

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 FEB 24 PM 3: 12

BZA Application Form

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Number: 109095

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: 143-145 HAMILTON ST, LLC C/O Matthew Marshall

PETITIONER'S ADDRESS: 127 Cornell St, Newton, MA 02462

LOCATION OF PROPERTY: 143 Hamilton St , Cambridge, MA

TYPE OF OCCUPANCY: 2 Family

ZONING DISTRICT: Residence C-3 Zone

REASON FOR PETITION:

/Applying for a roof deck./

DESCRIPTION OF PETITIONER'S PROPOSAL:

The building is over 3 stories. The roof deck will put the GFA at 25%, requiring a special permit.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2.C (Non-Conforming Structure).

Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

Matthew Marshall

(Petitioner (s) / Owner)

Matthew Marshall

(Print Name)

Address:

Tel. No. 978-877-7271

E-Mail Address: m_marshall@mgm-acquisitions.com

Date: 2/23/2021

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Watt Marshall, Manager 143-145 Hamilton St LLC
(OWNER)

Address: 127 Cornell St, Newton MA 02462

State that I/We own the property located at 143-145 Hamilton St which is the subject of this zoning application.

The record title of this property is in the name of 143-145 Hamilton St, LLC

*Pursuant to a deed of duly recorded in the date 11/24/2020 Middlesex South County Registry of Deeds at Book 76852, Page 358; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Watt Marshall
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

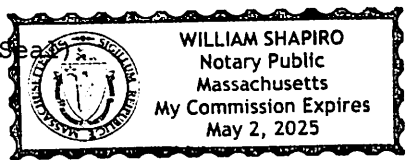
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name ~~Matthew Marshall~~ Matthew Marshall personally appeared before me, this 03 of February, 2021, and made oath that the above statement is true.

William Shapiro Notary

My commission expires 5/2/2025 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 143 Hamilton St , Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:

All requirements for the zoning ordinance are met with the exception of GFA, which requires a special permit if the proposed is over 10% and under 25%.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No change in current use or increased density is being requested, which would impact traffic for the street.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No change in current use or increased density is being requested, which would impact the development or uses permitted in the Zoning Ordinance.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed roof deck addition will not create any nuisance or hazard. The addition will instead provide the occupants of the property with much-needed outdoor space, improving the quality of life for the future residents.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed roof deck will not impair the integrity of the district or adjoining district. Cambridge is very dense, and there is a lack of outdoor space for people living in the community. The roof deck addition adds enjoyable outdoor space for the people occupying the property. The C-3 zone supports multifamily developments on a much larger scale. The roof-deck addition will not compromise or otherwise negatively impact any zoning intents/purpose elements.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** 143-145 HAMILTON ST, LLC**Present Use/Occupancy:** 2 Family**Location:** 127 Cornell St**Zone:** Residence C-3 Zone**Phone:** 978-877-7271**Requested Use/Occupancy:** 2 Family

| | <u>Existing Conditions</u> | <u>Requested Conditions</u> | <u>Ordinance Requirements</u> | |
|---|-----------------------------------|------------------------------------|---|--------|
| <u>TOTAL GROSS FLOOR AREA:</u> | 3062 | 3,687 | N/A | (max.) |
| <u>LOT AREA:</u> | 5176 | 5176 | 5000 | (min.) |
| <u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u> | 59% | 71.2% | N/A | |
| <u>LOT AREA OF EACH DWELLING UNIT</u> | 1,725 | 1,725 | 300 | |
| <u>SIZE OF LOT:</u> | | | | |
| WIDTH | 64ft | 64ft | 50 | |
| DEPTH | VARIES (100 FT, 57.39) | VARIES (100 FT, 57.39) | N/A | |
| <u>SETBACKS IN FEET: FRONT</u> | 5ft | 5ft | (30.7+28.5)/5=11.8' (33+28.5)/5=12.3' (FROM STREET CL) 5 MIN (FROM STREET EDGE) | |
| REAR | 18.8 | 18.8 | (30.7+28.5)/5=11.8' (33+28.5)/5=12.3' | |
| LEFT SIDE | 20.4ft | 20.4ft | (30.7+37.8)/6=11.4' (33+37.8)/6=11.8' | |
| RIGHT SIDE | 10.6ft | 10.6ft | (H+L)/6 = (30.7+37.8)/6=11.4' (33+37.8)/6=11.8' | |
| <u>SIZE OF BUILDING:</u> | | | | |
| HEIGHT | 33 | 33 | 120 | |
| WIDTH | 28.6ft | 28.6ft | N/A | |
| <u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u> | 17% | 17% | 10% | |
| <u>NO. OF DWELLING UNITS:</u> | 2 | 2 | N/A | |
| <u>NO. OF PARKING SPACES:</u> | 0 | 0 | N/A | |
| <u>NO. OF LOADING AREAS:</u> | 0 | 0 | N/A | |
| <u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u> | ~9ft | ~9ft | N/A | |

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.

143-147 HAMILTON STREET UNIT 1-2 RENOVATION

Cambridge, MA



DRT, LLC
546 East Broadway
Boston, MA 02127
617.804.6117
info@d-r-t.co
www.d-r-t.co

Client
MGM Acquisitions
745 Atlantic Ave, Boston, MA 02111

Architect
Design Resource Team, LLC.
546 East Broadway, Boston, MA 02127

Surveyor
Bennett Engineering
Sagamore Beach, MA 02562

General Contractor
TBD

Governing Code
MA 780 CMR Residential – 9th Edition, IRC 2015

Construction Type
V-B

Occupancy Use Group
R-Residential

Height & Area
Per Cambridge Zoning Ordinances



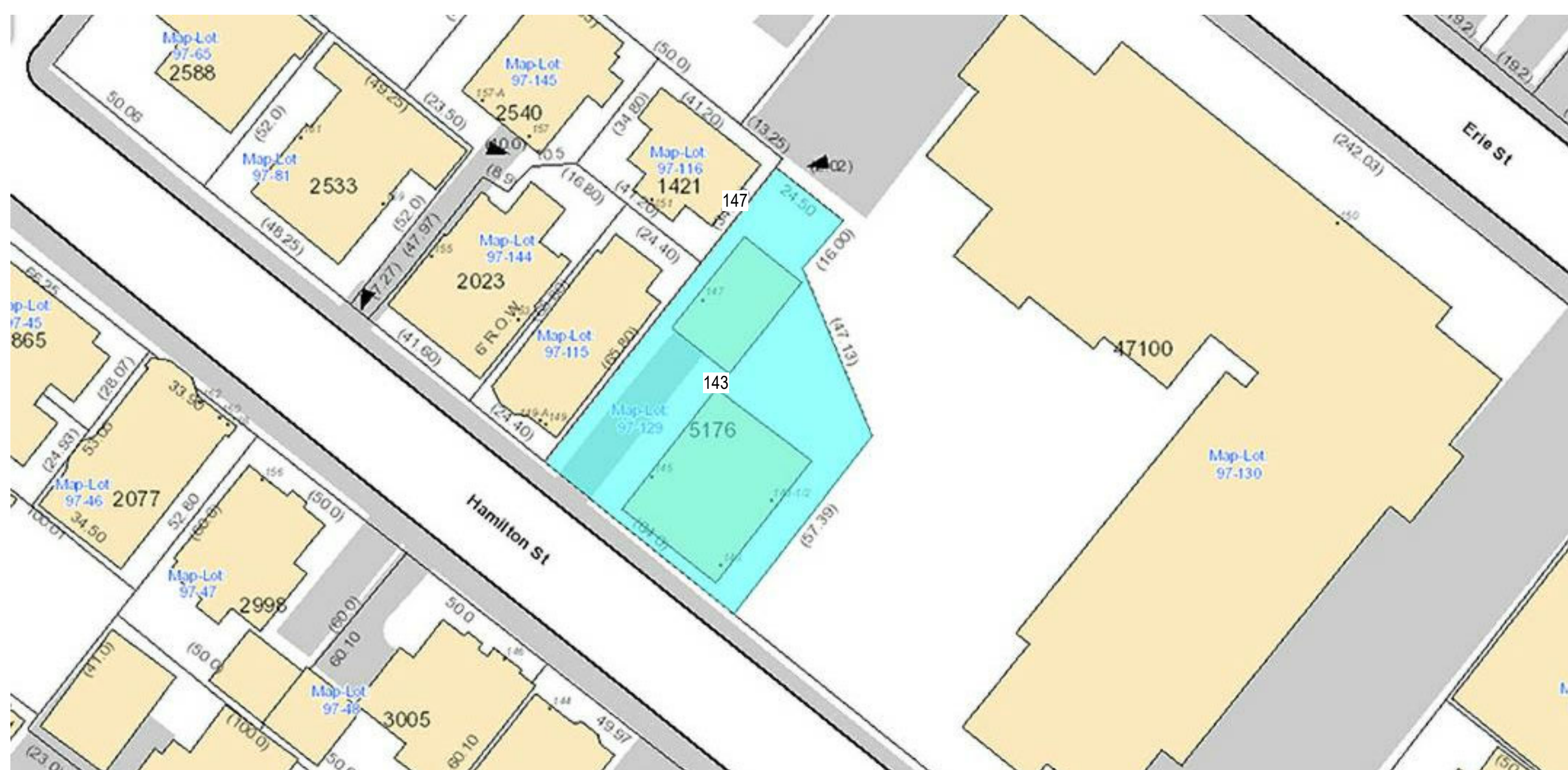
SYMBOL LEGEND

| | |
|--|---|
| | NORTH ARROW |
| | REFERENCE NUMBER BUILDING SECTION |
| | REFERENCE NUMBER DETAIL |
| | REFERENCE NUMBER EXTERIOR ELEVATION |
| | ELEVATION TITLE |
| | REFERENCE NUMBER INTERIOR ELEVATION |
| | WINDOW TAG |
| | WALL TYPE TAG |
| | DOOR TAG |
| | LIGHTING FIXTURE TAG |
| | REVISION TAG |
| | ROOM TAG |
| | SPOT ELEVATION TAG |
| | VIEW TITLE |
| | CENTER LINE |
| | GRAPHIC SCALE |

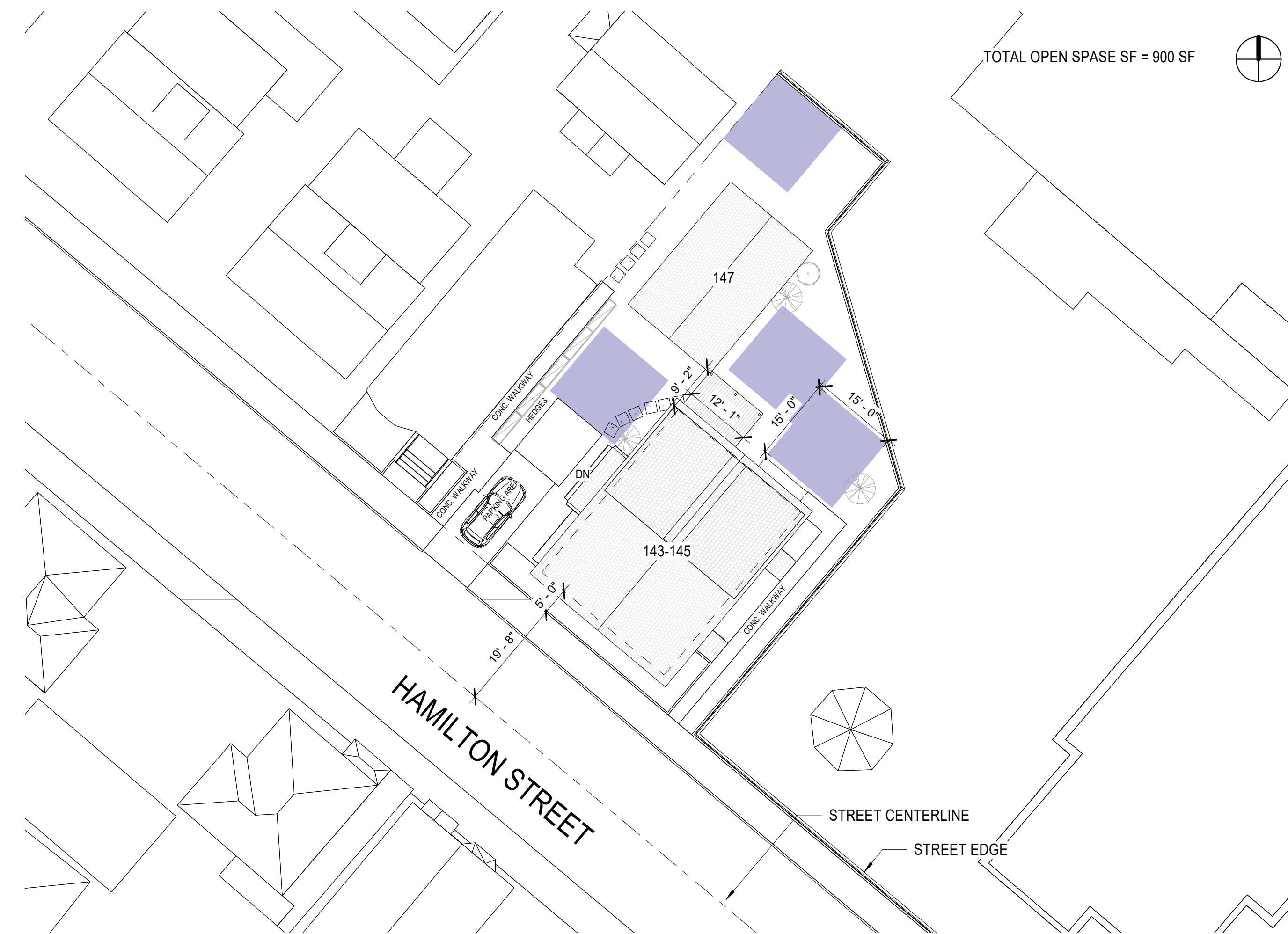
| DRAWING LIST | | | |
|--------------|------------------------------|------------------|-----------------------|
| SHEET NUMBER | SHEET NAME | Current Revision | Current Revision Date |
| A000 | COVER | | |
| A001 | ZONING INFORMATION | 1 | 02.18.2021 |
| A002 | BUILDING INFORMATION | | |
| A003 | BUILDING INFORMATION | 1 | 02.18.2021 |
| A004 | BUILDING INFORMATION | | |
| A005 | BUILDING INFORMATION | | |
| A006 | BUILDING INFORMATION | | |
| A007 | BUILDING INFORMATION | | |
| A010 | ARCH SITE PLAN - PROPOSED | 1 | 02.18.2021 |
| A011 | ARCH SITE PLAN DIAGRAMS | 1 | 02.18.2021 |
| A100 | GROUND FLOOR - DEMO/PROPOSED | | |
| A101 | LEVEL 1 - DEMO/PROPOSED | | |
| A102 | LEVEL 2 - DEMO/PROPOSED | | |
| A103 | LEVEL 3 - DEMO/PROPOSED | | |
| A104 | ROOF - DEMO/PROPOSED | 1 | 02.18.2021 |
| A104.1 | ROOF DRAINAGE DETAILS | 1 | 02.18.2021 |
| A104.2 | SITE PLAN | 1 | 02.18.2021 |
| A105 | REFLECTED CEILING PLAN | | |
| A106 | REFLECTED CEILING PLAN | | |
| A107 | PROPOSED FINISH PLANS | | |
| A108 | PROPOSED FINISH PLANS | | |
| A110 | PROPOSED PAINT PLANS | | |
| A111 | PROPOSED PAINT PLANS | | |
| A200 | ELEVATIONS - DEMO/PROPOSED | 1 | 02.18.2021 |
| A201 | ELEVATIONS - DEMO/PROPOSED | 1 | 02.18.2021 |
| A300 | SECTIONS | 1 | 02.18.2021 |
| A500 | AXONS & DETAILS | 1 | 02.18.2021 |
| A600 | INTERIOR ELEVATIONS | | |
| A601 | INTERIOR ELEVATIONS | | |
| A700 | RENDERINGS | | |
| AM100 | MECH LAYOUT - LEVEL G,1 | | |
| AM101 | MECH LAYOUT - LEVEL 2,3 | | |
| S100 | STRUCTURAL FRAMING PLANS | | |
| S101 | STRUCTURAL FRAMING PLANS | | |
| S102 | STRUCTURAL FRAMING PLANS | 1 | 02.18.2021 |
| S103 | STRUCTURAL FRAMING PLANS | 1 | 02.18.2021 |

DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2015, THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015, THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015, AND THE MASSACHUSETTS BUILDING CODE 2015 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.

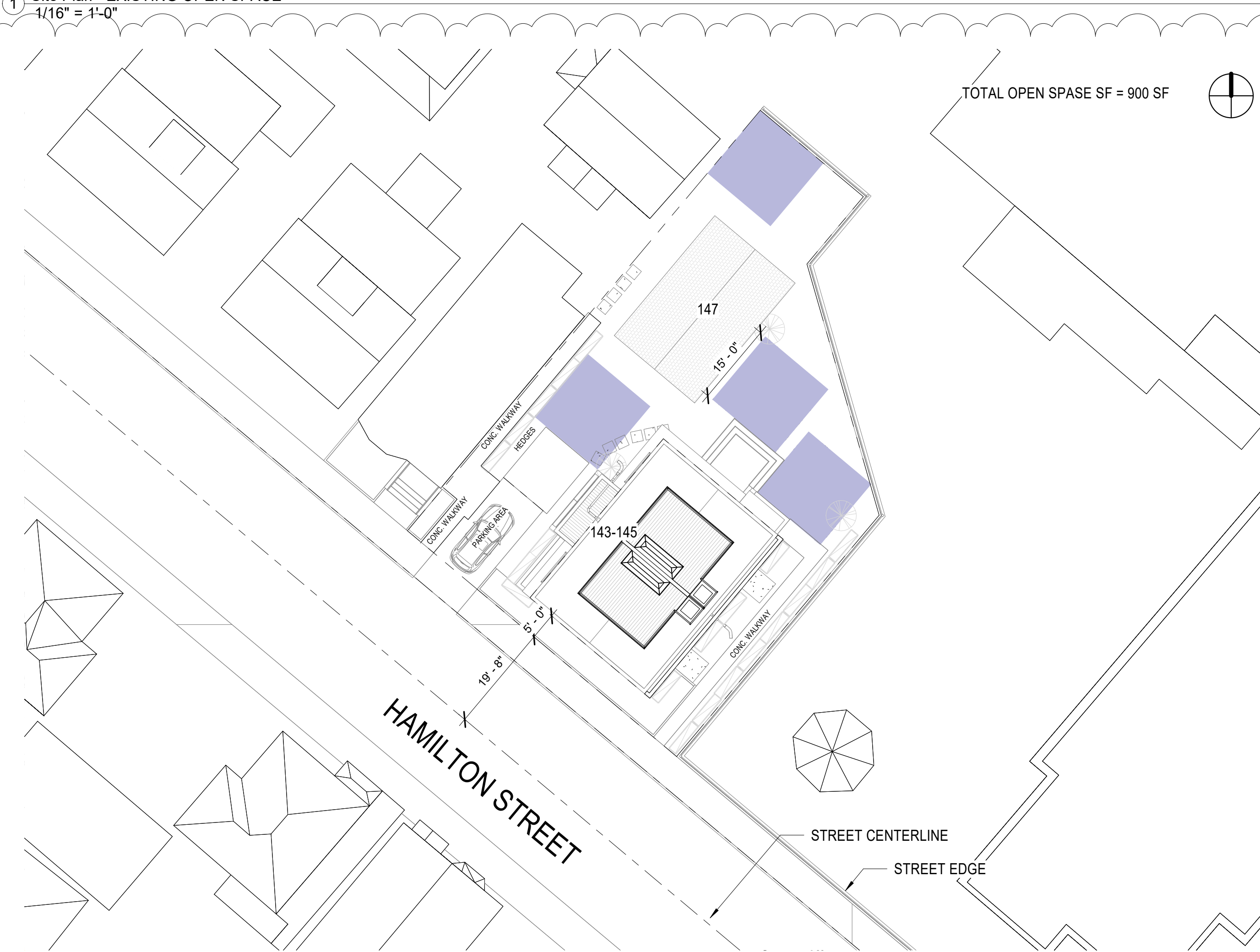
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
- ALL WALL FRAMING SHALL BE 3 5/8" AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.



| Abbreviations | | | |
|---------------|-------------------------------|--------|-------------------------------|
| @ | AT | MIN. | MINIMUM |
| ACT | ACOUSTIC CEILING TILE | MAX. | MAXIMUM |
| ALUM. | ALUMINUM | M.O. | MASONRY OPENING |
| BD. | BOARD | O.C. | ON CENTER |
| BLDG. | BUILDING | P.T. | PRESSURE-PERSERVATIVE TREATED |
| BLKG. | BLOCKING | | |
| C.I. | CAST IRON | MAX. | PAINTED |
| CLG. | CEILING | PWD. | PLYWOOD |
| CONT. | CONTINUOUS | R.D. | ROOF DRAIN |
| COORD. | COORDINATE | REQ. | REQUIRED |
| EXIST. | EXISTING | REQ'D | REQUIRED |
| EXP. | EXPANSION | R.C.P. | REFLECTED CEILING PLAN |
| EXT. | EXTERIOR | R.O. | ROUGH OPENING |
| FLASHG. | FLASHING | STL. | STEEL |
| FRP | FIBERGLASS REINFORCED POLYMER | T.O. | TOP OF |
| | | TYP. | TYPICAL |
| G.C. | GENERAL CONTRACTOR | V.B. | VAPOR BARRIER |
| GALV. | GALVANIZED | V.P. | VAPOR PERMEABLE |
| GYP. | GYPSUM | VERT. | VERTICAL |
| INT. | INTERIOR | VIF | VERIFY IN THE FIELD |
| HORIZ. | HORIZONTAL | WD. | WOOD |
| MANUF. | MANUFACTURER | W/ | WITH |



1 Site Plan - EXISTING OPEN SPACE
1/16" = 1'-0"



2 Site Plan - PROPOSED OPEN SPACE
1/16" = 1'-0"

| ZONING TABLE | | 143-147 HAMILTON STREET ZONING SUMMARY PROPOSED C-3 SUBDISTRICT: | | | |
|---|---|--|---------------------------|-----------------|--|
| CAMBRIDGE RESIDENCE C-3 ZONING SUBDISTRICT | PERMITTED DIMENSION | EXISTING DIMENSION | PROPOSED DIMENSION | RELIEF REQUIRED | |
| LOT AREA (SF) MINIMUM | 5,000 | 5,176 | 5,176 | N | |
| MIN LOT AREA PER DWELLING UNIT (SF) | 300 | ~1,725 | ~1,725 | N | |
| LOT WIDTH (FEET) MINIMUM | 50 | VARIES (100 FT, 57.39 FT) | VARIES (100 FT, 57.39 FT) | N | |
| LOT DEPTH (FEET) MINIMUM | - | 64 | 64 | N | |
| FLOOR AREA RATIO (FAR) MAXIMUM | 10% OF THE EXISTING | 0.8 | 14.4% | Y | |
| BUILDING HEIGHT (FEET) MAXIMUM | 120 | ~31 | 33 | N | |
| FRONT YARD MIN. DEPTH (FEET - SOUTH SIDE) (H+L)/5 (b) | (30.7+28.5)/5=11.8' (33+28.5)/5=12.3' (FROM STREET CL) 5 MIN (FROM STREET EDGE) | 5' (FROM STREET EDGE) | 5' (FROM STREET EDGE) | N | |
| SIDE YARD DEPTH (FEET - RIGHT SIDE) (H+L)/6 | (H+L)/6 = (30.7+37.8)/6=11.4' (33+37.8)/6=11.8' | 10.6 | 10.6 | E/N* | |
| SIDE YARD DEPTH (FEET - LEFT SIDE) (H+L)/6 | (30.7+37.8)/6=11.4' (33+37.8)/6=11.8' | 24.9 | 20.4 | N | |
| REAR YARD DEPTH (FEET - NORTH SIDE) (H+L)/5 (c) | (30.7+28.5)/5=11.8' (33+28.5)/5=12.3' | 21.7 | 18.8 | N | |
| MIN. RATIO OF PRIVATE OP. SPAC TO LOT AREA (PERCENT) | 10 | 17 | 17 | N | |

FOOTNOTES TO TABLE:
 (b) Measured from the centerline of the street, but in no case may a building be nearer the street line than five (5) feet.
 (c) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet. In Residence A-1, A-2, and B districts, no building may be nearer the rear lot line than twenty-five (25) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one hundred (100) feet, up to a maximum of thirty-five (35) feet. For purposes of this Footnote C, the lot depth shall be that distance measured along a line perpendicular to the front lot line and extending to that point on the rear lot line most distant from the front lot line.
 * - E/N - Existing Nonconforming



DRT, LLC
 546 East Broadway
 Boston, MA 02127
 617.804.6117
 info@d-r-t.co
 www.d-r-t.co



| No. | Description | Date |
|-----|-------------|------------|
| 1 | Revision 1 | 02.18.2021 |
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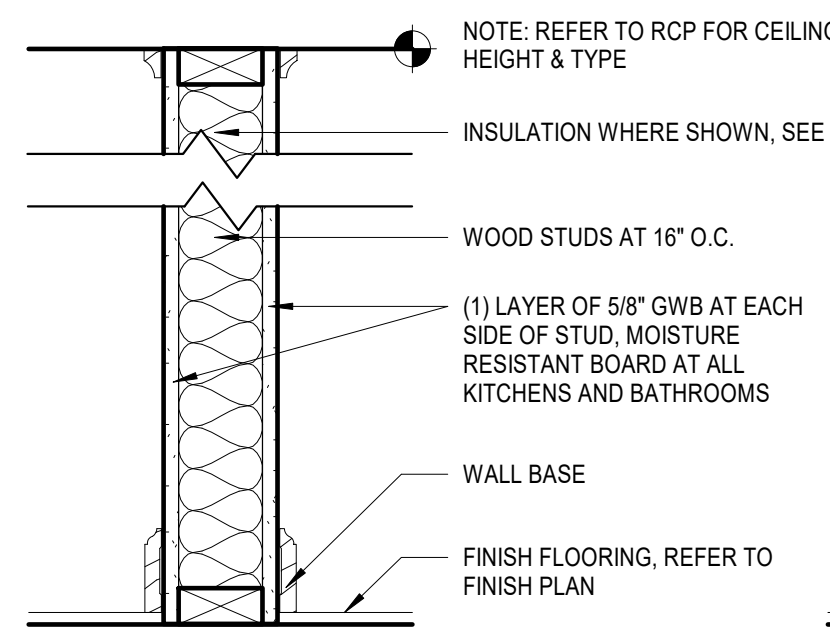
MGM Aquisitions
 143-147 HAMILTON

ZONING INFORMATION

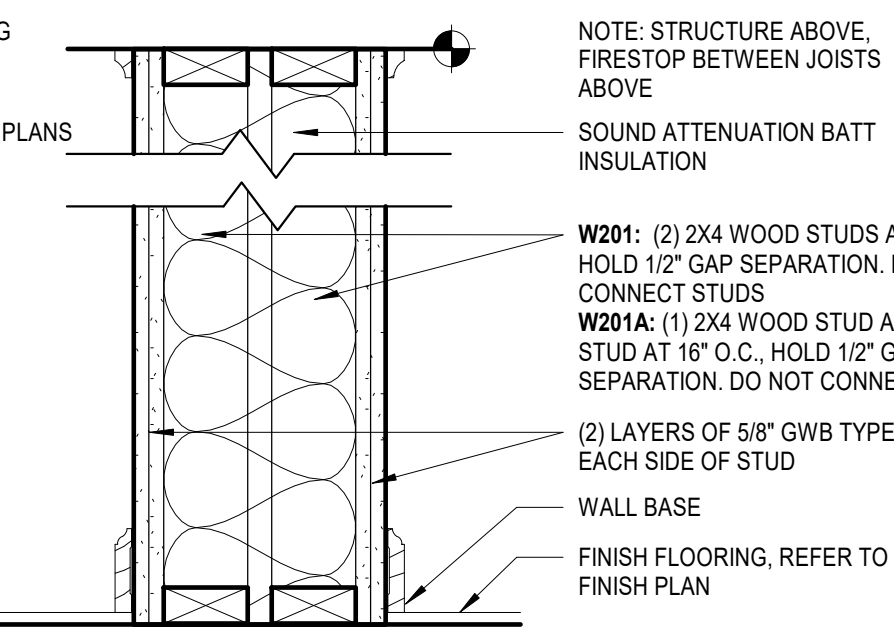
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 Date: 01/27/2021
 Drawn by: DB
 Checked by: NPL

A001

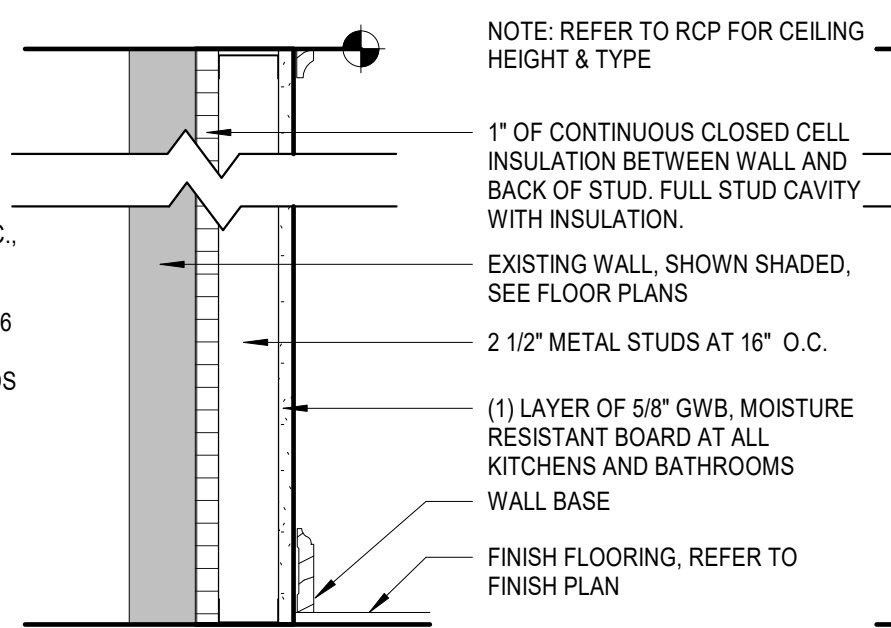
Scale: 1/16" = 1'-0"



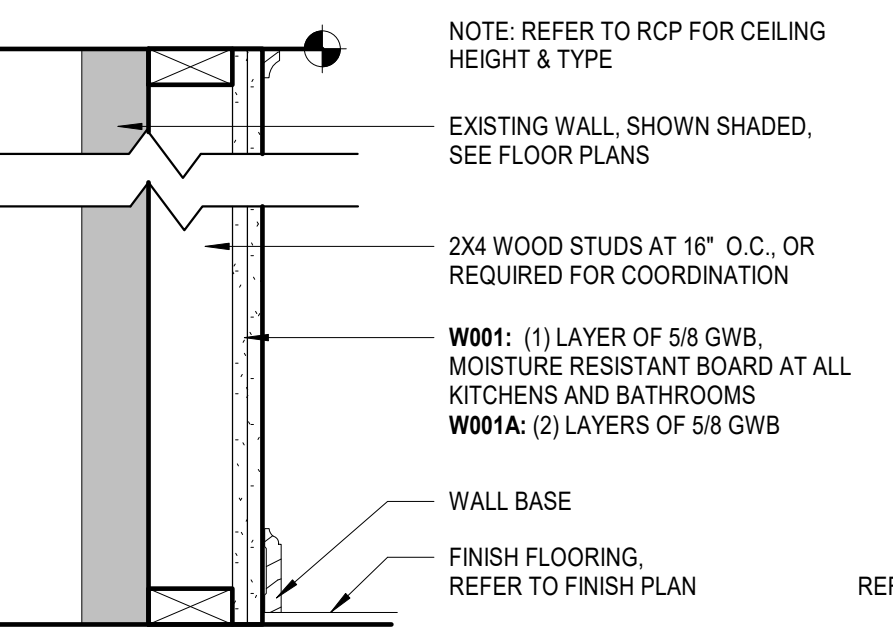
W011: TYPICAL PARTITION - 2X4 STUD
W011A: TYPICAL PARTITION - 2X6 STUD



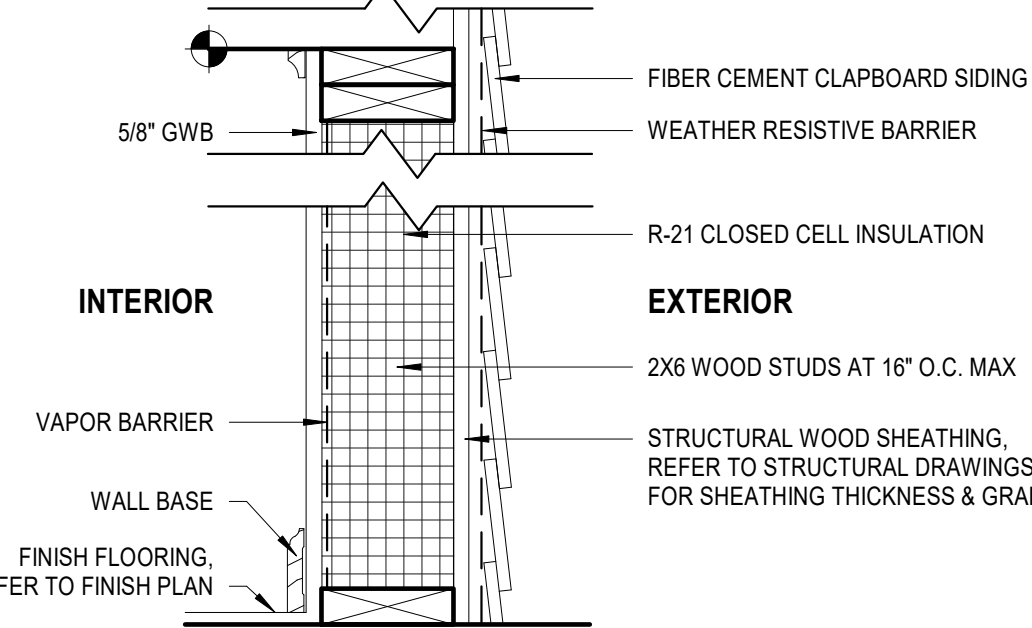
W201: TYPICAL PARTITION - (2)2X4 STUD
W201A: TYPICAL PARTITION - (1)2X4&(1)2X6 STUD



M001: TYPICAL FURRING PARTITION AT EXISTING EXTERIOR WALLS

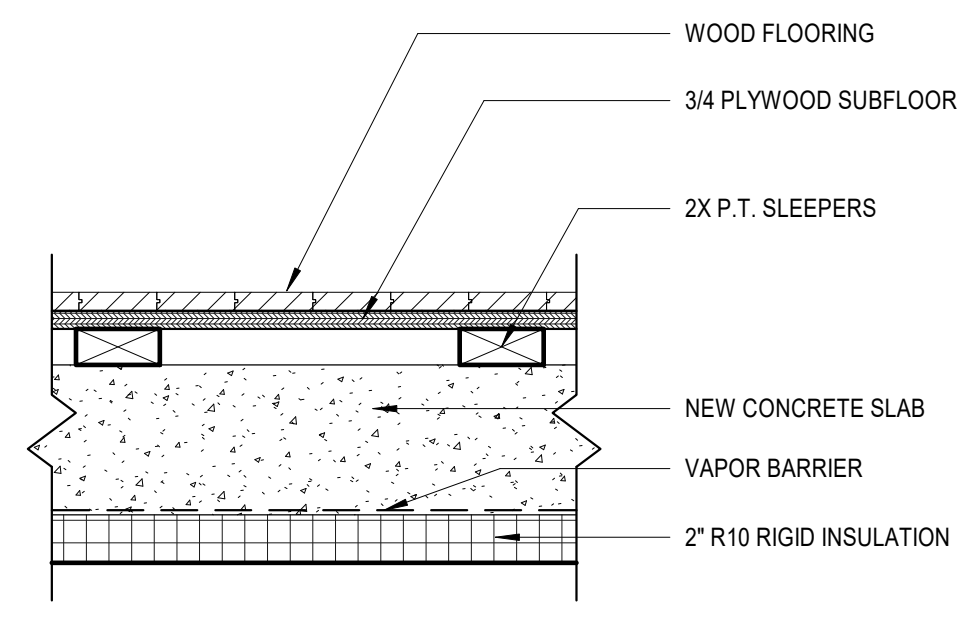


W001: WOOD FURRING PARTITION WITH 2X4 STUDS AT EXISTING PARTY WALLS
W001A: WOOD FURRING PARTITION WITH 2X4 STUDS AT EXISTING PARTY WALLS - (2) LAYERS GWB

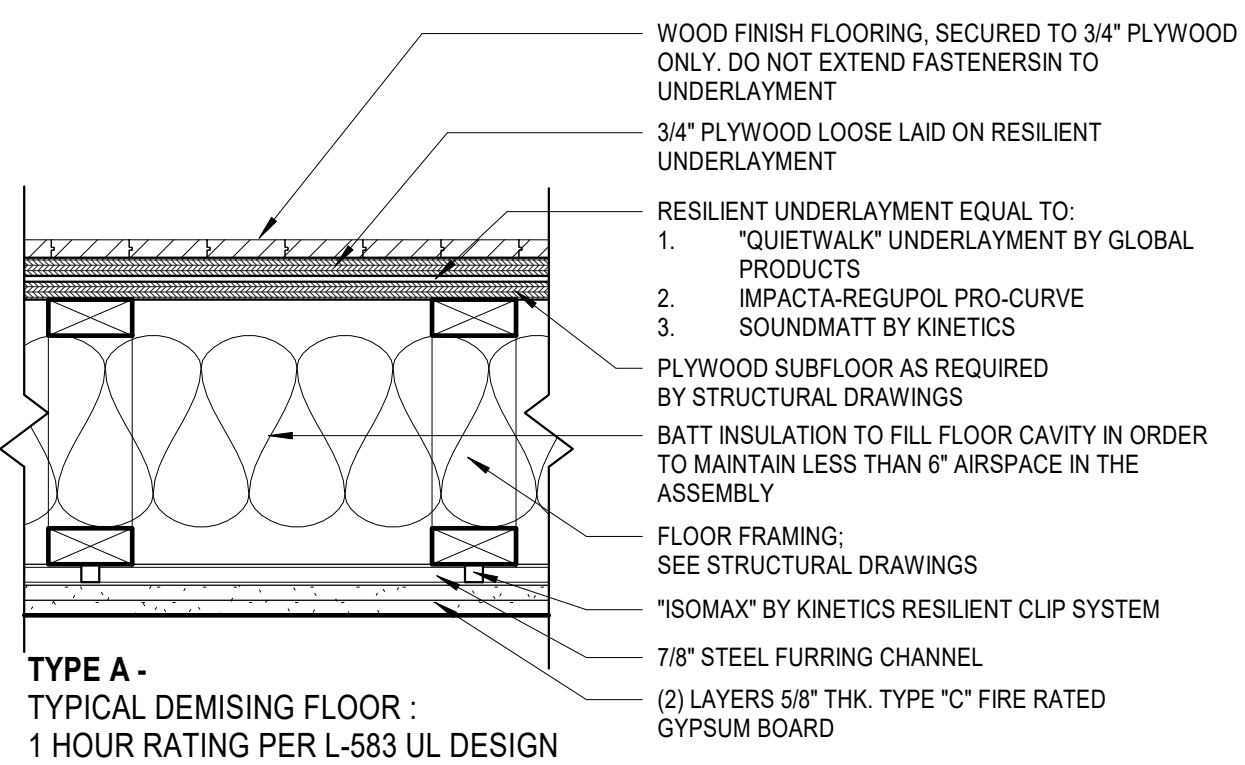


W301: 2X6 WOOD STUD @ 16 O.C. W/ FIBER CEMENT CLAPBOARD SIDING

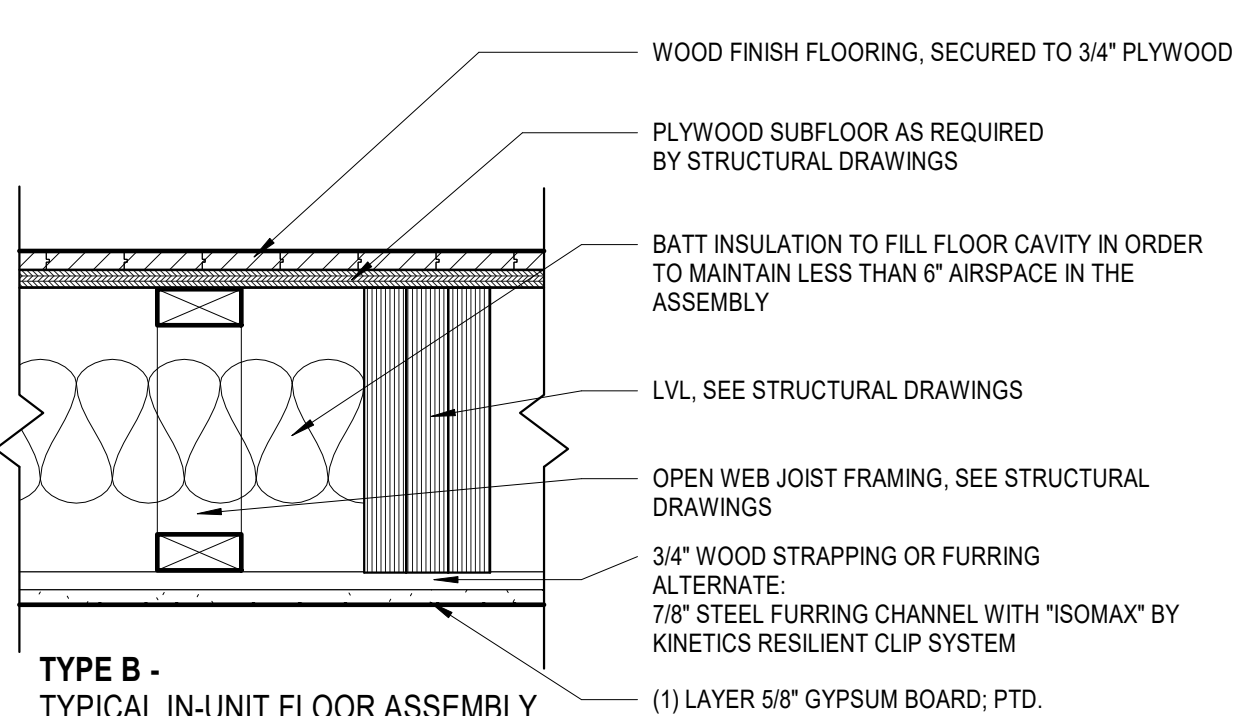
WALL TYPES



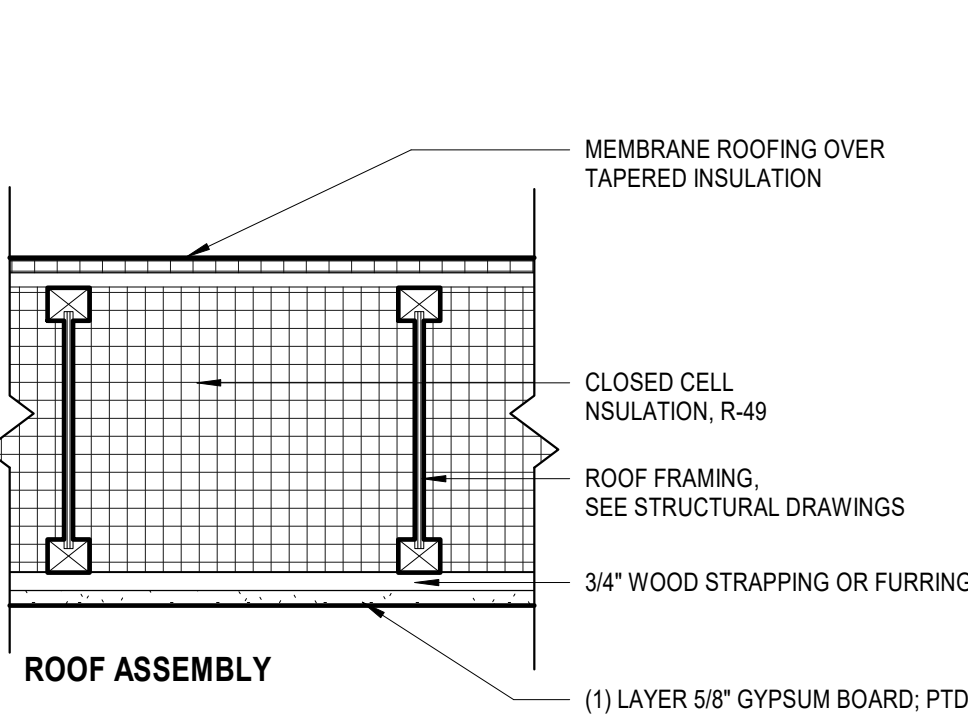
NEW BASEMENT FLOOR



TYPE A - TYPICAL DEMISING FLOOR: 1 HOUR RATING PER L-583 UL DESIGN

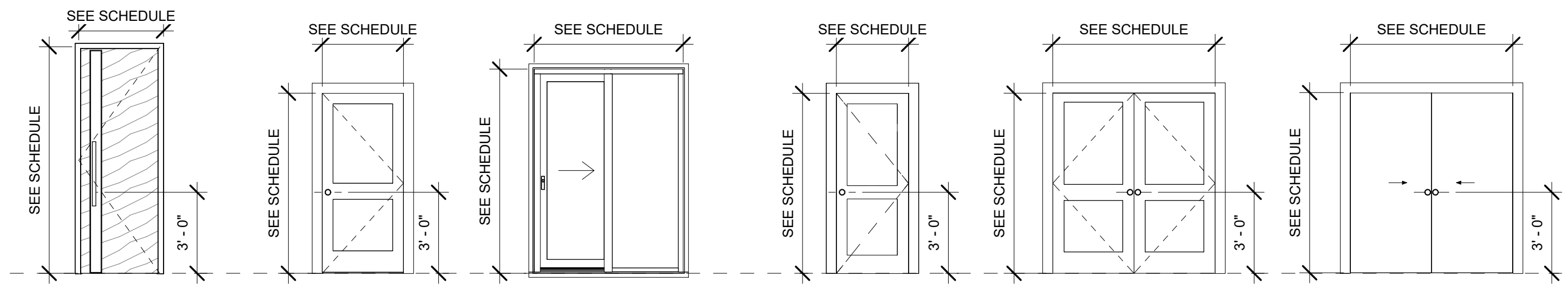


TYPE B - TYPICAL IN-UNIT FLOOR ASSEMBLY

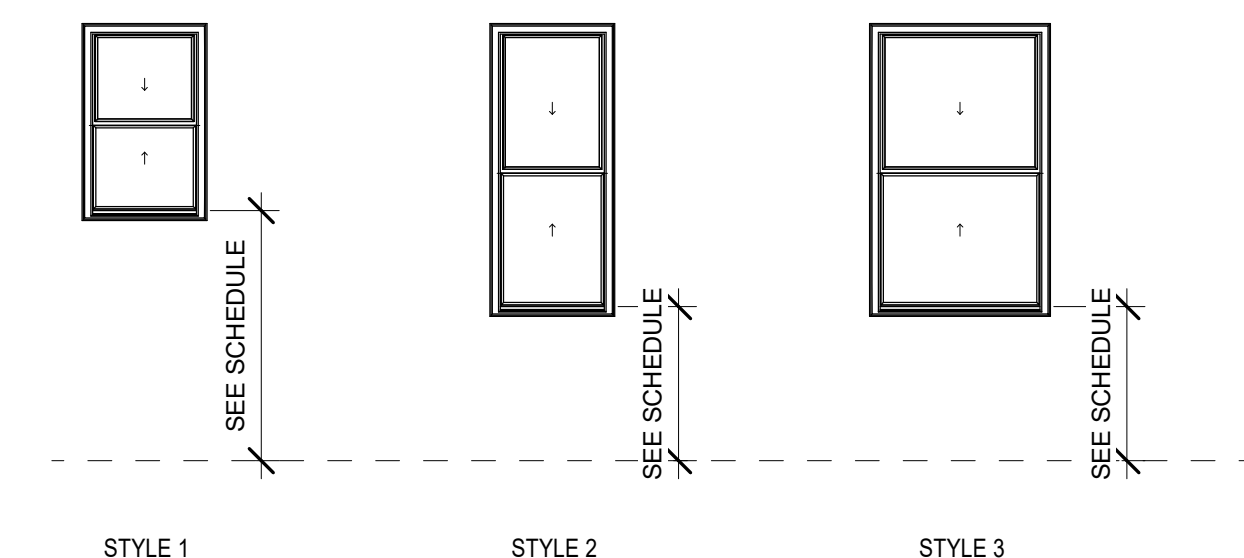


ROOF ASSEMBLY

FLOOR ASSEMBLIES



DOOR STYLES



WINDOW STYLES

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8\"/>

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL, IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6\"/>

PLAN NOTES

- ALL DIMENSIONS ARE MEASURED FROM FACE OF BRICK TO F.O. STUD OR FROM F.O. STUD TO F.O. STUD, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE 80\"/>

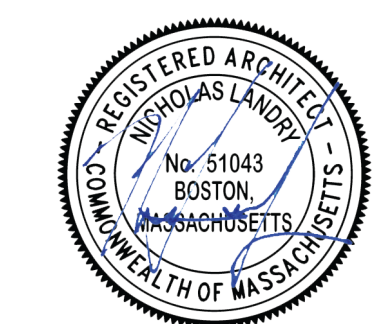
| Type Mark | Function | Width | Height | Count | Comments |
|-------------|----------|---------|-------------|-------|----------|
| A1 | Interior | 3' - 0" | 8' - 4 3/4" | 2 | |
| C1 | Exterior | 6' - 0" | 8' - 0" | 2 | |
| C2 | Exterior | 5' - 0" | 7' - 3" | 1 | |
| D1 | Interior | 3' - 0" | 6' - 8" | 2 | |
| D2 | Interior | 2' - 8" | 5' - 6" | 1 | |
| D3 | Interior | 2' - 8" | 6' - 8" | 13 | |
| D4 | Interior | 2' - 6" | 6' - 8" | 6 | |
| E1 | Interior | 5' - 0" | 6' - 8" | 5 | |
| F1 | Interior | 6' - 0" | 6' - 8" | 4 | |
| Grand total | | | | 36 | |

| Type Mark | Operation | Width | Height | Sill Height | Count | Comments |
|-------------|-------------|---------|---------|-------------|-------|----------|
| 1 | Double-Hung | 2' - 6" | 4' - 0" | | 8 | |
| 2 | Double-Hung | 2' - 6" | 6' - 0" | 2' - 3 1/2" | 12 | |
| 3 | Double-Hung | 3' - 8" | 6' - 0" | 2' - 3 1/2" | 2 | |
| Grand total | | | | | 22 | |

- SEE FLOOR PLANS FOR PARTITION TAGS AND LOCATIONS.
- SEE FLOOR PLANS FOR LOCATIONS OF SOUND INSULATION.
- PARTITION TYPE DETAILS SHOW ONLY PRINCIPLE COMPONENTS AND REQUIREMENTS; RATED PARTITIONS WITH U.L. DESIGN NUMBERS MAY HAVE ADDITIONAL COMPONENTS AND REQUIREMENTS; REFER TO U.L. FIRE RESISTANCE DIRECTORY.
- RATED PARTITIONS SHALL HAVE U.L. HEAD DESIGNS, SEALANT, AND FILL MATERIAL OF THE SAME RATING.
- ALL THROUGH-WALL PENETRATIONS MUST BE COMPLETED TO PREVENT DIRECT CONTACT WITH FRAMING MEMBERS AND SHALL BE ACOUSTICALLY SEALED WITH A RESILIENT, NON-HARDENING CAULK. IF THE PENETRATION IS THROUGH A FIRE-RATED PARTITION, AN ACOUSTICAL FIRE-RATED CAULK SHALL BE USED.
- SEE SPECIFICATIONS AND STRUCTURAL DRAWINGS FOR REINFORCING, BRACING AND OTHER SPECIAL REQUIREMENTS.
- PROVIDE LATERAL BRACING AND CROSS-BRIDGING AS RECOMMENDED BY STUD MANUFACTURER FOR EACH CONDITION
- COORDINATE FINISHES APPLIED TO PARTITIONS AS INDICATED IN THE FINISH SCHEDULE, INTERIOR ELEVATIONS AND ELSEWHERE IN THE CONTRACT DOCUMENTS.
- PROVIDE BLOCKING AT LOCATIONS INCLUDING BUT NOT LIMITED TO CASEWORK, SHELVING, COUNTERS, CABINETS, DOOR STOPS, HANDRAIL BRACKETS, TELEVISION LOCATIONS, BATHROOM ACCESSORIES, ETC. WHERE INDICATED, SPECIFIED OR REQUIRED TO PROVIDE A SOLID BASE.
- SUBSTITUTE MOISTURE-RESISTANT GYPSUM BOARD AT ALL BATHROOMS AND LAUNDRY ROOMS.
- WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE USED, BOTH HORIZONTAL AND VERTICAL JOINTS SHALL BE STAGGERED.
- FIBER INSULATION SHOULD BE UN-FACED AND SECURED TO STRUCTURE TO PREVENT SAGGING.



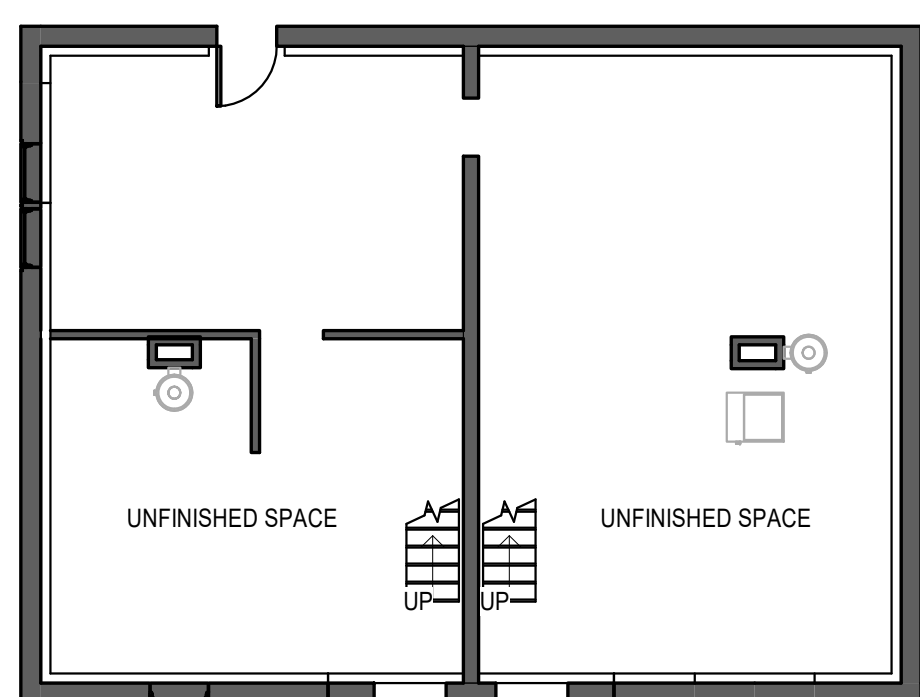
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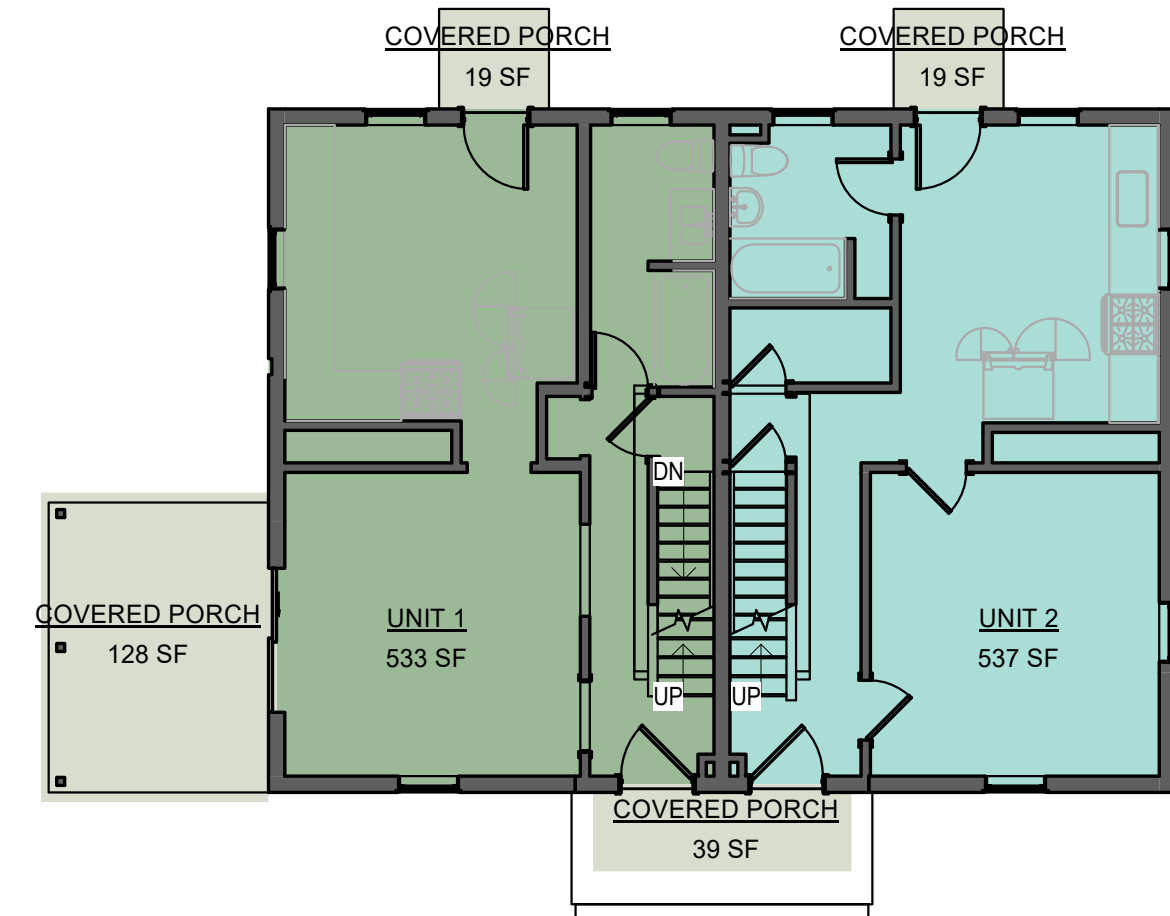
MGM Aquisitions
143-147 HAMILTON
BUILDING INFORMATION

| | |
|----------------|--------------|
| Project number | 220003 |
| Date | 01/27/2021 |
| Drawn by | DB |
| Checked by | NPL |
| A002 | |
| Scale | As indicated |

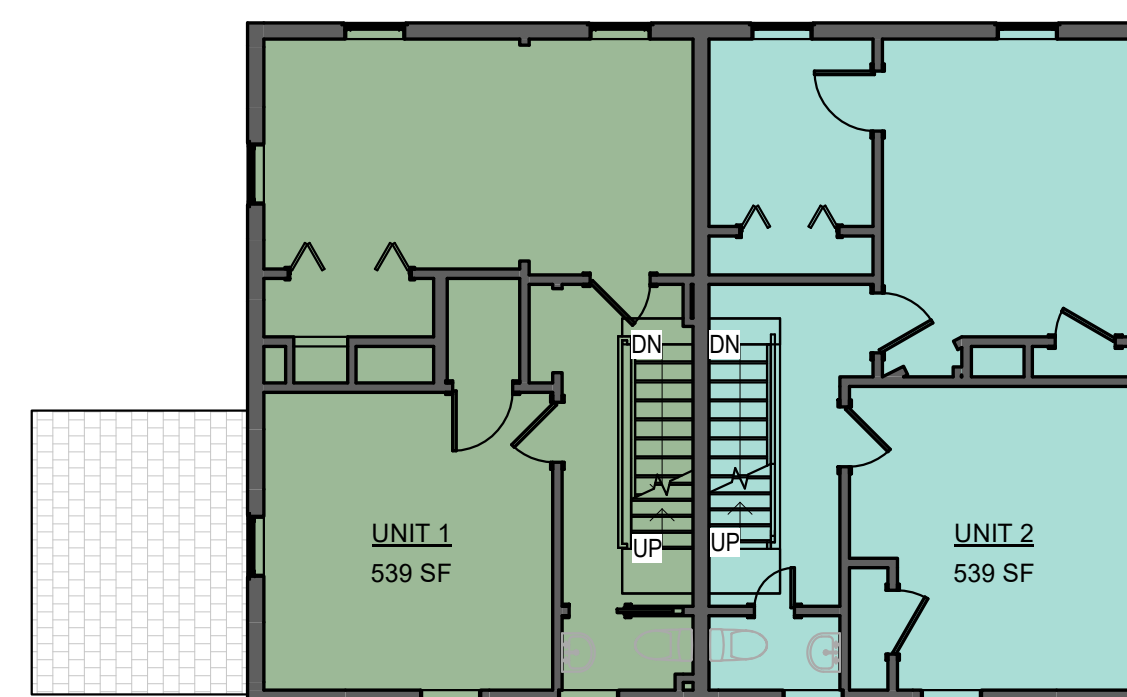


COLOR KEY:
 [Green Box] - UNIT 1 (EXISTING)
 [Teal Box] - UNIT 2 (EXISTING)
 [Light Green Box] - COVERED PORCH
 [White Box] - MECH OR EXCLUDED

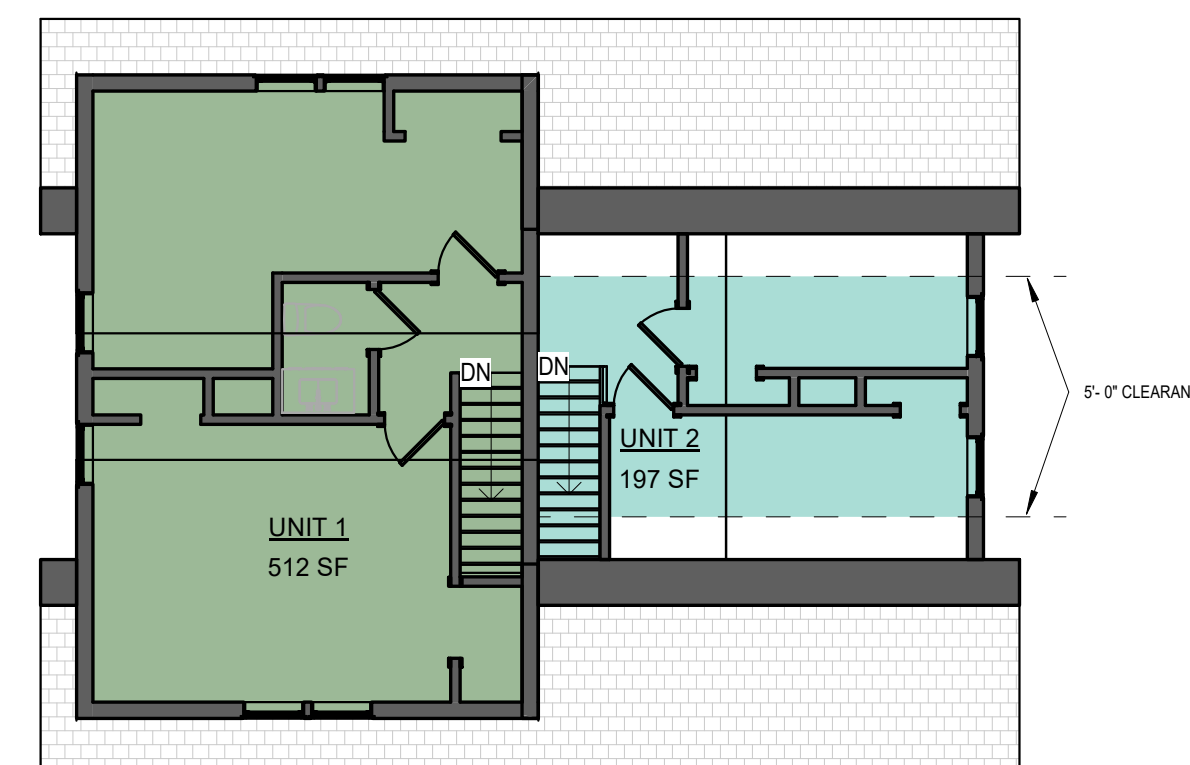
1 Basement
1/8" = 1'-0"



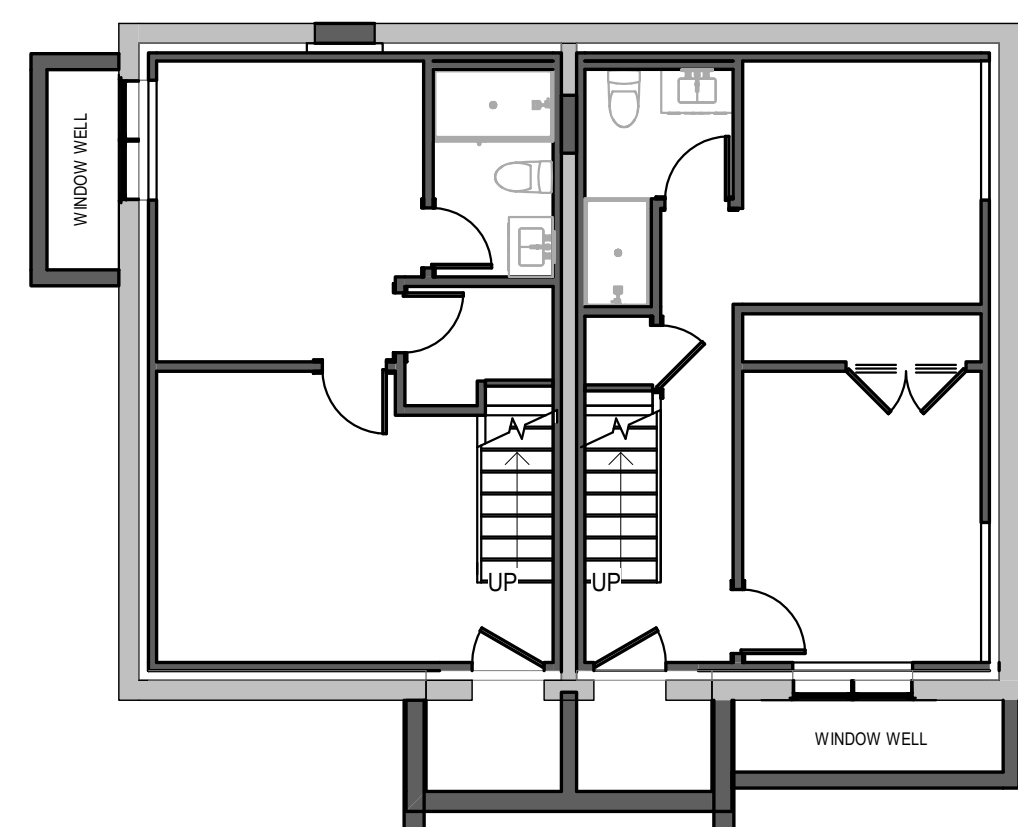
2 Level 1
1/8" = 1'-0"



3 Level 2
1/8" = 1'-0"

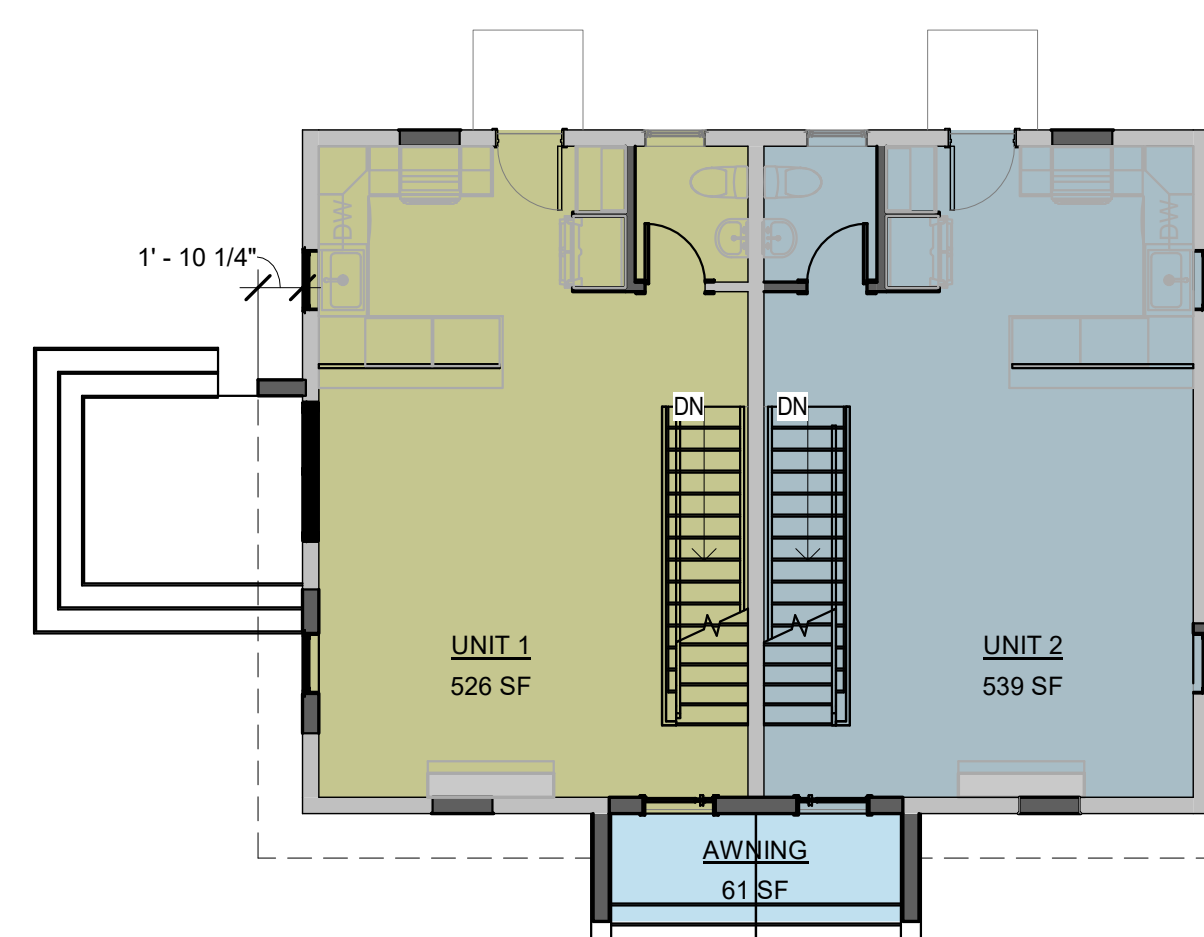


4 Level 3
1/8" = 1'-0"

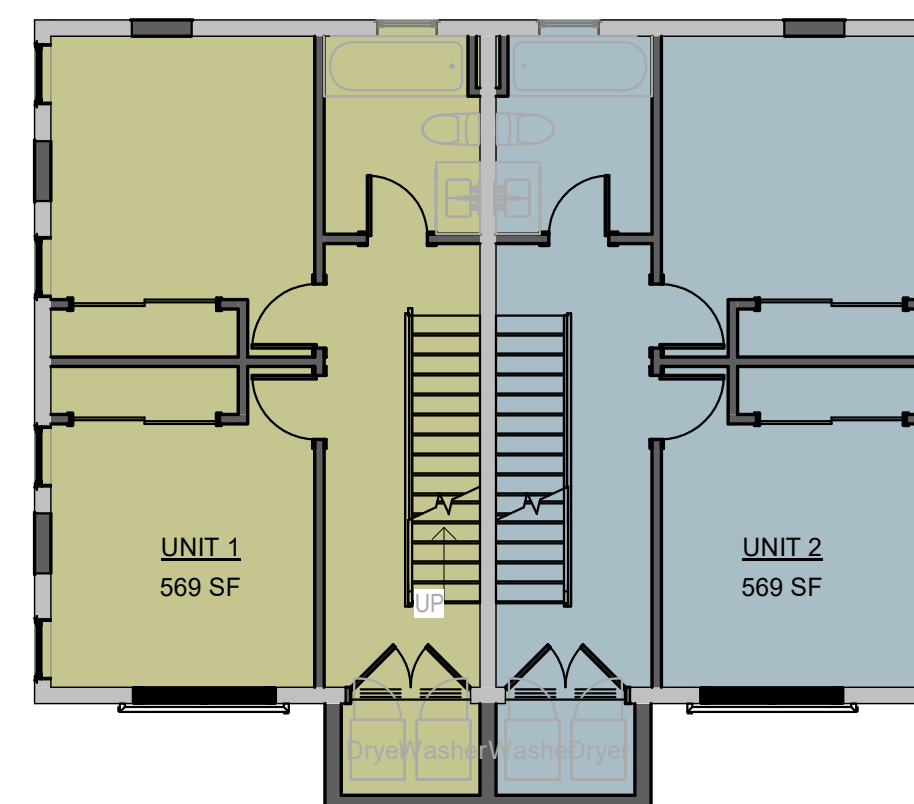


COLOR KEY:
 [Yellow-Green Box] - UNIT 1
 [Blue Box] - UNIT 2
 [Light Blue Box] - AWNING
 [White Box] - MECH OR EXCLUDED
 [Brown Box] - ROOF DECK

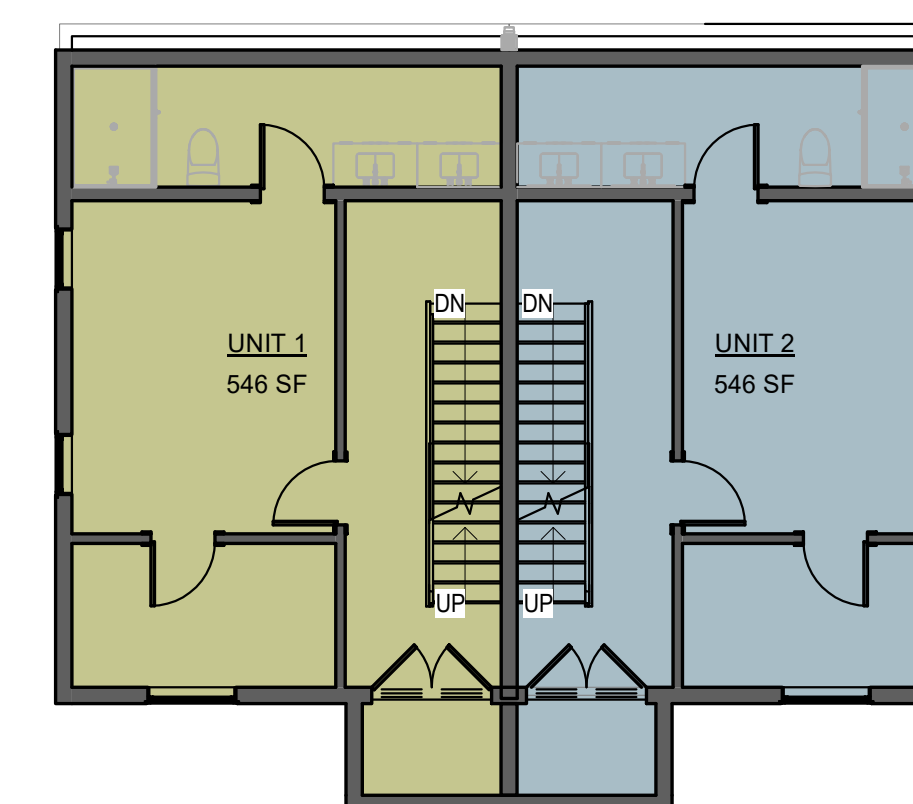
5 Basement
1/8" = 1'-0"



6 Level 1
1/8" = 1'-0"

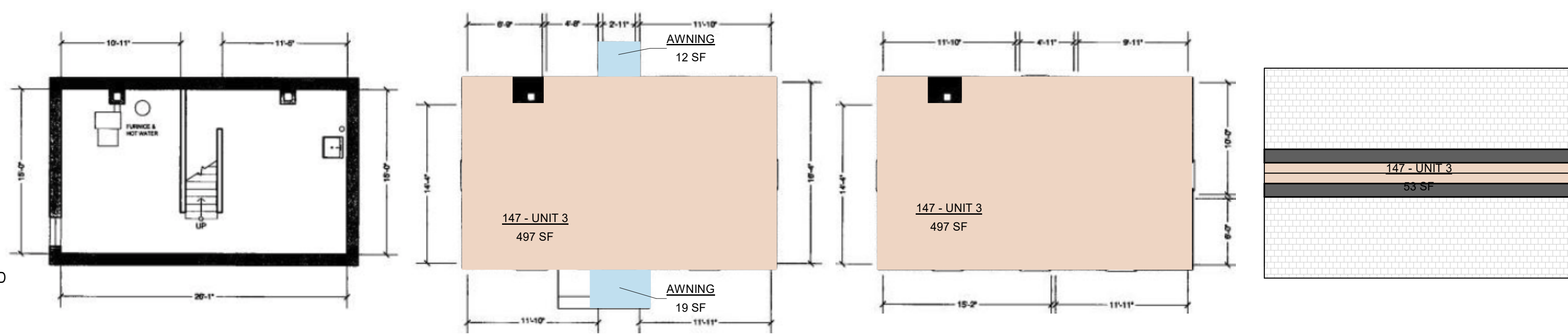


7 Level 2
1/8" = 1'-0"



8 Level 3
1/8" = 1'-0"

COLOR KEY:
 [Orange Box] - UNIT 3 (EXISTING)
 [Light Blue Box] - AWNING
 [White Box] - MECH OR EXCLUDED



10 147 - Basement
1/8" = 1'-0"

11 147 - Level 1
1/8" = 1'-0"

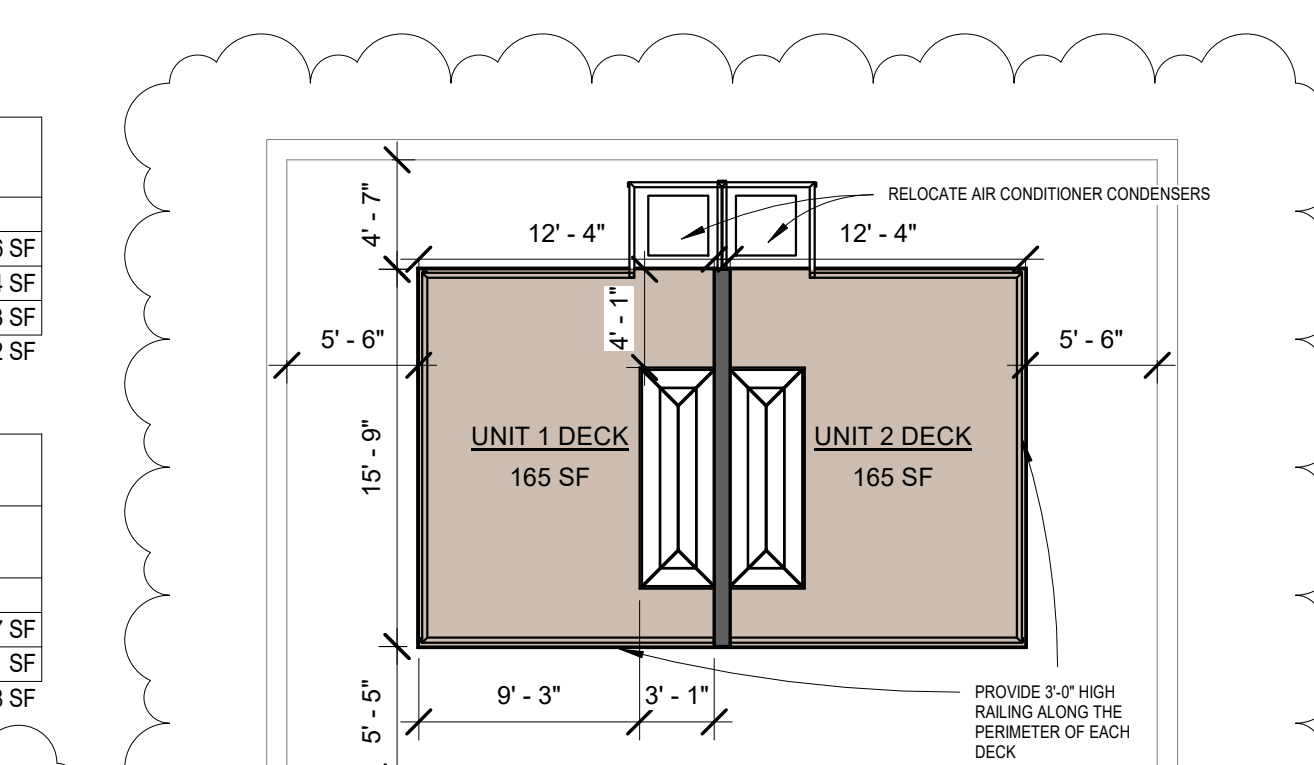
12 147 - Level 2
1/8" = 1'-0"

13 147 - Level 3
1/8" = 1'-0"

| Existing GFA (143-145) | |
|------------------------|----------------|
| Name | Area |
| COVERED PORCH | 206 SF |
| UNIT 1 | 1584 SF |
| UNIT 2 | 1273 SF |
| TOTAL | 3062 SF |

| Existing GFA (147) | |
|--------------------|----------------|
| Name | Area |
| 147 - UNIT 3 | 1047 SF |
| AWNING | 31 SF |
| TOTAL | 1078 SF |

| Proposed GFA (143-145) | |
|------------------------|----------------|
| Name | Area |
| AWNING | 61 SF |
| UNIT 1 | 1642 SF |
| UNIT 1 DECK | 165 SF |
| UNIT 2 | 1654 SF |
| UNIT 2 DECK | 165 SF |
| TOTAL | 3687 SF |



9 Proposed Roof
1/8" = 1'-0"

EXISTING GFA: 147 HAMILTON = 1,078 SF
143-145 HAMILTON = 3,062 SF

TOTAL EXISTING GFA: 143-147 HAMILTON = 1,078 SF + 3,062 SF = 4,140 SF

ALLOWED GFA INCREASE = 10% OF TOTAL EXISTING GFA: 4,140 SF * 0.10 = 414 SF

PROPOSED GFA: 147 HAMILTON = 1,078 SF
143-145 HAMILTON = 3,357 SF

TOTAL PROPOSED GFA: 143-147 HAMILTON = 1,078 SF + 3,357 SF = 4,435 SF

TOTAL PROPOSED ROOF DECKS' AREA: 143-147 HAMILTON = 165 SF + 165 SF = 330 SF

PROPOSED GFA INCREASE = TOTAL PROPOSED GFA - TOTAL EXISTING GFA: 4,435 SF - 4,140 SF = 295 SF

295 SF (7.1%) < 414 SF (10%)

TOTAL PROPOSED GFA INCREASE = 295 SF + 300 SF = 595 SF

595 SF (14.4%) > 414 SF (10%)

| No. | Description | Date |
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| 1 | Revision 1 | 02.18.2021 |
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MGM Acquisitions
143-147 HAMILTON

BUILDING INFORMATION

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| Project number | 220003 |
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| Checked by | NPL |

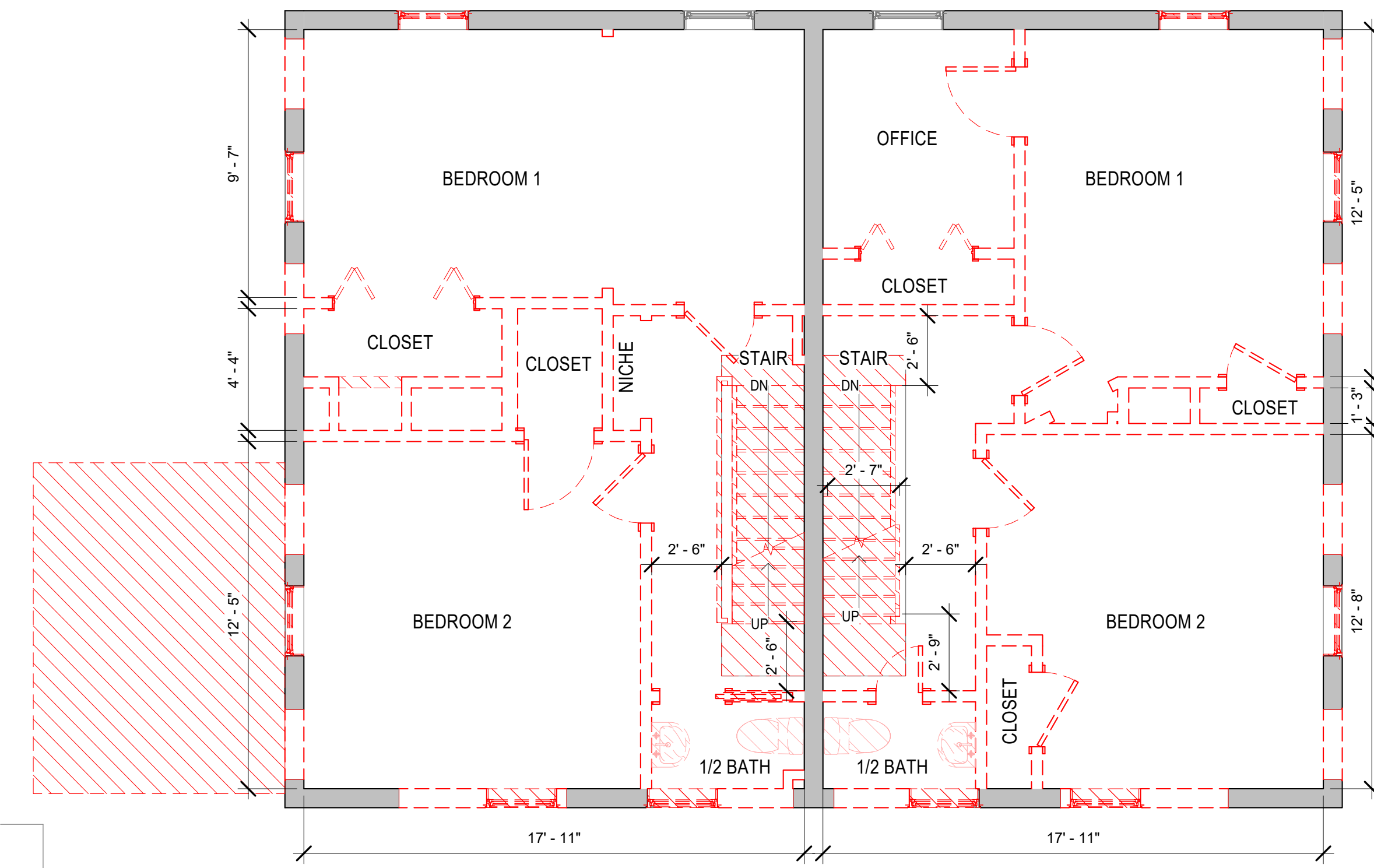
A003

Scale As indicated

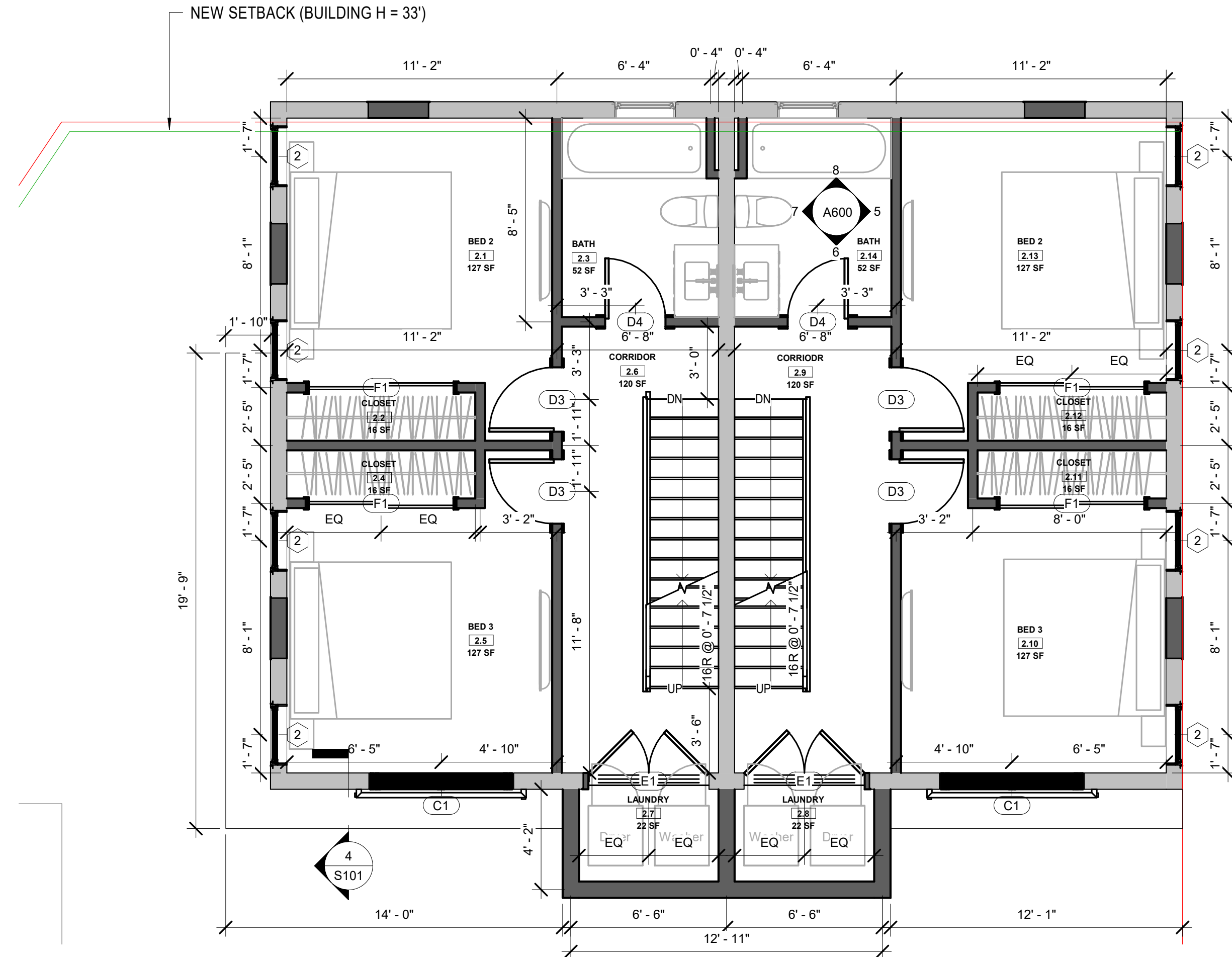


DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING



1 Level 2 - Existing/Demo
1/4" = 1'-0"



2 Level 2 - Proposed
1/4" = 1'-0"



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MGM Acquisitions
143-147 HAMILTON

LEVEL 2 - DEMO/PROPOSED

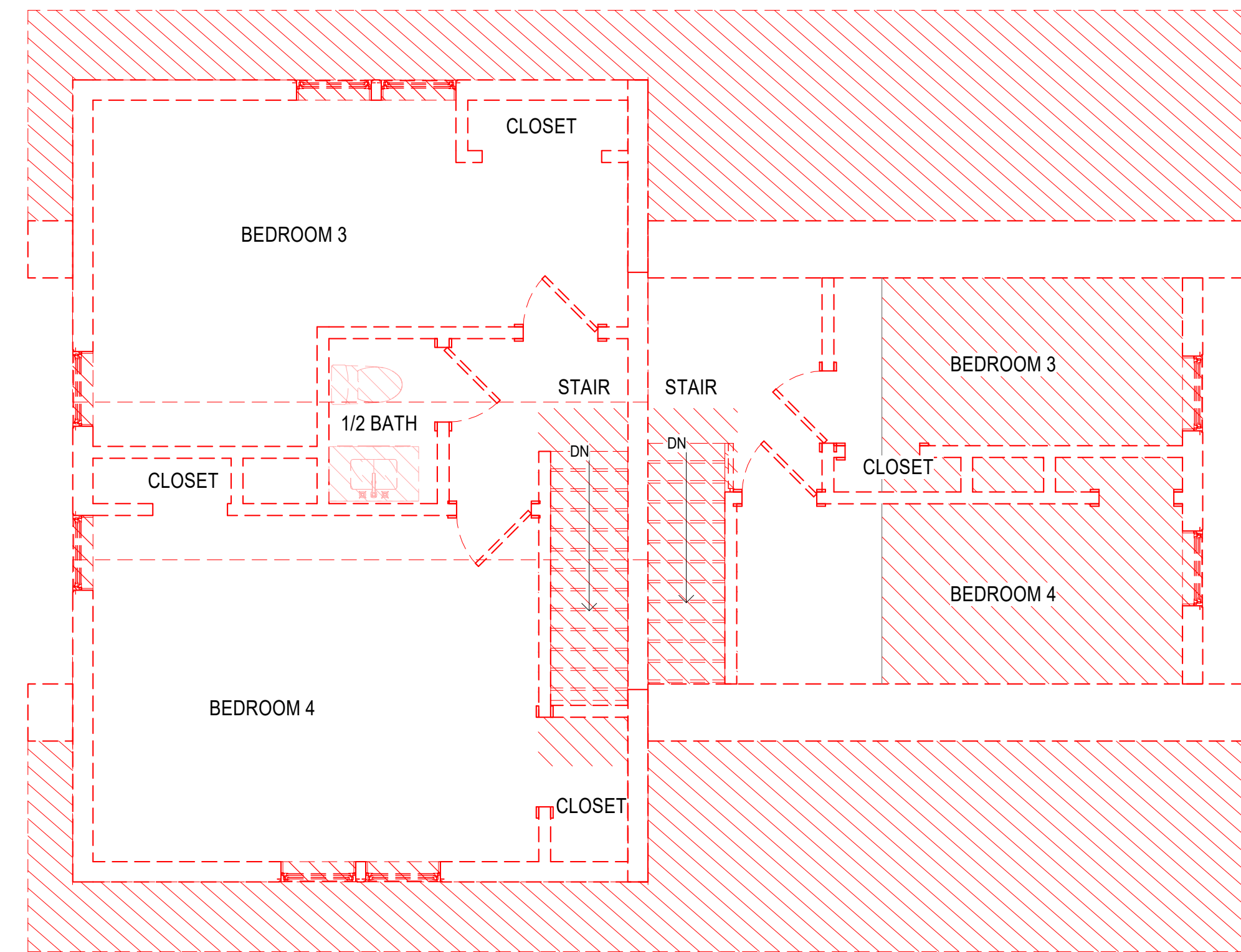
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| Project number | 220003 |
| Date | 01/27/2021 |
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| Checked by | NPL |

A102

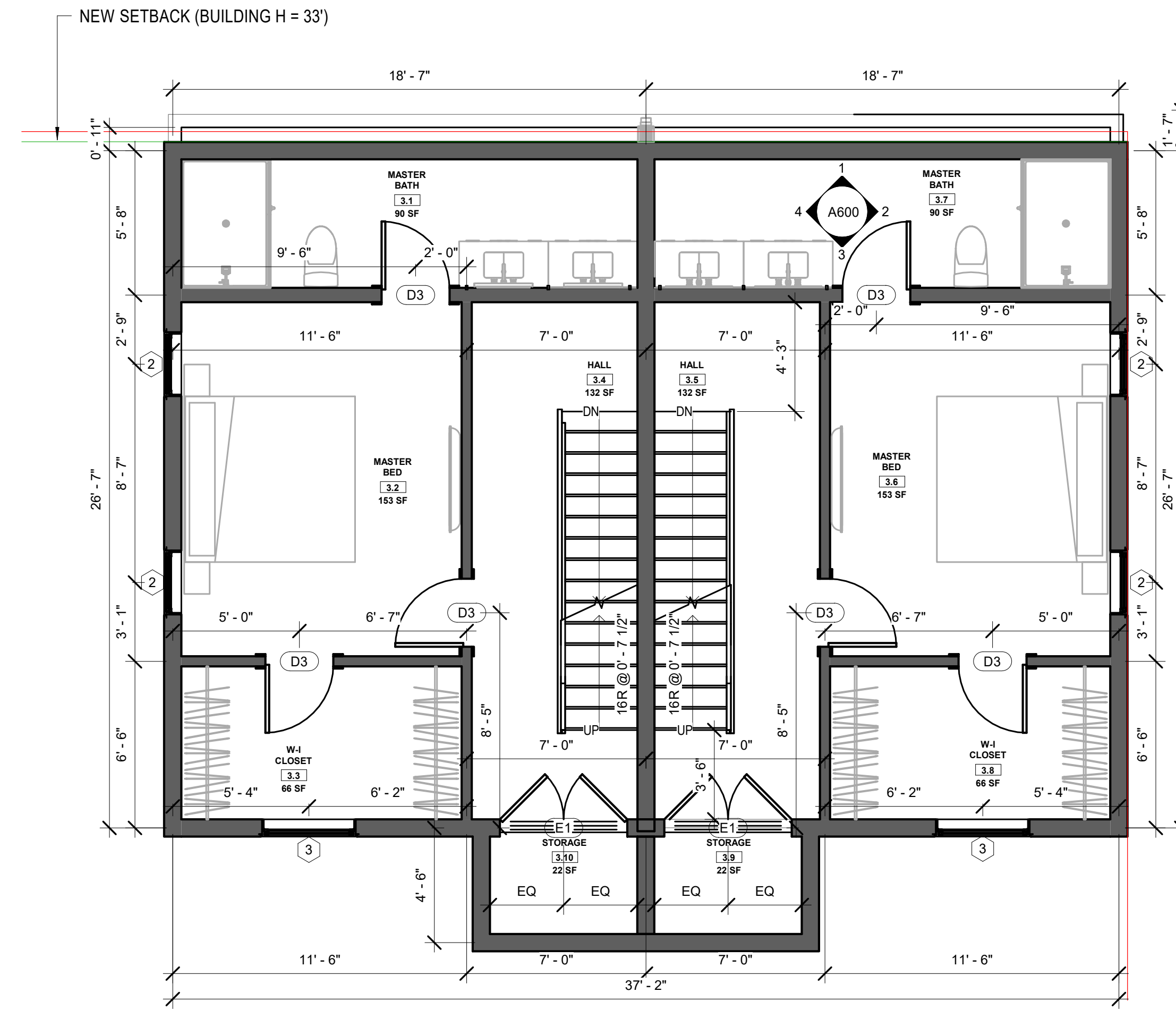
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| Scale | As indicated |
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DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/FILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING



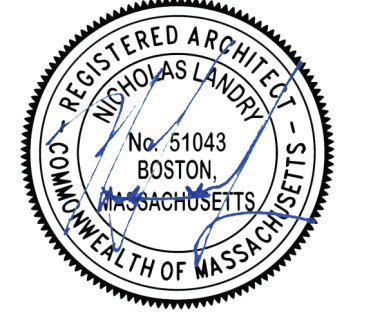
① Level 3 - Existing/Demo
1/4" = 1'-0"



② Level 3 - Proposed
1/4" = 1'-0"



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MGM Aquisitions
143-147 HAMILTON






LEVEL 3 - DEMO/PROPOSED

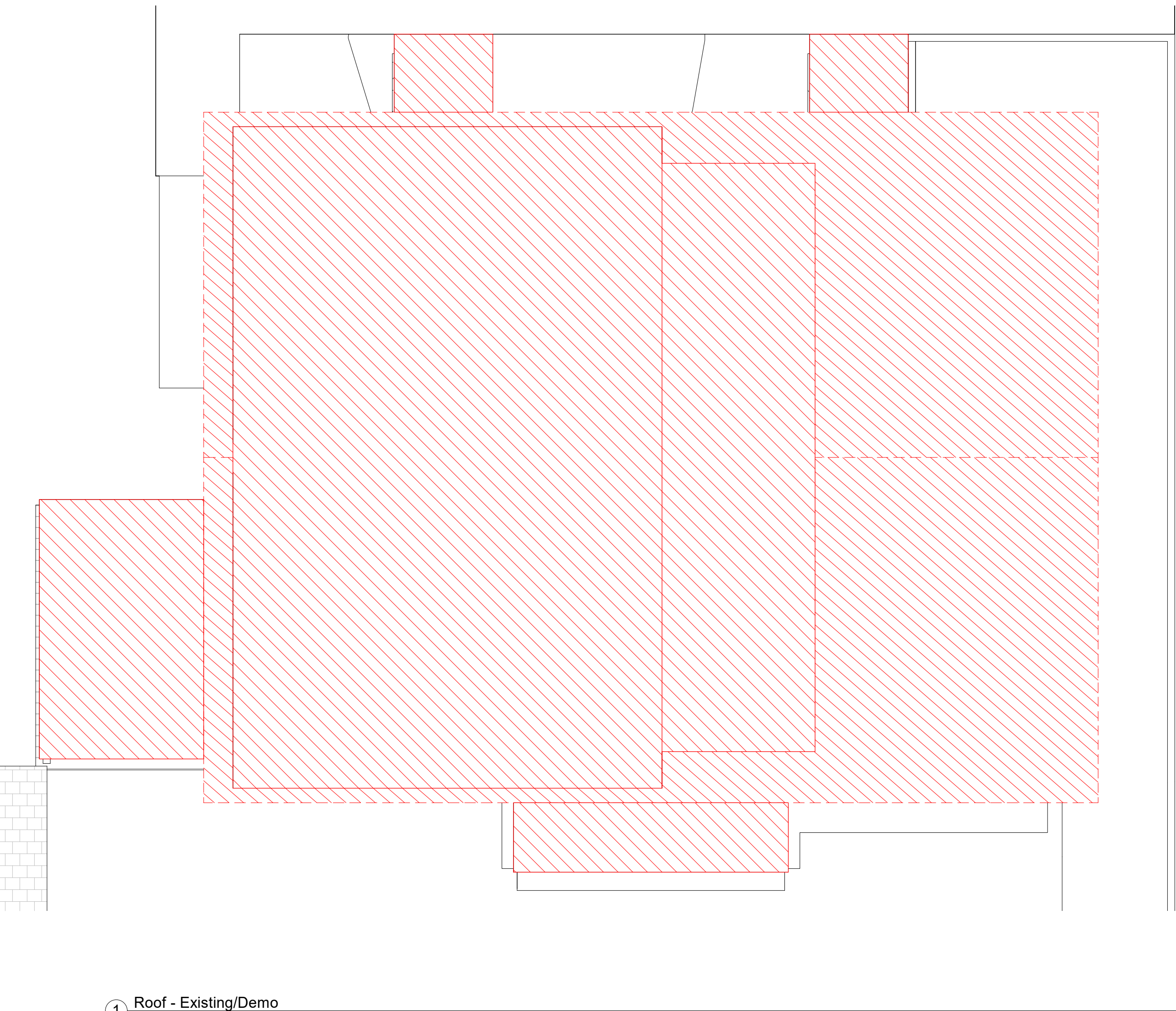
Project number 220003
Date 01/27/2021
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Checked by NPL

A103

Scale As indicated





DEMO/PROPOSED PLAN GRAPHIC KEY

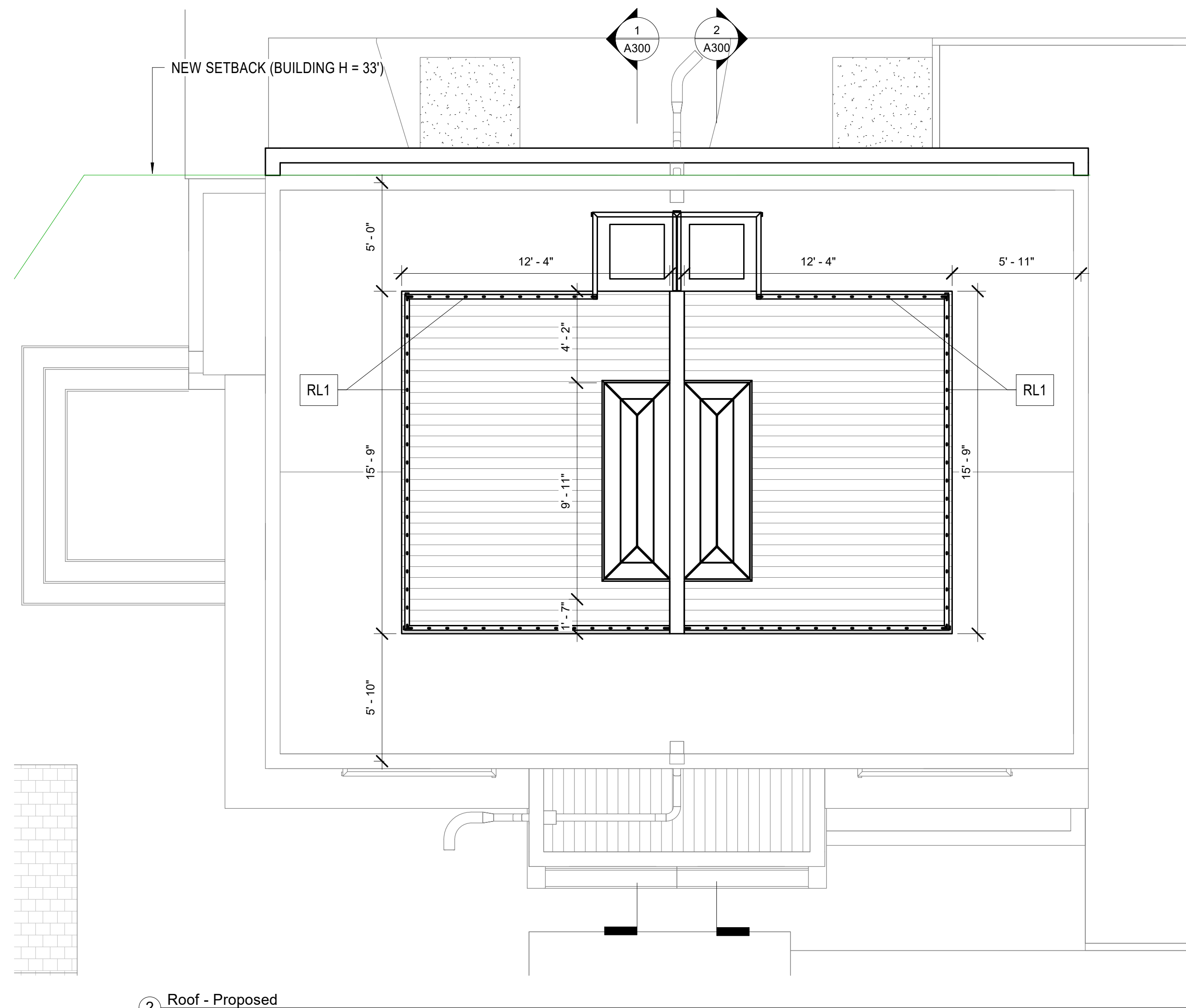
-  - EXISTING WALL TO REMAIN
-  - NEW WALL/FILL
-  - AREA NOT IN CONTRACT
-  - DEMOLISHED BUILDING ELEMENT
-  - DEMOLISHED FLOOR FINISH/CEILING



① Roof - Existing/Demo
1/4" = 1'-0"

EXTERIOR LIGHT FIXTURE LEGEND

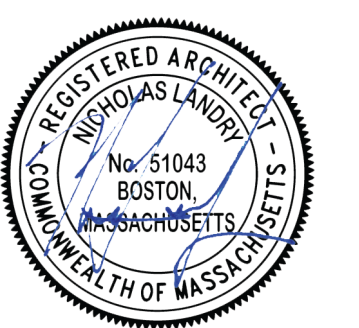
| | | | |
|---|-----|---|---|
|  | EC1 |  | OUTDOOR SCENCE - FRONT ENTRY |
|  | RL1 | ----- | EXTERIOR DECK HANDRAIL LIGHT-POD |
|  | L3 | - - - - - | FRONT ENTRY "LINE OF LIGHT" ALONG FIN WALL AND CANOPY |



② Roof - Proposed
1/4" = 1'-0"



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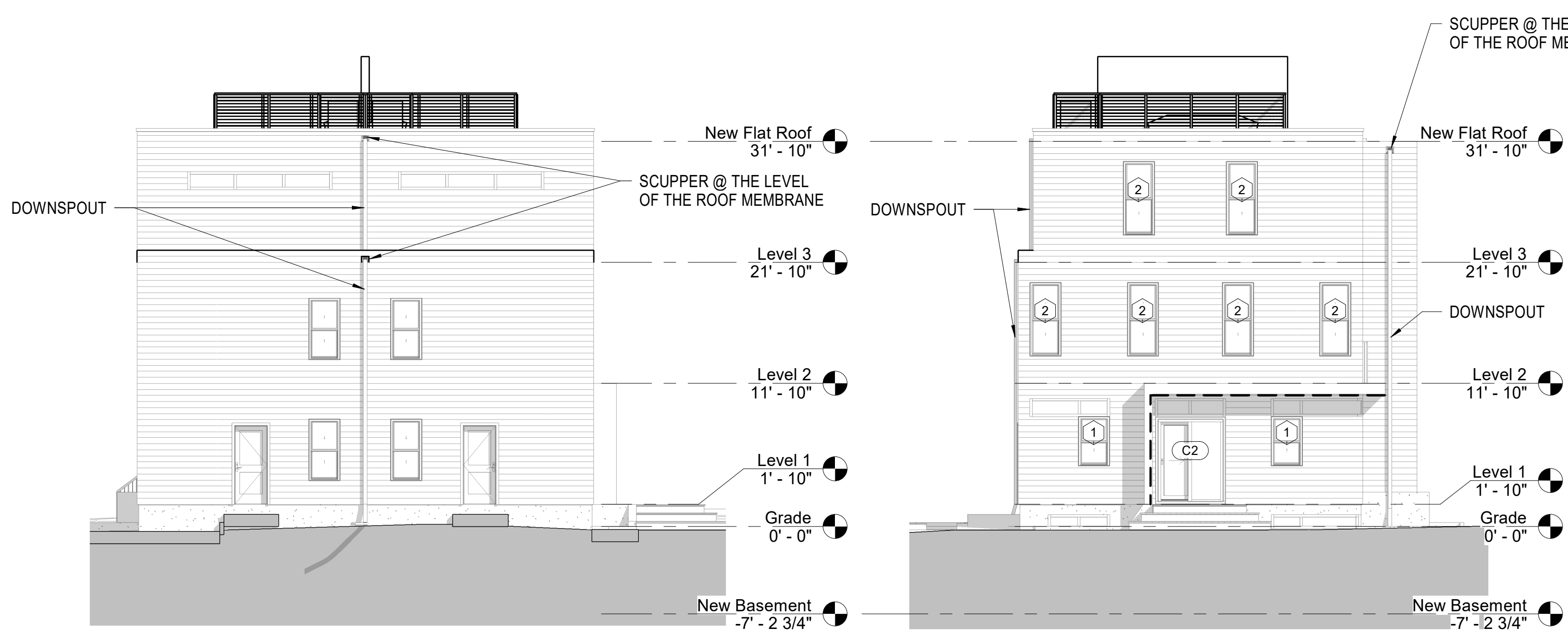
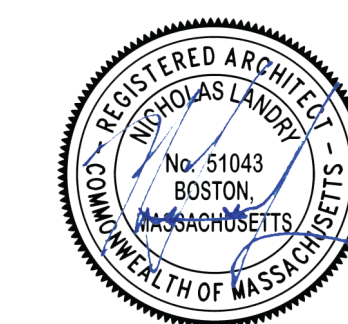
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143-147 HAMILTON

**ROOF -
DEMO/PROPOSED**

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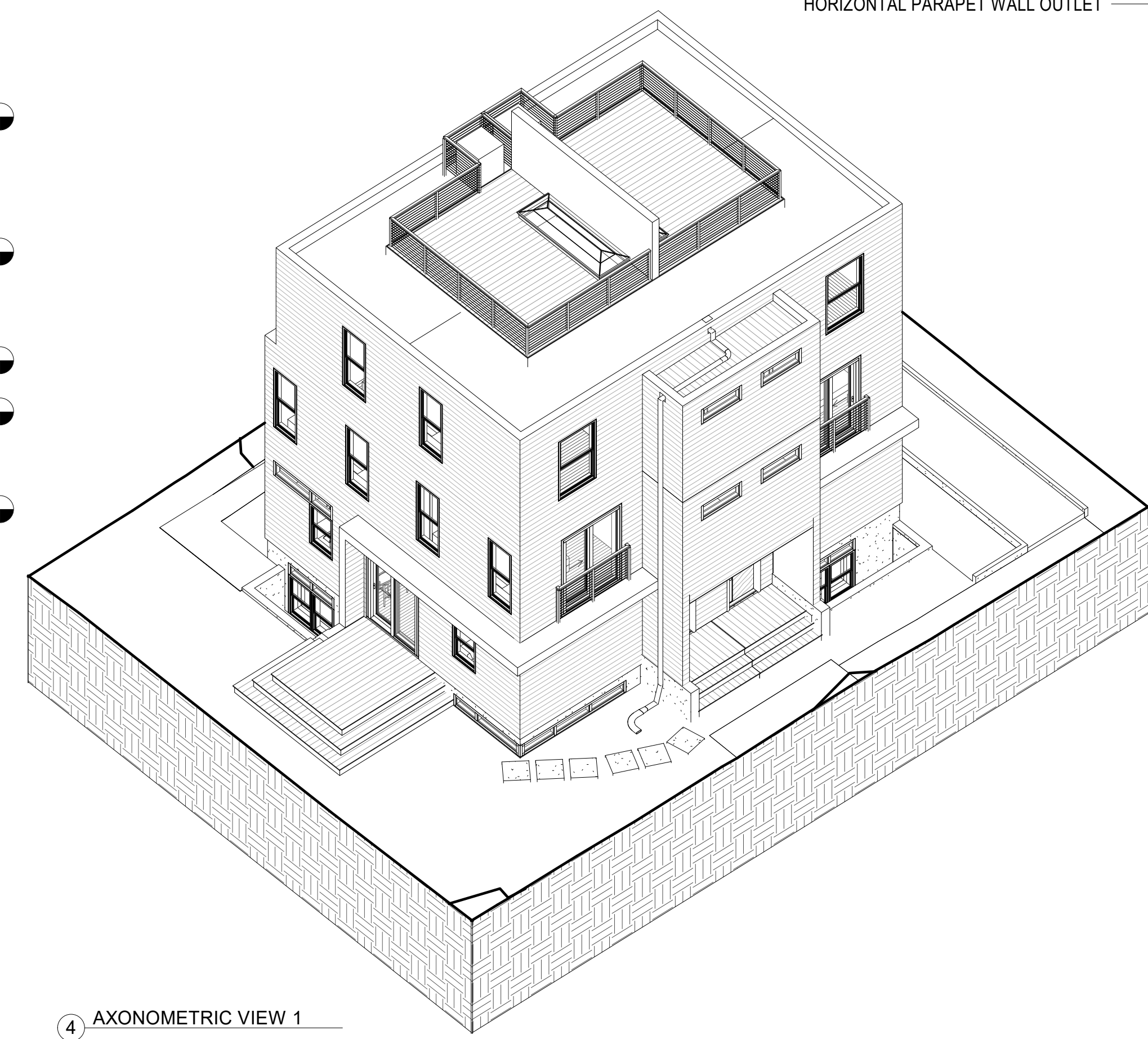
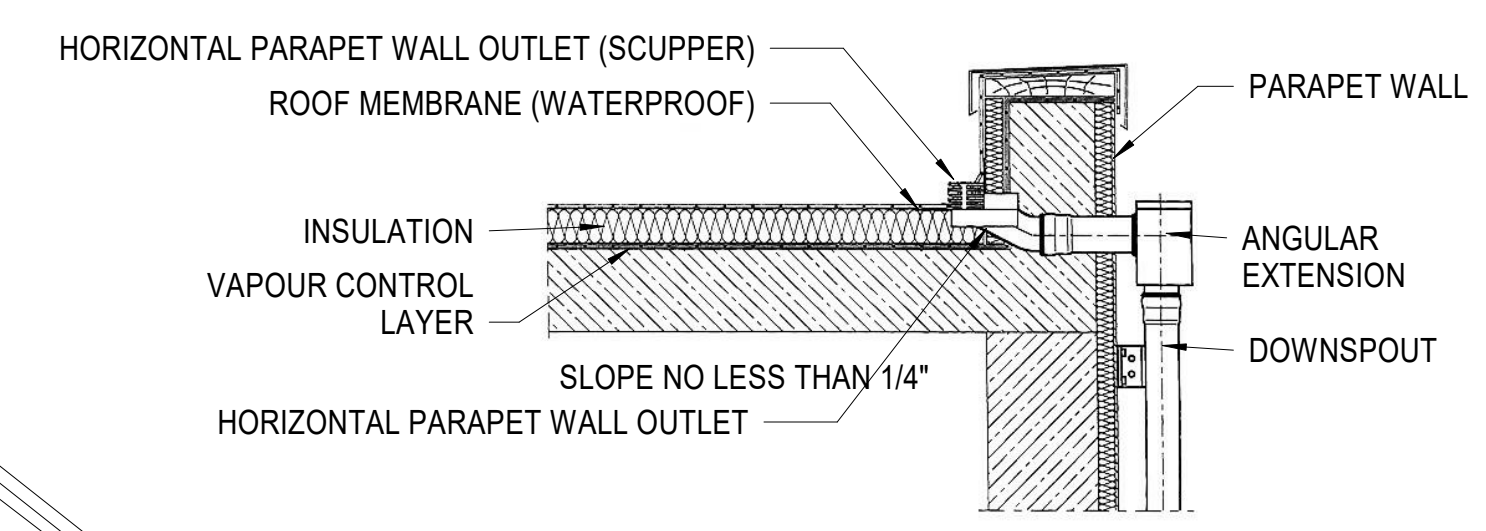
A104

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| Scale | As indicated |
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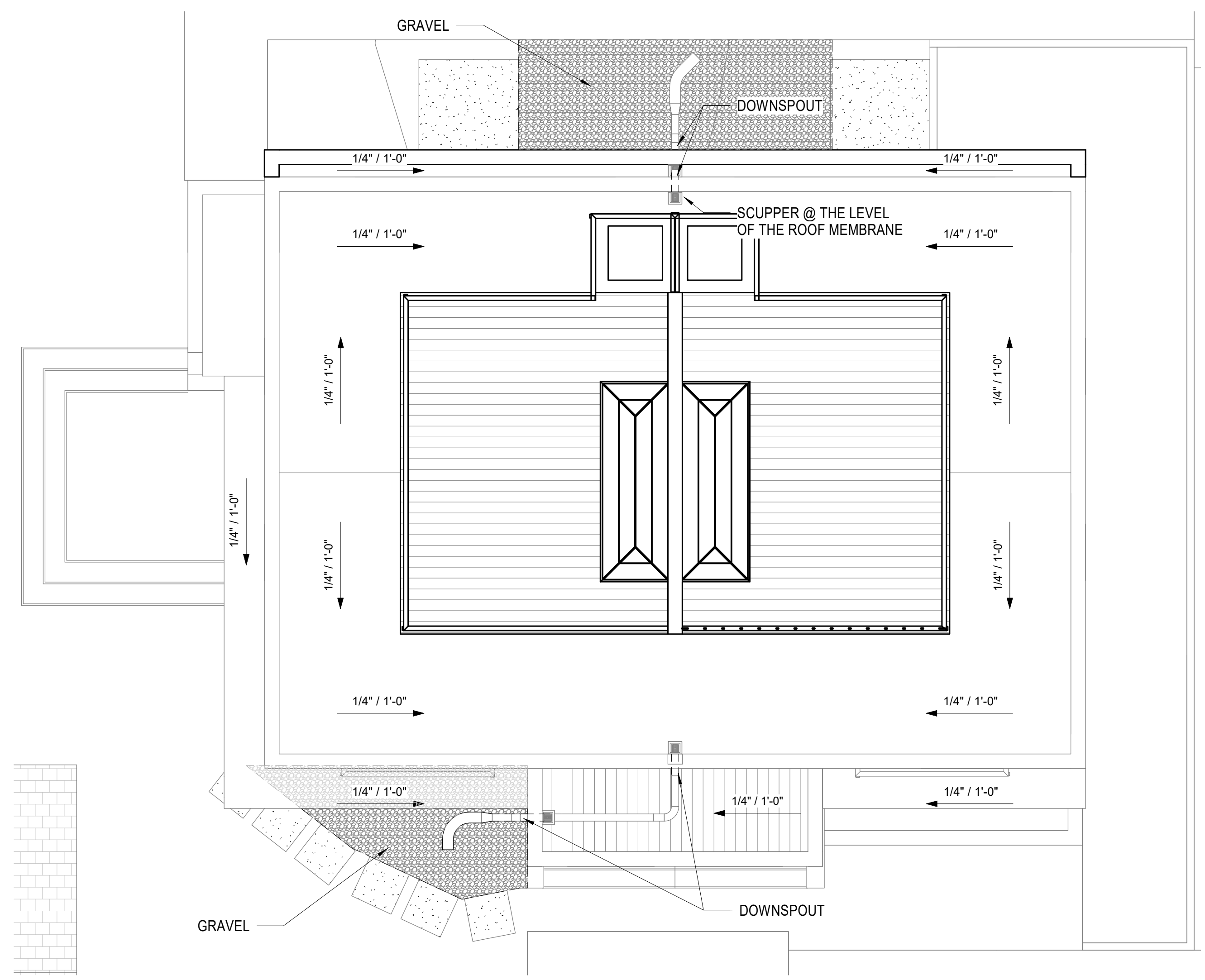


2 North Elevation- Proposed Drainage
1/8" = 1'-0"

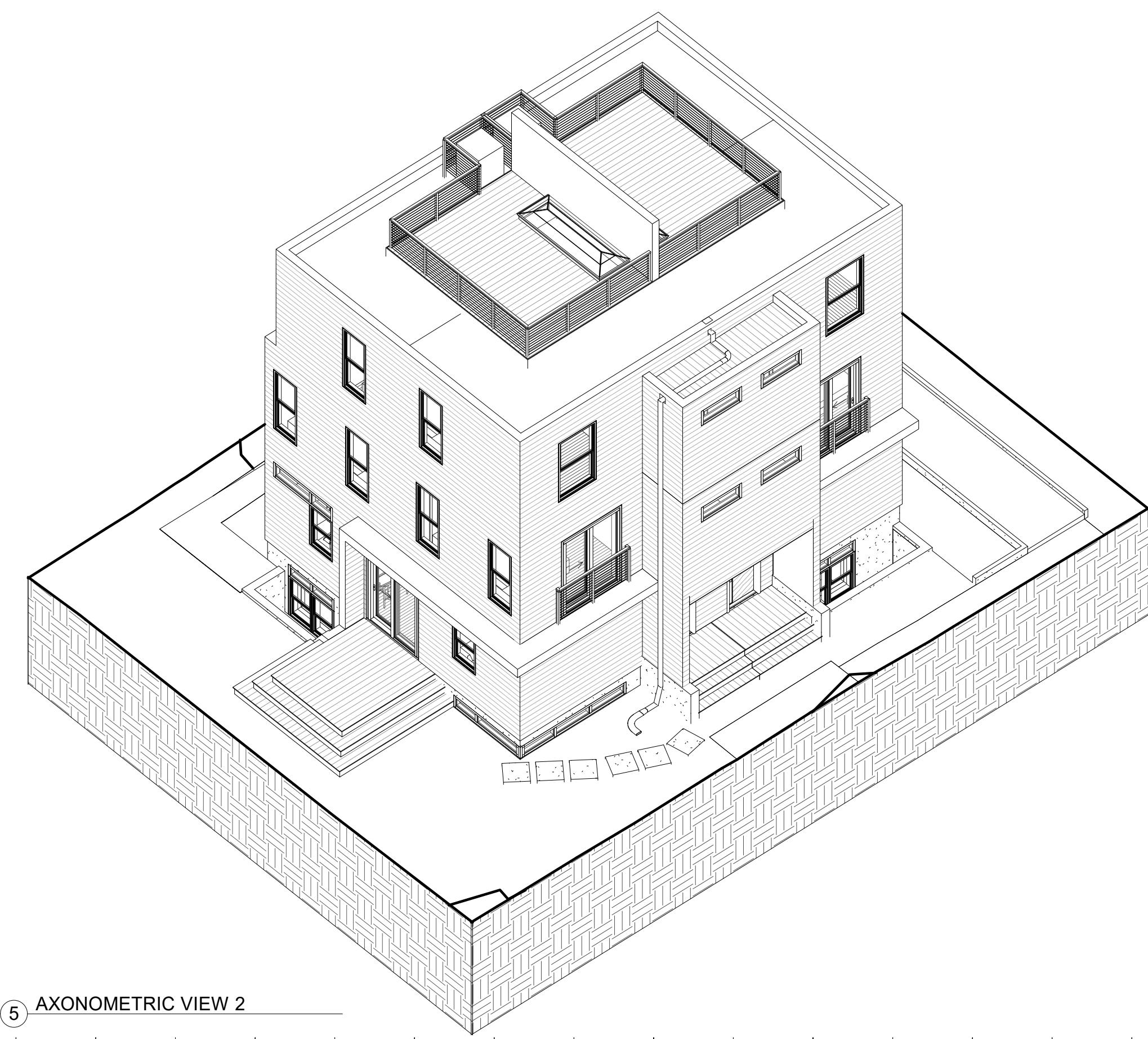
3 West Elevation - Proposed Drainage
1/8" = 1'-0"



4 AXONOMETRIC VIEW 1



1 Roof - Drainage
1/4" = 1'-0"



5 AXONOMETRIC VIEW 2

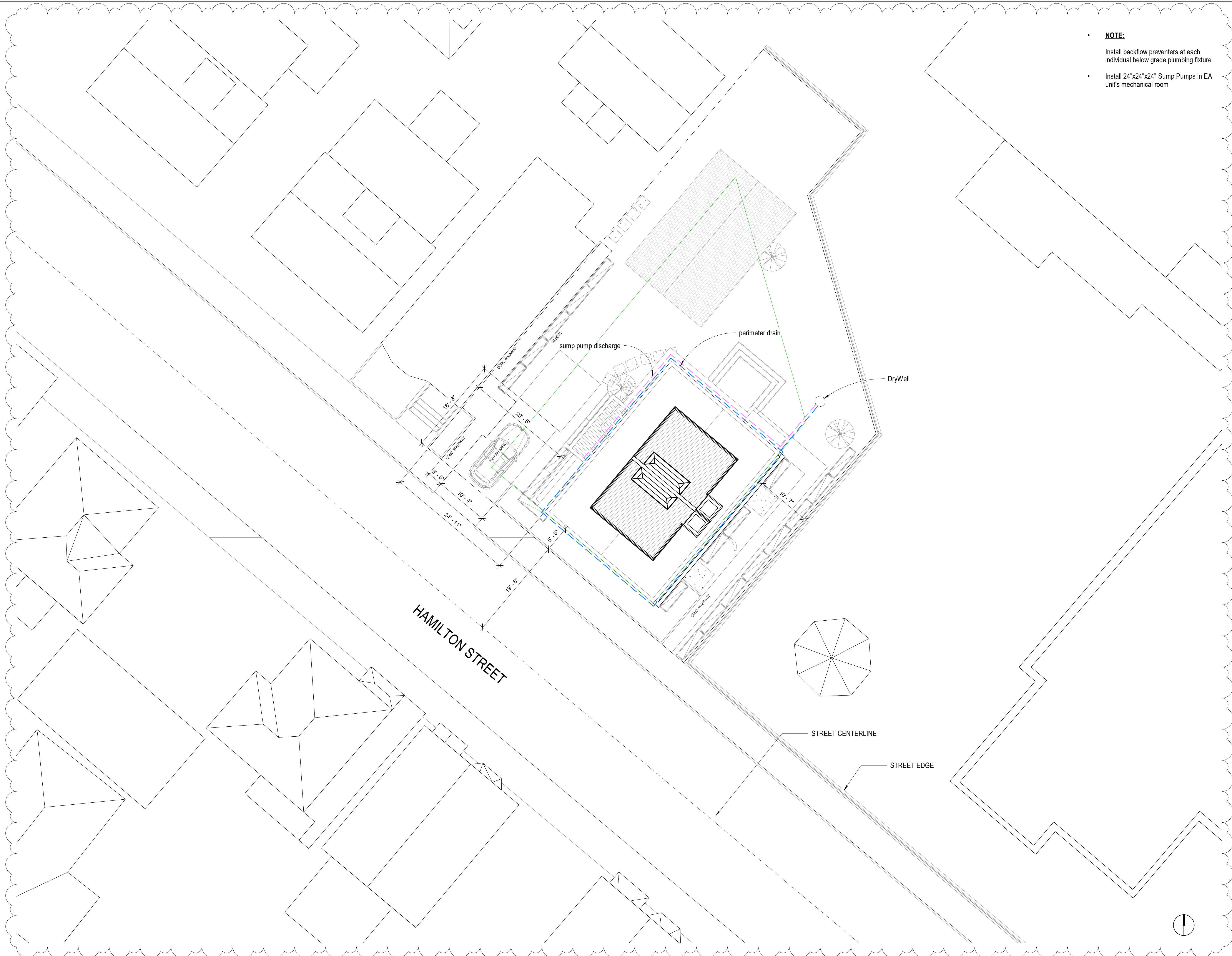
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MGM Aquisitions
143-147 HAMILTON
**ROOF DRAINAGE
DETAILS**

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| Project number | 220003 |
| Date | 01/27/2021 |
| Drawn by | DB |
| Checked by | NPL |

A104.1

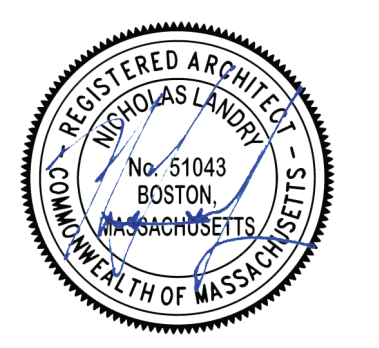
Scale As indicated



- NOTE:**
Install backflow preventers at each individual below grade plumbing fixture
- Install 24"x24"x24" Sump Pumps in EA unit's mechanical room



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MGM Aquisitions
143-147 HAMILTON
SITE PLAN

Project number: 220003
 Date: 01/27/2021
 Drawn by: DB
 Checked by: NPL

A104.2

Scale: 1/8" = 1'-0"

INTERIOR LIGHT FIXTURE LEGEND

| | | | |
|-----|-----|--|--|
| | L1 | | CLOSET LIGHT WITH MOTION SENSOR (MOUNTED TO CEILING) L1 - 4'-4-5/16" L2 - 2'-22-5/16" |
| | P1 | | KITCHEN ISLAND PENDANT - DECORATIVE |
| TBD | P2 | | LIVING ROOM PENDANT - DECORATIVE |
| | R1 | | DOWNLIGHT - TYPICAL THROUGHOUT (IC RATED, 4" DIAMETER, 900 LUMEN, 6" DEEP) |
| | W1 | | ALL BATHROOMS |
| TBD | FL1 | | FAN LIGHT, ALL BATHROOMS |
| TBD | CL1 | | CEILING LIGHT, MASTER BEDROOMS |

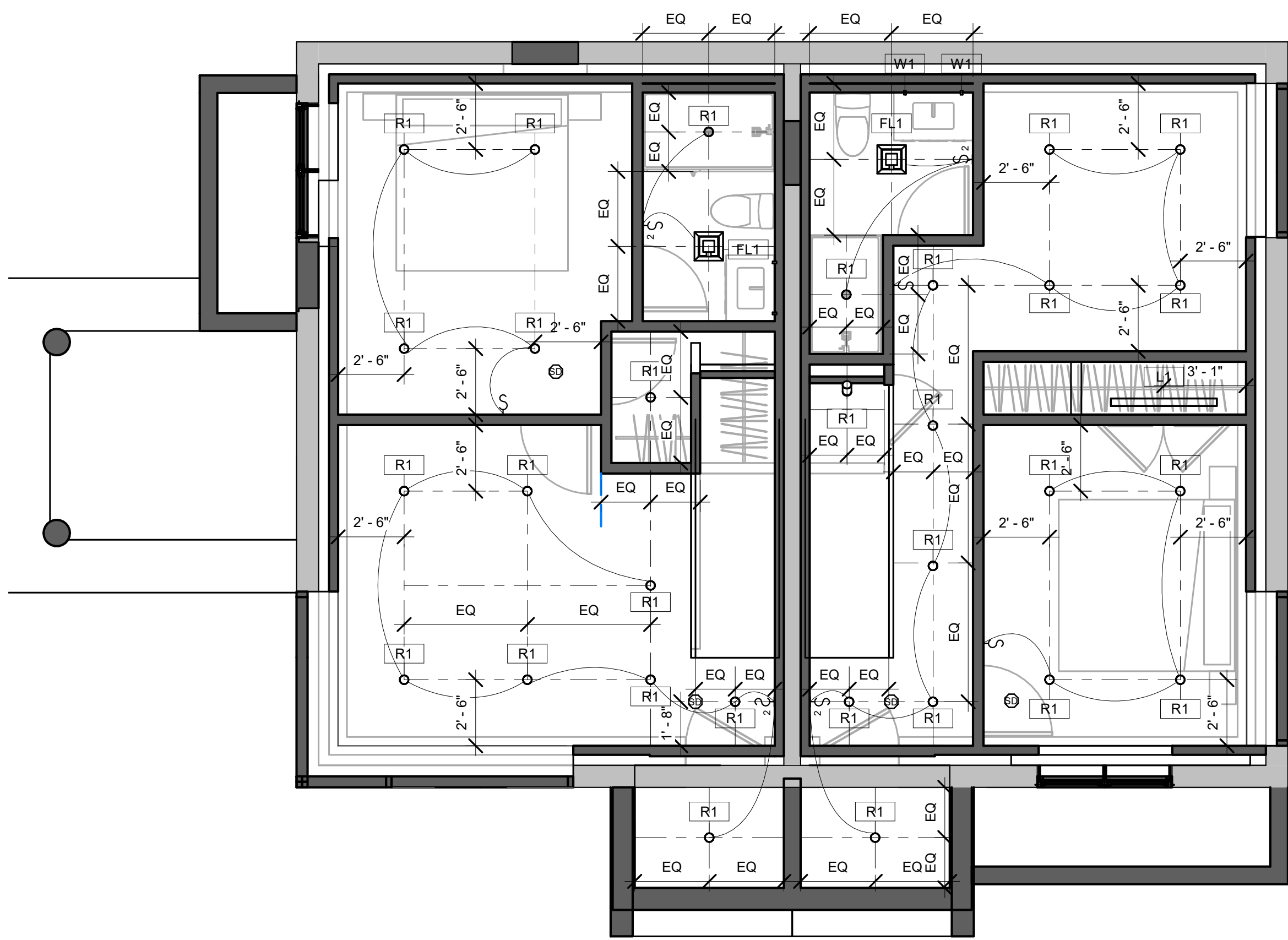
EXTERIOR LIGHT FIXTURE LEGEND

| | | | |
|--|-----|-------|---|
| | EC1 | | OUTDOOR SCONCE - FRONT ENTRY |
| | RL1 | ----- | EXTERIOR DECK HANDRAIL LIGHT-POD |
| | L3 | ----- | FRONT ENTRY "LINE OF LIGHT" ALONG FIN WALL AND CANOPY |

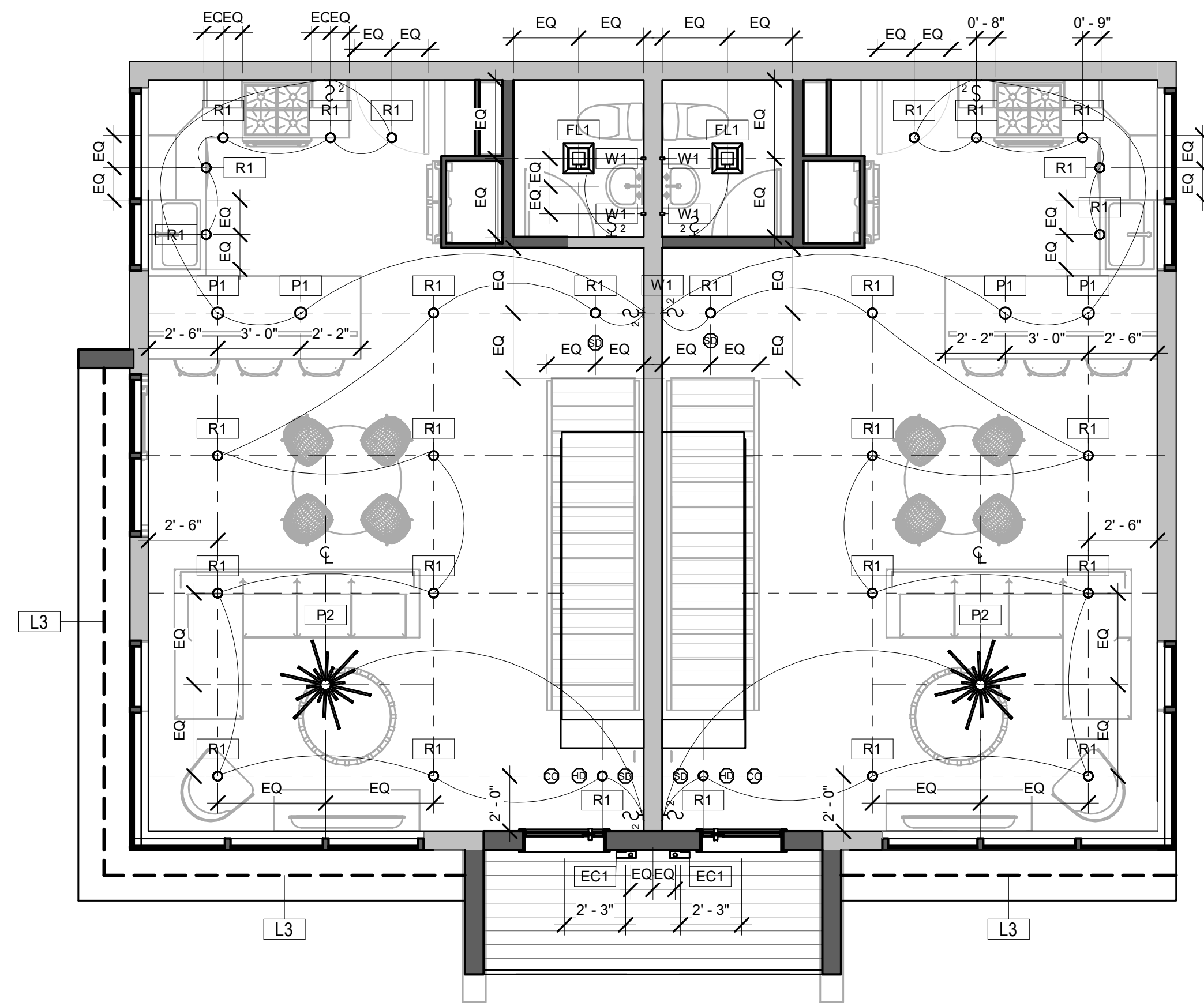
SMOKE ALARM GRAPHIC KEY
 SMOKE DETECTOR
 HEAT DETECTOR
 CARBON MONOXIDE DETECTOR
NOTE: REFER TO SMOKE DETECTOR NOTES AND PLANS FOR PLACEMENT REQUIREMENTS, TYP.



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1 **Basement - Proposed**
 1/4" = 1'-0"



2 **Level 1 - Proposed**
 1/4" = 1'-0"



| No. | Description | Date |
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MGM Aquisitions
 143-147 HAMILTON
REFLECTED CEILING PLAN

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| Project number | 220003 |
| Date | 01/27/2021 |
| Drawn by | DB |
| Checked by | NPL |
| A105 | |
| Scale | As indicated |

2/18/2021 3:08:27 PM

INTERIOR LIGHT FIXTURE LEGEND

| | | | |
|-----|-----|--|--|
| | L1 | | CLOSET LIGHT WITH MOTION SENSOR (MOUNTED TO CEILING) L1 - 4'-4 5/16" L2 - 2'-22 5/16" |
| | L2 | | |
| | P1 | | KITCHEN ISLAND PENDANT - DECORATIVE |
| TBD | P2 | | LIVING ROOM PENDANT - DECORATIVE |
| | R1 | | DOWNLIGHT - TYPICAL THROUGHOUT (IC RATED, 4" DIAMETER, 900 LUMEN, 6" DEEP) |
| | W1 | | ALL BATHROOMS |
| TBD | FL1 | | FAN LIGHT, ALL BATHROOMS |
| TBD | CL1 | | CEILING LIGHT, MASTER BEDROOMS |

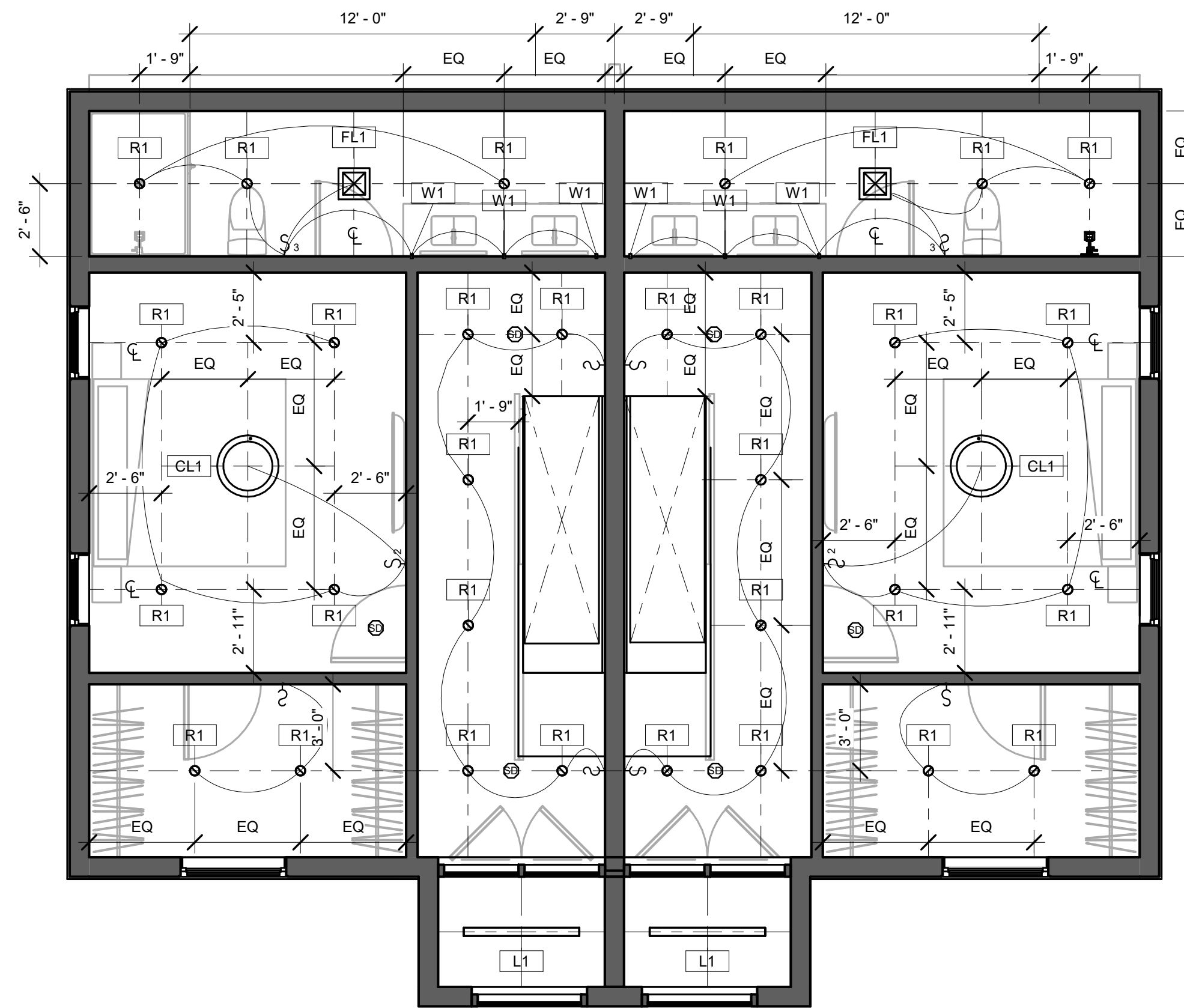
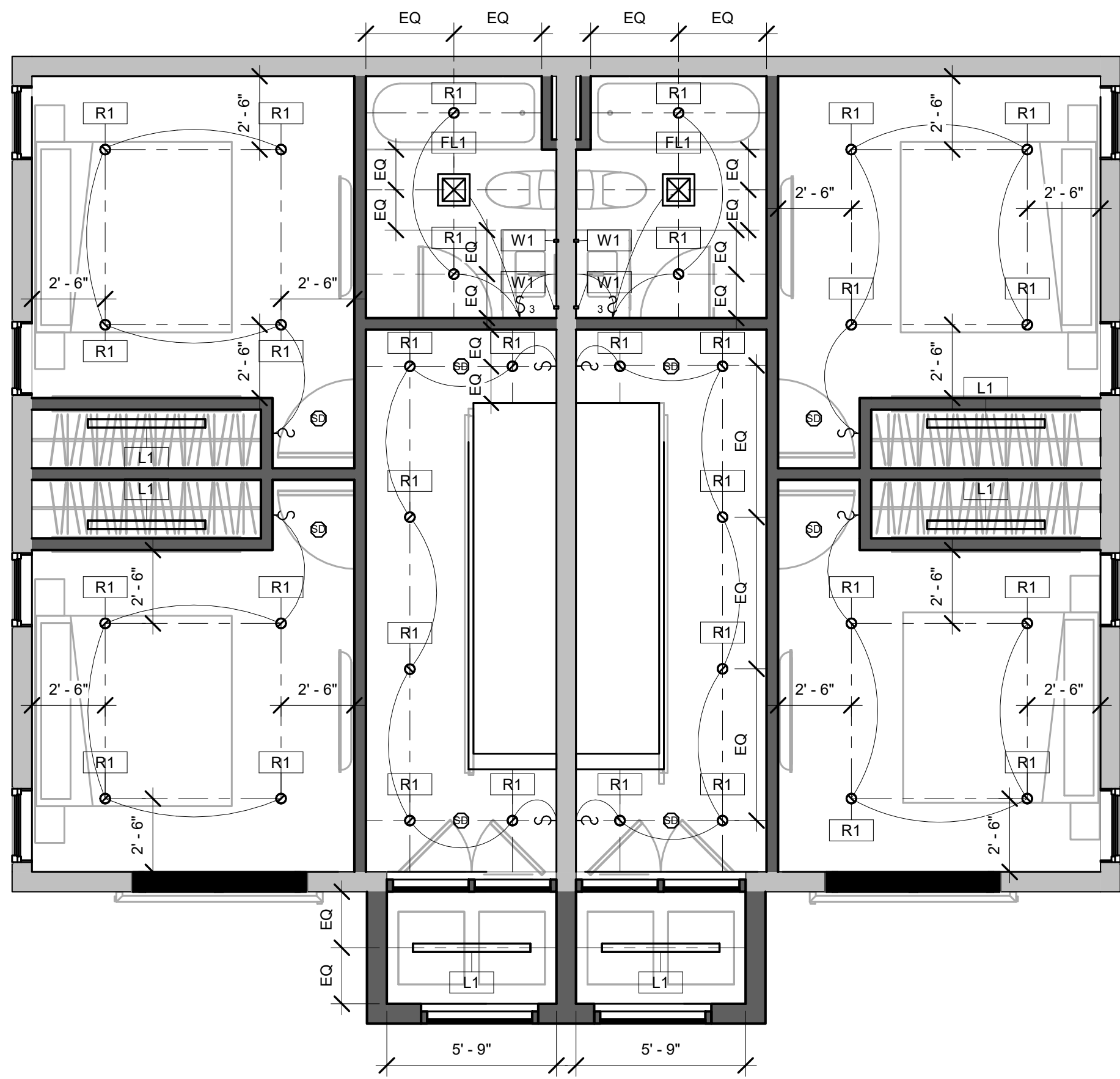
EXTERIOR LIGHT FIXTURE LEGEND

| | | | |
|--|-----|-------|---|
| | EC1 | | OUTDOOR SCONCE - FRONT ENTRY |
| | RL1 | ----- | EXTERIOR DECK HANDRAIL LIGHT-POD |
| | L3 | ----- | FRONT ENTRY "LINE OF LIGHT" ALONG FIN WALL AND CANOPY |

SMOKE ALARM GRAPHIC KEY

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR

NOTE: REFER TO SMOKE DETECTOR NOTES AND PLANS FOR PLACEMENT REQUIREMENTS, TYP.

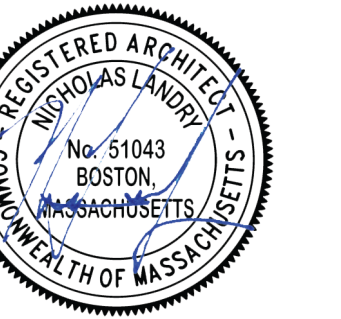


LIGHTING FIXTURE SCHEDULE

| Type | Type Mark | Count | Comments |
|--|-----------|-------|----------|
| PointLight_Sphere 5W | | 1 | |
| Ø650x85 mm - DOZ (39W 78lm/W) | CL1 | 2 | |
| edge_sconce | EC1 | 2 | |
| FV-05-11VKL1-80CFM-837RPM-6W | FL1 | 8 | |
| 051-8514537G LENO semi-recessed microprismatic | L1 | 9 | |
| MSLC-12P-xx revit | P1 | 4 | |
| THE_LIGHT_5150/180 | P2 | 2 | |
| 4" Incandescent - R1 | R1 | 121 | |
| 447572007 Chromed Matt | W1 | 18 | |
| Grand total | | 167 | |



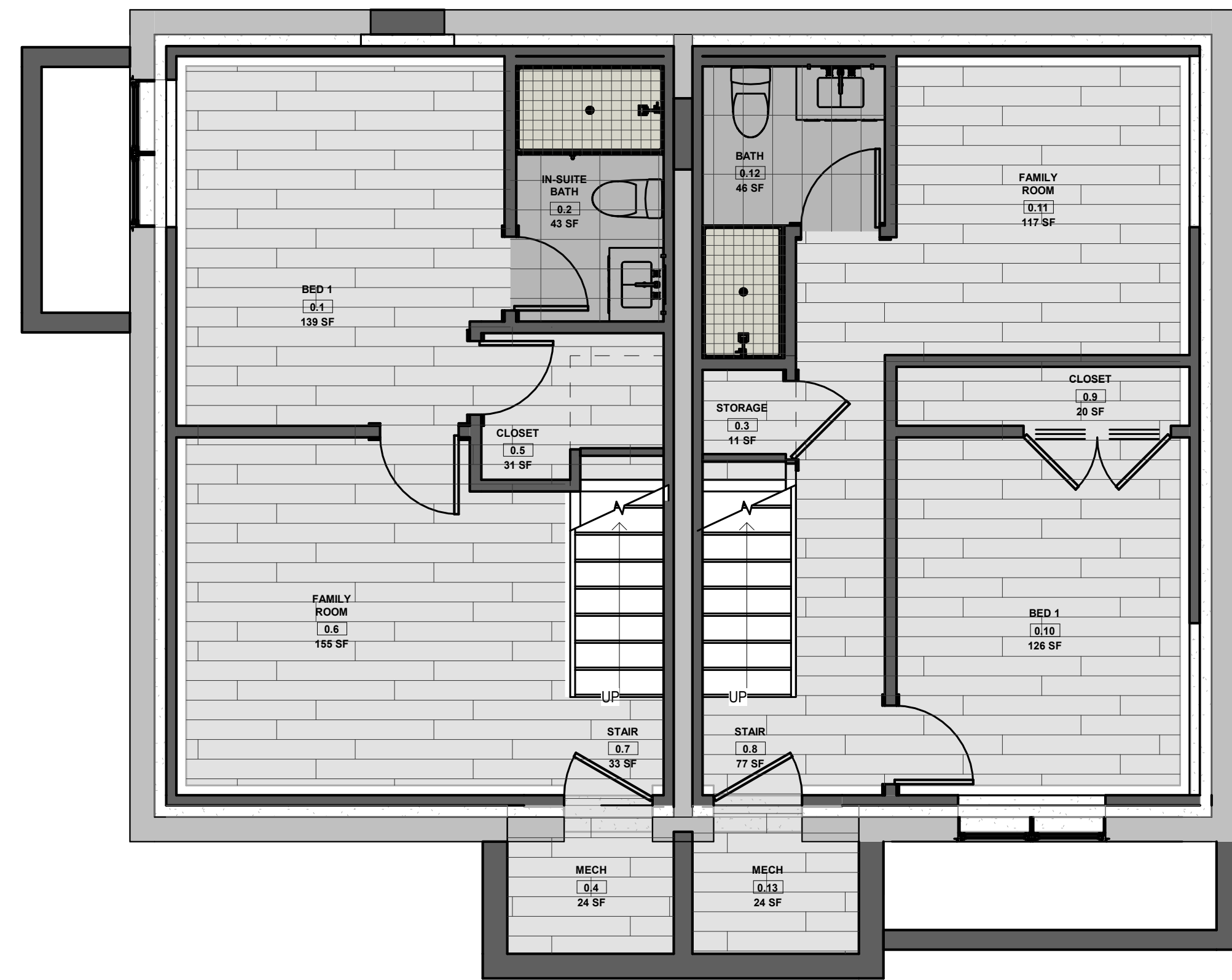
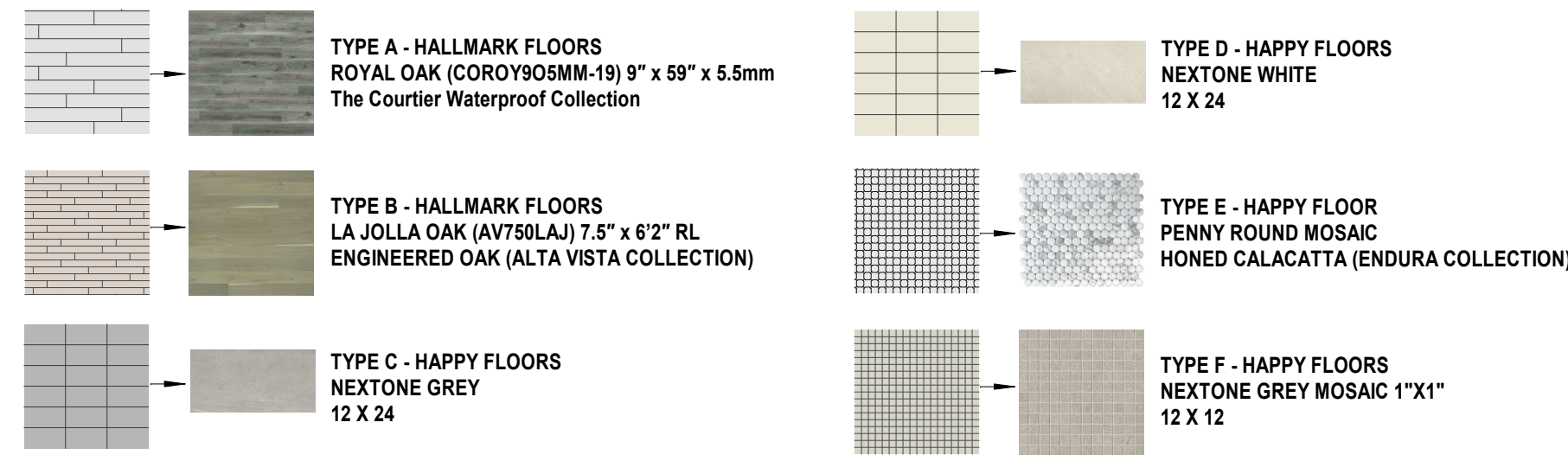
DRT, LLC
546 East Broadway
Boston, MA 02127
617.804.6117
info@d-r-t.co
www.d-r-t.co



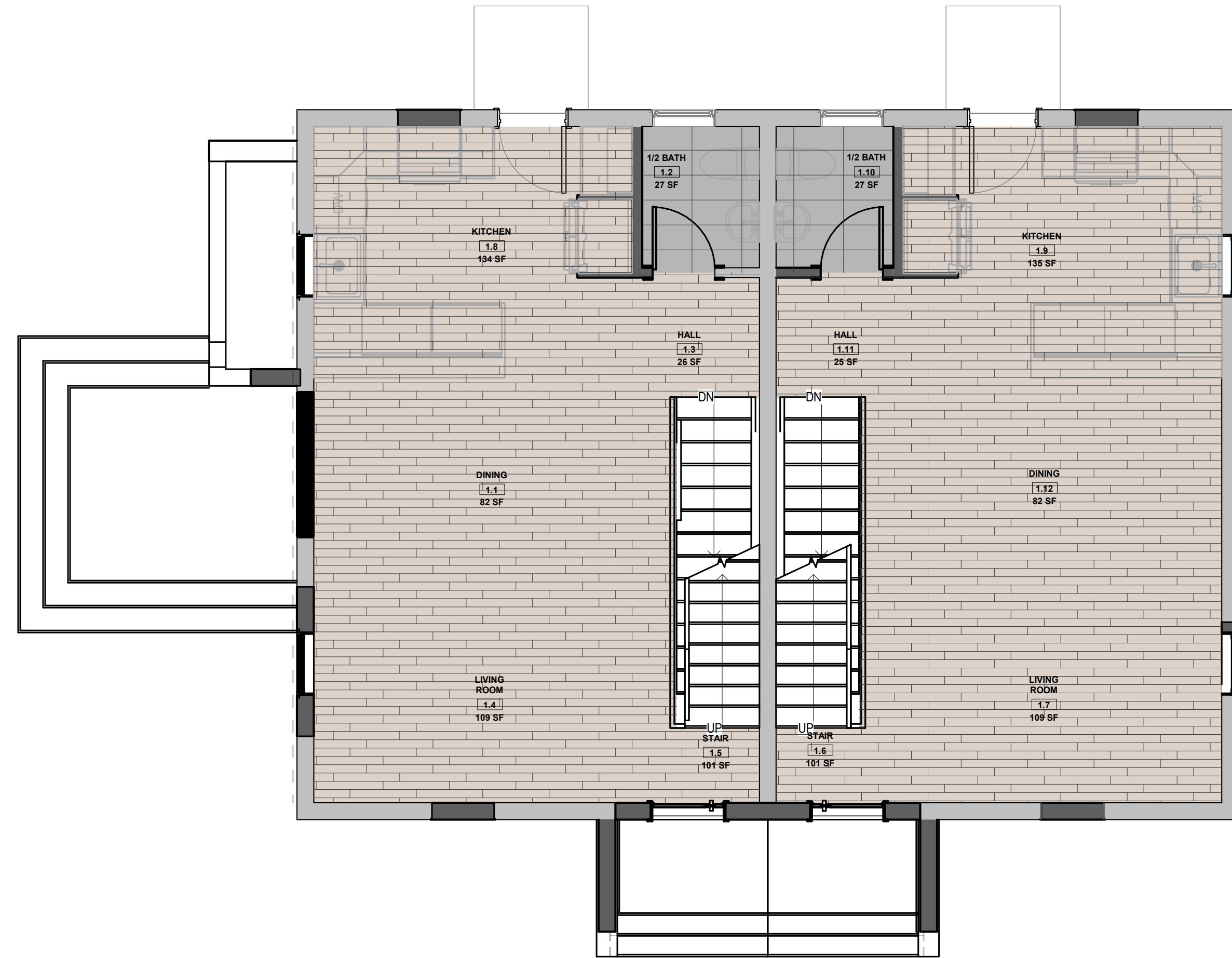
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| MGM Aquisitions 143-147 HAMILTON | |
| REFLECTED CEILING PLAN | |
| Project number | 220003 |
| Date | 01/27/2021 |
| Drawn by | DB |
| Checked by | NPL |
| <h1>A106</h1> | |
| Scale | As indicated |

FLOORING LEGEND



1 Basement - Floor Finish Plan
1/4" = 1'-0"



2 Level 1 - Floor Finish Plan
1/4" = 1'-0"



DRT, LLC
548 East Broadway
Boston, MA 02127
617.804.6117
info@d-r-t.co
www.d-r-t.co



| No. | Description | Date |
|-----|-------------|------|
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MGM Aquisitions
143-147 HAMILTON
PROPOSED FINISH PLANS

| | |
|----------------|------------|
| Project number | 220003 |
| Date | 01/27/2021 |
| Drawn by | DB |
| Checked by | NPL |

A107

Scale As indicated

143 Hamilton St.



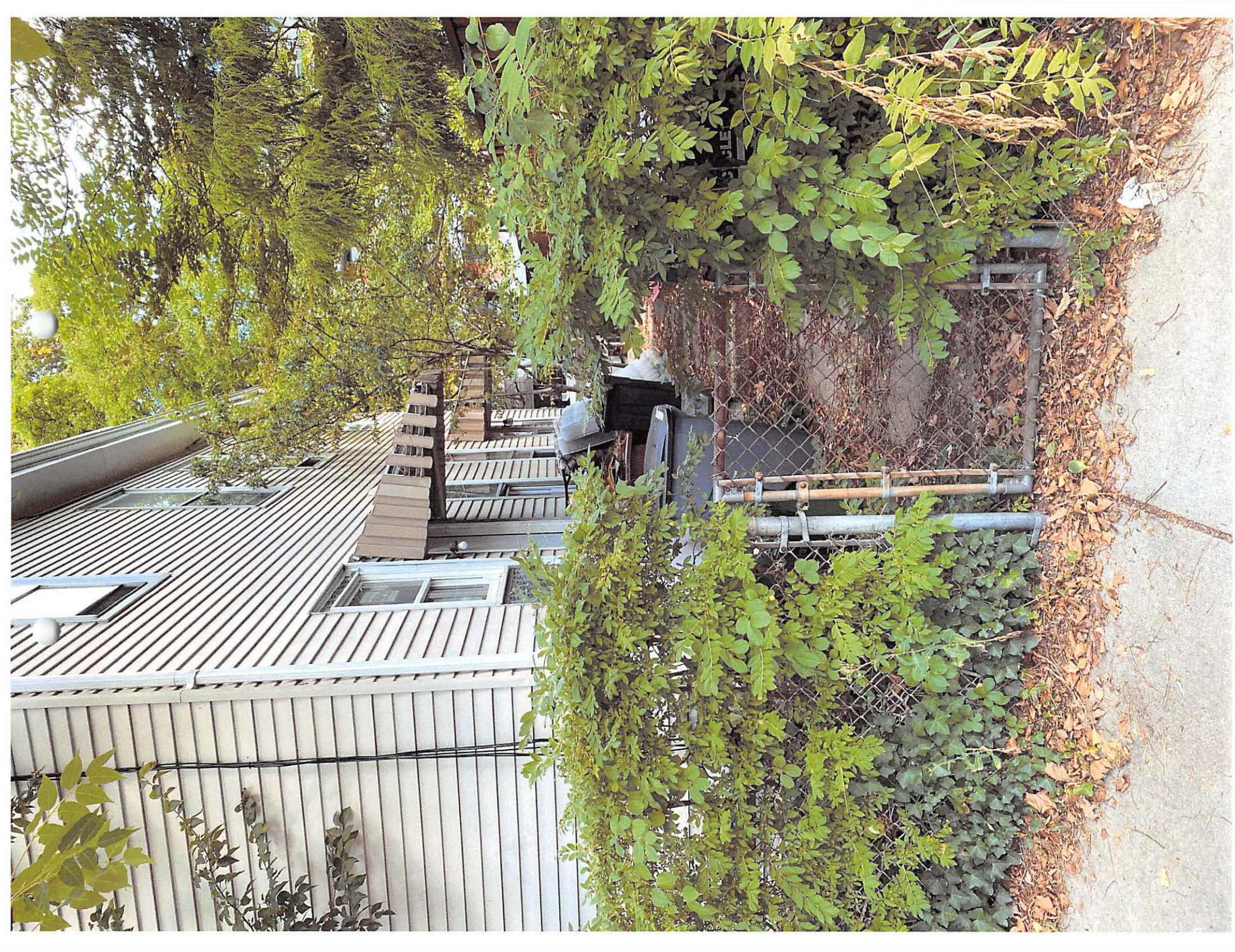


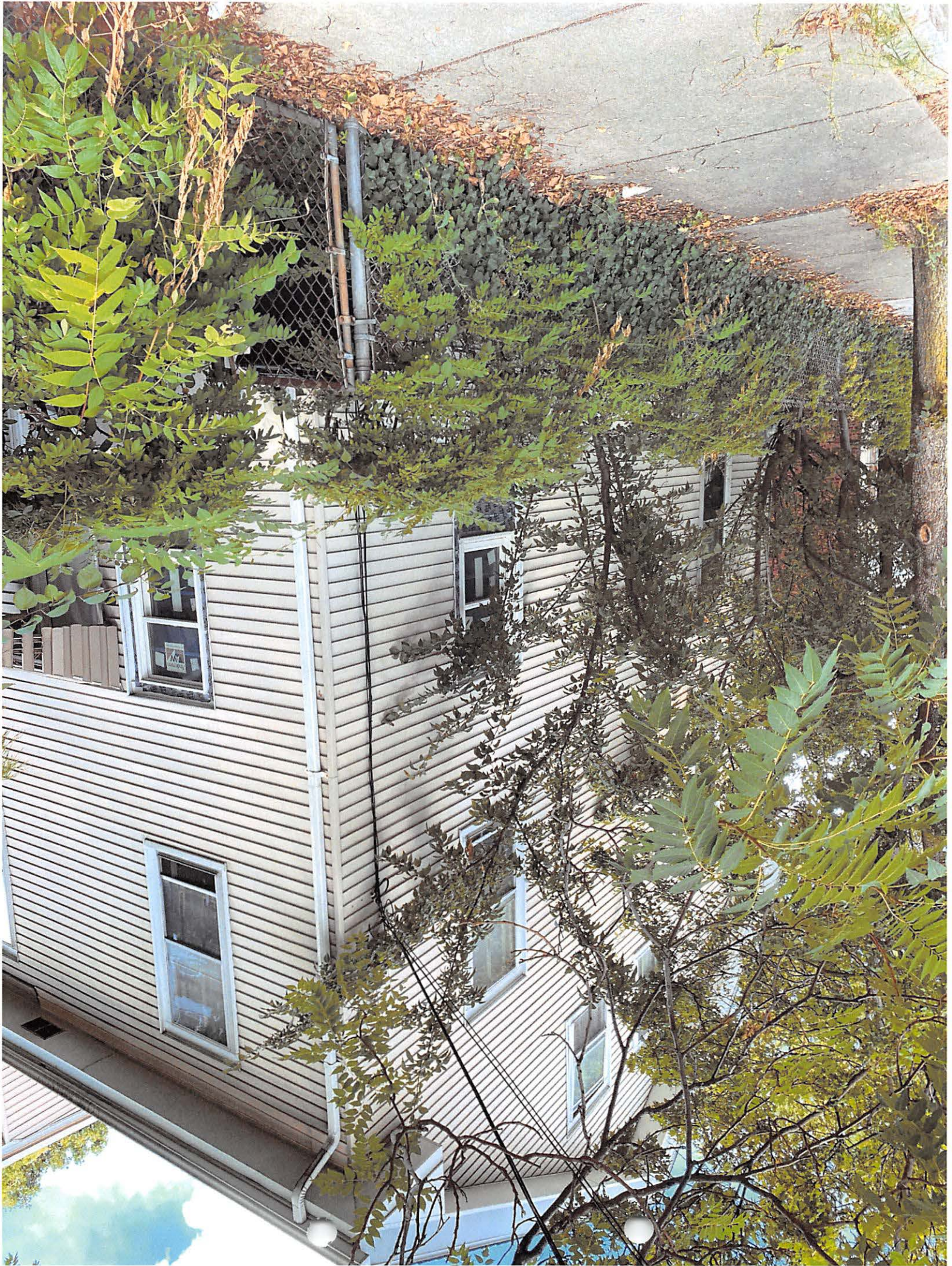




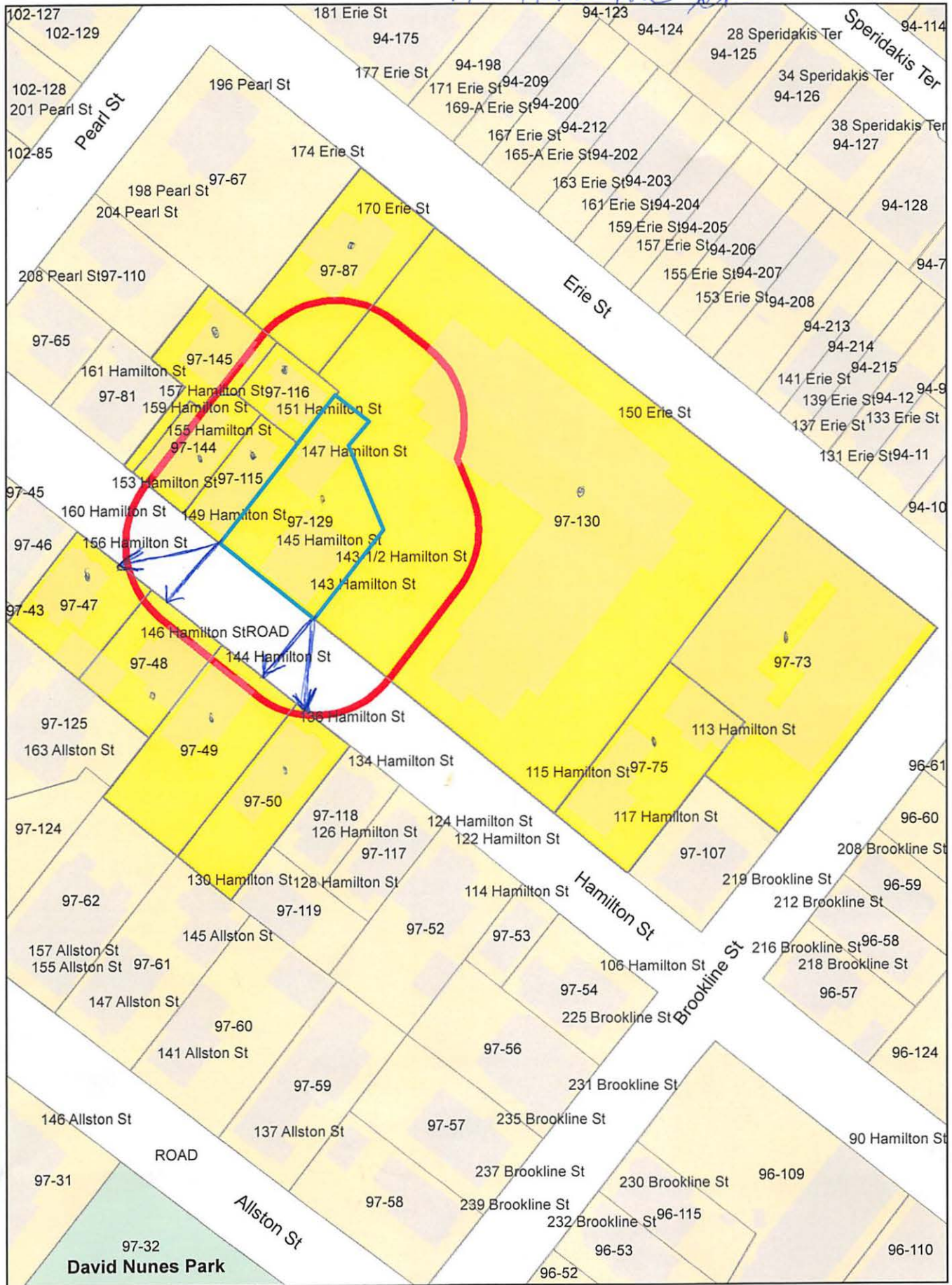








143 Hamilton St.



143 Hamilton St.

Petitioner

97-116
STONE, JOHN
151 HAMILTON ST
CAMBRIDGE, MA 02139

97-145
BINSTOCK, ROBERT C. & MARIA B. MACIAK
157 HAMILTON ST
CAMBRIDGE, MA 02139

143-145 HAMILTON STREET, LLC
C/O MATTHEW MARSHALL
127 CORNELL STREET
NEWTON, MA 02462

97-130
LYNDON B. JOHNSON APARTMENTS, LLC.
675 MASSACHUSETTS AVE
CAMBRIDGE, MA 02139

97-144
GIRON, JOSE I. & MARTHA G. GIRON
165 CROSS ST
MALDEN, MA 02148

97-47
D' ALMEIDA, JAIME C. & LISA K. MURRAY
156 HAMILTON ST
CAMBRIDGE, MA 02139-4527

97-48
TEKEIAN, EDWARD K. & KATHERINE B. GINNIS
146 HAMILTON STREET
CAMBRIDGE, MA 02139

97-50
BIRD, CATHERINE & JONATHAN M. DELGADO
136 HAMILTON ST
CAMBRIDGE, MA 02139

97-75
BROWN, LEE & LARRY DUBERSTEIN
113-115-117 HAMILTON ST., UNIT #115
CAMBRIDGE, MA 02139

97-75
BROWN LEE & LARRY DUBERSTEIN
113-115-117 HAMILTON ST., UNIT #117
CAMBRIDGE, MA 02139

97-75
HOHENBOKEN, MATTHEW J. &
JENNIFER L. HOHENBOKEN
113 HAMILTON ST
CAMBRIDGE, MA 02138

97-73
BEARD, RENNE & ADAM BARD
201 BROOKLINE ST. UNIT #5
CAMBRIDGE, MA 02139

97-73
CALLADINE, JOHN C.P.
201 BROOKLINE STREET, UNIT #4
CAMBRIDGE, MA 02139

97-73
SMITH, MICHAEL B.
201 BROOKLINE STREET, UNIT #2
CAMBRIDGE, MA 02139

97-73
KARAKELLE, JOHN & CHRISTINE MALLOY
201 BROOKLINE ST., #1
CAMBRIDGE, MA 02139

97-73
FOULSHAM, WILLIAM & JENNIFER LORD
201 BROOKLINE ST. UNIT 6
CAMBRIDGE, MA 02139

97-73
MANTHIRAM, KARTHISH
201 BROOKLINE ST., #3
CAMBRIDGE, MA 02139

97-129
IANNETTA, DAVID C., LEATRICE JOY SOMOGYI &
CITY OF CAMBRIDGE TAX TITLE
147 HAMILTON ST., UNIT #3
CAMBRIDGE, MA 02139

97-115
JONES IV, ALBERT R. & RACHEL X. HAN
149 HAMILTON ST
CAMBRIDGE, MA 02139

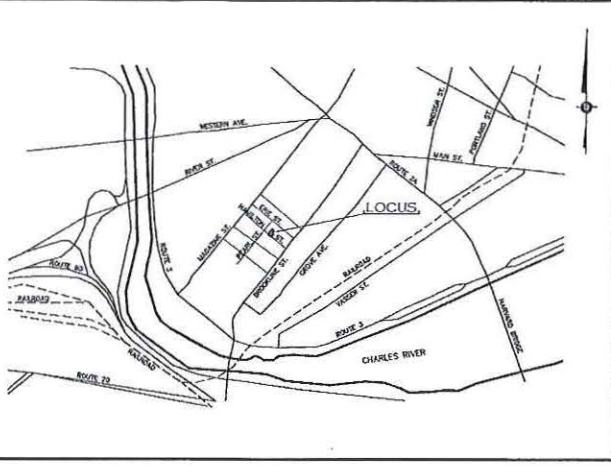
97-115
BURKETT, DANA
149 HAMILTON ST
CAMBRIDGE, MA 02139

97-87
EVANS, MATTHEW & LISA BARSOTTI
170 ERIE ST UNIT 1
CAMBRIDGE, MA 02139

97-87
ETXEBESTE, IKER CILLERO
ELIXABETE LARREA TAMAYO
170 ERIE STREET UNIT 2
CAMBRIDGE, MA 02139

97-129
143-145 HAMILTON ST LLC
745 ATLANTIC AVE
BOSTON, MA 02110

97-49
ABADIE, ALBERTO
144 HAMILTON ST
CAMBRIDGE, MA 02139



PLAN BK 12104 PG 632

FLOOD STATEMENT

THE ENTIRE SITE IS LOCATED IN FLOOD ZONE "C" AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 250186-0003B, EFFECTIVE DATE JULY 5, 1982.

ZONING DATA

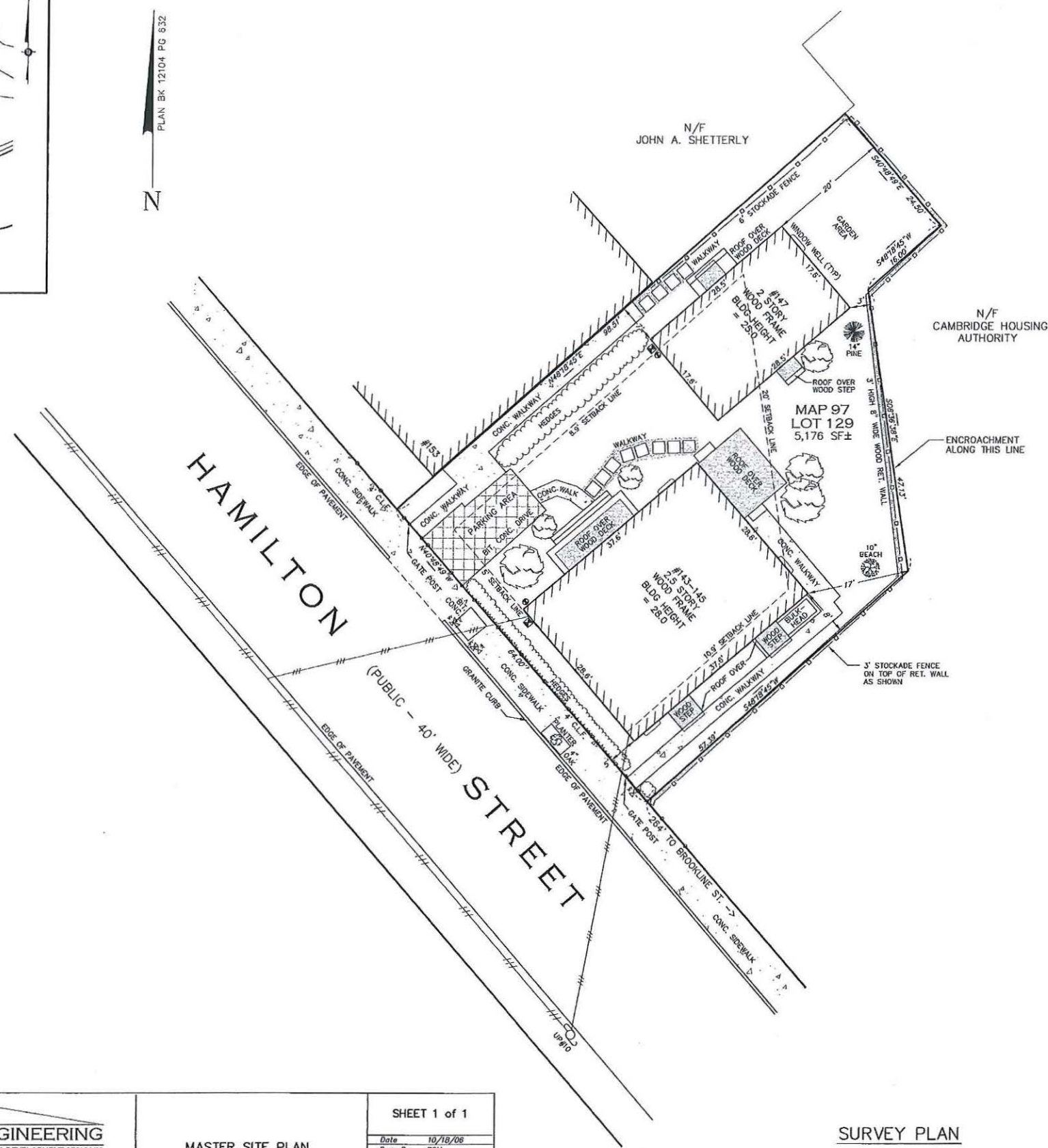
ZONE: C-3
 USE: MULTI-DWELLING RESIDENTIAL
 SETBACKS:
 FRONT: $(H+L)/5 * (b) = (28.0+28.6) / 5 = 11.3 \rightarrow [5']$
 REAR: $(H+L)/5 * (c)$
 FOR BLDG #143-145: $= (28.0+28.6) / 5 = 11.3 \rightarrow [20']$
 FOR BLDG #147: $= (25.0+17.6) / 5 = 8.5 \rightarrow [20']$
 SIDE: $(H+L)/6$
 FOR BLDG #143-145: $= (28.0+37.6) / 6 = [10.9]$
 FOR BLDG #147: $= (25.0+28.5) / 6 = [8.9]$

"H" is the height of the building, "L" is the length of the wall measured parallel to the corresponding lot or street line.
 *(b) Measured from the centerline of the street, but in no case may a building be nearer the street line than (5) feet.
 *(c) In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts.

SURVEY LEGEND

- STOCKADE FENCE
- CHAIN LINK FENCE
- //— OVERHEAD WIRES
- ⊙ UTILITY POLE
- ⊠ ELECTRIC METER
- ⊙ UNDERGROUND UTILITIES
- H/F HOW OR FORMERLY
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊙ SHRUB

THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE. THIS IS NOT IMPLIED NOR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENTS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.



BASIS OF BEARINGS

THE NORTHERLY LINE OF HAMILTON STREET BEARING N 40°-43'-49" W AS SHOWN ON PLAN NUMBER 1269(C OF 3) OF 1971, RECORDED IN BOOK 12104, PAGE 632.

ENCROACHMENT STATEMENT:

3' RETAINING WALL ENCROACHES ONTO THE PROPERTY AS SHOWN.

RECORD LEGAL DESCRIPTION

The land with the buildings thereon situated on Hamilton Street, in said Cambridge, shown as Lot 2 on a plan by Boston Survey Consultants dated July 12, 1971, bounded and described as follows:

- SOUTHWESTERLY by Hamilton Street, sixty-four feet;
- NORTHWESTERLY by land shown on said plan as of Crocker and of Crowley, ninety-eight and 51/100 feet;
- NORTHEASTERLY by other land of the grantee, twenty-four and 50/100 feet;
- SOUTHEASTERLY by the same, sixteen feet;
- EASTERLY by the same, forty-seven and 13/100 feet; and
- SOUTHEASTERLY by the same, fifty-seven and 39/100 feet.

Containing 5,176 square feet, according to said plan, and be all or any of said measurements or contents more or less.

SURVEYOR'S CERTIFICATION

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBER, AND DIMENSIONS OF THE UNITS AS BUILT.

THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



Timothy R. Bennett
 TIMOTHY R. BENNETT, P.L.S.
 DATE

Work Coordinated by:
ASC NATIONAL LLC
 1264 MAIN STREET
 WALTHAM, MA 02451
 TELEPHONE 781.893.6477 FAX 781.642.0666

Surveyor:
BENNETT ENGINEERING
 LAND SURVEYING, ENGINEERING, & DEVELOPMENT SERVICES
 PO BOX 297 TEL. (508) 888-4868
 SAGAMORE BEACH, MA 02562 FAX. (508) 888-4867

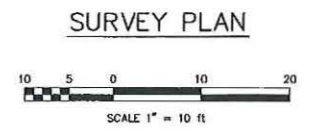
MASTER SITE PLAN

SHEET 1 of 1

| | |
|--------------|-----------|
| Date | 10/18/06 |
| Drawn By | EOH |
| Approved By | TRB |
| Drawn No. | 1010 |
| Proj. No. | Fierman-1 |
| REVISIONS | |
| DESCRIPTION: | DATE: |
| | |
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| | |
| | |

Prepared For: ROBERTA JACKSON
 c/o Law Offices of Fierman & Associates
 596 Tremont Street
 Boston, MA 02118

Project Number: Fierman-1
 Project Location: Cambridge, MA
 Project Address: 143-145-147 Hamilton Street
 Client Name: Roberta Jackson



Middlesex Registry of Deeds,
 Southern District
 Cambridge, Massachusetts
 Plan No. 1298 of 2006
 Rec'd 10.19.2006
 at 12 H 18 M P M
 Attest *Signa C. B. Bunn*
 Register

Pacheco, Maria

From: Jonathan Delgado <delgado@techno-obscura.com>
Sent: Tuesday, March 16, 2021 10:15 PM
To: Pacheco, Maria
Subject: Comment on Case No. BZA-109095

In regards to the Board of Zoning Appeal case no BZA-109095, where the petitioner "143-145 Hamilton St LLC" proposes adding a roof deck to the structure that is 143 and 145 Hamilton Street, I would like to state that I am opposed to this petition.

The current structure is a side-by-side two family that is quite close to the street and three stories tall, which will only be made larger as it gets converted to a flat roof. Three stories seems to be the typical max height in our neighborhood, and I have never seen a three story structure which also has a roof deck on top of it. I feel this is out of line with the feel of the neighborhood. Housing here is admittedly dense, and only getting denser it seems, but with the exception of the LBJ apartments, the structures aren't looming higher on the streets.

Additionally, it looks like the petitioner is proposing to put the mechanicals for their AC units on the roof deck, which will increase the noise levels for neighboring houses as there will be little to muffle the sound. The sound from a raised unit will travel farther and more directly into other properties.

-Jonathan Delgado @ 136 Hamilton Street



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: IRINEO CARDO SO Date: 03-04-21
(Print)

Address: 143 Hamilton St.

Case No. BZA-109095

Hearing Date: 3/25/21

Thank you,
Bza Members

Pacheco, Maria

From: RC Binstock <rcbinstock@gmail.com>
Sent: Monday, March 22, 2021 7:19 PM
To: Pacheco, Maria
Subject: comment on BZA-109095 143 Hamilton Street

To the BZA, regarding the proposed roof deck at 143:

I have owned and lived at 157 Hamilton Street for almost 30 years. The proposed roof deck would be directly visible from our bedroom window, and more importantly would be a potential source of noisy disturbances in the warm weather.

The houses from 143 to 161 Hamilton and around the corner to 204 Pearl Street are at extremely close quarters, and it takes a lot of neighborly consideration to maintain reasonable peace and quiet. At 157, we now have two new houses under construction behind us at 196 Pearl. I am all for new housing units in Cambridge (we put one into our own house), but I am quite concerned about maintaining that peace and quiet. 143-145 does have significant outdoor space behind it, and a roof deck does not seem to be a necessity.

I will defer to the residents of the houses closest to 143-145 (147, 149, 151). If they support the roof deck, I do not object. But if there is not clear support for it among those closest, I do not support it either.

Thank you for your attention.

Sincerely,

Bob Binstock
157 Hamilton Street