

BZA Application Form

BZA Number: 151499

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

2021 OCT 29 PM 1:04
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

PETITIONER: Paul Boyd C/O Adam J. Glassman, R.A.

PETITIONER'S ADDRESS: 2 Worthington Street , Cambridge , MA 02138

LOCATION OF PROPERTY: 152 Pearl St , Unit 5 , Cambridge, MA

TYPE OF OCCUPANCY: Residential

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/4th Floor Roof Deck Addition /

DESCRIPTION OF PETITIONER'S PROPOSAL:

New 4th floor roof deck addition with 48" tall guardrails.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).

Original
Signature(s):

Adam J. Glassman

(Petitioner (s) / Owner)

Adam J. Glassman

(Print Name)

Address:

Tel. No. 617-412-8450

E-Mail Address: ajglassman.ra@gmail.com

Date: 10/28/2021

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Paul Boyd

Present Use/Occupancy: Residential

Location: 2 Worthington Street

Zone: Residence C-1 Zone

Phone: 617-412-8450

Requested Use/Occupancy: Residential

	<u>Existing</u> <u>Conditions</u>	<u>Requested</u> <u>Conditions</u>	<u>Ordinance</u> <u>Requirements</u>	
<u>TOTAL GROSS</u> <u>FLOOR AREA:</u>	6,199.00	6,555.00	1,991.00	(max.)
<u>LOT AREA:</u>	2,655.0	2,655.0	5,000.0	(min.)
<u>RATIO OF GROSS</u> <u>FLOOR AREA TO</u> <u>LOT AREA: ²</u>	2.33	2.46	.75	
<u>LOT AREA OF</u> <u>EACH DWELLING</u> <u>UNIT</u>	442.00	No Change	1,500.00	
<u>SIZE OF LOT:</u> WIDTH	50.0	No Change	50.0	
DEPTH	53.0	No Change	NA	
<u>SETBACKS IN FEET:</u> FRONT	8.0'	31.5' from proposed deck to street	10.0'	
REAR	5.1'	5.1'	20.6'	
LEFT SIDE	4.5'	4.5'	16.5'	
RIGHT SIDE	5.6'	5.6'	16.5	
<u>SIZE OF BUILDING:</u> HEIGHT	42.3'	39.0 +/- TO TOP OF GUARDRAIL	35.0'	
WIDTH	51.5'	No Change	NA	
<u>RATIO OF USABLE</u> <u>OPEN SPACE TO</u> <u>LOT AREA:</u>	0%	13.4%	15% Usable Open Space	
<u>NO. OF DWELLING</u> <u>UNITS:</u>	6	No Change	1	
<u>NO. OF PARKING</u> <u>SPACES:</u>	0	0	6	
<u>NO. OF LOADING</u> <u>AREAS:</u>	NA	NA	NA	
<u>DISTANCE TO</u> <u>NEAREST BLDG.</u> <u>ON SAME LOT</u>	NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Existing structure is wood frame, new deck would be wood frame, there are no other structures on the lot.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the ordinance would prevent the owners from being able to safely utilize the modest roof area to which they have exclusive use right and currently use as their only outdoor space. At this time the roof has on its right side an extremely unsafe rope railing system with decaying planter boxes which have fallen into disrepair, and there is no guardrail whatsoever on the left side. In addition to adding proper and code compliant guardrails along the perimeter of the flat roof area, the owners also need to protect the rubber roof membrane with a proper deck system. As the property has no functionally useable open space, their roof area is the only outdoor space they can enjoy, and with both owners working more hours from home due to Covid and the associated changing work practices, their roof area is an amenity they rely on more and more for outdoor space. The minimal work required to make their roof area safe for use and provide proper roof protection requires zoning relief. Additionally, without the construction of proper guardrails around the perimeter of the flat roof section of their property, the condo association is struggling to find a new master insurance policy. As the owners contemplate having children the need for proper decking and a code compliant guardrail system is even more important.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The 2,655 SF lot is very small and nonconforming due to setbacks, building height and FAR. Not even the most modest exterior work can be done to their area of the roof of this structure without the need for zoning relief.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The character and scale of the existing building will not change, the proposed deck and railings cannot be seen from Pearl Street and the view from Valentine Street is very distant and very limited. The new work will remain well under the existing building highpoints, there will be no increase to the non-conforming setbacks. There will be no loss of street parking, and the 1% increase in FAR per the 4th story roof deck is negligible. 356.0 SF of useable open space will be added to a property that currently has 0 SF of useable open space.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Adding decking and guardrails to the area of the roof to which the owners already enjoy exclusive rights will not pose potential loss of privacy for any of their abutters. Additionally, the proposed roof deck would be smaller than the total roof area the owners are currently allowed to occupy per the condo deed as the proposed design will remove the existing rope railings and planters and install the new guardrails 14" away from the edge of the roof where the rope railing and planters are currently located, thus reducing the total footprint of the occupiable area. There will be no increase in noise, there will no shadows cast on the abutting properties. The proposed work is a modest but important set of improvements to what are currently unsafe and improper conditions for an occupiable roof

space and for the safety of those performing roof related maintenance. All work will be consistent with the character of the building and the neighborhood. All direct abutters and co-owners within the building support this petition for zoning relief.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Campbell H. Ellsworth
146-148 Pearl Street (currently under construction)
(currently residing at 267 Norfolk Street)
Cambridge, MA 02139

December 13, 2021

To the Board of Zoning Appeals

I am a direct abutter to the petitioner's proposed project at 152 Pearl. I am building a house for my family at 146-148 Pearl Street, one structure away from 152 Pearl, to the north east. My building envelope, which has been designed and built as-of-right, is 7.5 feet from my property line. The plane of the petitioner's building that they are requesting to enlarge, is only 4.5' from their property line, a non-conforming dimension. Therefore, the petitioner is requesting to extend a non-conforming aspect of their structure, in both setbacks and height. I am affected by the work that the petitioner is proposing, and I have concerns about the impact that their project will have on my property with regard to both privacy and light. I object to the work as it is currently proposed.

Let me also state that I am supportive of families that wish to invest in their properties, to take advantage of unused or underutilized space, and to provide needed amenities for their families.

ISSUES OF FACT:

There are a number of items in the Petitioner's Dimensional Form, and Supporting Statement, that I wish to comment on and/or correct. I offer a corrected dimensional form attached.

DIMENSIONAL INFORMATION

- 152 Pearl Street is in the C zone. It is not in the C-1 zone as is stated in the Dimensional Form, and as has been advertised in the legal notice. This clarification is based on the Base Zoning Map that is available online from the City.
- This change in zone affects the calculations on the Dimensional Form. I offer a corrected dimensional form here.
- The petitioner's calculation of the added GFA appears not to include the approximately 64 SF of the stairs themselves, which would need to be included if the 4th floor deck becomes habitable. My calculations indicated that instead of the petitioner's 356 adder SF of GFA, that the number is more like 420. This increase changes some of the calculations, as seen in the dimensional form.
- The number of units in the building is 5, and not 6.
- The number of parking spaces in the building is 1, and not 0.

SUPPORTING STATEMENT FOR A VARIANCE

Below are sections from the Supporting Statement, with comments:

Supporting Statement: C, 1: “the proposed deck and railings cannot be seen from Pearl Street”	This is not true. The proposed addition of the deck and railings will be seen from Pearl Street, from both the left and right sides of the building. See PHOTO SHEET 1.
Supporting Statement: C, 1: “the view from Valentine Street is very distant and very limited”	This is a value judgement, but I offer a photograph, with the proposed deck, on PHOTO SHEET 2. Given that 152 Pearl Street is only one structure from the corner of Pearl and Valentine, and the fact that the corner property at 156 Pearl Street is very low, the addition of a 4th floor deck will be very visible.
Supporting Statement: C, 1: The new work will remain well under the existing building highpoints	This statement appears slightly misleading. The “existing building highpoint” is the height of the rear stair headhouse, which is a piece of the structure that would normally <u>not</u> be included in the building height if it were used <u>ONLY</u> to access mechanical equipment or roof access. As soon as it is intended to access habitable space, it would count in the zoning controlled building height (and GFA). By granting a variance to an accessible deck with the addition of deck railings, the BZA is also granting a variance for the habitability and the height of the stair tower, at 42'-3".
Supporting Statement: C, 1: there will be no increase to the non-conforming setbacks	True, but, I would ask that the BZA not allow for a continuation of a non-conforming setback. There are better solutions.
Supporting Statement: C, 1: “and the 1% increase in FAR per the 4th story roof deck is negligible.”	True that the FAR only goes up by just over 1%. But the GFA is going up by 5.74% (6,555 SF / 6,199 SF). However the declared 356 SF increase seems to include only the new deck surface. If this deck is allowed to be habitable space (GFA) then the stair plan itself, at approximately 64 SF would also have to be included in the request. This brings the requested GFA increase to 420SF, or an increase of 6.78% over the original 6,199 SF of the building.
Supporting Statement: C, 2: there will no shadows cast on the abutting properties	Not true. Shadows will be cast on my property by the Petitioner's new deck.
Supporting Statement: C, 2: All direct abutters and co-owners within the building support this petition for zoning relief	Not true. I have concerns about the project as it affects my privacy and light, and the precedent it sets for the City.

CONCLUSION:

Our own needs: privacy and light:

As I wrote above, I am supportive of individuals and families making use of their available space. However, to protect our privacy and our sun, I would like to request a diminution of the size of the deck. See **PLAN SUGGESTION**, attached.

And to ensure that future shading is not increased, if the application passes, I would request that any non-habitable space close to our structure, not be filled up with temporary planters that create additional shading on our building.

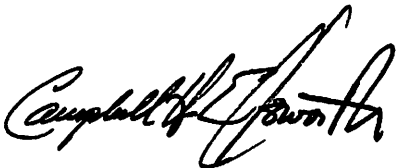
An additional specific concern; a question for the BZA:

If the desired relief is granted and the roof, or part of the roof, is deemed habitable, and therefore the SF added to the existing GFA, what is keeping the petitioner from covering the deck at any point in the future? This might be either open trellis or pergola, or could be fully covered, and the height of that covering would still not exceed the height of the existing stair headhouse. This would potentially increase the amount of shading that would occur on my home. I would request that, if any relief is granted for a habitable deck that it be written that the deck will not be covered, now or in the future.

A general concern for the City:

I believe that by granting this variance that the City may be opening itself up to an abundance of variance requests. There are many 3 story buildings with rubber roofs that also have headhouses to access the roof for maintenance. By granting habitable GFA above the specific zone height limit will set a bad precedent.

Sincerely,



Campbell H. Ellsworth

EXHIBITS

- DIMENSIONAL FORM, corrected
- PHOTO SHEET #1, Views from Pearl Street
- PHOTO SHEET #2, Views from Valentine Street
- UPDATED FRONT ELEVATION
- REAR ELEVATIONS, showing our adjacent property,
- PLAN SUGGESTION

BZA Application Form**DIMENSIONAL INFORMATION**Applicant: Paul BoydPresent Use/Occupancy: Residential**"C" ZONE**Location: 2 Worthington StreetZone: Residence C-1 ZonePhone: 617-412-8450Requested Use/Occupancy: Residential**WHEN STAIR PLAN @ 4TH FLOOR
(ROOF) IS INCLUDED**

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	6,199.00	6,555.00 6,619	1,991.00 1,593	(max.)
<u>LOT AREA:</u>	2,655.0	2,655.0	5,000.0	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	2.33	2.46 2.49	.75 0.60	
<u>LOT AREA OF EACH DWELLING UNIT</u>	442.00 531	No Change	1,500.00 1,800	
<u>SIZE OF LOT:</u>				
WIDTH	50.0	No Change	50.0	
DEPTH	53.0	No Change	NA	
<u>SETBACKS IN FEET:</u>				
FRONT	8.0'	31.5' from proposed deck to street	10.0'	
REAR	5.1'	5.1'	20.6'	
LEFT SIDE	4.5'	4.5'	16.5'	
RIGHT SIDE	5.6'	5.6'	16.5	
<u>SIZE OF BUILDING:</u>				
HEIGHT	42.3'	39.0 +/- TO TOP OF GUARDRAIL	35.0'	
WIDTH	51.5'	No Change	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	0%	13.4%	15% Usable Open Space	36% = 956SF
<u>NO. OF DWELLING UNITS:</u>	6 5	No Change	1	
<u>NO. OF PARKING SPACES:</u>	0 1	0 1	6 5	
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Existing structure is wood frame, new deck would be wood frame, there are no other structures on the lot.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

DECK WILL BE VISABLE FROM PEARL STREET



152 Pearl Street, LEFT SIDE, with proposed deck visible

DECK WILL BE VISABLE FROM PEARL STREET



152 Pearl Street, RIGHT SIDE, with proposed deck visible

PHOTO SHEET #1
VIEWS FROM PEARL STREET

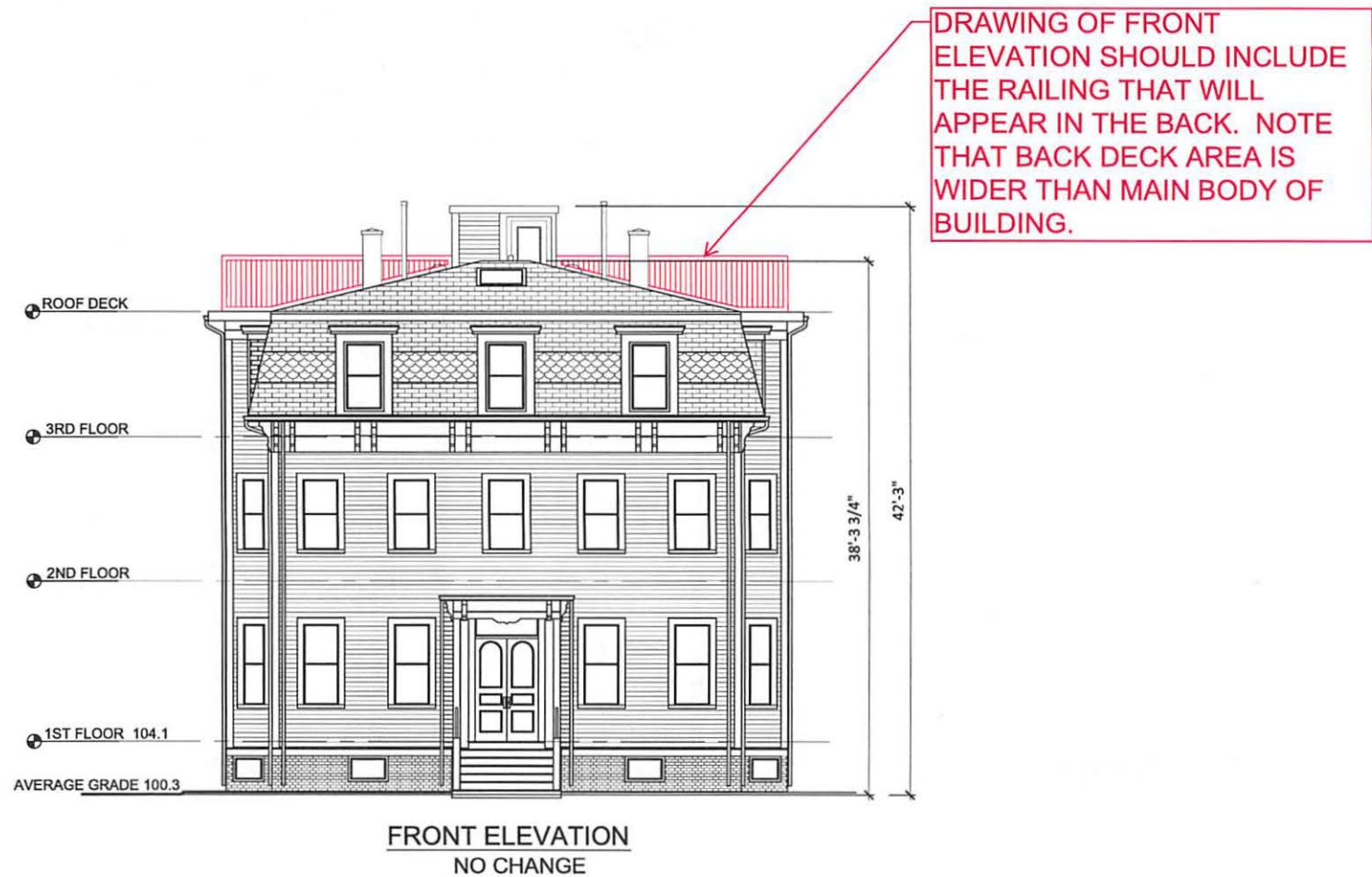


152 Pearl Street, VIEW FROM VALENTINE ST, Without railing



152 Pearl Street, VIEW FROM VALENTINE ST, With railing

PHOTO SHEET #2
VIEW FROM VALENTINE STREET



PROJECT:
PROPOSED ROOF
DECK ADDITION

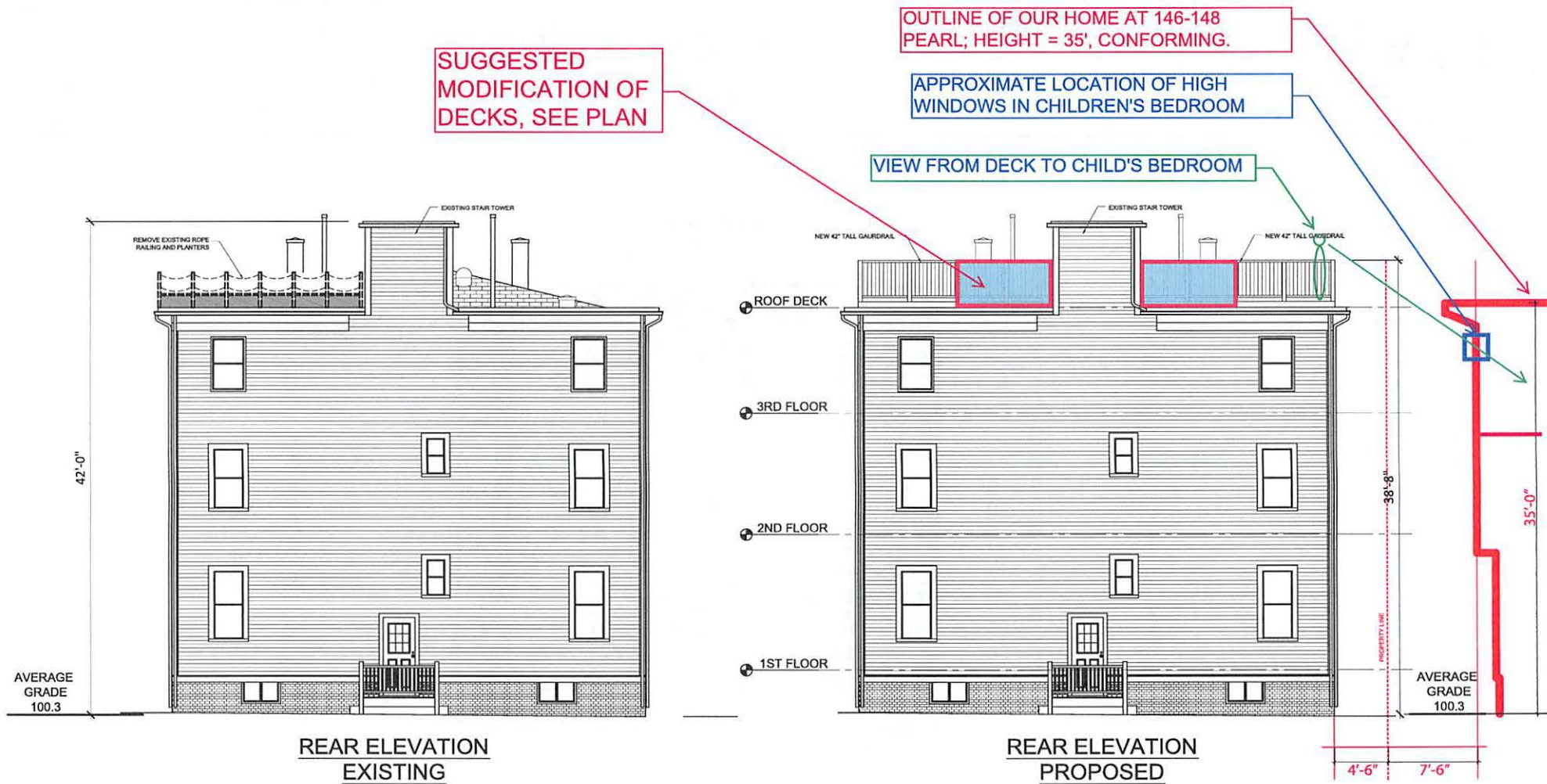
152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
GCD ARCHITECTS
2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**PROPOSED
DECK ELEVATIONS**

DATE:
9/08/2021

DRAWING:
A2.1



PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
GCD ARCHITECTS
2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**PROPOSED
DECK ELEVATIONS**

DATE:
9/08/2021

DRAWING:
A2.2

LOT SIZE: 2,655.00 SF

MAX FAR ALLOWABLE: .75 per Res C-1

FAR EXISTING: 6,199.0 GFA ENTIRE BUILDING / 2,655 SF LOT = 2.33

FAR PROPOSED: 6,199.0 GFA + 356.0 SF ROOF DECK = 6,555.0 GFA / 2,655 SF LOT = 2.46

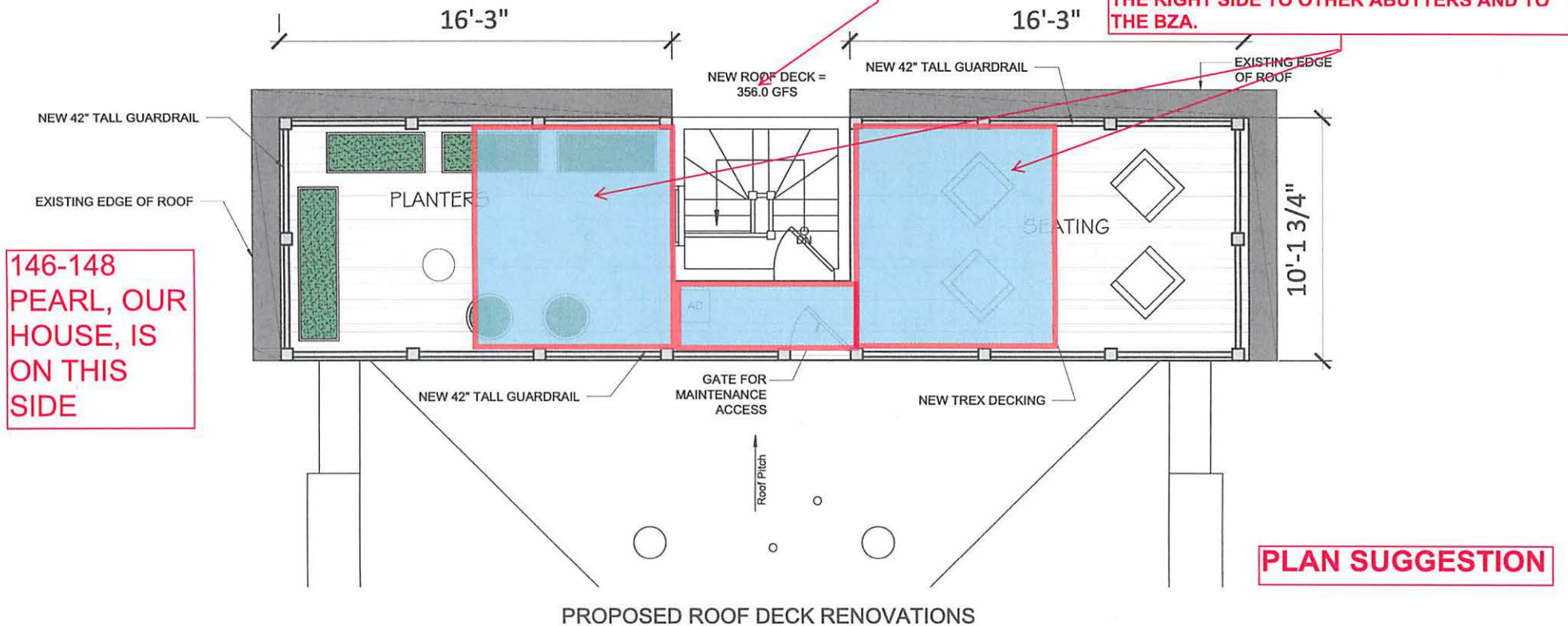
FAR ALLOWABLE 2,655 SF LOT x .75 = 1,991.0 GFA

USABLE OPEN SPACE: 356.0 GFA ROOF DECK / 2,655.0 SF LOT = 13.4%

This amount, 356 SF seems not to include the area of the stairs, which I estimate to be approx 8' x 8', or an additional 64 SF. If so, the total is not 356 SF but 420, as the stairway to the roof, which would normally not have been included in the GFA, is now required to be included.

WE SUGGEST REDUCING THE SIZE OF THE DECKS LEFT AND RIGHT OF THE STAIR TOWER, TO APPROXIMATELY HALF OF THEIR EXISTING SIZE.

THIS WILL ENSURE PRIVACY FOR US AND OTHER ABUTTERS, AND NO ADDITIONAL SHADING ON OUR HOUSE. AS OUR HOUSE IS AFFECTED SOLELY BY THE LEFT SIDE DECK OF THIS DRAWING, WE LEAVE THE JUDGEMENT OF THE RIGHT SIDE TO OTHER ABUTTERS AND TO THE BZA.



PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

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Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**PROPOSED
ROOF DECK ENLARGED PLAN**

DATE:
9/08/2021

DRAWING:
A1.3



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ADAM GLOSSMAN Date: 11/23/21
(Print)

Address: 152 Pearl St.

Case No. BZA-151499

Hearing Date: 12/16/21

Thank you,
Bza Members

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.


I/We Justin Chen
(OWNER)

Address: 152 Pearl St. #5, Cambridge, MA 02139

State that I/We own the property located at 152 Pearl St. #5, Cambridge, MA 02139,
which is the subject of this zoning application.

The record title of this property is in the name of Justin Chen

*Pursuant to a deed of duly recorded in the date 08/09/2019, Middlesex South
County Registry of Deeds at Book 155, Page 43; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

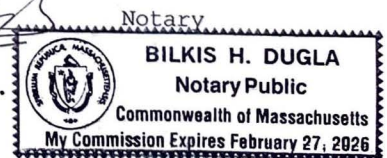

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

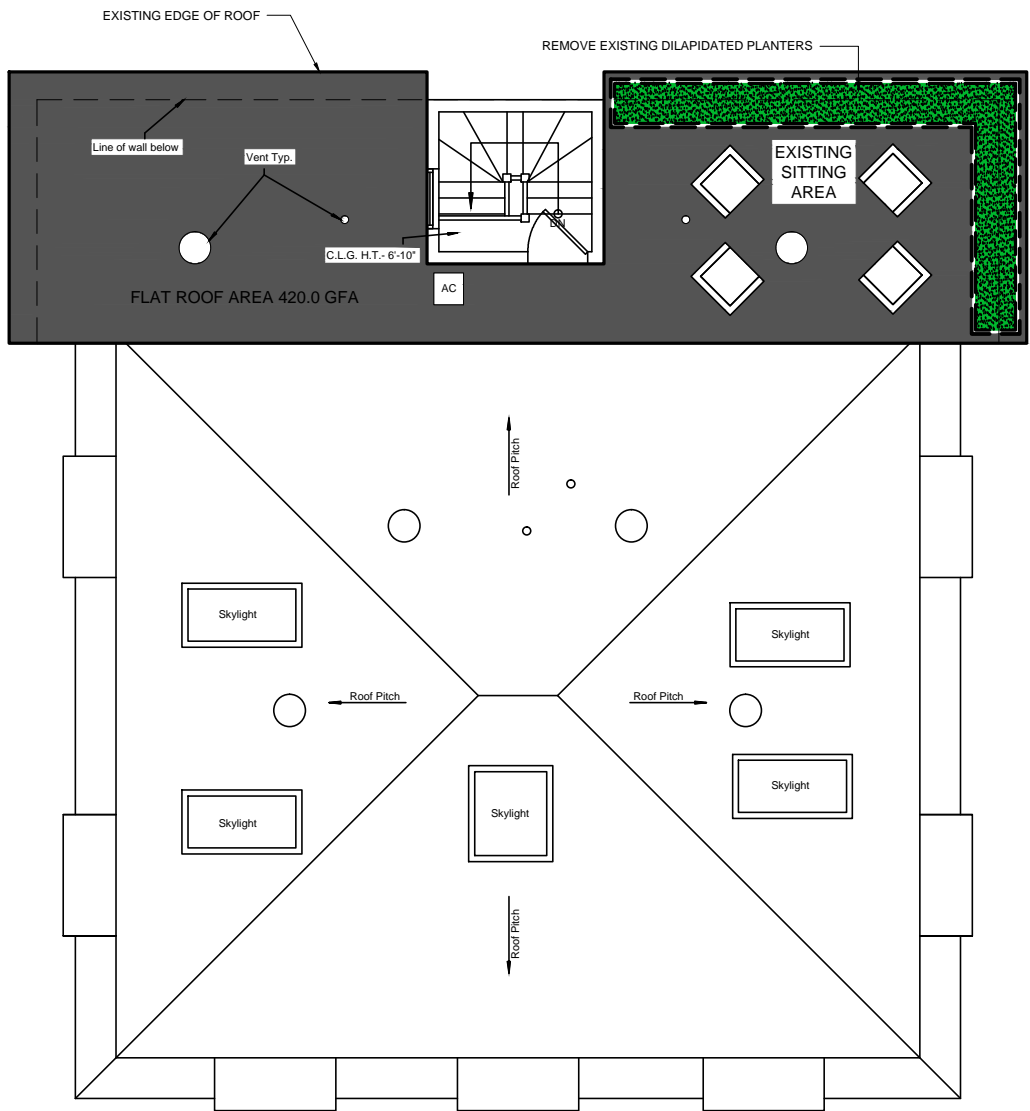
The above-name Justin Albert Chen personally appeared before me,
this 3rd of November 2021, and made oath that the above statement is true.

My commission expires Feb 27, 2026 (Notary Seal).

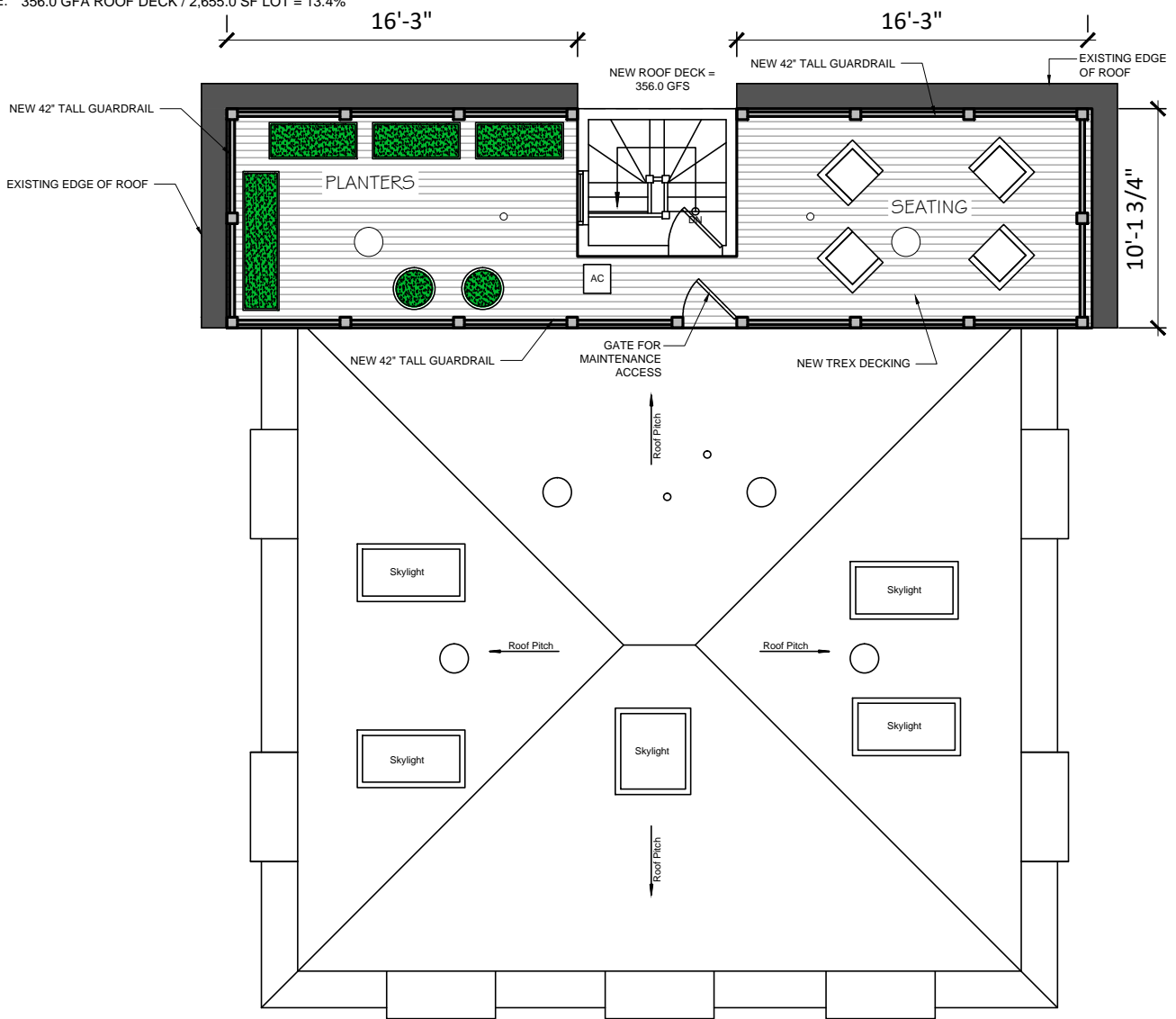


- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

LOT SIZE: 2,655.00 SF
MAX FAR ALLOWABLE: .75 per Res C-1
FAR EXISTING: 6,199.0 GFA ENTIRE BUILDING / 2,655 SF LOT = 2.33
FAR PROPOSED: 6,199.0 GFA + 356.0 SF ROOF DECK = 6,555.0 GFA / 2,655 SF LOT = 2.46
FAR ALLOWABLE 2,655 SF LOT x .75 = 1,991.0 GFA
USABLE OPEN SPACE: 356.0 GFA ROOF DECK / 2,655.0 SF LOT = 13.4%



EXISTING ROOF PLAN



PROPOSED ROOF DECK PLAN

PROJECT:
PROPOSED ROOF
DECK ADDITION

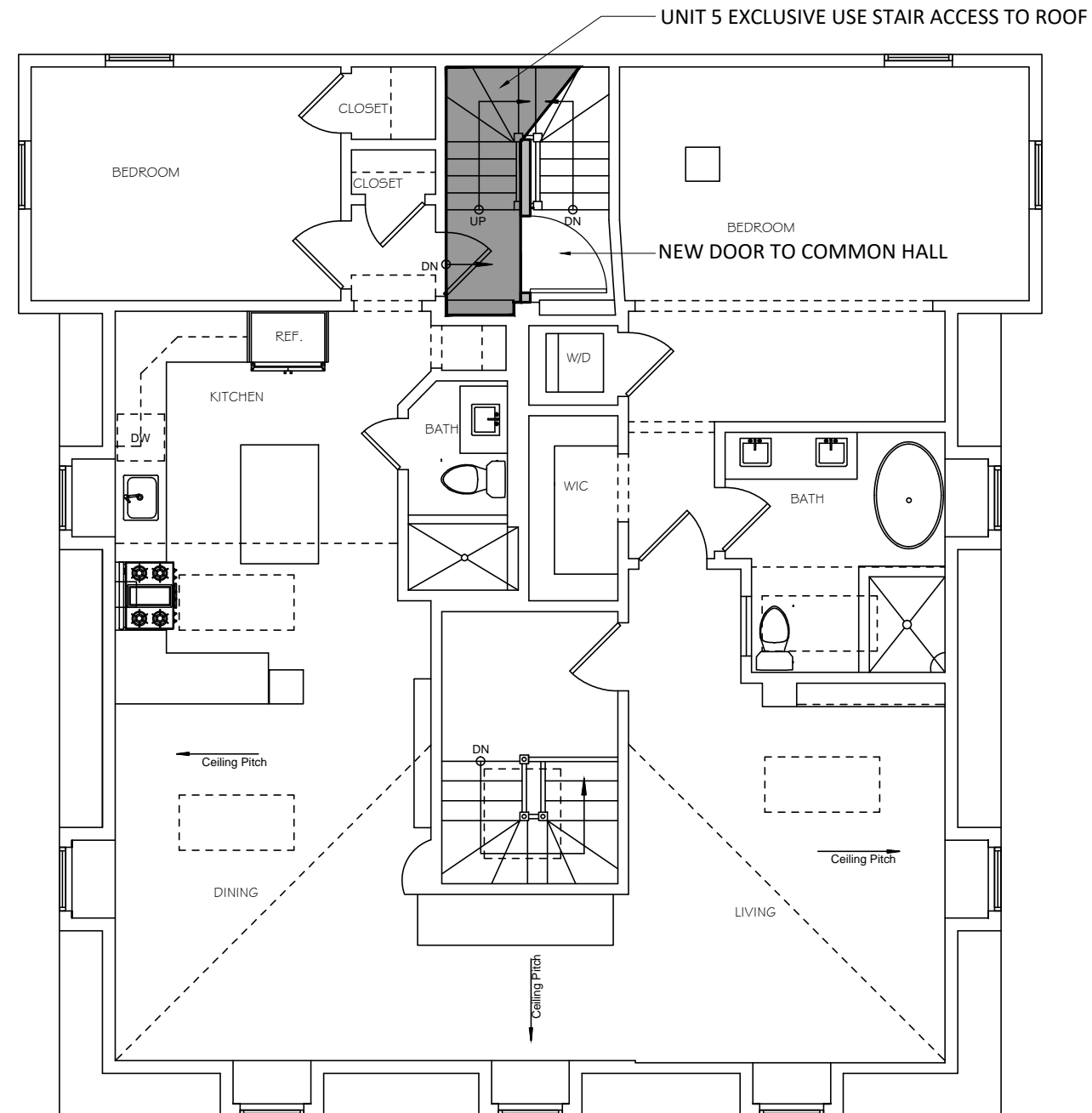
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TITLE:
**EXISTING AND PROPOSED
ROOF PLANS**

DATE:
9/08/2021

DRAWING:
A1.1



THIRD FLOOR PLAN - UNIT 5

PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
GCD ARCHITECTS

2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**PROPOSED
NEW DOOR TO COMMON STAIR**

DATE:
9/08/2021

DRAWING:
A1.2

LOT SIZE: 2,655.00 SF

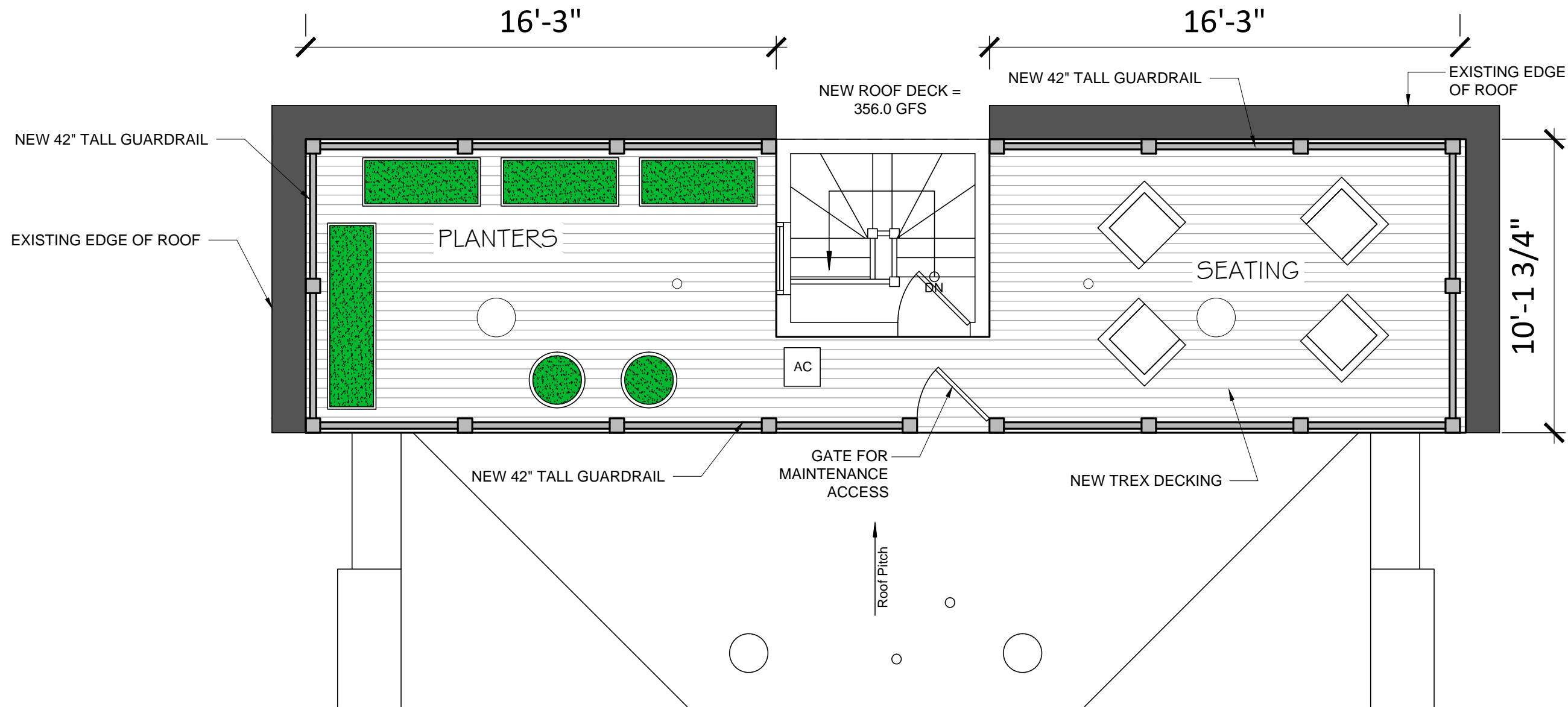
MAX FAR ALLOWABLE: .75 per Res C-1

FAR EXISTING: 6,199.0 GFA ENTIRE BUILDING / 2,655 SF LOT = 2.33

FAR PROPOSED: 6,199.0 GFA + 356.0 SF ROOF DECK = 6,555.0 GFA / 2,655 SF LOT = 2.46

FAR ALLOWABLE 2,655 SF LOT x .75 = 1,991.0 GFA

USABLE OPEN SPACE: 356.0 GFA ROOF DECK / 2,655.0 SF LOT = 13.4%



PROPOSED ROOF DECK RENOVATIONS

PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

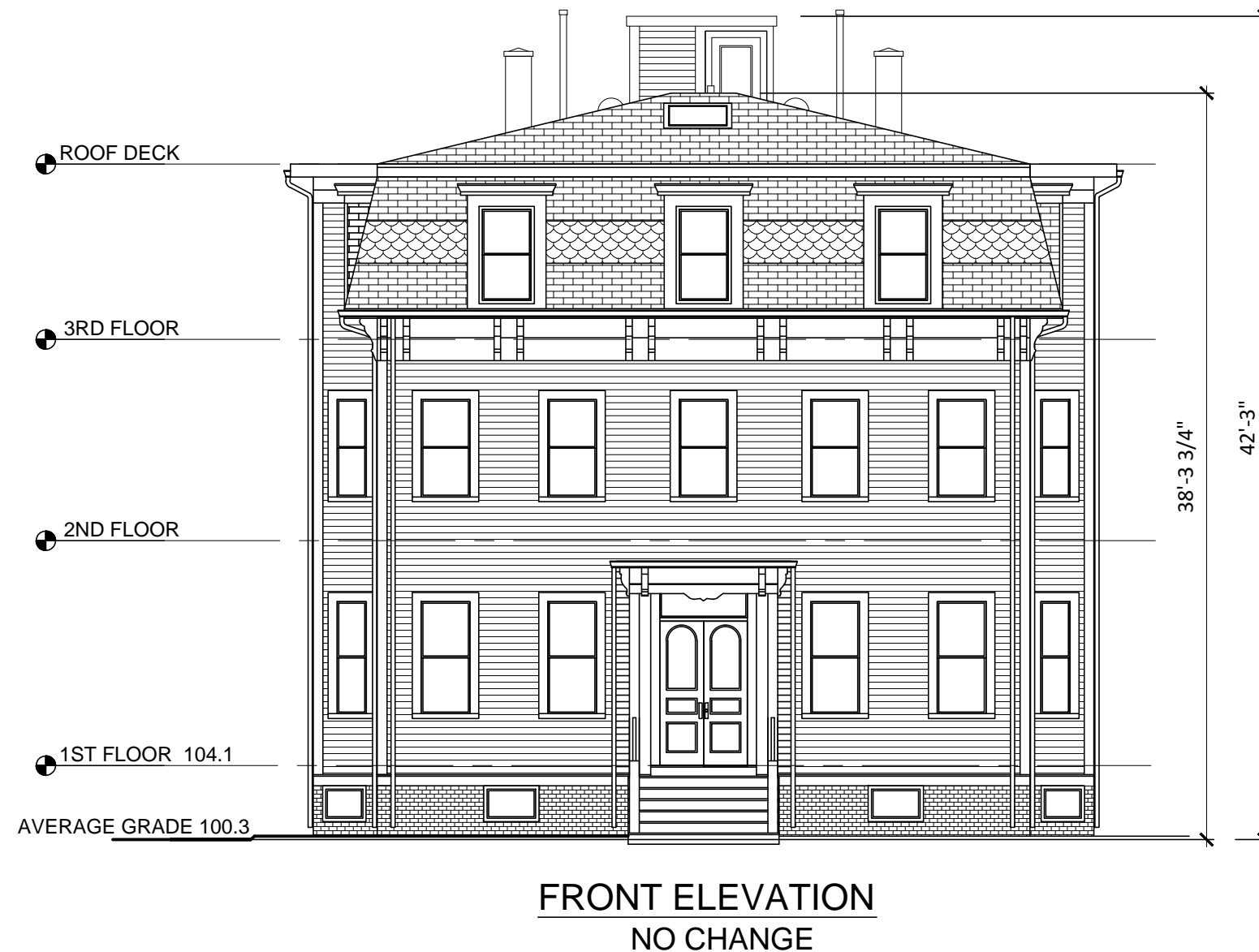
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TITLE:
PROPOSED
ROOF DECK ENLARGED PLAN

DATE:
9/08/2021

DRAWING:
A1.3



PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
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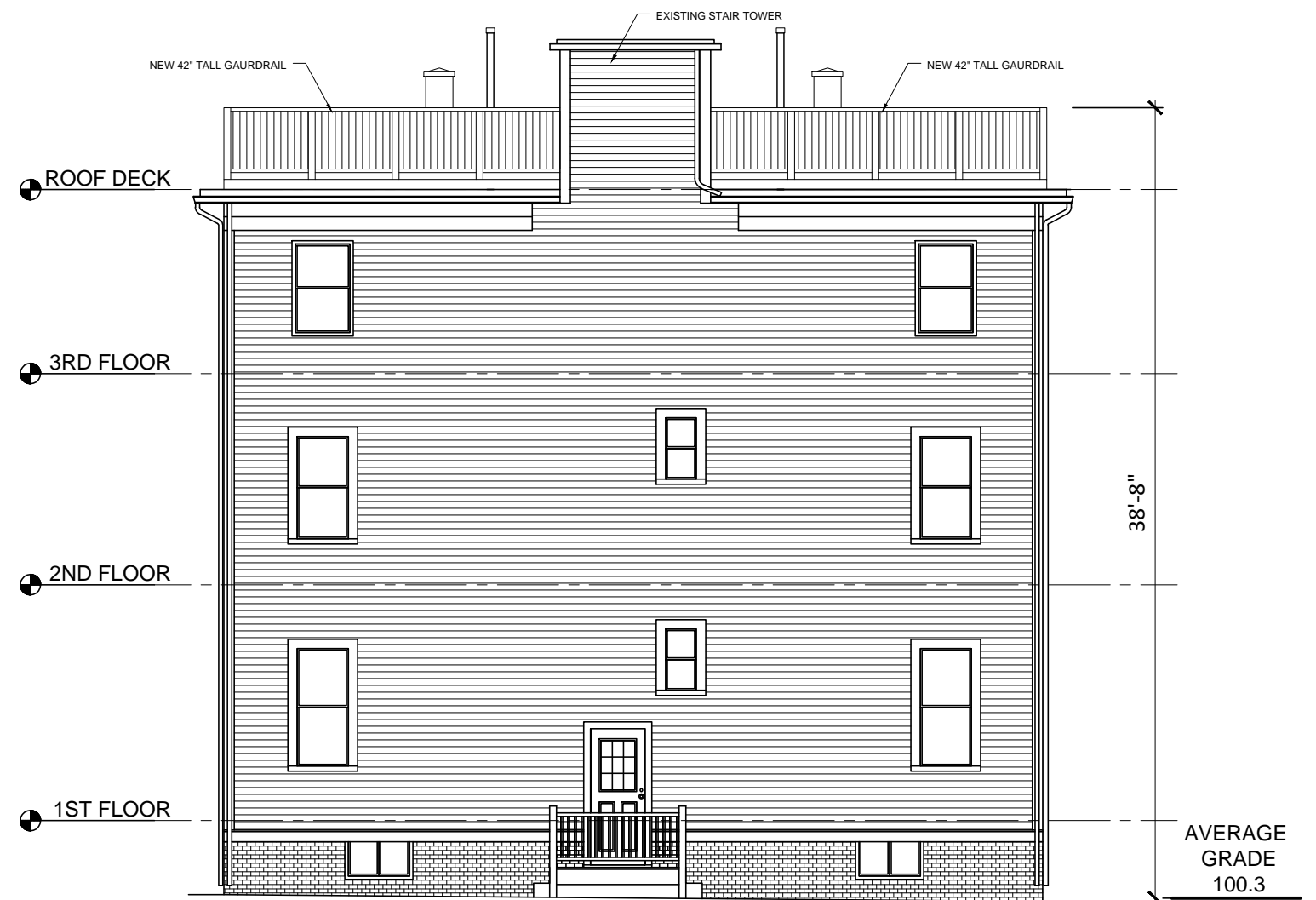
TITLE:
**PROPOSED
DECK ELEVATIONS**

DATE:
9/08/2021

DRAWING:
A2.1



REAR ELEVATION
EXISTING



REAR ELEVATION
PROPOSED

PROJECT:
PROPOSED ROOF
DECK ADDITION

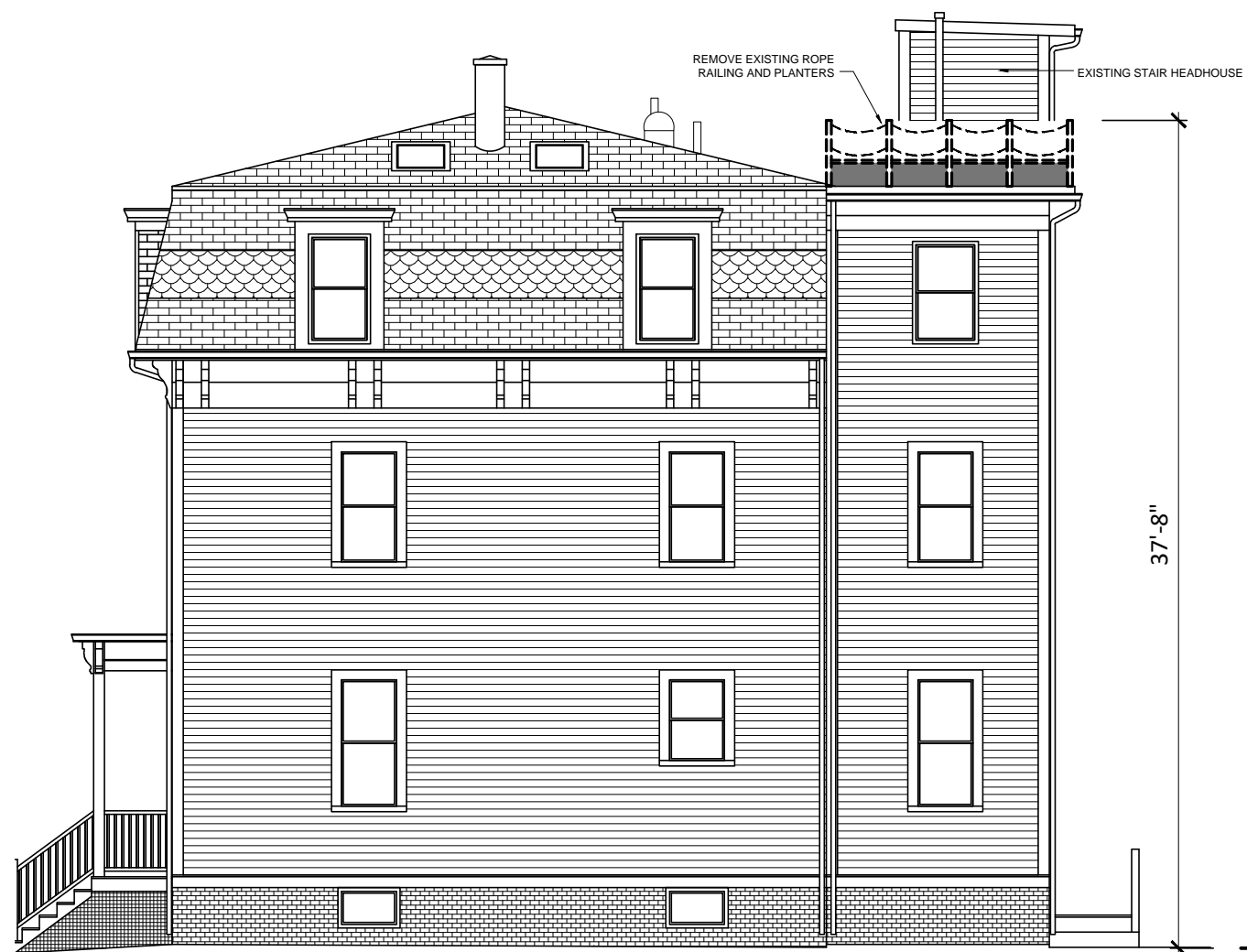
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TITLE:
**PROPOSED
DECK ELEVATIONS**

DATE:
9/08/2021

DRAWING:
A2.2



RIGHT ELEVATION
EXISTING



RIGHT ELEVATION
PROPOSED

PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
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ajglassman@hotmail.com
www.glassmanchungdesign.com

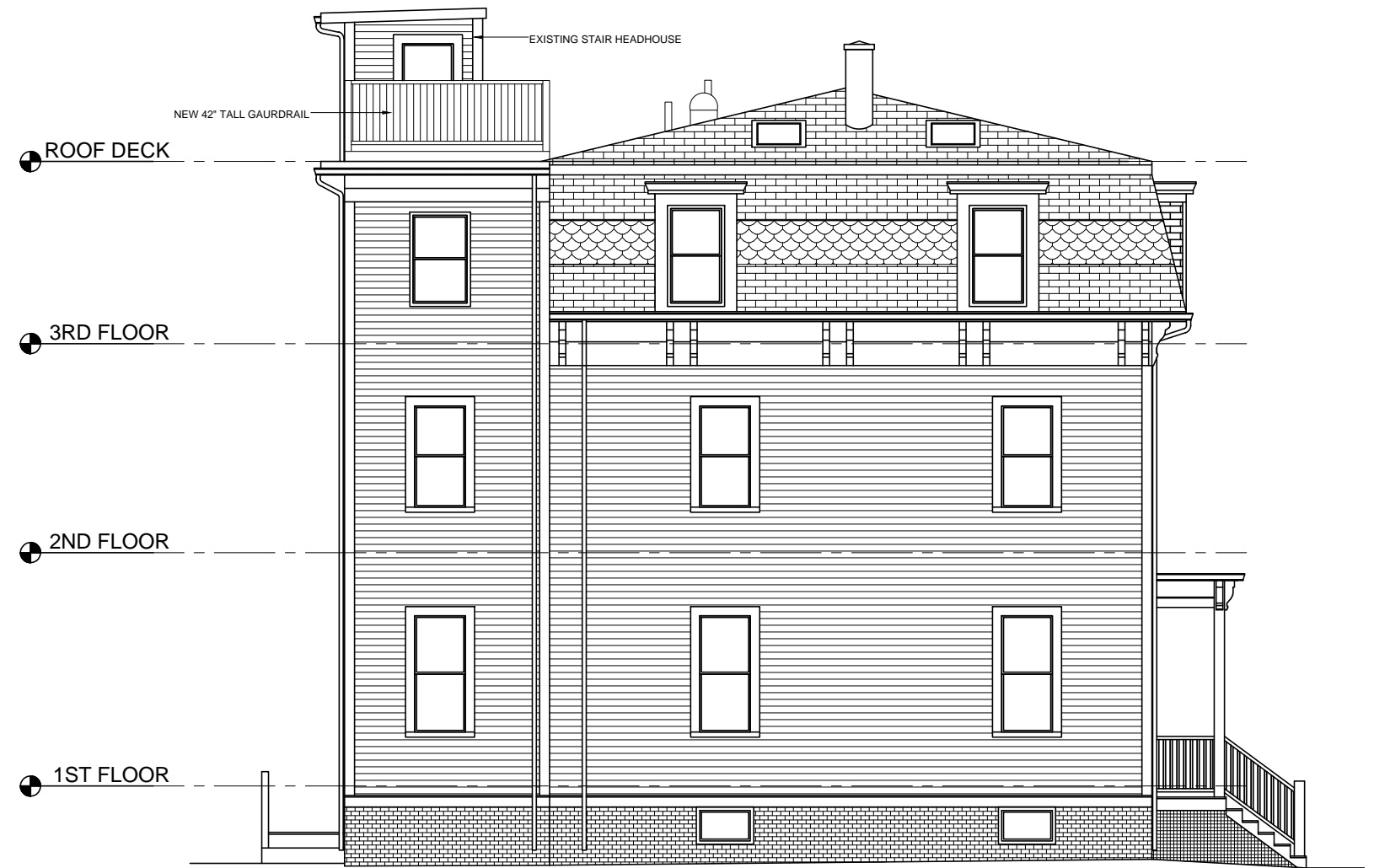
TITLE:
**PROPOSED
DECK ELEVATIONS**

DATE:
9/08/2021

DRAWING:
A2.3



LEFT ELEVATION
EXISTING



LEFT ELEVATION
PROPOSED

PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
GCD ARCHITECTS

2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**PROPOSED
DECK ELEVATIONS**

DATE:
9/08/2021

DRAWING:
A2.4

EXISTING LEGEND

	SEWER LINE
⊙	SEWER MANHOLE
—W—	WATER LINE
—G—	GAS LINE
—U—	UTILITY POLE
⊗	GAS VALVE
—E—	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
—O—	FENCE
—205—	CONTOUR LINE (MJR)
—195—	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
—T—	TREE

ZONING LEGEND

ZONING DISTRICT: RESIDENCE C-1 **			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	5,000 S.F.	2,655± S.F.	2,655± S.F.
MIN. LOT AREA PER DWELLING UNIT	1,00 S.F.	—	—
MIN. YARD FRONT (A)	19.0'	28.0'	28.0'
SIDE (RIGHT) (B)	16.5'	5.6'	5.6'
SIDE (LEFT) (B)	16.5'	4.5'	4.5'
REAR (C)	20.6'	5.1'	5.1'
MAX. BLDG. HEIGHT	35'	42.3'±	42.3'±
MIN. OPEN SPACE	15% USABLE	0% USBL	13% USABLE
MIN. LOT WIDTH	50'	50.0'	50.0'
MAX. F.A.R.	0.75	—	—

ZONING BYLAW FOOTNOTES:

** = THE DIMENSIONAL REQUIREMENTS OF THE RESIDENCE C-1 DISTRICT AS DETAILED IN THIS SECTION 5.31 SHALL APPLY IN THE RESIDENCE C DISTRICT FOR STRUCTURES IN EXISTENCE AS OF DECEMBER 1, 1986 UNDER THE FOLLOWING LIMITATIONS AND CONDITIONS:

(1) ANY INCREASE IN FLOOR AREA OR NUMBERS OF UNITS, PROVIDED ALL CONSTRUCTION OCCURS WITHIN THE LIMITS OF THE EXISTING STRUCTURE: OR

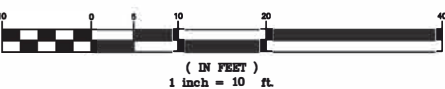
(2) FOR ANY CONSTRUCTION WITHOUT LIMIT AS TO COST (NOTWITHSTANDING ANY CONTRARY PROVISIONS OF SECTION 8.23) OF A NONCONFORMING STRUCTURE DESTROYED OR DAMAGED BY FIRE OR OTHER CATASTROPHE PROVIDED THE STRUCTURE AS RESTORED SHALL NOT BE GREATER IN LOT COVERAGE OR VOLUME, OR SHALL NOT EXTEND FURTHER INTO REQUIRED YARDS, THAN THE ORIGINAL STRUCTURE; ALL OTHER PROVISIONS OF SECTION 8.23, HOWEVER, SHALL CONTINUE TO APPLY.

(A) - $H+L/4$ = MEASURED FROM THE CENTERLINE OF THE STREET, BUT IN NO CASE MAY A BUILDING BE NEARER THE STREET THAN TEN (10) FEET.

(B) - $H+L/5$

(C) - $H+L/4$ = IN RESIDENCE C AND C-1 DISTRICTS, NO BUILDING MAY BE NEARER THE REAR LOT LINE THAN TWENTY (20) FEET PLUS ONE ADDITIONAL FOOT OF REAR YARD FOR EACH FOUR FEET THAT THE DEPTH OF THE LOT EXCEEDS 100 FEET, UP TO A MAXIMUM OF THIRTY (30) FEET.

GRAPHIC SCALE

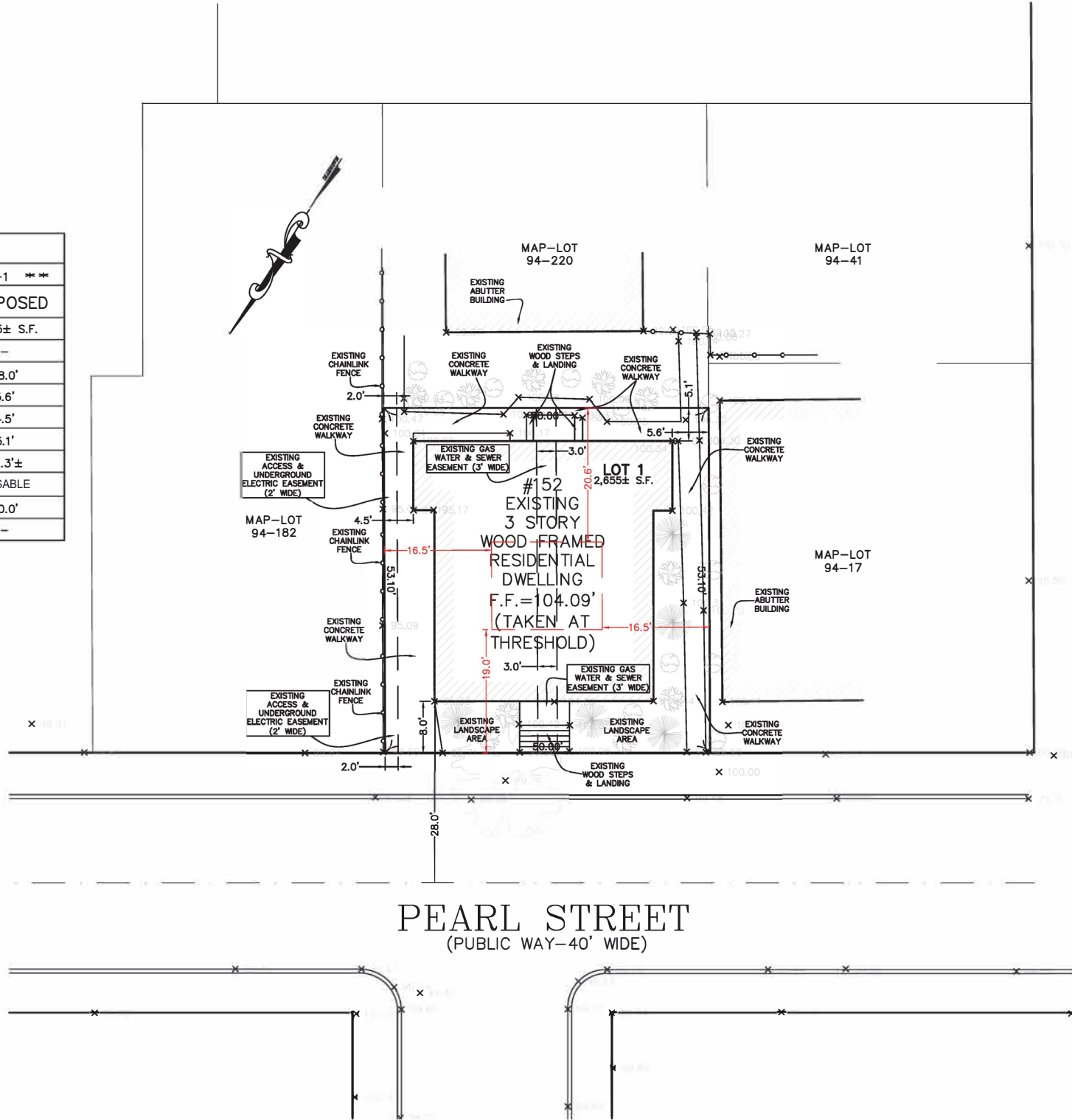


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NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 09/13/2021.

2. DEED REFERENCE: DOCUMENT #1352863 (LAND COURT)
PLAN REFERENCE: PLAN #8756-A & #8756-B
MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.

3. THIS PLAN IS NOT INTENDED TO BE RECORDED.

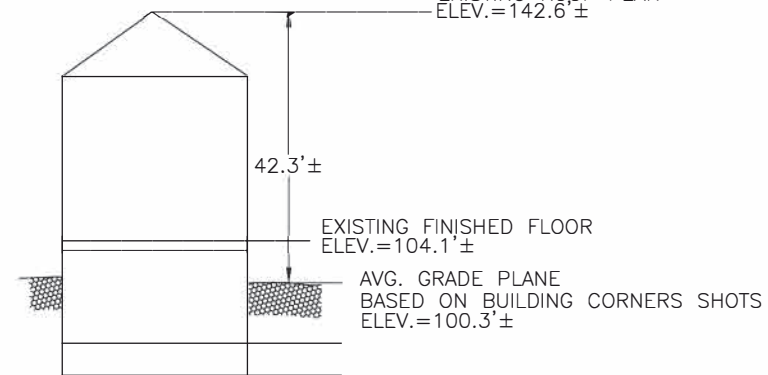
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0576E, PANEL NUMBER 0576E, COMMUNITY NUMBER: 250186, DATED JUNE 4, 2010.

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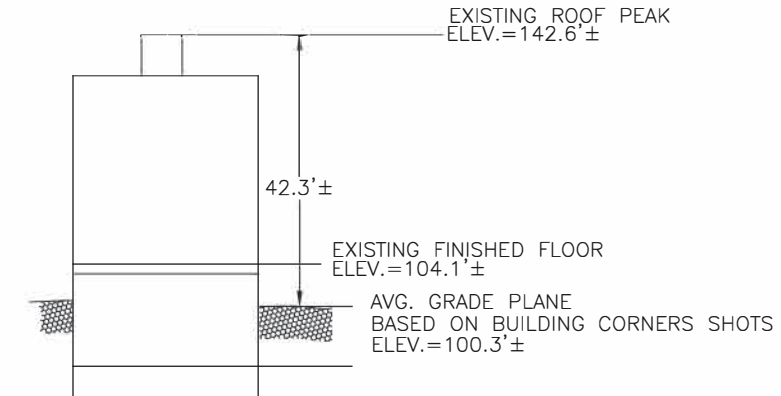
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7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

8. ZONING DISTRICT = RESIDENCE-C
EXISTING ROOF PEAK ELEV.=142.6'±



EXISTING PROFILE NOT TO SCALE



EXISTING PROFILE REAR OF BUILDING NOT TO SCALE

SCALE 1"=10'				
DATE 09/27/2021	REV	DATE	REVISION	BY
SHEET 1				
PLAN NO. 1 OF 1				
CLIENT:				
DRAWN BY				
CHKD BY P.J.N				
APPD BY P.J.N				

152 PEARL STREET
CAMBRIDGE
MASSACHUSETTS
PLOT PLAN
OF LAND

PETER NOLAN & ASSOCIATES LLC

LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS

697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135

PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691

EMAIL: pnolan@pnasurveyors.com

SHEET NO.
1

EXISTING LEGEND	
—SS—	SEWER LINE
⊙	SEWER MANHOLE
—V—	WATER LINE
—G—	GAS LINE
⊙	UTILITY POLE
⊗	GAS VALVE
—E—	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
○	FENCE
—205—	CONTOUR LINE (MJR)
—195—	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE

ZONING LEGEND			
ZONING DISTRICT: RESIDENCE C-1**			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	5,000 S.F.	2,655± S.F.	2,655± S.F.
MIN. LOT AREA PER DWELLING UNIT	1,500 S.F.	—	—
MIN. YARD FRONT (A)	19.0'	28.0'	28.0'
SIDE (RIGHT) (B)	16.5'	5.6'	5.6'
SIDE (LEFT) (B)	16.5'	4.5'	4.5'
REAR (C)	20.6'	5.1'	5.1'
MAX. BLDG. HEIGHT	35'	42.3'±	42.3'±
MIN. OPEN SPACE	30%	0 ±	13% ±
MIN. LOT WIDTH	50'	50.0'	50.0'
MAX. F.A.R.	0.75	—	—

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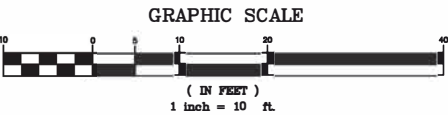
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(B) — H+L/5

(C) — H+L/4 = IN RESIDENCE C AND C-1 DISTRICTS, NO BUILDING MAY BE NEARER THE REAR LOT LINE THAN TWENTY (20) FEET PLUS ONE ADDITIONAL FOOT OF REAR YARD FOR EACH FOUR FEET THAT THE DEPTH OF THE LOT EXCEEDS 100 FEET, UP TO A MAXIMUM OF THIRTY (30) FEET.



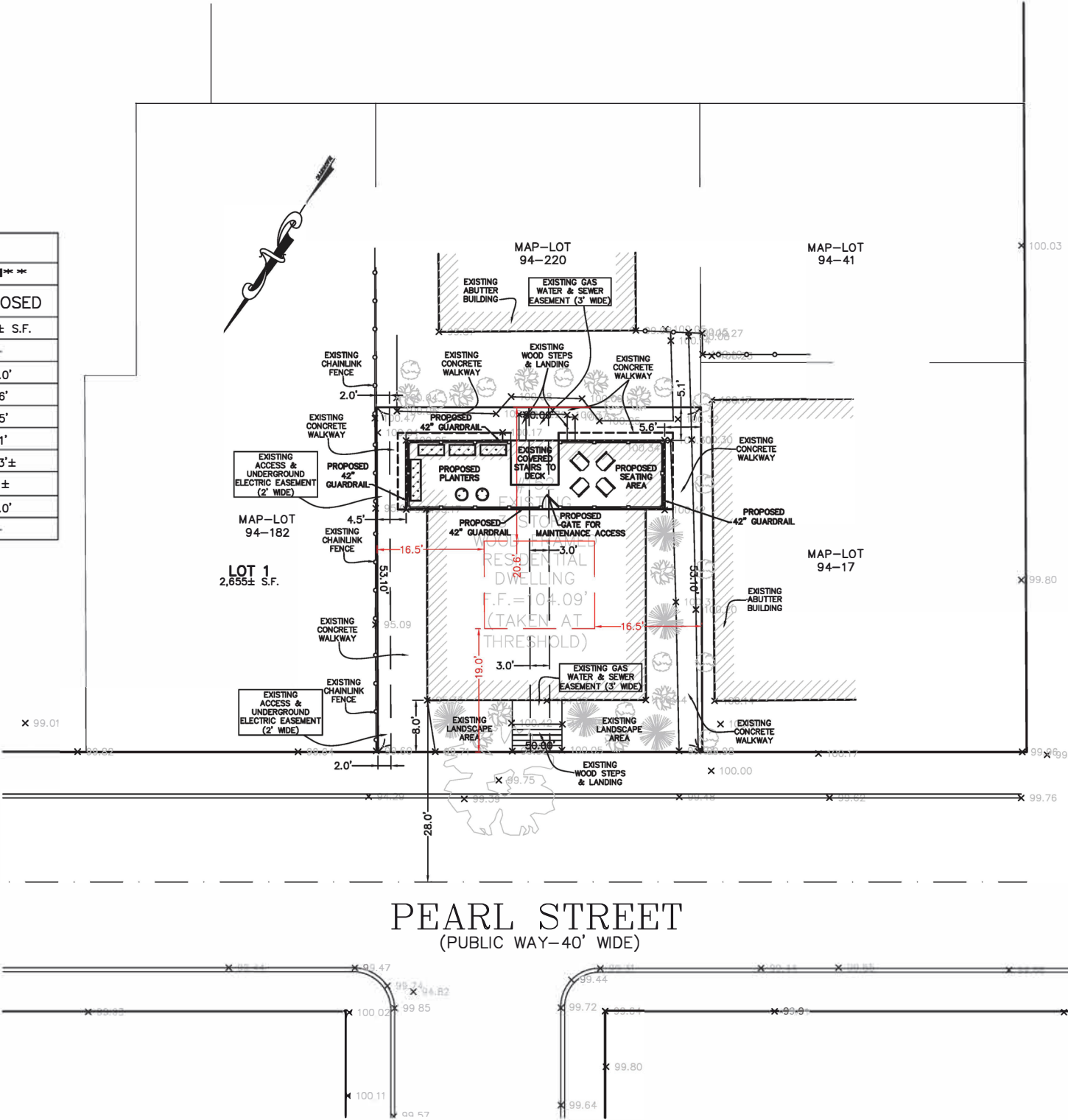
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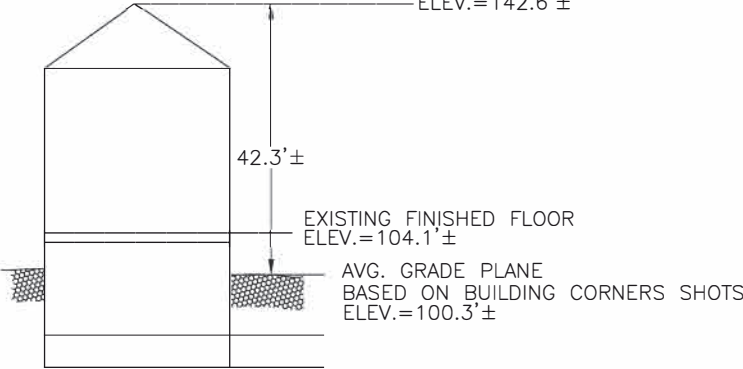
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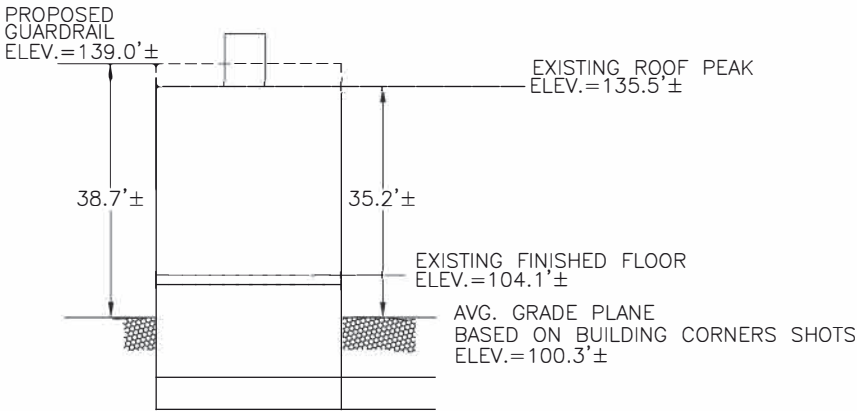
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8. ZONING DISTRICT = RESIDENCE-C
EXISTING ROOF PEAK ELEV.=142.6'±



EXISTING PROFILE
NOT TO SCALE



EXISTING PROFILE
REAR OF BUILDING
NOT TO SCALE

SCALE	1"=10'
DATE	10/08/2021
REV	DATE
REVISION	BY
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	152 PEARL STREET CAMBRIDGE MASSACHUSETTS
DRAWN BY	PROPOSED PLOT PLAN OF LAND
CHKD BY	PUN
APPD BY	PUN
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com	
SHEET NO. 1	



EXISTING ROOF DECK AREA

PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
GCD ARCHITECTS

2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**EXISTING PROPERTY
PHOTOS**

DATE:
9/08/2021

DRAWING:
0.1



EXISTING PROPERTY VIEWS FROM PEARL STREET

PROJECT:
PROPOSED ROOF
DECK ADDITION

152 PEARL STREET
CAMBRIDGE, MA

PREPARED BY:
GCD ARCHITECTS
2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

TITLE:
**EXISTING PROPERTY
PHOTOS**

DATE:
9/08/2021

DRAWING:
0.1



EXISTING ROOF VIEWS
TOWARD VALENTINE
AND PEARL STREET



EXISTING PROPERTY VIEWS
FROM VALENTINE STREET



EXISTING ROOF VIEW
TOWARD REAR

<p>PROJECT: PROPOSED ROOF DECK ADDITION</p> <p>152 PEARL STREET CAMBRIDGE, MA</p>	<p>PREPARED BY: GCD ARCHITECTS</p> <p>2 Worthington St Cambridge, MA 02138 Tel. 617-412-8450 ajglassman@hotmail.com www.glassmanchungdesign.com</p>	<p>TITLE: EXISTING PROPERTY PHOTOS</p>	<p>DATE: 9/08/2021</p>	<p>DRAWING: 0.1</p>
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November 14, 2021

To the Cambridge BZA,

We are owners of 152 Pearl Street Unit 2. We are one of three unit owners (including Paul and Justin) who are currently residing in the building and serve as a trustee-property manager for the building. It is our pleasure to write a letter in support for the proposal of development of the roof deck being submitted to the Cambridge BZA.

152 Pearl Street owners of Unit #5, Paul Boyd and Justin Chen, have reviewed with us their plans for the proposed rear 4th-story roof deck which would be an exclusive-use amenity for them, with access from their unit only.

We approve these plans and urge the BZA to grant Justin and Paul the zoning relief they need to correct the existing structural and life safety deficiencies which are required to make their current roof top space a safe amenity. As it stands, in the space to which they have roof rights, guardrails are non-existent, the legacy planters were falling apart, and their current usable space lacks the proper decking required to protect the roof membrane which is a concern to all in the building. As one of the acting trustee-managers, we noticed that the lack of safety measure in the roof area made it difficult for us to find an insurance company that was willing to insure the building. We believe that it is all five unit owners' common interest to improve our current situation. Additionally, the proposed work will have no negative impact on us or to others in our neighborhood.

The character of the building and the neighborhood will remain unchanged, there will be no new shadows cast on abutting properties, no loss or privacy for abutters, and no new noise, as the proposed deck would be where they already enjoy roof rights, and access via an existing stair head house.

The proposed work is tasteful, modest, and a reasonable solution to the existing roof life safety and structural issues facing the building. The owners have assured us that the work will be built in accordance with the state building code, and a state licensed structural engineer will be certifying the plans meet all applicable codes for new and existing construction.

We ask the BZA to grant this relief.

Sincerely,

Andrew Robertson

Andrew Robertson
Trustee-Manager
152 Pearl Street. Unit #2
(617) 312-0251

152 Pearl St.

Petitioner

94-220
SYTCHOV, MIKHAIL
173 ELM ST.
CAMBRIDGE, MA 02139

94-221
SPAFFORD, NANCY
152 PEARL ST., UNIT #1
CAMBRIDGE, MA 02139

ADAM J. GLASSMAN, R.A
2 WORTHINGTON STREET
CAMBRIDGE, MA 02138

94-221
JENNINGS, TARA
152 PEARL ST. UNIT#3
CAMBRIDGE, MA 02139

94-221
ROBERTSON, ANDREW & MYOUNGIOO KIM
152 PEARL ST #2
CAMBRIDGE, MA 02139

94-40
BULMAN, CHRISTINE M.
TRUSTEE THE VALENTINE STREET NOM TR
23A VALENTINE ST
CAMBRIDGE, MA 02139

94-181
O'NEILL, PATRICIA
144 PEARL ST UNIT #3
CAMBRIDGE, MA 02139

94-221
BOYD, PAUL JUSTIN CHEN
152 PEARL ST #5
CAMBRIDGE, MA 02139

94-181
BOLICH, BARBARA
140 PEARL ST. UNIT#3
CAMBRIDGE, MA 02139

94-181
MURRE, CORNELIUS & SARA MURRE
13350 BENCHLEY RD
SAN DIEGO, CA 92130

94-181
COUCH, PHOEBE & STEPHEN C. MILLER
140-144 PEARL ST - UNIT 423
CAMBRIDGE, MA 02139

94-181
ARCAND, PATRICIA M.
144 PEARL ST., #1
CAMBRIDGE, MA 02139

94-182
146-148 PEARL ST LLC
267 NORFOLK ST
CAMBRIDGE, MA 02139

94-181
ZELLER, JANET
P.O BX 4011
VINEYARD HAVEN, MA 02568

94-181
CUTTING, NOAH H. & CHRISTINA M. CUTTING
2 C STREET
READING, MA 01867

94-181
KENSLEY, RICHARD S.
142 PEARL ST #1
CAMBRIDGE, MA 02139

94-181
KUSTAS, PAMELA L.
41 BARNARD AVE
POUGHKEEPSIE, NY 12601

103-85
FARRAR, ANDREW E. & MARGARET R. FARRAR
4 LAWRENCE STREET
CAMBRIDGE, MA 02139

103-95
QUALMAN ASSOCIATES GENERAL PARTNERSHIP
C/O DICKERSON & RONGEY
22515 6 AVENUE S UNIT 204
DESMOINES, WA 98198

94-41
WERNTZ, JULIA C. & PANDELIS KARAYORGIS
27 VALENTINE STREET
CAMBRIDGE, MA 02139-4019

94-17
VORES, ANDREW & FREDERICK W. CHOI
156 PEARL ST
CAMBRIDGE, MA 02139

94-221
HAAS, DIANNE L.
TRUSTEE OF DIANNE L. HAAS TRUST
4 JEROME ST
SOMERVILLE, MA 02143

Paul Boyd & Justin Chen
152 Pearl Street #5
Cambridge, MA 02139

October 1, 2021

Dear Paul and Justin,

As agreed upon at the September 30th, 2021 Trustee's meeting. The HOA has conditionally approved your rough plans for a roof deck with proper railings to be built over the flat part of the roof. This approval is conditional upon the following conditions:

- 1) Submission of a licensed architect's plans and elevations for the HOA for review and approval.
- 2) A Structural Engineer's report that demonstrates the flat portion of the roof can handle the load of the proposed deck. A second opinion may be necessary.
- 3) Written report by a licensed contractor/roofer regarding the condition of the current roof membrane and the feasibility of covering it with a roof deck in its current condition.
- 4) Submission of the Structural Engineer's affidavit after construction is complete.

Thank you for your cooperation.

Sincerely,

Andrew Robertson

Andrew Robertson
Association Manager
152 Pearl St. HOA

November 29, 2021

To the Cambridge BZA,

I am the owner of 152 Pearl Street Unit #3, one of the three owner-occupied units in our building.

Paul Boyd and Justin Chen have reviewed with me their plans for the proposed rear 4th-story roof deck, and I have also had the opportunity to read the letter of support provided by Andrew Robertson from Unit #2 in our building.

I wish to add my full support to the plans and my voice in urging the BZA to grant Paul and Justin zoning relief to make the roof space to which they have exclusive easement a safe and livable amenity. This work is needed to put in place critical safety measures, in particular guardrails and properly graded decking to prevent falls and to protect the vulnerable roof membrane. As Andrew has also mentioned, the fact that this space has never been brought up to safe standards has a real and substantive impact on unit owners due to difficulties obtaining insurance.

I ask the BZA to grant this relief.

Sincerely,

Carol Aplin

Carol Aplin
152 Pearl Street Unit #3
608-354-9990