

# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 APR 22 AM 10:12  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

**BZA Number: 170706**

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_

Variance:   X  

Appeal: \_\_\_\_\_

**PETITIONER:** 14-16 Granville, LLC C/O James J. Rafferty

**PETITIONER'S ADDRESS:** 907 Massachusetts Avenue, Cambridge, MA 02139

**LOCATION OF PROPERTY:** 14 Granville Rd., Cambridge, MA

**TYPE OF OCCUPANCY:** multifamily

**ZONING DISTRICT:** Residence B Zone

**REASON FOR PETITION:**

/Additions/

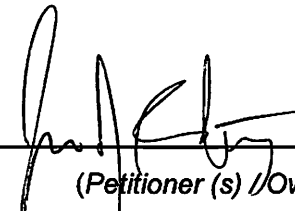
#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Petitioner seeks to expand existing rear decks to enable egress for all units. Petitioner also seeks to construct rear basement entry and new 2nd story porch within the front setback. Petitioner also seeks to install a window well that will create a change in mean grade and thus will increase the height of the structure.

#### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).  
Article: 8.000      Section: 8.22.3 (Nonconforming Structure).  
Article: 10.000     Section: 10.30 (Variance).

Original  
Signature(s):

  
(Petitioner (s) /Owner)

James J. Rafferty, Attorney for Petitioner  
(Print Name)

Address: 907 Massachusetts Avenue, Suite 300  
Tel. No. Cambridge, MA 02139  
E-Mail Address: 617.492.4100  
jrafferty@adamsrafferty.com

**Date:** April 22, 2022

**OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD**

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

14-16 Granville LLC  
(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 14-16 Granville Road

the record title standing in the name of 14-16 Granville, LLC

whose address is 14-16 Granville Road, Cambridge MA 02138  
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

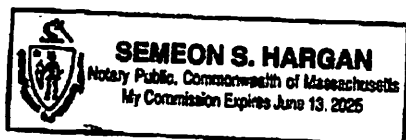
Book 79201 Page 458 or \_\_\_\_\_ Registry

District of Land Court Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_

[Signature]  
14-16 Granville LLC  
(Manager)

=====

On this 5 day of April 2022, before me, the undersigned notary public, personally appeared Scott Schuster proved to me through satisfactory evidence of identification, which were MADL, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



[Signature]  
Notary Public

My commission expires:

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- A literal enforcement of the Ordinance would prevent the Petitioner from performing much needed alterations to allow for accessible egress and circulation in the building.
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:
- The hardship is directly related to the shape and size of the lot and the age and layout of the building.
- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**
- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:
- The installation of a rear stairwell, front porch and window well will not have a detrimental effect on the public good.
- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:
- The setback and open space dimensions will remain unchanged as a result of the proposed modifications.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**BZA Application Form****DIMENSIONAL INFORMATION**

**Applicant:** 14-16 Granville, LLC  
**Location:** 14 Granville Rd., Cambridge, MA  
**Phone:** 617.492.4100

**Present Use/Occupancy:** multifamily  
**Zone:** Residence B Zone  
**Requested Use/Occupancy:** multifamily

		<b><u>Existing Conditions</u></b>	<b><u>Requested Conditions</u></b>	<b><u>Ordinance Requirements</u></b>		
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		5,970 sf	6,228 sf	1,745 sf	(max.)	
<b><u>LOT AREA:</u></b>		3,491	no change	5,000	(min.)	
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>		1.71	1.78	0.5		
<b><u>LOT AREA OF EACH DWELLING UNIT</u></b>		1,167	no change	2,500		
<b><u>SIZE OF LOT:</u></b>	<b><u>WIDTH</u></b>	45	no change	50		
	<b><u>DEPTH</u></b>	N/A	no change	N/A		
<b><u>SETBACKS IN FEET:</u></b>	<b><u>FRONT</u></b>	7'11"	no change	15		
	<b><u>REAR</u></b>	15.7'	no change	25'		
	<b><u>LEFT SIDE</u></b>	3.7'	no change	7.5'		
	<b><u>RIGHT SIDE</u></b>	15.1'	no change	7.5'		
<b><u>SIZE OF BUILDING:</u></b>	<b><u>HEIGHT</u></b>	42'	42.8'	35'		
	<b><u>WIDTH</u></b>	N/A	no change	N/A		
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		27%	no change	40%		
<b><u>NO. OF DWELLING UNITS:</u></b>		3	no change	1		
<b><u>NO. OF PARKING SPACES:</u></b>		2	no change	3		
<b><u>NO. OF LOADING AREAS:</u></b>		N/A	N/A	N/A		
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>		N/A	N/A	N/A		

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



DRAWING LIST		
Sheet Number	Sheet Name	Sheet Issue Date
A-000	COVER SHEET	04/08/2022
C I	MORTGAGE INSPECTION PLAN	11/18/2021
A-020	ARCHITECTURAL SITE PLAN	04/08/2022
A-022	AREA PLANS	04/08/2022
A-023	UNIT AREA PLANS	04/08/2022
EX-100	EXISTING CONDITIONS	04/08/2022
A-100	BASEMENT, 1ST, & 2ND FLOOR PLANS	04/08/2022
A-101	3RD, 4TH, & ROOF PLANS	04/08/2022
A-300	FRONT & LEFT SIDE ELEVATIONS	04/08/2022
A-301	REAR & RIGHT SIDE ELEVATIONS	04/08/2022
AV-2	PERSPECTIVES	04/08/2022
AV-1	EXISTING PHOTOS	04/08/2022



PROJECT NAME

14 Granville Road  
Residences

PROJECT ADDRESS

14 Granville Road  
Cambridge, MA

CLIENT

14-16 GRANVILLE  
LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

CONSULTANTS:

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OF PROSECUTION UNDER LAW

REGISTRATION



Project number	21089
Date	04/08/2022
Drawn by	ERS
Checked by	JSK
Scale	1" = 40'-0"

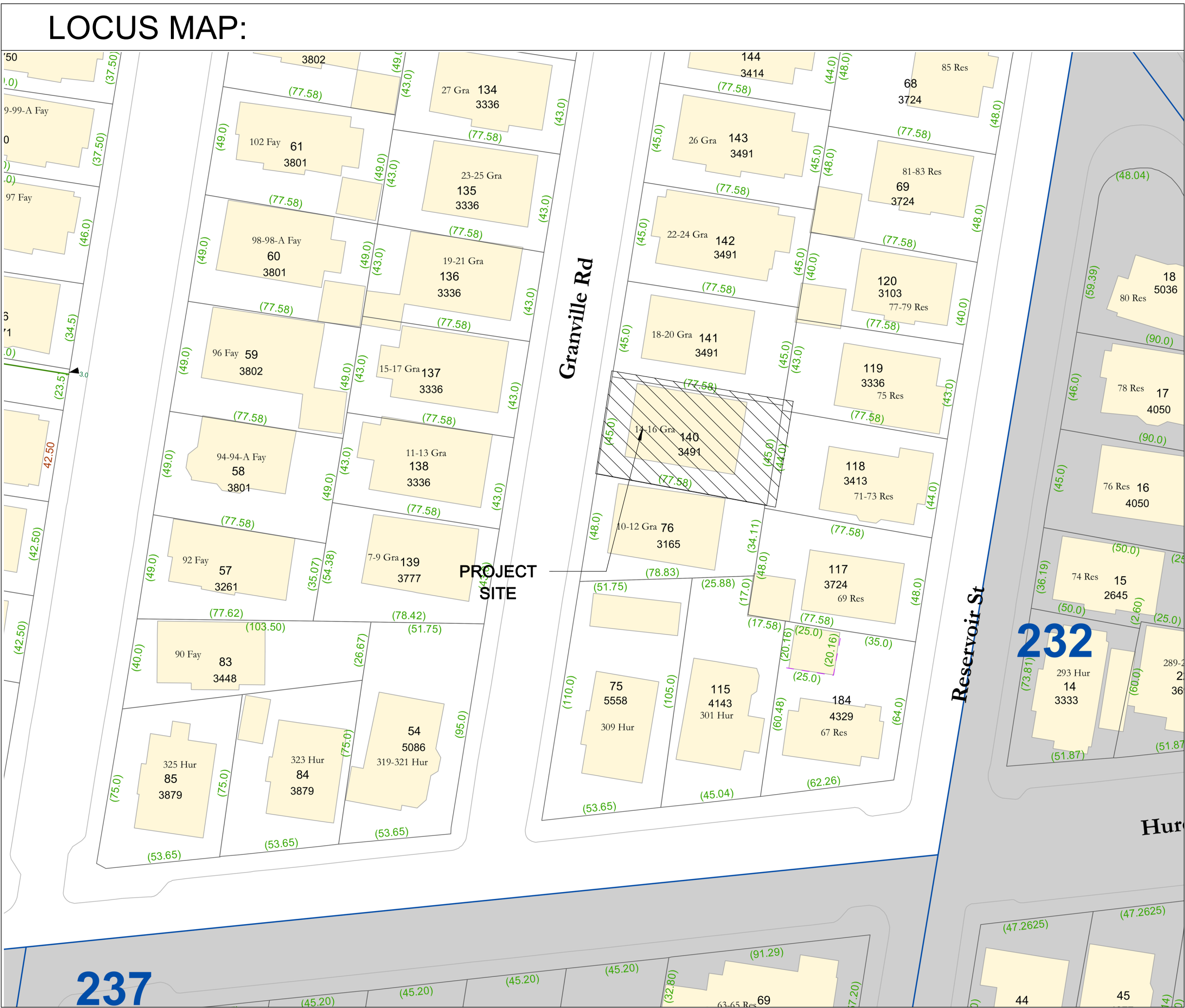
REVISIONS

No.	Description	Date

COVER SHEET

A-000

14 Granville Road Residences



# PROJECT: 14 GRANVILLE ROAD RESIDENCES

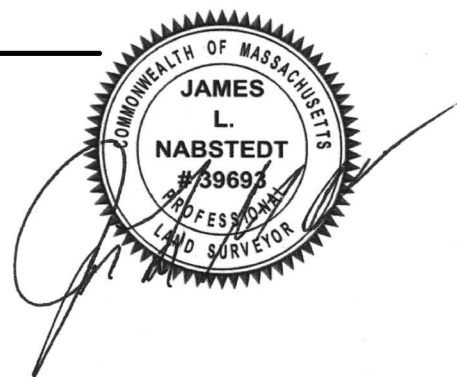
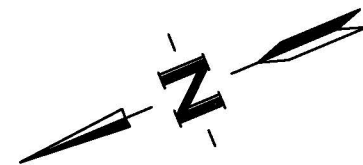
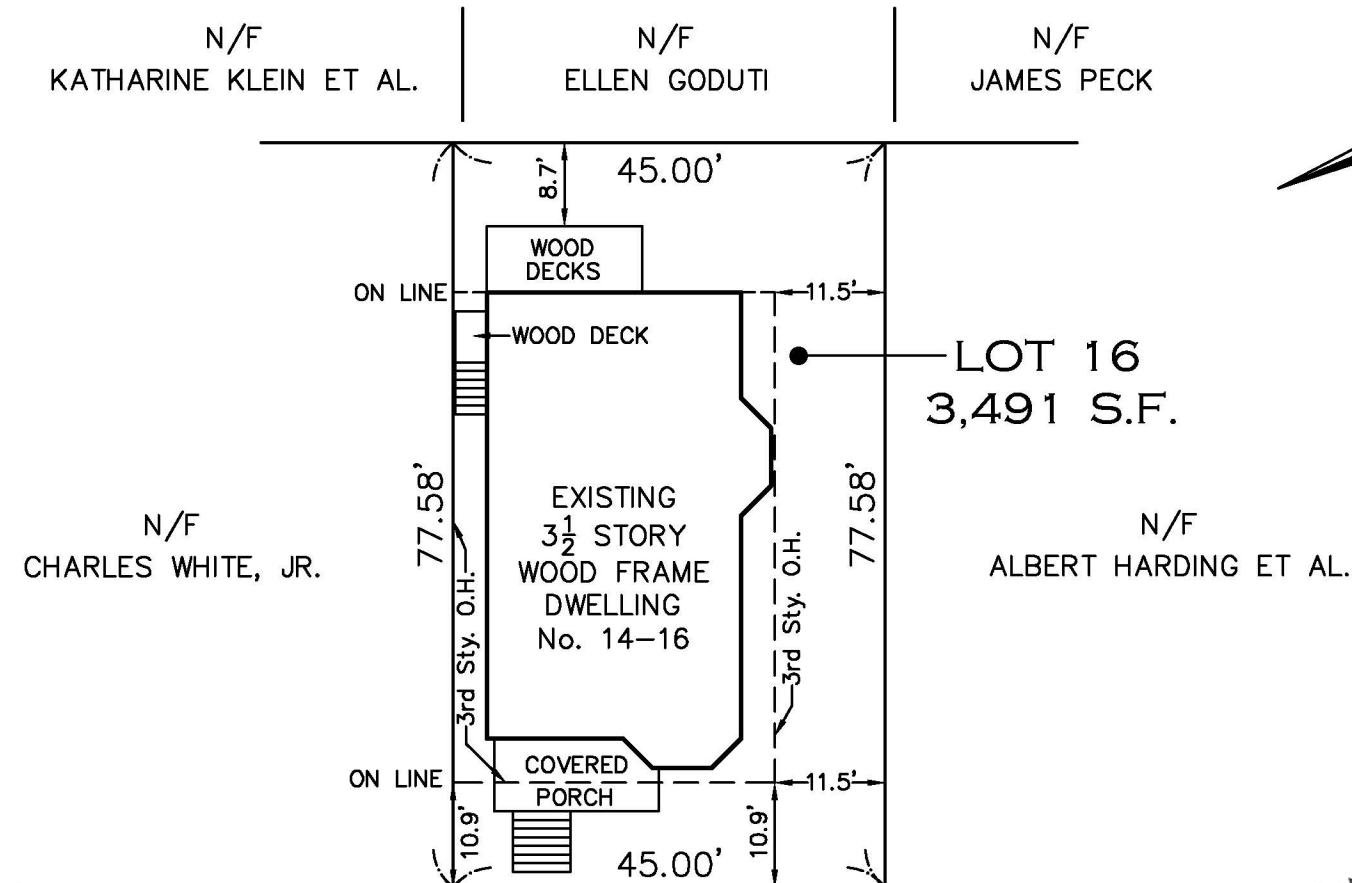
PROJECT ADDRESS:  
14-16 GRANVILLE ROAD  
CAMBRIDGE, MASSACHUSETTS

ARCHITECT  
KHALSA DESIGN INC.  
ADDRESS:  
17 IVALOO STREET, SUITE 400  
SOMERVILLE, MA 02143

OWNER  
16-16 GRANVILLE LLC  
C/O SCOTT SHUSTER, MANAGER  
ADDRESS:  
36 WASHINGTON STREET, SUITE 60  
WELLESLEY, MA 02481

BZA SET  
04/08/2022





**MORTGAGE INSPECTION PLAN**

ADDRESS: 14-16 GRANVILLE ROAD  
CITY/TOWN of: CAMBRIDGE  
SCALE: 1" = 20' DATE: NOVEMBER 18, 2021

DEED AND PLAN REFERENCE  
MIDDLESEX SOUTH Registry of Deeds  
Deed Book 51276 Page 508  
Plan Book 197 Page 10

Certification is hereby made to:

The permanent structures are approximately located on the ground as shown and they either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction or are exempt from enforcement action under M.G.L., Chapter 40A, Section 7, unless otherwise noted.

Certification is hereby made that the structure shown on this plan is not located within a Special Flood Hazard Area as delineated on the map of

Community Panel No: 25017C0419E

Effective / revised Date: 06/04/2010

By the U.S. Department of Housing & Urban Development, Federal Insurance Administration.

NOTE: This inspection was prepared in accordance with the technical standards for Mortgage Loan Inspections as adopted by the Commonwealth of Massachusetts, and use for any other purpose is prohibited.

**NEPONSET VALLEY  
SURVEY ASSOC., INC.**

95 WHITE STREET  
QUINCY, MASSACHUSETTS 02169  
TELEPHONE: (617) 472-4867

SETBACKS

ZONING CHART				
ZONE : RES B	REQUIRED	EXISTING	PROPOSED	REMARKS
LOT AREA, MIN S.F.	5,000 S.F.	3,491 S.F.	3,491 S.F.	PRE-EXISTING NONCONFORMITY/ NO CHANGE
LOT AREA, MIN S.F. / DU	2,500 S.F. / DU	3DU = 1,167 / DU	3DU = 1,167 / DU	PRE-EXISTING NONCONFORMITY/ NO CHANGE
MAX. FAR	0.5 (1,745 S.F. MAX)	1.71 (5,970 S.F.)	1.78 (6,228 S.F.)	<b>INCREASE IN EXISTING NONCONFORMITY</b>
MIN. LOT WIDTH	50' - 0"	45'-0"	45'-0"	PRE-EXISTING NONCONFORMITY/ NO CHANGE
MIN. FRONT YARD	15'	15' 5"	15' 5"	COMPLIES
MIN SIDE YARDS	7'6" (SUM 20)	LEFT: ±3' 8" RIGHT: ±15' 1"	LEFT: ±3' 8" RIGHT: ±15' 1"	PRE-EXISTING NONCONFORMITY/ NO CHANGE PRE-EXISTING NONCONFORMITY/ NO CHANGE
MIN REAR YARD	25' (c)	15'8"	15'8"	PRE-EXISTING NONCONFORMITY/ NO CHANGE
MAX HEIGHT	35'- 0"	±42'  (26*29.2)+(26*46.3)(26*29.2)+(26*46.3)/(29.2 +46.3+29.2+46.3)= 26 Average Grade Elevation	±42.8'  [(26*25.1)+(21.5*4.1)+(26*46.3)+(26* 4.5)+(21.5*9.2)+(20*6.3)+(23*9.2)+(26* 46.3)]/(25.1+4.1+46.3+4.5+9.2+6.3+9.2+ 46.3)= 25.2 Average Grade Elevation	<b>INCREASE IN EXISTING NONCONFORMITY</b> AREAWAYS REDUCE AVERAGE GRADE BY .8'
MIN RATIO OF PRIVATE OP. SP. TO LOT AREA	40% (1,396 S.F.)  50 % AREA REQ. TO BE PRIVATE OPEN SPACE (698 SF MIN. REQUIRED)	27% (950 S.F.)  866 SF- PRIVATE OPEN SPACE (399 SF ON GROUND + 467 SF ON DECKS)	27% (950 S.F.)  1,003 SF- PRIVATE OPEN SPACE (399 SF ON GROUND +604 SF ON DECKS)	PRE-EXISTING NONCONFORMITY  PRE-EXISTING NONCONFORMITY
PARKING	MULTIFAMILY IN RES B ZONE: N/A	2 SPACES (TANDEM)	2 SPACES (TANDEM)	COMPLIES

FOOTNOTES

(c)In no case may a building be nearer the rear lot line than twenty (20) feet in Residence C-2, C-2B, C-2A, C-3, C-3A, C-3B districts. In Residence C and C-1 districts, no building may be nearer the rear lot line than twenty (20) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds 100 feet, up to a maximum of thirty (30) feet. In Residence A-1, A-2, and B districts, no building may be nearer the rear lot line than twenty-five (25) feet plus one additional foot of rear yard for each four feet that the depth of the lot exceeds one hundred (100) feet, up to a maximum of thirty-five (35) feet. For purposes of this Footnote C, the lot depth shall be that distance measured along a line perpendicular to the front lot line and extending to that point on the rear lot line most distant from the front lot line.

OPEN SPACE, PRIVATE

The part or parts of a lot or structure which are reserved for the use of occupants of a building which is used wholly, or in part, for residential purposes. This space shall have minimum dimensions as prescribed in the Ordinance, shall exclude parking areas, driveways and walkways, and shall be open and unobstructed to the sky. Trees, plantings, arbors, fences, flagpoles, sculpture, fountains and recreational and drying apparatus and similar objects shall not be considered obstructions when located within a private open space. Objects or structures intended exclusively for bicycle parking, designed and located in accordance with Section 6.100, which may be uncovered, partially covered or fully enclosed, shall not be considered obstructions provided that such objects or structures are not used for motor vehicle parking, general storage or any other use, and further provided that any such structure exceeding six feet (6') in height conforms to the requirements for an accessory building in Section 4.21. Beehives and apiaries conforming to the Standards for Urban Agriculture in Article 23.000 of this Zoning Ordinance shall not be considered obstructions provided that they are no more than six (6) feet in height. To the extent permitted in this Ordinance, balconies and roof areas may also be considered as Open Space, Private.

SECTION 5.22.1: PRIVATE OPEN SPACE:

An area designated as private open space must have both a width and a length of at least fifteen (15) feet, except for balconies, and may not have a slope greater than ten (10) percent. With the exception of balcony areas, private open space shall be accessible to all occupants of a building; not less than one half of the required private open space shall be provided at ground level or within ten (10) feet of the level of the lowest floor used for residential purposes. Areas at other levels, such as balconies, decks, and roofs, of garages and buildings, which are accessible to all occupants of buildings, which are not used as walkways or corridors, and which have both a width and a length of at least six (6) feet and a minimum area of seventy-two (72) square feet, may be calculated as private open space, not to exceed twenty-five (25) percent of the total private open space.

SECTION 5.22.3: SPECIAL REQUIREMENTS IN RESIDENCE A-1, A-2, B, C, AND C-1

At least fifty (50) percent of the required Private open space in these districts shall meet all of the requirements of Section 5.22.1 above. At least fifty (50) percent of the required Private open space shall meet the definition of Permeable Open Space and shall not be subject to the dimensional limitations of Section 5.22.1 as applied to Private open space.

SECTION 5.24.1: YARDS

Every part of a required yard shall be open to the sky and unobstructed. Awnings, arbors, fences, flagpoles, recreational and laundry drying equipment and similar objects shall not be considered obstructions when located within a required yard. Objects or structures intended exclusively for bicycle parking meeting the requirements of Article 6.000, which may be uncovered, partially covered or fully enclosed, shall not be considered obstructions provided that such objects or structures are not used for motor vehicle parking, general storage or any other use, and further provided that any such structure exceeding six feet (6') in height conforms to the requirements for an accessory building in Section 4.21. Beehives and apiaries extending no more than six (6) feet above a rooftop, in accordance with the Standards for Urban Agriculture in Article 23.000 of this Zoning Ordinance. In addition, objects or equipment located in a required yard that are necessary for or appurtenant to a Public Bicycle-Sharing Station shall not be considered obstructions. Open or lattice enclosed fire escapes for emergency use only are permitted to encroach on yard areas.

SECTION 5.24.2: YARDS

Projecting eaves, chimneys, bay windows, balconies, open fire escapes and like projections which do not project more than three and one half (3 1/2) feet and which are part of a building not more than thirty-five (35) feet in height, and unenclosed steps,unroofed porches and the like which do not project more than ten (10) feet beyond the line of the foundation wall and which are not over four (4) feet above the average level of the adjoining ground, may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built.

SECTION 6.44.1 PARKING

Setbacks for on grade open parking facilities shall be provided as follows:

- (a) No on grade open parking space shall be located within ten (10) feet of that portion of a building wall containing windows of habitable or occupiable rooms at basement or first story. However, on grade open parking spaces serving one, two, or three family dwellings may be located within five (5) feet of that portion of such building wall.
- (b) Except for one, two, or three family dwellings existing at the time of the effective date of this Ordinance or amendment thereto, no on grade open parking space or driveway shall be located within five (5) feet of any side or rear property line.
- (c) No on grade open parking space shall be located within a required front yard setback

5.10 GENERAL REGULATIONS

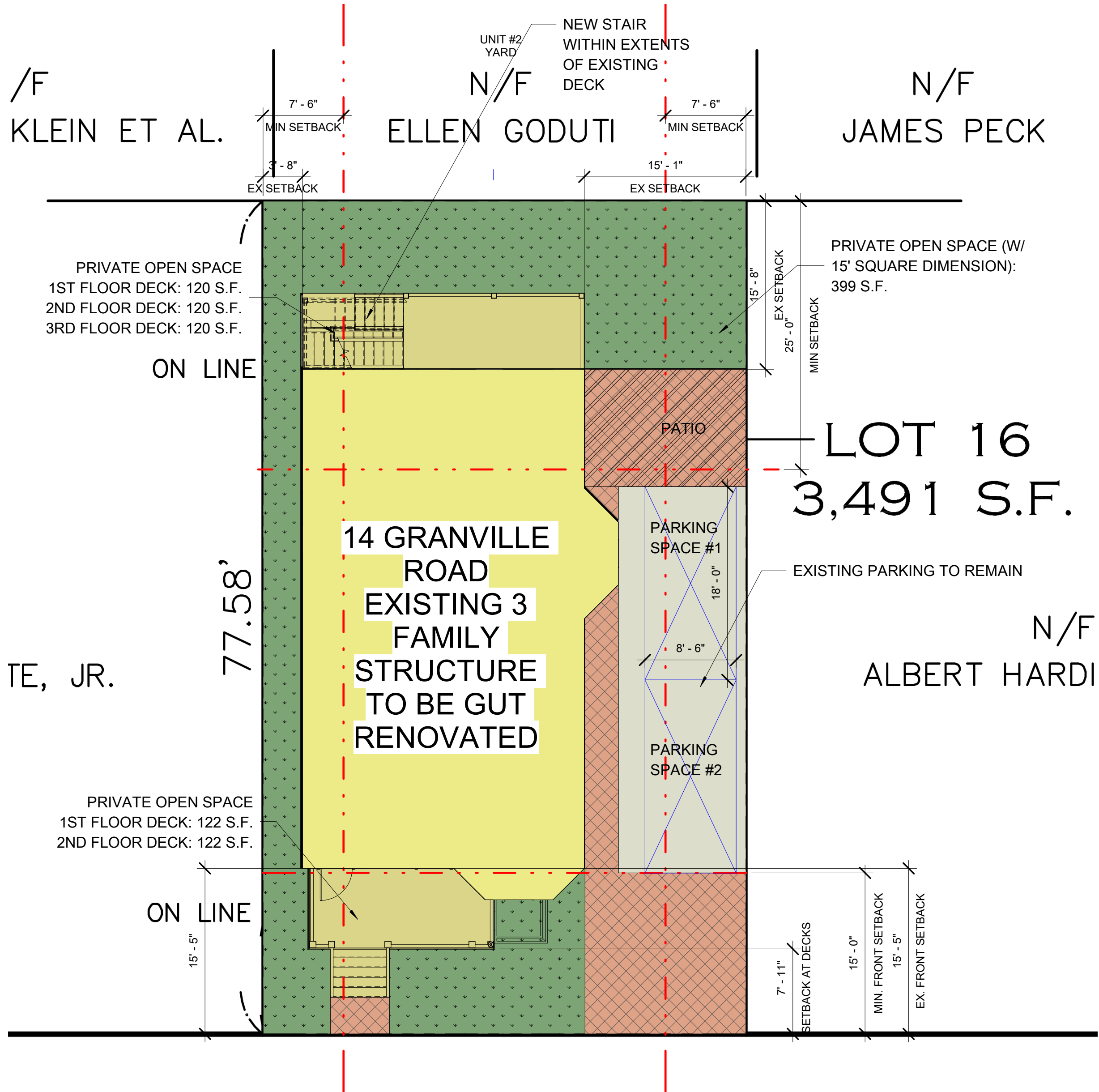
5.13In the case of multiple buildings on a lot, the minimum distance between such buildings shall not be less than the sum of the heights of the buildings divided by six, or ten feet, whichever is greater. In determining compliance with this section, portions of buildings exempted by Section 5.23 shall not be counted in computing building height.

LEGEND

	BUILDING FOOTPRINT
	DECKS AND AREAWAYS
	LANDSCAPE
	PAVERS
	DRIVEWAY
	PRIVATE OPEN SPACE
	SETBACK LINE

NOTE:

THIS PLAN IS FOR INFORMATIONAL AND ILLUSTRATIVE PURPOSES ONLY. THE PREPARER OF THIS PLAN MAKES NO CLAIM TO ITS ACCURACY. THIS PLAN SHALL NOT BE USED OR RELIED UPON IN ANY CIRCUMSTANCE. A CERTIFIED LAND SURVEYOR SHALL PROVIDE AN OFFICIAL CERTIFIED PLOT PLAN.



1 PROPOSED SITE PLAN  
1/8" = 1'-0"

PROJECT NAME

14 Granville Road  
Residences

PROJECT ADDRESS

14 Granville Road  
Cambridge, MA

CLIENT

14-16 GRANVILLE  
LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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REGISTRATION



Project number	21089
Date	04/08/2022
Drawn by	ERS
Checked by	JSK
Scale	As indicated

REVISIONS

No.	Description	Date

ARCHITECTURAL  
SITE PLAN

A-020

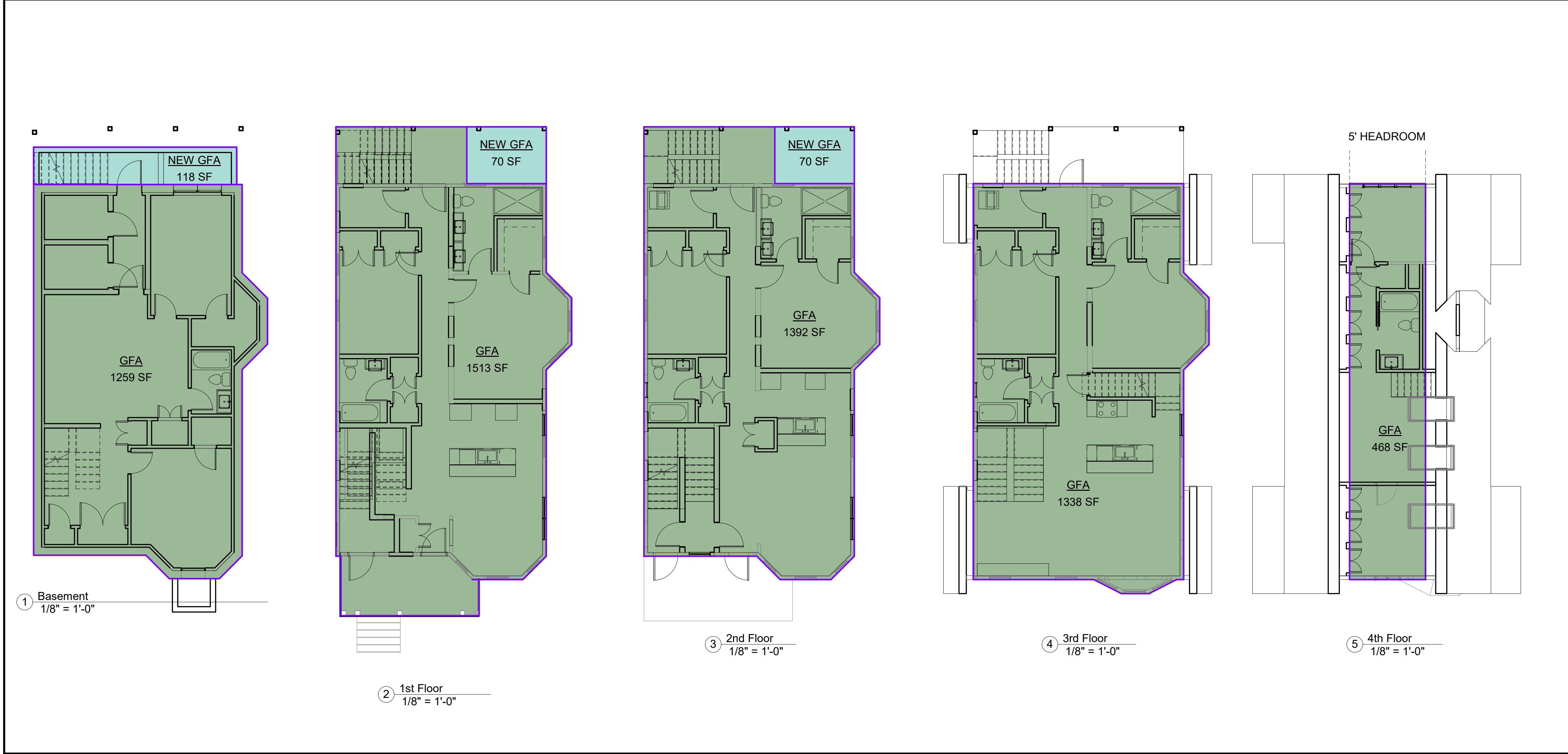
14 Granville Road Residences





# EXISTING FAR

Area Schedule (EXISTING FAR)	
Level	Area
Basement	1259 SF
1st Floor	1513 SF
2nd Floor	1392 SF
3rd Floor	1338 SF
4th Floor	468 SF
Grand total	5970 SF



# PROPOSED FAR

Area Schedule (PROPOSED FAR)		
Level	Area	Name
Basement	1259 SF	GFA
1st Floor	1513 SF	GFA
2nd Floor	1392 SF	GFA
3rd Floor	1338 SF	GFA
4th Floor	468 SF	GFA
	5970 SF	
Basement	118 SF	NEW GFA
1st Floor	70 SF	NEW GFA
2nd Floor	70 SF	NEW GFA
	259 SF	
	6228 SF	

PROJECT NAME

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Date 04/08/2022  
Drawn by ERS  
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Scale 1/8" = 1'-0"

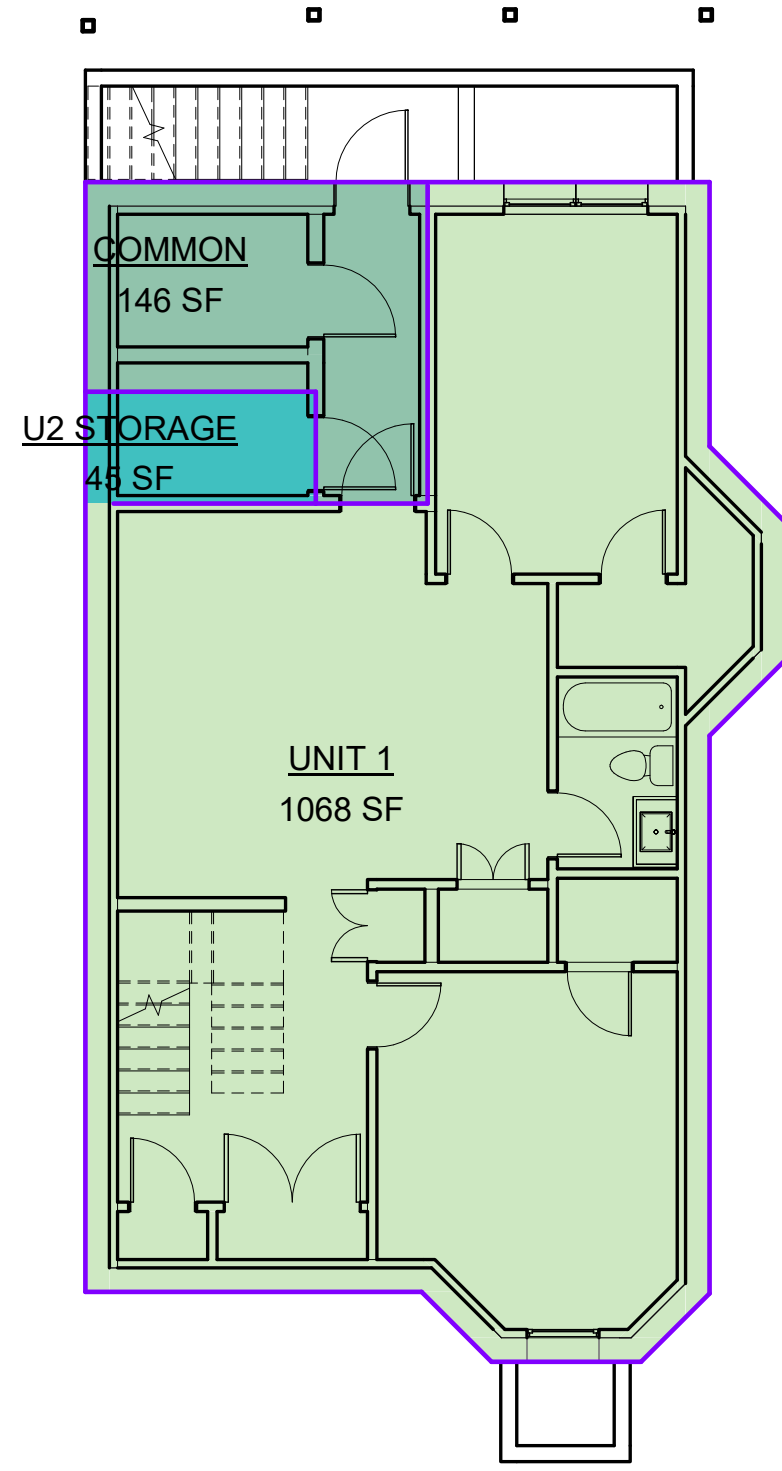
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No.	Description	Date

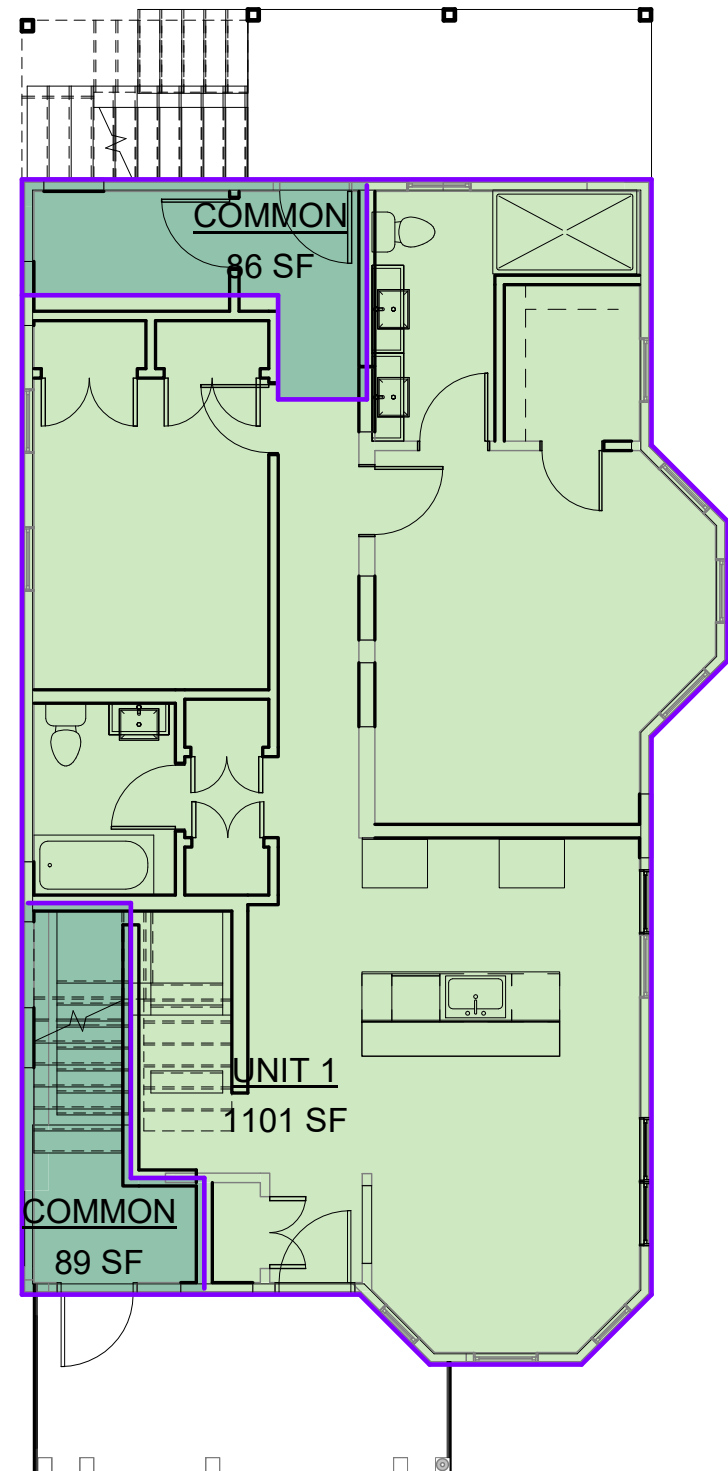
AREA PLANS

A-022

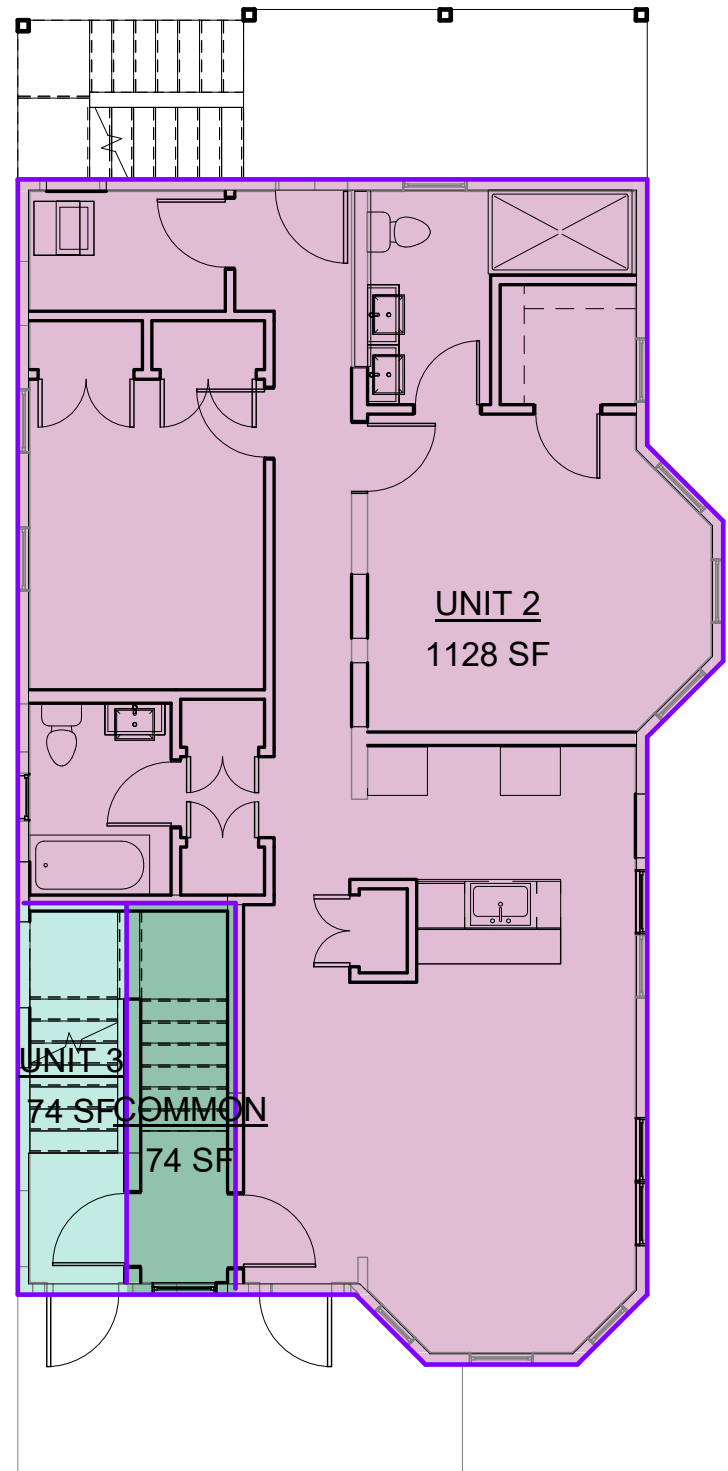
14 Granville Road Residences



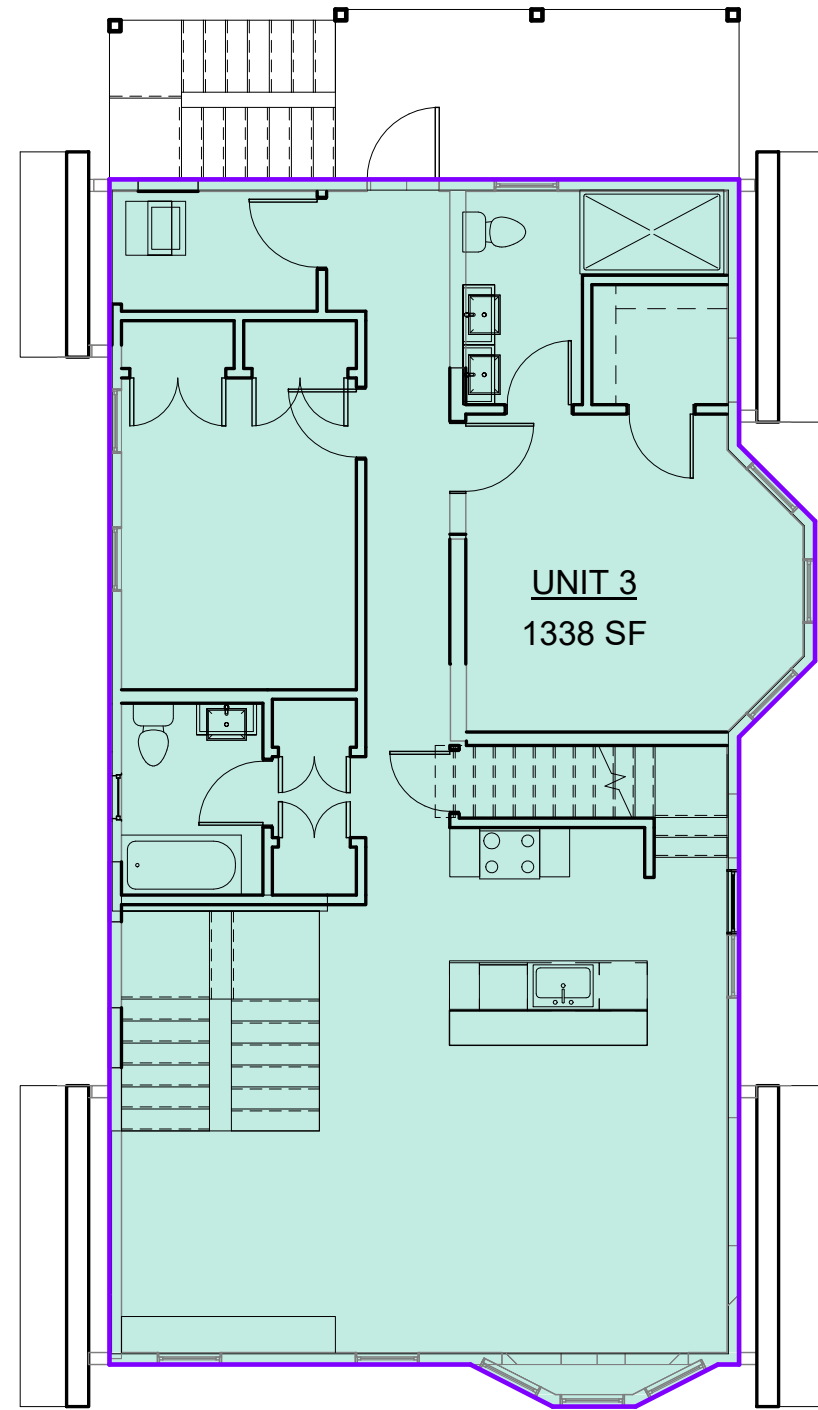
① Basement  
1/8" = 1'-0"



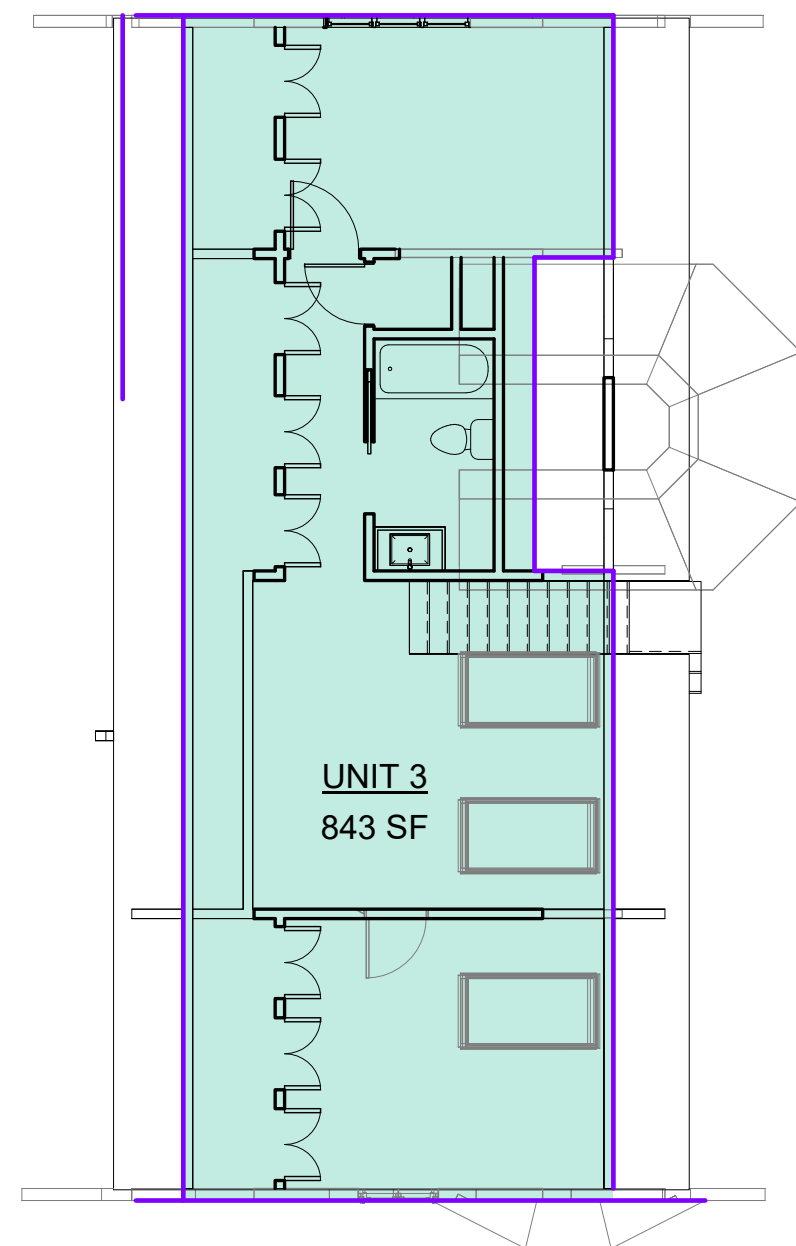
② 1st Floor  
1/8" = 1'-0"



③ 2nd Floor  
1/8" = 1'-0"



④ 3rd Floor  
1/8" = 1'-0"



⑤ 4th Floor  
1/8" = 1'-0"

# UNIT AREAS

Area Schedule (UNIT AREA)		
Name	Level	Area

COMMON	Basement	146 SF
COMMON	1st Floor	86 SF
COMMON	1st Floor	89 SF
COMMON	2nd Floor	74 SF
COMMON		395 SF

U2 STORAGE	Basement	45 SF
U2 STORAGE		45 SF

UNIT 1	Basement	1068 SF
UNIT 1	1st Floor	1101 SF
UNIT 1		2169 SF

UNIT 2	2nd Floor	1128 SF
UNIT 2		1128 SF

UNIT 3	2nd Floor	74 SF
UNIT 3	3rd Floor	1338 SF
UNIT 3	4th Floor	843 SF
UNIT 3		2255 SF
		5992 SF

PROJECT NAME

14 Granville Road  
Residences

PROJECT ADDRESS

14 Granville Road  
Cambridge, MA

CLIENT

14-16 GRANVILLE  
LLC

ARCHITECT



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Project number	21089
Date	04/08/2022
Drawn by	ERS
Checked by	JSK
Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

UNIT AREA  
PLANS

A-023

14 Granville Road Residences





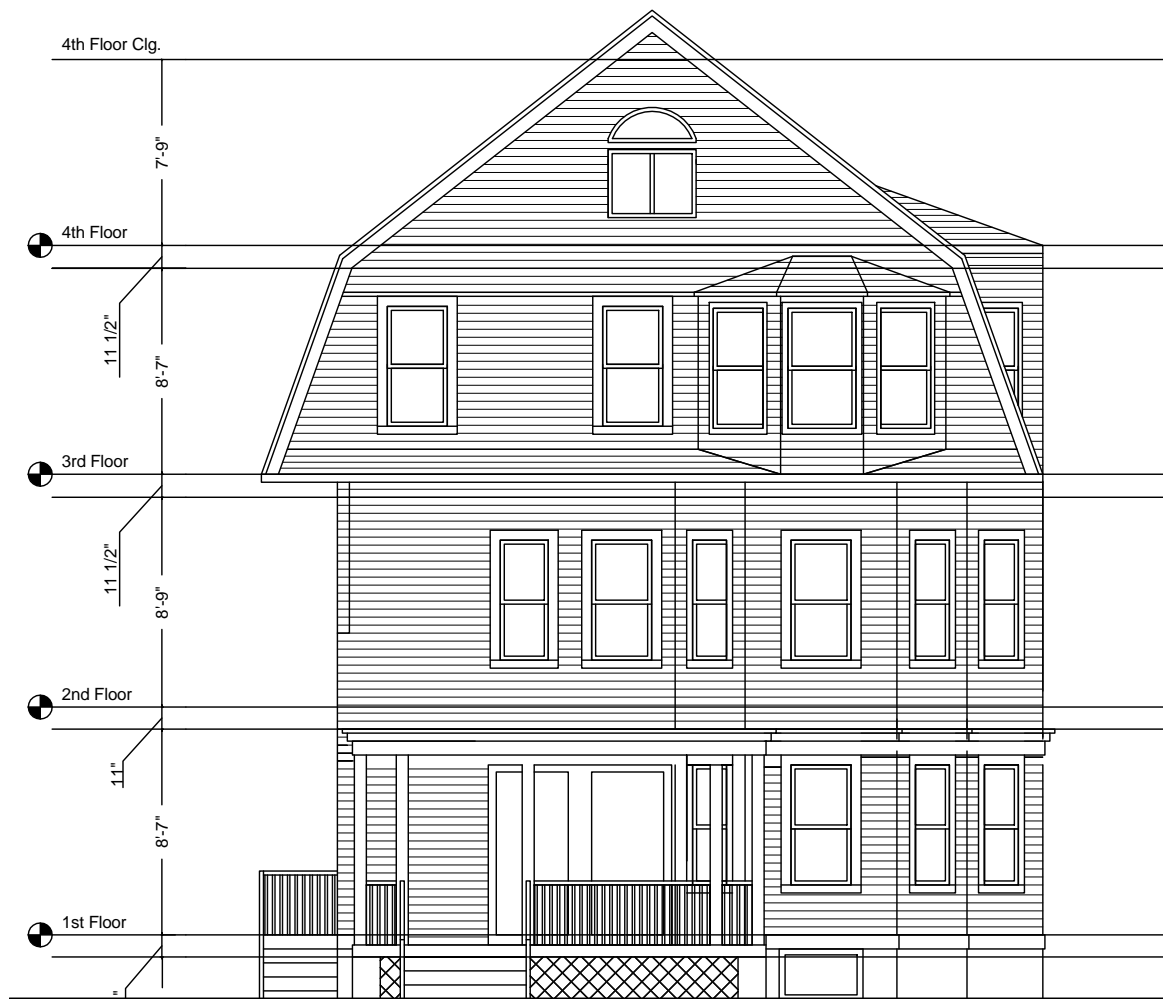
1 EXISTING - BASEMENT  
1/8" = 1'-0"

2 EXISTING - 1ST FLOOR  
1/8" = 1'-0"

3 EXISTING - 2ND FLOOR  
1/8" = 1'-0"

4 EXISTING - 3RD FLOOR  
1/8" = 1'-0"

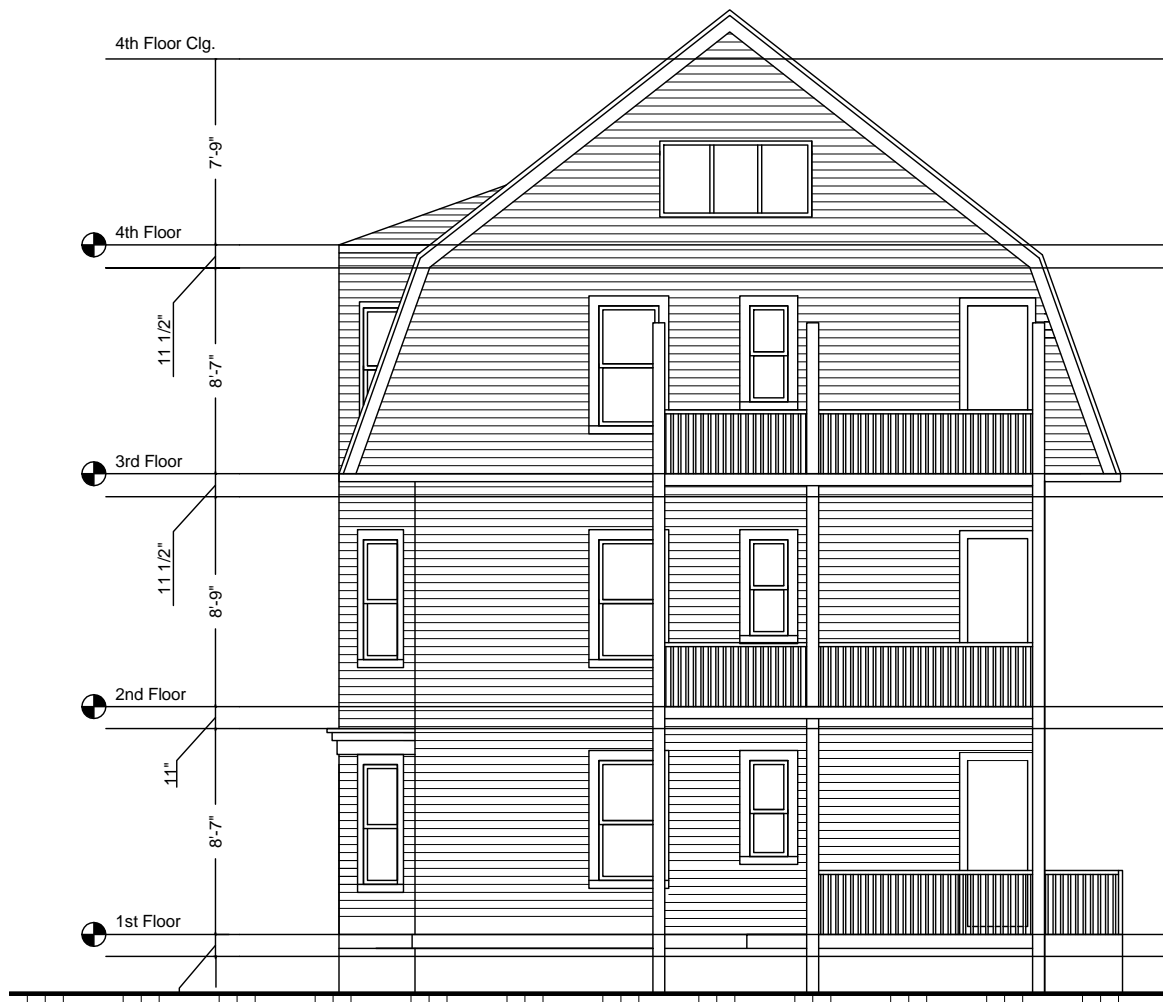
5 EXISTING - 4TH FLOOR  
1/8" = 1'-0"



6 Existing Front Elevation  
1/8" = 1'-0"



7 Existing Left Side Elevation  
1/8" = 1'-0"



8 Existing Rear Elevation  
1/8" = 1'-0"



9 Existing Right Side Elevation  
1/8" = 1'-0"

PROJECT NAME

14 Granville Road  
Residences

PROJECT ADDRESS

14 Granville Road  
Cambridge, MA

CLIENT

14-16 GRANVILLE  
LLC

ARCHITECT



17 IVALOO STREET SUITE 400  
SOMERVILLE, MA 02143  
TELEPHONE: 617-591-8682

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OF PROSECUTION UNDER LAW

REGISTRATION



Project number 21089  
Date 03/14/2022  
Drawn by ERS  
Checked by JSK  
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

EXISTING  
CONDITIONS

EX-100

14 Granville Road Residences



LEGEND

- NEW WALL  
EXISTING TO REMAIN  
WALL TYPE  
CARBON MONOXIDE DETECTOR  
SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

1. ALL SMOKE ALARMS TO BE INTERCONNECTED AND HARD WIRED. SEE FLOOR PLANS FOR LOCATIONS.
2. FINAL KITCHEN LAYOUT TO BE DETERMINED BY OWNER.
3. ALL INTERIOR FINISHES TO BE DETERMINED BY OWNER.
4. UNLESS OTHERWISE NOTED ALL INTERIOR WALL SHALL BE TYPE "1"
5. UNLESS OTHERWISE NOTED ALL EXTERIOR NEW WALLS SHALL BE TYPE "X2"
6. SEE A-910 FOR PARTITION TYPES.
7. MOISTURE RESISTANT GWB. TO BE USED IN ALL BATHROOMS AND KITCHENS
8. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES & CLADDING MATERIALS
9. ALL INTERIOR DIMENSIONS ARE FROM FACE OF GWB TO FACE GWB
10. ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF PLYWOOD SHEATHING, TYP., U.N.O.
11. ELECTRICAL OUTLETS ON OPPOSITE SIDE OF WALL SHOULD BE INSTALLED AT LEAST 2'-0" FROM EACH OTHER.
12. CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO DEMOLITION & CONSTRUCTION.
13. SEE STRUCTURAL & CIVIL PLAN FOR ADDITIONAL INFORMATION
14. UNLESS OTHERWISE NOTED CENTER CLOSET DOOR ON CLOSET.
15. MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION TO BE DESIGN BUILD. CONTRACTOR TO COORDINATE PRIOR TO CONSTRUCTION.
16. CONSTRUCTION TYPE IS 5A; ALL BEARING WALLS (INTERIOR AND EXTERIOR) ARE TO BE 1 HOUR FIRE RATED; REFER TO A-910

PROJECT NAME

14 Granville Road  
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REGISTRATION



Project number 21089  
Date 04/08/2022  
Drawn by ERS  
Checked by JSK  
Scale 1/4" = 1'-0"

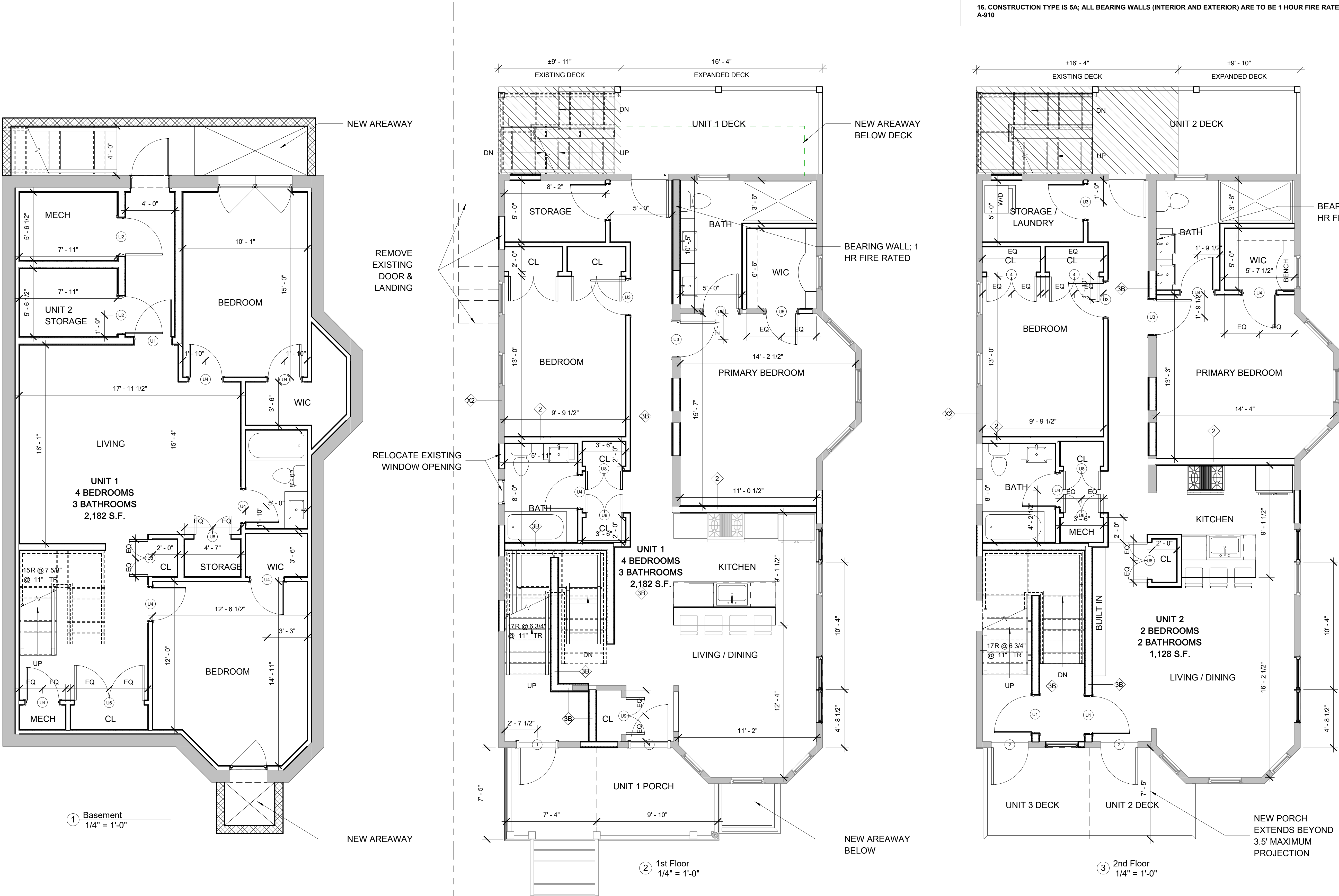
REVISIONS

No.	Description	Date

BASEMENT, 1ST,  
& 2ND FLOOR  
PLANS

A-100

14 Granville Road Residences





LEGEND

- NEW WALL
- EXISTING TO REMAIN
- WALL TYPE
- CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR

GENERAL FLOOR PLAN NOTES

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16. CONSTRUCTION TYPE IS 5A; ALL BEARING WALLS (INTERIOR AND EXTERIOR) ARE TO BE 1 HOUR FIRE RATED; REFER TO A-910

PROJECT NAME

14 Granville Road  
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PROJECT ADDRESS

14 Granville Road  
Cambridge, MA

CLIENT

14-16 GRANVILLE  
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ARCHITECT



KHALSA

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REGISTRATION



Project number	21089
Date	04/08/2022
Drawn by	ERS
Checked by	JSK
Scale	1/4" = 1'-0"

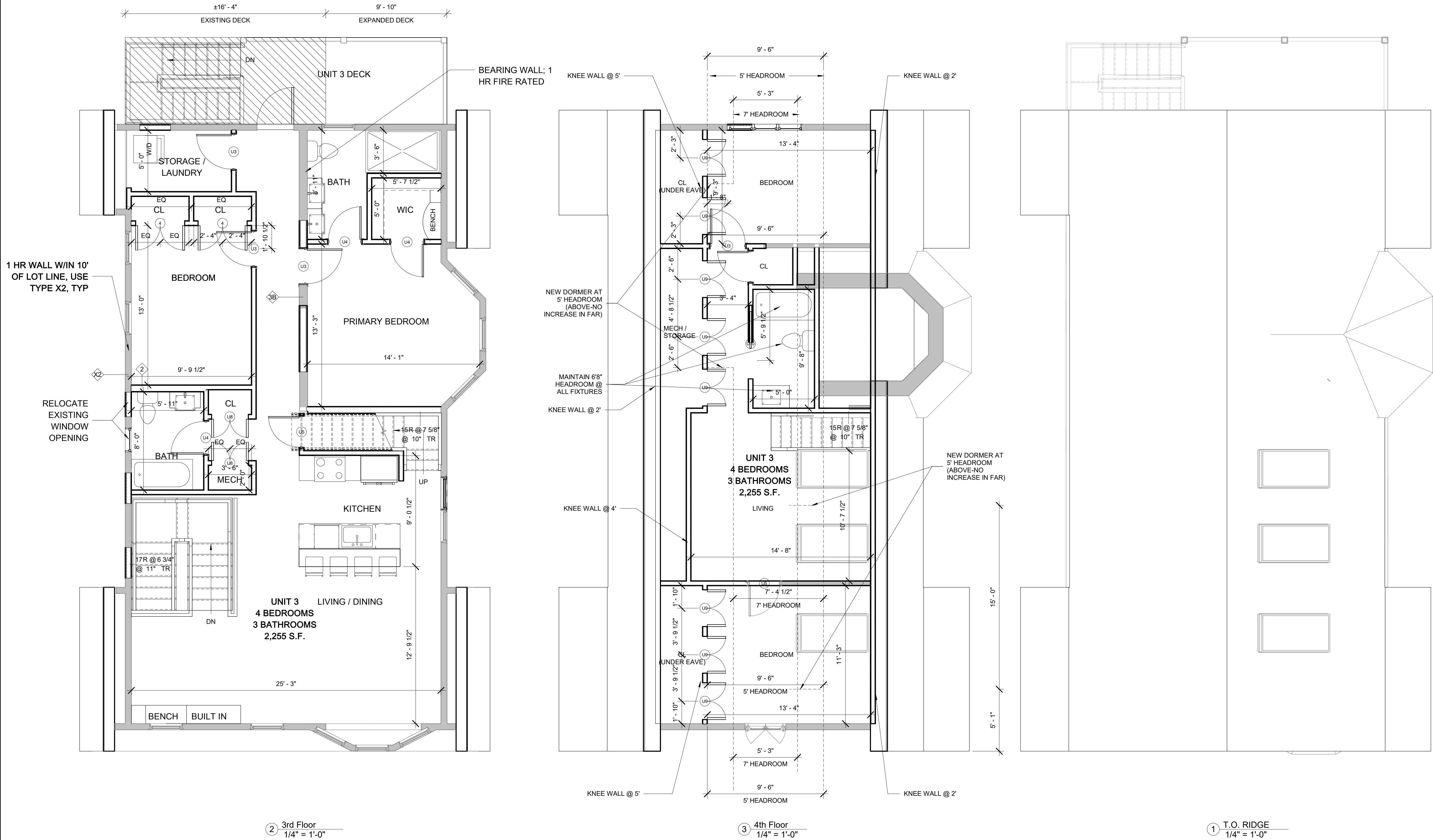
REVISIONS

No.	Description	Date

3RD, 4TH, &  
ROOF PLANS

A-101

14 Granville Road Residences

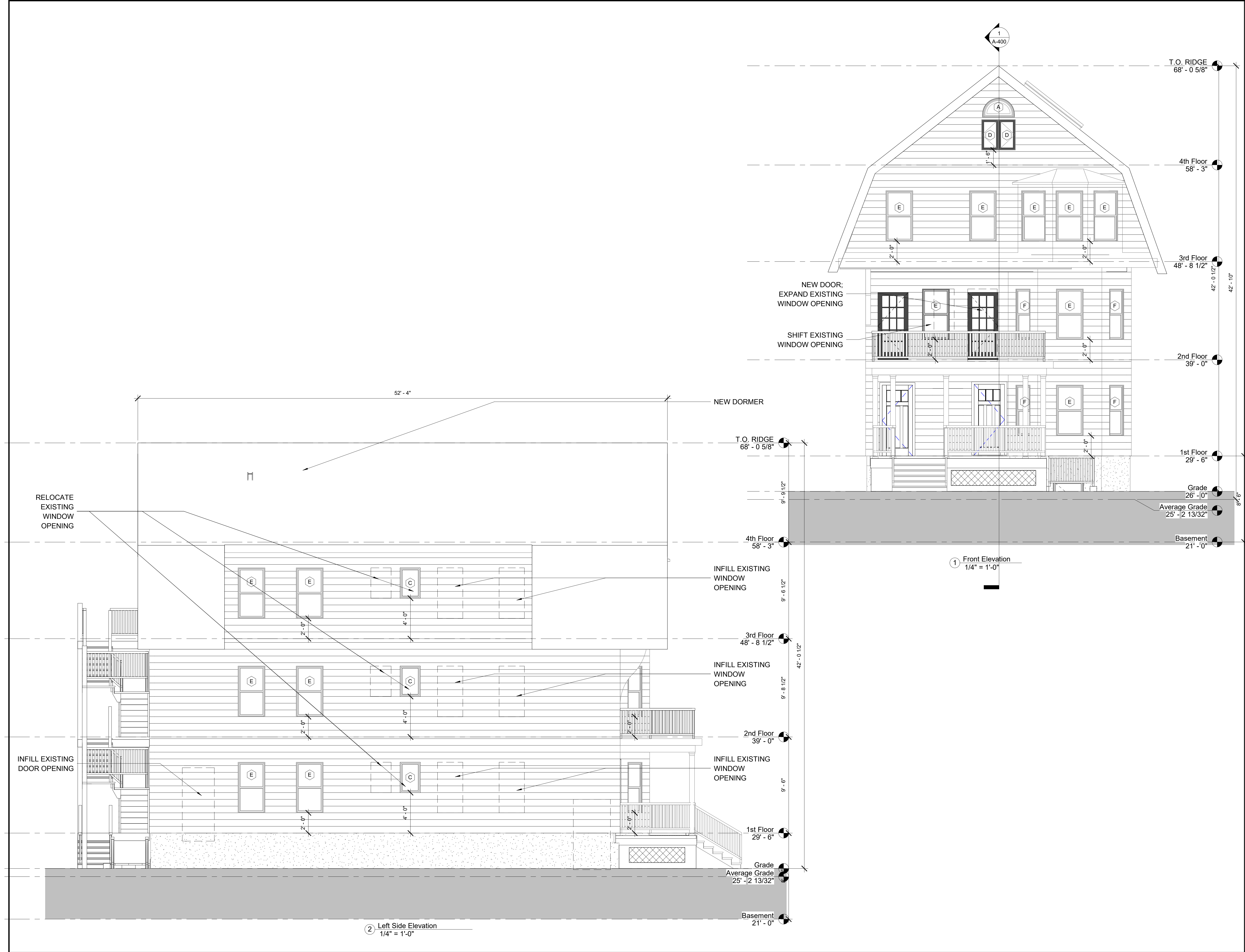


2 3rd Floor  
1/4" = 1'-0"

3 4th Floor  
1/4" = 1'-0"

1 T.O. RIDGE  
1/4" = 1'-0"





PROJECT NAME

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Scale 1/4" = 1'-0"

REVISIONS

No.	Description	Date

FRONT & LEFT  
SIDE  
ELEVATIONS

A-300

14 Granville Road Residences



PROJECT NAME  
**14 Granville Road  
Residences**

PROJECT ADDRESS  
14 Granville Road  
Cambridge, MA

CLIENT  
**14-16 GRANVILLE  
LLC**

ARCHITECT

**DESIGN**

**KHALSA**

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Project number 21089  
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Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

**REAR & RIGHT  
SIDE  
ELEVATIONS**

**A-301**

14 Granville Road Residences





EXISTING FRONT ELEVATION



EXISTING LEFT SIDE



EXISTING RIGHT SIDE



EXISTING REAR

SITE



VIEW UP GRANVILLE ROAD

SITE



VIEW DOWN GRANVILLE ROAD



VIEW LOOKING TOWARDS SITE UP GRANVILLE ROAD

SITE



VIEW LOOKING TOWARDS SITE DOWN GRANVILLE ROAD

SITE

PROJECT NAME

14 Granville Road  
Residences

PROJECT ADDRESS

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CLIENT

14-16 GRANVILLE  
LLC

ARCHITECT



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REGISTRATION

DRAFT

Project number	21089
Date	04/08/2022
Drawn by	Author
Checked by	Checker
Scale	

REVISIONS

No.	Description	Date

Existing Photos

AV-1

14 Granville Road Residences



EXISTING



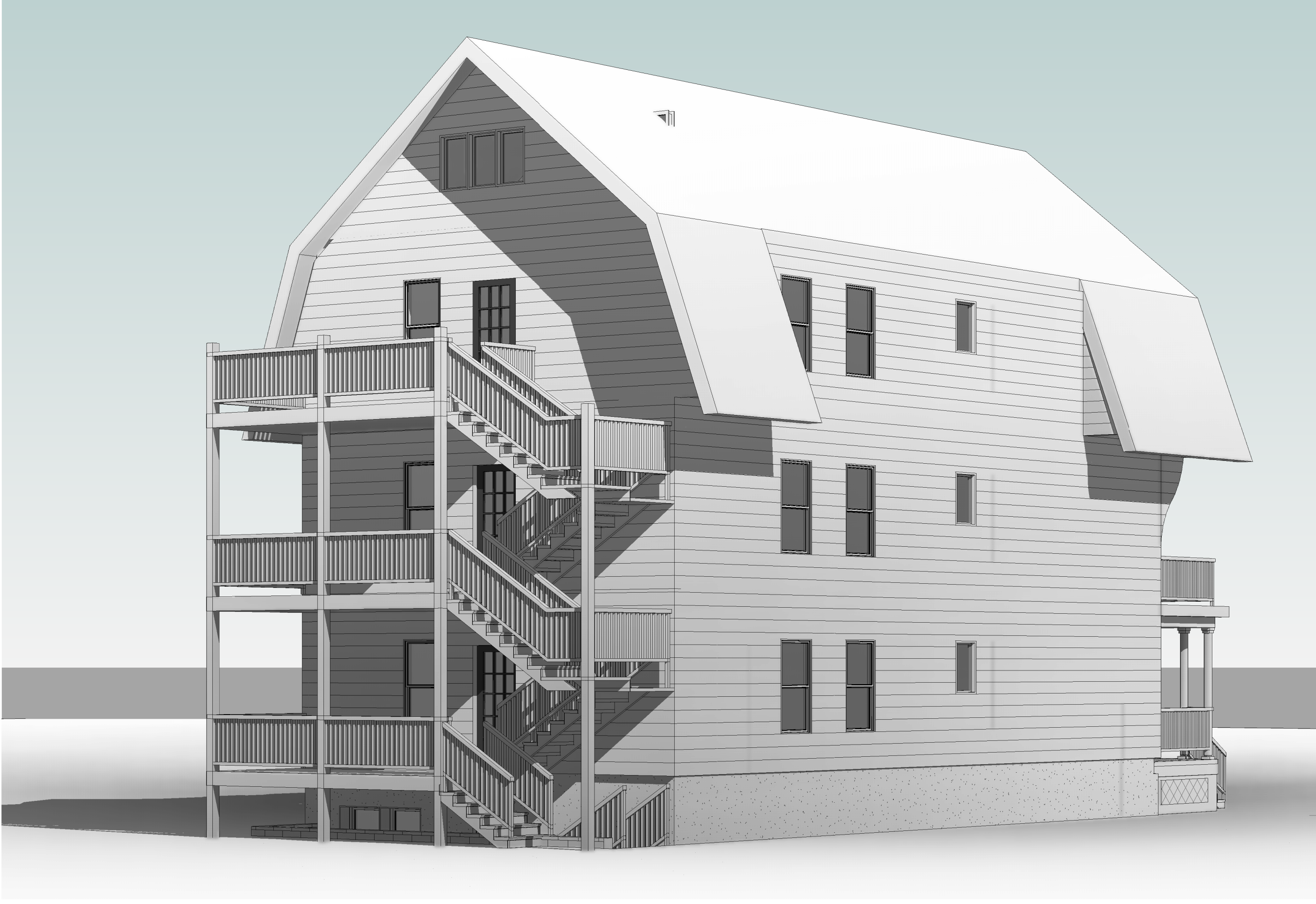
PROPOSED



EXISTING



PROPOSED



PROJECT NAME

14 Granville Road  
Residences

PROJECT ADDRESS

14 Granville Road  
Cambridge, MA

CLIENT

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DRAFT

Project number 21089  
Date 04/08/2022  
Drawn by ERS  
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Scale

REVISIONS

No.	Description	Date

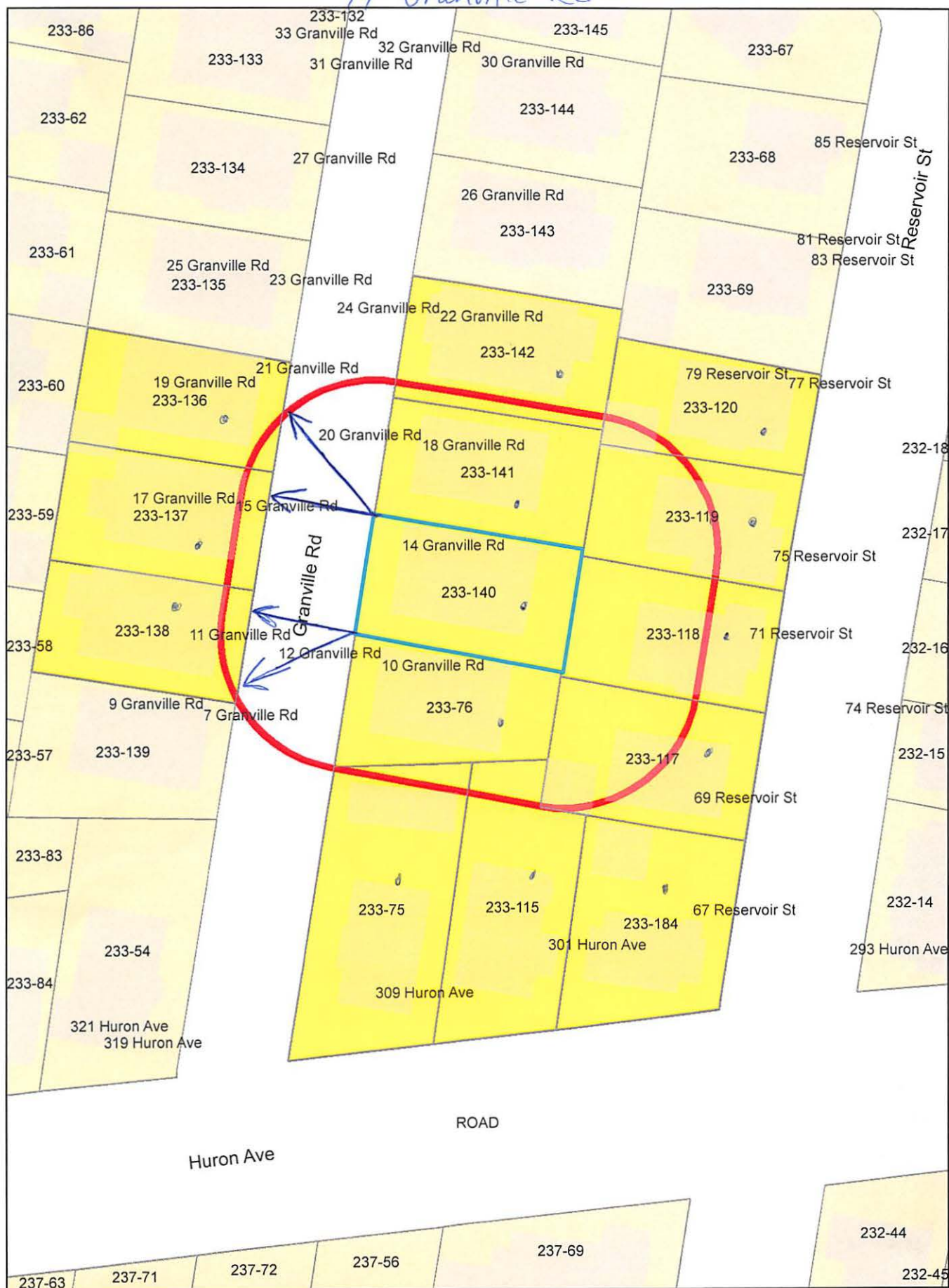
PERSPECTIVES

AV-2

14 Granville Road Residences



14 Granville Rd.



14 Granville Rd.

Petitioner

233-118  
GODUTI, ELLEN T.  
73 RESERVOIR ST  
CAMBRIDGE, MA 02138-6837

233-120  
DRISCOLL, DAVID S.,  
TRUSTEE THE CHARLOTTE J. DRISCOLL FAM TR  
29 PENN COMMONS  
YAPHANK, NY 11980

JAMES J. RAFFERTY, ESQ.  
907 MASS AVENUE - SUITE 300  
CAMBRIDGE, MA 02139

233-75  
LEE, MEI HUA,  
TR. THE 66 HAMILTON STREET REALTY TRUST  
309 HURON AVE  
CAMBRIDGE, MA 02138

233-76  
VILLALPANDO, FEDERICO  
10-12 GRANVILLE RD #1  
CAMBRIDGE, MA 02138

233-117  
PECK, JAMES C. & VALERIE PECK  
69 RESERVOIR ST  
CAMBRIDGE, MA 02138-6837

233-141  
WHITE, CHARLES S. JR. MARGARET B WHITE  
18 GRANVILLE RD  
CAMBRIDGE, MA 02138-6807

233-76  
HENSOLD, BRIANA  
12 GRANVILLE RD., #3  
CAMBRIDGE, MA 02138

233-184  
BARNE, G. STRWART  
P.O. BOX 1164  
CAMBRIDGE, MA 02238

233-136  
FLIEGEL, DORIAN  
88 VAN DYKE RD  
HOLLIS, NH 03049

233-119  
GRECO, TARA ROMEI,  
TRUSTEE THE TARA R. GRECO RESERVOIR TRUST  
30 LINNAEAN STREET  
CAMBRIDGE, MA 021038

233-142  
THALER, MARILYN  
22-24 GRANVILLE RD., UNIT #1  
CAMBRIDGE, MA 02138

233-119  
KLEIN, KATHARINE L.  
75 RESERVOIR ST., #1  
CAMBRIDGE, MA 02138

233-138  
SCHMITT, SCOTT, KARINA KU & MAT YUEN KU  
11-13 GRANVILLE RD. UNIT#1  
CAMBRIDGE, MA 02138

233-115  
DUNN, JEFFEY M. & KATHERINE I.L DUNN  
301 HURON AVE. UNIT 1  
CAMBRIDGE, MA 02138

233-138  
OLIVET, HANNAH  
11 GRANVILLE RD., #3  
CAMBRIDGE, MA 02138

233-138  
VOIRET, MARTINE  
11 GRANVILLE RD., #2  
CAMBRIDGE, MA 02138

233-115  
LYONS, DAVID & LYNN MCGREEGOR  
301 HURON AVE. UNIT 2  
CAMBRIDGE, MA 02138

233-137  
KELLY LAND TRUST INC  
48 BRIGHT RD  
BELMONT, MA 02478

233-140  
14-16 GRANVILLE LLC  
ONE WELLS AVE 5TH FLR  
NEWTON, MA 02459

233-142  
PENSLAR, DEREK J. ROBIN LEVIN PENSLAR  
22 GRANVILLE RD UNIT 2  
CAMBRIDGE, MA 02138

233-142  
GOODWIN, LEE D &  
CATHARINA A. M. GONZALEZ  
24 GRANVILLE RD - UNIT 3  
CAMBRIDGE, MA 02138

233-76  
TIGHE, RUTH E.,  
TRUSTEE THE TIGHE FAMILY TRUST  
10-12 GRANVILLE RD., #2  
CAMBRIDGE, MA 02138