



CITY OF CAMBRIDGE  
 MASSACHUSETTS  
 BOARD OF ZONING APPEAL  
 831 MASSACHUSETTS AVENUE  
 CAMBRIDGE, MA 02139  
 617 349-6100

2017 JAN 10 AM 11:57  
 OFFICE OF THE CITY CLERK  
 CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-012378-2017

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit :   √   Variance :   √   Appeal :           

PETITIONER : Ricci Barnes - C/O Sean D. Hope, Esq.

PETITIONER'S ADDRESS : 675 Massachusetts Avenue Cambridge, MA 02139

LOCATION OF PROPERTY : 151 Clark St Cambridge, MA

TYPE OF OCCUPANCY : 4.31 ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Dormer

**DESCRIPTION OF PETITIONER'S PROPOSAL :**

Petitioner requests Variance relief; to allow an accessory unit on a lot that is less than 5,000sf, construction of a dormer adding 87sf of gross floor area and construction of egress stairs within the side yard setback. Special Permit; New windows or openings with the side yard setback.

**SECTIONS OF ZONING ORDINANCE CITED :**

- Article 4.000 Section 4.22.1 (Accessory Apartment).
- Article 5.000 Section 5.31 (Table of Dimensional Requirements).
- Article 8.000 Section 8.22.2.C (Non-Conforming Structure).
- Article 10.000 Section 10.40 (Special Permit).
- Article 10.000 Section 10.30 (Variance).

Original Signature(s) :   
 (Petitioner(s) / Owner)

Sean D. Hope  
 (Print Name)

Address : 675 Massachusetts Avenue

Cambridge, MA 02139

Tel. No. : 617-492-0220

E-Mail Address : sean@hopelegal.com

Date : January 2017

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.*

I/We Barnes Family Realty Trust c/o Ricci Barnes trustee  
(OWNER)

Address: 151 Clark Street Cambridge, MA

State that I/We own the property located at 151 Clark Street, which is the subject of this zoning application.

The record title of this property is in the name of \_\_\_\_\_  
Barnes Family Realty Trust c/o Ricci Barnes trustee

\*Pursuant to a deed of duly recorded in the date 12/19/2016, Middlesex South County Registry of Deeds at Book 68619, Page 535; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

Sean D. Hope (Agent for Owner)  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

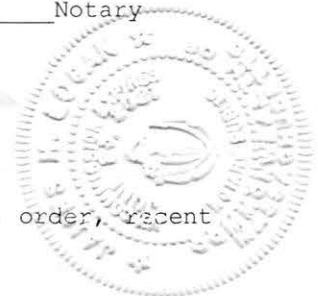
*\*Written evidence of Agent's standing to represent petitioner may be requested.*

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Sean D. Hope personally appeared before me, this 10<sup>th</sup> of January, 2017, and made oath that the above statement is true.

James H. Logan Notary

My commission expires 06/25/21 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



**JAMES H. LOGAN**  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires June 25, 2021



**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

**A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Ordinance would involve a substantial hardship to the Petitioner because the property is a family home that has been owned by the same family since 1959. The property has fallen into a state of disrepair that will require substantial structural and foundation work as well as new systems in order to bring the property up to code. The Petitioner desires to live in the renovated property and keep the property as a family home. Without the requested relief Petitioner would not be able to afford the high costs of construction and would be required to displace family members and rent out the property as a single family causing a substantial hardship.

Granting the requested relief would allow for Petitioner's non-conforming dwelling to include an accessory apartment such that Petitioner could occupy the dwelling with sufficient rental income to help manage the renovation costs.

**B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The Hardship is owing to the poor soil conditions that have exacerbated the structural deficiencies of the dwelling and the location of the non-conforming dwelling which violate the setback on both side yard setbacks such that any change in those areas would require variance relief.

**C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

**1)** Substantial detriment to the public good for the following reasons:

The requested accessory apartment and minimal gross floor area increase has support from the neighbors and abutters most directly affected by development. Additionally the existing house is in poor condition and is need of significant repair and the renovation will be a benefit to the streetscape and neighborhood.

**2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The requested relief will not substantially derogate from the intent or purpose of the Ordinance as the relief is modest in nature and will allow for a multi-generational Cambridge family to restore a family home and occupy it in a financially feasible manner.

**\* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 151 Clark St Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:  
With the requested relief the requirements of the ordinance will be satisfied.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:  
No congestion, hazard, or substantial change in the established neighborhood character will result from approval because windows will have minimal impact on the neighboring abutters and will allow for appropriate head height and access to the third floor.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:  
The continued operation of or the development of adjacent uses will not be adversely affected because the adjacent properties are predominately multifamily residential uses and the proposed renovation will be of a quality that is consistent with the property restoration efforts that can be seen in the surrounding neighborhood.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:  
No nuisance or hazard will be created nor will any detriment to the health, safety and/or welfare of the occupants of the proposed use or the citizens of the City because the proposed dormer containing windows will part of an overall upgrade to this family home adding to Cambridge's housing stock.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:  
The proposed additional windows will not impair the integrity of the district and are consistent with the intent of the Ordinance by allowing for the most rational use of land which will be achieved restoration of the proposed single family dwelling with an accessory apartment.

**BZA APPLICATION FORM**

**DIMENSIONAL INFORMATION**

APPLICANT: Sean Hope, Esq. PRESENT USE/OCCUPANCY: Single family  
LOCATION: 151 Clark St Cambridge, MA ZONE: Residence C-1 Zone  
PHONE: \_\_\_\_\_ REQUESTED USE/OCCUPANCY: Single family with accessory uni

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> <sup>1</sup>	
<u>TOTAL GROSS FLOOR AREA:</u>	2433	2520	1470	(max.)
<u>LOT AREA:</u>	1960	1960	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>	1.24	1.28	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	1960	1960	1500	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	49'	49'	50'	(min.)
DEPTH	40'	40'	n/a	
<u>SETBACKS IN FEET:</u>				
FRONT	15.8'	15.8'	10'	(min.)
REAR	n/a	n/a	n/a	(min.)
LEFT SIDE	.2	.2	h+1/5	(min.)
RIGHT SIDE	.3	.3	h+1/5	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	31'+/-	31'+/-	35'	(max.)
LENGTH	23'	23'	n/a	
WIDTH	44'	44'	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	38%	38%	35%	(min.)
<u>NO. OF DWELLING UNITS:</u>	1	1*	1	(max.)
<u>NO. OF PARKING SPACES:</u>	0	0	1	(min./max)
<u>NO. OF LOADING AREAS:</u>	n/a	n/a	n/a	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	0	0	0	(min.)

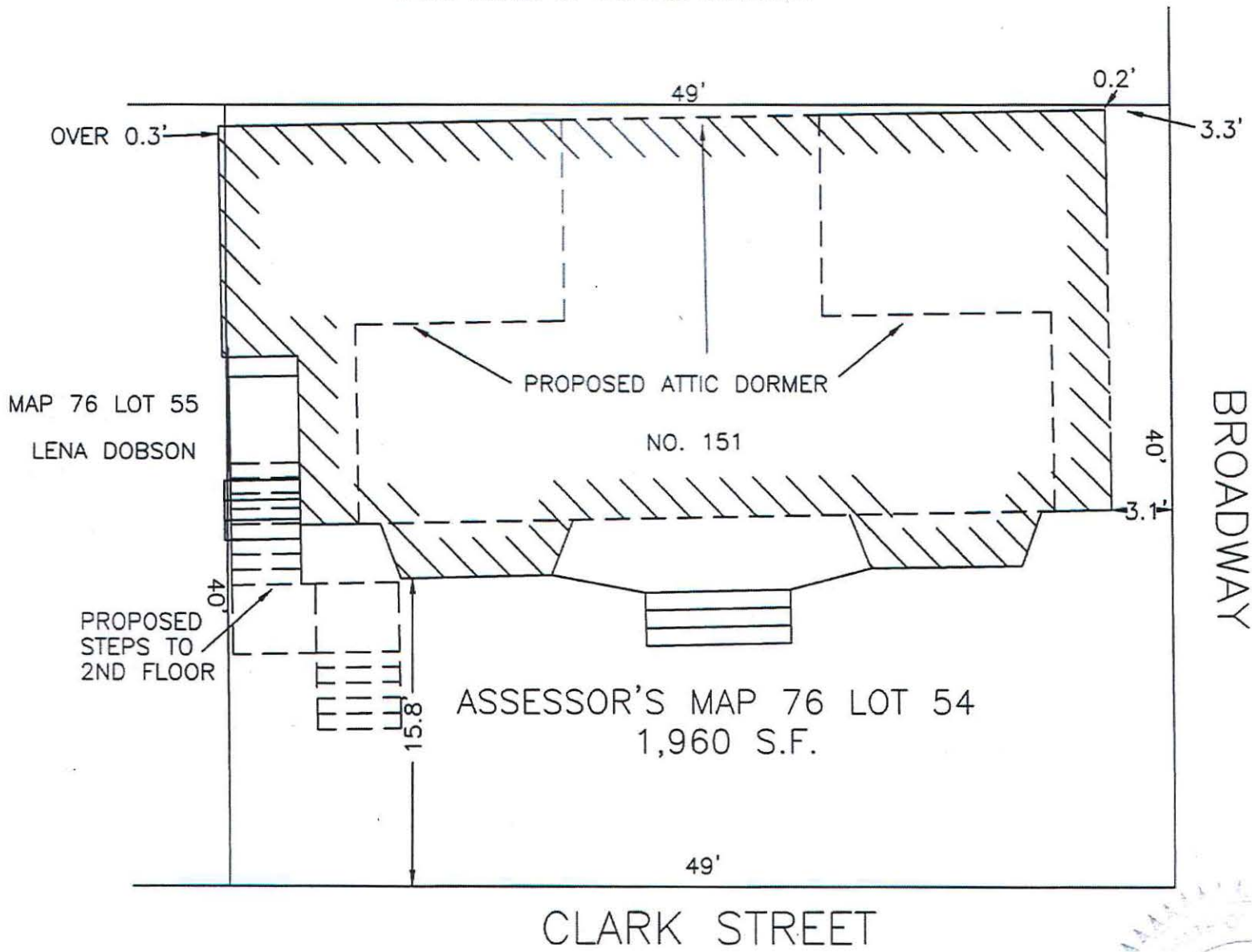
Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

\* an accessory unit is proposed satisfying the requirements of 4.22.1

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



MAP 76 LOT 53  
DAVID SMALL & MICHAEL MCKENNA



THE BUILDING ON THIS PLAN IS LOCATED ON THE GROUND AS SHOWN.

*Dennis J. McManus*  
DENNIS J. MCMANUS, P.L.S.

ZONING DISTRICT - C-1  
SETBACK REQUIREMENTS

	REQUIRED	EXISTING	PROPOSED
FRONT	$H+L/4$ 19.5'	15.8'	15.8'
SIDE	$H+L/5$ 15.6'	OVER 0.3'	OVER 0.3'
REAR	$H+L/4$ 19.5'	0.2'	0.2'



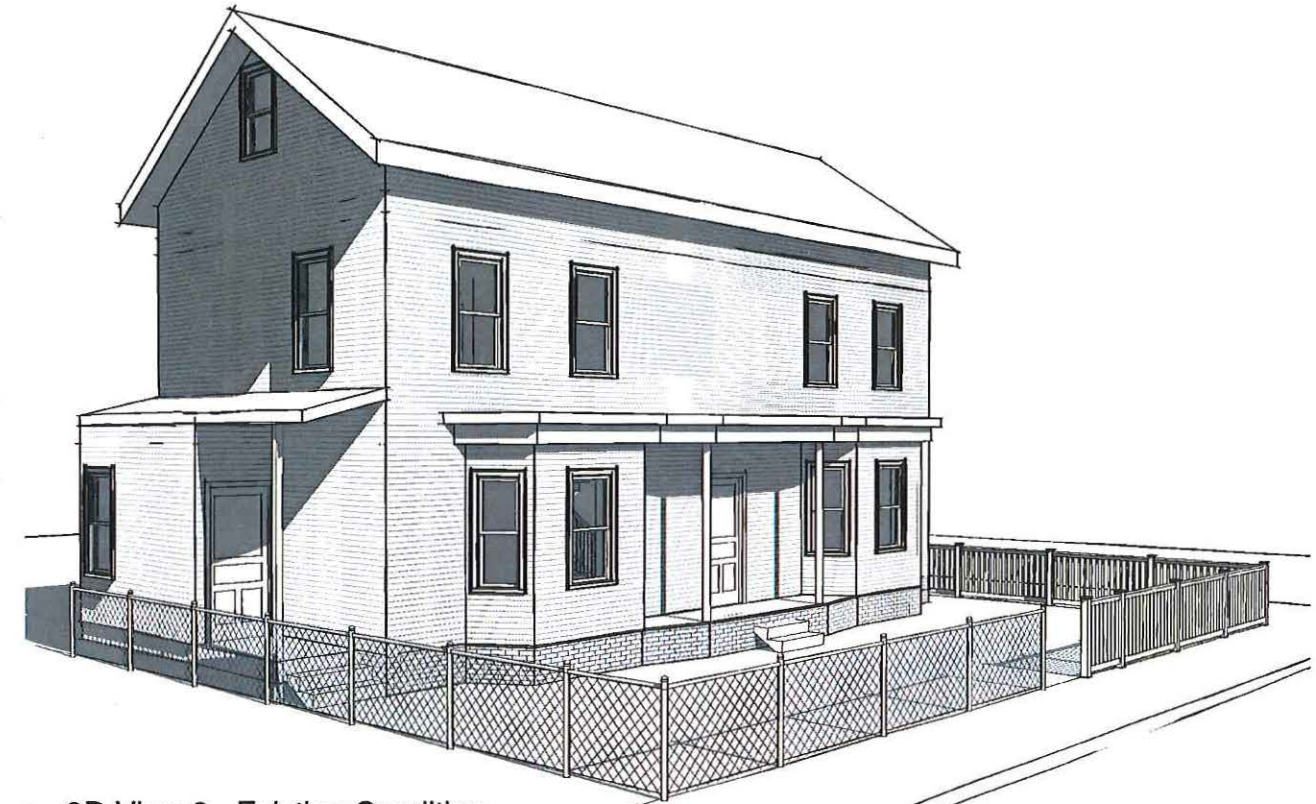
PLOT PLAN IN CAMBRIDGE, MA  
PREPARED FOR  
BARNES FAMILY 151 REALTY TRUST

DATE: 12/13/16	SCALE: 1" = 10'	JOB. NO. 16172E
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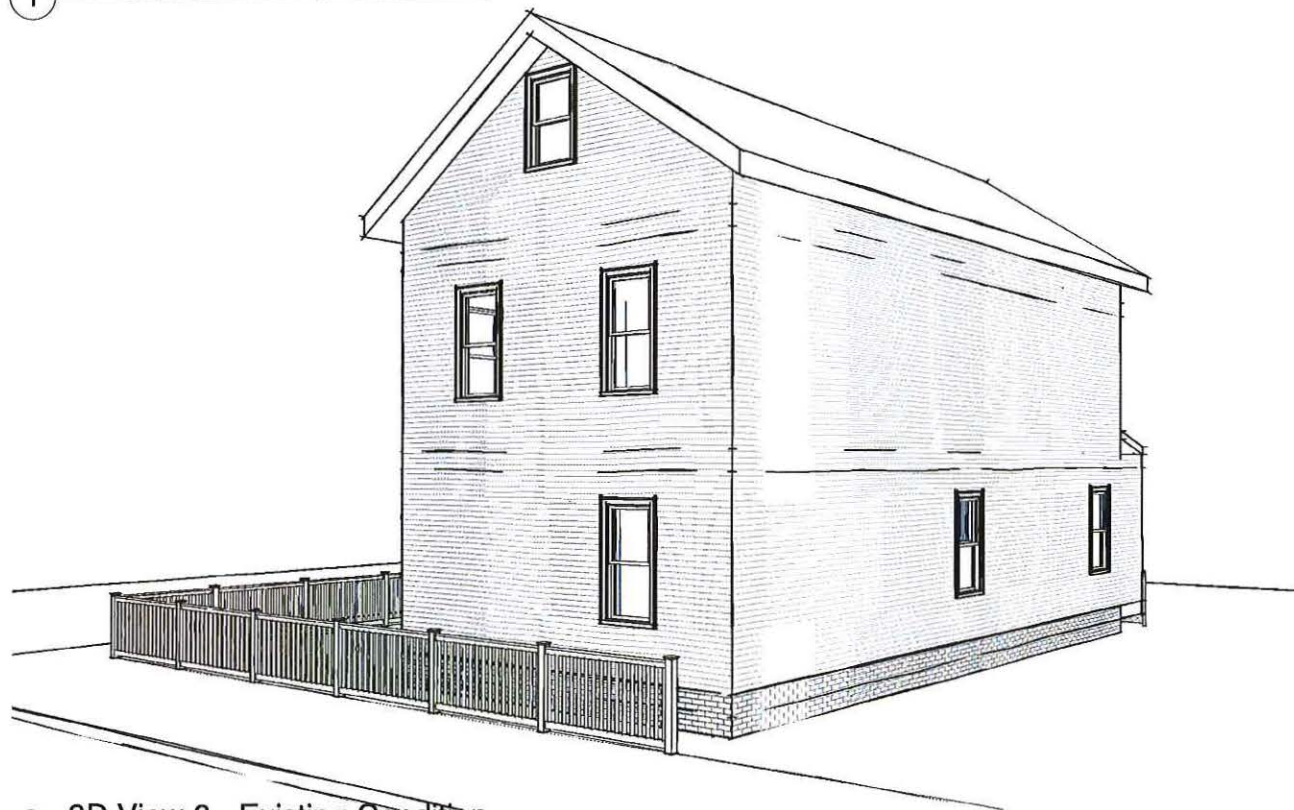
LANDMARK  
ENGINEERING & SURVEYING, INC.  
583 CHESTNUT STREET  
LYNN, MA 01904  
(781) 592-7016



① 3D View 1-Existing Condition



② 3D View 2 - Existing Condition



③ 3D View 3 - Existing Condition



REAL PRO REHAB, INC.

151 CLARK STREET, CAMBRIDGE, MA

3D VIEWS

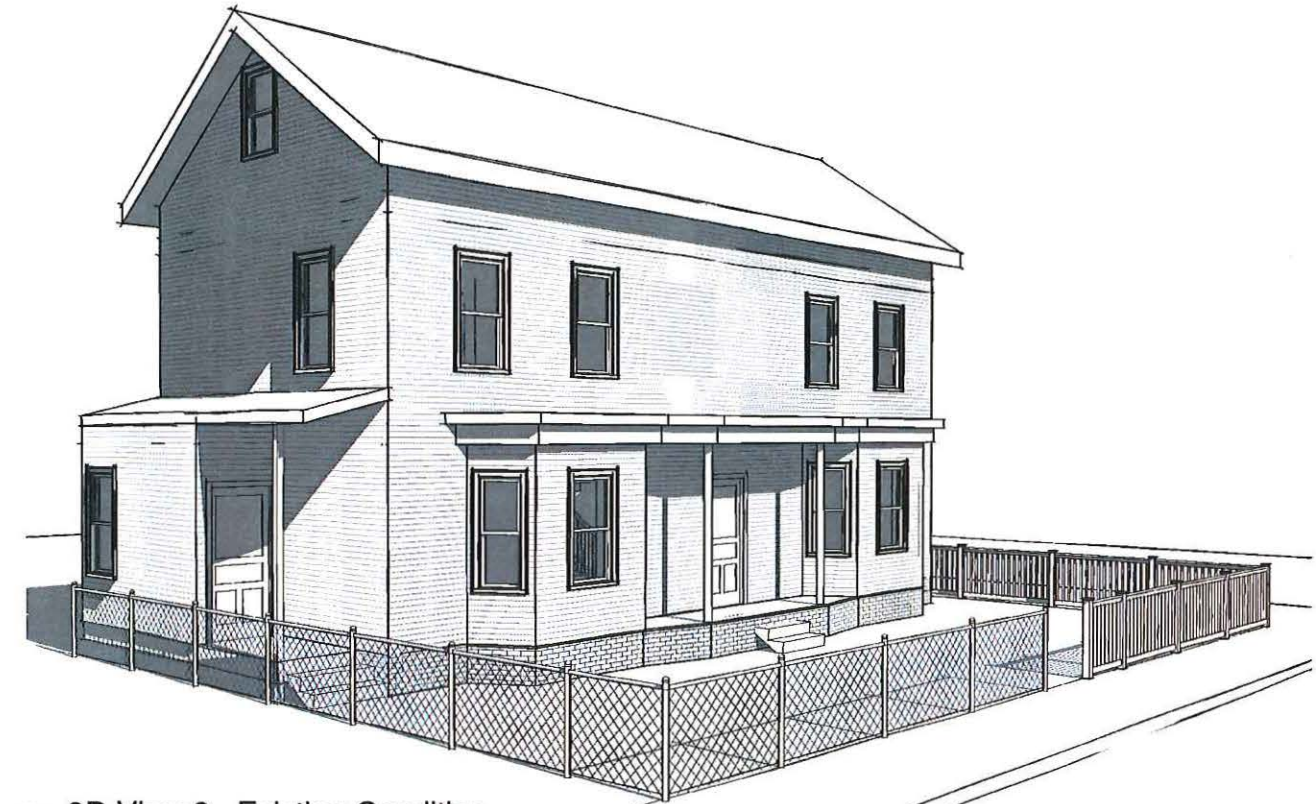
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Project number	001	
Date	5/22/16	
Drawn by	FL	Scale

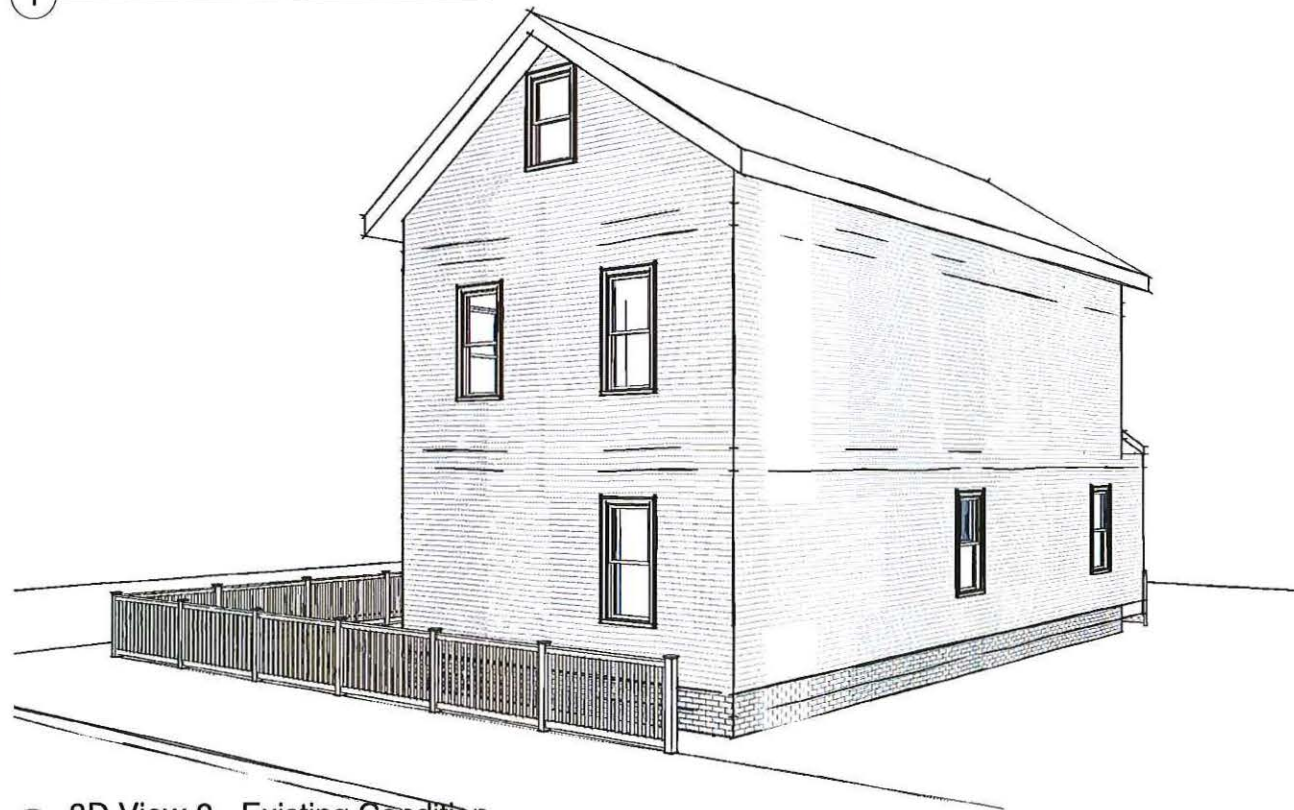




① 3D View 1-Existing Condition



② 3D View 2 - Existing Condition



③ 3D View 3 - Existing Condition



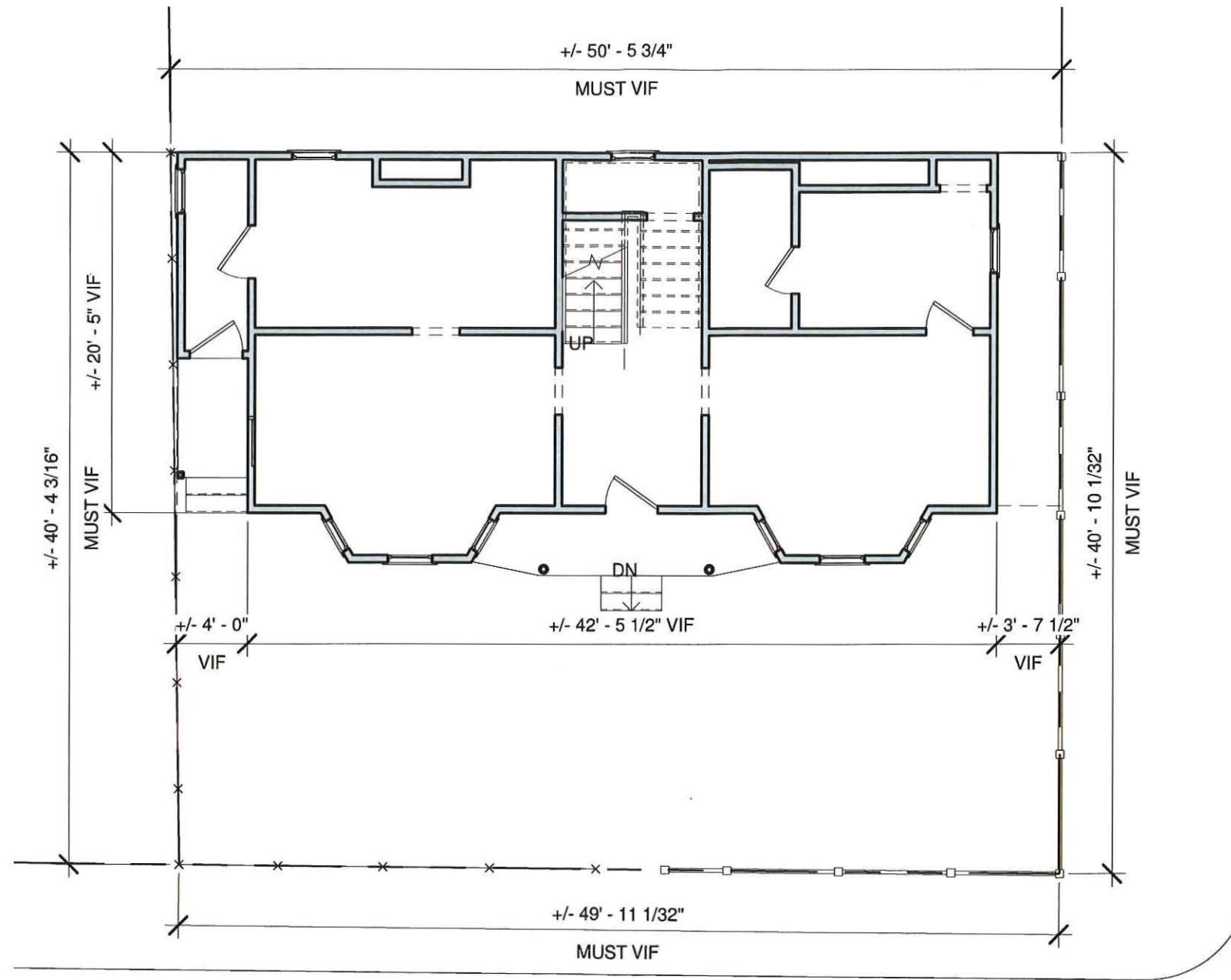
REAL PRO REHAB, INC.

151 CLARK STREET, CAMBRIDGE, MA

3D VIEWS

H

Project number	001	
Date	5/22/16	
Drawn by	FL	Scale



① PLOT PLAN - EXISTING  
1/8" = 1'-0"

REAL PRO REHAB, INC.

151 CLARK STREET, CAMBRIDGE, MA

PLOT PLAN

A.1

Project number	001	
Date	5/22/16	
Drawn by	FL	Scale 1/8" = 1'-0"



**LUNA DESIGN GROUP**

100 Conifer Hill Drive  
Suite 406, Danvers, MA 01923  
781.245.6530 Fax: 781.245.6508  
www.lunadesign.com

Architecture Interiors Planning

Consult

We warrant our work to be complete, accurate, and to conform to the applicable building codes, laws, and regulations. We do not warrant that the work will be free from errors or omissions. We do not warrant that the work will be free from errors or omissions. We do not warrant that the work will be free from errors or omissions.

Owner:

Project:

**Barnes Residence**

**151 Clark St.**  
Cambridge, Massachusetts 02139

Luna File:

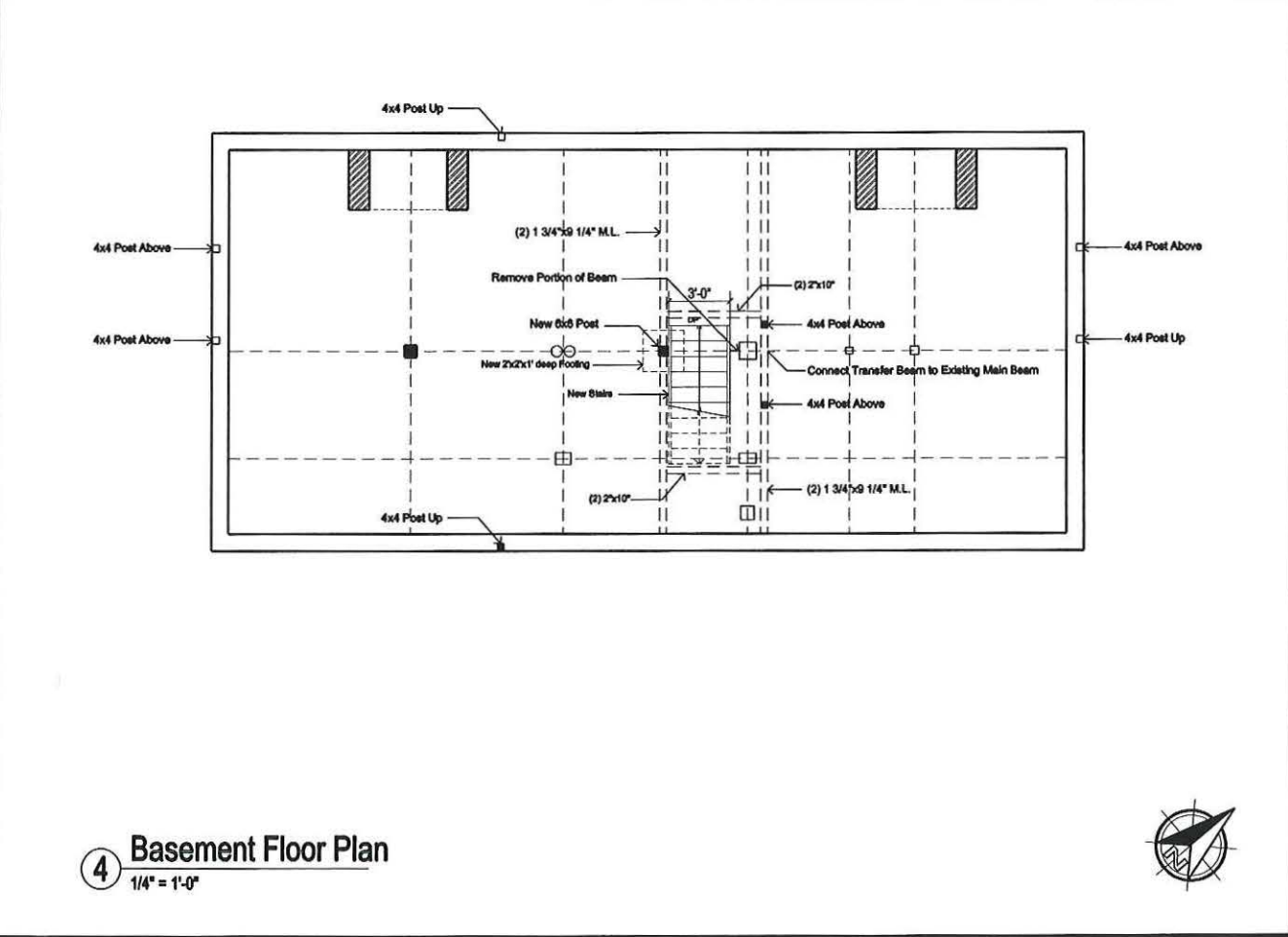
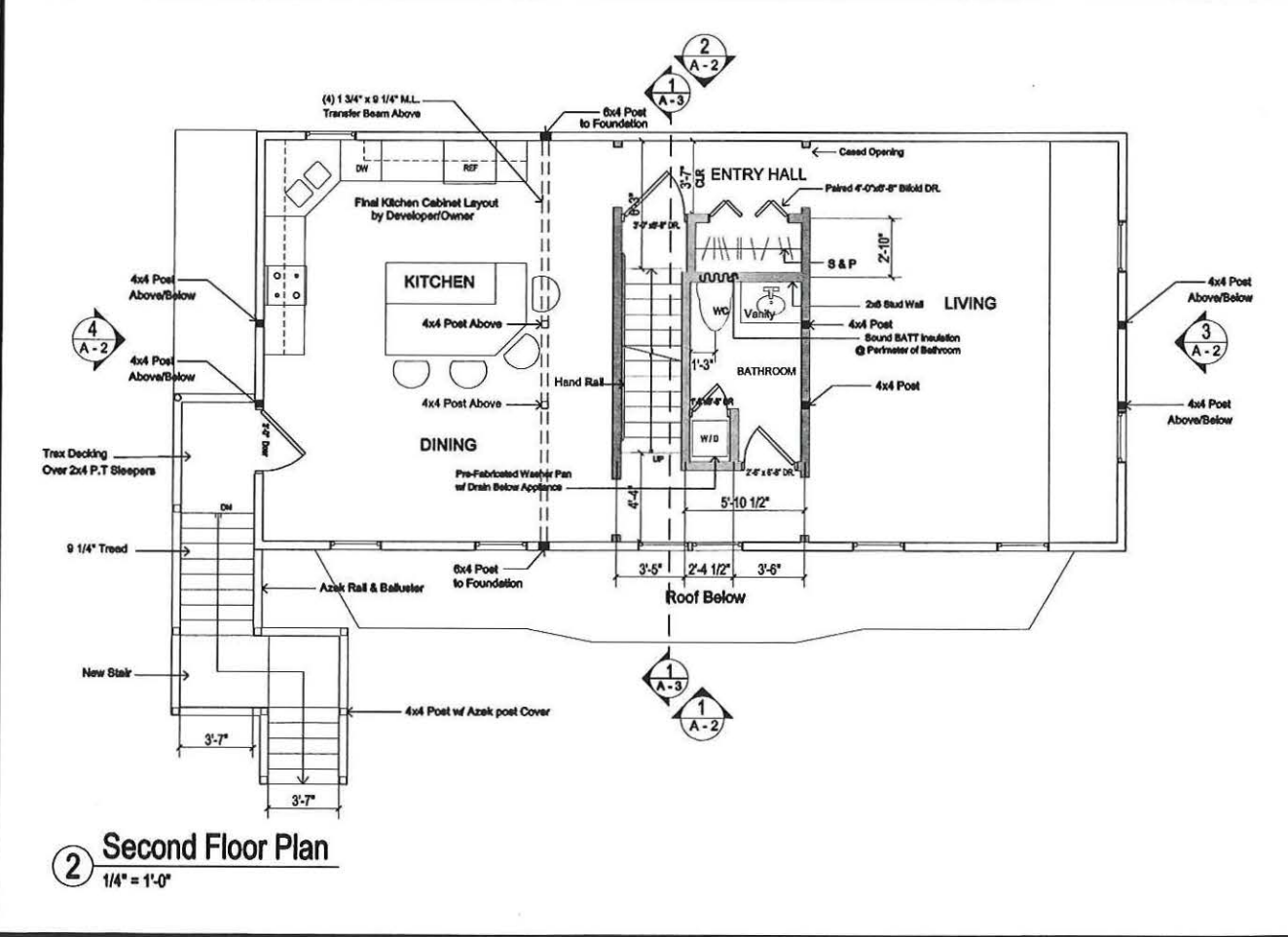
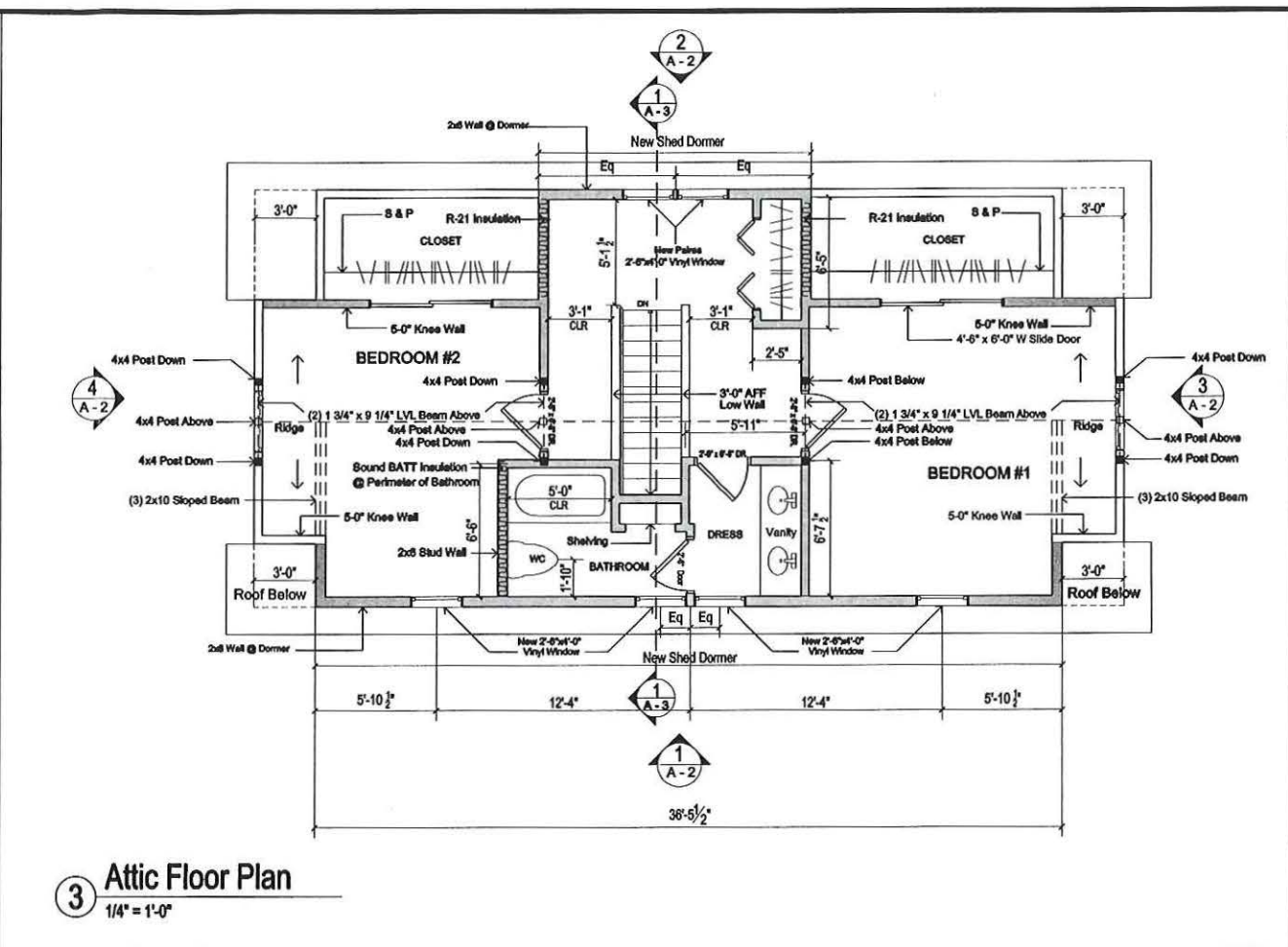
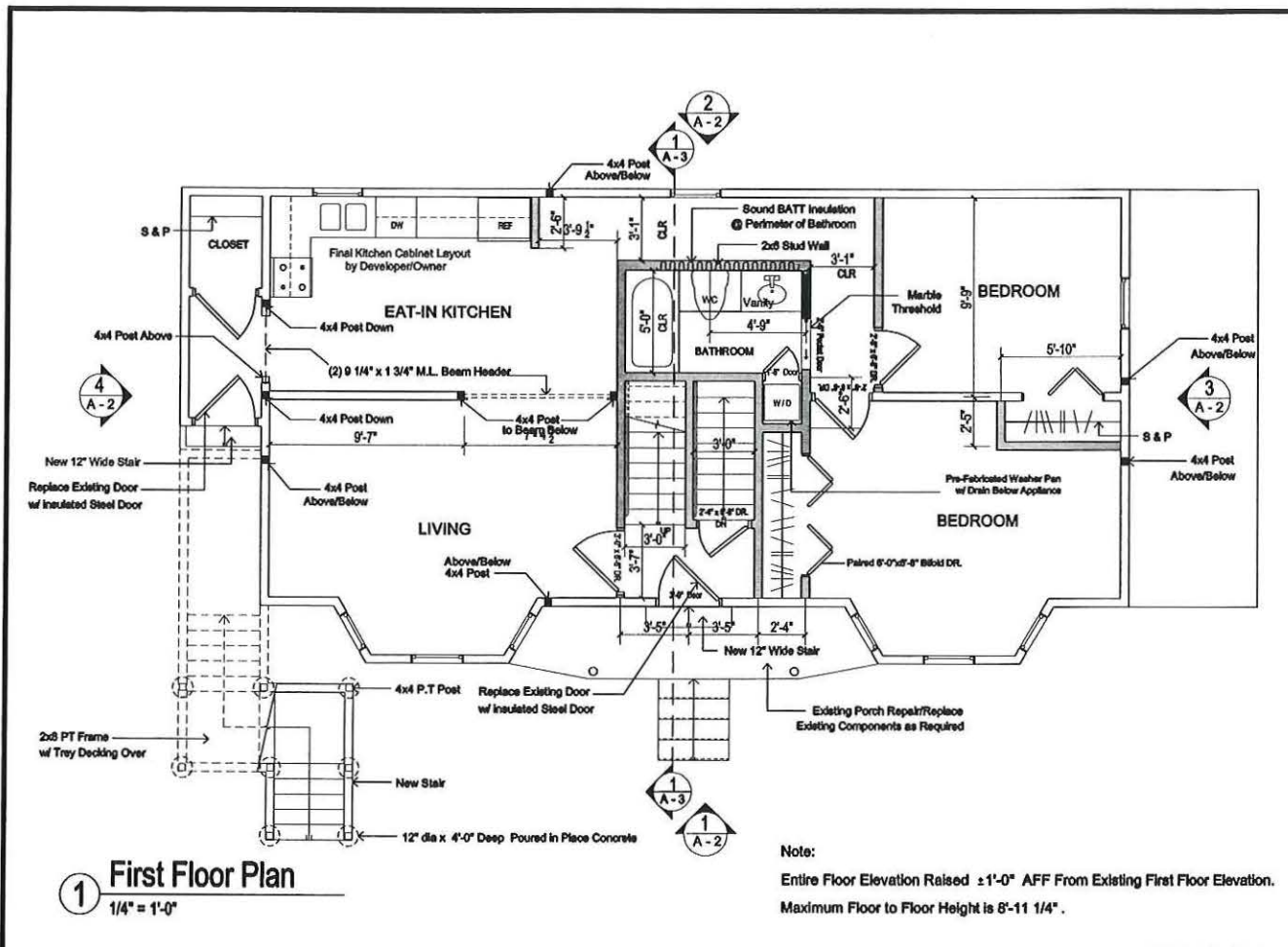
No.	Date	Revision/Issue

Date: Dec. 9, 2016  
Scale: As Noted  
JOB NO: RO61801a  
File:

Date: Dec. 9, 2016  
Scale: As Noted  
JOB NO: RO61801a  
File:

**Floor Plans**

**A - 1**





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Architecture Interiors Planning

Contract:

Use OR based on contract, or in the field, and not by any other means. The contractor shall be responsible for any and all workmanship, quality, and quantity of work. If the contractor is not satisfied with the quality of work, they shall be responsible for any and all costs incurred to correct the work.

Owner:

Project:

Barnes Residence

151 Clark St.  
Cambridge, Massachusetts 02139

Issue/Rev:

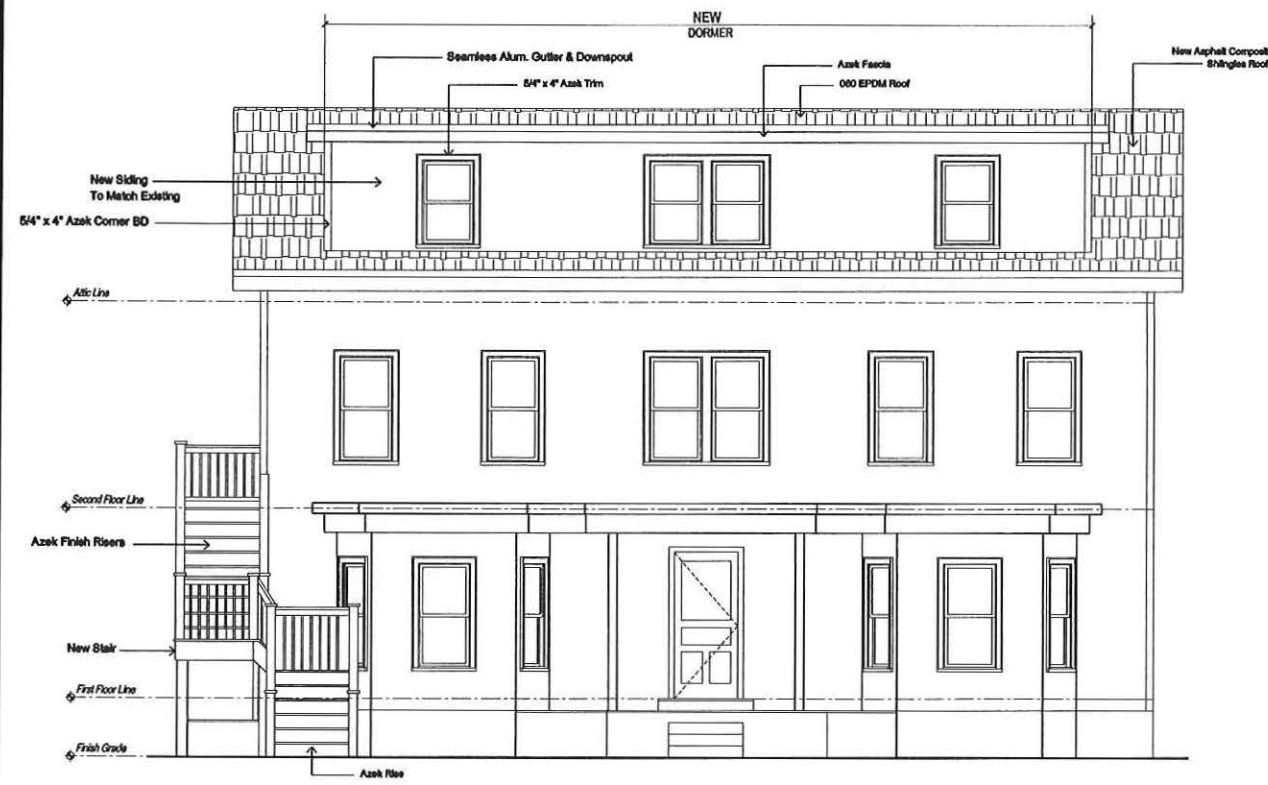
No. Date Revision/Issue

No.	Date	Revision/Issue

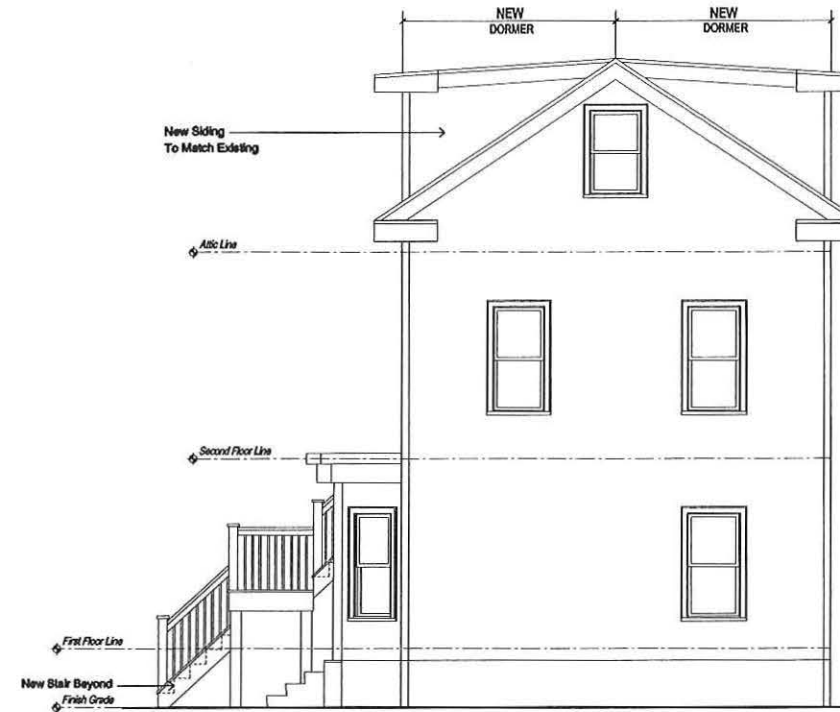
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Scale: As Noted  
JOB No.: RO18010a  
File:

**ELEVATIONS**

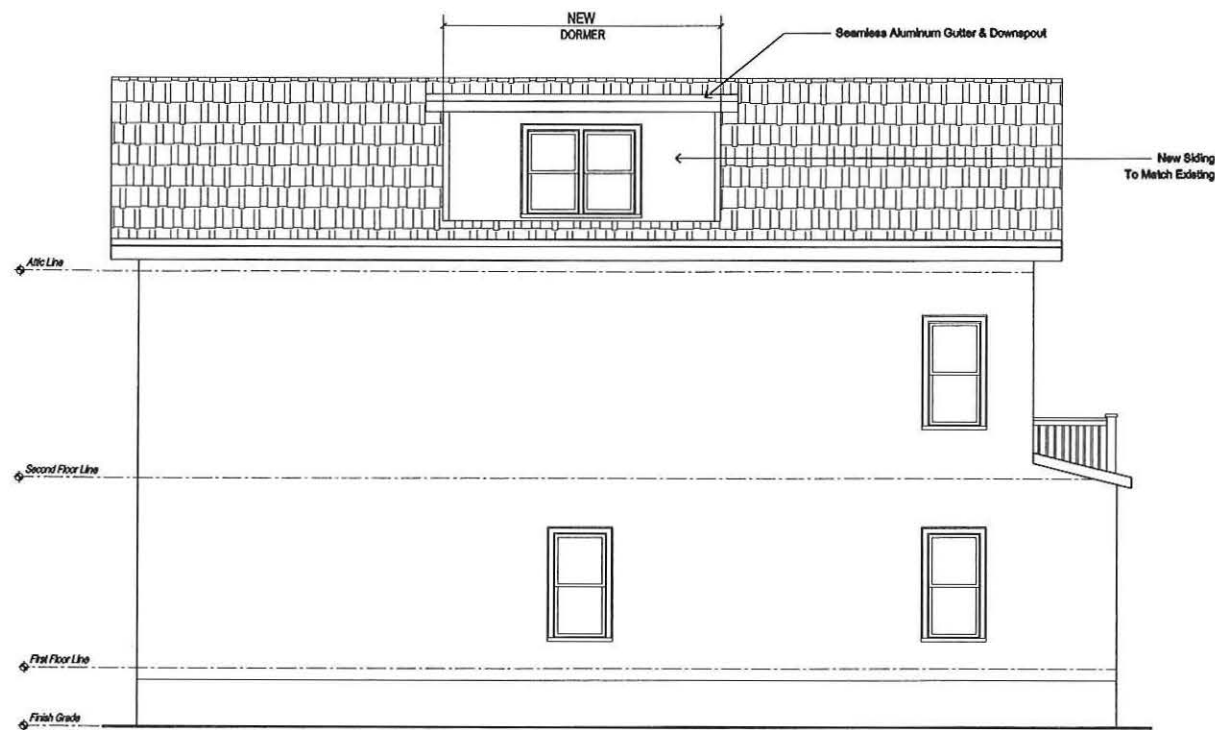
**A - 2**



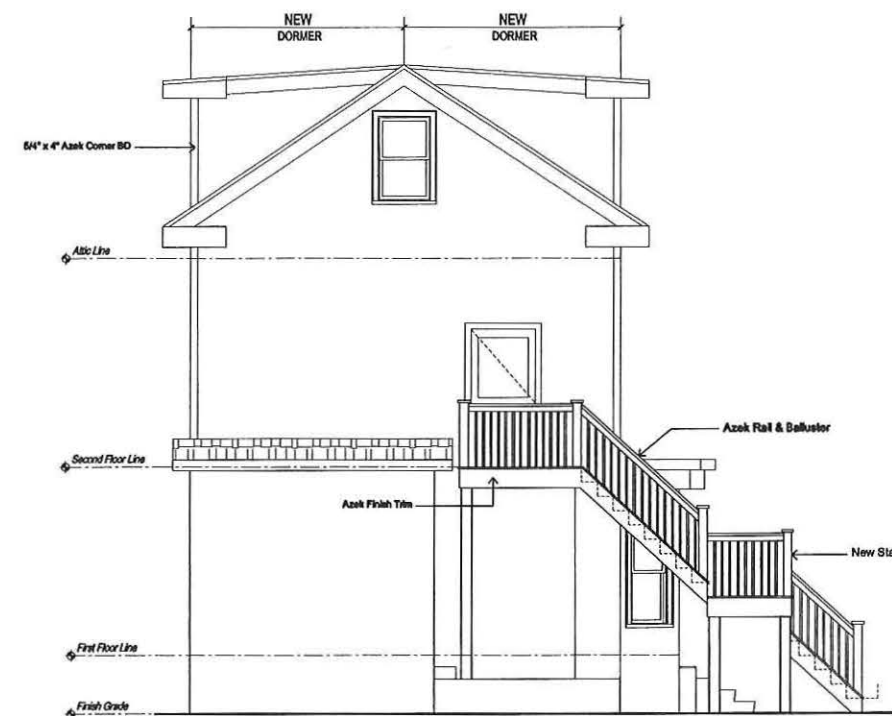
**1 South East Elevation**  
1/4" = 1'-0"



**3 North East Elevation**  
1/4" = 1'-0"



**2 North West Elevation**  
1/4" = 1'-0"



**4 South West Elevation**  
1/4" = 1'-0"



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Consult:

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Owner:

Project:

Barnes Residence

151 Clark St.  
Cambridge, Massachusetts 02139

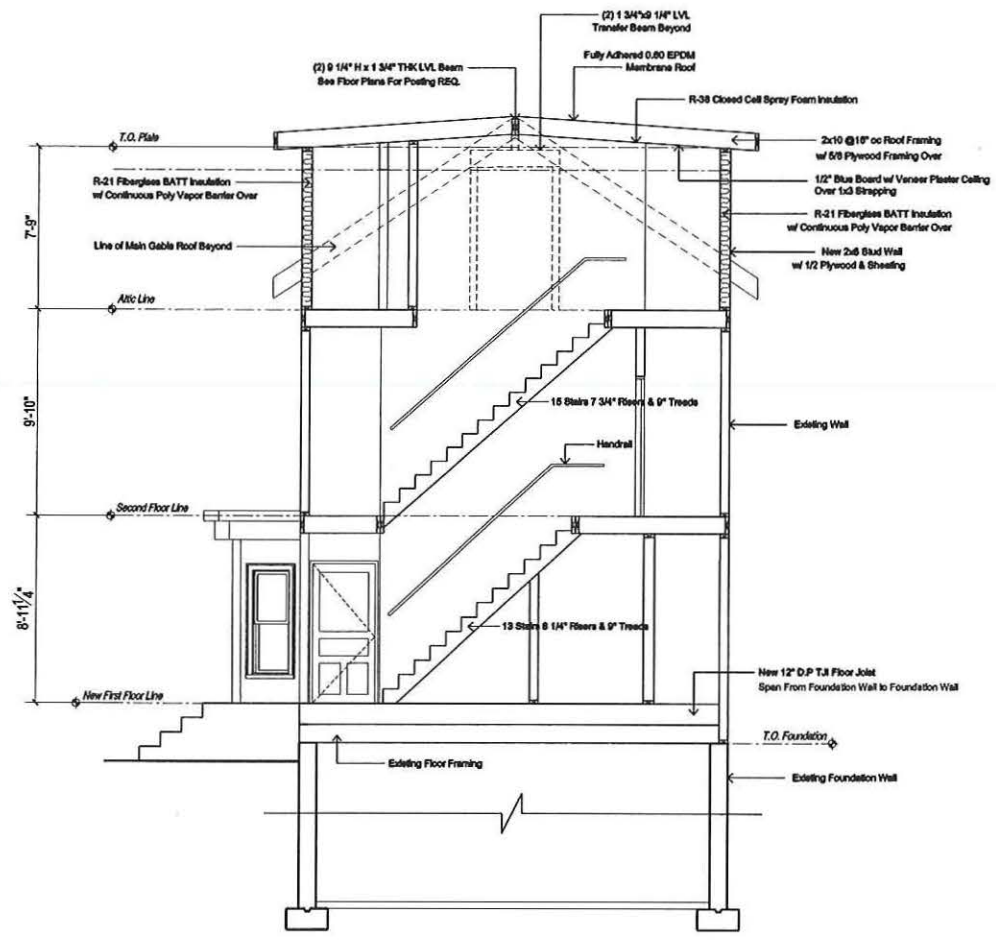
Local Plot:

No.	Date	Revision/Issue

Date  
Dec. 9, 2016  
Scale  
As Noted  
JOB No.  
RO610010a  
File

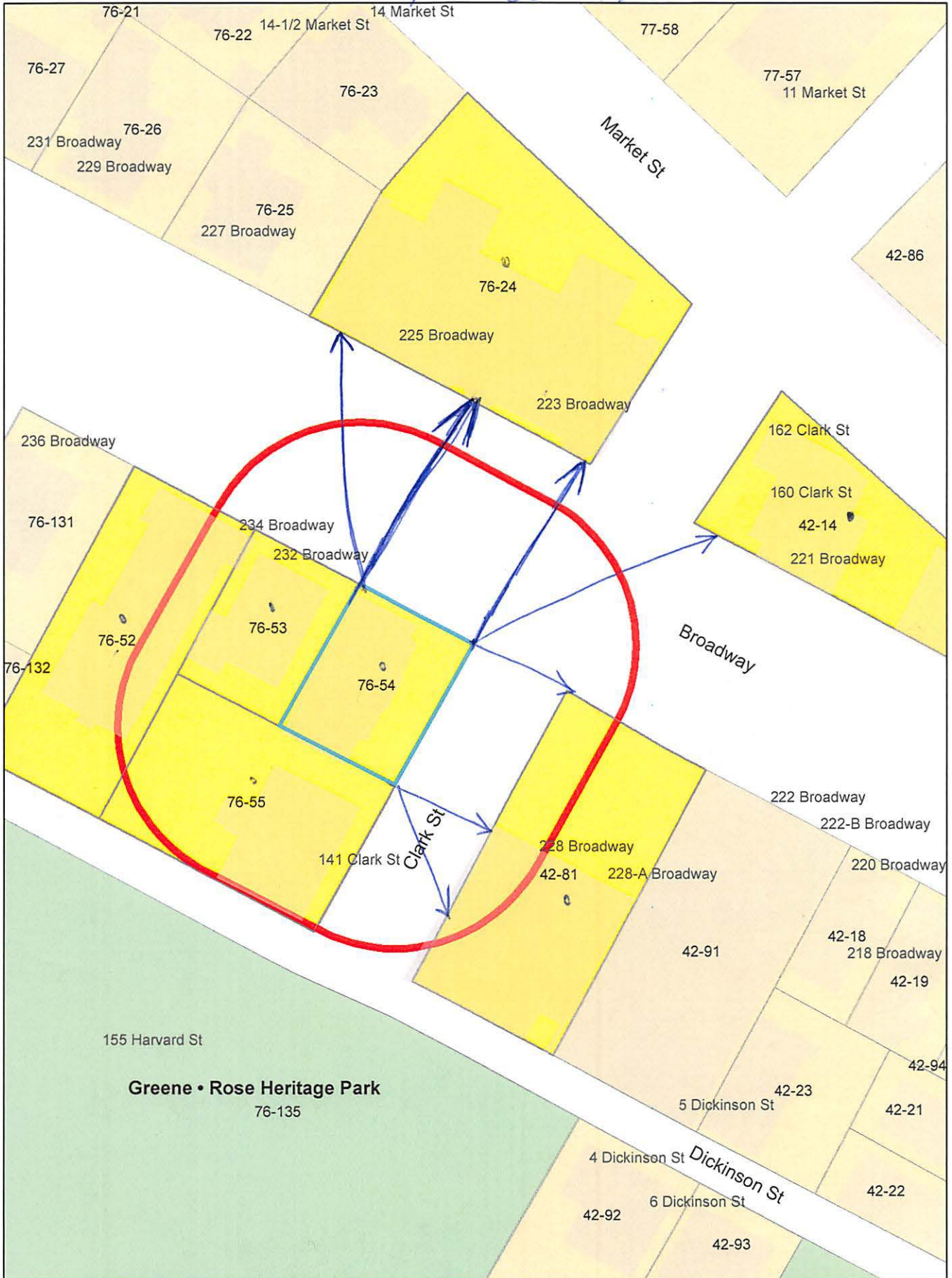
Cross Section

A - 3



**1 Cross Section**  
1/4" = 1'-0"

151 Clark St.



151 Clark St.

*Petitioner*

42-14  
OLSON, CARL  
C/O YOUNG BROADWAY CAM LLC,  
429 CHERRY ST  
NEWTON, MA 02465

42-81  
SAVENOR, LINDA ANN  
TR. OF 228 BROADWAT REALTY TRUST  
15 MEREDITH CIRCLE  
NEEDHAM, MA 02492

SEAN D. HOPE, ESQ.  
675 MASS AVENUE – 5<sup>TH</sup> FL.  
CAMBRIDGE, MA 02139

76-52  
JOHNSON-BARRETT & ASSOCIATES, LLC  
234 BROADWAY  
CAMBRIDGE, MA 02139

76-53  
SMALL, DAVID L. & MICHAEL A. MCKENNA  
232 BROADWAY  
CAMBRIDGE, MA 02139

76-54  
BARNES, RICCI L. & MARIA G. BARNES  
TR. OF BARNES FAMILY 151 REALT TR.  
151 CLARK ST  
CAMBRIDGE, MA 02139

76-55  
DOBSON, LENA  
11555 SOUTHFORK DRIVE., APT 2007  
BATON ROUGE, LA 70816

76-24  
MARTINS, MICHAEL  
166 HIGHLAND AVE  
SOMERVILLE, MA 02143

# ADDITION & RENOVATION OF 151 CLARK ST.

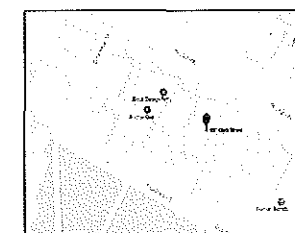
151 Clark St. , Cambridge, Massachusetts, 02139

REVISED 1/25/2017



## DRAWING LIST

ARCHITECTURAL	
T-1	COVER SHEET
E-1	EXISTING FLOOR PLANS
E-2	EXISTING ELEVATIONS
A-1	PROPOSED FLOOR PLANS
A-2	PROPOSED ELEVATIONS
A-3	PROPOSED CROSS SECTION



Barnes Plan



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100 Beacon Hill Drive  
Suite 406, Cambridge, MA, 02139  
781.245.6550 fax 781.245.6588  
www.lunadesign.com  
Architecture Interiors Planning

Contract:

Notes:  
This drawing is intended for construction purposes only. It is not to be used for any other purpose without the written consent of Luna Design Group. Any changes to this drawing must be approved in writing by Luna Design Group. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Owner:

Project:

Barnes Residence

151 Clark St.  
Cambridge, Massachusetts 02139

Luna File:

No.	Date	Revision/Issue

Date  
Jan. 23, 2017  
Scale  
As Noted  
JOB No.  
ROB18019a  
File

COVER SHEET

T-1





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www.lunadesign.com  
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Contract  
  
The CAD drawings are made to be used in the field. All drawings should be checked for accuracy and completeness before construction. The owner is responsible for providing all necessary information and approvals. The architect is not responsible for any errors or omissions in the drawings or for any construction delays or cost overruns.

Owner:  
  
Project:  
**Barnes Residence**

151 Clark St.  
Cambridge, Massachusetts 02139

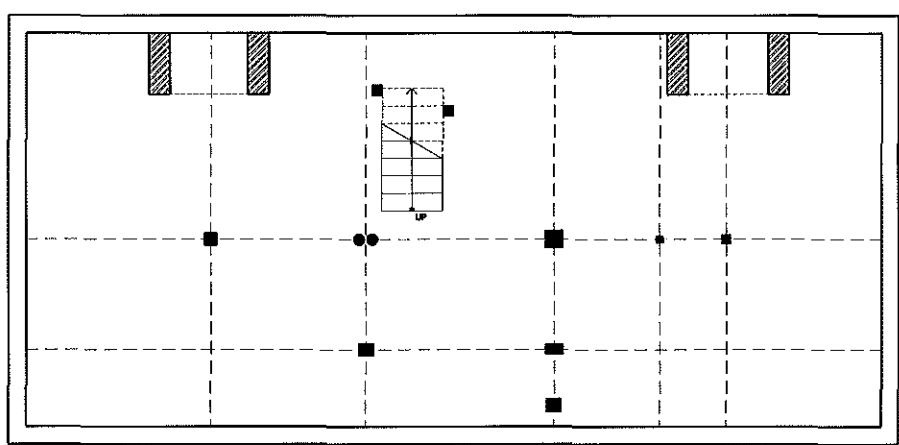
Issue List

No.	Date	Revision/Issue

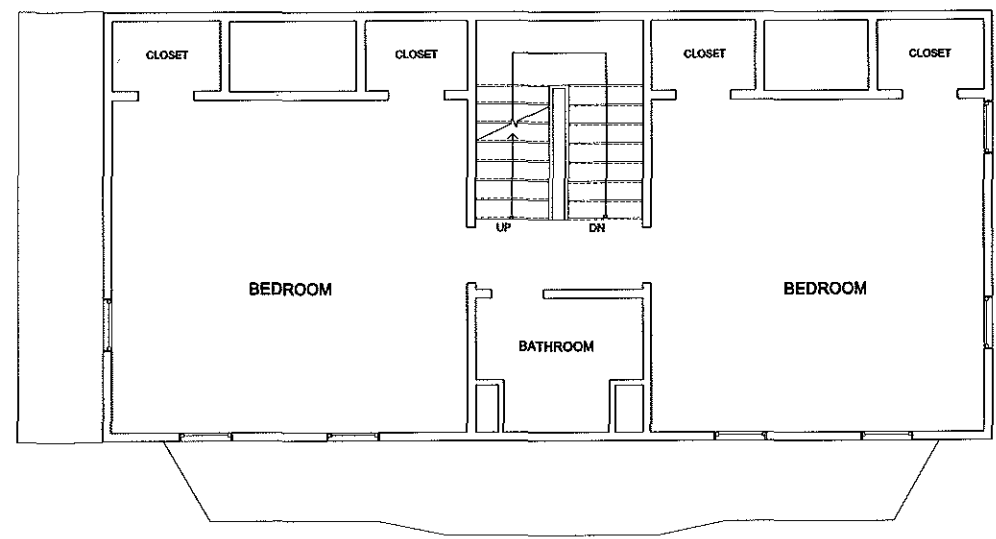
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Nov. 8, 2010  
Scale  
As Noted  
JOB No.  
ROB10010a  
File

**Floor Plans**

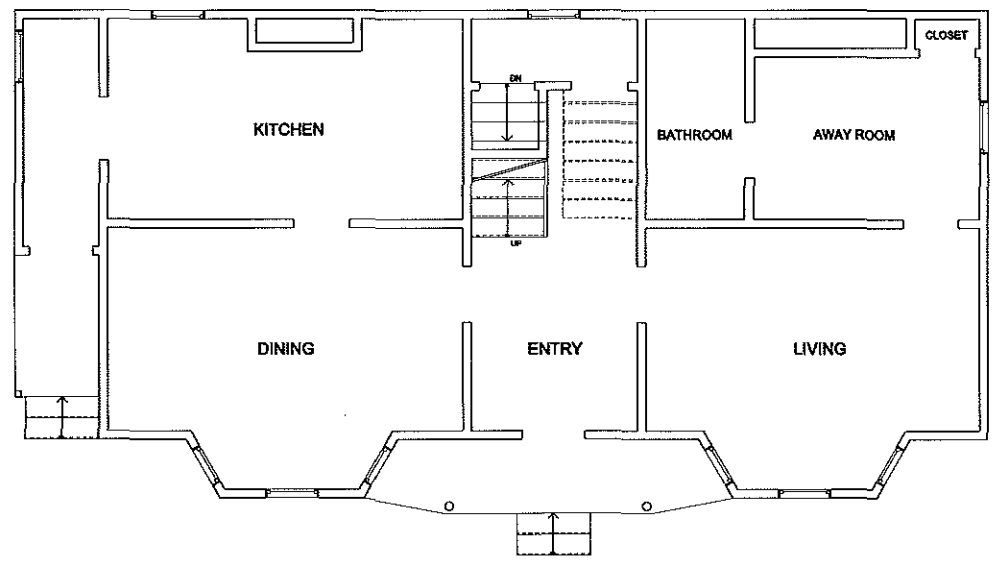
**E - 1**



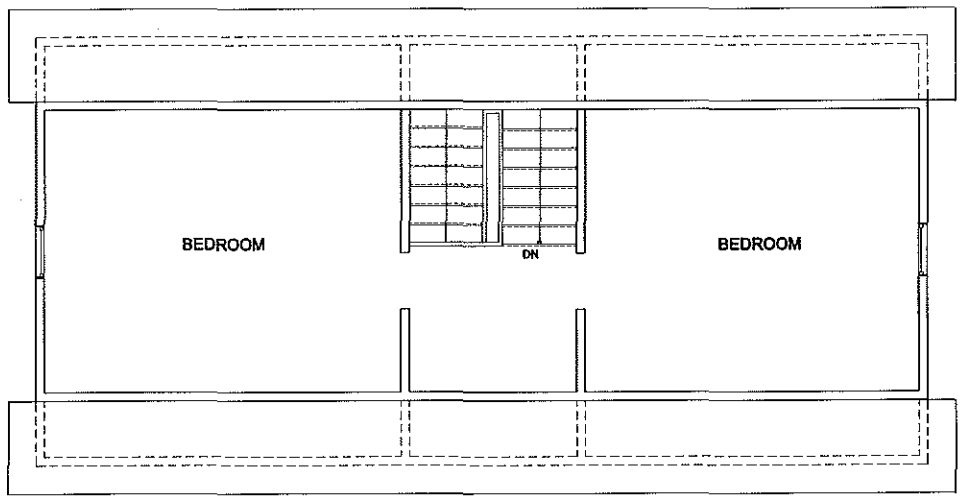
**1** Basement Floor Plan  
1/4" = 1'-0"



**3** Second Floor Plan  
1/4" = 1'-0"



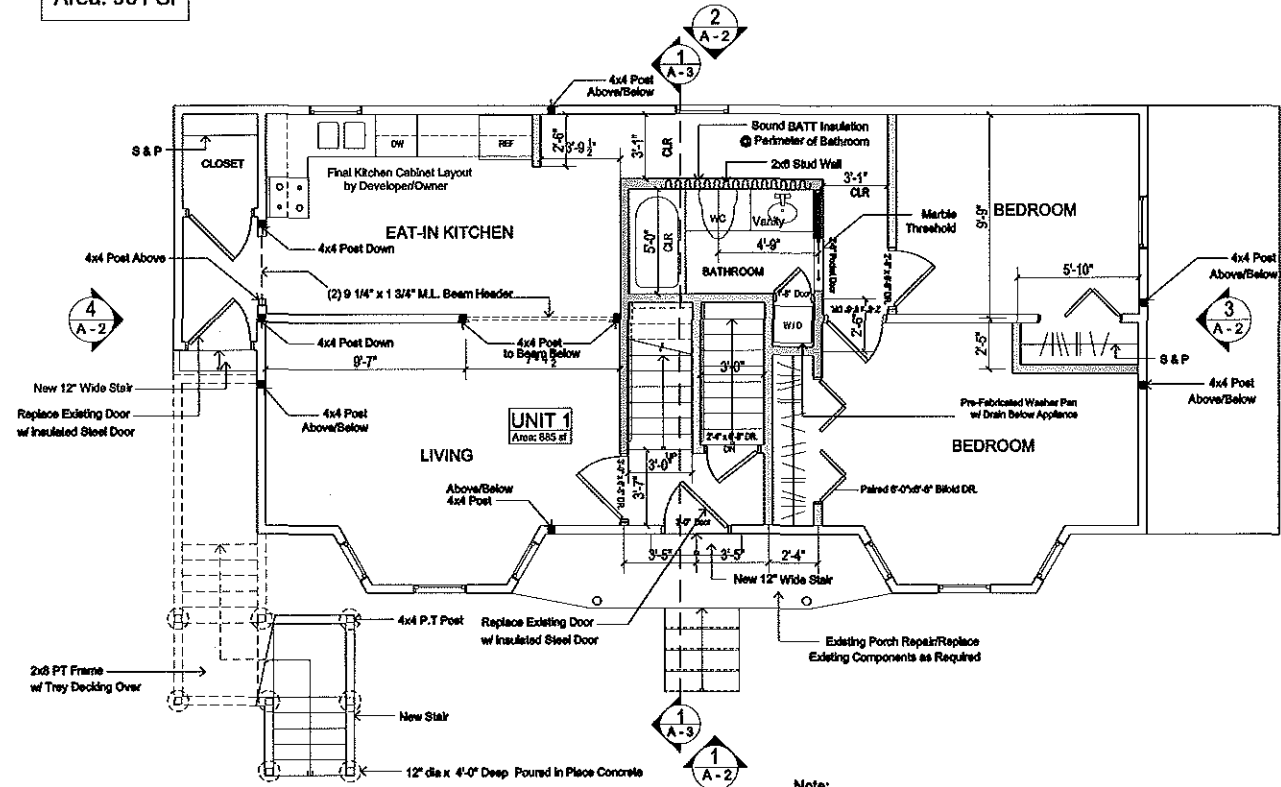
**2** First Floor Plan  
1/4" = 1'-0"



**4** Attic Floor Plan  
1/4" = 1'-0"



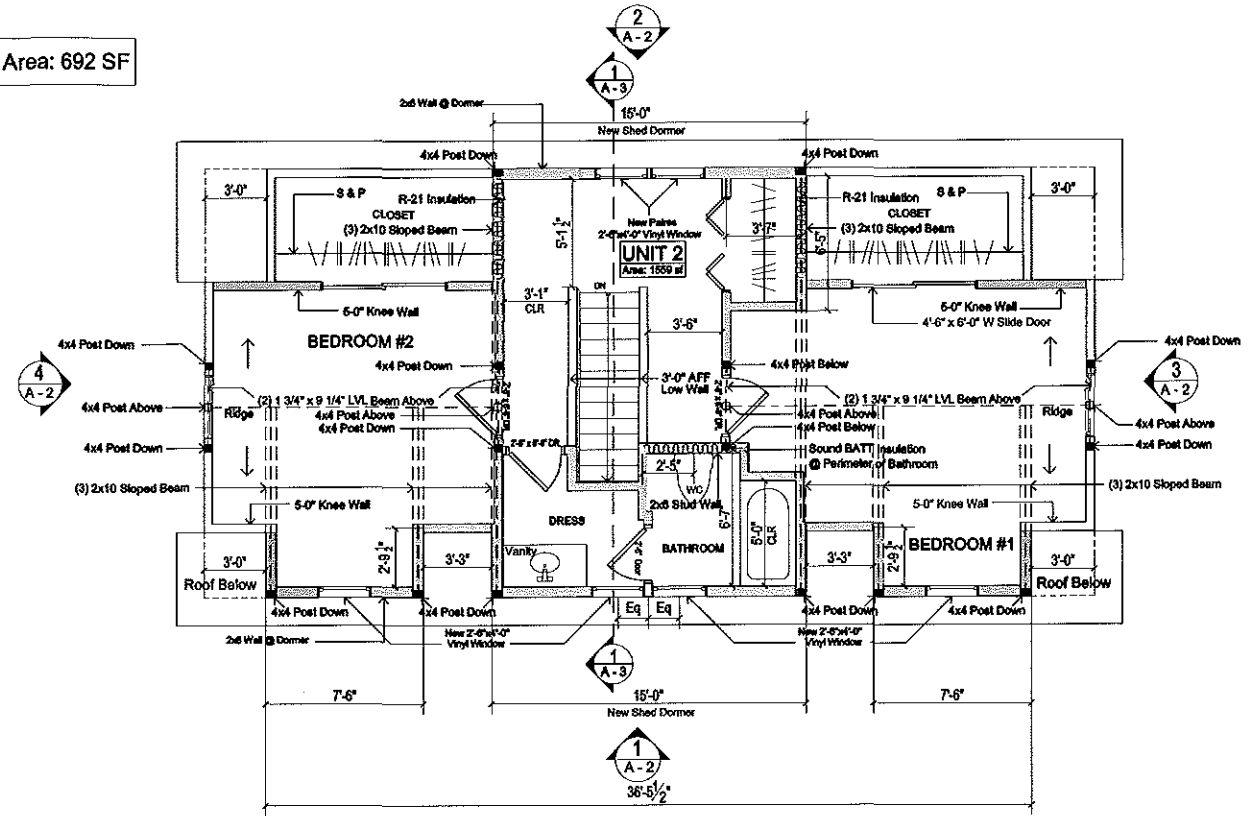
Area: 961 SF



**1 Proposed First Floor Plan**  
1/4" = 1'-0" ACCESSORY UNIT

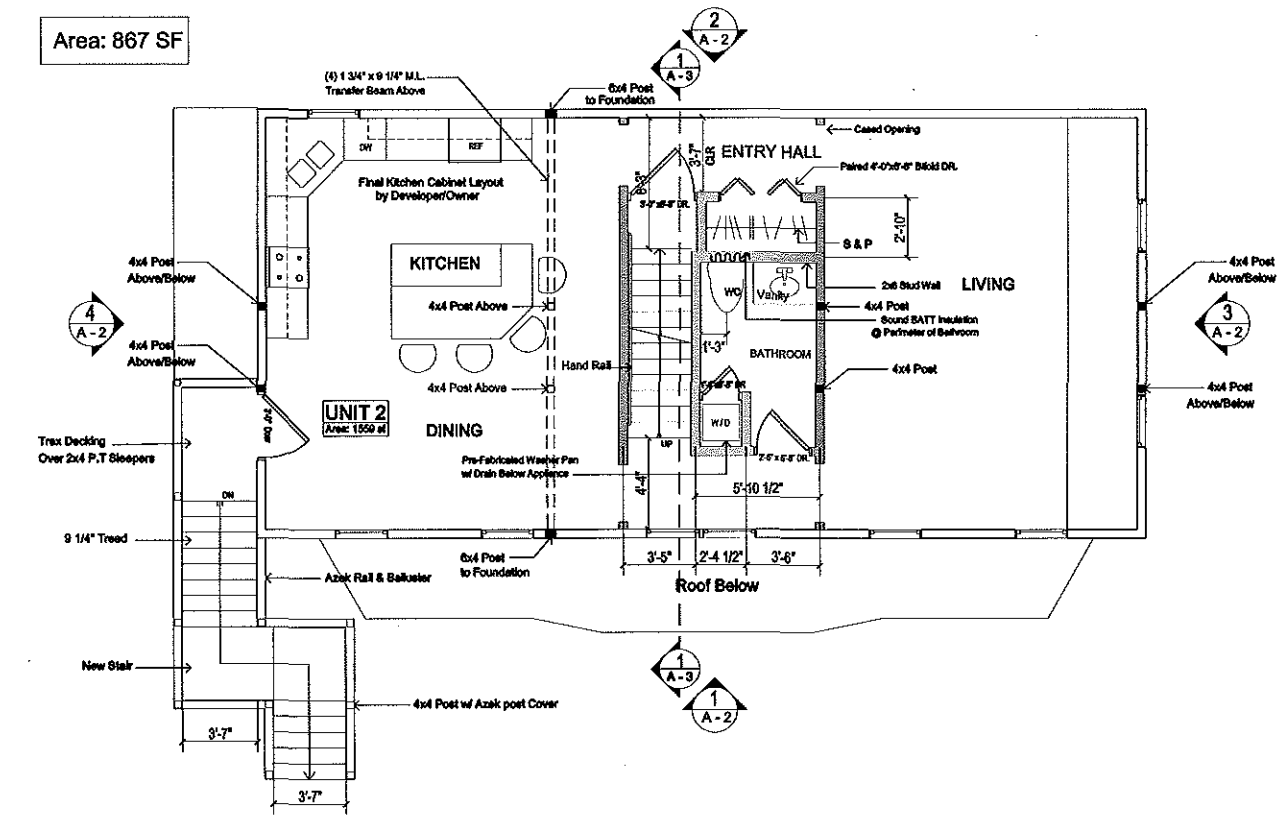
Note:  
Entire Floor Elevation Raised ±1'-0" AFF From Existing First Floor Elevation.  
Maximum Floor to Floor Height is 8'-11 1/4".

Area: 692 SF



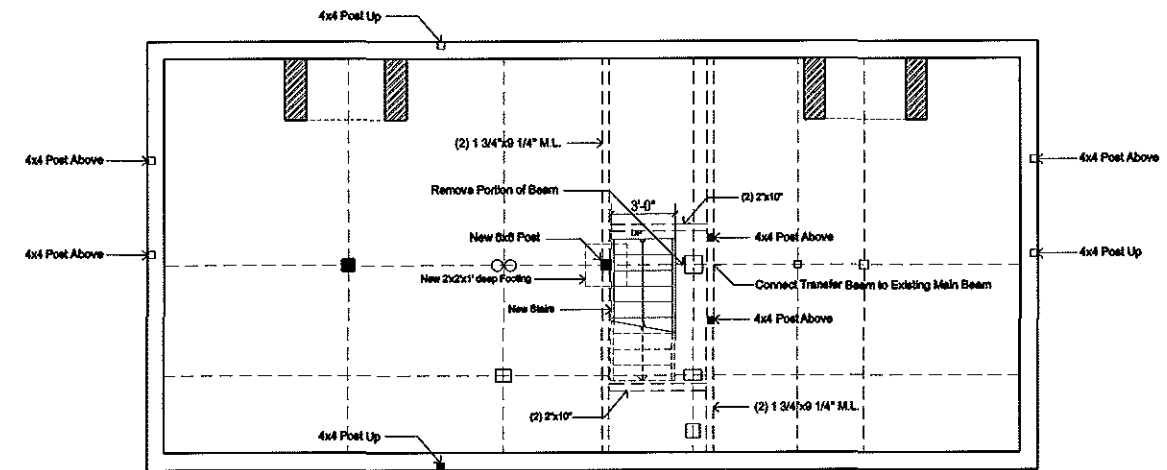
**3 Proposed Third Floor Plan**  
1/4" = 1'-0" PRIMARY UNIT

Area: 867 SF



**2 Proposed Second Floor Plan**  
1/4" = 1'-0" PRIMARY UNIT

**4 Proposed Basement Floor Plan**  
1/4" = 1'-0"



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Consult  
Design  
Project  
**Barnes Residence**  
151 Clark St.  
Cambridge, Massachusetts 02139  
Luna Plan  
No. Date Revision/Issue  
Date Dec. 26, 2016  
Scale As Noted  
JOB NO. RO816019a  
File

Proposed Floor Plans

A - 1



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GROUP**

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Architecture Interiors Planning

Contract:

This set of drawings is intended to be used in conjunction with the contract documents. It is the responsibility of the contractor to verify all dimensions, materials, and specifications shown on these drawings. The architect is not responsible for any errors or omissions on these drawings.

Owner:

Project:

Barnes Residence

151 Clark St.  
Cambridge, Massachusetts 02139

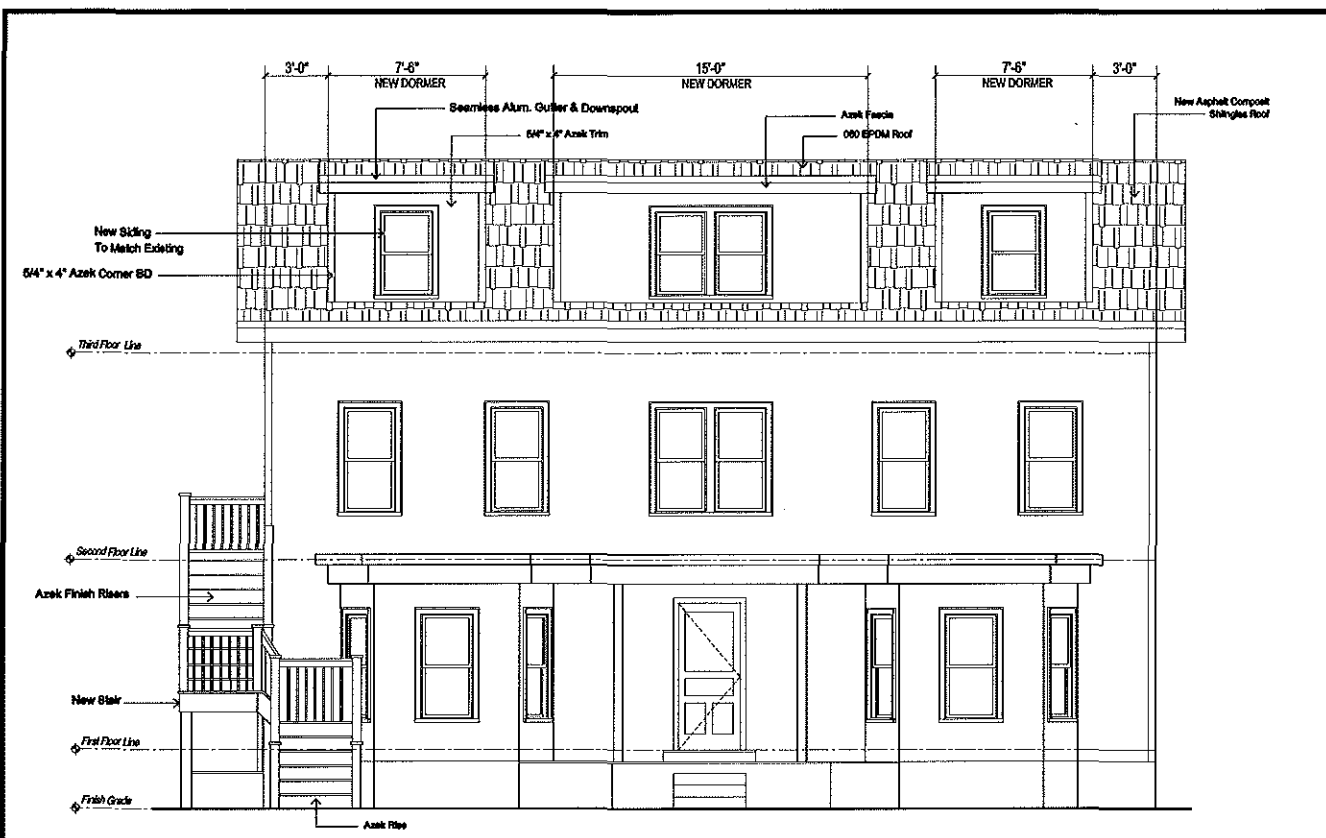
Location:

No.	Date	Revision/Issue

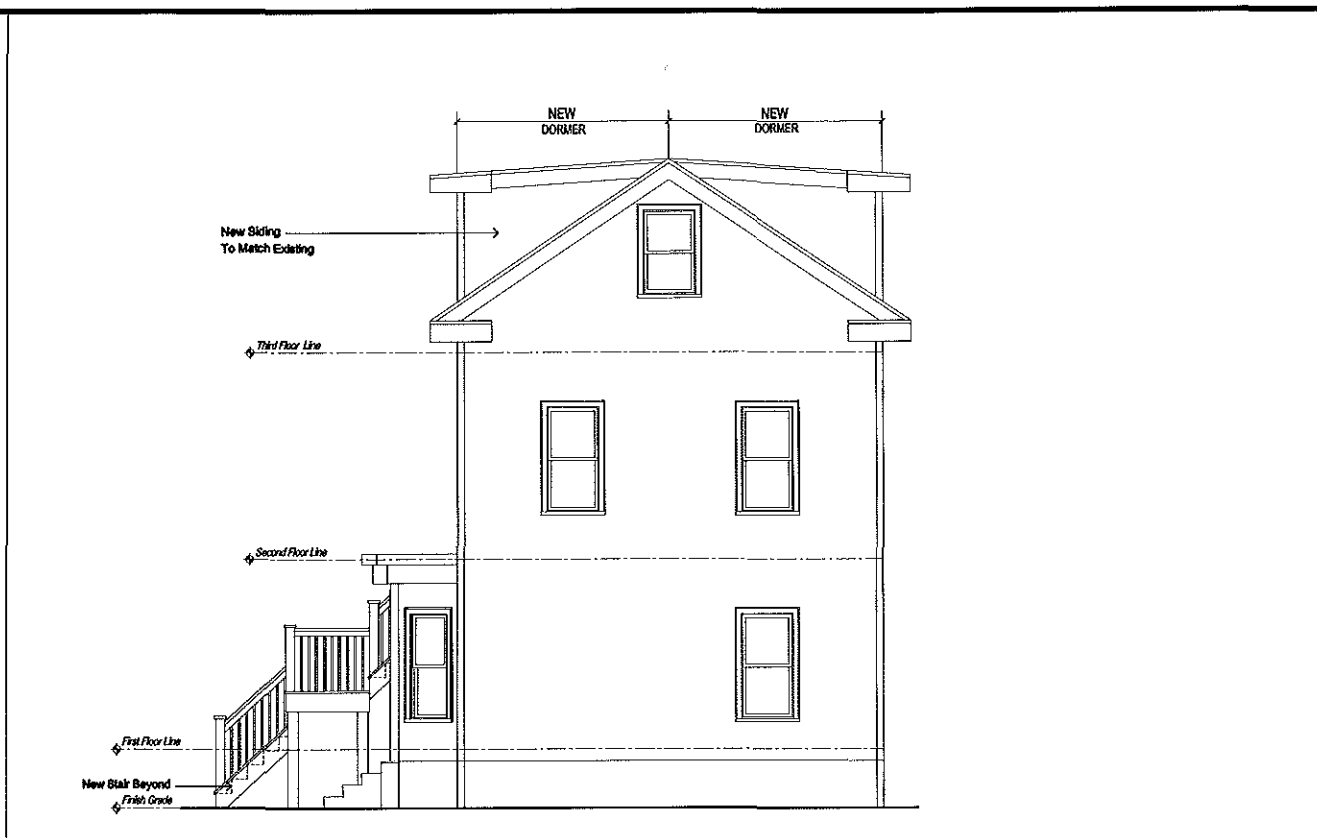
Date  
Dec. 26, 2016  
Scale  
As Noted  
JGS: NJS  
ROB10010a  
TJS

Proposed Elevations

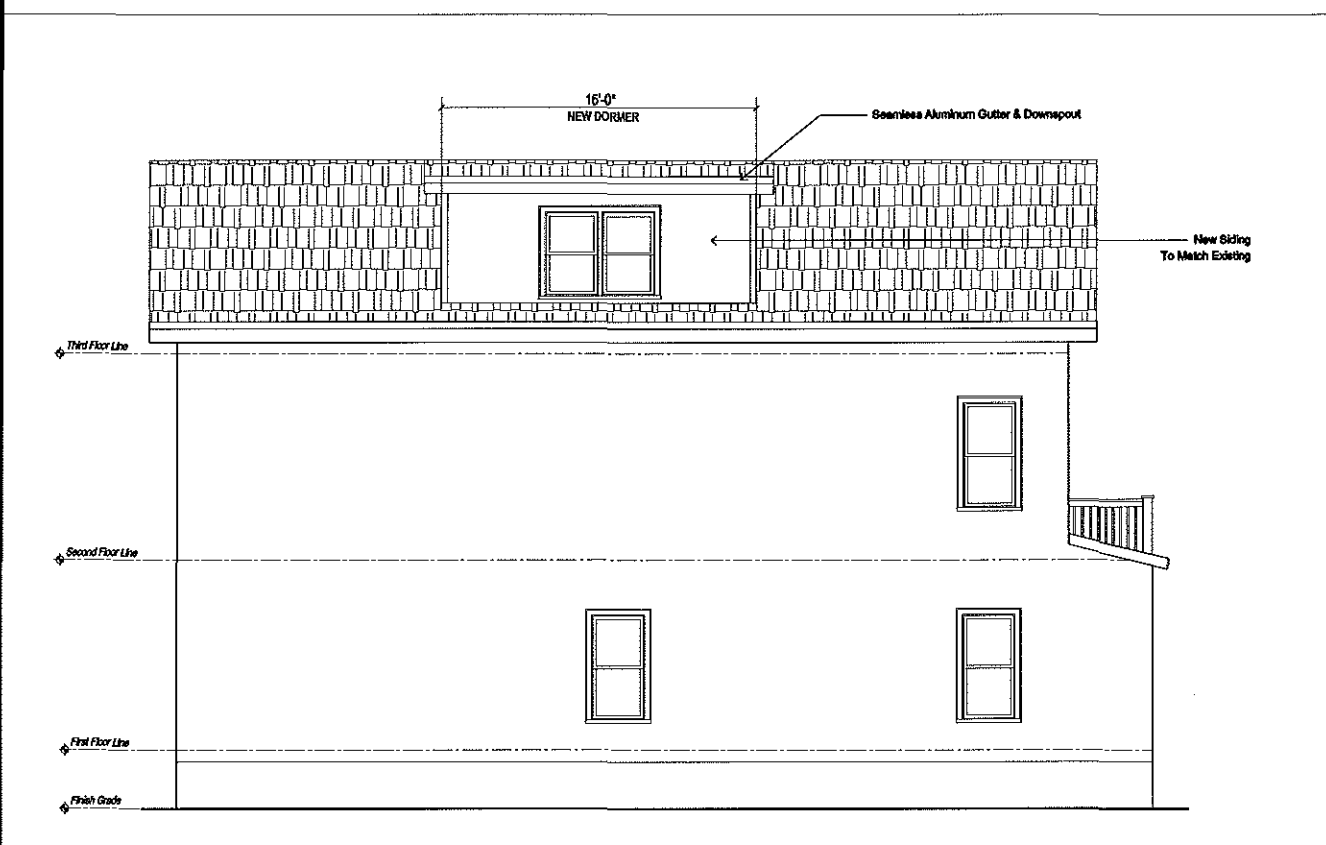
**A - 2**



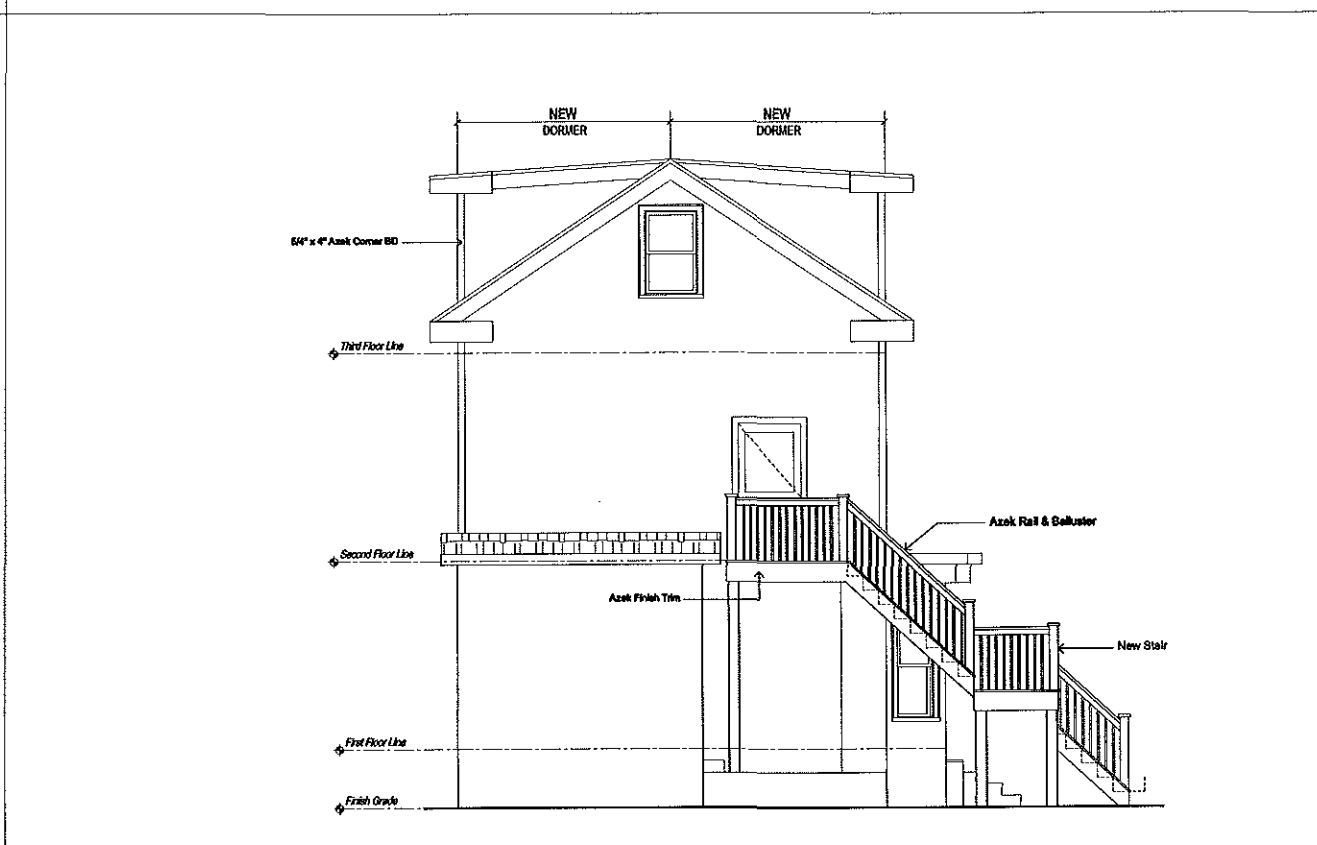
**1 Proposed South East Elevation**  
1/4" = 1'-0"



**3 Proposed North East Elevation**  
1/4" = 1'-0"



**2 Proposed North West Elevation**  
1/4" = 1'-0"



**4 Proposed South West Elevation**  
1/4" = 1'-0"



**LUNA  
DESIGN  
GROUP**

100 Conifer Hill Drive  
Suite 406, Danvers, MA 01923  
781.245.6530 fax: 781.245.6508  
www.lunadesign.com  
Architecture Interiors Planning

Consult:

These drawings are provided as a service to the client. They are not to be used for any other purpose without the written consent of Luna Design Group. The client shall be responsible for obtaining all necessary permits and approvals. The client shall be responsible for obtaining all necessary permits and approvals. The client shall be responsible for obtaining all necessary permits and approvals.

Owner:

Project:

**Barnes Residence**

**151 Clark St.**  
Cambridge, Massachusetts 02139

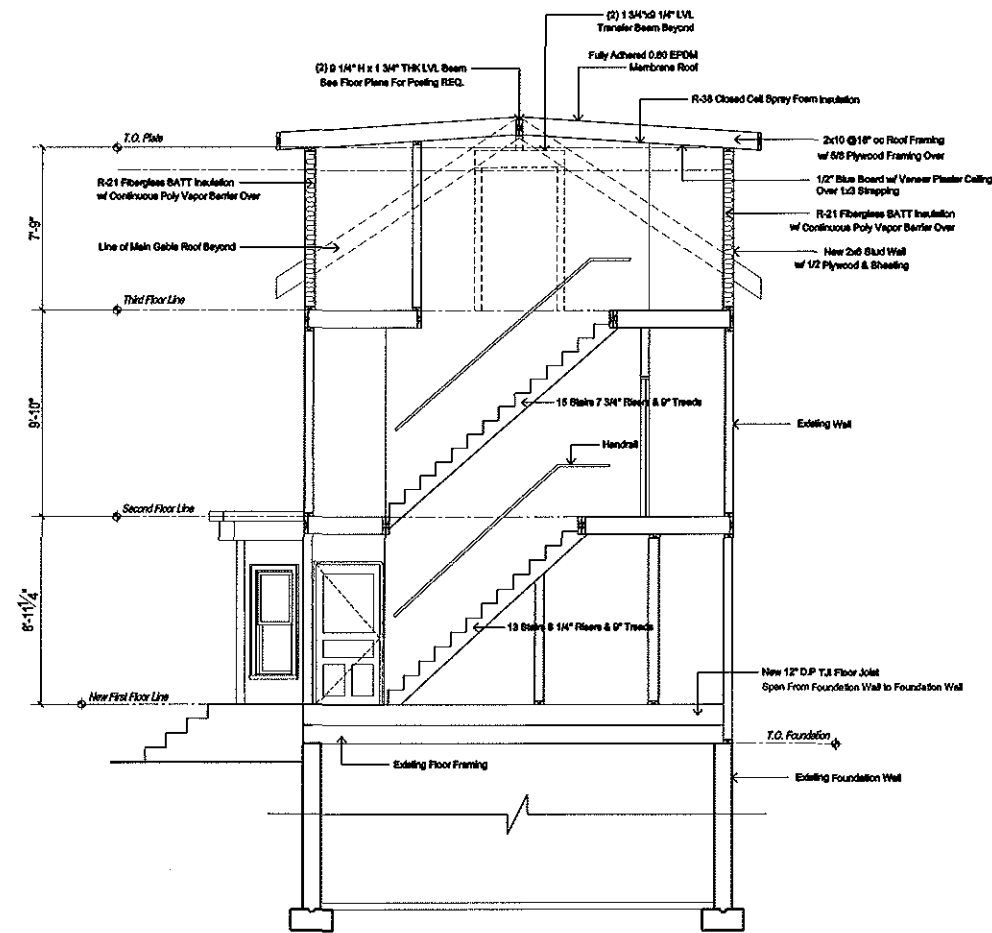
Local Plot:

No.	Date	Revision/Issue

Date  
Dec. 28, 2016  
Scale  
As Noted  
Job No.  
R0610010a  
TJS

Proposed Cross Section

**A - 3**



**1 Proposed Cross Section**  
1/4" = 1'-0"



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DESIGN  
GROUP**

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Architecture Interiors Planning

Contract:

This CD set is intended for use in the field only. The architect is not responsible for the construction of the building. The contractor is responsible for the construction of the building. The architect is not responsible for the construction of the building.

Owner:

Project:

**Barnes Residence**

**151 Clark St.  
Cambridge, Massachusetts 02139**

Location:

No.	Date	Revision/Issue

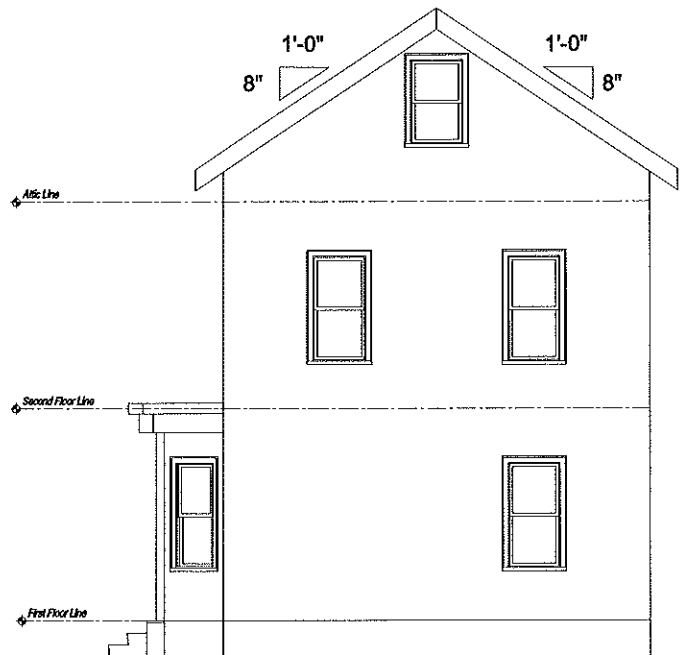
Date  
Nov. 8, 2016  
Scale  
As Noted  
JOB No.  
ROB18019a  
File

**ELEVATIONS**

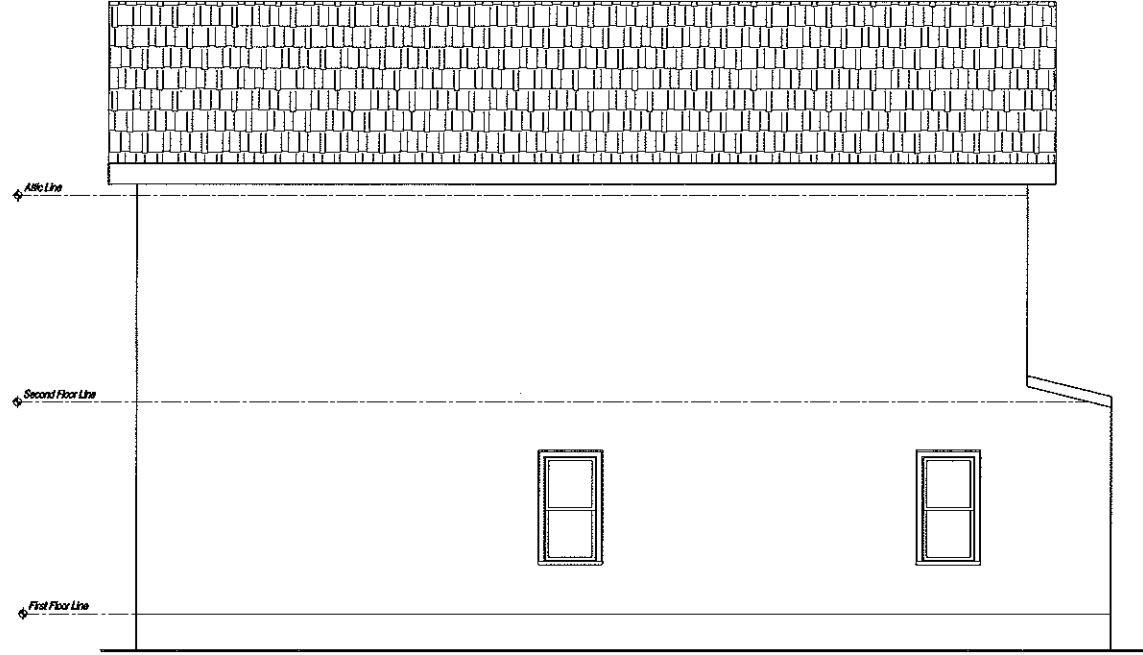
**E - 2**



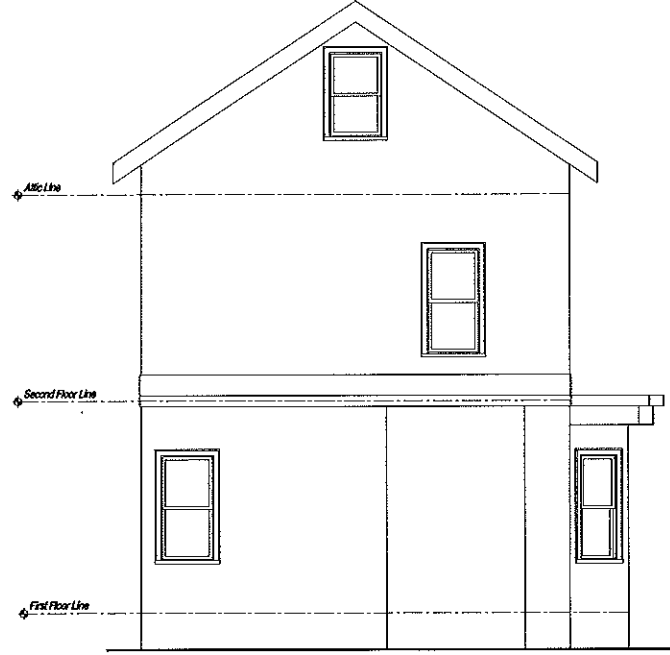
**1 South East Elevation**  
1/4" = 1'-0"



**3 North East Elevation**  
1/4" = 1'-0"



**2 North West Elevation**  
1/4" = 1'-0"



**4 South West Elevation**  
1/4" = 1'-0"



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

BZA

## POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Sean D. Hgo Date: 1/27/2017  
(Print)

Address: 151 Clark St. Case No. BZA-012378-2017

Hearing Date: 2/16/17

Thank you,  
Bza Members



# CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2<sup>nd</sup> Floor, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

William B. King, *Chair*, Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*

William G. Barry, Jr., Shary Page Berg, Robert G. Crocker, Chandra Harrington,

Jo M. Solet, *Members*; Joseph V. Ferrara, Kyle Sheffield, Susannah Barton Tobin, *Alternates*

## Jurisdiction Advice

To the Owner of Property at 151 Clark Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District  
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: \_\_\_\_\_  
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition. No demolition permit anticipated for dormer.**
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.  
Staff comments: \_\_\_\_\_

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

**If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.**

CHC staff initials SLB

Date January 17, 2017

Received by Uploaded to Energov

Date January 17, 2017

Relationship to project BZA 12378-2017

cc: Applicant  
Inspectional Services Commissioner

## Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission  
831 Massachusetts Ave., 2<sup>nd</sup> Fl.  
Cambridge, MA 02139  
Ph: 617/349-4683 or TTY: 617/349-6112  
<http://www.cambridgema.gov/Historic>