'   | COMPLIES                |
| PARKING REQUIREMENTS           | 1 PER DWELLING UNIT                                   | 0 SPOTS   | 0 SPOTS   | EXISTING NON CONFORMING |
| TOTAL OPEN SPACE, MIN % OF LOT | 40% = 1908.80 S.F.                                    | 63% = 2994.21 S.F. +/-                                | 63% = 2994.21 S.F. +/-                                | COMPLIES                |
| PRIVATE OPEN SPACE             | 20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)           | 56% = 2691.26 S.F. +/-                                | 56% = 2691.26 S.F. +/-                                | COMPLIES                |
| PERMEABLE OPEN SPACE           | 20% = 954.40 S.F. (50% OF TOTAL OPEN SPACE)           | 25% = 1175.45 S.F. +/-                                | 25% = 1175.45 S.F. +/-                                | COMPLIES                |
| BICYCLE PARKING                | N/A   | 0 SPOTS   | 0 SPOTS   | COMPLIES                |

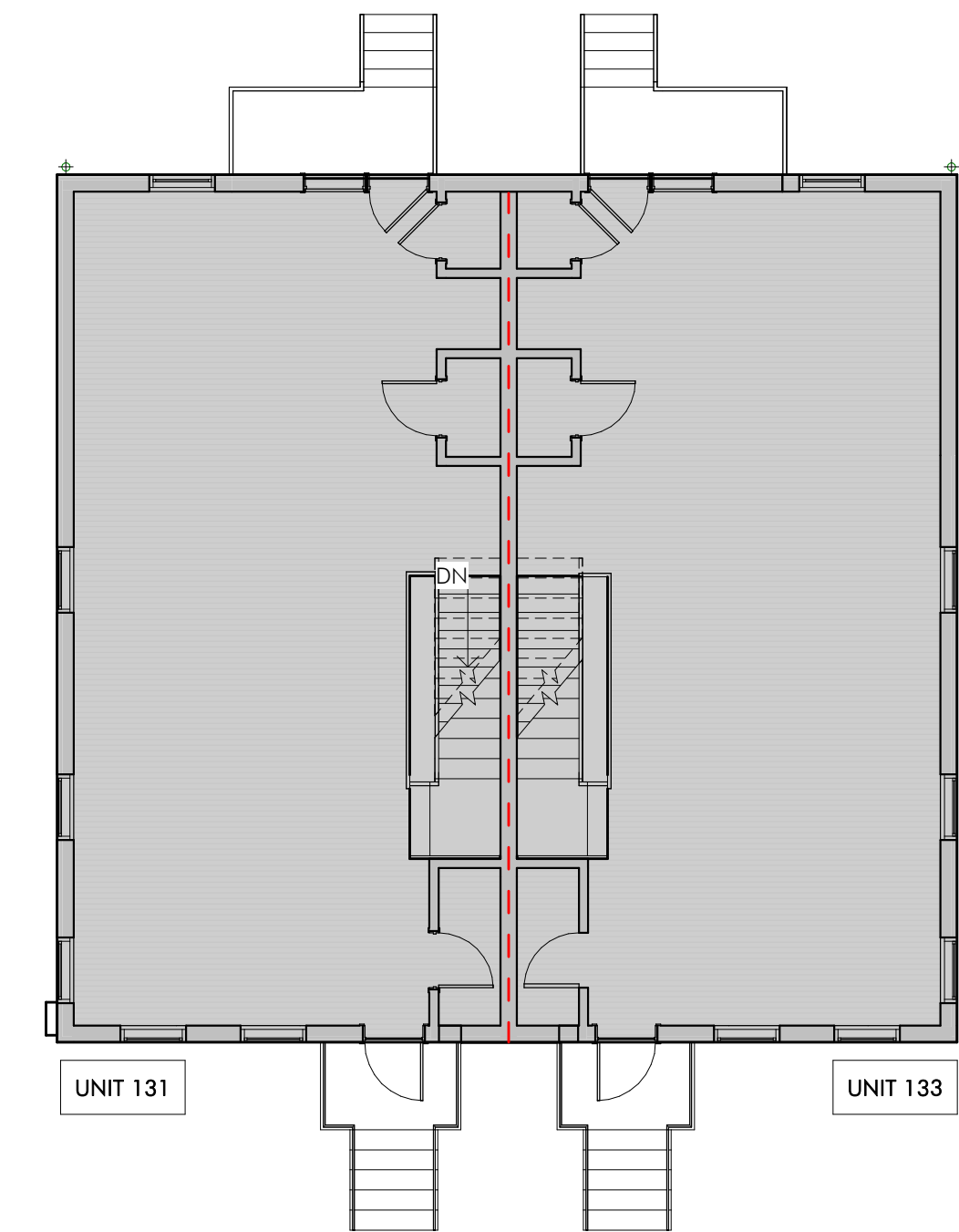
| AREA CALCULATIONS      | EXISTING     | PROPOSED     |
|------------------------|--------------|--------------|
| BASEMENT UNIT 01 (N/A) | N/A          | N/A          |
| FIRST FLOOR UNIT 01    | 820          | 820          |
| SECOND FLOOR UNIT 01   | 717          | 717          |
| THIRD FLOOR UNIT 01    | N/A          | 523          |
| <b>TOTAL (UNIT 01)</b> | <b>1,537</b> | <b>2,060</b> |
| BASEMENT UNIT 02 (N/A) | N/A          | N/A          |
| FIRST FLOOR UNIT 02    | 813          | 813          |
| SECOND FLOOR UNIT 02   | 711          | 711          |
| THIRD FLOOR UNIT 02    | N/A          | 518          |
| <b>TOTAL (UNIT 02)</b> | <b>1,524</b> | <b>2,042</b> |
| <b>GRAND TOTAL</b>     | <b>3,061</b> | <b>4,102</b> |

N/A; BASEMENT AREA IS EXCLUDED FROM GROSS FLOOR AREA PER ARTICLE 2.

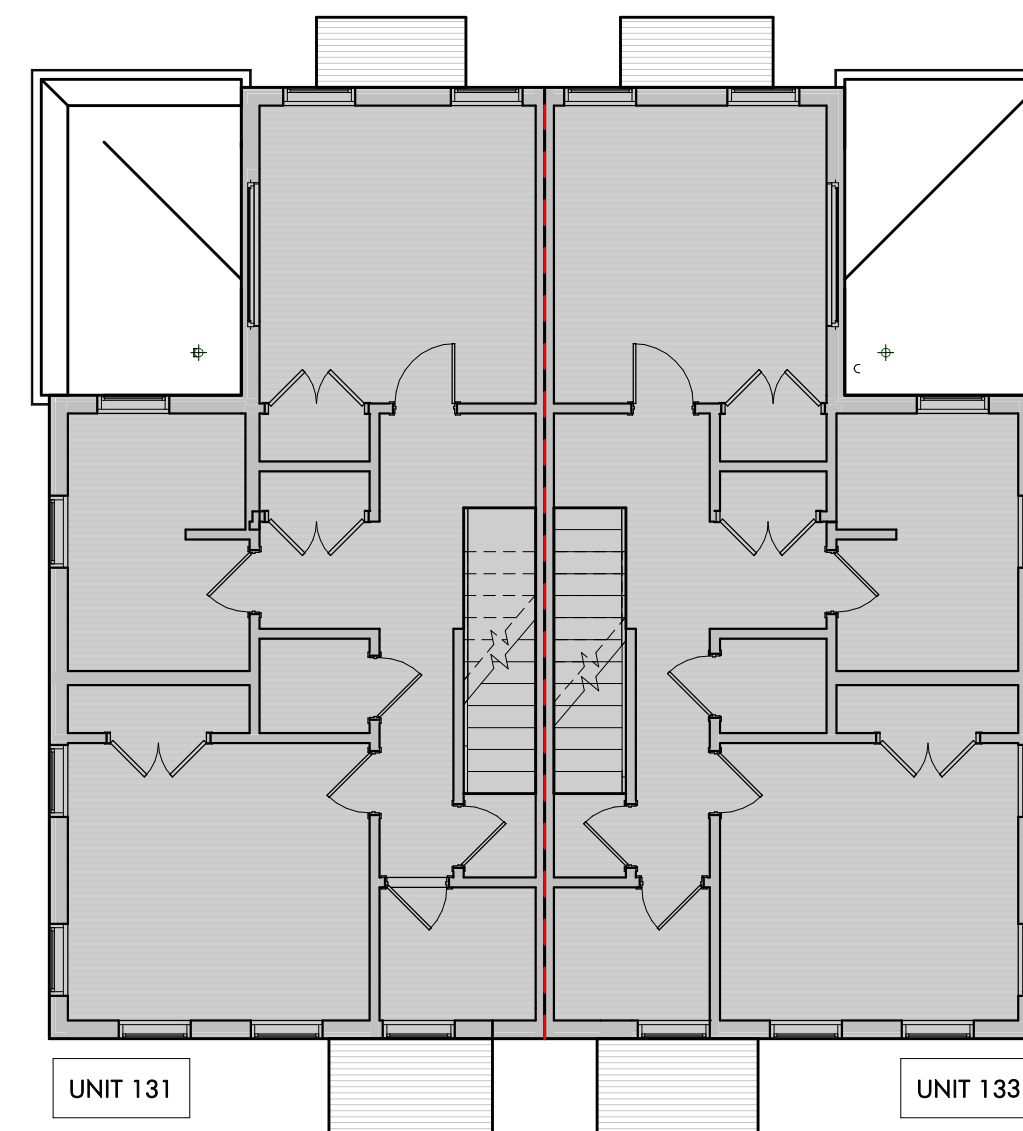
UNIT 1 - LEFT  
UNIT 2 - RIGHT



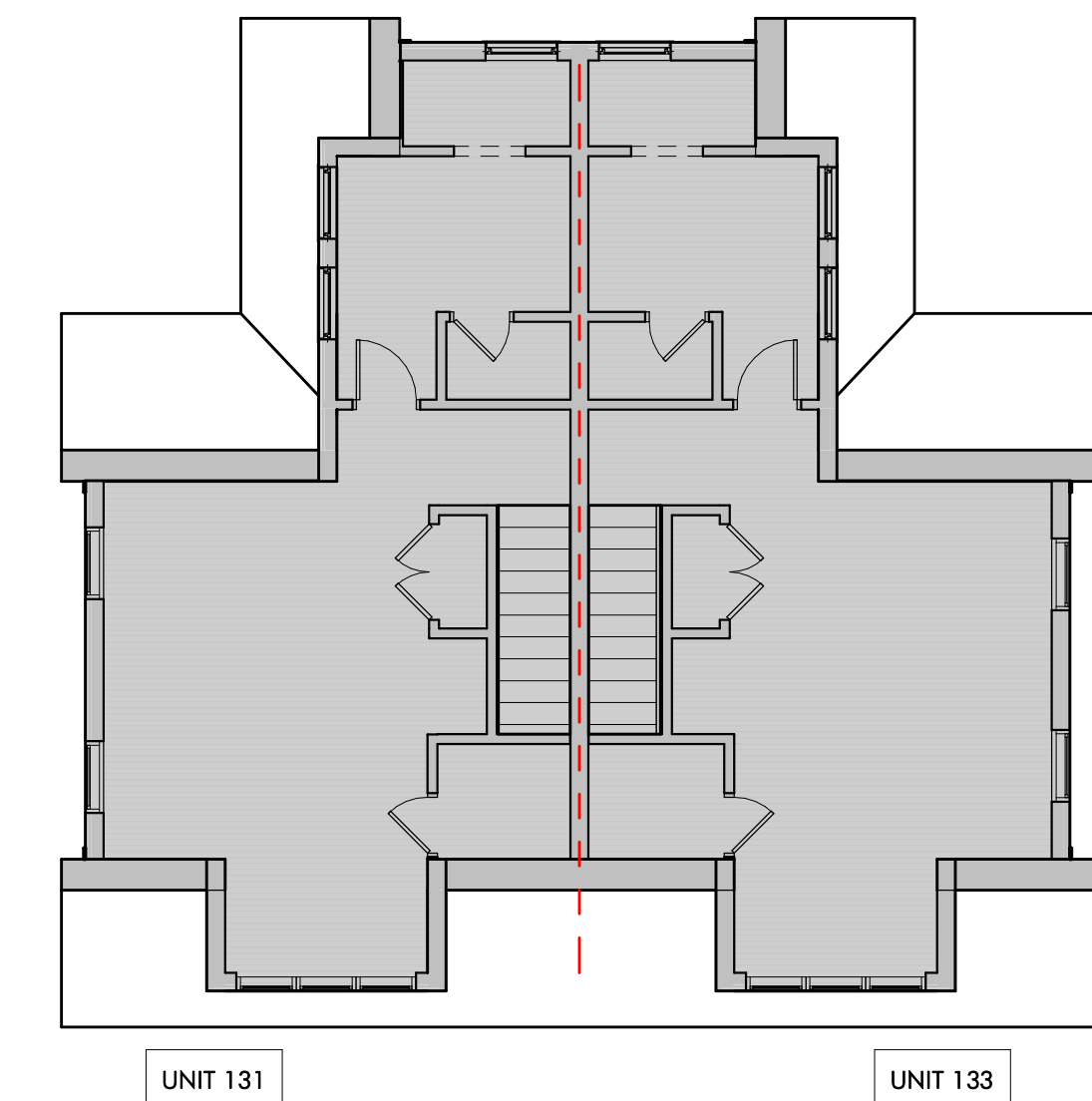
1 BASEMENT ZONING  
1/8" = 1'-0"



2 FIRST PLAN ZONING  
1/8" = 1'-0"



3 SECOND FLOOR ZONING  
1/8" = 1'-0"



4 THIRD FLOOR ZONING  
1/8" = 1'-0"



5 AREA ELEVATION  
1/4" = 1'-0"

### SPECIAL PERMIT

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AndersonPorterDesign  
1972 Massachusetts Ave, 4th Floor  
Cambridge, MA 02140  
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: ZONING COMPLIANCE

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: As indicated  
Drawn by: A.R.S.

**SPECIAL PERMIT**

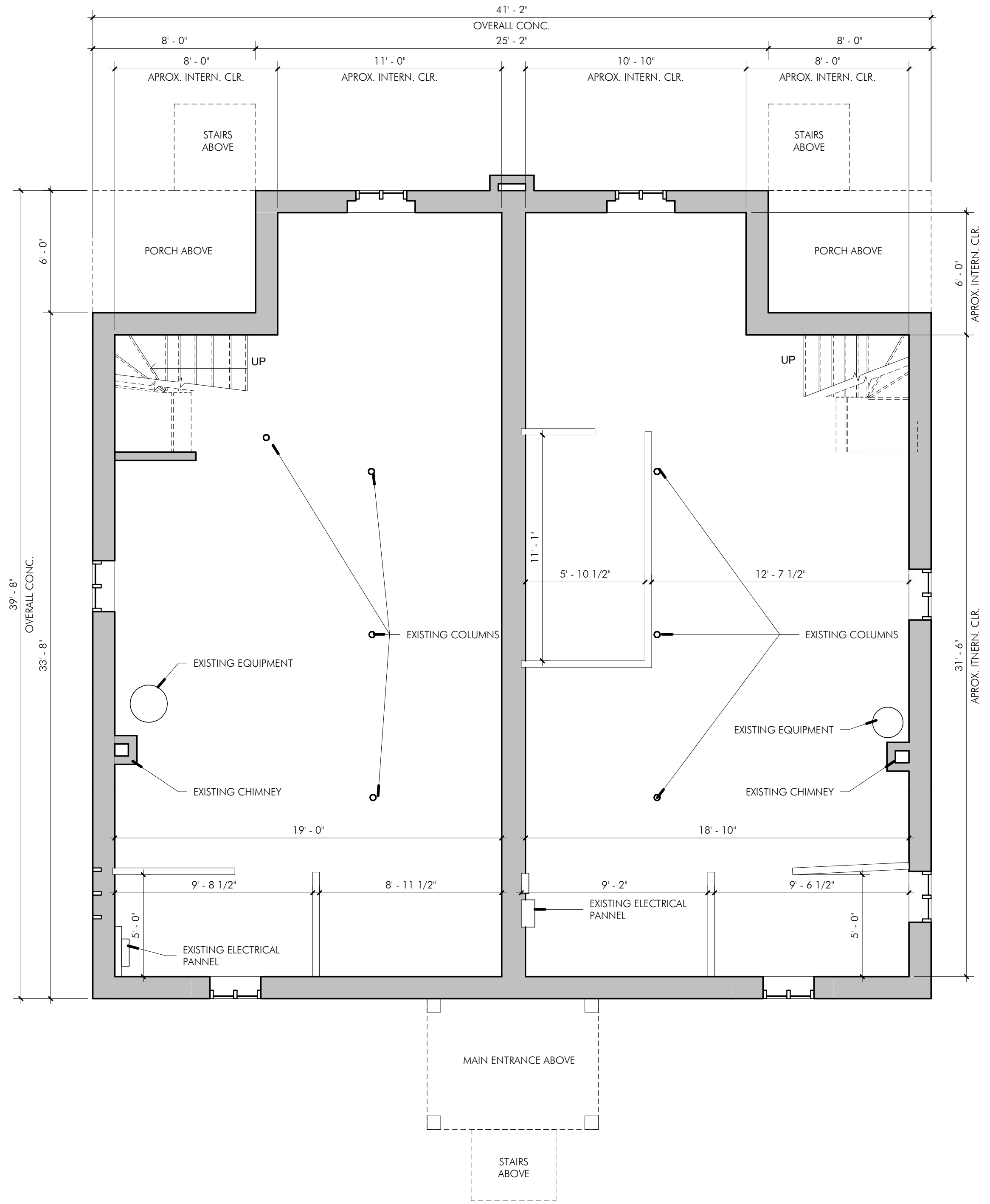
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**AndersonPorterDesign**  
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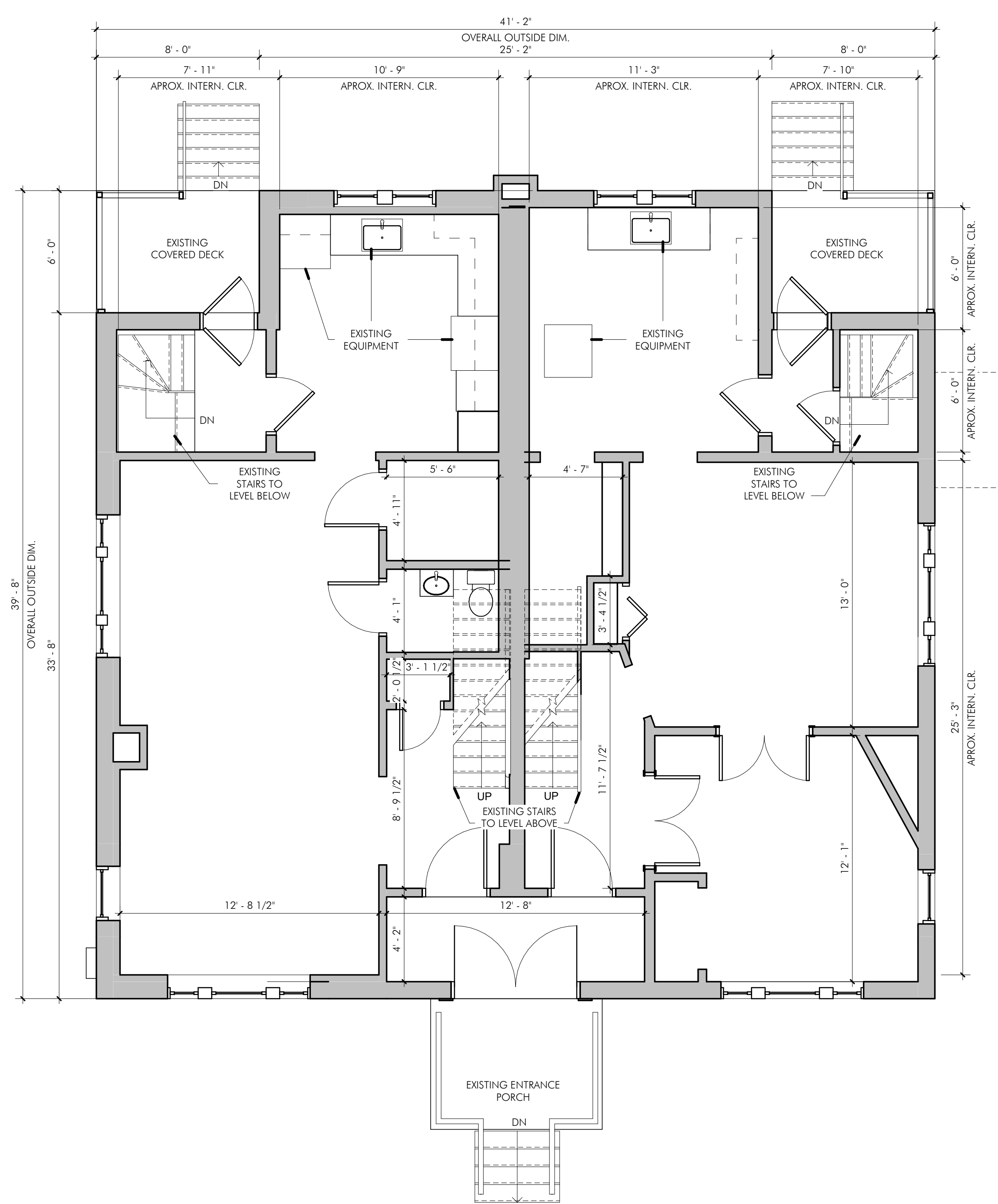
Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: EXISTING FLOOR PLANS

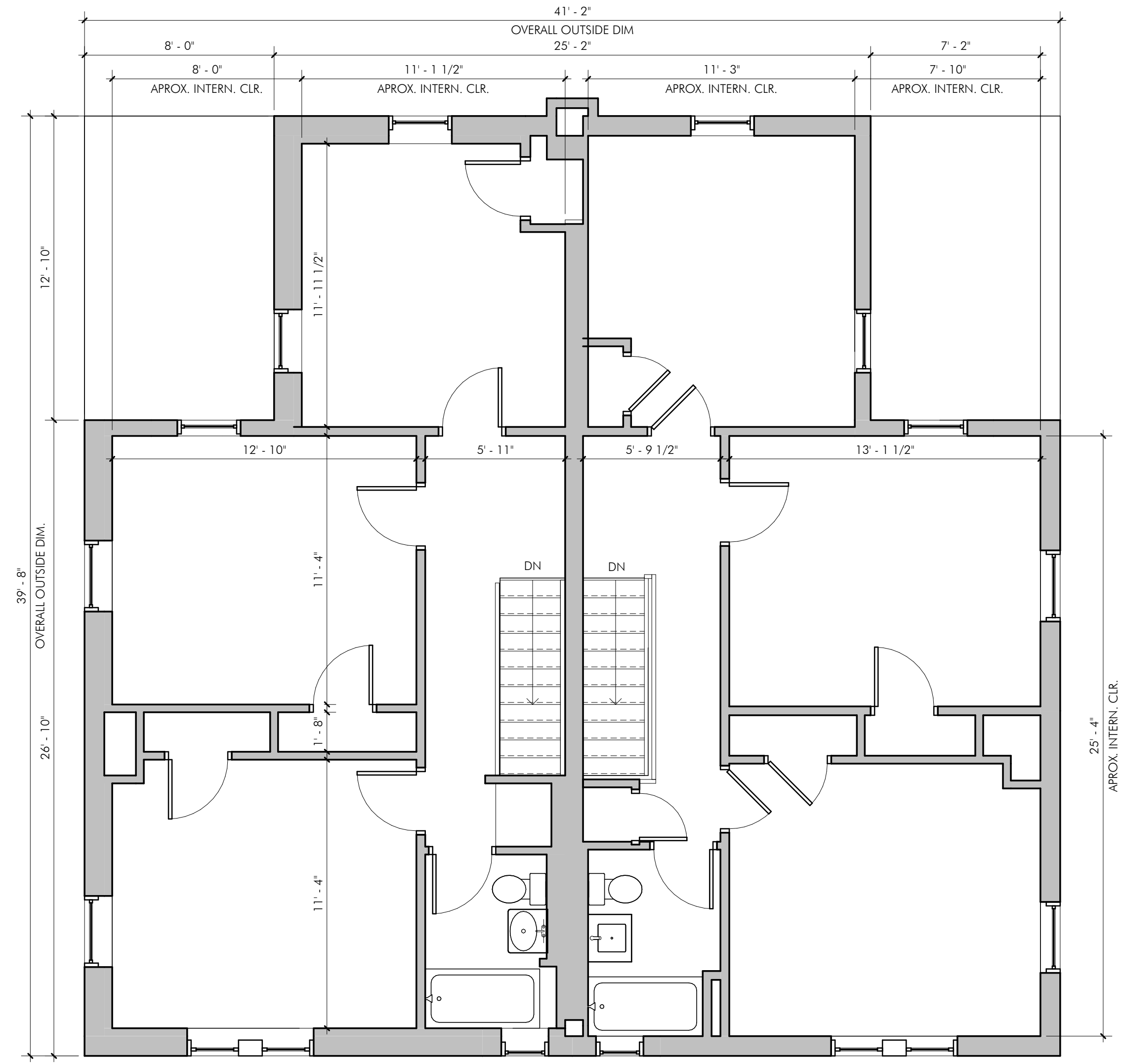
Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: 1/4" = 1'-0" **AX1.1**  
Drawn by: A.R.S.



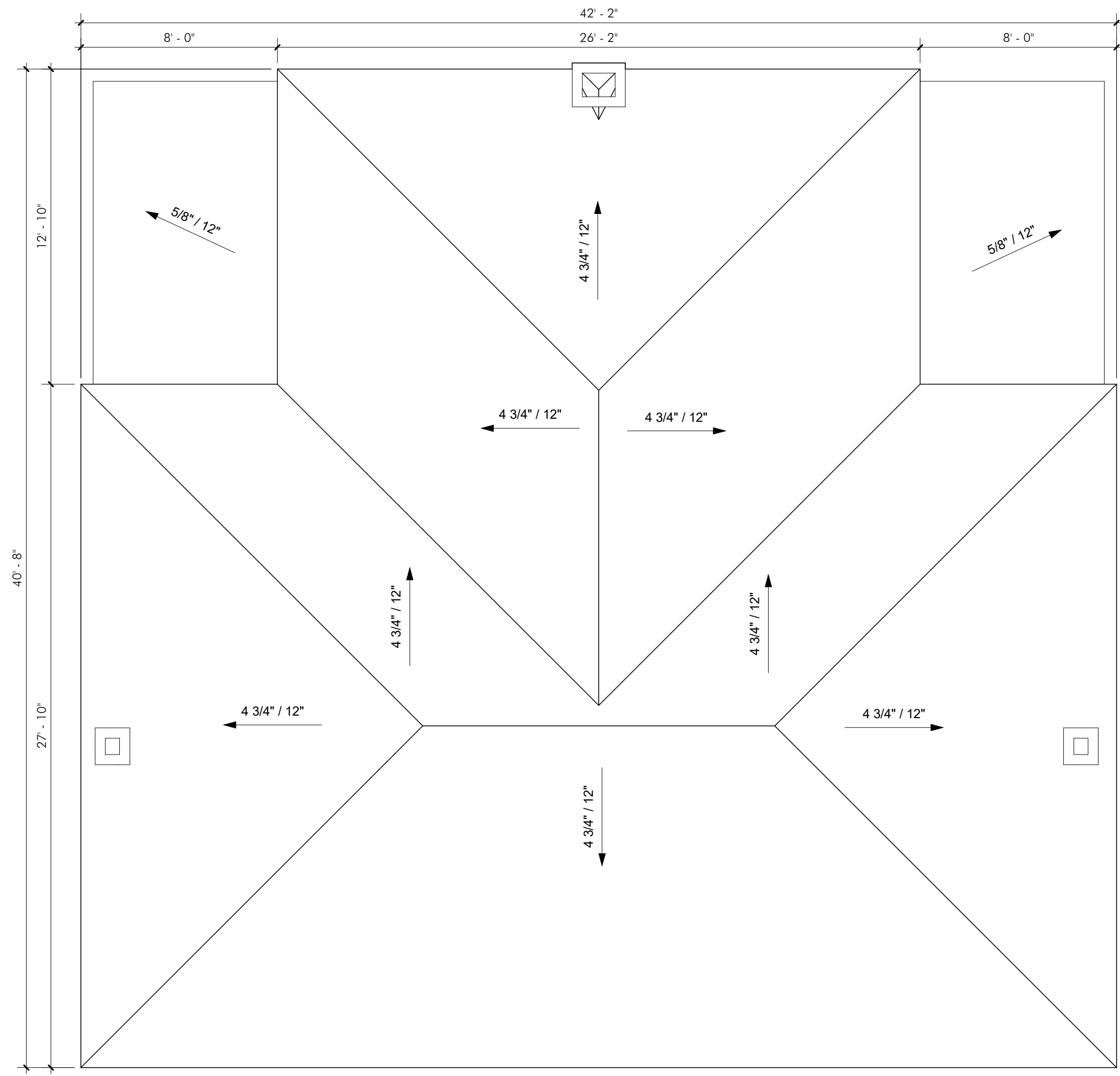
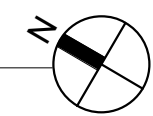
① EXISTING BASEMENT  
1/4" = 1'-0"



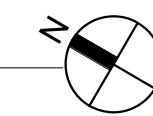
② EXISTING FIRST FLOOR  
1/4" = 1'-0"



① EXISTING SECOND FLOOR  
1/4" = 1'-0"



② EXISTING ROOF  
1/4" = 1'-0"



SPECIAL PERMIT

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Project:  
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Address:  
**133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138**

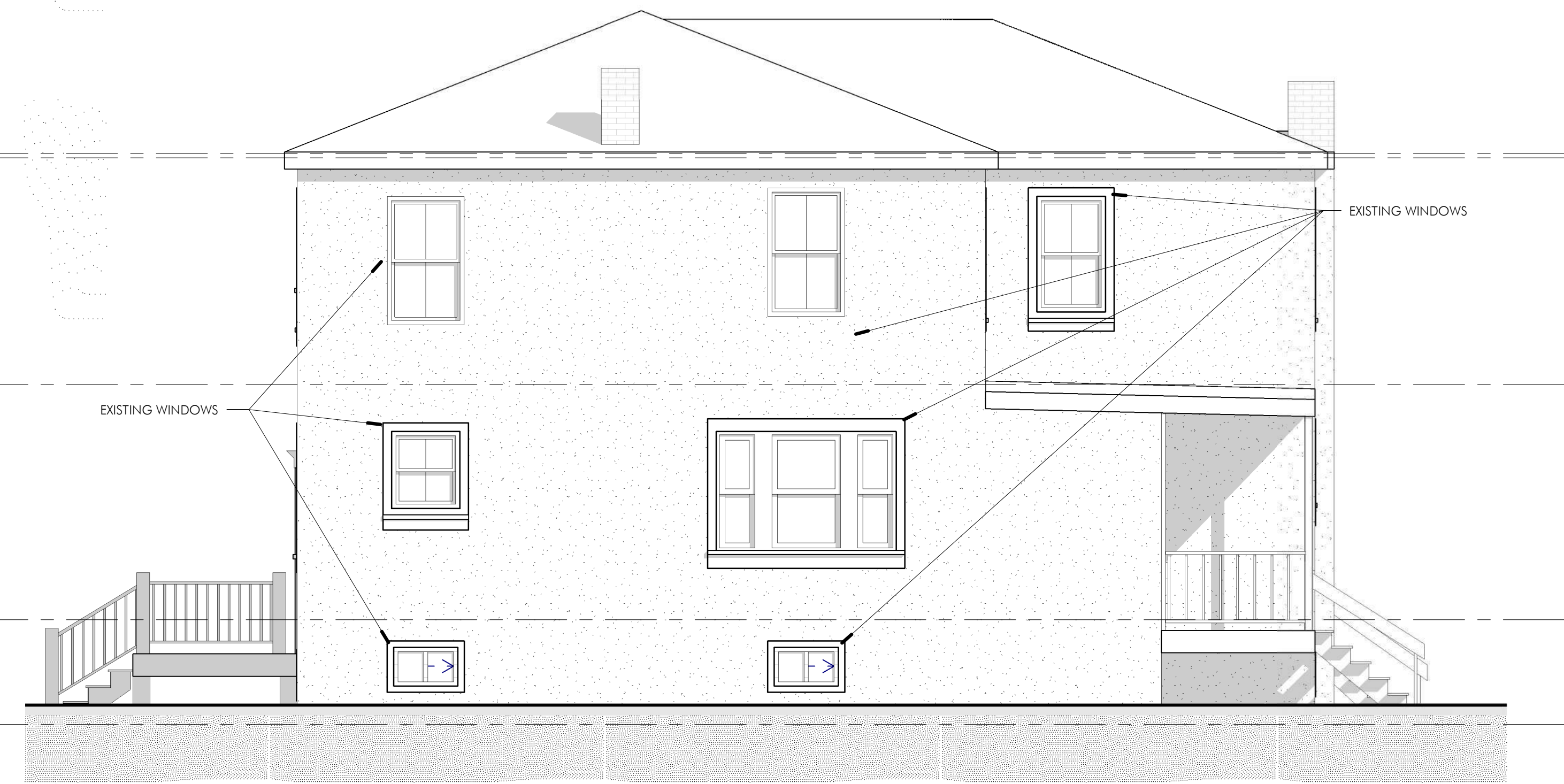
Title:  
**EXISTING FLOOR PLANS**

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: 1/4" = 1'-0"  
Drawn by: AR.S.

**AX1.2**



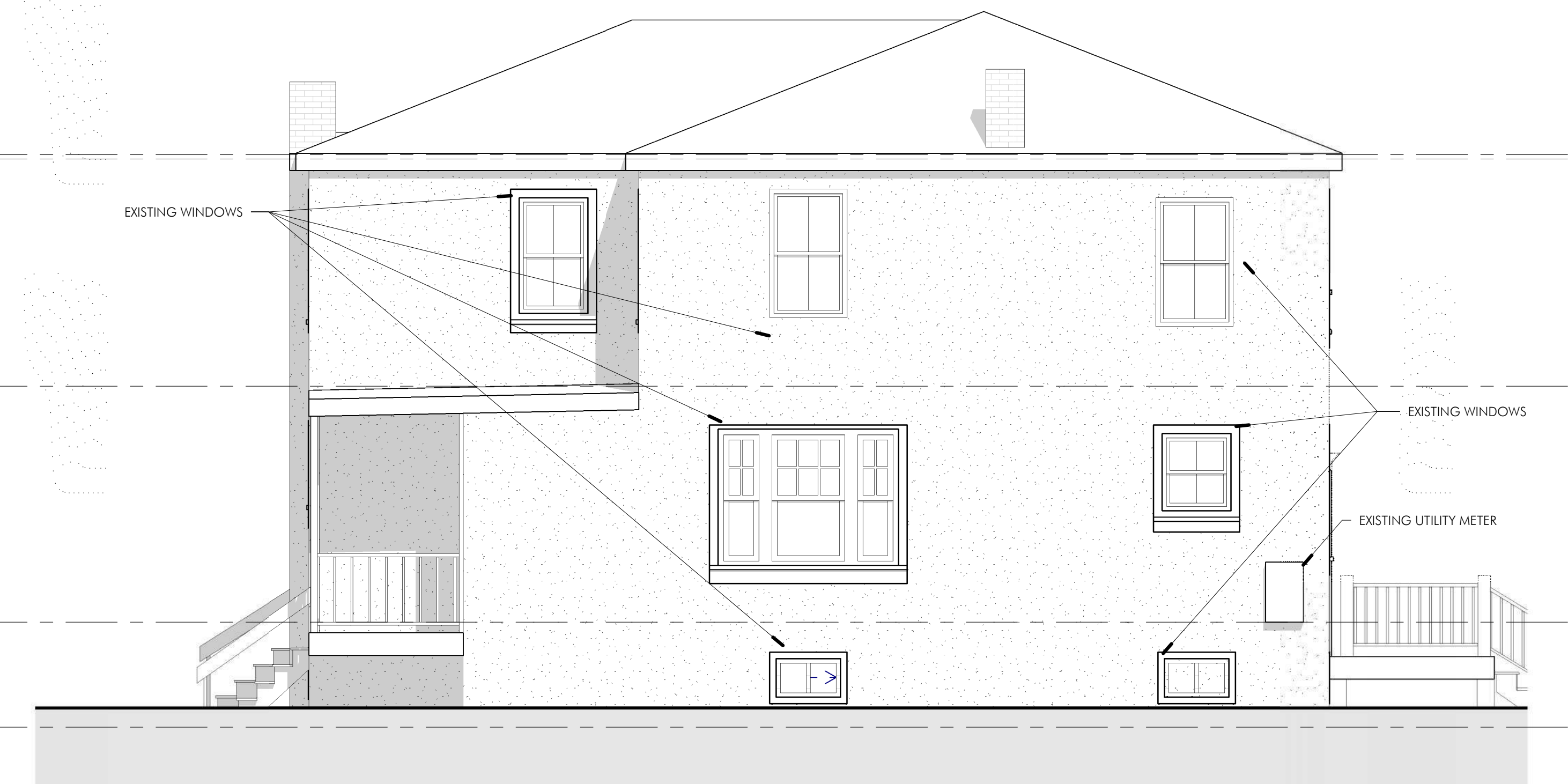
④ EXISTING EAST ELEVATION  
1/4" = 1'-0"



① EXISTING NORTH ELEVATION  
1/4" = 1'-0"



② EXISTING WEST ELEVATION  
1/4" = 1'-0"



③ EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

SPECIAL PERMIT

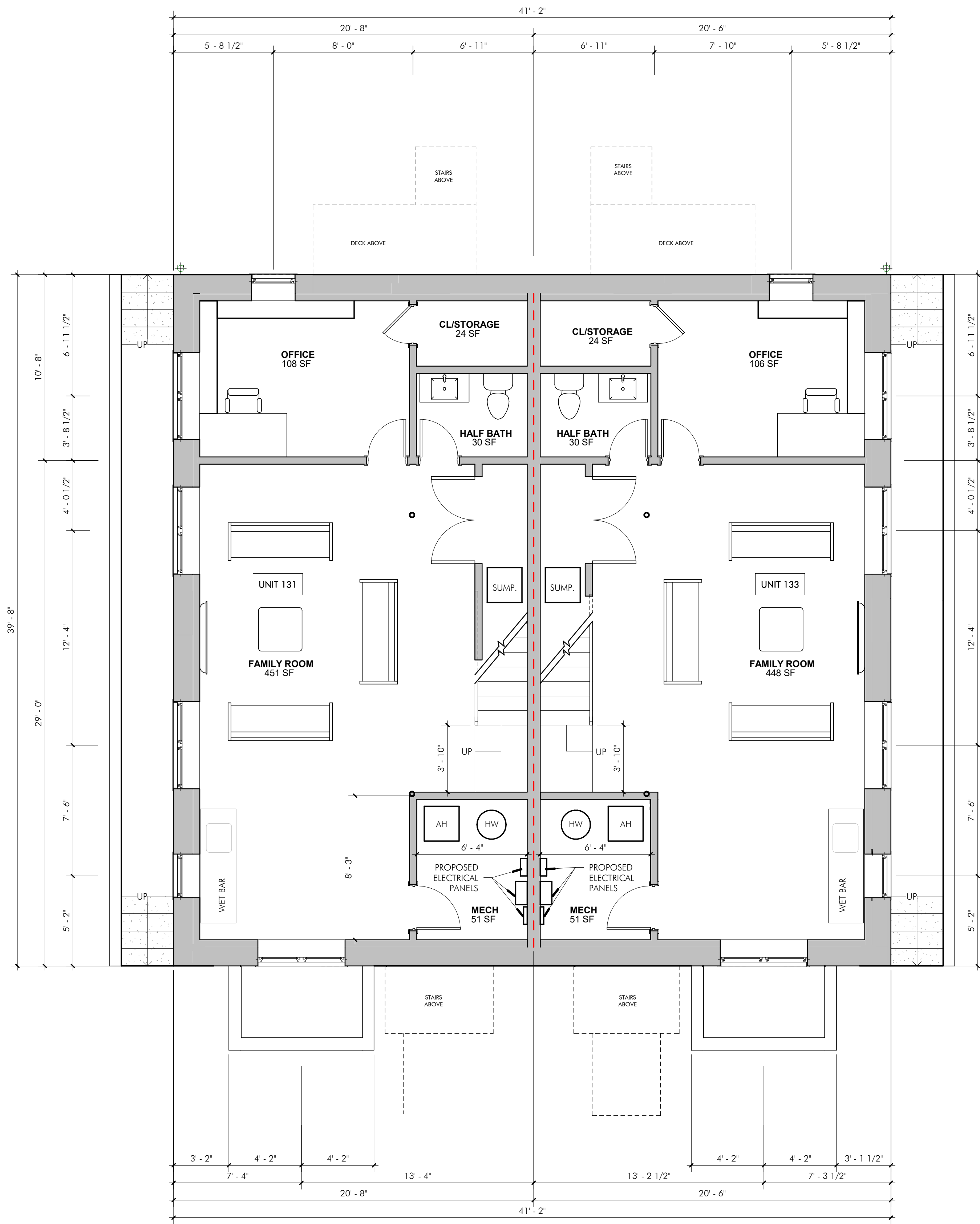
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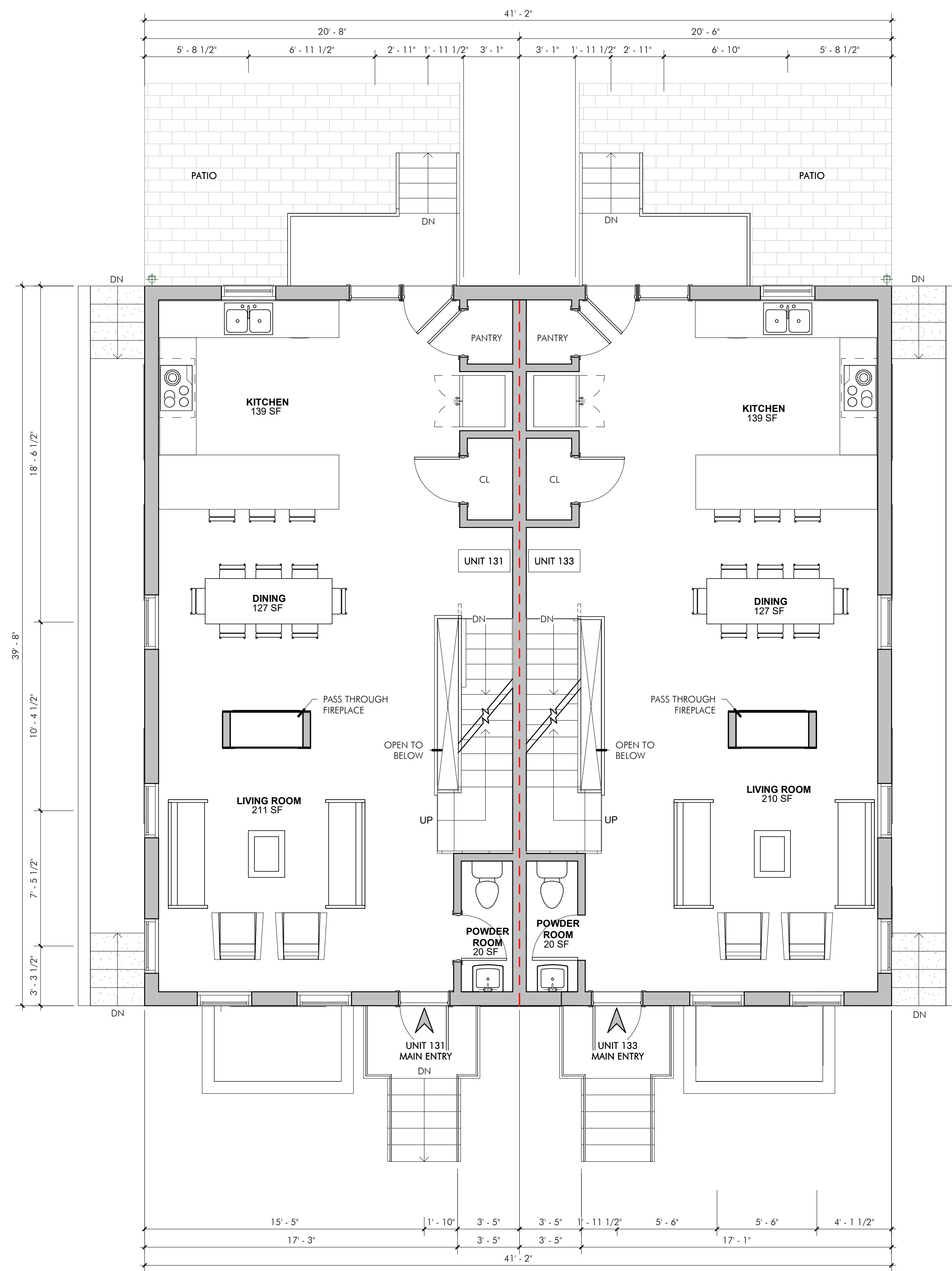
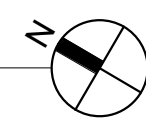
Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: EXISTING ELEVATIONS

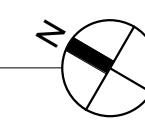
Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: 1/4" = 1'-0" **AX2.1**  
Drawn by: A.R.S.



1 PROPOSED BASEMENT  
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR  
1/4" = 1'-0"



SPECIAL PERMIT

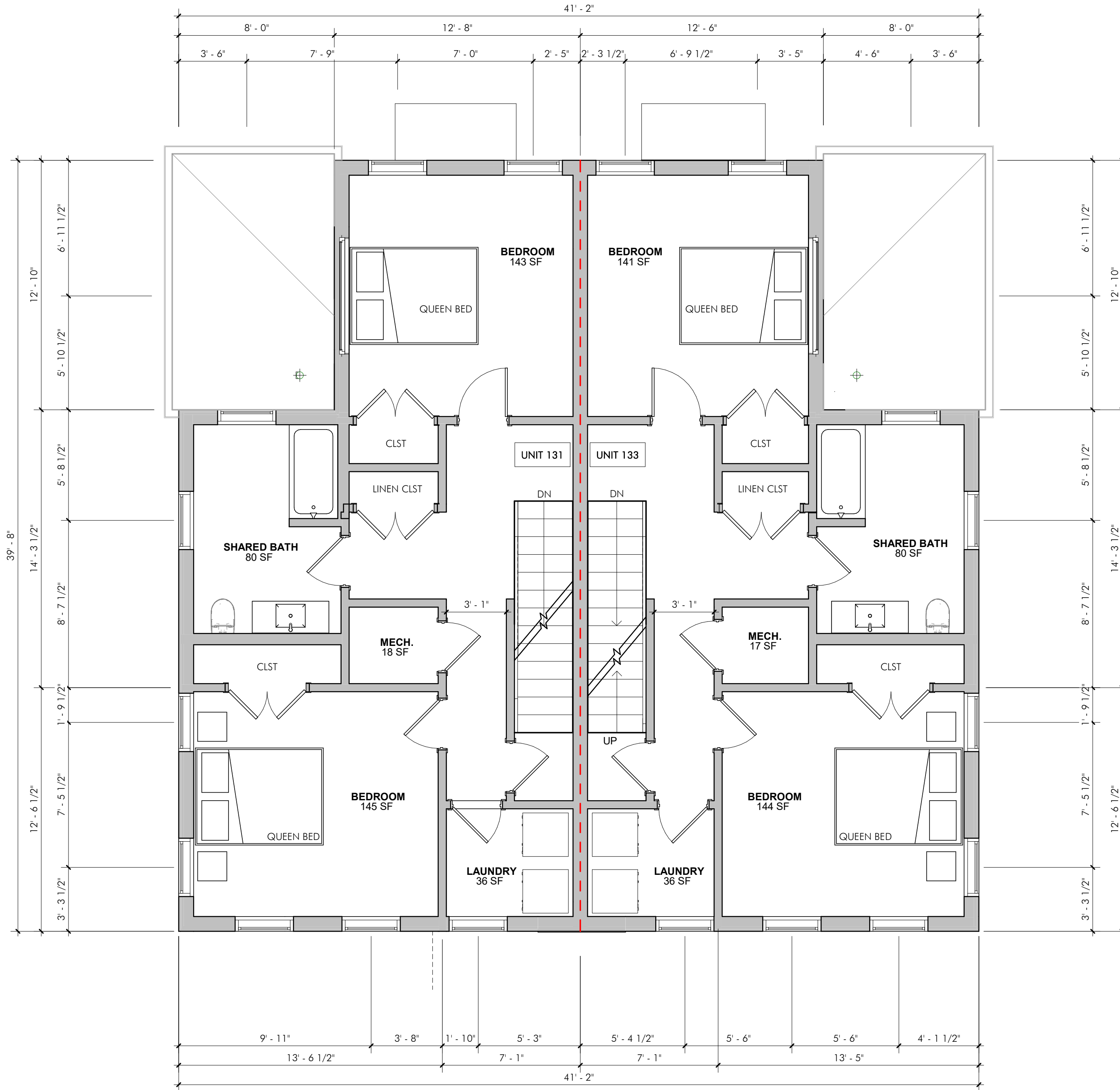
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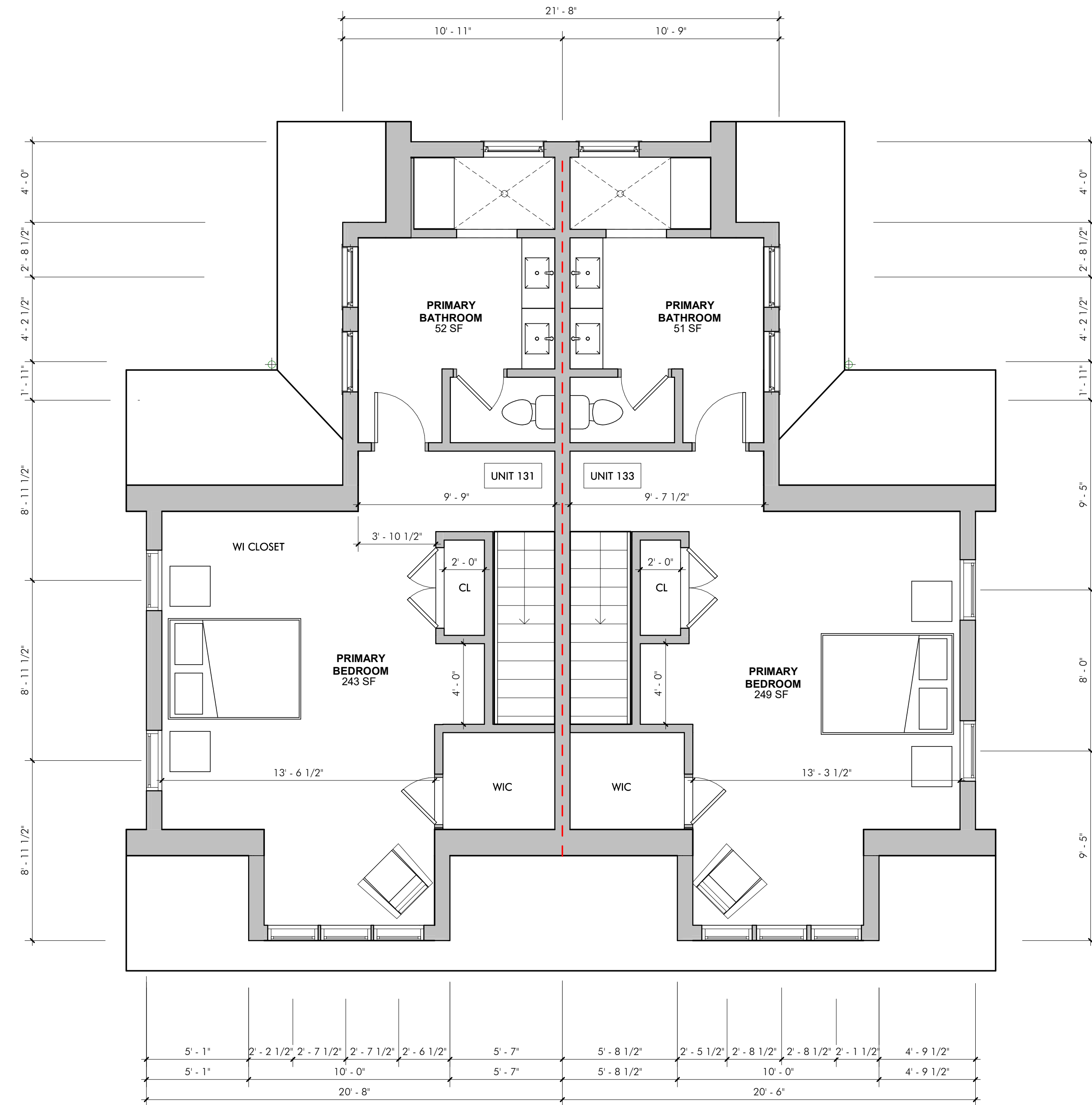
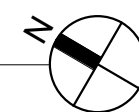
Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED FLOOR PLANS

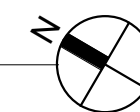
Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: 1/4" = 1'-0" **A1.1**  
Drawn by: A.R.S.



1 PROPOSED SECOND FLOOR  
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR  
1/4" = 1'-0"



SPECIAL PERMIT

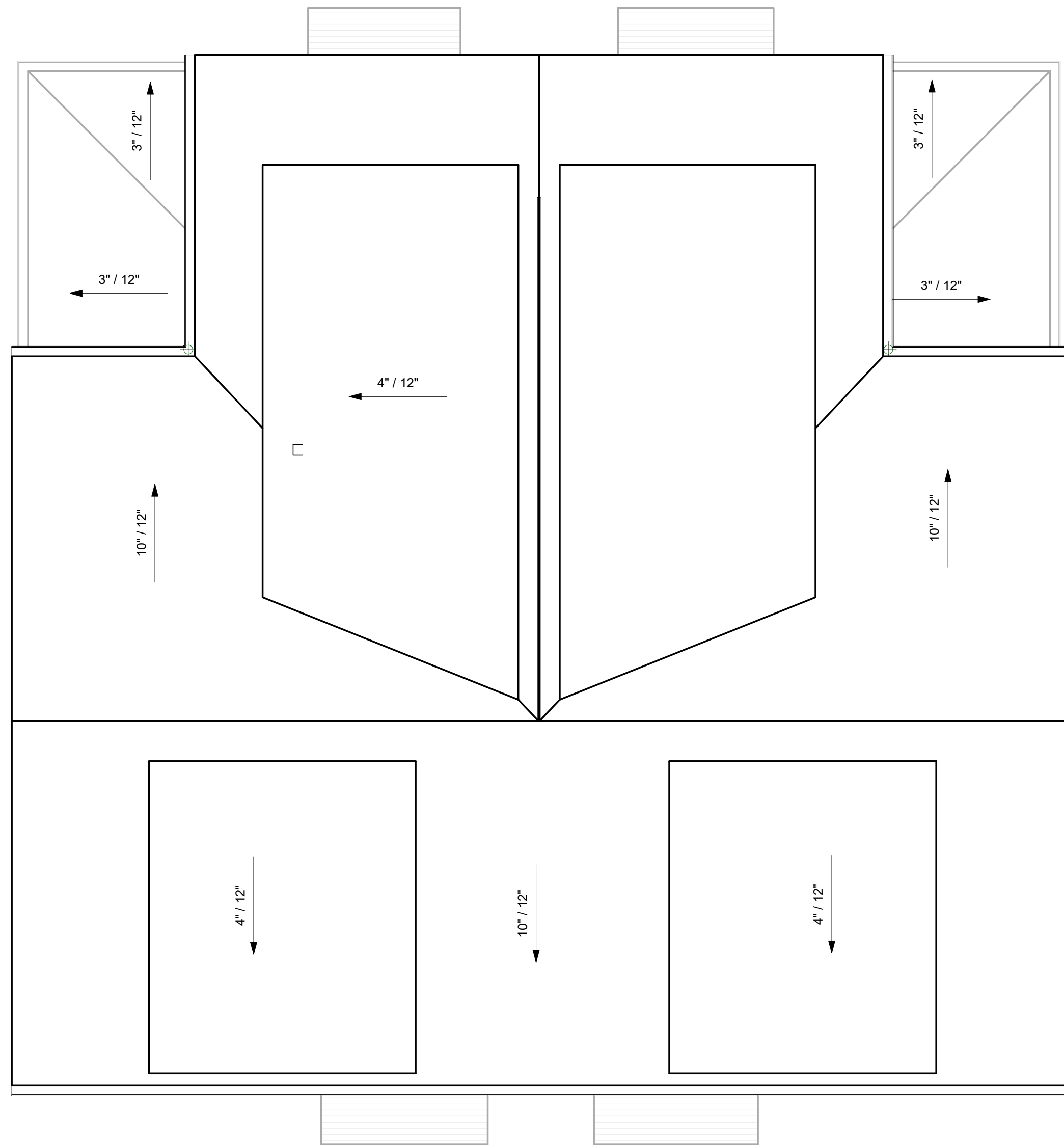
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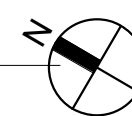
Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED FLOOR PLANS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: 1/4" = 1'-0"  
Drawn by: AR,S.



① PROPOSED ROOF  
1/4" = 1'-0"



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Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED ROOF PLAN

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| Drawing Issued By: | ANDERSON PORTER DESIGN |
| Project #:         | 2125                   |
| Date:              | 2022.06.01             |
| Scale:             | 1/4" = 1'-0"           |
| Drawn by:          | AR.S.                  |

A1.3





① PROPOSED EAST ELEVATION  
1/4" = 1'-0"



② PROPOSED NORTH ELEVATION  
1/4" = 1'-0"



③ PROPOSED WEST ELEVATION  
1/4" = 1'-0"



④ PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

SPECIAL PERMIT

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Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED ELEVATIONS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: 1/4" = 1'-0"  
Drawn by: A.R.S.

6/1/2022 3:41:02 PM



VIEW OF FRONT



VIEW OF REAR



VIEW OF SIDE



VIEW OF CORNER

SPECIAL PERMIT

| REVISIONS |             |      |
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Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: EXISTING PHOTOS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.06.01  
Scale: SK1  
Drawn by: DS



EXISTING STREET VIEW 1

**SPECIAL PERMIT**

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Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED STREET VIEWS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.04.08  
Scale: SK2.1  
Drawn by: Author



PROPOSED STREET VIEW 1

SPECIAL PERMIT

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Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED STREET VIEWS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.04.08  
Scale: SK2.2  
Drawn by: Author



EXISTING STREET VIEW 2

**SPECIAL PERMIT**

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Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED STREET VIEWS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No. \_\_\_\_\_  
Date: 2022.04.08  
Scale: **SK2.2**  
Drawn by: AR.S.



PROPOSED STREET VIEW 2

SPECIAL PERMIT

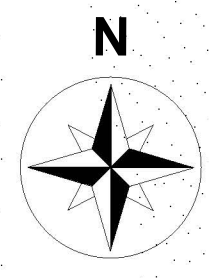
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AndersonPorterDesign  
1972 Massachusetts Ave, 4th Floor  
Cambridge, MA 02140  
Tel. 617.354.2501 Fax. 617.354.2509

Project: 133 FAYERWEATHER  
Address: 133 FAYERWEATHER STREET  
CAMBRIDGE, MA 02138

Title: PROPOSED STREET VIEWS

Drawing Issued By: ANDERSON PORTER DESIGN  
Project #: 2125 Drawn No.  
Date: 2022.04.08  
Scale: SK2.4  
Drawn by: A.R.S.

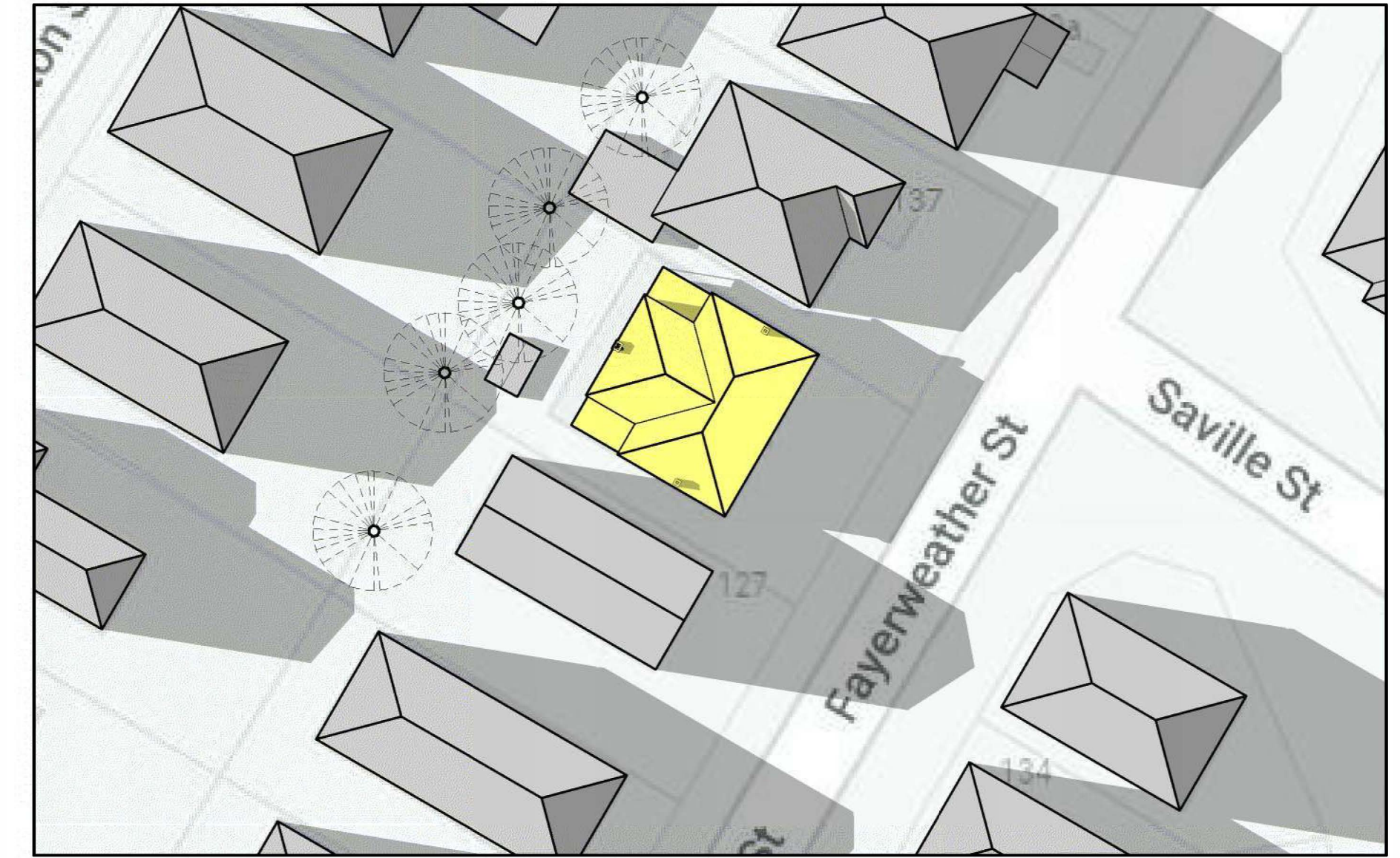
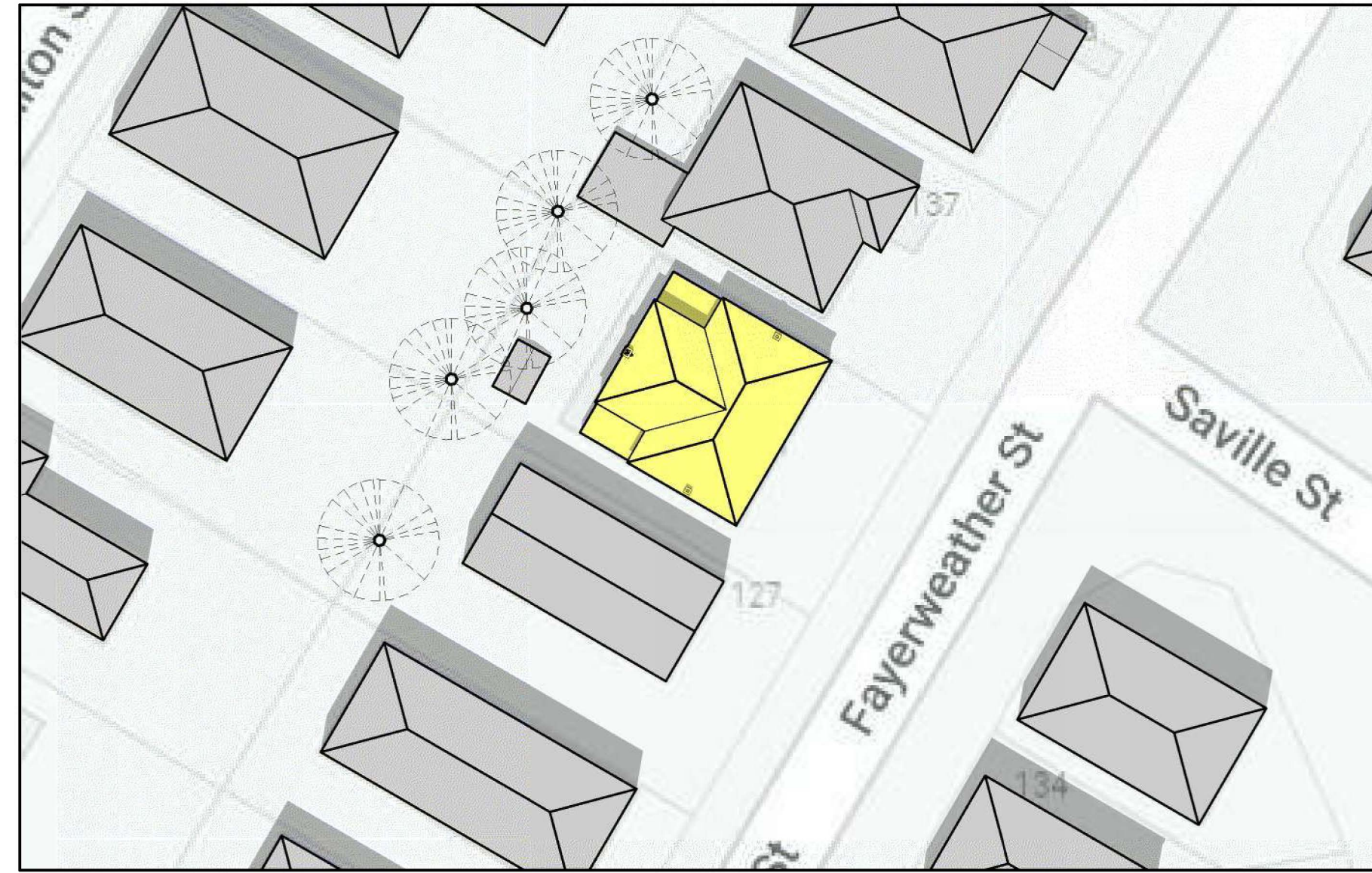
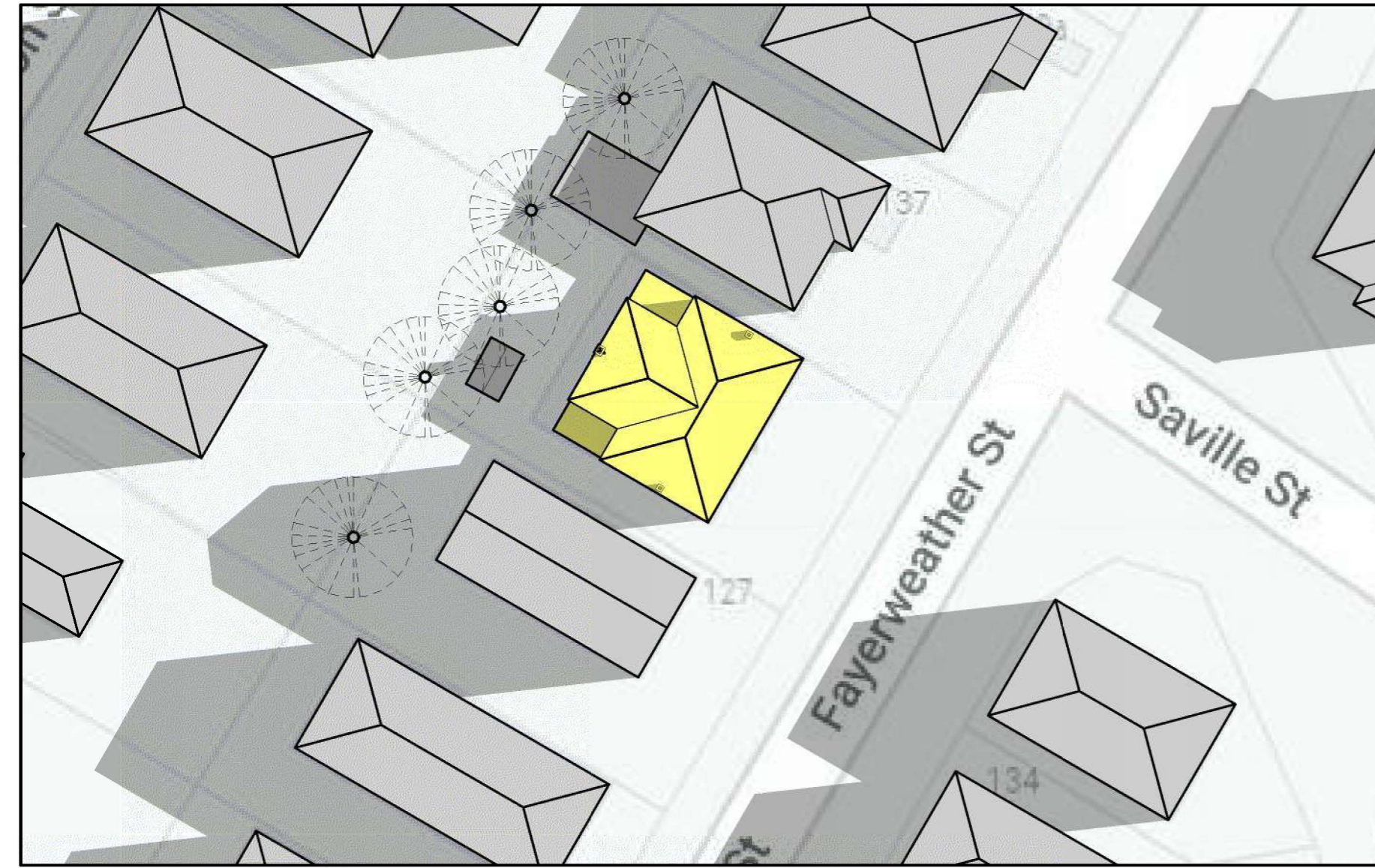


MORNING (7 AM)

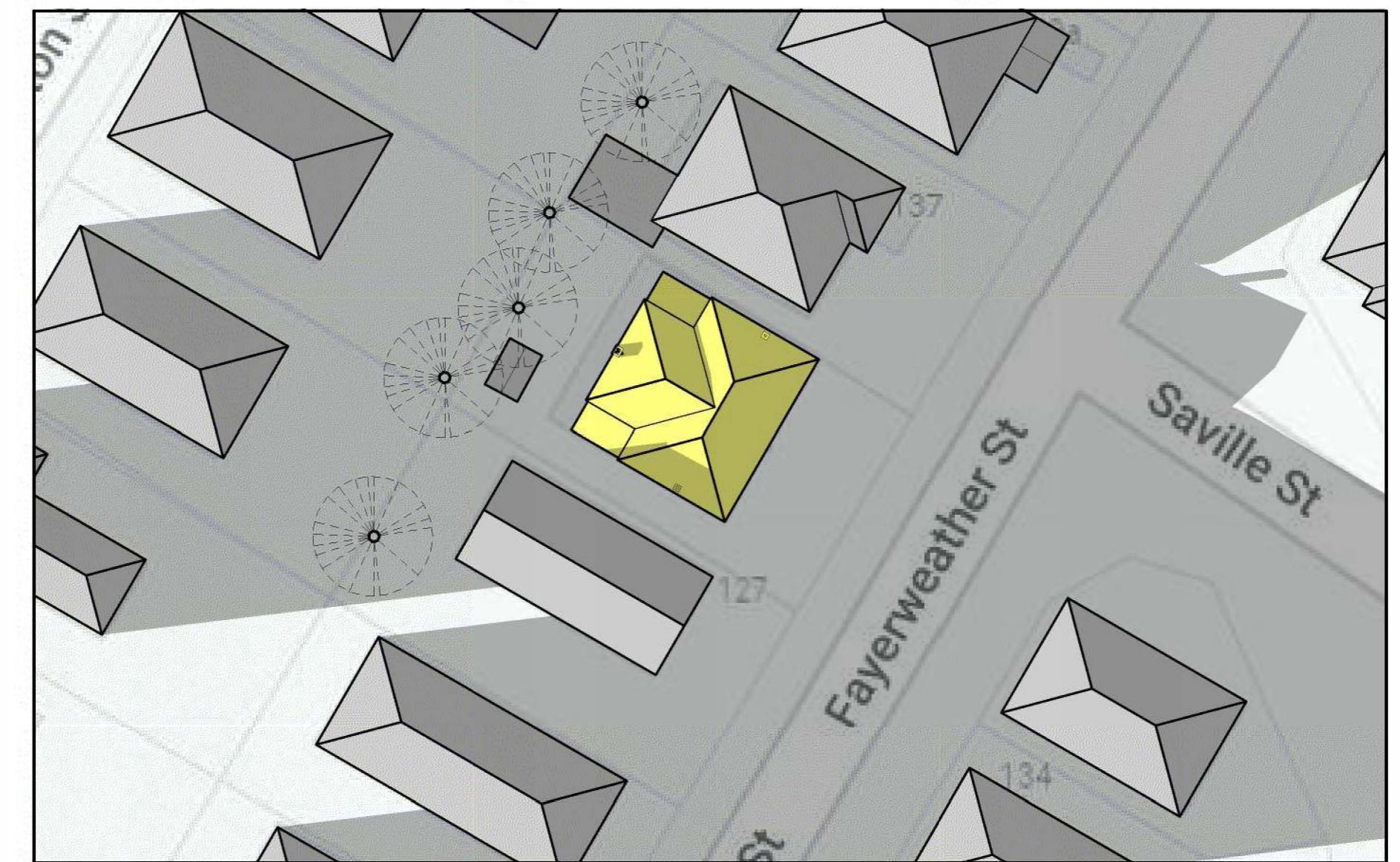
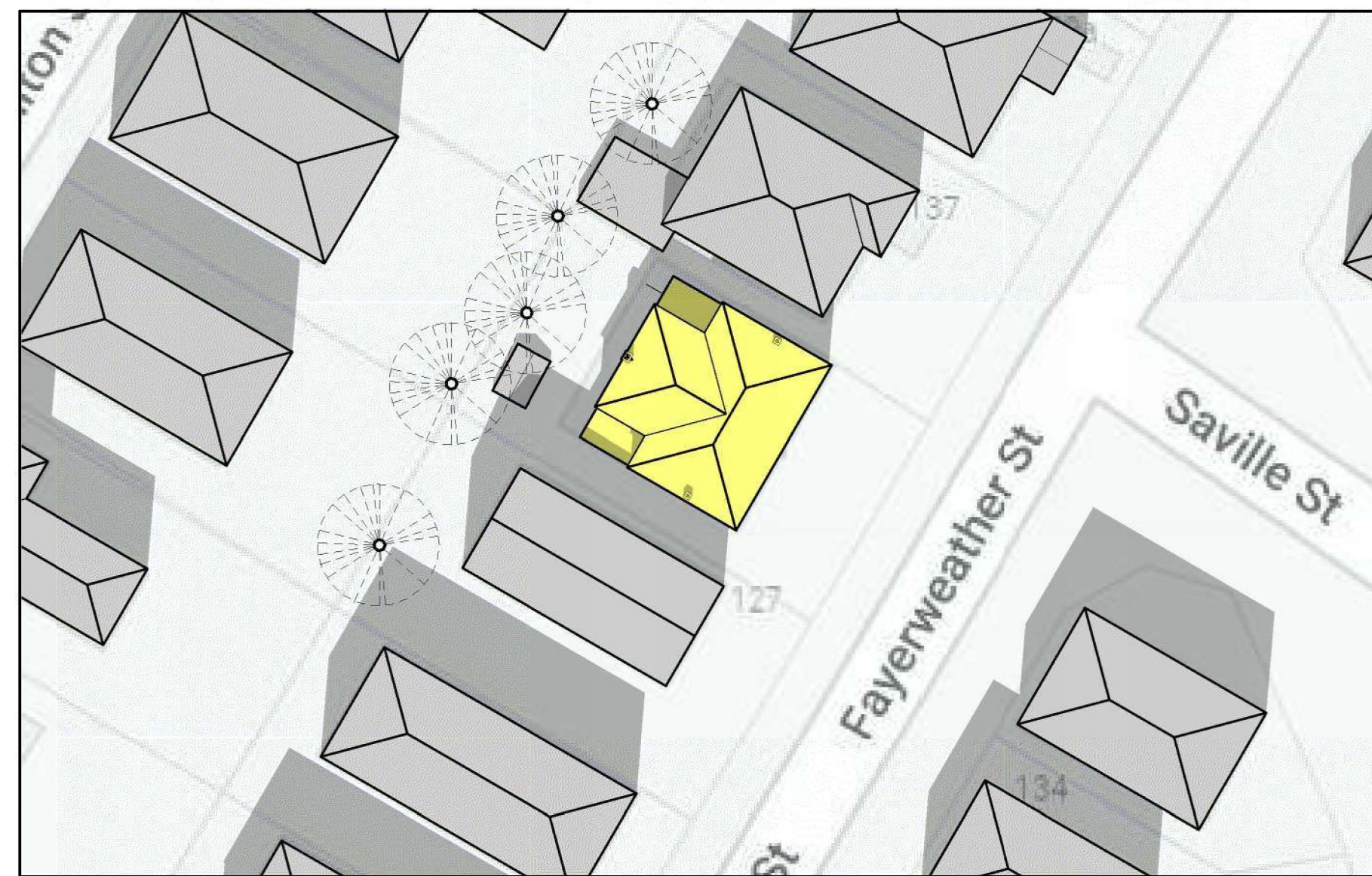
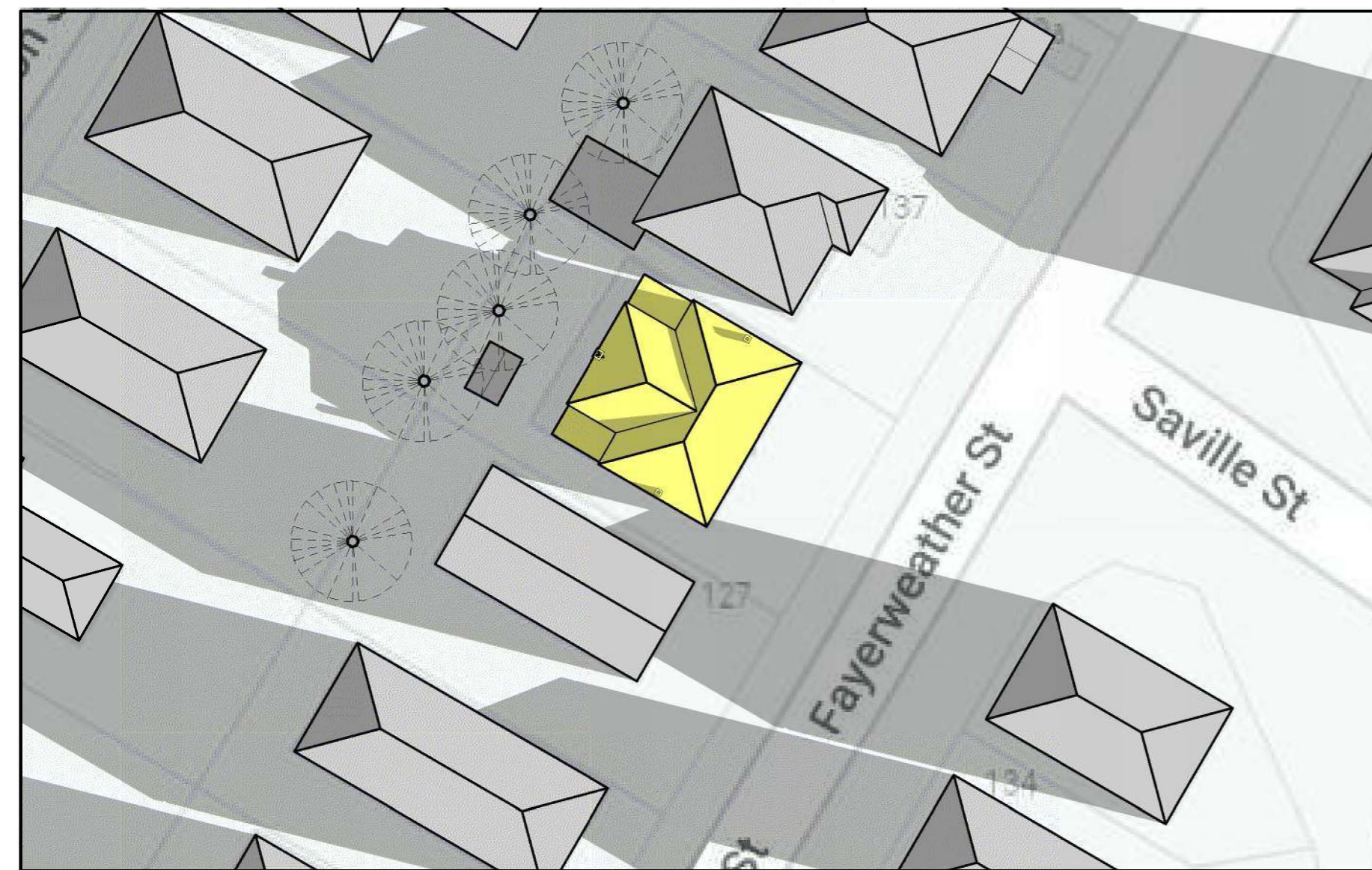
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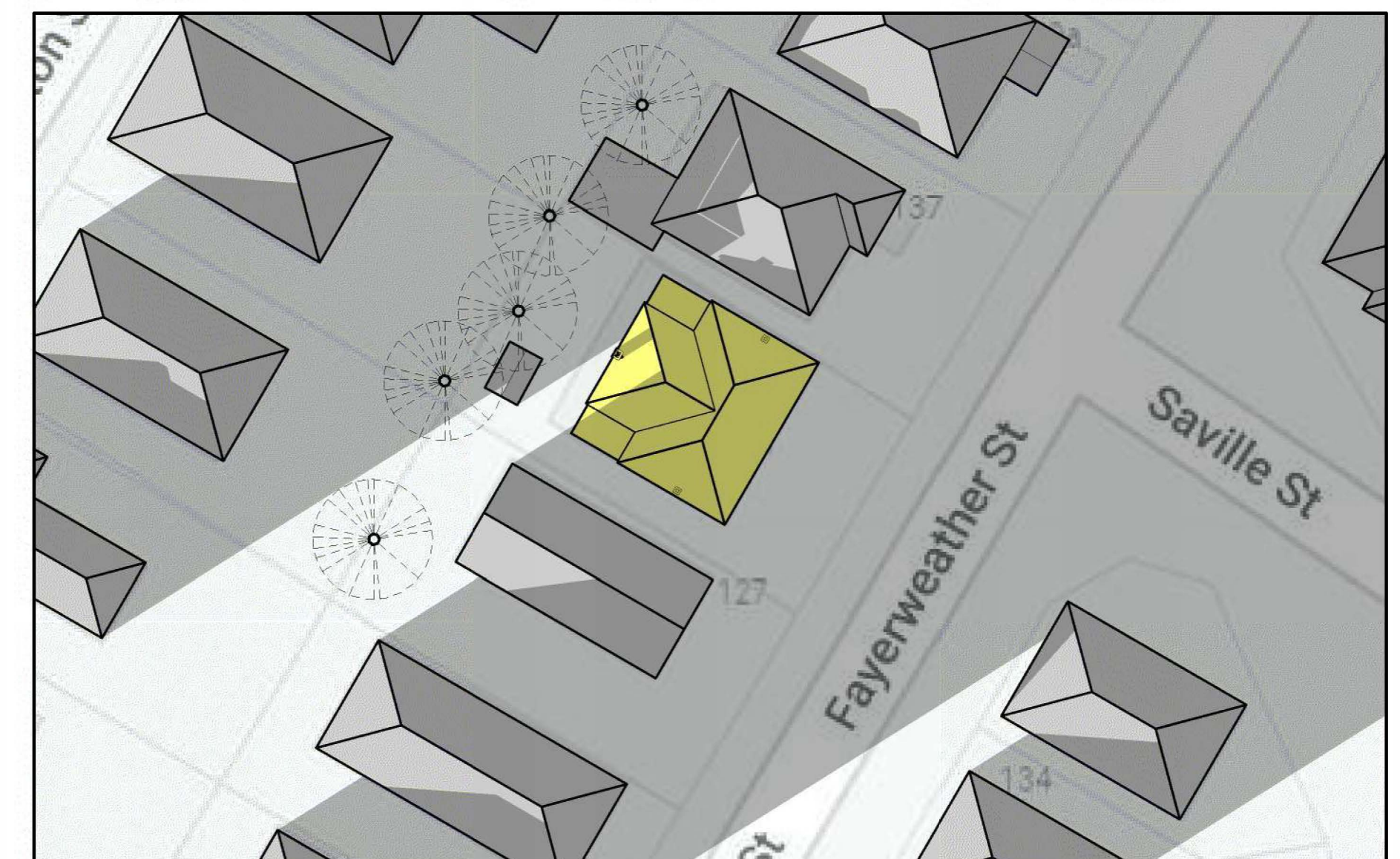
SUMMER  
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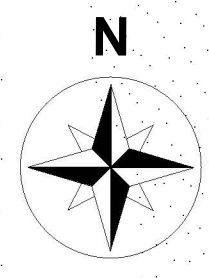


EQUINOX



WINTER  
SOLSTICE



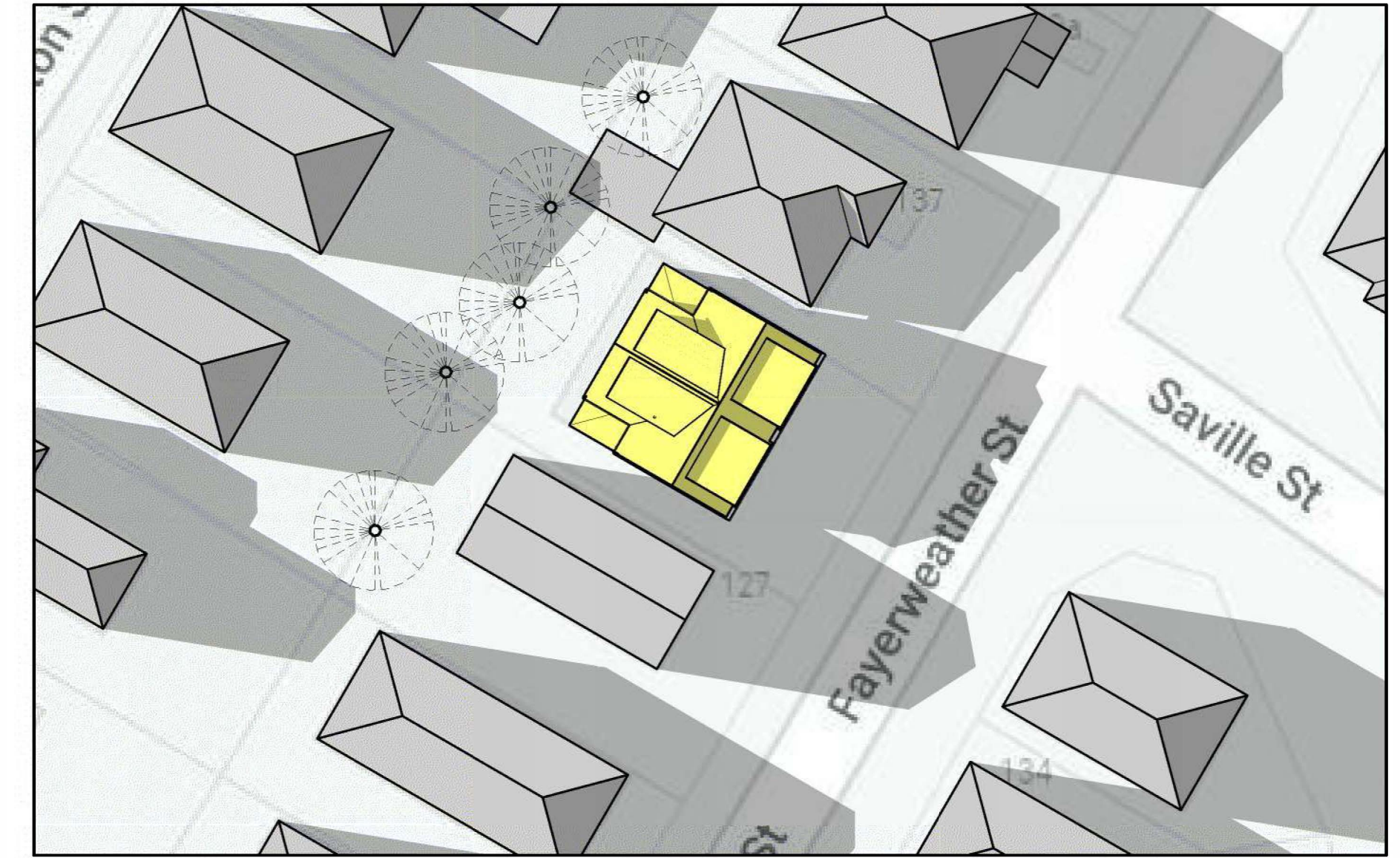
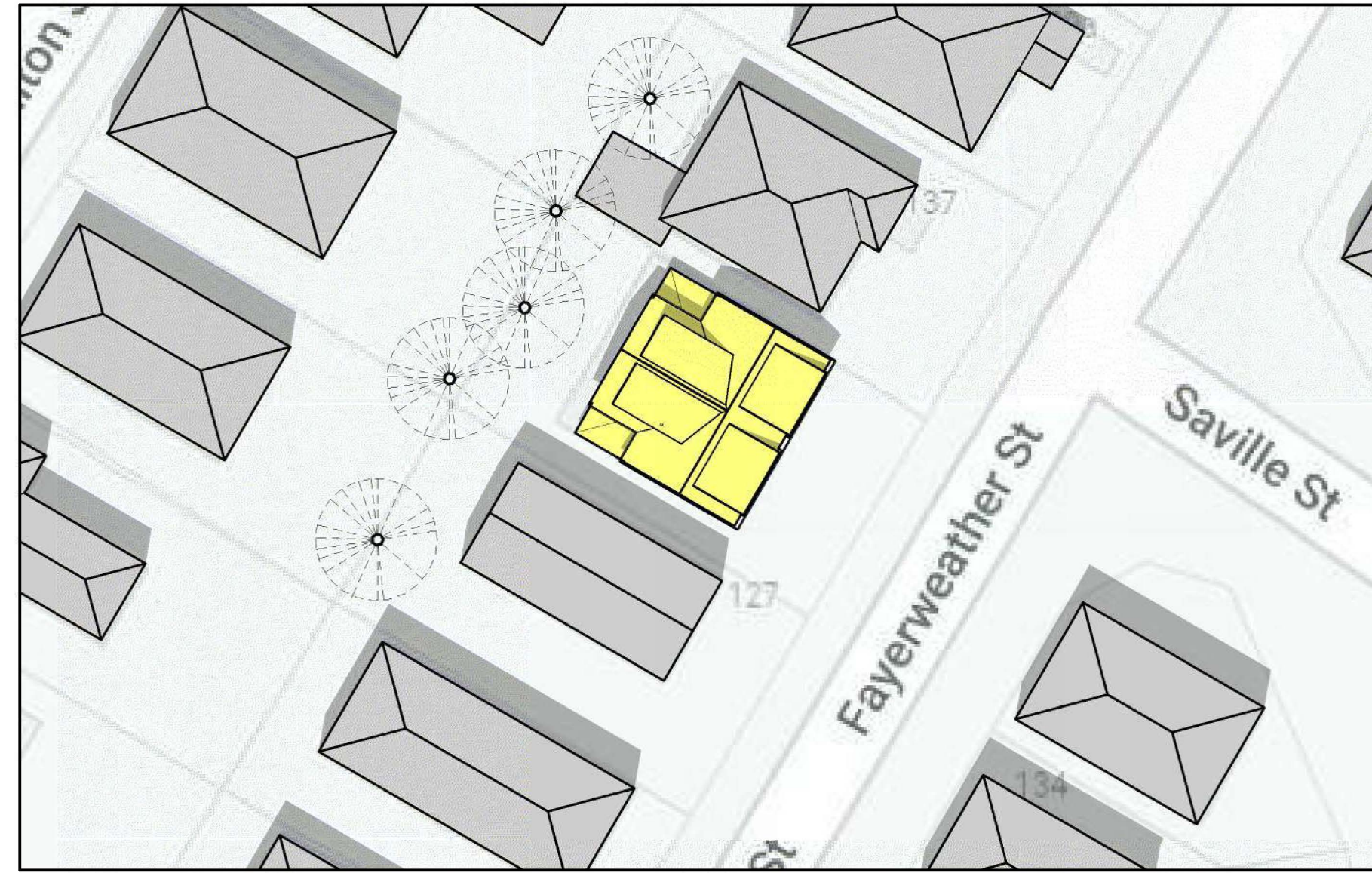
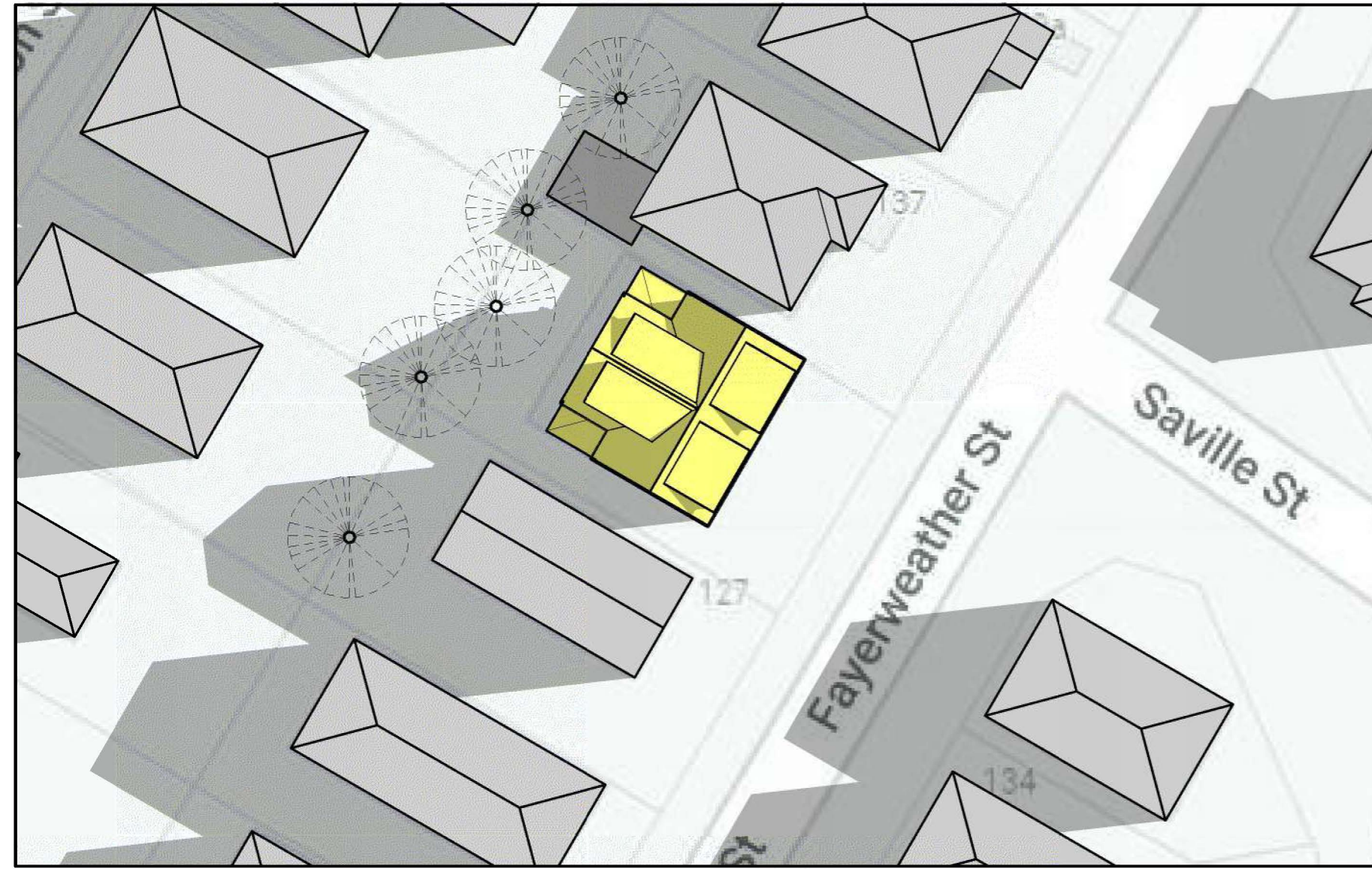


MORNING (7 AM)

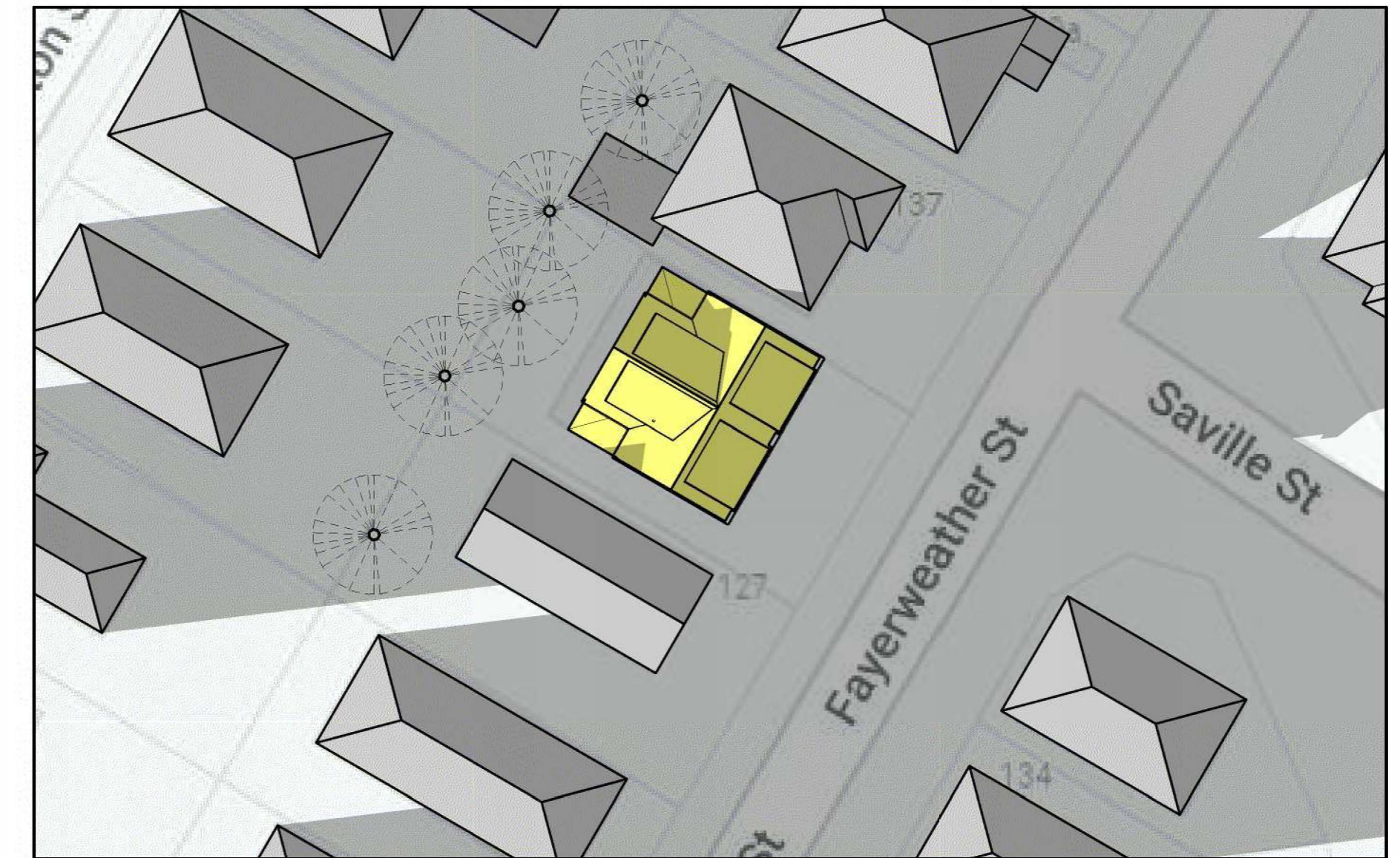
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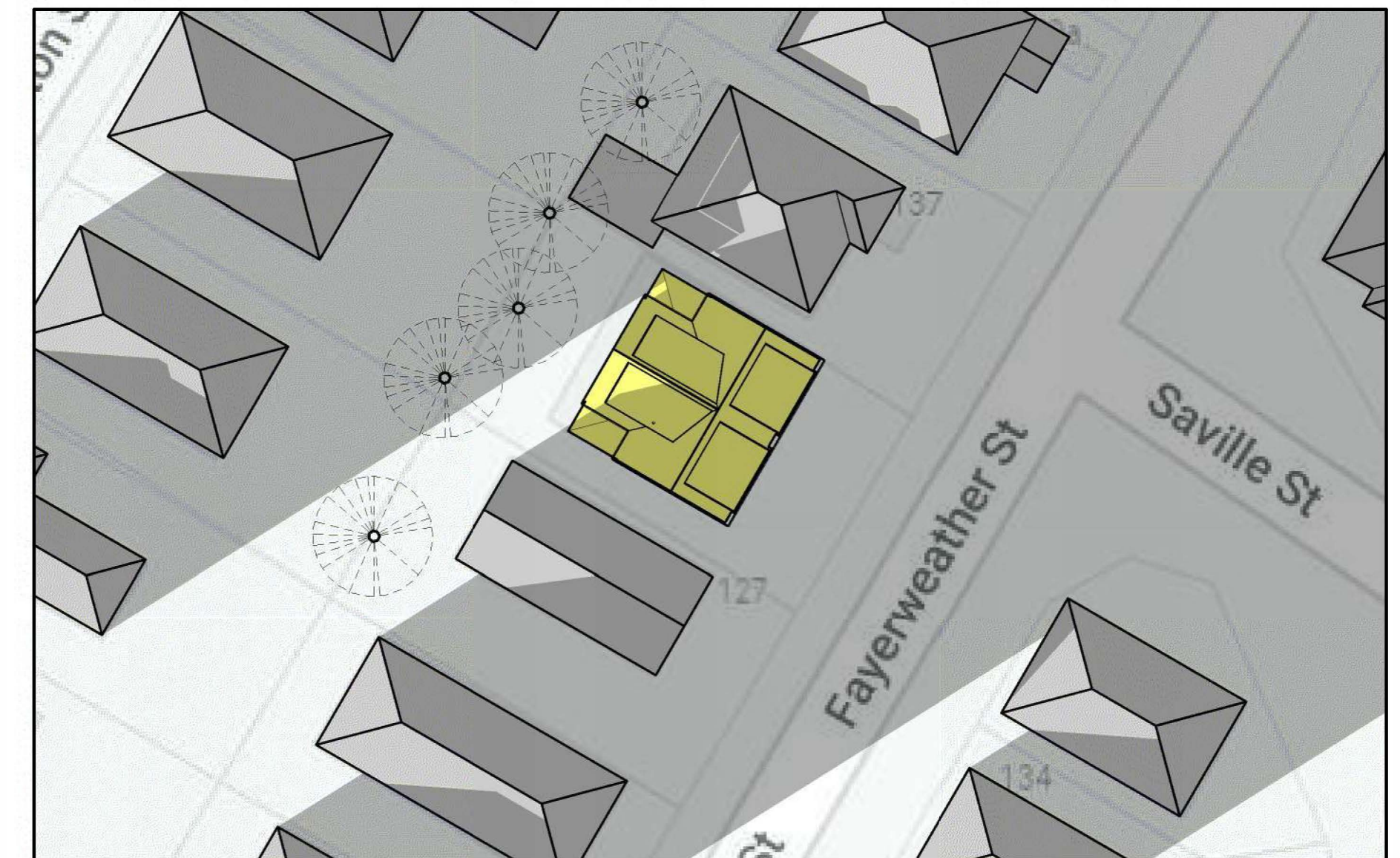
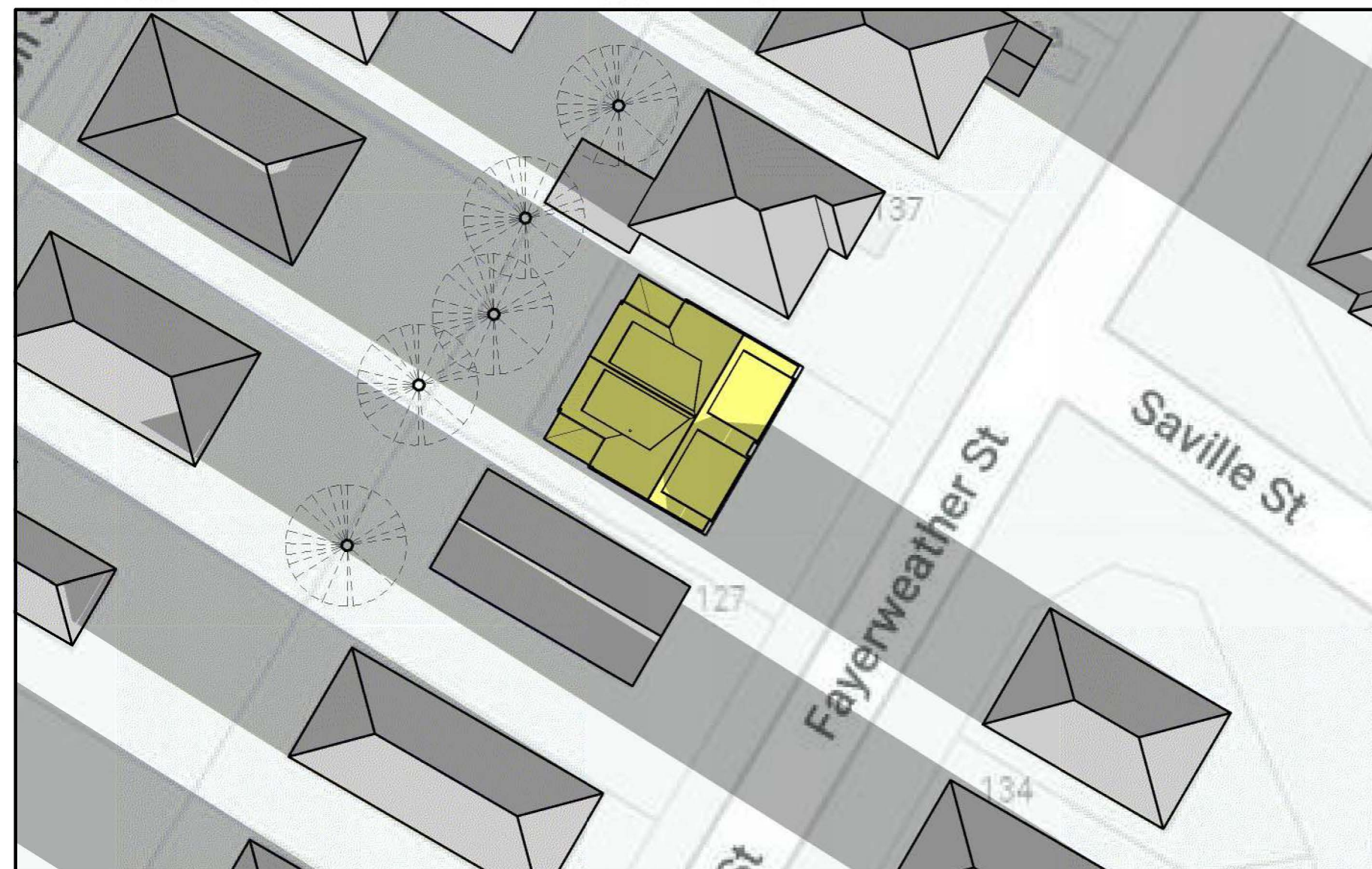
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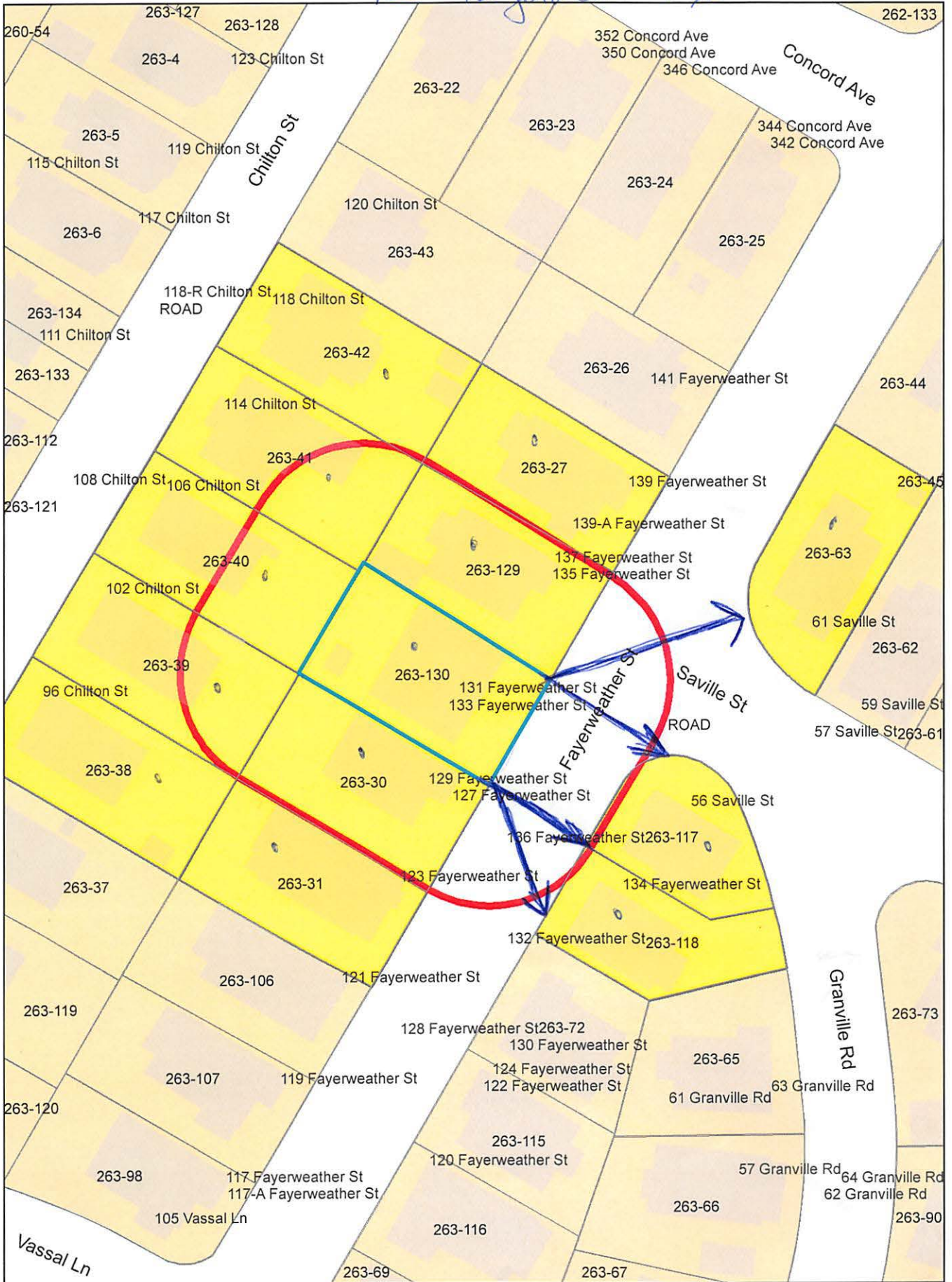


WINTER  
SOLSTICE





133 Fayerweather St.



133 Fayerweather St.

Petitioner

263-30  
K & A O'HANA PROPERTIES LLC  
592 HURON AVE., #2  
CAMBRIDGE, MA 02138

263-38  
KANTOR, CALVIN J. & SYLVIA D. KANTOR  
A LIFE ESTATE  
98 CHILTON ST  
CAMBRIDGE, MA 02138-6803

ANDERSON PORTER DESIGN  
C/O DANIEL P. ANDERSON  
1972 MASS AVENUE  
CAMBRIDGE, MA 02140

263-40  
DOTTIN, HENRIETTA R. & GERALD A. DOTTIN, JR.  
106 CHILTON ST.  
CAMBRIDGE, MA 02138-6803

263-41  
LEGARE, CHANTALE  
116 CHILTON ST  
CAMBRIDGE, MA 02138

263-63  
KASSAY, NUMAN & GUMJA KASSAY  
61 SAVILLE ST  
CAMBRIDGE, MA 02138

263-39  
THOMPSON, GLORIA G., REALTY, LLC  
82 CHILTON ST  
CAMBRIDGE, MA 02138

263-42  
HUTCHINSON, GEORGE E., SR.,  
TR THE HUTCHINSON CHILTON TRUST  
118 CHILTON ST  
CAMBRIDGE, MA 02138

263-118  
BERGSON, JUDITH  
30 PRESTON RD.  
SOMERVILLE, MA 02143

263-129  
CORBIN, AMELIA C.  
TRUSTEE OF AMELIA C. TRUST  
191 WILLOW AVE  
SOMERVILLE, MA 02144

263-27  
AHERN, KATHLEEN M.  
139 FAYERWEATHER ST #139A  
CAMBRIDGE, MA 02138

263-30  
BARTOV, OMER & WAI-YEE LI  
129 FAYERWEATHER ST., UNIT #2  
CAMBRIDGE, MA 02138

263-31  
CHARLES, ROY P. WENDY U CHARLES  
123 FAYERWEATHER ST  
CAMBRIDGE, MA 02138-6812

263-117  
RICHARDS, STUART L.  
136 FAYERWEATHER ST  
CAMBRIDGE, MA 02138

263-118  
BERCU, STEVEN A.,  
TRUSTEE THE STEVEN A. BERCU REV TRUST  
132 FAYERWEATHER ST  
CAMBRIDGE, MA 02138

263-130  
133 FAYERWEATHER STREET LLC  
ONE GARFIELD CIR - UNIT 6  
BURLINGTON, MA 01803



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

BZA

## POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ENDER SALICAY Date: 04/21/23  
(Print)

Address: 133 Fayweather st.

Case No. BZA-214799

Hearing Date: 5/11/23

Thank you,  
Bza Members

## Pacheco, Maria

---

**From:** Bartov, Omer <omer\_bartov@brown.edu>  
**Sent:** Thursday, April 27, 2023 8:34 AM  
**To:** Pacheco, Maria  
**Cc:** Omer Bartov  
**Subject:** Case No. BZA - 214799 Petition

Dear Board of Zoning,

I am writing to you in regards to Case No. BZA-214799, dealing with a petition presented to the BZA on 133 Fayerweather St Cambridge MA 02138. I live in the adjacent house, 129 Fayerweather St, Cambridge, MA 02138, unit 2, on the second and third floors. The property on 133 Fayerweather was being demolished in what appeared to be a rather chaotic manner during the early spring of 2023. About two months ago all work on the site stopped. The half-demolished house is both a terrible eyesore and seems to present a real and present danger to our own house, as it is clearly structurally unsafe. I have nor idea why the work stopped or when it will resume. Moreover, the extent of the fence surrounding 133 Fayerweather also seems to exceed the area allowed in the zoning agreement.

I will be grateful if this matter is urgently resolved so as to prevent any damage to my property and to remove this public eyesore from the neighborhood.

Your sincerely,

Omer Bartov

Omer Bartov

Samuel Pizar Professor of Holocaust and Genocide Studies

Department of History

Faculty Fellow, Watson Institute for International & Public Affairs

Brown University

[Genocide, the Holocaust, and Israel-Palestine: First-Person History in Times of Crisis](#)

[The Butterfly and the Axe](#)

[Tales from the Borderlands: Making and Unmaking the Galician Past](#)

[Anatomy of a Genocide: The Life and Death of a Town Called Buczacz](#)



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
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BZA

## POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ENDER SALICAY Date: 04/21/23  
(Print)

Address: 133 Fayweather st.

Case No. BZA-214799

Hearing Date: 5/11/23

Thank you,  
Bza Members