



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 AUG 16 AM 11:55

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

**BZA Number:** 189716

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance:       

Appeal:       

**PETITIONER:** NURSE GLADSTONE ST CLAIR - TRUSTEES OF THE ST AUGUSTINES MISSION C/O Architect - Gabriel Cira

**PETITIONER'S ADDRESS:** 189 Hamilton St, Cambridge, MA 02139

**LOCATION OF PROPERTY:** 137 Allston St, Cambridge, MA

**TYPE OF OCCUPANCY:** Church

**ZONING DISTRICT:** Residence C Zone

#### **REASON FOR PETITION:**

/Install historical replica window in preexisting nonconforming facade/

#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Install historical replica window in preexisting nonconforming facade. Arched fixed decorative window—this is actually an original historic feature from 1886 but was removed subsequently and we seek to reconstruct it in original 1886 condition. The original window opening shape, which had been boarded up, was discovered upon removal of asphalt shingles.

#### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 8.000	Section: 8.22.1(d) & Sec. 8.22.2.C (Non-Conforming Structure).
Article: 5.000	Section: 5.31 (table of dimensional requirements)
Article: 10.000	Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner (s) / Owner)

Gabriel Cira

(Print Name)

Address:

Tel. No.

E-Mail Address:

189 Hamilton St  
7743271248

blue.cira@gmail.com

## BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

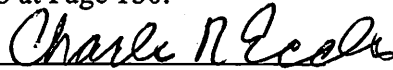
I, Charles R. Eccles, as Trustee of the St. Augustine's Trust (in formation\*) and formerly as Successor Co-Trustee of the St. Augustine's Mission Trust, U/D/T dated 17 January 1950 and recorded with the Middlesex County South District Registry of Deeds in Book 7595 at Page 123

(OWNER)

Address: 137 Allston Street, Cambridge, MA 02139

State that I/We own the property located at 137 Allston Street, Cambridge, MA 02139, in trust which is the subject of this zoning application.

The record title of this property is in the name of the Trustees of the St. Augustine's Mission Trust pursuant to a deed dated 17 January 1950 and duly recorded with the Middlesex County South District Registry of Deeds in Book 7535 at Page 130.

  
Charles R. Eccles, Trustee

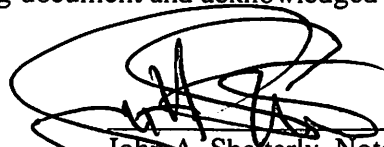
Written evidence of Agent's standing to represent petitioner may be requested.

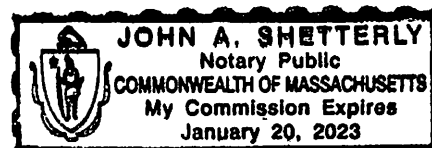
\*The original St. Augustine's Trust, as set forth above, expired pursuant to its terms and is in the process of being reconstituted with the individuals who were the final successor Co-trustees as the Trustees.

## COMMONWEALTH OF MASSACHUSETTS

Middlesex ss.

On this 11 day of August 2022, before me, John A. Shetterly the undersigned Notary Public, personally appeared Charles R. Eccles, personally known to me and who proved to me through satisfactory evidence of identification, which was his Massachusetts driver's license, to be the person whose name is signed on the preceding document and acknowledged to me that he signed it voluntarily for the purposes stated therein.

  
John A. Shetterly, Notary Public  
My Comm. Exp.: 20 January 2026



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 137 Allston St., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A)** Requirements of the Ordinance can or will be met for the following reasons:

The requested window is actually an original 1886 detail that was removed and that we seek to restore. We have been granted a certificate of appropriateness from the Historical Commission including this window. This window is in the public interest as it will beautify the view from the public way, restoring an original historical fine carpentry condition.

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No substantial change would occur due to these openings.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No substantial change and no adverse affects.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard would be created.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

No impairment.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Date: \_\_\_\_\_

## **BZA Application Form**

### **DIMENSIONAL INFORMATION**

**Applicant:** NURSE GLADSTONE ST CLAIR - TRUSTEES OF  
THE ST AUGUSTINES MISSION  
**Location:** 137 Allston St., Cambridge, MA  
**Phone:** 7743271248

**Present Use/Occupancy:** Church  
**Zone:** Residence C Zone  
**Requested Use/Occupancy:** Church

		<b><u>Existing Conditions</u></b>	<b><u>Requested Conditions</u></b>	<b><u>Ordinance Requirements</u></b>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		5200	5200	n/a (church)	(max.)
<b><u>LOT AREA:</u></b>		4645	4645	5000	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>		1.12	1.12	.6	
<b><u>LOT AREA OF EACH DWELLING UNIT</u></b>		n/a (church)	n/a (church)	n/a (church)	
<b><u>SIZE OF LOT:</u></b>	<b><u>WIDTH</u></b>	45	45	50	
	<b><u>DEPTH</u></b>	104.28	104.28	n/a	
<b><u>SETBACKS IN FEET:</u></b>	<b><u>FRONT</u></b>	8.4	8.4	13.6	
	<b><u>REAR</u></b>	5	5	9.4	
	<b><u>LEFT SIDE</u></b>	4.5	4.5	23	
	<b><u>RIGHT SIDE</u></b>	10	10	22.9	
<b><u>SIZE OF BUILDING:</u></b>	<b><u>HEIGHT</u></b>	45	45	35	
	<b><u>WIDTH</u></b>	91	91	n/a	
	<b><u>LENGTH</u></b>	34	34	n/a	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		100	100	36	
<b><u>NO. OF DWELLING UNITS:</u></b>		n/a (church)	n/a (church)	n/a (church)	
<b><u>NO. OF PARKING SPACES:</u></b>		0	0	0	
<b><u>NO. OF LOADING AREAS:</u></b>		0	0	0	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>		n/a	n/a	n/a	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

No other buildings on lot

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



# SAINT AUGUSTINE'S A.O. CHURCH

## EXTERIOR PRESERVATION AND ACCESS PROJECT

SPECIAL PERMIT WINDOW MARKED WITH RED TEXT AND MARKS

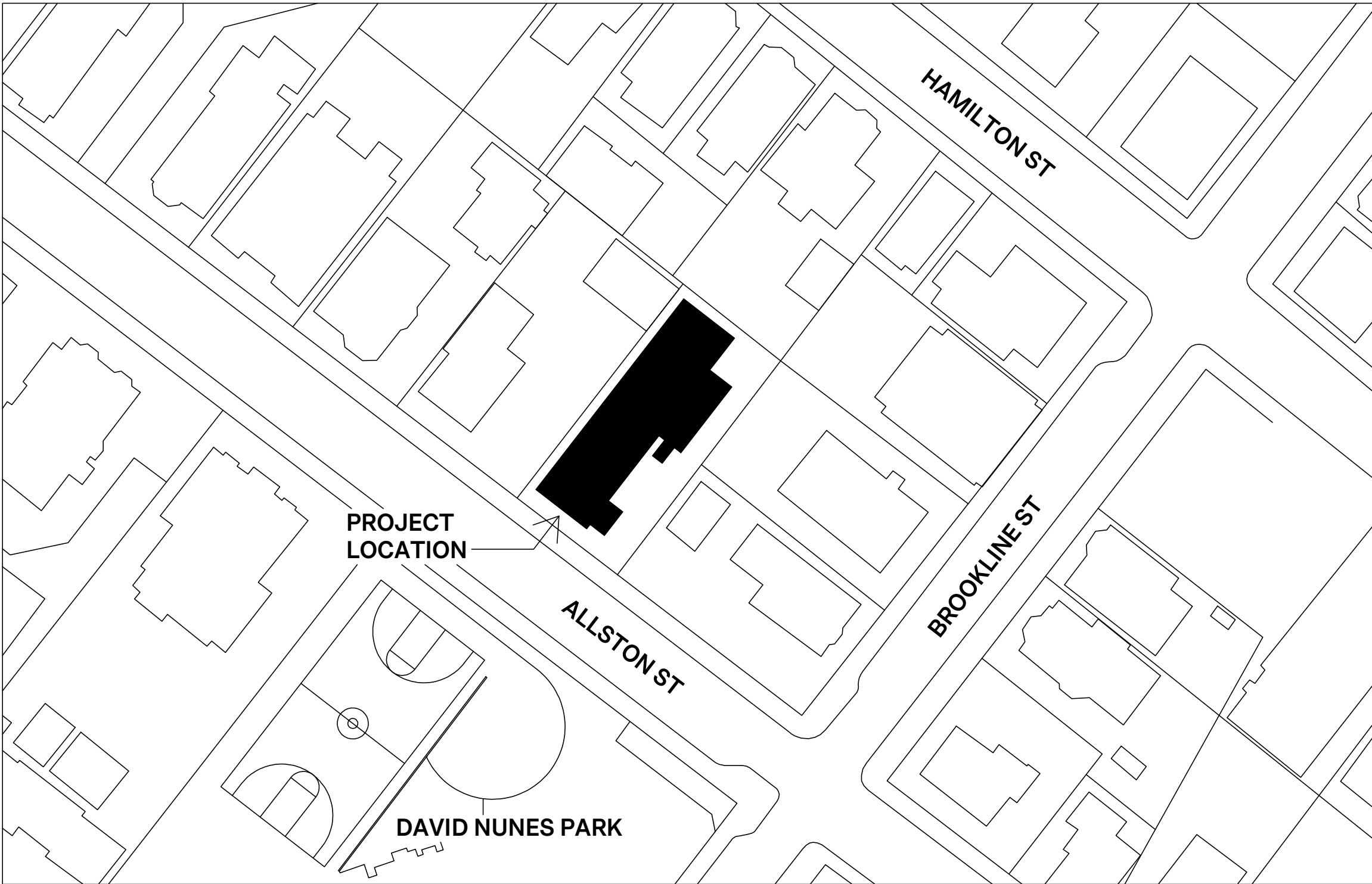
- A01 - TITLE PAGE
- A02 - PROJECT SUMMARY/CODE SUMMARY

- A03 - EXISTING MAIN FLOOR PLAN
- A04 - NEW MAIN FLOOR PLAN

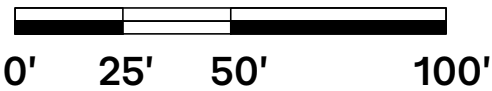
- A05 - EXISTING AND NEW STREET ELEVATIONS
- A06 - EXISTING SIDE ELEVATION
- A07 - NEW SIDE ELEVATION
- A08 - NEW SIDE AND REAR ELEVATIONS

- A09 - NEW RAMP AND STAIR ENTRY
- A10 - NEW SHINGLE DETAILS
- A11 - NEW SHINGLE DETAILS
- A12 - NEW DOORS, WINDOWS, AND DETAILS

CONSTRUCTION DRAWINGS  
APR 21, 2022



AREA PLAN



ARCHITECT:  ARCH CIRA GABRIEL CIRA, AIA 189 HAMILTON ST CAMBRIDGE, MA 02139 blue.cira@gmail.com 774 327 1248
OWNER:  ST. AUGUSTINE'S A.O.C. EDWARD ECCLES, SR WARD 137 ALLSTON ST CAMBRIDGE, MA 02139 (617) 388-4337
SAINT AUGUSTINE'S A.O. CHURCH EXTERIOR PRESERVATION AND ACCESS PROJECT 137 ALLSTON ST, CAMBRIDGE, MA
A01
TITLE PAGE
DATE: APR 21, 2022
SCALE: AS NOTED



# APPLICABLE CODES

## BUILDING CODES

MASS STATE BUILDING CODE, 9TH EDITION 2018  
BASE VOLUME: 2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL EXISTING BUILDING CODE

## FIRE CODES

MASS STATE BUILDING CODE 2018  
BASE VOLUME: 2015 NFPA 1 FIRE CODE

## ACCESSIBILITY CODES

MASS ARCHITECTURAL ACCESS BOARD (AAB) 2006 REGULATIONS  
AMERICANS WITH DISABILITIES ACT (ADA)

## ENERGY CODES

2017 MASS STRETCH ENERGY CODE

# BUILDING DATA

## GROSS BUILDING AREA SUMMARY

LEVEL B GSF	2600
LEVEL 1 GSF	2600
TOTAL GSF	5200

# EARLIER WORK COMPLETED

PRIOR TO NOVEMBER 2019, THE BUILDING'S ROOF WAS IN SIGNIFICANT DISREPAIR, NEEDING BOTH STRUCTURAL AND WATER PROTECTION WORK. IN NOVEMBER-DECEMBER 2019, THE ROOF STRUCTURE WAS BOLSTERED WITH LATERAL TIE RODS, PLATES, AND HANGERS AT EACH STRUCTURAL COLUMN LINE. THE EXISTING ROOF SHINGLES WERE STRIPPED AND REPLACED, ADDING 4" EXTERIOR-SIDE RIGID FOAM INSULATION AND CORRESPONDING PRE-COATED STRUCTURAL PLYWOOD SHEATHING.

# PRESENT PROJECT NARRATIVE

THIS PROJECT WILL COMPLETE EXTERIOR HISTORIC PRESERVATION WORK ON THE CHURCH BUILDING AT 137 ALLSTON ST CAMBRIDGE MA.

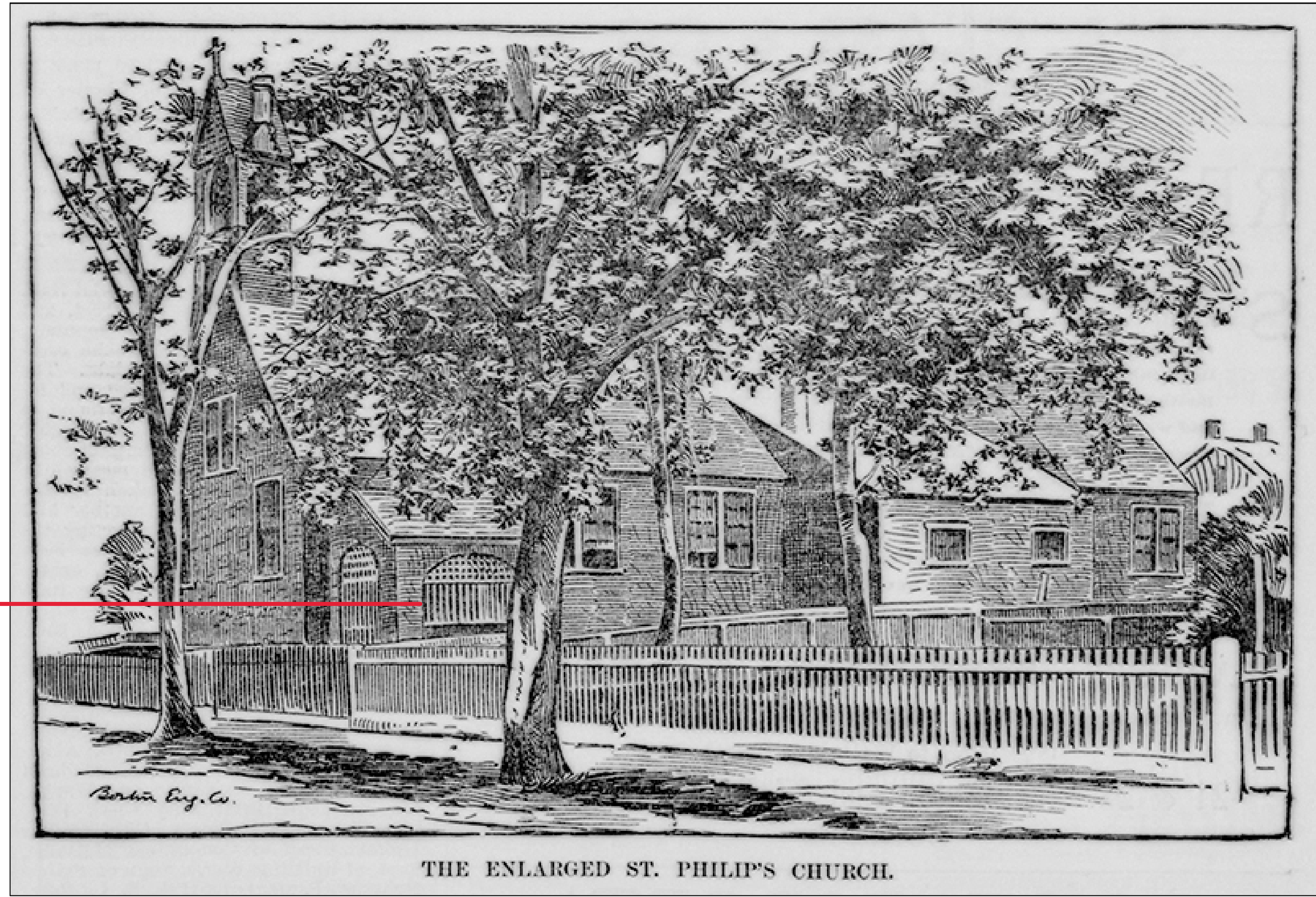
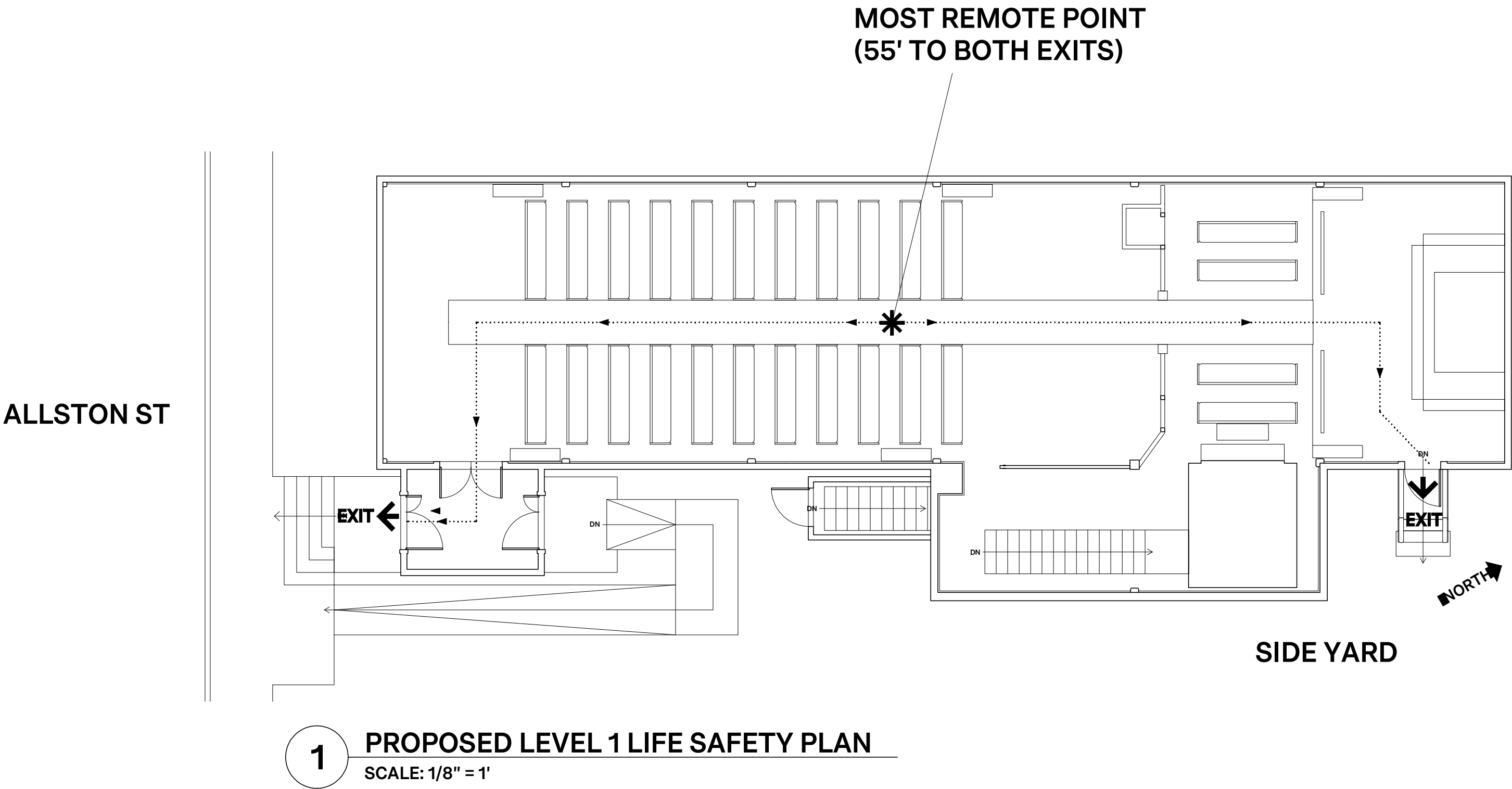
### EXTERIOR PRESERVATION WORK CONSISTS OF THESE TASKS:

- DEMOLISH EXISTING CONCRETE ENTRY STEPS AT FRONT CENTER AND SIDE VESTIBULE ENTRIES
- ADD 2 NEW ENTRY DOORS AT BOTH FRONT AND BACK SIDES OF EXISTING SIDE VESTIBULE
- ADD 1 NEW WINDOW AT SIDE OF EXISTING SIDE VESTIBULE
- ELIMINATE EXISTING FRONT CENTER ENTRANCE
- ADD 4 NEW CUSTOM WINDOWS AT MAIN FRONT FACADE
- STRIP EXISTING ASPHALT SIDING AND CEDAR SHINGLES, SPOT REPAIR EXISTING BASE SHEATHING.
- ADD 2" EXTERIOR-SIDE RIGID FOAM INSULATION AND 5/8" PLYWOOD OUTER SHEATHING.
- ADD NEW WATER/VAPOR MEMBRANES, DRAINAGE MAT, AND NEW CEDAR SHINGLES
- CONSTRUCT NEW ENTRY STAIRS AND ADA ACCESSIBLE RAMP LEADING TO THE EXISTING SIDE VESTIBULE

### CORRESPONDING INTERIOR WORK CONSISTS OF THESE TASKS:

- REPAIR/REFINISH INTERIOR EXPOSED WOOD OF EXISTING SIDE VESTIBULE WHERE NECESSARY
- BUILD NEW FLOOR STRUCTURE IN EXISTING SIDE VESTIBULE, UP ~9" TO HEIGHT OF CHURCH FLOOR LEVEL 1
- ADD NEW WOOD FLOOR IN EXISTING SIDE VESTIBULE
- ADD INTERIOR STAINED WOOD CASING AROUND NEW DOORS AND WINDOWS
- DEMOLISH EXISTING INTERIOR FRONT CENTER ENTRY BOX
- REPAIR AND REFINISH INTERIOR SURFACES AS NECESSARY AFTER INTERIOR DEMOLITION

# LIFE SAFETY



A NEW ENTRY STAIR AND RAMP WILL BE BUILT AT THE EXISTING SIDE VESTIBULE, RESTORING THE ORIGINAL ENTRANCE ACCESS TO THE BUILDING. THE EXISTING (C.1940) FRONT ENTRY WILL BE REMOVED AND REPLACED BY AN OPERABLE CASEMENT WINDOW. EXTERIOR-SIDE INSULATION WILL BE ADDED, AND NEW WOOD SHINGLES WILL BE ADDED. THE NEW SCREEN-LIKE WINDOW AND DOOR OPENINGS OF THE SIDE VESTIBULE REPLICATE ORIGINALS SUGGESTED BY AN 1888 ENGRAVING OF THE BUILDING PUBLISHED IN THE CAMBRIDGE CHRONICLE TO ACCOMPANY AN ARTICLE ON THE EXPANSION OF THE CHURCH, WHICH WAS ORIGINALLY BUILT IN 1886.

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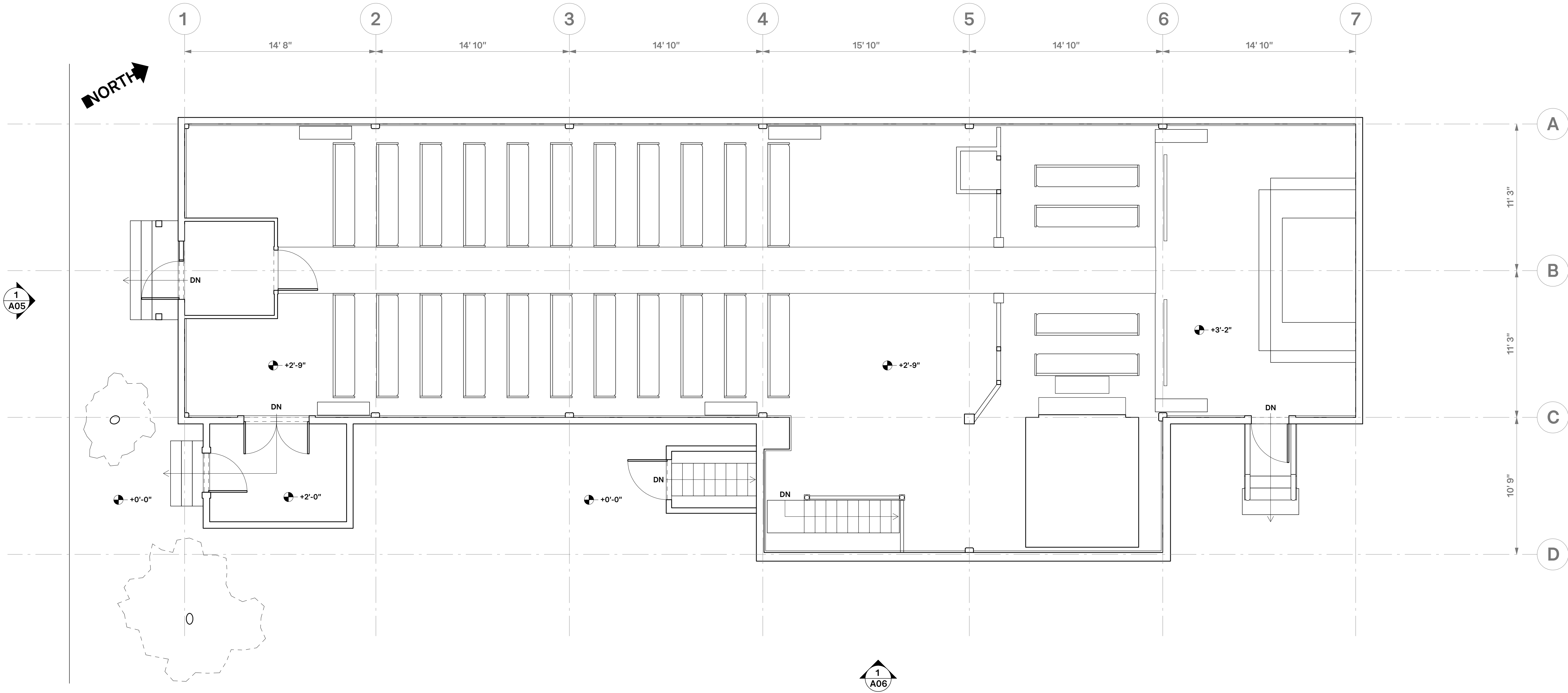
SAINT AUGUSTINE'S A.O. CHURCH  
EXTERIOR PRESERVATION AND ACCESS PROJECT  
137 ALLSTON ST, CAMBRIDGE, MA

A02

PROJECT  
SUMMARY /  
CODE  
SUMMARY

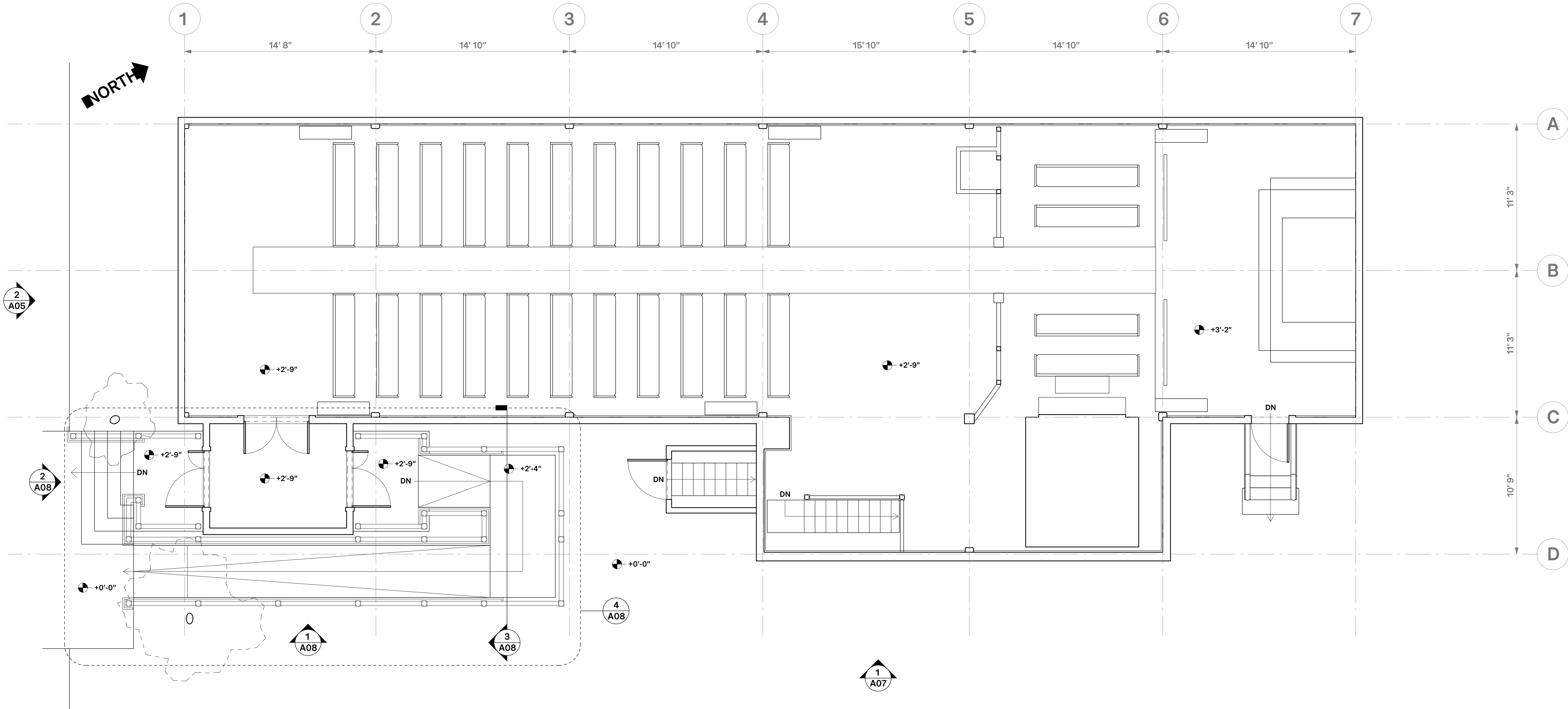
DATE:  
APR 21, 2022

SCALE:  
AS NOTED



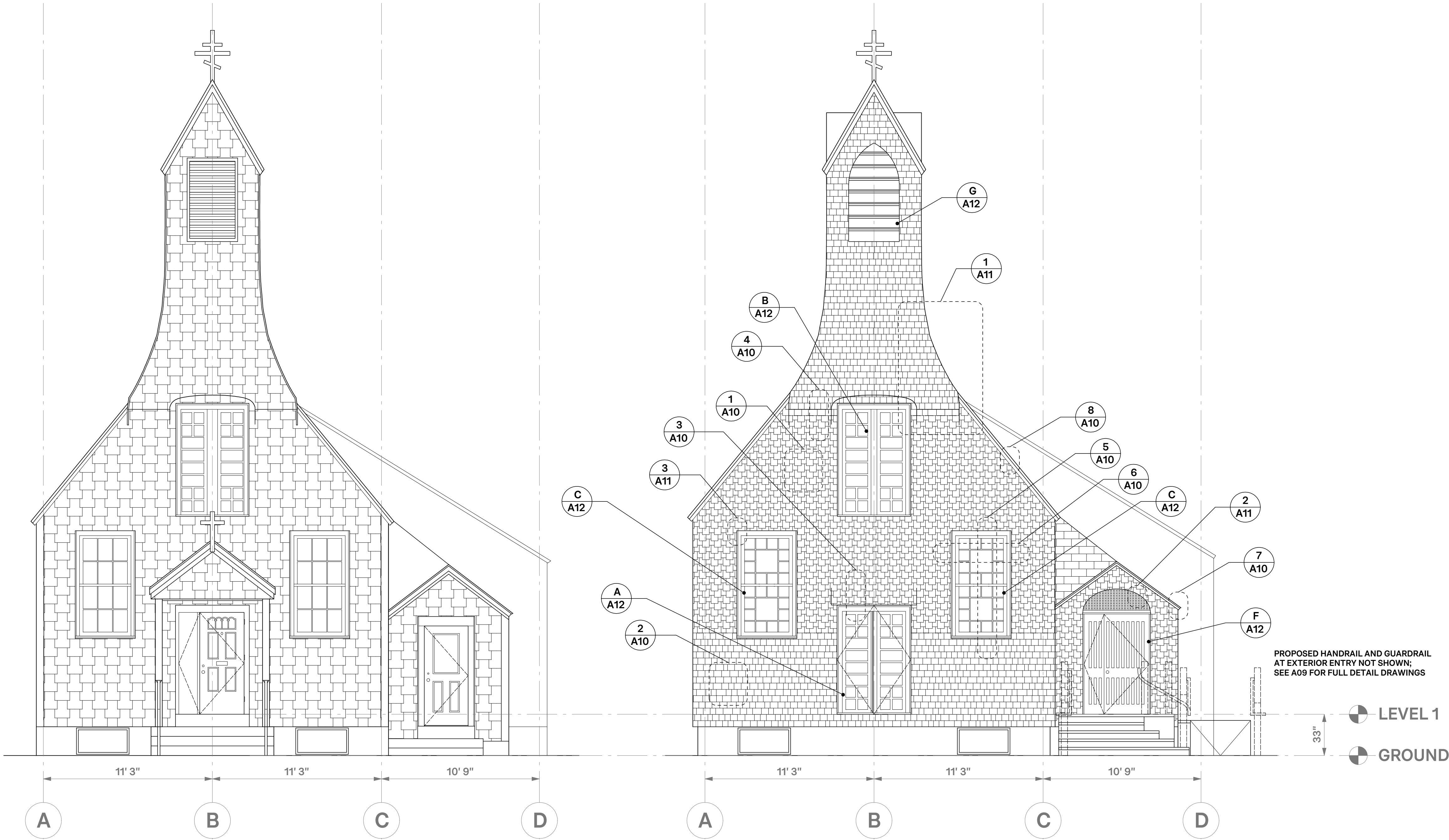
**1 EXISTING MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'

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OWNER:  ST. AUGUSTINE'S A.O.C. EDWARD ECCLES, SR WARD 137 ALLSTON ST CAMBRIDGE, MA 02139 (617) 388-4337
SAINT AUGUSTINE'S A.O. CHURCH EXTERIOR PRESERVATION AND ACCESS PROJECT 137 ALLSTON ST, CAMBRIDGE, MA
A03
EXISTING MAIN FLOOR PLAN
DATE: APR 21, 2022
SCALE: 1/4" = 1'



**1 NEW MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'

ARCHITECT:  ARCH CIRA GABRIEL CIRA, AIA 189 HAMILTON ST CAMBRIDGE, MA 02139 blue.cira@gmail.com 774 327 1248	
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SAINT AUGUSTINE'S A.O. CHURCH EXTERIOR PRESERVATION AND ACCESS PROJECT 137 ALLSTON ST, CAMBRIDGE, MA	
A04	
NEW MAIN FLOOR PLAN	
DATE: APR 21, 2022	
SCALE: 1/4" = 1'	



**1** EXISTING STREET ELEVATION  
SCALE: 1/4" = 1'

**2** NEW STREET ELEVATION  
SCALE: 1/4" = 1'

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SAINT AUGUSTINE'S A.O. CHURCH  
EXTERIOR PRESERVATION AND ACCESS PROJECT  
137 ALLSTON ST, CAMBRIDGE, MA

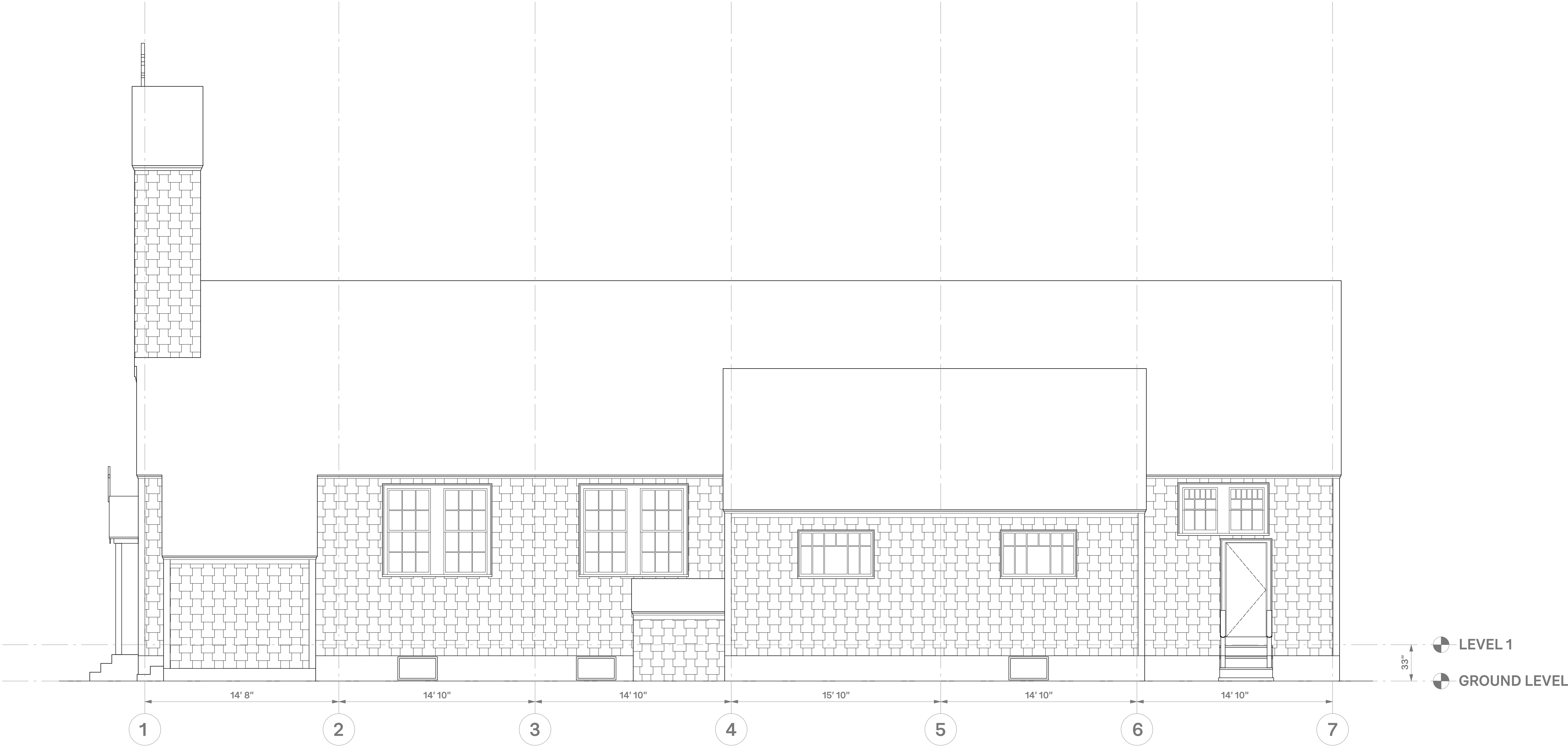
A05

ELEVATIONS

DATE:  
APR 21, 2022

SCALE:  
1/4" = 1'





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SAINT AUGUSTINE'S A.O. CHURCH  
EXTERIOR PRESERVATION AND ACCESS PROJECT  
137 ALLSTON ST, CAMBRIDGE, MA

A06

EXISTING  
SIDE  
ELEVATION

DATE:  
APR 21, 2022

SCALE:  
1/4" = 1'



**1** NEW RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'

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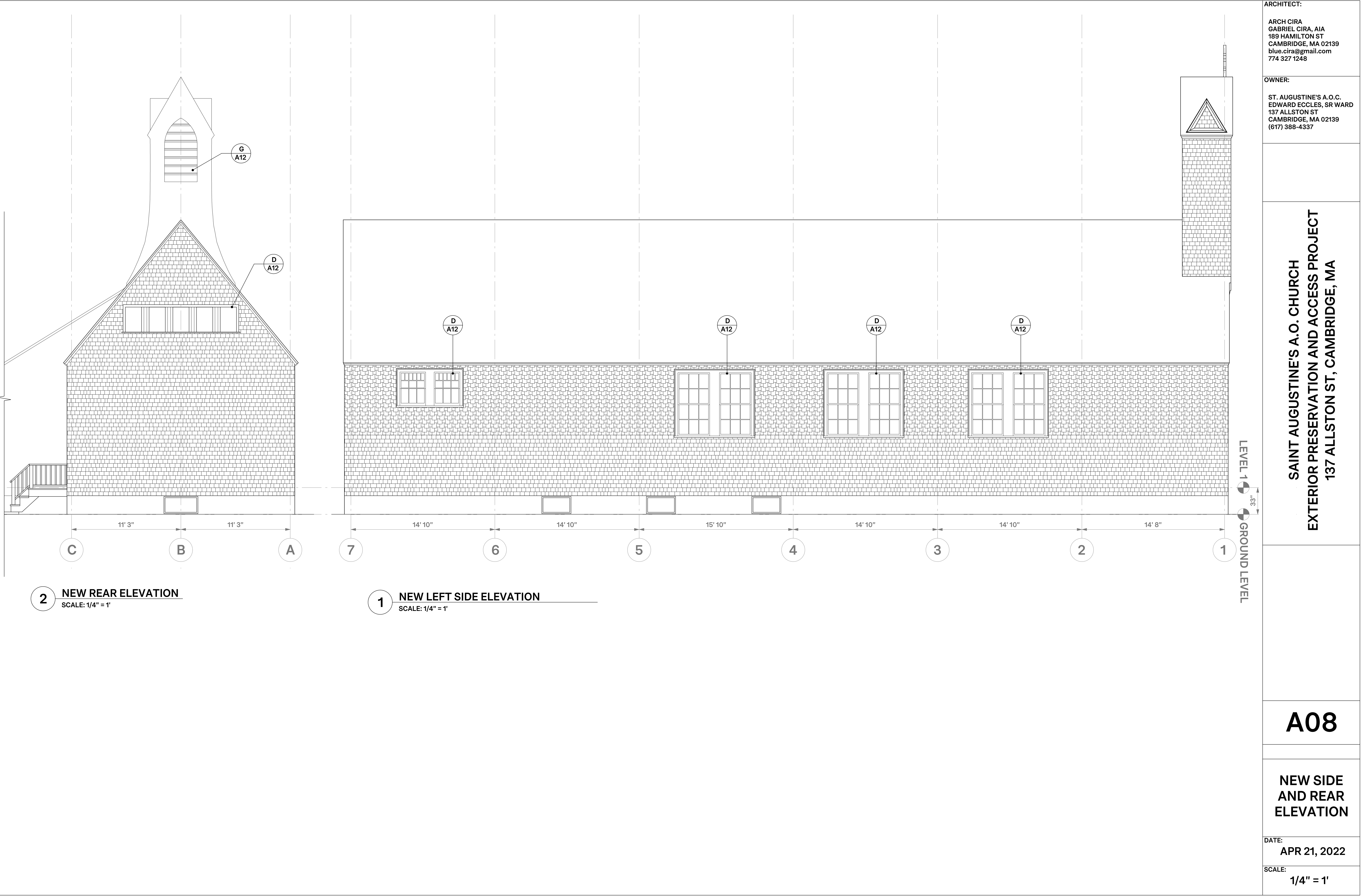
SAINT AUGUSTINE'S A.O. CHURCH  
EXTERIOR PRESERVATION AND ACCESS PROJECT  
137 ALLSTON ST, CAMBRIDGE, MA

A07

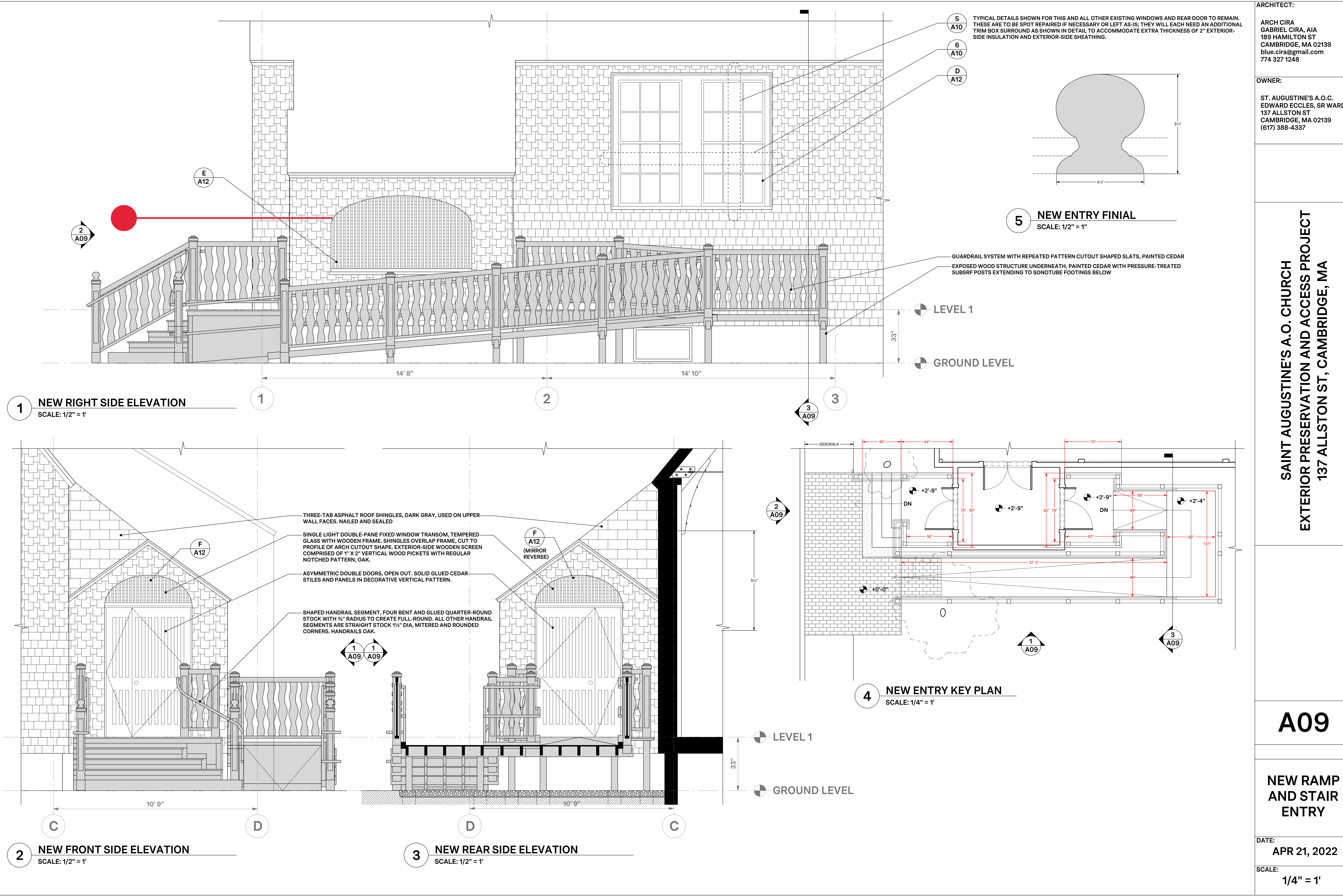
NEW SIDE  
ELEVATION

DATE:  
APR 21, 2022

SCALE:  
1/4" = 1'







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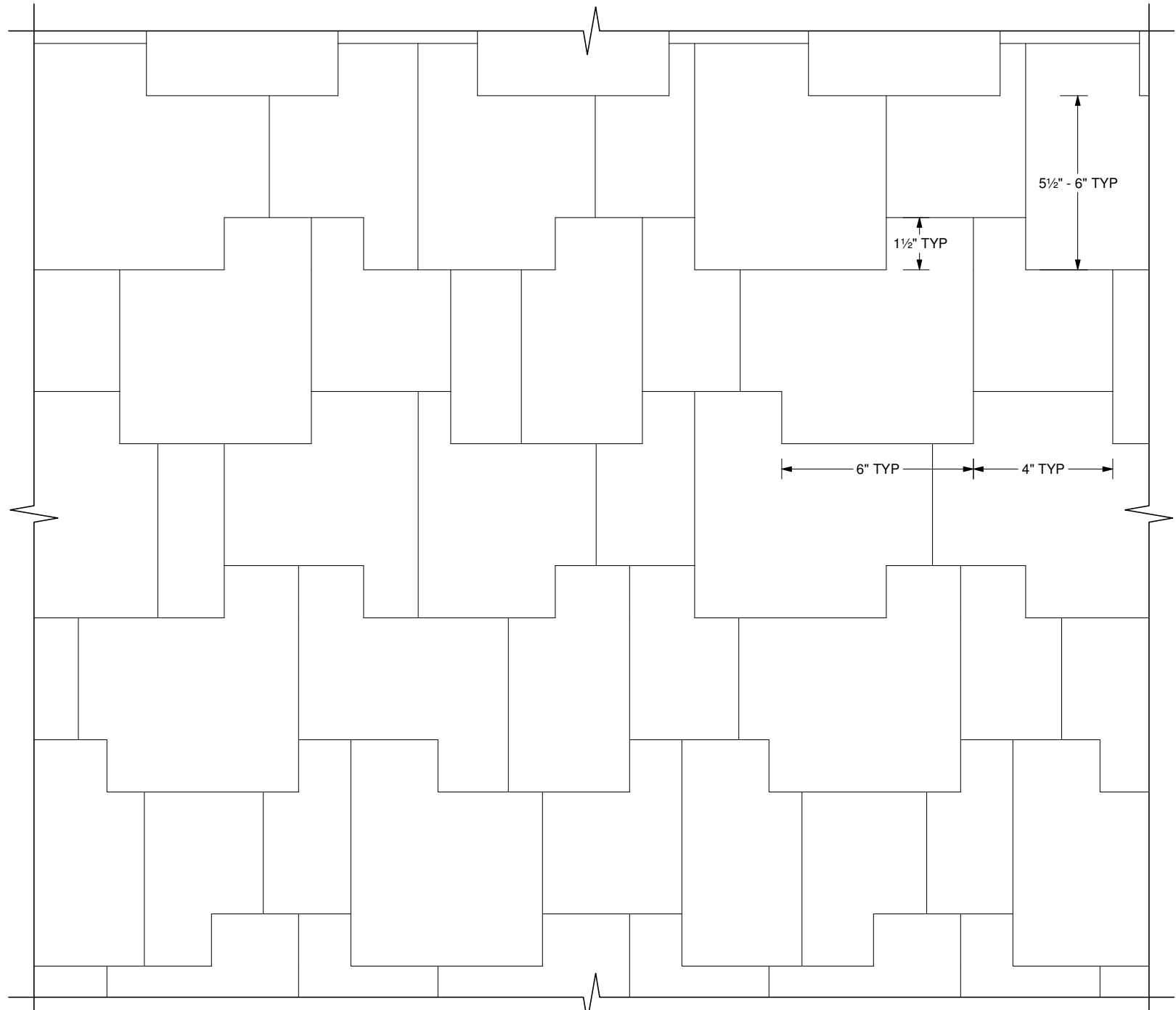
SAINT AUGUSTINE'S A.O. CHURCH  
EXTERIOR PRESERVATION AND ACCESS PROJECT  
137 ALLSTON ST, CAMBRIDGE, MA

A09

NEW RAMP  
AND STAIR  
ENTRY

DATE:  
APR 21, 2022

SCALE:  
1/4" = 1'

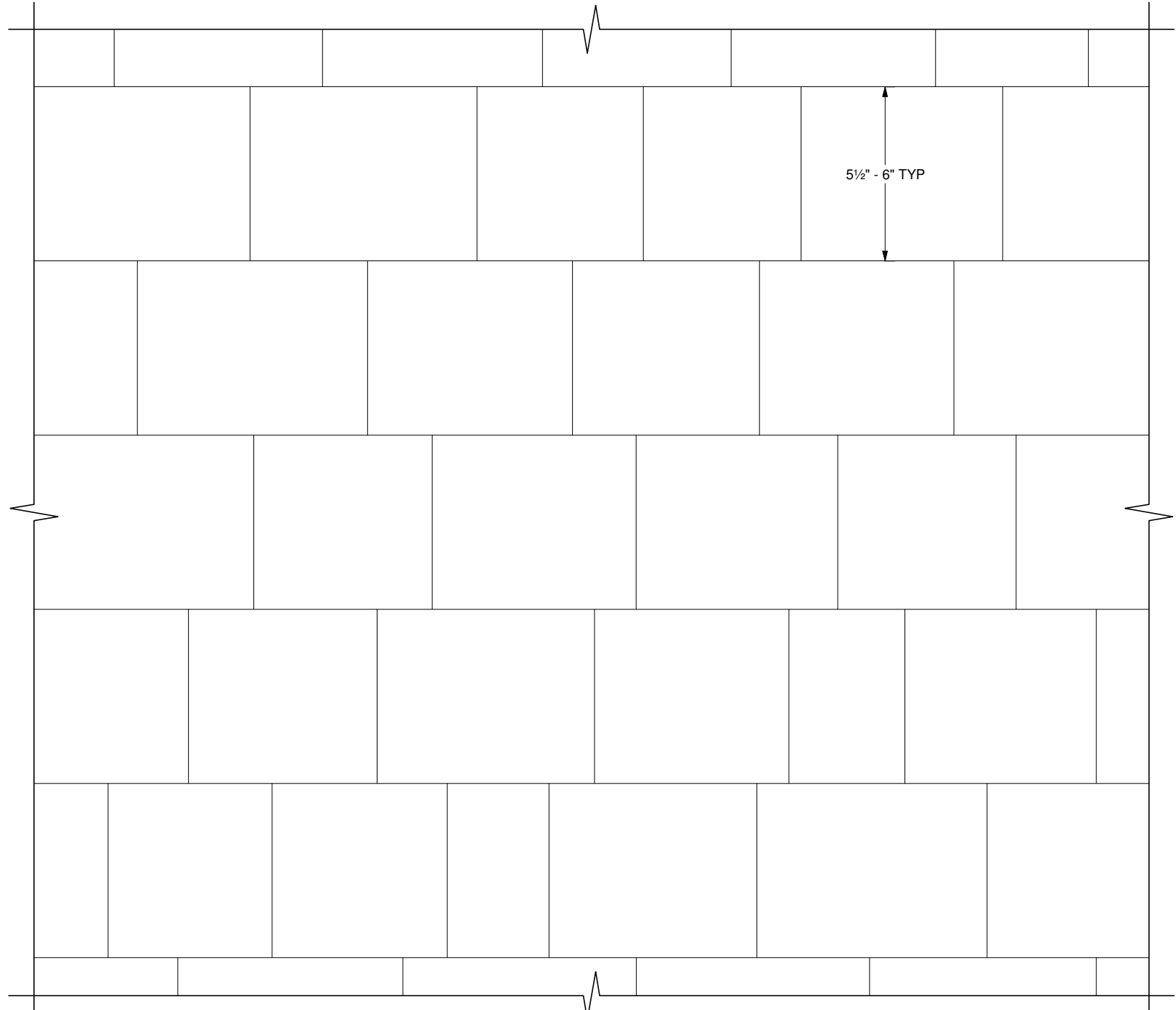


**1 TYPICAL STAGGER SHINGLE DETAIL**  
SCALE: 1/4" = 1"

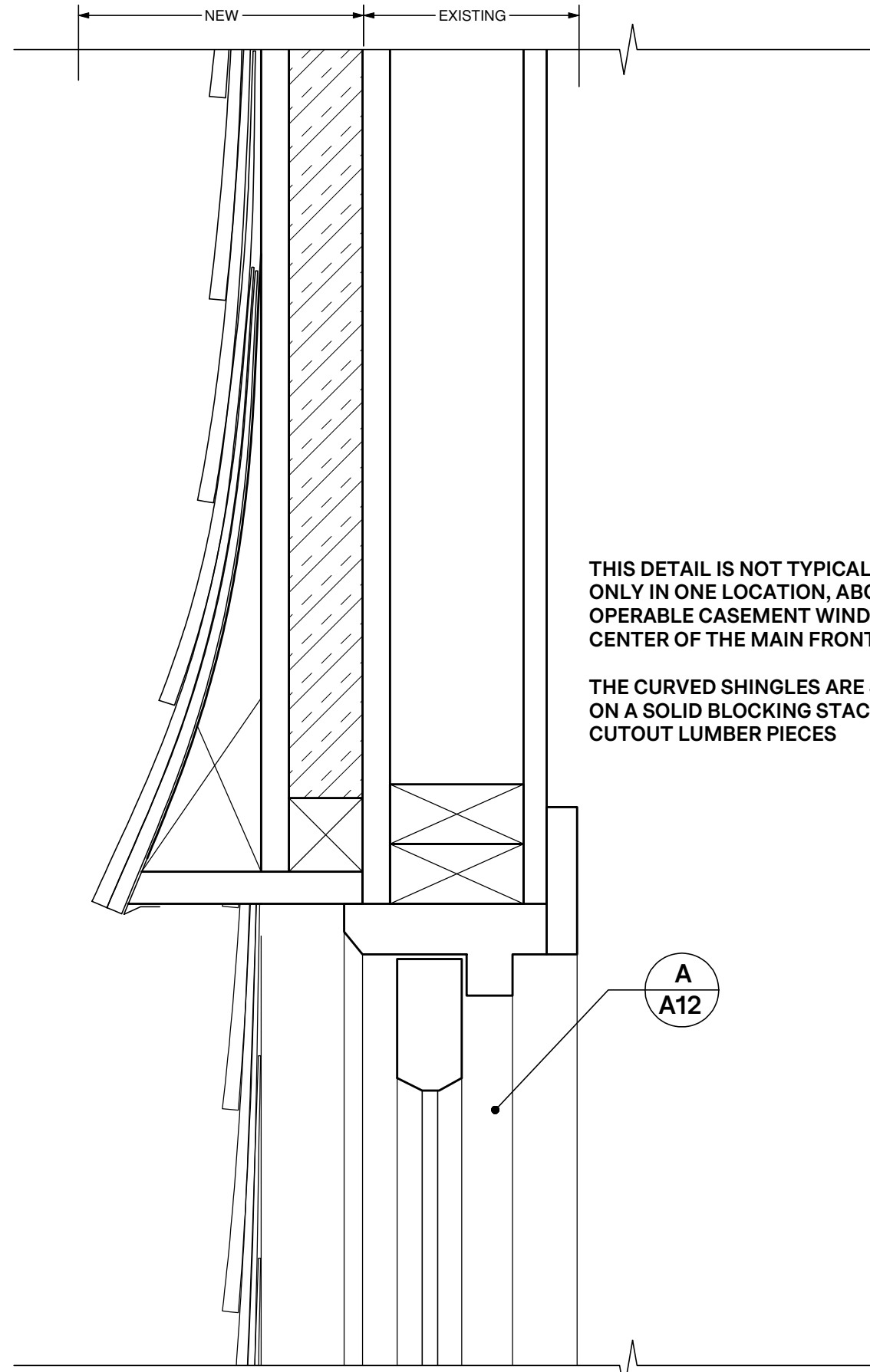
SHINGLE STAGGER PATTERN IS BASED ON STANDARD SPACING. SHINGLES ARE NOTCHED AT THEIR BOTTOM CORNER IN ORDER TO MAINTAIN 4" UPPER STAGGER AND 6" LOWER STAGGER.

NOTE THAT THERE IS SOME VARIATION:  
4" TYPICAL FOR THE UPPER STAGGER, BUT RANGE IS 3 1/2" - 4 1/2"  
6" TYPICAL FOR THE LOWER STAGGER, BUT RANGE IS 5 1/2" - 7"

FOR BOTH STAGGER AND STRAIGHT SHINGLE DETAILS, COURSE SPACING IS STANDARD AT 5 1/2" - 6" TYPICAL



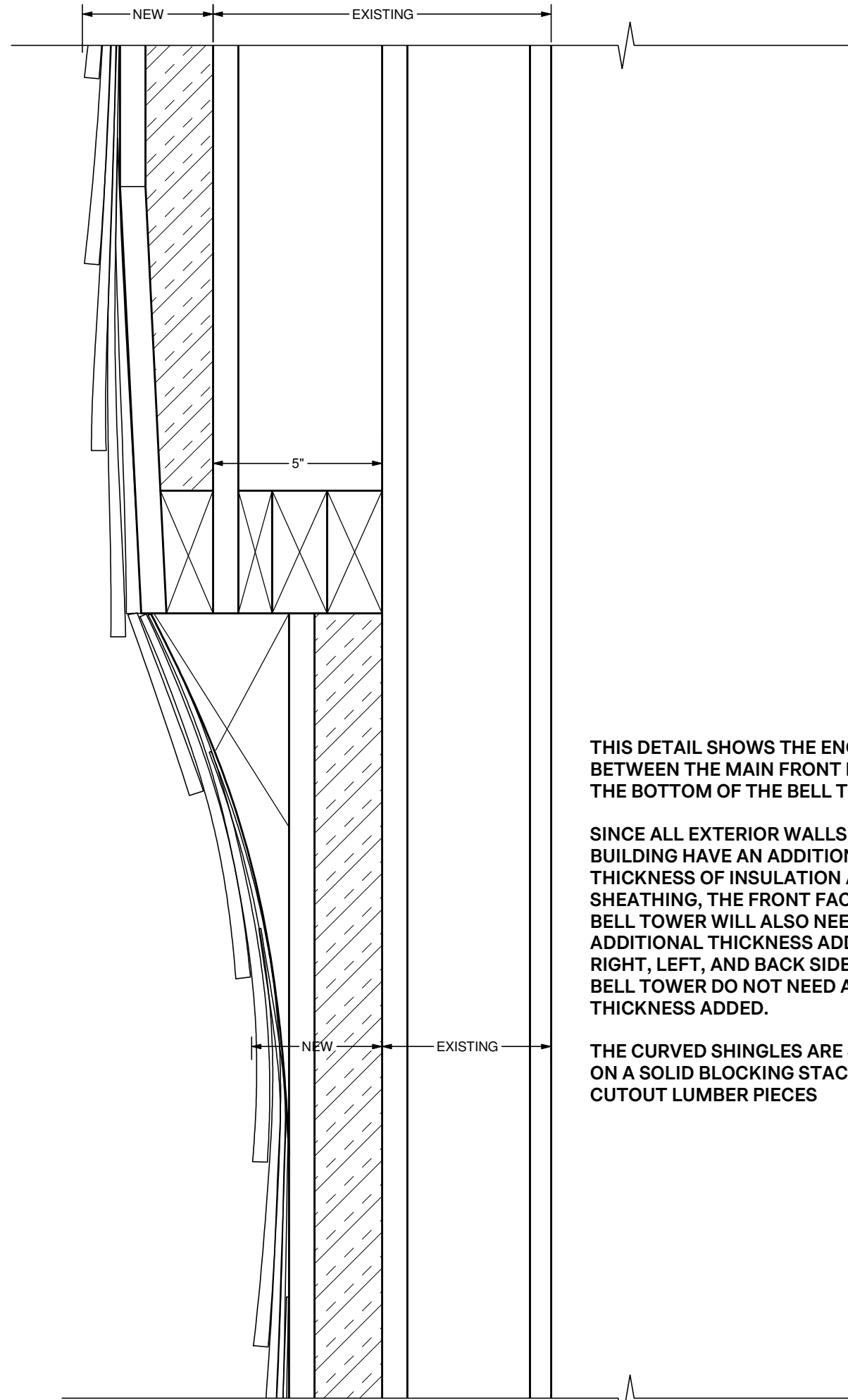
**2 TYPICAL STRAIGHT SHINGLE DETAIL**  
SCALE: 1/4" = 1"



**3 UNIQUE NEW WINDOW OVERHANG DETAIL**  
SCALE: 1/4" = 1"

THIS DETAIL IS NOT TYPICAL, IT IS USED ONLY IN ONE LOCATION, ABOVE THE NEW OPERABLE CASEMENT WINDOW AT THE CENTER OF THE MAIN FRONT FACADE.

THE CURVED SHINGLES ARE SUPPORTED ON A SOLID BLOCKING STACK OF PROFILE CUTOUT LUMBER PIECES

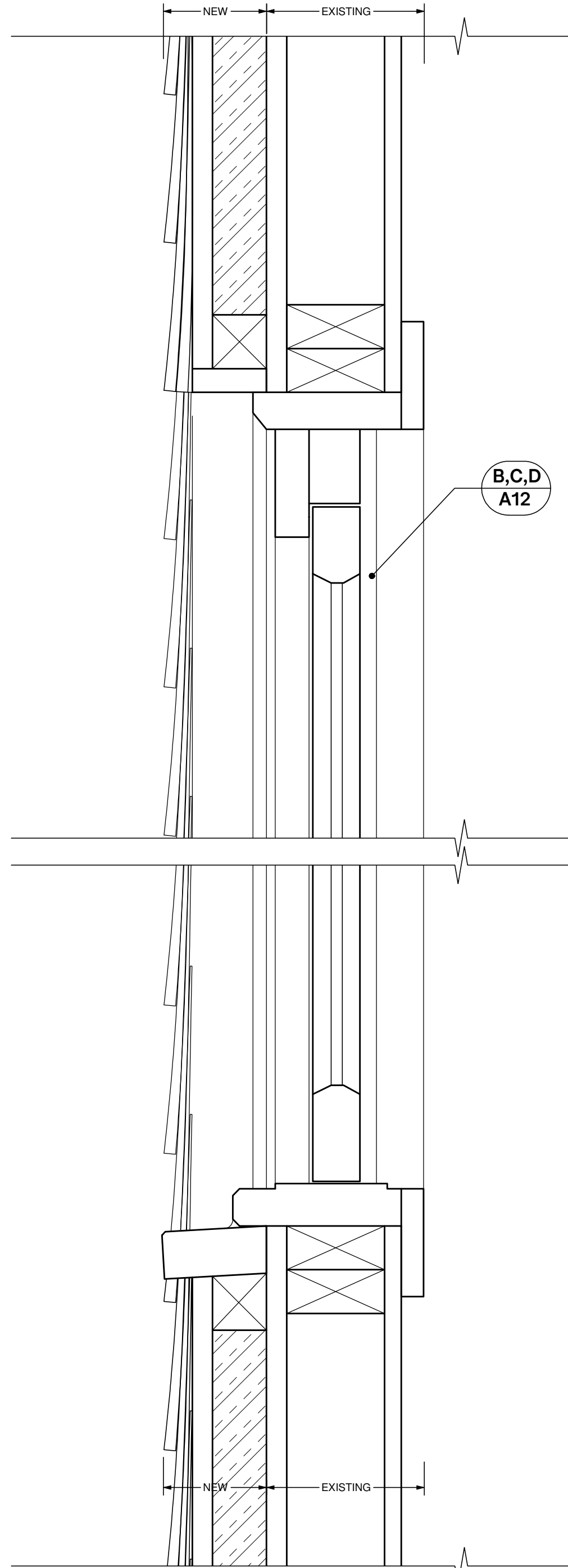


**4 BELL TOWER BASE OVERHANG DETAIL**  
SCALE: 1/4" = 1"

THIS DETAIL SHOWS THE ENGAGEMENT BETWEEN THE MAIN FRONT FACADE AND THE BOTTOM OF THE BELL TOWER

SINCE ALL EXTERIOR WALLS OF THE BUILDING HAVE AN ADDITIONAL 2 3/4" OF THICKNESS OF INSULATION AND OUTER SHEATHING, THE FRONT FACE OF THE BELL TOWER WILL ALSO NEED THIS ADDITIONAL THICKNESS ADDED. THE RIGHT, LEFT, AND BACK SIDES OF THE BELL TOWER DO NOT NEED ADDITIONAL THICKNESS ADDED.

THE CURVED SHINGLES ARE SUPPORTED ON A SOLID BLOCKING STACK OF PROFILE CUTOUT LUMBER PIECES

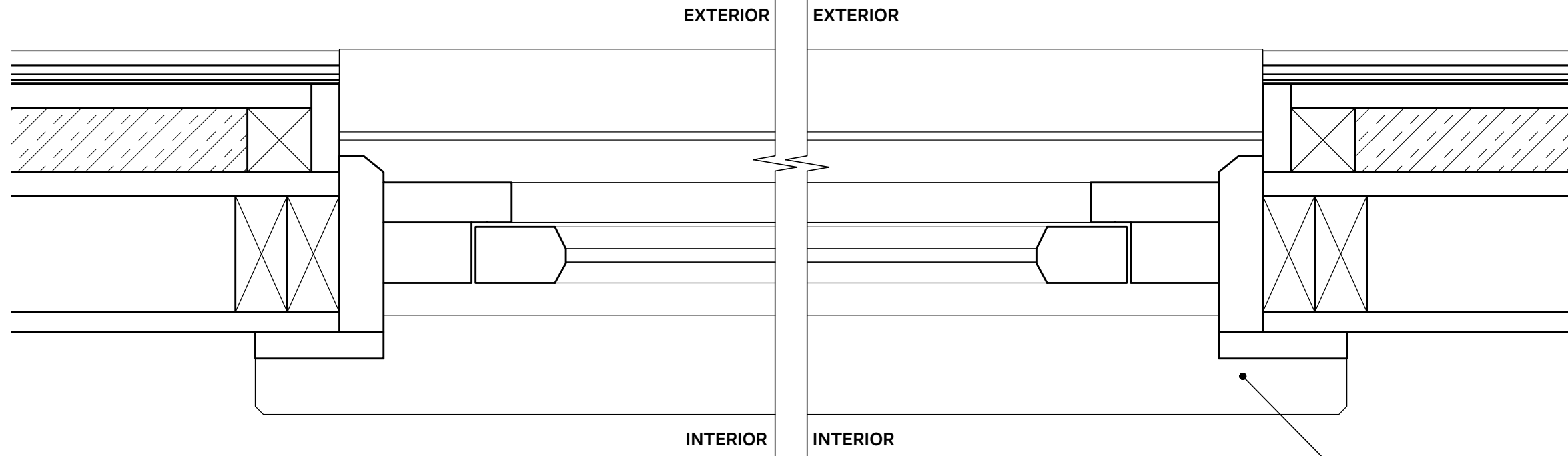


**5 TYPICAL WINDOW HEAD/SILL DETAIL**  
SCALE: 1/4" = 1"

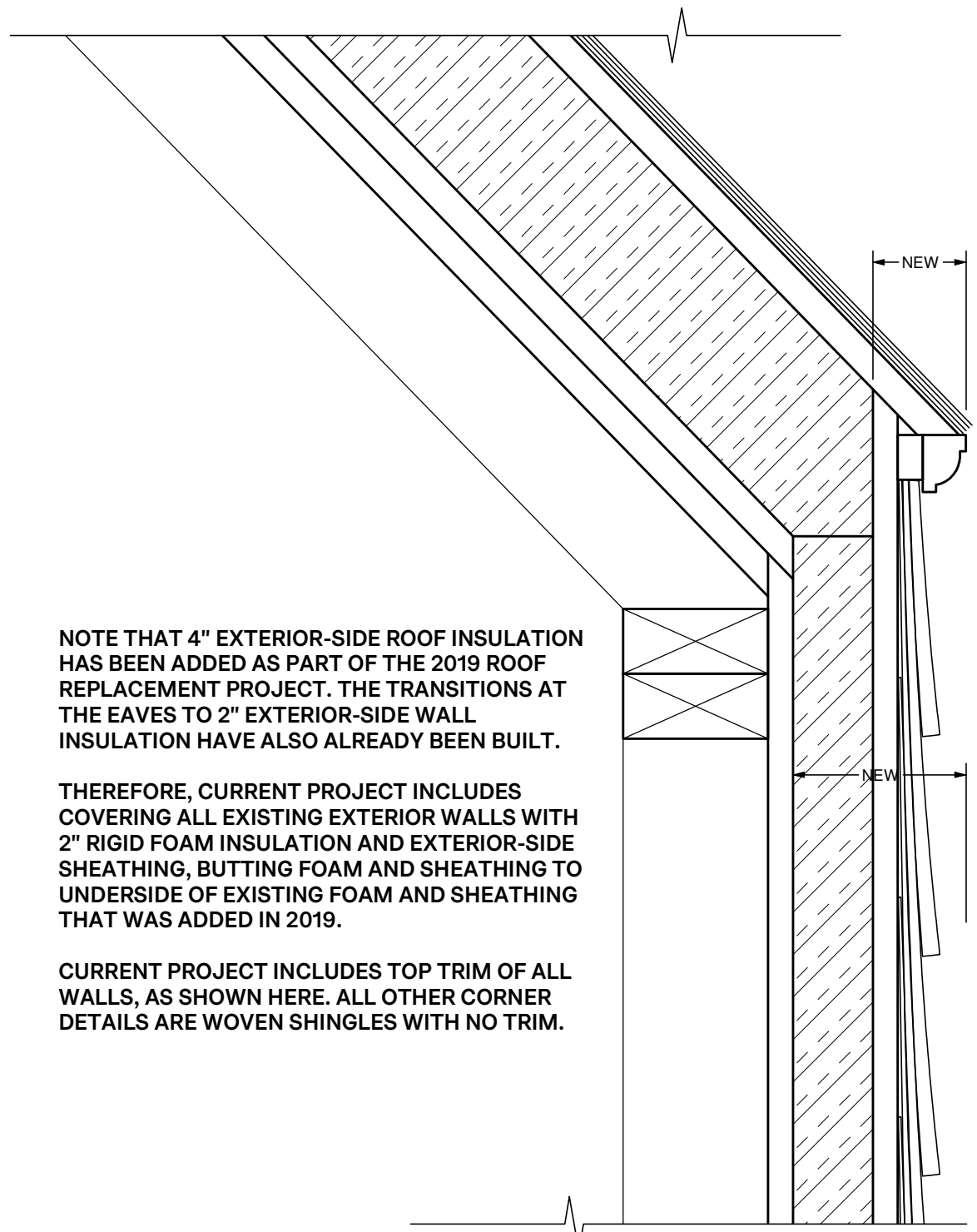
DETAILS 5 AND 6 ARE TYPICAL, USED FOR ALL WINDOW SURROUNDS BOTH EXISTING AND NEW EXCEPT FOR THE UNIQUE WINDOW INDICATED IN DETAIL A09-3 AT LEFT.

ALL OPENINGS REQUIRE A TRIM BOX TO BE ADDED THAT BUILDS THE ADDITIONAL THICKNESS OF NEW INSULATION OUT.

SHINGLES HAVE NO FLAT FACE TRIM EDGE, AND ARE CUT TO OVERLAP EDGE OF NEW TRIM BOX BUILT AROUND EACH OPENING WITH EXPOSED EDGES. SEE A10-2, A10-3



**6 TYPICAL WINDOW SIDE JAMB DETAIL**  
SCALE: 1/4" = 1"

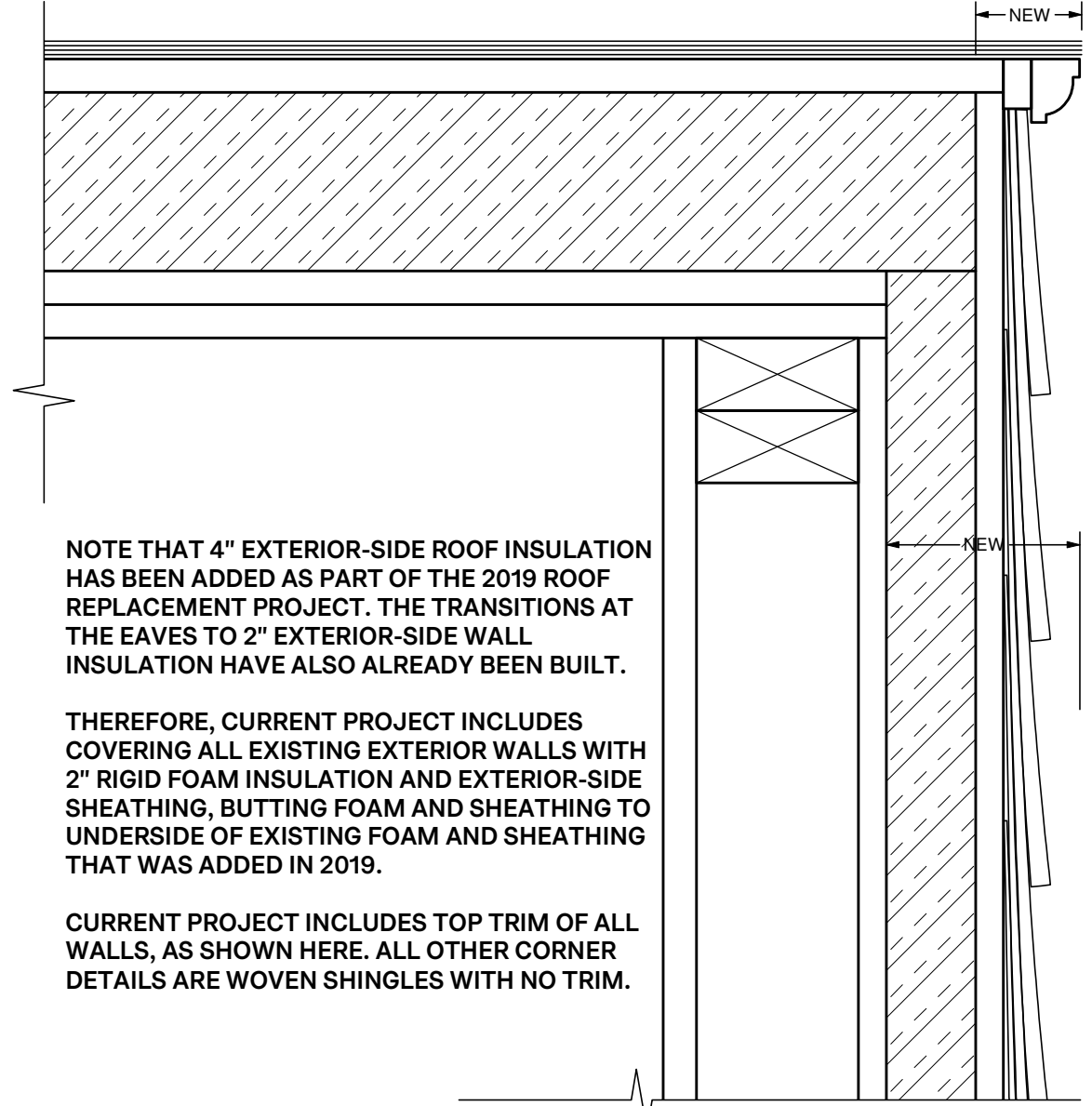


**7 TYPICAL WALL/ROOF INSUL DETAIL**  
SCALE: 1/4" = 1"

NOTE THAT 4" EXTERIOR-SIDE ROOF INSULATION HAS BEEN ADDED AS PART OF THE 2019 ROOF REPLACEMENT PROJECT. THE TRANSITIONS AT THE EAVES TO 2" EXTERIOR-SIDE WALL INSULATION HAVE ALSO ALREADY BEEN BUILT.

THEREFORE, CURRENT PROJECT INCLUDES COVERING ALL EXISTING EXTERIOR WALLS WITH 2" RIGID FOAM INSULATION AND EXTERIOR-SIDE SHEATHING, BUTTING FOAM AND SHEATHING TO UNDERSIDE OF EXISTING FOAM AND SHEATHING THAT WAS ADDED IN 2019.

CURRENT PROJECT INCLUDES TOP TRIM OF ALL WALLS, AS SHOWN HERE. ALL OTHER CORNER DETAILS ARE WOVEN SHINGLES WITH NO TRIM.



**8 TYPICAL WALL/ROOF INSUL DETAIL**  
SCALE: 1/4" = 1"

NOTE THAT 4" EXTERIOR-SIDE ROOF INSULATION HAS BEEN ADDED AS PART OF THE 2019 ROOF REPLACEMENT PROJECT. THE TRANSITIONS AT THE EAVES TO 2" EXTERIOR-SIDE WALL INSULATION HAVE ALSO ALREADY BEEN BUILT.

THEREFORE, CURRENT PROJECT INCLUDES COVERING ALL EXISTING EXTERIOR WALLS WITH 2" RIGID FOAM INSULATION AND EXTERIOR-SIDE SHEATHING, BUTTING FOAM AND SHEATHING TO UNDERSIDE OF EXISTING FOAM AND SHEATHING THAT WAS ADDED IN 2019.

CURRENT PROJECT INCLUDES TOP TRIM OF ALL WALLS, AS SHOWN HERE. ALL OTHER CORNER DETAILS ARE WOVEN SHINGLES WITH NO TRIM.

ARCHITECT:  
  
ARCH CIRA  
GABRIEL CIRA, AIA  
189 HAMILTON ST  
CAMBRIDGE, MA 02139  
blue.cira@gmail.com  
774 327 1248

OWNER:  
  
ST. AUGUSTINE'S A.O.C.  
EDWARD ECCLES, SR WARD  
137 ALLSTON ST  
CAMBRIDGE, MA 02139  
(617) 388-4337

SAINT AUGUSTINE'S A.O. CHURCH  
EXTERIOR PRESERVATION AND ACCESS PROJECT  
137 ALLSTON ST, CAMBRIDGE, MA

A10

NEW  
SHINGLE  
DETAILS

DATE:  
APR 21, 2022

SCALE:  
1/4" = 1"



1 BELL TOWER / ROOF SHOULDER DETAIL  
SCALE: 1/4" = 1"

VERTICAL COLUMN LOCATION (EMBEDDED IN FRONT WALL)  
ALL EXISTING MATERIAL INSIDE BELL TOWER TO REMAIN. INSTALL 4" INSULATION INSIDE BELL TOWER AS NECESSARY

NEW EXTERIOR-SIDE RIGID FOAM INSULATION BETWEEN BLOCKS  
OLD SHEATHING TO REMAIN  
NEW BLOCKING 8" OC TO BLEND IN NEW FLARE SHAPE  
NEW SHEATHING, TYPICAL EXT WALL SHINGLE DETAIL WITH HYDROGAP HOUSEWRAP

WOOD SHINGLES END AT BOTTOM OF NEW FLARE SHAPE  
16" PEEL-AND-STICK MEMBRANE BAND BETWEEN SHEATHING ENDS  
WOODEN TRIM AT EDGE  
ALUMINUM DRIP EDGE TO TOP OF ASPHALT SHINGLES BELOW

4" EXTERIOR-SIDE ROOF INSULATION ALREADY HAS BEEN ADDED  
SIDE PROFILE OF FRONTAL BRACKET AT FRONT FACADE

2 TYPICAL SHINGLE DETAIL AROUND WINDOWS/DOORS  
SCALE: 1/4" = 1"

THE TRIM BOX AROUND IS VISIBLE ONLY IN ITS INTERIOR FACE. THE SHINGLES OVERLAP ON TOP OF THE TRIM BOX AND ARE CUT TO PROFILE AROUND THE INSIDE OPENING.  
IN DETAILS A11-2 AND A11-3, THE THICKNESS OF THE TRIM BOX IS SHOWN, AND THE EXTERIOR-SIDE INSULATION EXTENTS ARE ALSO SHOWN, INDICATED AS GRAY DASHED LINE HATCH REGION.  
BLOCKING AS NECESSARY IS ALSO SHOWN AROUND THE OUTSIDE OF EACH WINDOW OPENING

3 TYPICAL SHINGLE DETAIL AROUND WINDOWS/DOORS  
SCALE: 1/4" = 1"

NEW EXTERIOR-SIDE RIGID FOAM INSULATION (HATCH)  
BLOCKING  
TRIM BOX, 3" DEPTH

NEW EXTERIOR-SIDE RIGID FOAM INSULATION (HATCH)  
BLOCKING  
TRIM BOX, 3" DEPTH

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137 ALLSTON ST, CAMBRIDGE, MA

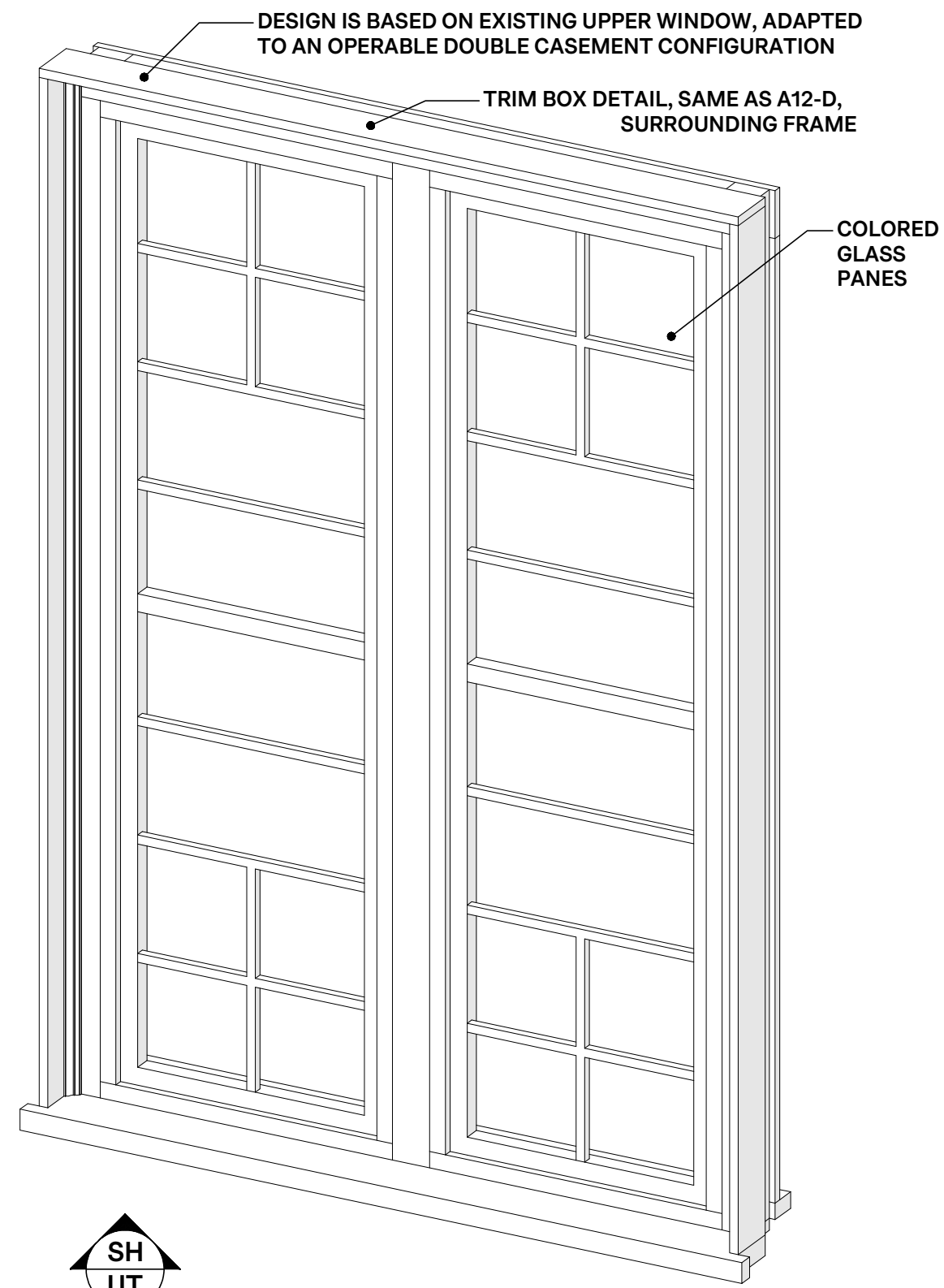
A11

NEW  
SHINGLE  
DETAILS

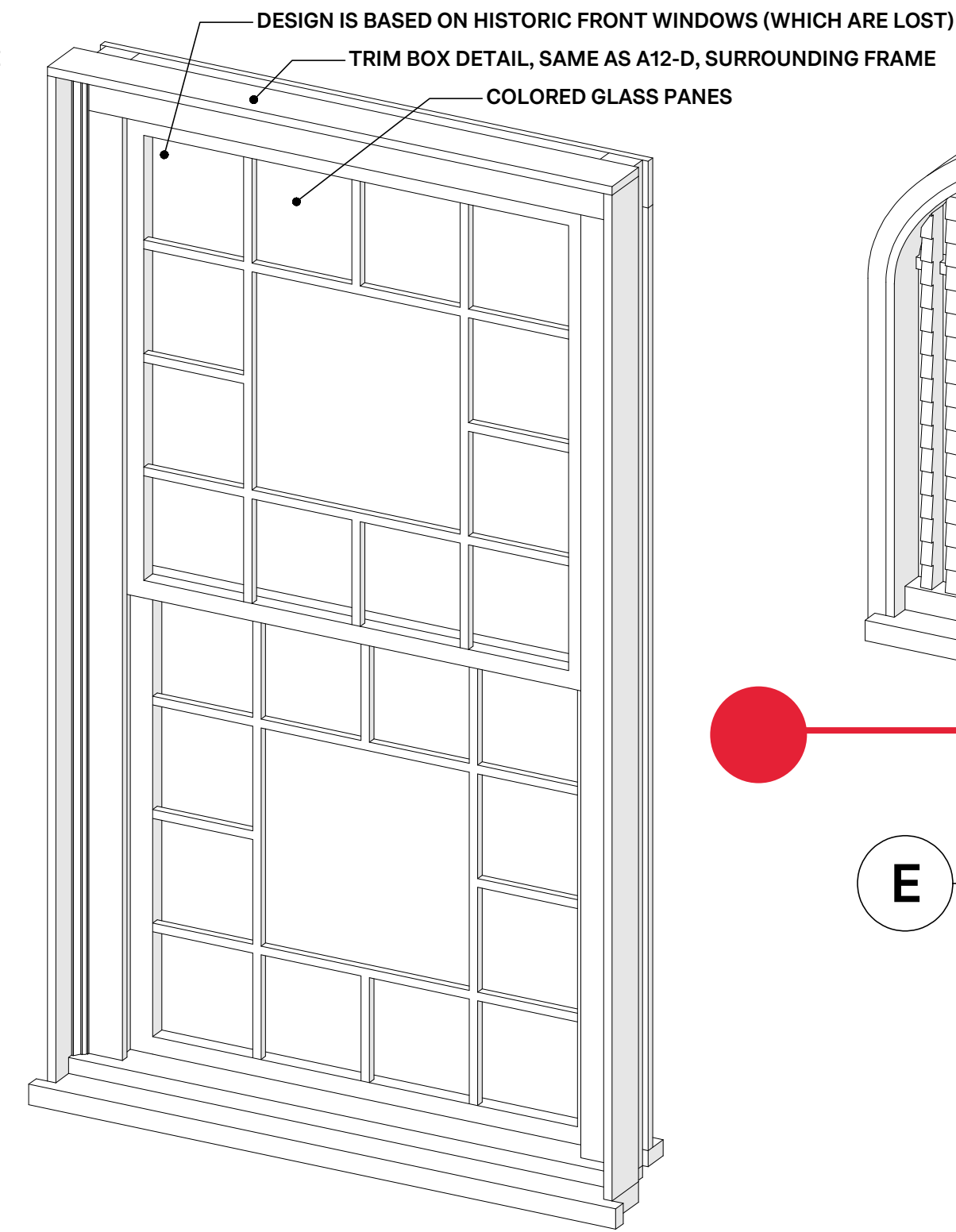
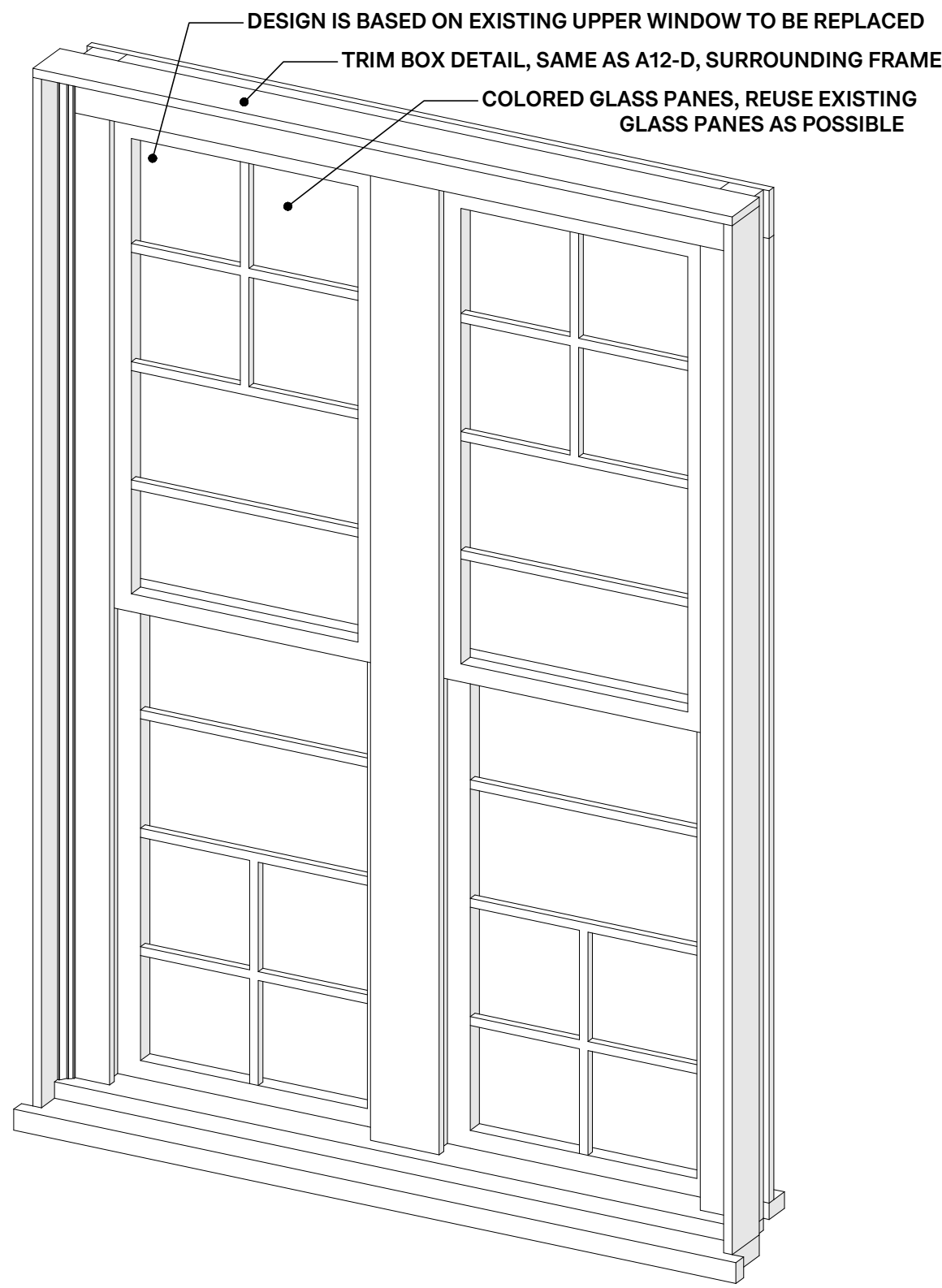
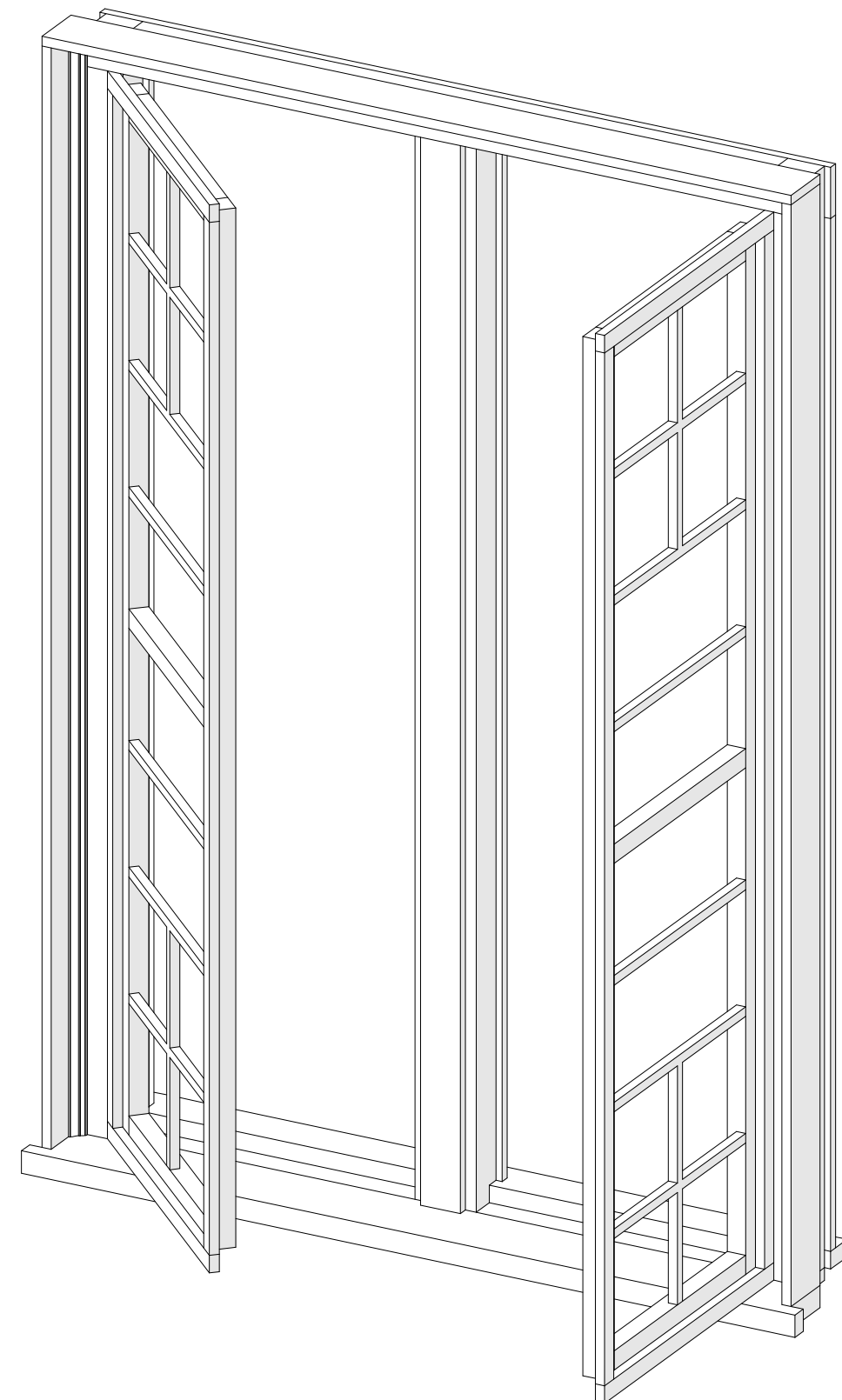
DATE:  
APR 21, 2022

SCALE:  
1/4" = 1"





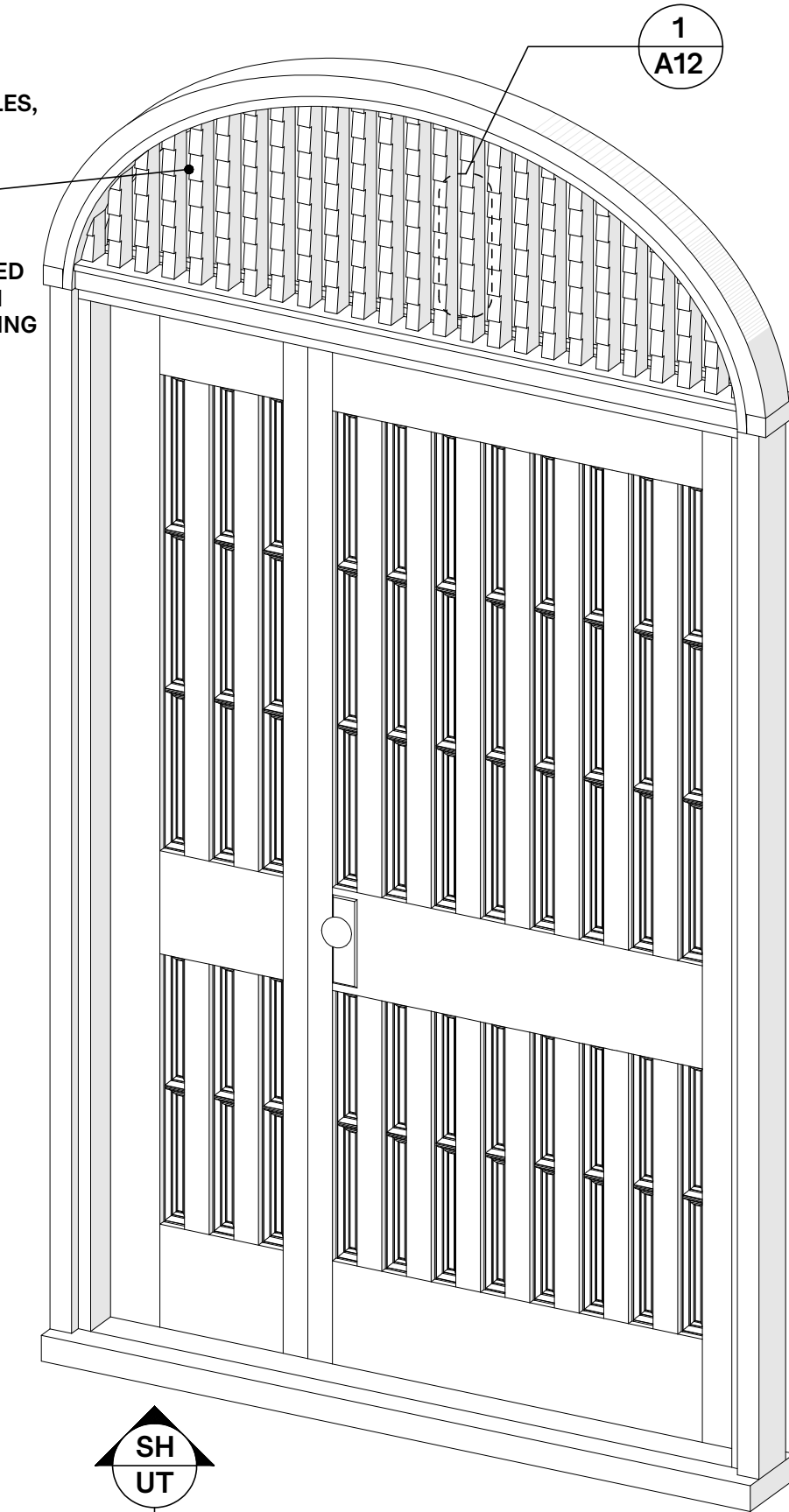
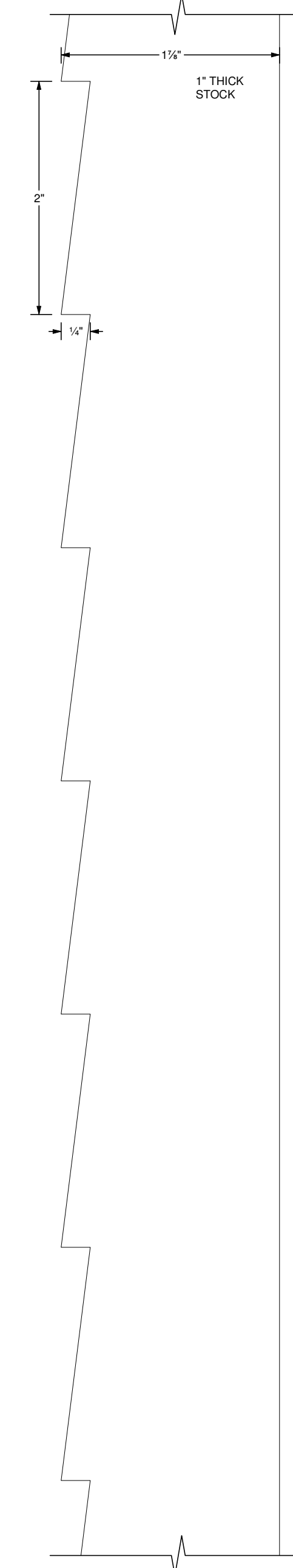
**A NEW CASEMENT WINDOW**  
SCALE: 1" = 1'  
QTY: 1  
SIZE: 62" X 89"



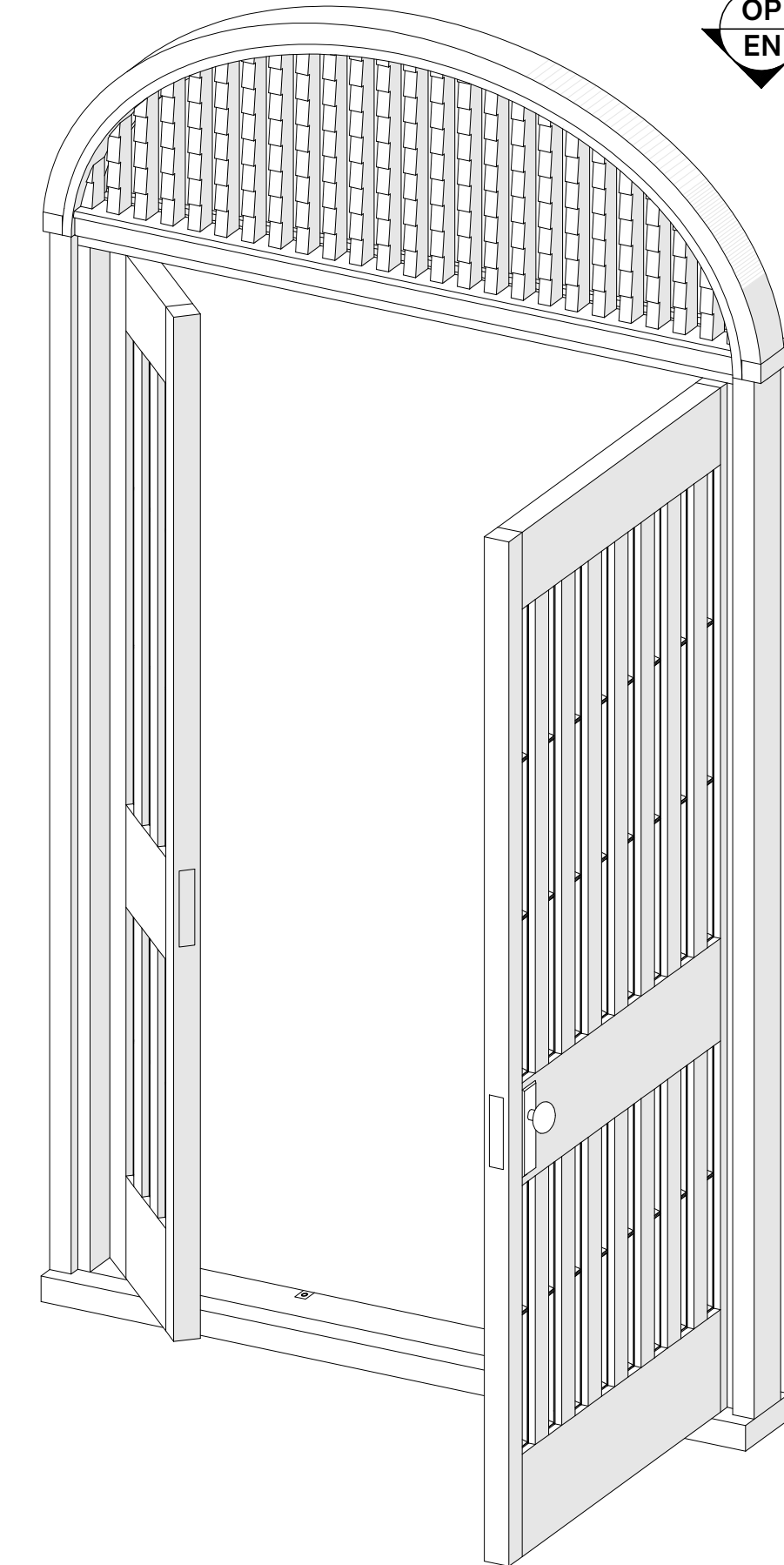
**E NEW FIXED WINDOW**  
SCALE: 1" = 1'  
QTY: 1  
SIZE: 92" X 52"



**WOOD PROFILE BATTEN DETAIL**  
SCALE: ACTUAL SIZE



**F NEW DOUBLE DOOR**  
SCALE: 1" = 1'  
QTY: 2  
1 AS SHOWN (FRONT OF SIDE VESTIBULE)  
1 MIRROR REVERSE (BACK OF SIDE VESTIBULE)  
SIZE: 58" X 104"  
OPENING SIZE: 52" X 80"



**G NEW SLATTED FRAME**  
SCALE: 1" = 1'  
QTY: 2  
SIZE: 45" X 84"

**B NEW DOUBLE-HUNG WINDOW**  
SCALE: 1" = 1'  
QTY: 1  
SIZE: 62" x 89"

**C NEW DOUBLE-HUNG WINDOW**  
SCALE: 1" = 1'  
QTY: 2  
SIZE: 50" X 89"

**D TYPICAL NEW TRIM BOX FOR EXISTING WINDOWS/DOORS TO REMAIN**  
SCALE: 1" = 1'  
QTY: 12  
SIZES:  
5 LARGE WINDOWS (AT SIDES) 100" X 88"  
2 MEDIUM FIXED WINDOWS (AT SIDES) 84" X 48"  
2 SMALL FIXED WINDOWS (AT SIDE) 70" X 44"  
1 WIDE FIXED WINDOW (AT REAR) 144" X 36"  
2 EXIT DOORS (AT SIDE/REAR) 48" X 90"



**ASSESSORS:** MAP 97, LOT 59

**ZONING:** RESIDENCE C

**REFERENCES:**

DEED BOOK 7535, PAGE 121  
DEED BOOK 7535, PAGE 123  
(DECLARATION OF TRUST)  
PLAN BOOK 33, PLAN 5

**OWNER OF RECORD:**

ST. AUGUSTINE'S MISSION

128-130 Hamilton St  
**128-130  
HAMILTON  
STREET  
CONDOMINIUM**  
DEED BOOK 18496, PAGE 72  
PLAN 1786 OF 1948

122 Hamilton St  
**122 HAMILTON STREET CONDOMINIUM**  
DEED BOOK 47298, PAGE 522  
PLAN BOOK 33, PLAN 5  
PLAN 425 OF 2006

231 Brookline St  
**CAMP  
PORT  
REALTY LLC**  
DEED BOOK 27940,  
PAGE 305

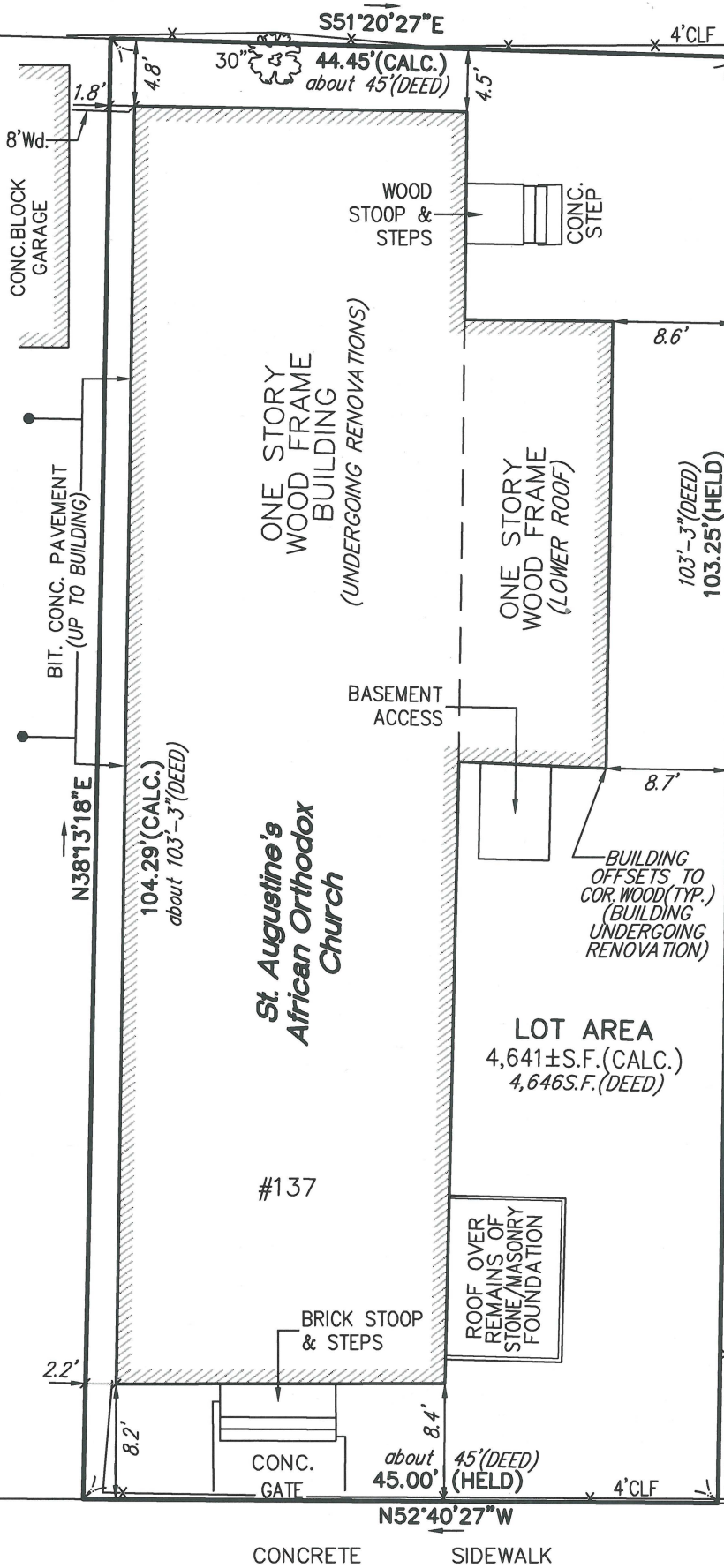
141 Allston St  
**JOSE & GABRIELE S. V.  
CAMPANELLA**  
DEED BOOK 36880, PAGE 479

235 Brookline St  
**KATHARINE E. WHITE**  
DEED BOOK 27066, PAGE 388  
PLAN BOOK 33, PLAN 5

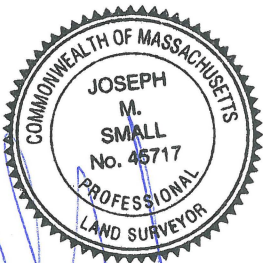
239 Brookline St.  
**BRIAN & JENNIFER  
ALBRECHT**  
DEED BOOK 78850, PAGE 105  
PLAN BOOK 33, PLAN 5

**LEGEND**

VERTICAL GRANITE CURB  
PROMINENT DECIDUOUS TREE WITH SIZE  
CHAIN LINK FENCE & HEIGHT



ALLSTON (PUBLIC - 40' WIDE) STREET



**PLOT PLAN**  
OF LAND IN  
**CAMBRIDGE, MASSACHUSETTS**  
(137 ALLSTON STREET)

PREPARED FOR: **St. AUGUSTINE'S AFRICAN CHURCH**  
**HANCOCK**

Survey Associates, Inc.  
185 CENTRE STREET, DANVERS, MA. 01923

VOICE (978) 777-3050, FAX (978) 774-7816

SCALE: 1" = 12'



CHK. BY:  
JAE

DATE:  
8/2/22

JOB  
NO.

26209

PROFESSIONAL LAND SURVEYOR







# CNA

## Cambridgeport Neighborhood Association

9 May 2022

Dear Zoning Board,

The Cambridgeport Neighborhood Association has been involved with the restoration of St. Augustine's African-Orthodox Church since December of 2018 when we first submitted a grant to the Cambridge Historical Commission to support its exterior restoration. Since then, with the support of the Cambridge Historical Commission, the National Trust for Historic Preservation, the Mass Cultural Council and the community, we have led the fundraising to redo the church's roof—adding insulation and structural support (work completed in 2019)—and now, to add more insulation, re-do the windows and doors and re-shingle the exterior this spring. We have raised \$385,000 for this to date.

Since 2018, the Cambridgeport Neighborhood Association has been the fiscal sponsor for this restoration project (for St. Augustine's and now Black History in Action for Cambridgeport—BHAC). We've co-organized open houses, church suppers and a party celebrating St. Augustine's 100th anniversary. And we worked with the congregation of St. Augustine's and the Cambridge Historical Commission to have the church landmarked in February 2021.

This little church was the home church of the Reverend George A. McGuire, who created the African Orthodox denomination to allow Black parishioners the opportunity to serve as clergy. By 1934, the African-Orthodox church had 30,000 members in approximately thirty congregations in Africa, the US, West Indies and South America. It has been an important center for the City's Afro-Caribbean community and now, as the home of BHAC, it promises to continue to serve as a center and gathering place for the community.

We support the restoration of this church and hope you will promptly approve its special permit request.

Note: Former CNA board member Gabe Cira and current board member and treasurer Cathie Zusy have co-chaired the St. Augustine's Committee of the CNA. Gabe continues engagement as the project architect. Cathie oversees all payments relating to the restoration.

Let us know if you have any questions.

Sincerely,

The Cambridgeport Neighborhood Association Board

**Cambridgeport Neighborhood Association, Inc.**

Rebecca Bowie (President), Cathie Zusy (Treasurer), Brittany Butler (Co-Clerk),  
Tien-Tien Chan (Co-Clerk), Valerie Bonds, Julia Halprin, Tonia Hicks





137 Allston St.

Petitioner

97-53  
VON SCHWERIN, DAGMAR I. &  
THOMAS M. ROSE  
114 HAMILTON STREET  
CAMBRIDGE, MA 02139-4527

97-54  
GIBSON, ROBERT & JENNIFER LYNNE LINCOLN  
225 BROOKLINE ST., #2  
CAMBRIDGE, MA 02139

GABRIEL CIRA, ARCHITECT  
189 HAMILTON STREET  
CAMBRIDGE, MA 02139

97-32  
CITY OF CAMBRIDGE  
C/O CITY MANAGER

97-32  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR

97-32  
CAMBRIDGE CITY OF SCHOOL DEPT  
159 THORNDIKE ST  
CAMBRIDGE, MA 02141

97-56  
CAMPORT REALTY LLC.  
825 BEACON ST  
NEWTON CENTER, MA 02459-1834

97-57  
WHITE, KATHERINE E.  
237 BROOKLINE ST  
CAMBRIDGE, MA 02139

97-60  
CAMPANELLA, JOSE &  
GABRIELE S. V. CAMPANELLA  
141 ALLSTON ST  
CAMBRIDGE, MA 02139

97-119  
DATTA, SAUGATO & KRIS K. MANJAPRA  
128-130 HAMILTON ST., #130  
CAMBRIDGE, MA 02139

97-52  
MASSE, CRAIG E. & KRISTEN BUTEAU  
122 HAMILTON STREET, UNIT #2  
CAMBRIDGE, MA 02139

97-54  
DANIELS, BARRET ROBERT  
JACQUELINE DIANE DANIELS  
106 HAMILTON ST 1  
CAMBRIDGE, MA 02139

97-31  
EON, DAVID P.  
TR. OF ALLSTON STREET REALTY TRUST  
146 ALLSTON ST  
CAMBRIDGE, MA 02139

97-59  
NURSE GLADSTONE ST CLAIR,  
JAMES R BROWNE & CLAUDINS S JONES,  
TRS. OF THE ST AUGUSTINES MISSION  
129 ALLSTON  
CAMBRIDGE, MA 02139

97-119  
PINKHAM, CHRISTOPHER & MAHTA OSTOVARI  
128 HAMILTON ST  
CAMBRIDGE, MA 02139

97-58  
ALBRECHT BRIAN & JENNIFER ALBRECHT  
179 CHESTNUT ST  
CAMBRIDGE, 02139

97-117  
ZEITLIN JEREMY E  
126 HAMILTON ST  
CAMBRIDGE, MA 02139

97-52  
EDEN, MICHAEL D. & JANIE D. LIU  
122 HAMILTON ST - UNIT 1  
CAMBRIDGE, MA 02139

97-61  
MANDARANO, JOSEPH M., III &  
ANN MARIE MANDARANO, TRUSTEES  
145 ALLSTON ST  
CAMBRIDGE, MA 02139

## **Pacheco, Maria**

---

**From:** Jennifer Albrecht <jalbrecht04@gmail.com>  
**Sent:** Thursday, September 15, 2022 10:03 AM  
**To:** Pacheco, Maria  
**Cc:** Brian Albrecht; Catherine Zusy; blue.cira@gmail.com  
**Subject:** BZA-189716; Letter in Support

Hello Maria and the Board of Zoning Appeals,

I am writing in regards to BZA case #189716, specific to St. Augustine's Church on Allston Street.

As direct neighbors of St. Augustine's Church we are pleased to express our support for the restoration of the side vestibule window that is being brought before you for special permitting. We have reviewed the window plans as shared by the project architect and have no concerns.

Thank you for your consideration.

Best regards,  
Jen and Brian Albrecht  
239 Brookline Street



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Gabe Cira Date: 09/07/2022  
(Print)

Address: 137 Allston St

Case No. BZA-189714

Hearing Date: 9/22/22

Thank you,  
Bza Members