



CITY OF CAMBRIDGE  
MASSACHUSETTS  
BOARD OF ZONING APPEAL  
831 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139  
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017050-2018

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit :   ✓   Variance : \_\_\_\_\_ Appeal : \_\_\_\_\_

PETITIONER : Magalie Boucher & Stephen Upritchard

PETITIONER'S ADDRESS : 154 Cherry Street Cambridge, MA 02139

LOCATION OF PROPERTY : 154 Cherry St Cambridge, MA

TYPE OF OCCUPANCY : \_\_\_\_\_ ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner seeks to install windows rear window within the required sideyard setback.

SECTIONS OF ZONING ORDINANCE CITED :

Article <u>5.000</u>	Section <u>5.31</u> (Table of Dimensional Requirements).
Article <u>8.000</u>	Section <u>8.22.2.C</u> (Windows).
Article <u>10.000</u>	Section <u>10.40</u> (Special Permit).

Original Signature(s) : *Magalie Boucher* *[Signature]*  
(Petitioner(s) / Owner)

Magalie Boucher & Stephen Upritchard  
(Print Name)

Address : 154 Cherry Street  
Cambridge, MA 02139

Tel. No. : (860) 501-7469

E-Mail Address : magalieboucher@yahoo.com

Date : 12/12/18

**OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD**

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Magalie Boucher & Steven Upritchard  
(Owner or Petitioner)

Address: c/o James J. Rafferty 675 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 154 Cherry Street

the record title standing in the name of Magalie Boucher & Steven Upritchard

whose address is 154 Cherry Street, Cambridge MA 02139  
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 69758 Page 541 or \_\_\_\_\_ Registry

District of Land Court Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_

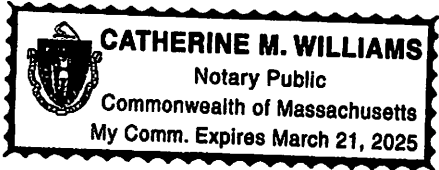
Magalie Boucher  
(Owner)

=====

On this 2<sup>ND</sup> day of November, 2018, before me, the undersigned notary public, personally appeared Magalie Boucher proved to me through satisfactory evidence of identification, which were MASS ID, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

Catherine M. Williams  
Notary Public

My commission expires:



**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 154 Cherry St Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:  
Article 8.22.2(c) permits the creation of windows on non-conforming walls when, as in this case, there are no further violations of the dimensional requirements of Article 5.000.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:  
There will not be any change in traffic patterns as a result of adding windows.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:  
Adjacent uses will not be affected since the use of the property as a single family dwelling will not be changed.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:  
Adding windows will benefit the health, safety, and welfare of the occupants of this dwelling.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:  
The proposed windows will not change the use of the property and are consistent with the residential uses in the district.

**BZA APPLICATION FORM**

**DIMENSIONAL INFORMATION**

**APPLICANT:** Nirvana **PRESENT USE/OCCUPANCY:** single family  
**LOCATION:** 154 Cherry St Cambridge, MA **ZONE:** Residence C-1 Zone  
**PHONE:** \_\_\_\_\_ **REQUESTED USE/OCCUPANCY:** single family

	<b><u>EXISTING</u></b> <b><u>CONDITIONS</u></b>	<b><u>REQUESTED</u></b> <b><u>CONDITIONS</u></b>	<b><u>ORDINANCE</u></b> <b><u>REQUIREMENTS</u></b> <sup>1</sup>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>	<u>1202</u>	<u>no change</u>	<u>1947</u>	<u>(max.)</u>
<b><u>LOT AREA:</u></b>	<u>2596</u>	<u>no change</u>	<u>5000</u>	<u>(min.)</u>
<b><u>RATIO OF GROSS FLOOR AREA</u></b> <b><u>TO LOT AREA:</u> <sup>2</sup></b>	<u>.46</u>	<u>no change</u>	<u>.75</u>	<u>(max.)</u>
<b><u>LOT AREA FOR EACH DWELLING UNIT:</u></b>	<u>2596</u>	<u>no change</u>	<u>1500</u>	<u>(min.)</u>
<b><u>SIZE OF LOT:</u></b>				
<b>WIDTH</b>	<u>27.7'</u>	<u>no change</u>	<u>50'</u>	<u>(min.)</u>
<b>DEPTH</b>	<u>100.3'</u>	<u>no change</u>	<u>N/A</u>	
<b><u>SETBACKS IN FEET:</u></b>				
<b>FRONT</b>	<u>30'</u>	<u>no change</u>	<u>10'</u>	<u>(min.)</u>
<b>REAR</b>	<u>28.3'</u>	<u>no change</u>	<u>20'</u>	<u>(min.)</u>
<b>LEFT SIDE</b>	<u>0'</u>	<u>no change</u>	<u>7'6"</u>	<u>(min.)</u>
<b>RIGHT SIDE</b>	<u>5.3'</u>	<u>no change</u>	<u>7'6"</u>	<u>(min.)</u>
<b><u>SIZE OF BLDG.:</u></b>				
<b>HEIGHT</b>	<u>26.34'</u>	<u>no change</u>	<u>35'</u>	<u>(max.)</u>
<b>LENGTH</b>	<u>32.8'</u>	<u>no change</u>	<u>N/A</u>	
<b>WIDTH</b>	<u>22.4'</u>	<u>no change</u>	<u>N/A</u>	
<b><u>RATIO OF USABLE OPEN SPACE</u></b> <b><u>TO LOT AREA:</u></b>	<u>60.9</u>	<u>no change</u>	<u>30</u>	<u>(min.)</u>
<b><u>NO. OF DWELLING UNITS:</u></b>	<u>1</u>	<u>no change</u>	<u>1</u>	<u>(max.)</u>
<b><u>NO. OF PARKING SPACES:</u></b>	<u>1</u>	<u>no change</u>	<u>1</u>	<u>(min./max)</u>
<b><u>NO. OF LOADING AREAS:</u></b>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>(min.)</u>
<b><u>DISTANCE TO NEAREST BLDG.</u></b> <b><u>ON SAME LOT:</u></b>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	<u>(min.)</u>

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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2018 DEC 12 PM 3:17

OFFICE OF THE CITY CLERK  
 CAMBRIDGE, MASSACHUSETTS

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Article 10.000 Section 10.40 (Special Permit).

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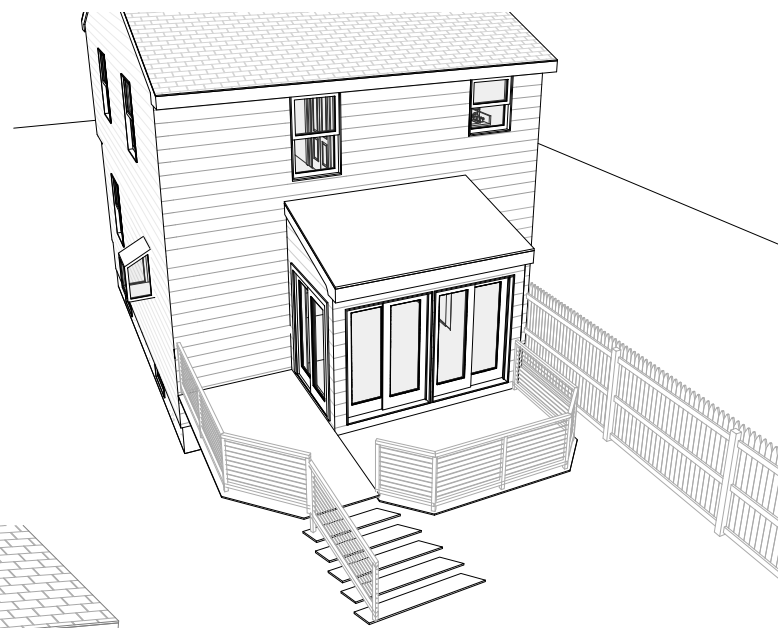
Address : 154 Cherry Street

Cambridge, MA 02139

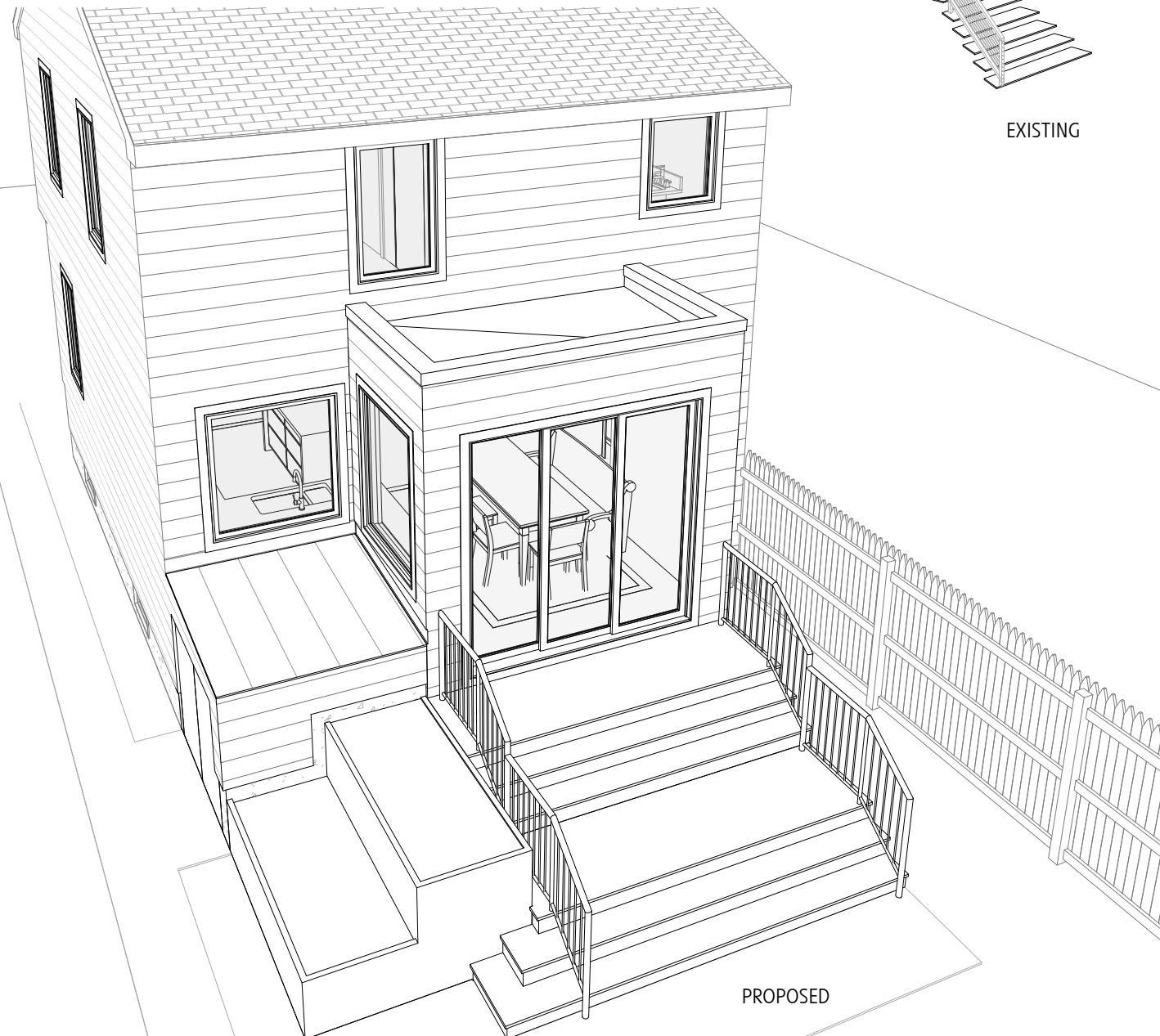
Tel. No. : (860) 501-7469

E-Mail Address : magalieboucher@yahoo.com

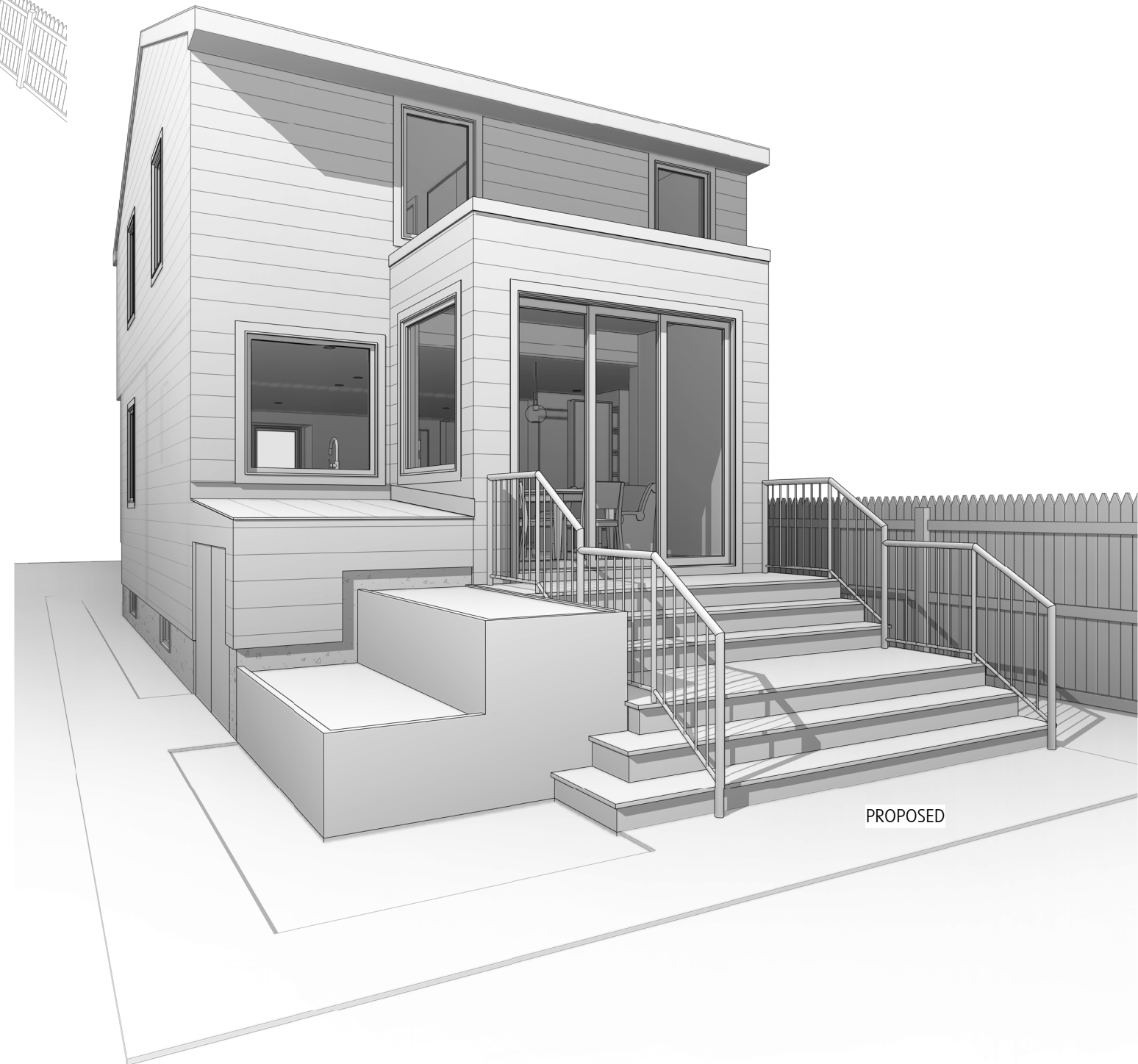
Date : 12/12/18



EXISTING



PROPOSED



PROPOSED



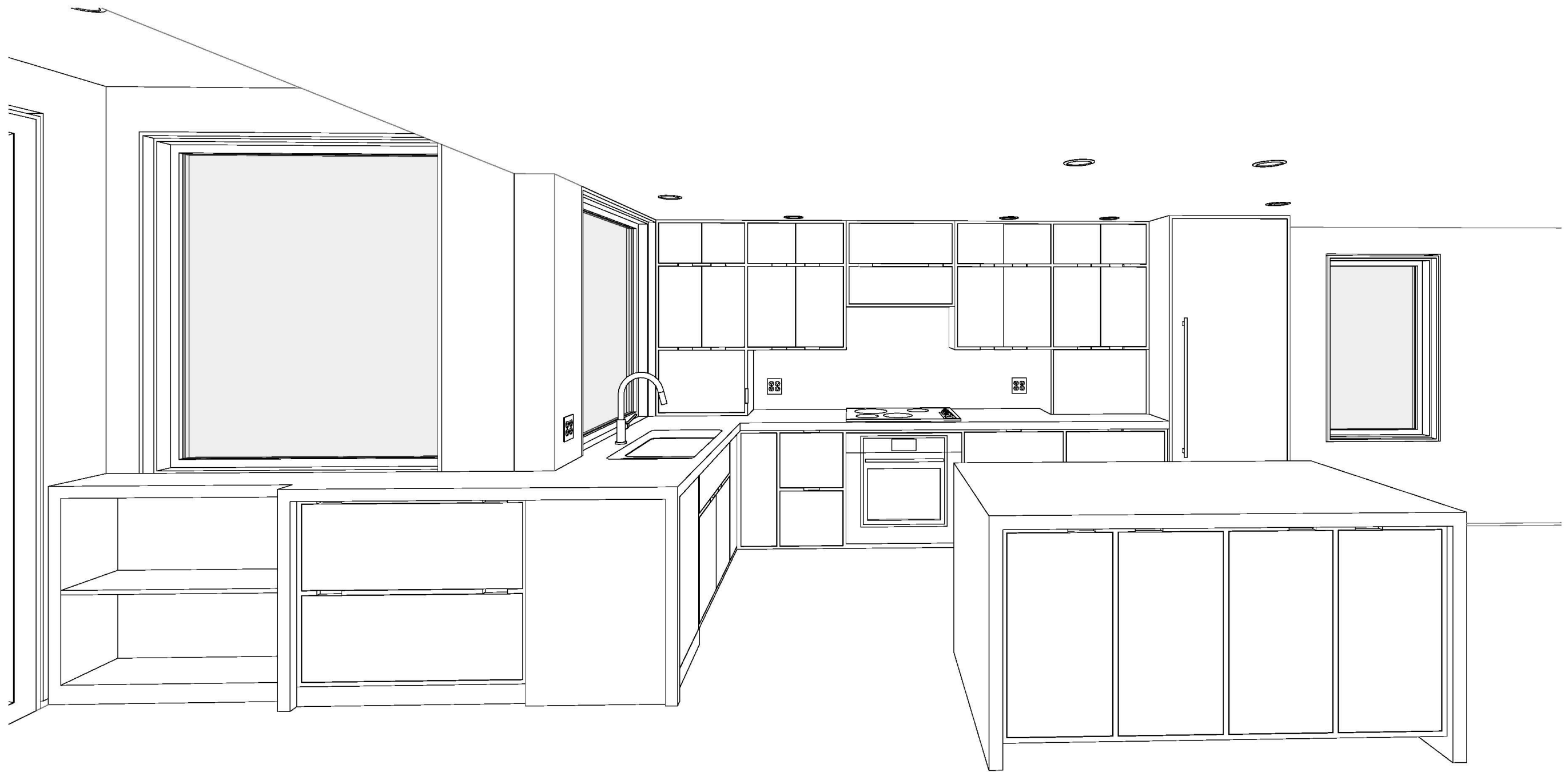
NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: PERSPECTIVES  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON


ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE:

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

A0.1



KITCHEN VIEW 1

	NICHOLAS TROY PRESTON	SHEET NAME: KITCHEN VIEW 1	ISSUED: OCTOBER 21, 2018	<b>RENOVATION PROJECT &amp; EXTERIOR IMPROVEMENTS</b> 154 CHERRY STREET, CAMBRIDGE, MA 02139	<b>A0.2</b>
	PHONE: 401.573.2922	CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD	PROJECT #: 154C		
	EMAIL: NICHOLASTPRESTON@GMAIL.COM	DESIGNER: NICHOLAS TROY PRESTON	SCALE:		



KITCHEN VIEW 2



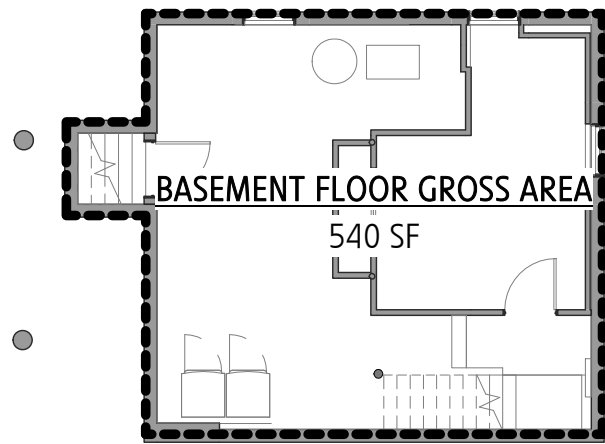
NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: KITCHEN VIEW 2  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE:

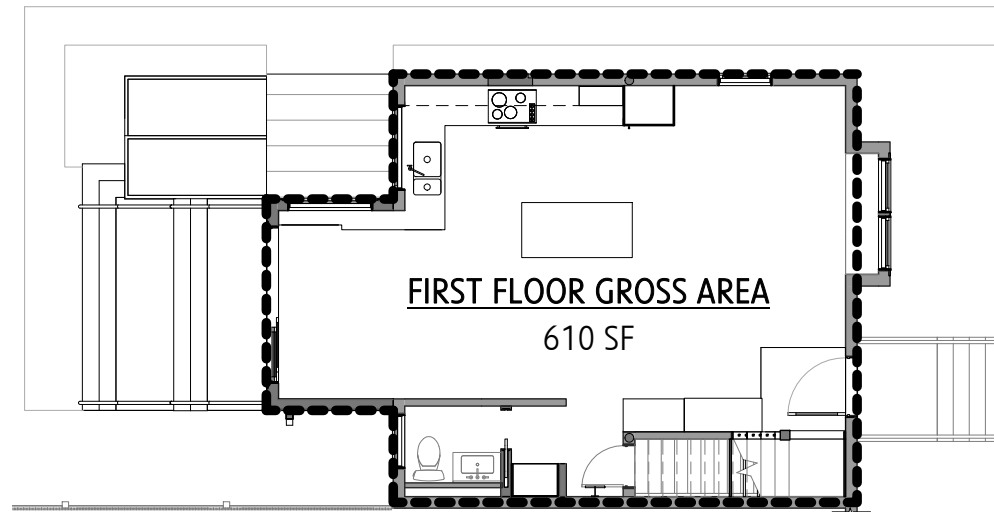
RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139





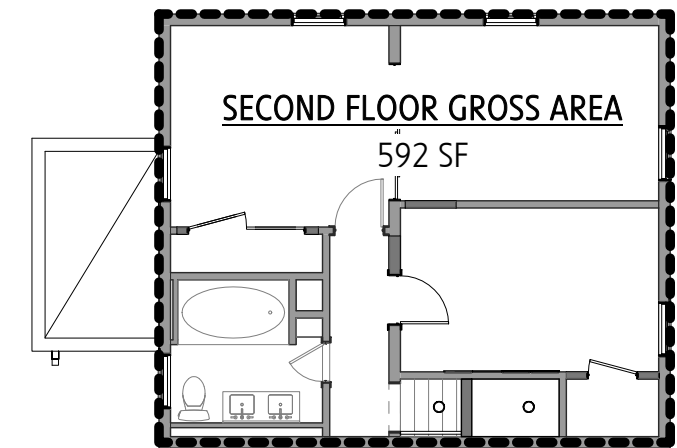
**#3 BASEMENT FLOOR GROSS AREA**

1" = 10'-0"



**#1 FIRST FLOOR GROSS AREA**

1" = 10'-0"



**#2 SECOND FLOOR GROSS AREA**

1" = 10'-0"

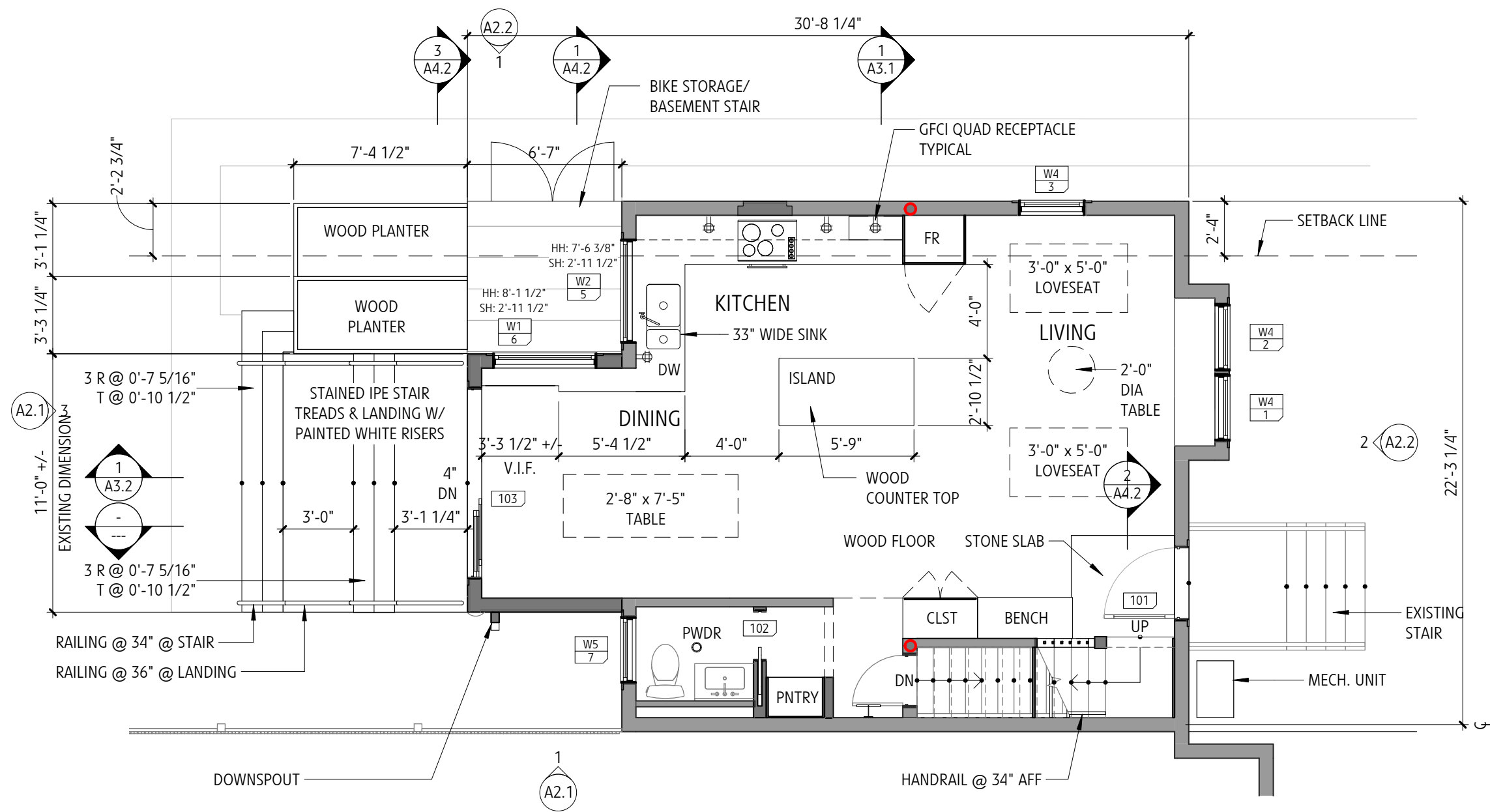


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: GROSS AREA PLANS  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 1" = 10'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139



**#7 FIRST FLOOR PLAN**

3/16" = 1'-0"



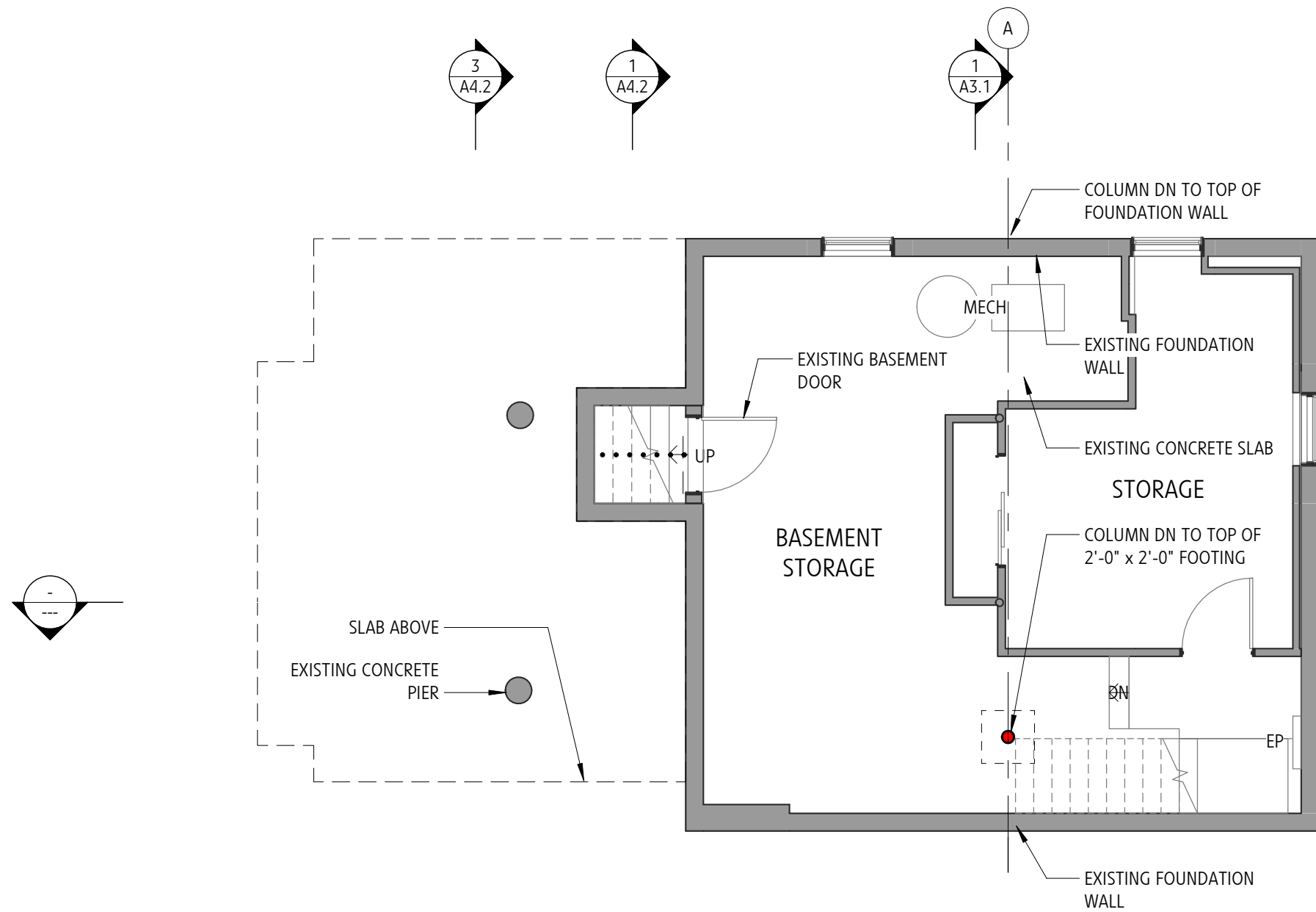
NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: FIRST FLOOR PLAN  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 3/16" = 1'-0"


RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

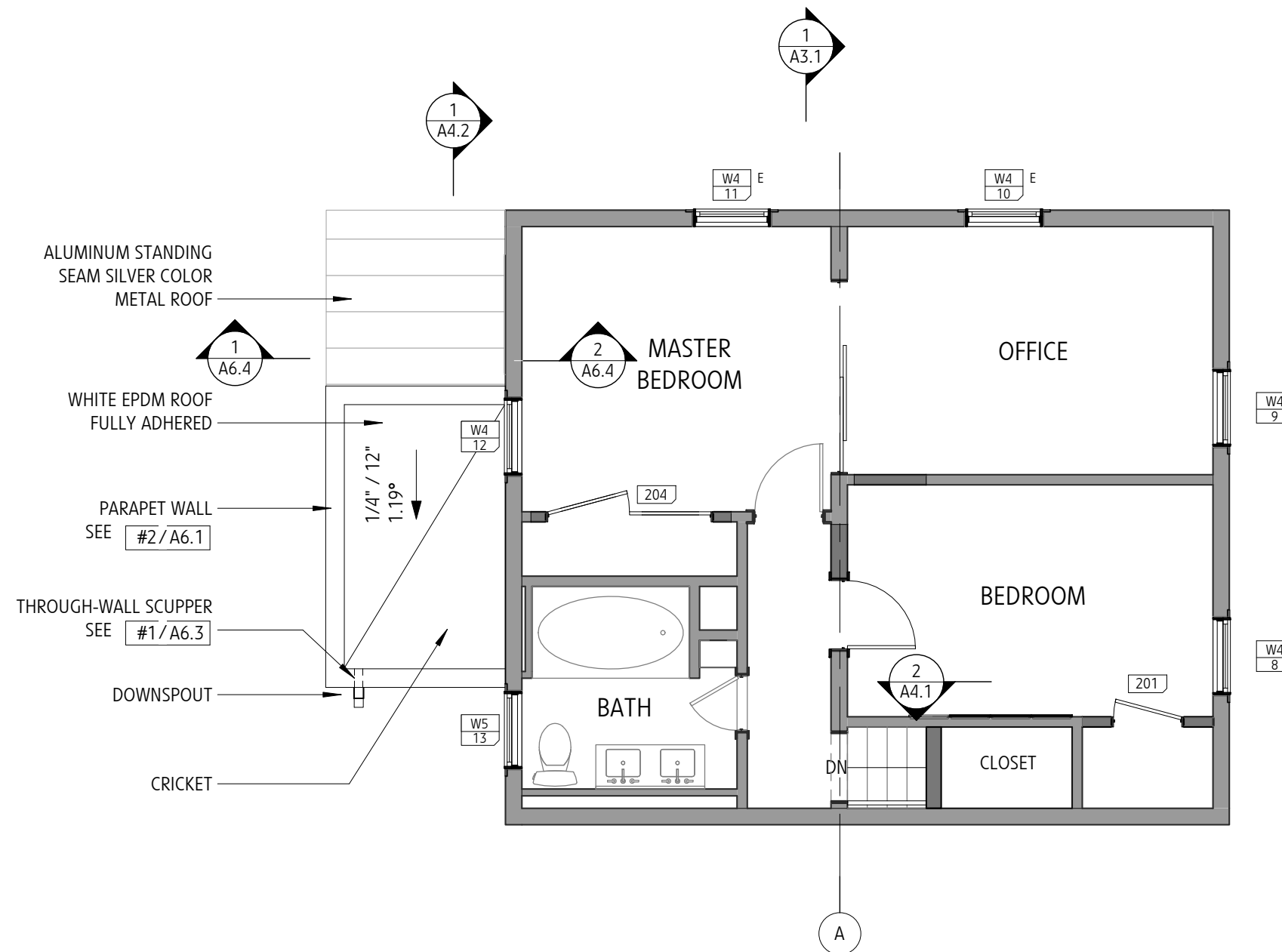
A1.0



**#2 BASEMENT PLAN**

3/16" = 1'-0"

	NICHOLAS TROY PRESTON	SHEET NAME: BASEMENT FLOOR PLAN	ISSUED: OCTOBER 21, 2018	<b>RENOVATION PROJECT &amp; EXTERIOR IMPROVEMENTS</b> 154 CHERRY STREET, CAMBRIDGE, MA 02139	<b>A1.2</b>
	PHONE: 401.573.2922	CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD	PROJECT #: 154C		
	EMAIL: NICHOLASTPRESTON@GMAIL.COM	DESIGNER: NICHOLAS TROY PRESTON	SCALE: 3/16" = 1'-0"		



#1 ROOF & SECOND FLOOR PLAN

3/16" = 1'-0"

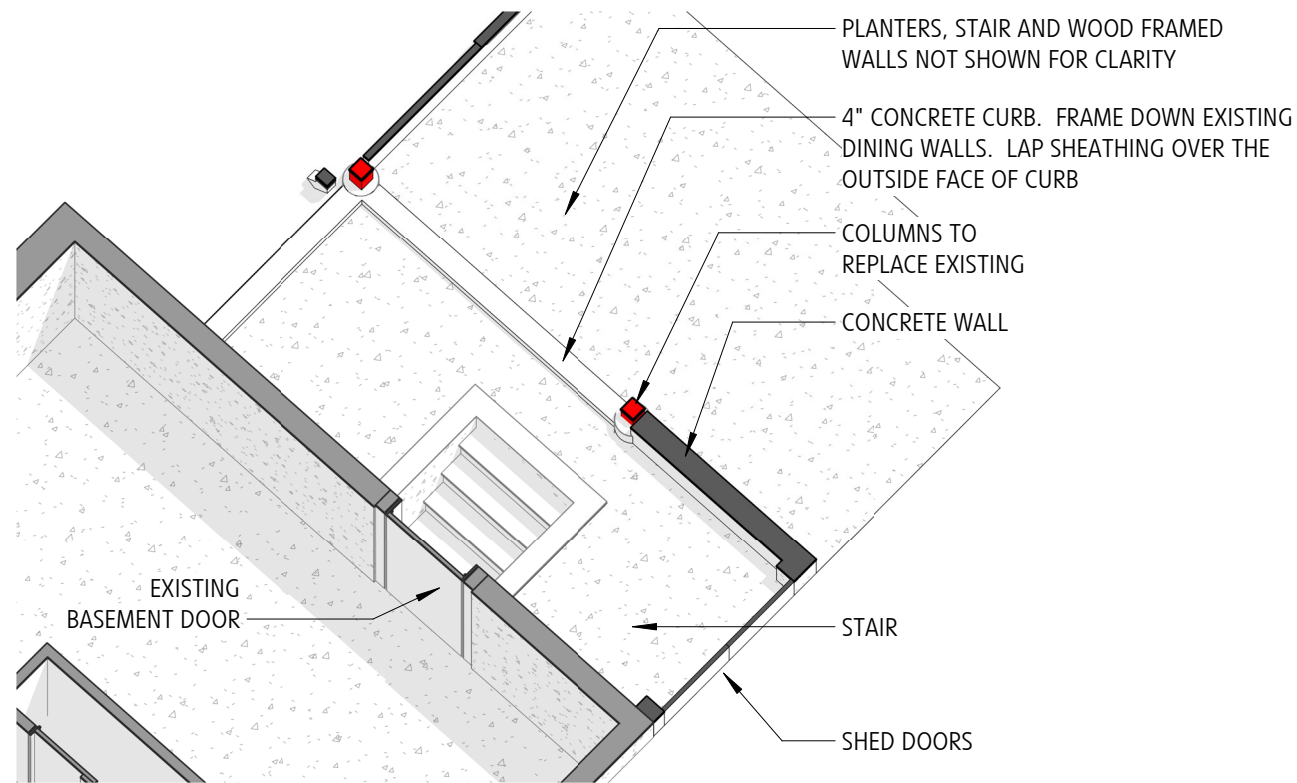


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: SECOND FLOOR PLAN  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

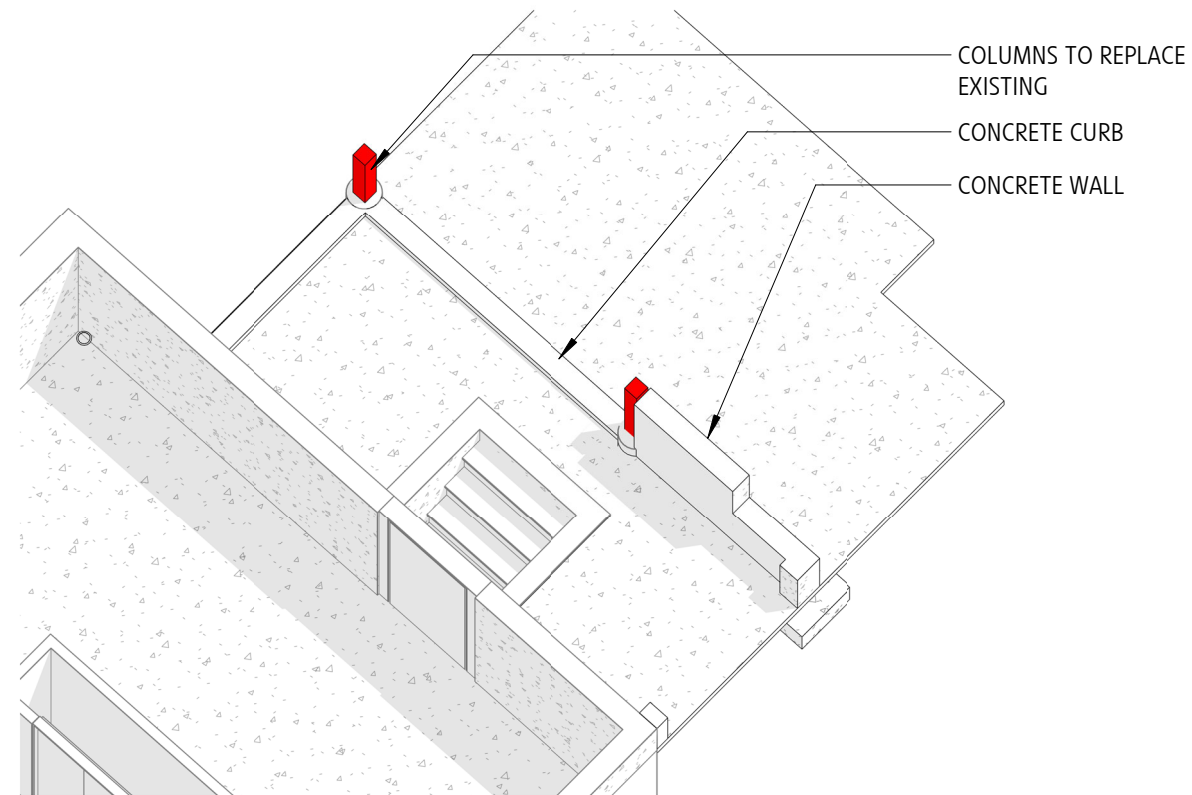
ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 3/16" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139



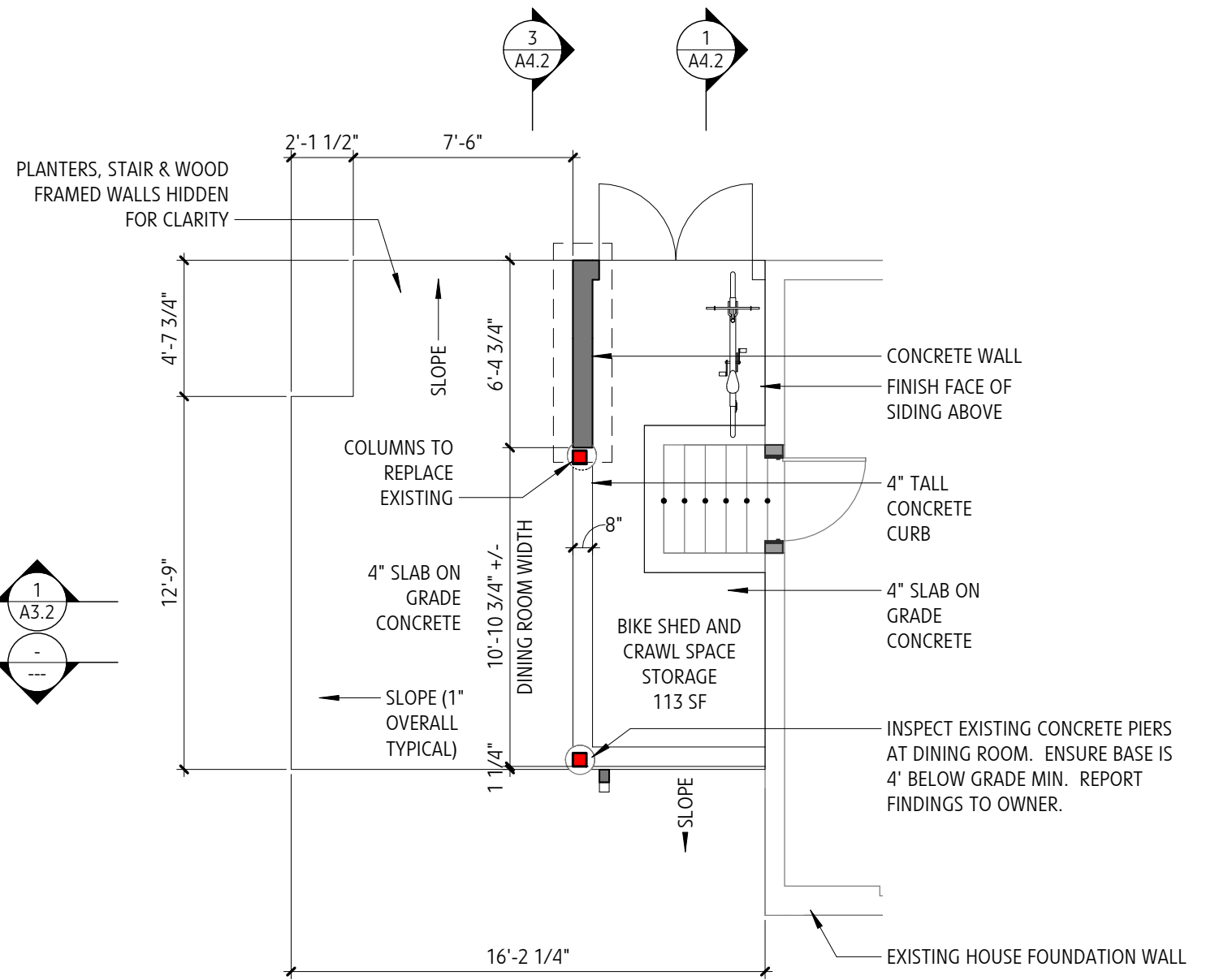
**EXTERIOR STAIR AXON**

(WALLS CUT 6" ABOVE CONCRETE SLAB)



**EXTERIOR STAIR AXON 2**

(FULL HEIGHT CONCRETE WALLS)



**#2 GRADE SLAB AND STAIR PLAN**

3/16" = 1'-0"



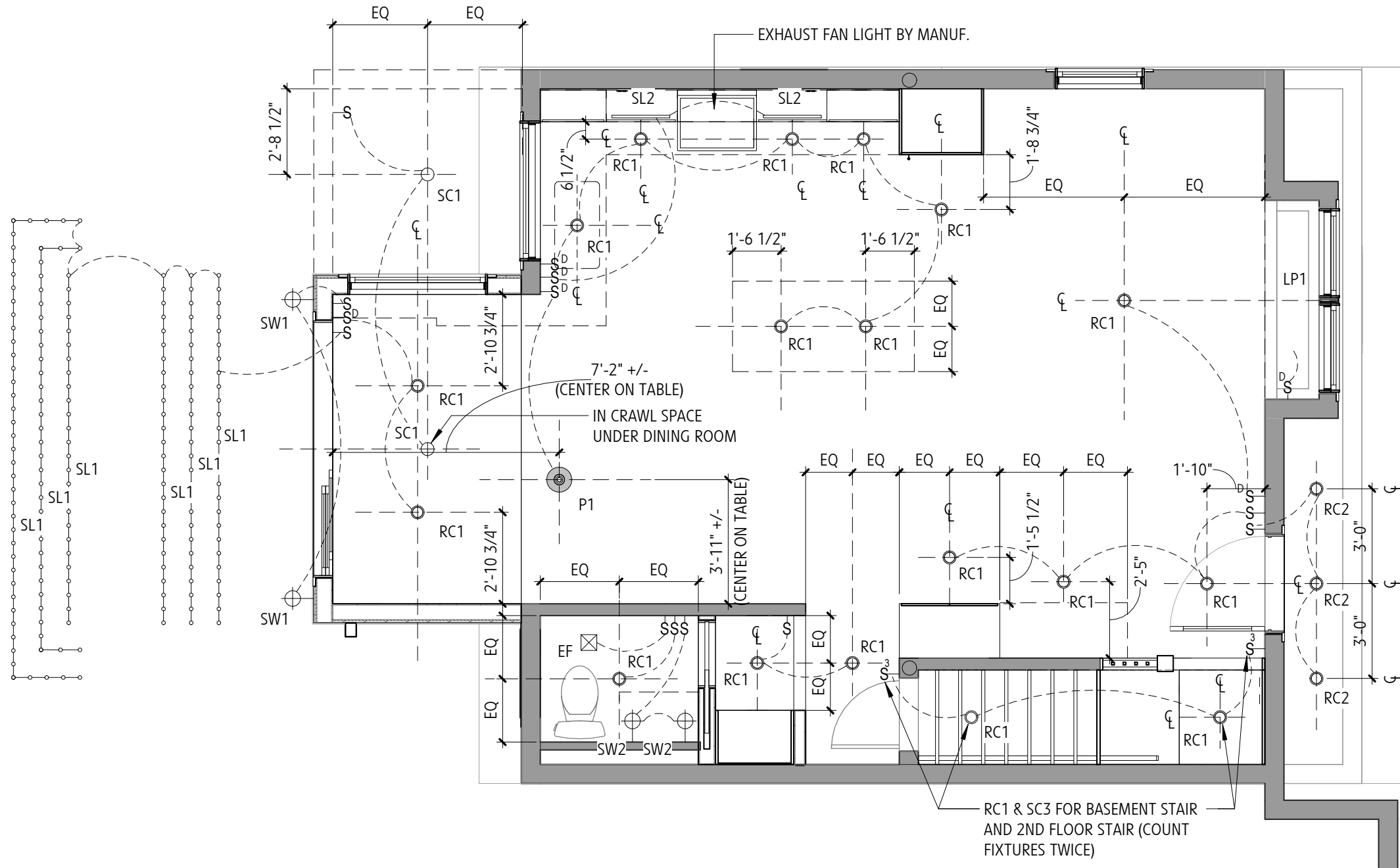
NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: BASEMENT STAIR PLAN  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
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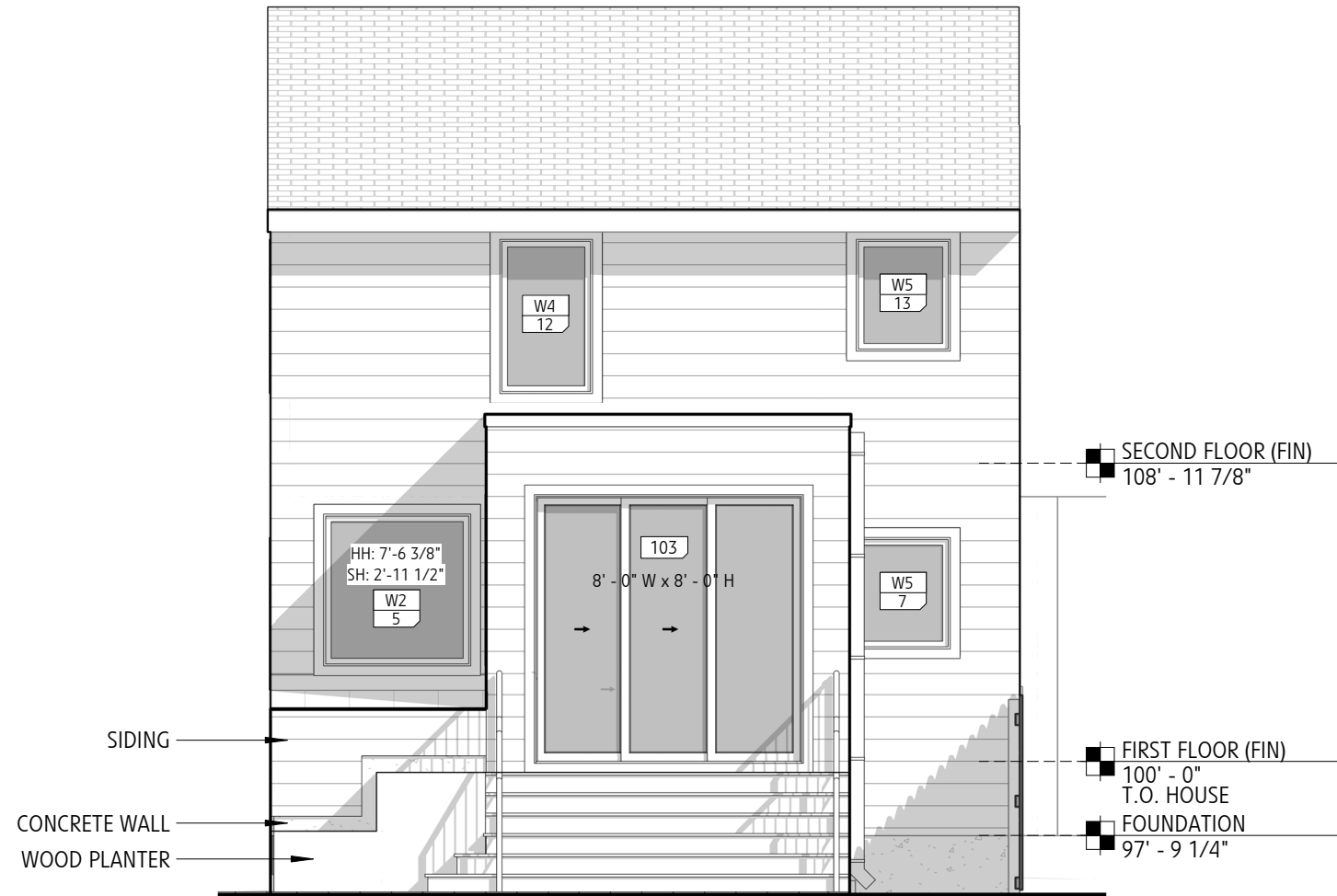
RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

A1.4



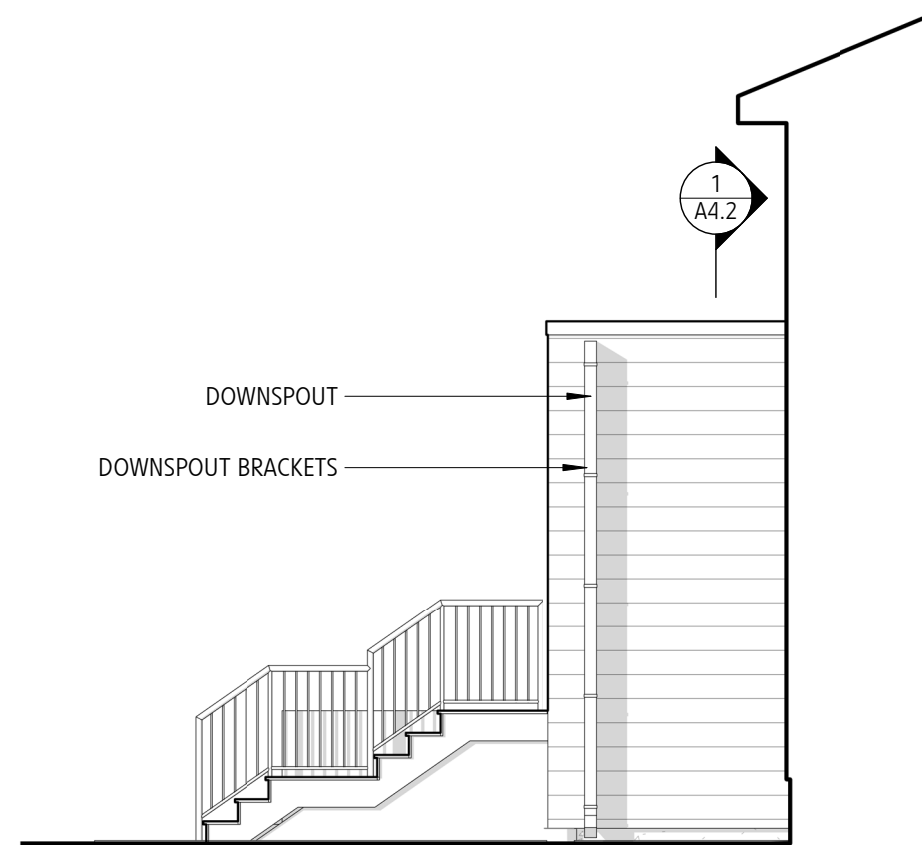
- RC1: RECESSED CEILING LED LIGHT. 4" SQUARE
- RC2: EXTERIOR RECESSED LED LIGHT. 4" SQUARE
- SW1: SURFACE EXTERIOR WALL LED LIGHT. SELECTION BY OWNER
- SW2: SURFACE BATHROOM WALL LED SCENCE LIGHT. SELECTION BY OWNER.
- P1: KITCHEN TABLE PENDANT CEILING LIGHT. SELECTION BY OWNER.
- EF1: BATHROOM EXHAUST FAN
- SL1: LED TAPE LIGHT. RECESSED IN CHANNEL UNDER TREAD NOSING. CASTS LIGHT ONTO STAIR RISER.
- SL2: UNDER CABINET LIGHT. RECESSED IN CHANNEL UNDER FRONT EDGE OF CABINET FRAME.
- LP1: RECESSED LED FULLY BACKLIT DIFFUSED TEMPERED GLASS PANEL. (REMOVABLE FOR CLEANING)
- SC1: EXTERIOR SURFACE CEILING SHED LIGHT
- S: SWITCH
- S3: SWITCH 3-WAY
- SD: DIMMER SWITCH
- SEE FLOOR PLAN FOR SELECT RECEPTACLE LOCATIONS. ALL OTHER RECEPTACLE LOCATIONS BY CONTRACTOR
- REVIEW LOCATION OF ALL SWITCHES AND LIGHTING FIXTURES IN THE FIELD BEFORE PLACING ORDER. (STAPLE PAPER PLATES FOR LIGHTING AND ADHERE BLUE TAPE FOR SWITCHES)

**#1 FIRST FLOOR RCP**  
1/4" = 1'-0"



#3 SOUTH ELEVATION

3/16" = 1'-0"



#1 EAST ELEVATION

3/16" = 1'-0"

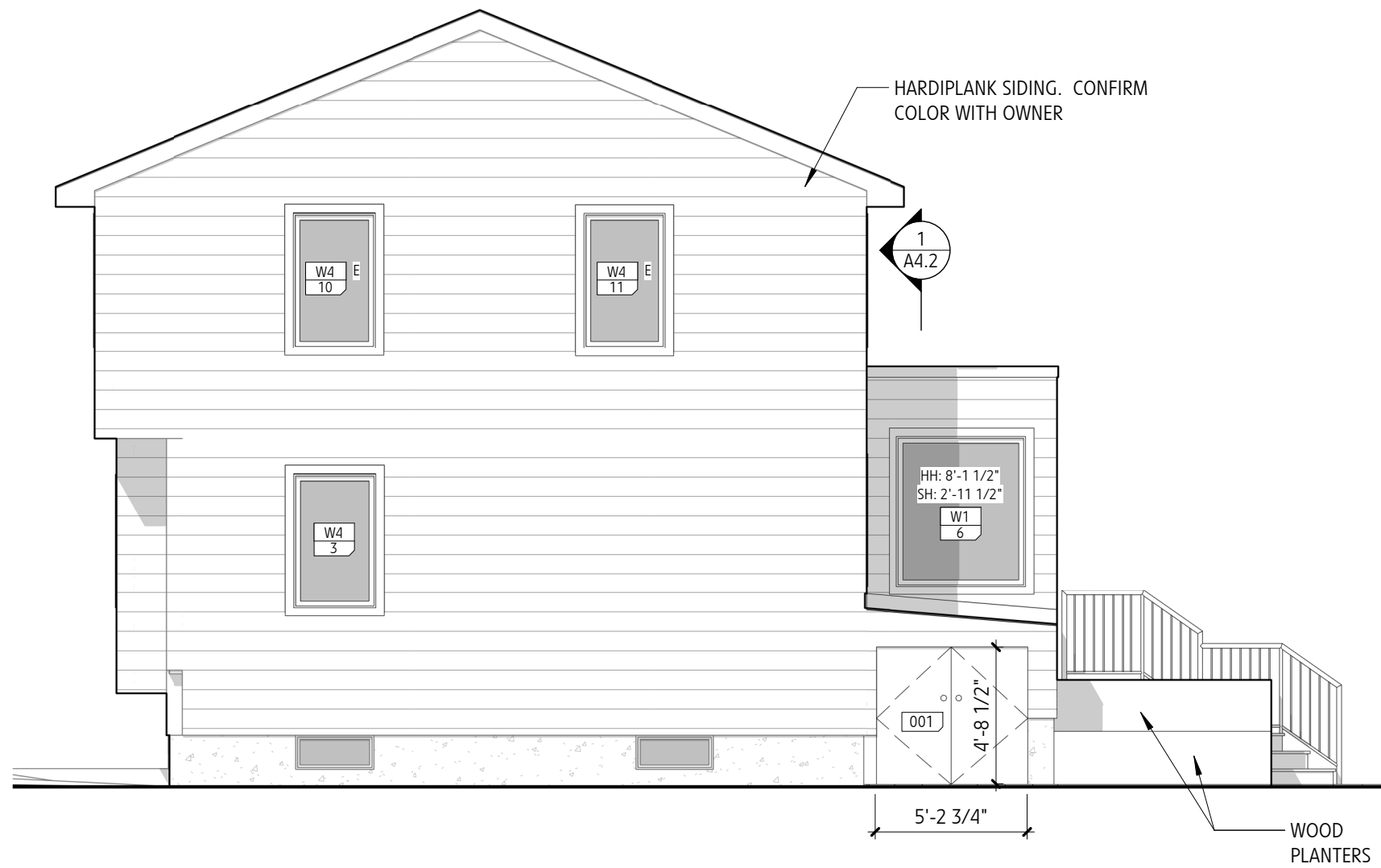


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: EXTERIOR ELEVATIONS  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

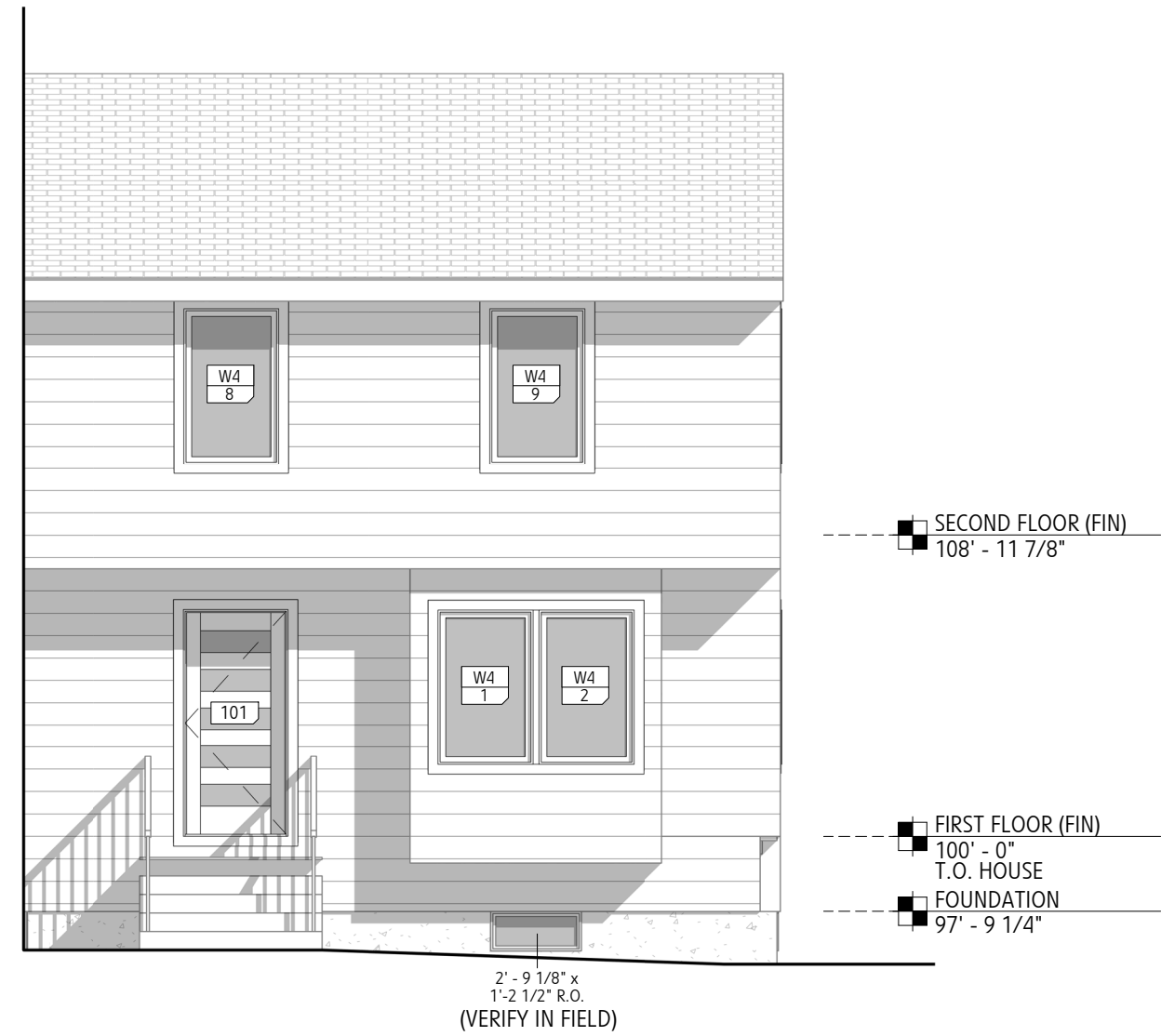
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**#1 WEST ELEVATION**

3/16" = 1'-0"



**#2 FRONT ELEVATION**

3/16" = 1'-0"

--- SECOND FLOOR (FIN)  
108' - 11 7/8"

--- FIRST FLOOR (FIN)  
100' - 0"  
T.O. HOUSE

--- FOUNDATION  
97' - 9 1/4"



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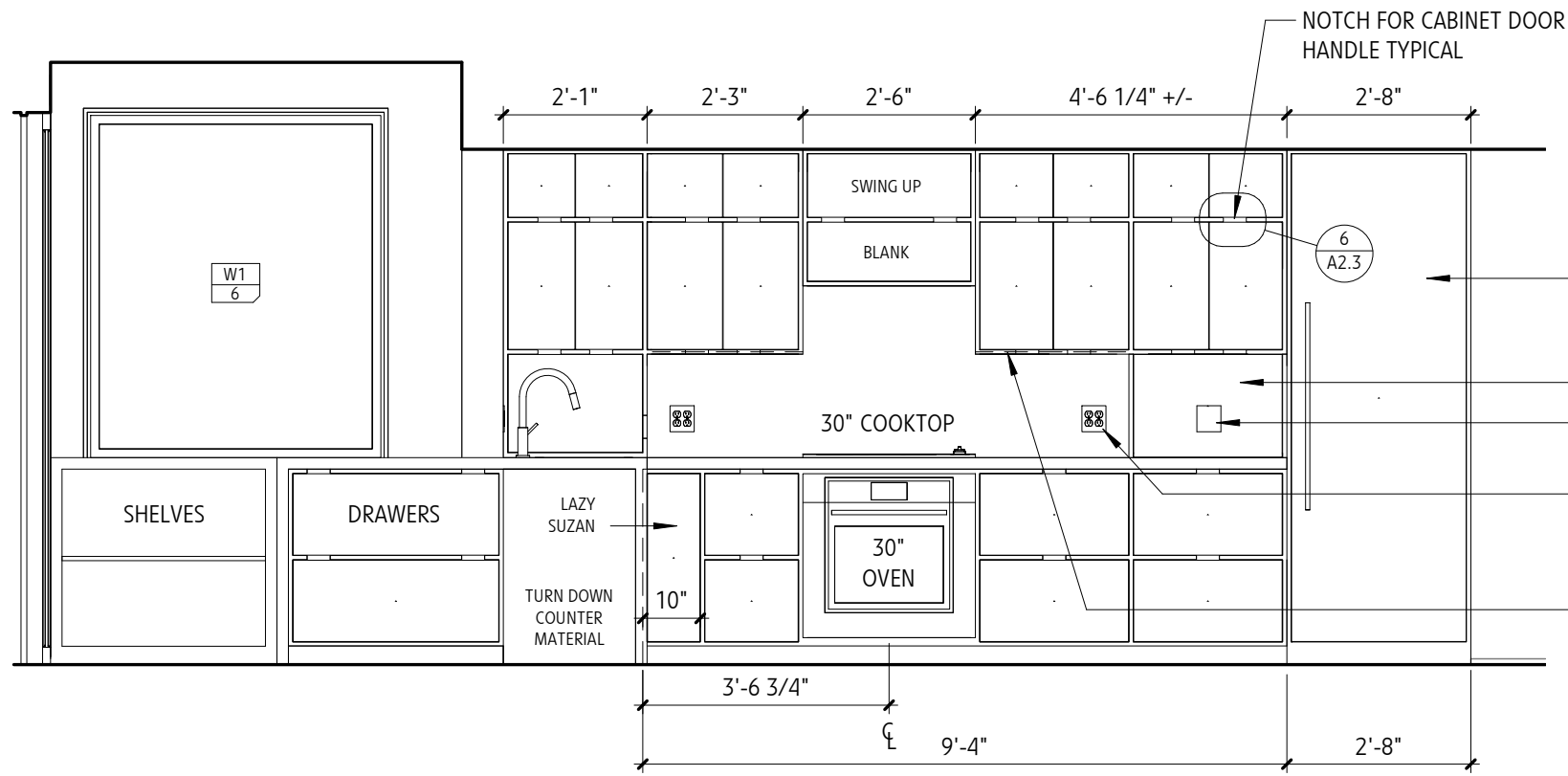
SHEET NAME: EXTERIOR ELEVATIONS  
CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
DESIGNER: NICHOLAS TROY PRESTON

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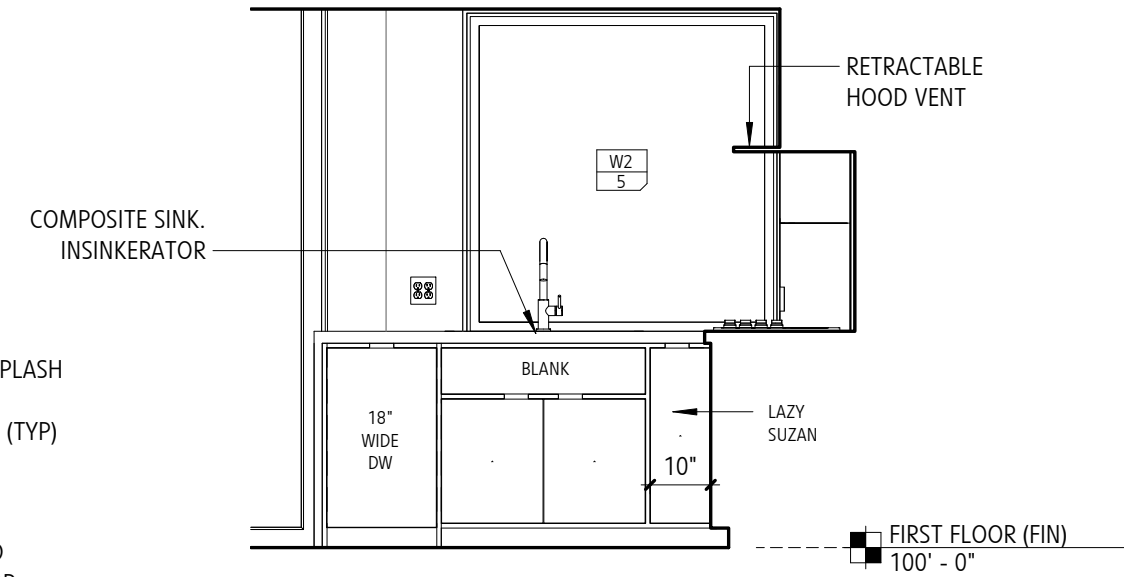
A2.2





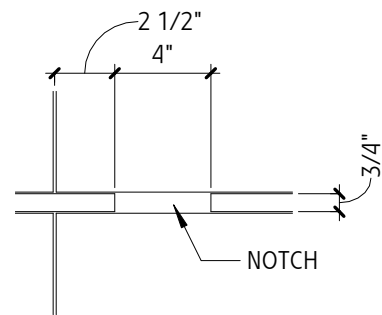
#1 KITCHEN ELEVATION A

3/8" = 1'-0"



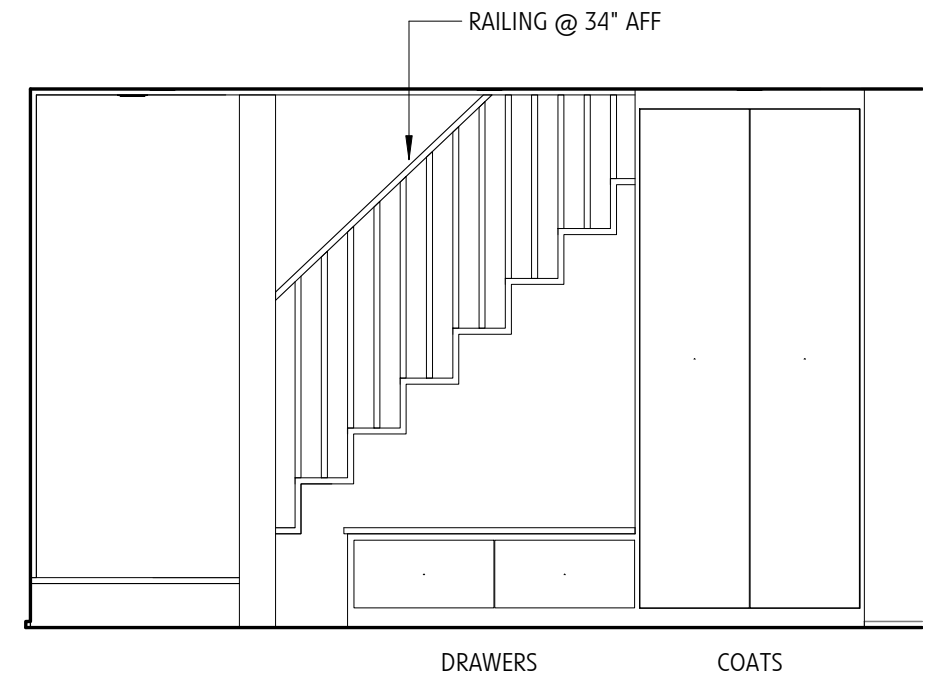
#2 KITCHEN ELEVATION B

3/8" = 1'-0"



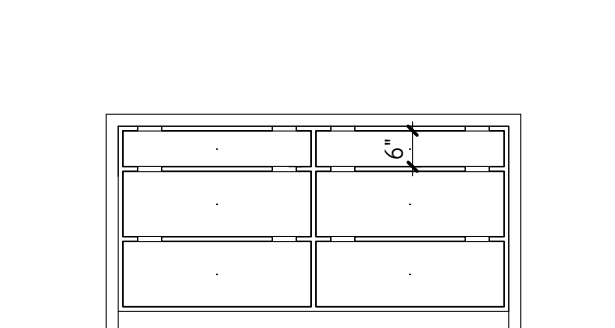
#6 CAB. NOTCH ELEVATION

1 1/2" = 1'-0"



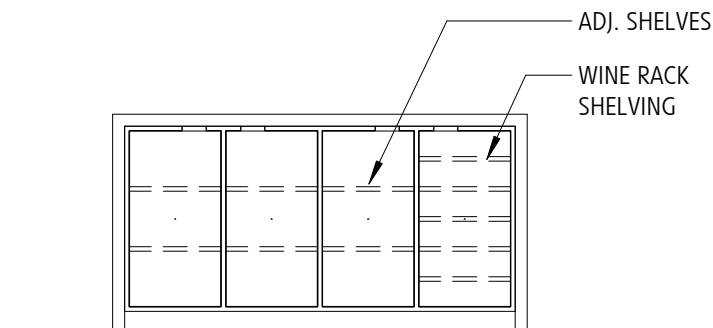
#5 RAILING ELEVATION

3/8" = 1'-0"



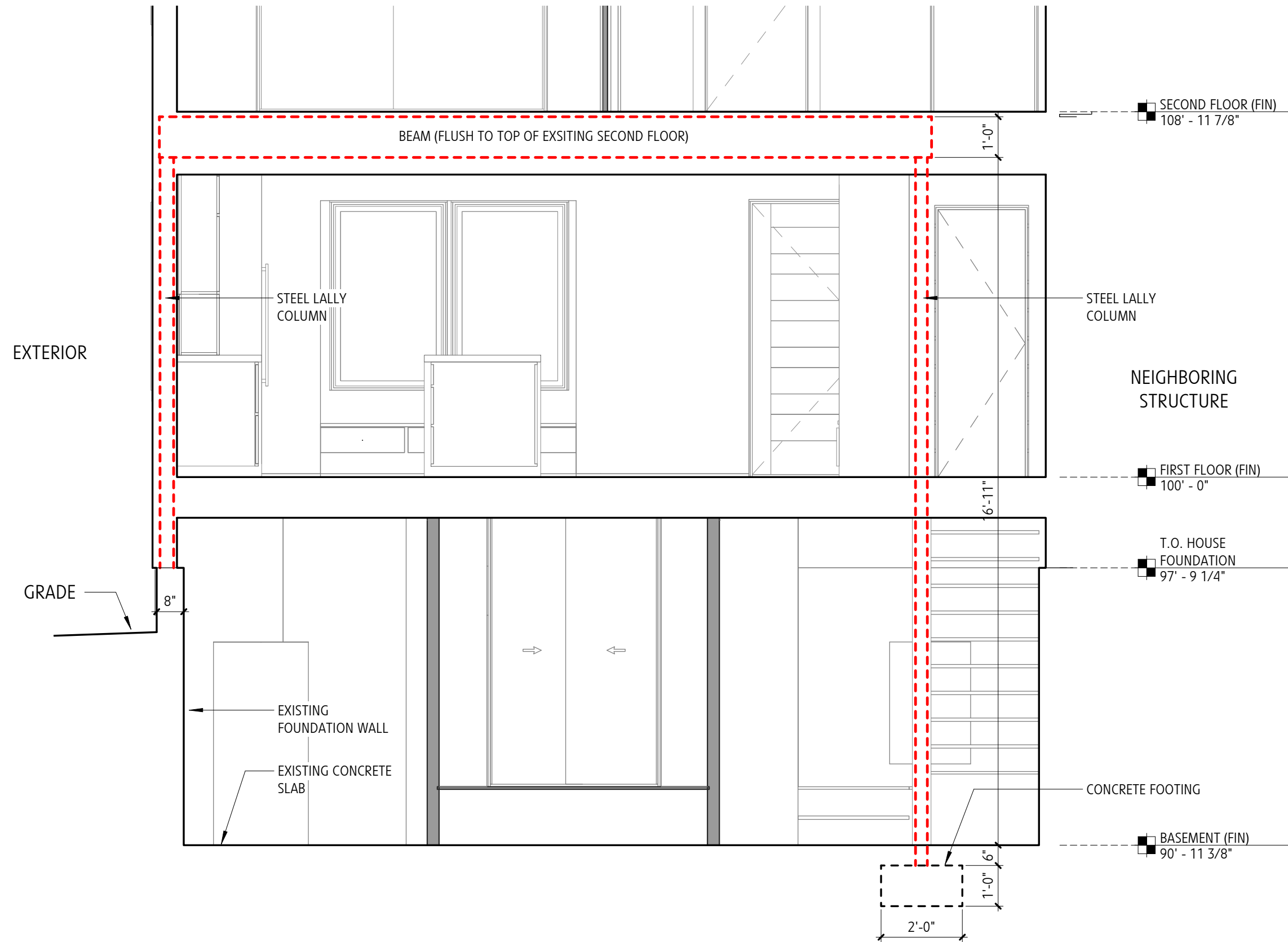
#3 KITCHEN ISLAND C

3/8" = 1'-0"



#4 KITCHEN ISLAND D

3/8" = 1'-0"



NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: BEAM AND COLUMN SECTION  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
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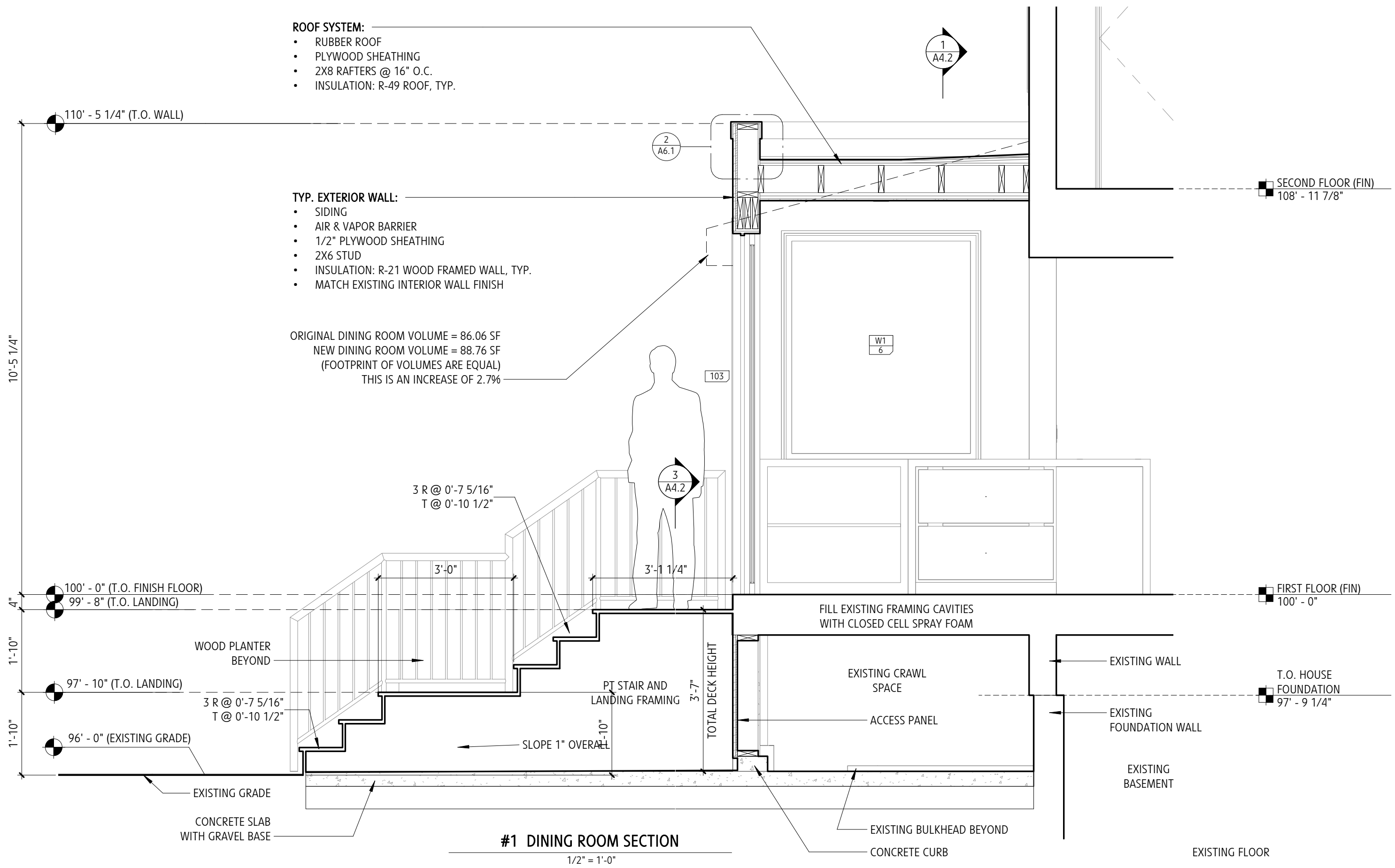
RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

A3.1

- ROOF SYSTEM:**
- RUBBER ROOF
  - PLYWOOD SHEATHING
  - 2X8 RAFTERS @ 16" O.C.
  - INSULATION: R-49 ROOF, TYP.

- TYP. EXTERIOR WALL:**
- SIDING
  - AIR & VAPOR BARRIER
  - 1/2" PLYWOOD SHEATHING
  - 2X6 STUD
  - INSULATION: R-21 WOOD FRAMED WALL, TYP.
  - MATCH EXISTING INTERIOR WALL FINISH

ORIGINAL DINING ROOM VOLUME = 86.06 SF  
 NEW DINING ROOM VOLUME = 88.76 SF  
 (FOOTPRINT OF VOLUMES ARE EQUAL)  
 THIS IS AN INCREASE OF 2.7%



**#1 DINING ROOM SECTION**

1/2" = 1'-0"

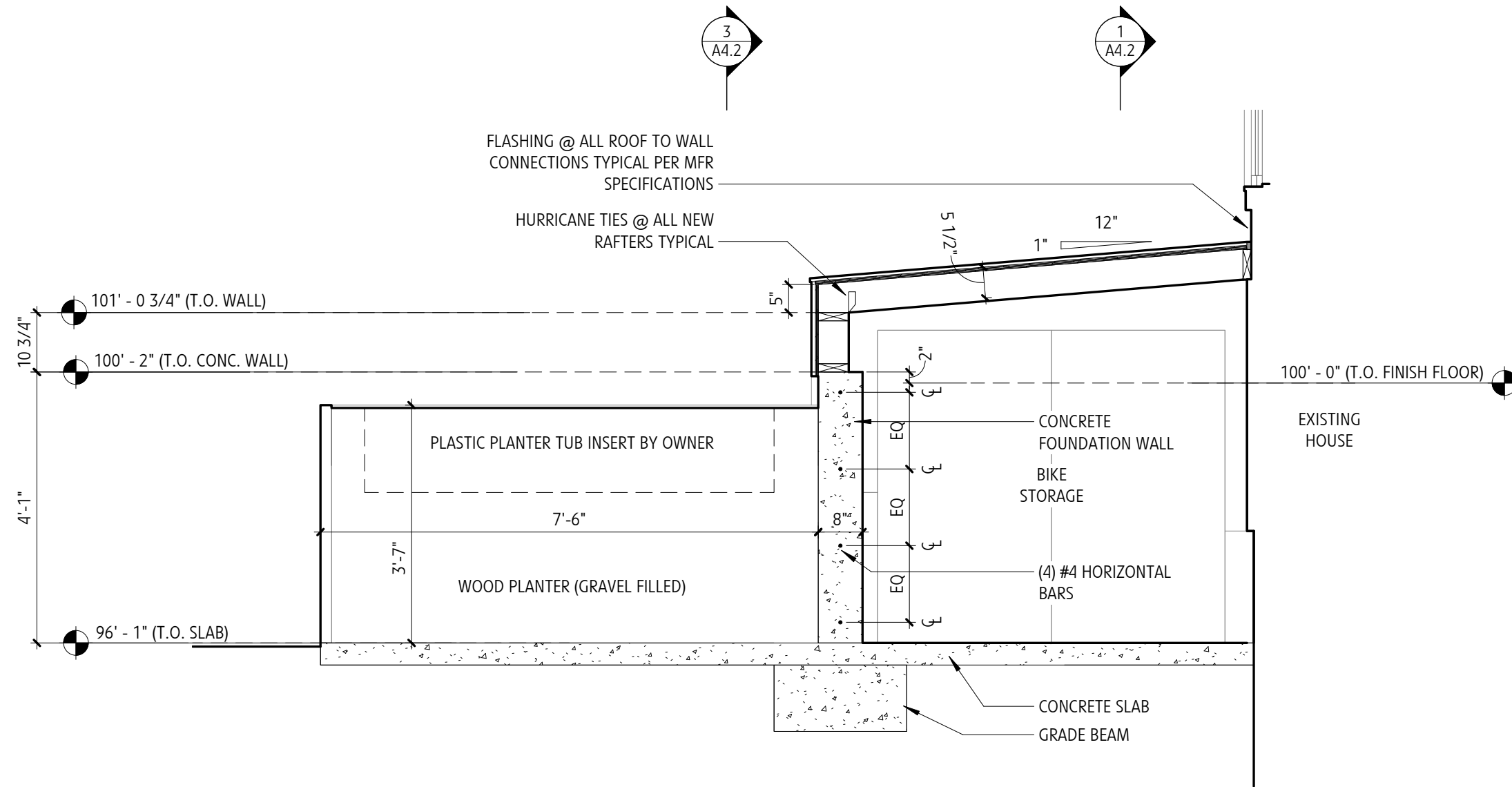


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: SECTION  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

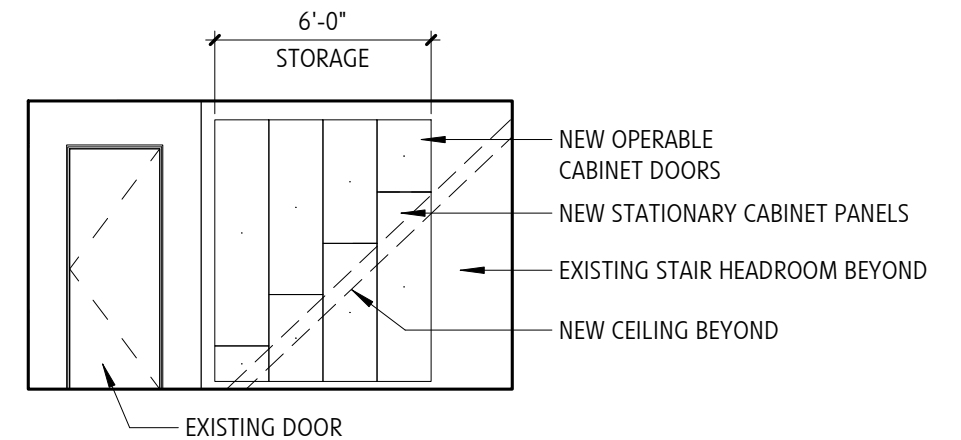
ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 1/2" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139



**#1 SECTION @ SHED AND PLANTER**

1/2" = 1'-0"



**#2 BEDROOM CLOSET**

3/16" = 1'-0"

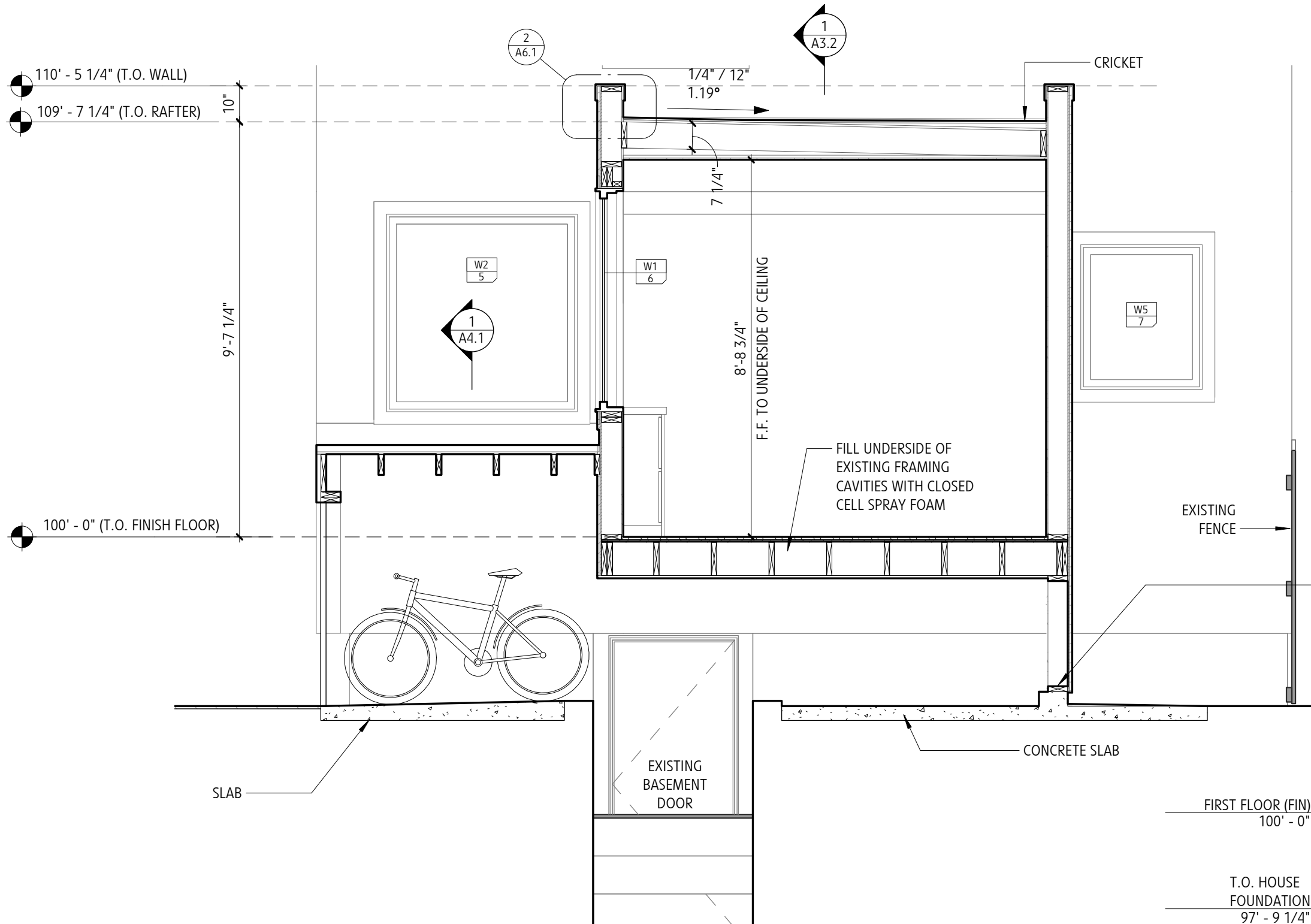


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

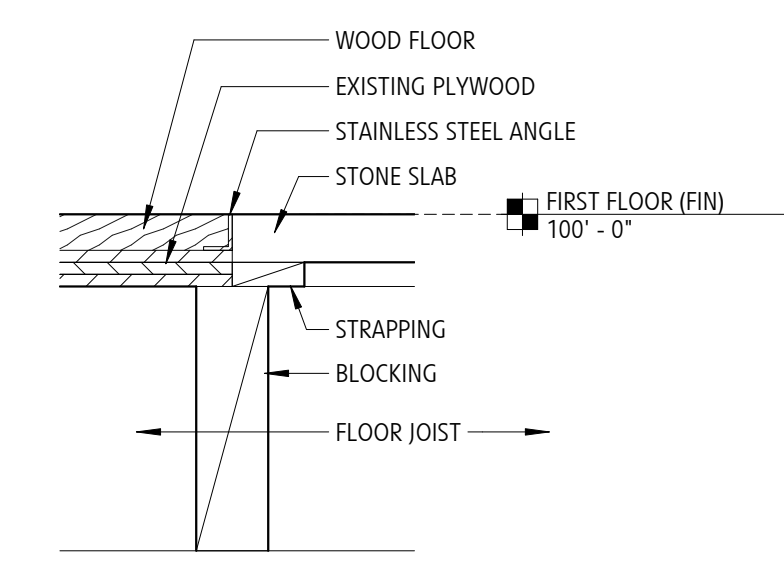
SHEET NAME: DETAIL SECTION  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: As indicated

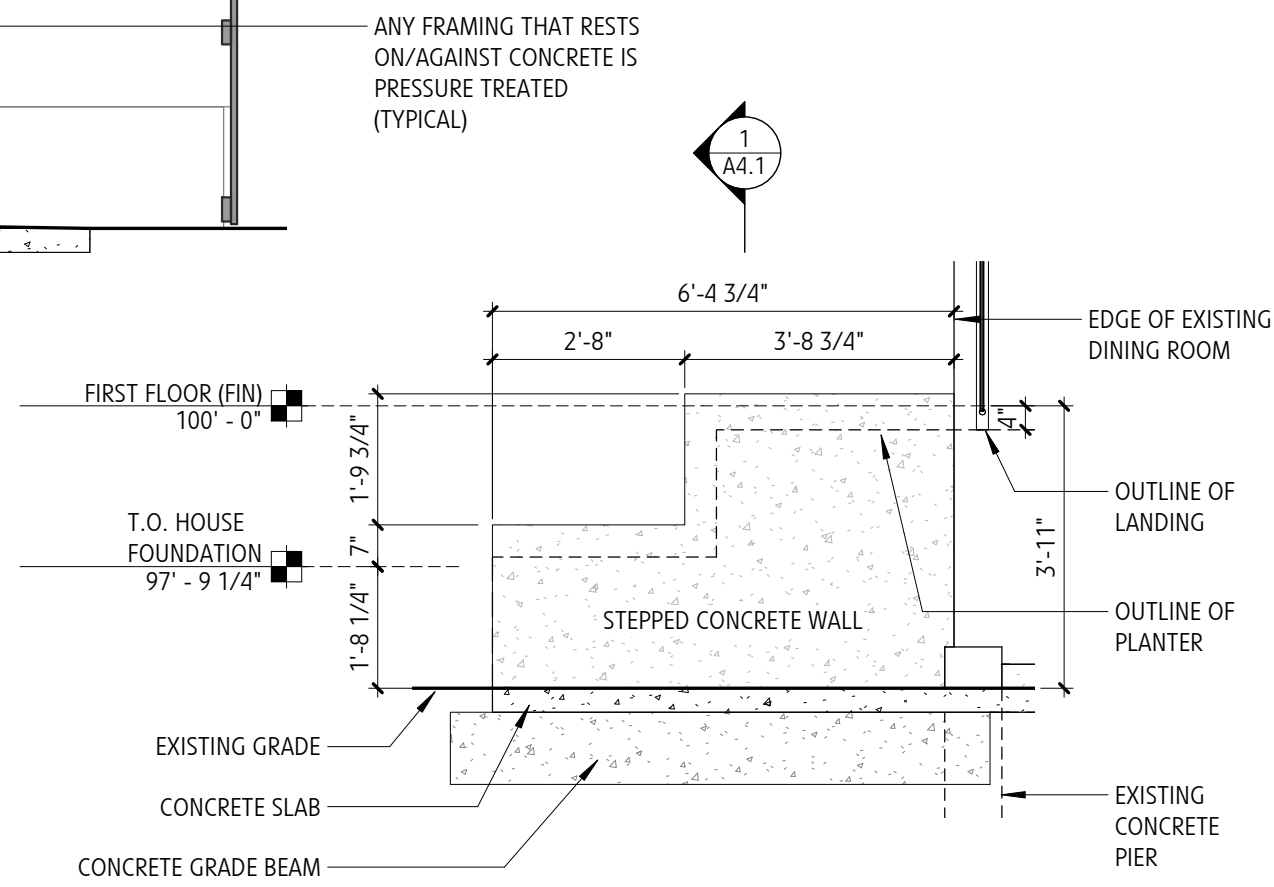
RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139



**#1 SHORT SECTION**  
3/8" = 1'-0"



**#2 FLOORING DETAIL**  
3" = 1'-0"



**#3 CONCRETE WALL ELEVATION**  
3/8" = 1'-0"



NICHOLAS TROY PRESTON  
PHONE: 401.573.2922  
EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: DETAIL SECTIONS  
CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
PROJECT #: 154C  
SCALE: As indicated

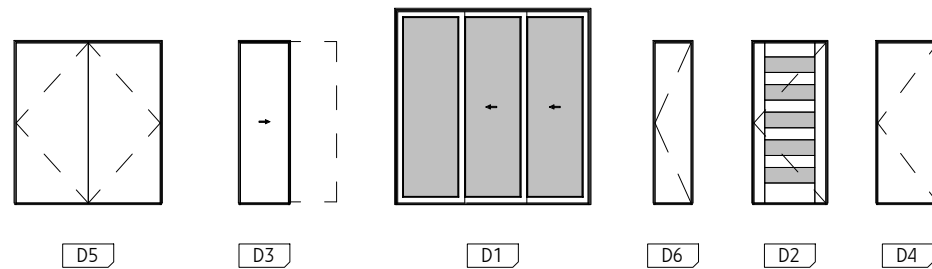
RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
154 CHERRY STREET, CAMBRIDGE, MA 02139

A4.2

WINDOW SCHEDULE									
Mark	Type Mark	Width	Height	Manufacturer	Model	U Value	Tempered Glazing	Egress	Comments
5	W2	4' - 5"	4' - 6 7/8"						
6	W1	4' - 5"	5' - 2"						

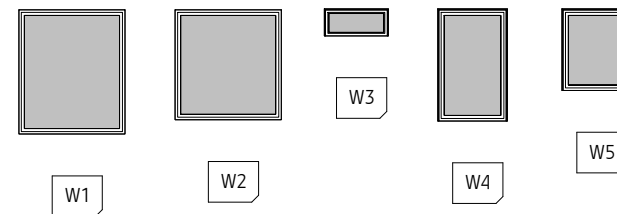
NEW WINDOWS IN EXISTING OPENINGS									
Mark	Type Mark	Width	Height	Manufacturer	Model	U Value	Tempered Glazing	Egress	Comments
1	W4	2' - 9 3/4"	4' - 7 1/2"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
2	W4	2' - 9 3/4"	4' - 7 1/2"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
3	W4	2' - 9 3/4"	4' - 7 1/2"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
7	W5	2' - 9 3/4"	3' - 4 1/4"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
8	W4	2' - 9 3/4"	4' - 7 1/2"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
9	W4	2' - 9 3/4"	4' - 7 1/2"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
10	W4	2' - 9 3/4"	4' - 7 1/2"					E	SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
11	W4	2' - 9 3/4"	4' - 7 1/2"					E	SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
12	W4	2' - 9 3/4"	4' - 7 1/2"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD
13	W5	2' - 9 3/4"	3' - 4 1/4"						SIZE IS FOR PRICING ONLY. VERIFY EXISTING UNIT SIZE IN THE FIELD

DOOR SCHEDULE									
Mark	Type Mark	Width	Height	Level	Manufacturer	Model	Fire Rating	Comments	
001	D8			T.O. HOUSE FOUNDATION				SEE A2.2 FOR LOCATION & SIZING	
002	D7	7' - 0"	6' - 8"	SECOND FLOOR (FIN)					
003	D4	2' - 6"	6' - 8"	SECOND FLOOR (FIN)					
101	D2	3' - 0"	6' - 8"	FIRST FLOOR (FIN)					
102	D3	2' - 0"	6' - 8"	FIRST FLOOR (FIN)					
103	D1	8' - 0"	8' - 0"	FIRST FLOOR (FIN)					
201	D4	2' - 6"	6' - 8"	SECOND FLOOR (FIN)					
204	D5	6' - 0"	6' - 8"	SECOND FLOOR (FIN)					



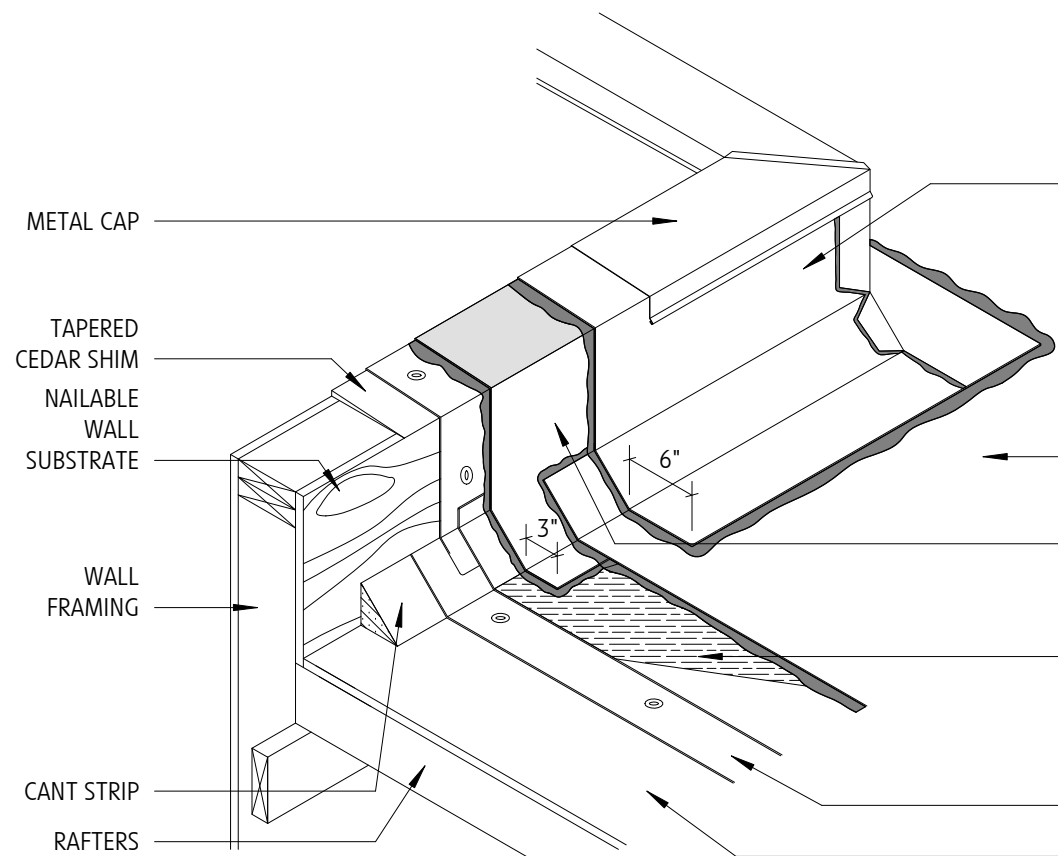
#1 DOORS

1/8" = 1'-0"



#2 WINDOWS

1/8" = 1'-0"



CAPSHEET BASE FLASHING MEMBRANE FULLY ADHERED TO THE STRIPPING PLY. EXTEND BASE FLASHING A MIN 6" BEYOND THE TOE OF THE CANT AND A MIN. OF 8" ABOVE THE FINISHED ROOF SYSTEM.

CAPSHEET SURFACING FULLY ADHERED TO THE BASE / INTER-PLY

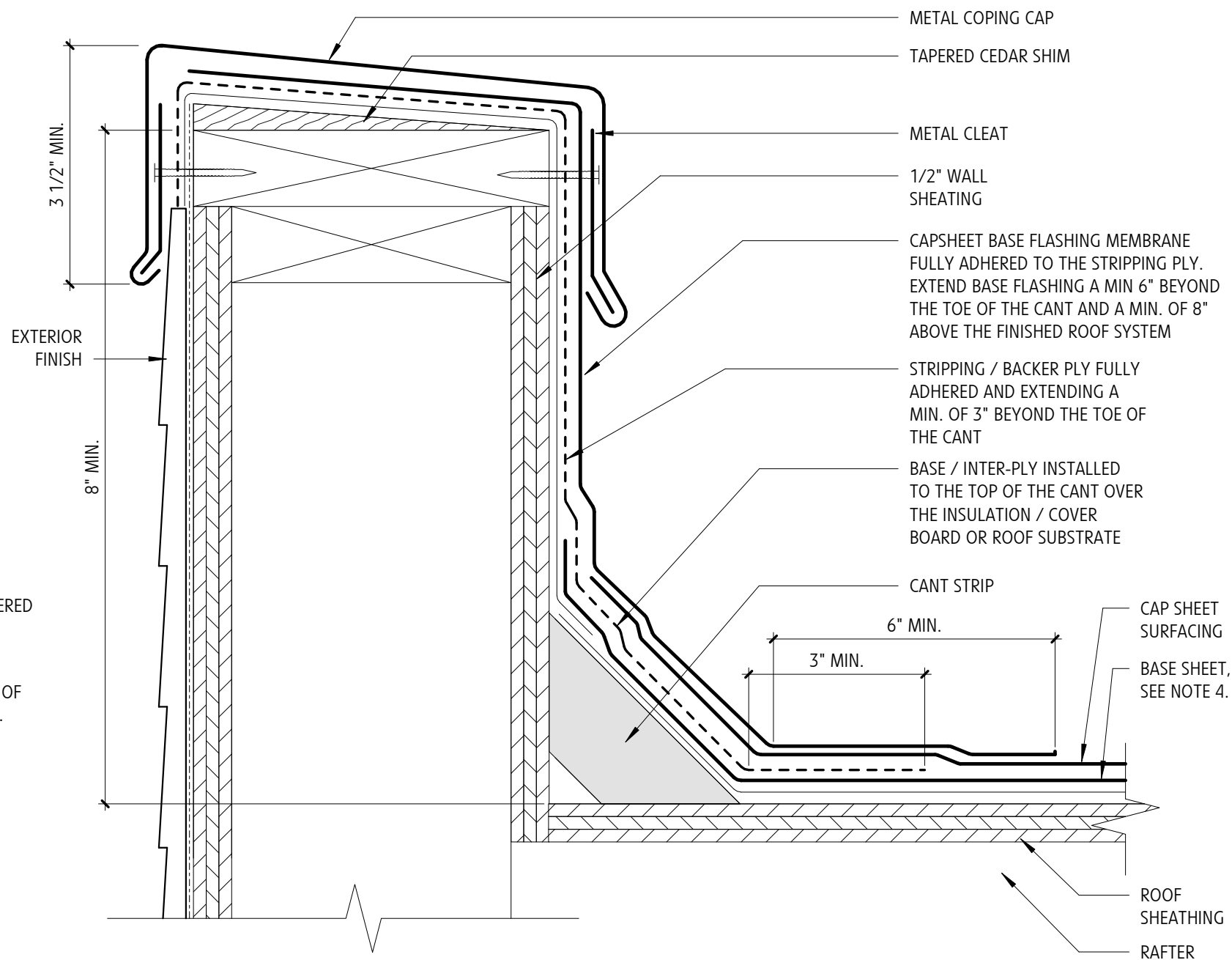
STRIPPING / BACKER PLY FULLY ADHERED AND EXTENDING A MIN. OF 3" BEYOND THE TOE OF THE CANT.

BASE / INTER-PLY INSTALLED TO THE TOP OF THE CANT OVER THE INSULATION/COVER BOARD OR ROOF SUBSTRATE.

BASE SHEET

INSULATION / COVER BOARD OR ROOF SUBSTRATE.

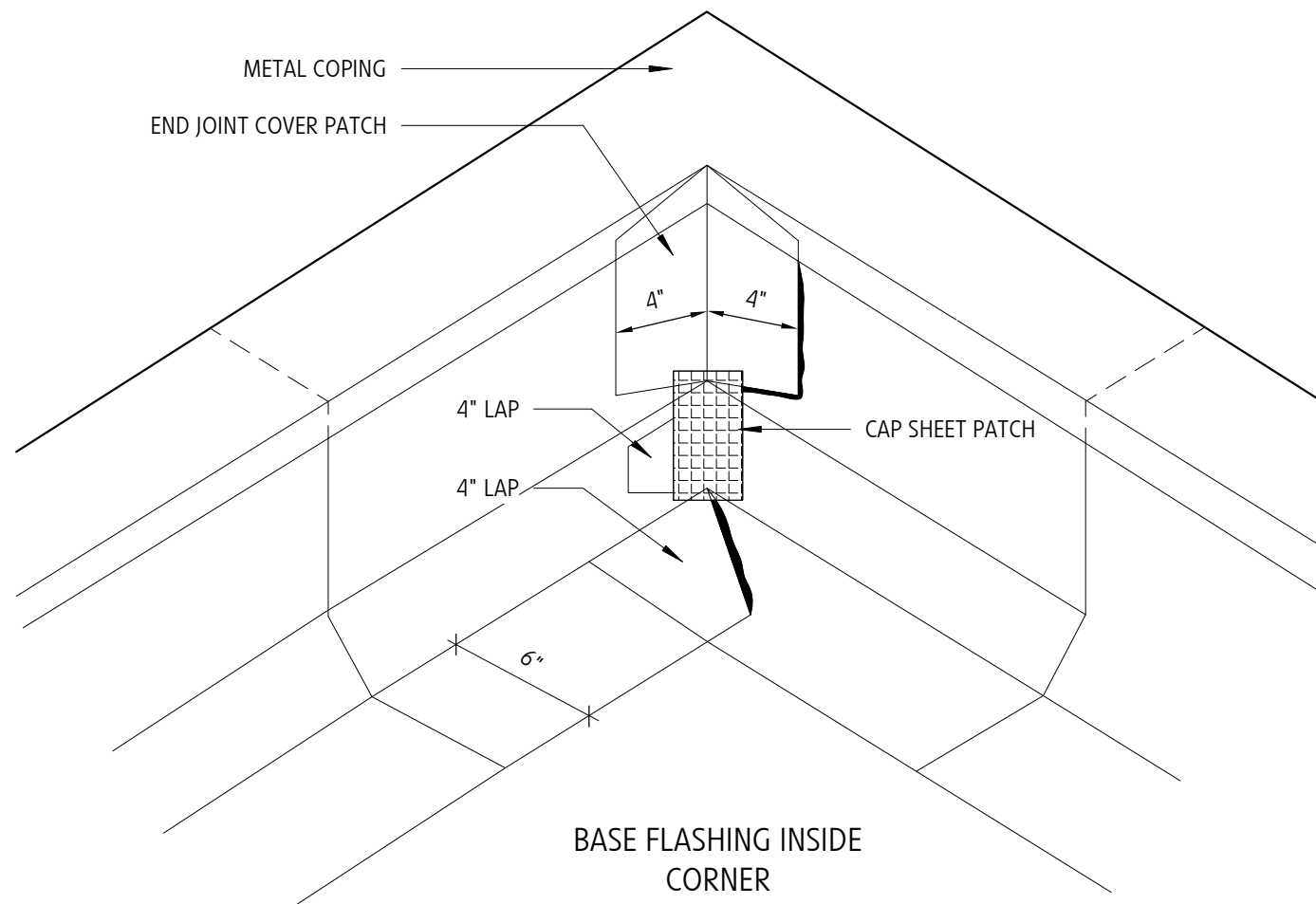
Roof - Membrane - Wood Wall - Base Flashing Axon



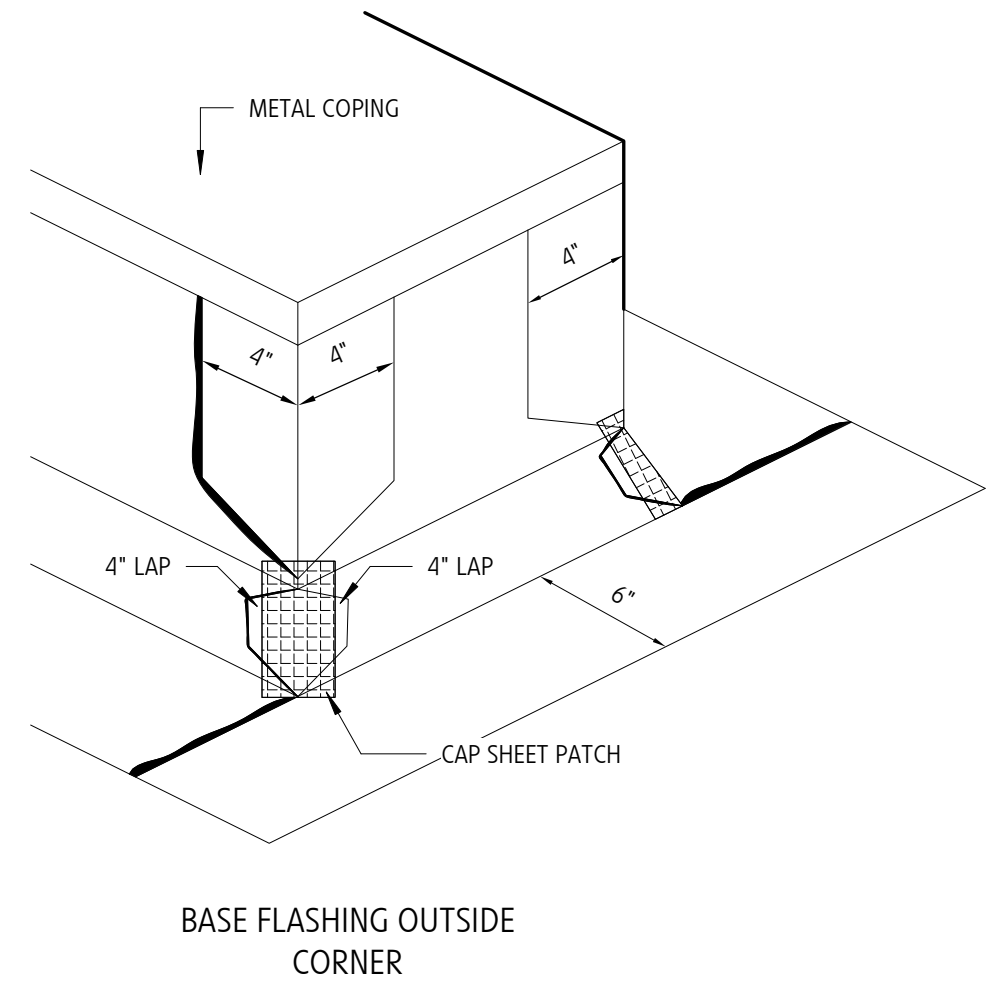
Roof - Membrane - Wood Wall - Base Flashing Section

THIS DRAWING PAGE IS FOR OWNER SAMPLE ONLY.  
"The flat roof membrane at the dining room shall be Carlisle Syntec white epdm fully adhered roofing system or equal, installed as per the manufacturer's instructions."

	NICHOLAS TROY PRESTON	SHEET NAME: EPDM ROOFING PARAPET WALL DETAILS	ISSUED: OCTOBER 21, 2018	<b>RENOVATION PROJECT &amp; EXTERIOR IMPROVEMENTS</b> 154 CHERRY STREET, CAMBRIDGE, MA 02139	<b>A6.1</b>
	PHONE: 401.573.2922	CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD	PROJECT #: 154C		
	EMAIL: NICHOLASTPRESTON@GMAIL.COM	DESIGNER: NICHOLAS TROY PRESTON	SCALE: As indicated		



Roof - Membrane - Wood Wall - Inner  
Flashing Axon



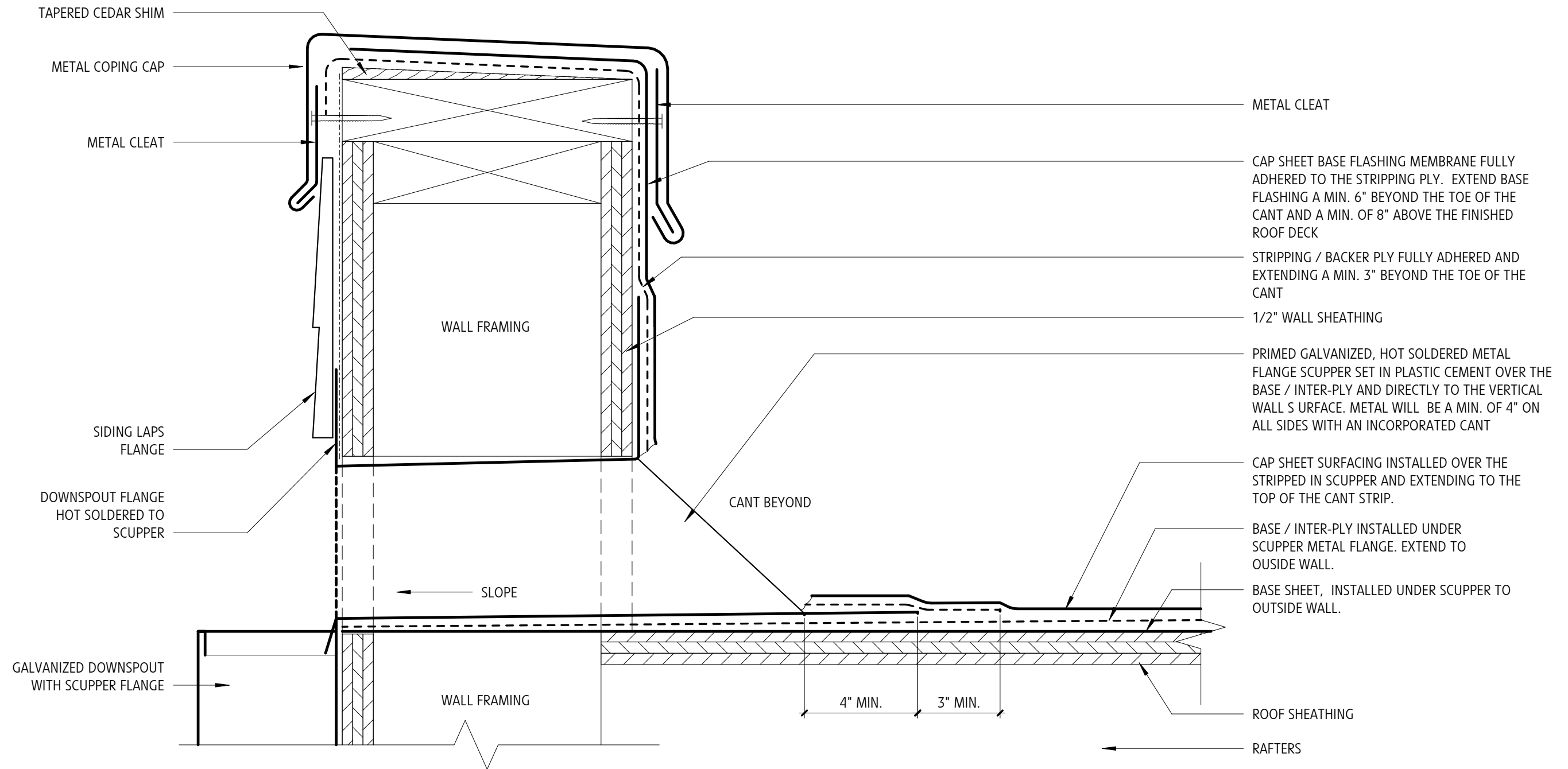
Roof - Membrane - Wood Wall - Outer  
Flashing Axon

THIS DRAWING PAGE IS FOR OWNER SAMPLE ONLY.  
"The flat roof membrane at the dining room shall be Carlisle Syntec white epdm fully adhered roofing system or equal, installed as per the manufacturer's instructions."

	NICHOLAS TROY PRESTON	SHEET NAME: EPDM ROOFING INNER AND OUTER CORNER DETAILS	ISSUED: OCTOBER 21, 2018
	PHONE: 401.573.2922	CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD	PROJECT #: 154C
	EMAIL: NICHOLASTPRESTON@GMAIL.COM	DESIGNER: NICHOLAS TROY PRESTON	SCALE: 1 1/2" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
154 CHERRY STREET, CAMBRIDGE, MA 02139





Roof - Membrane - Wood Wall - Scupper Section

THIS DRAWING PAGE IS FOR OWNER SAMPLE ONLY.  
 "The flat roof membrane at the dining room shall be Carlisle Syntec white epdm fully adhered roofing system or equal, installed as per the manufacturer's instructions."



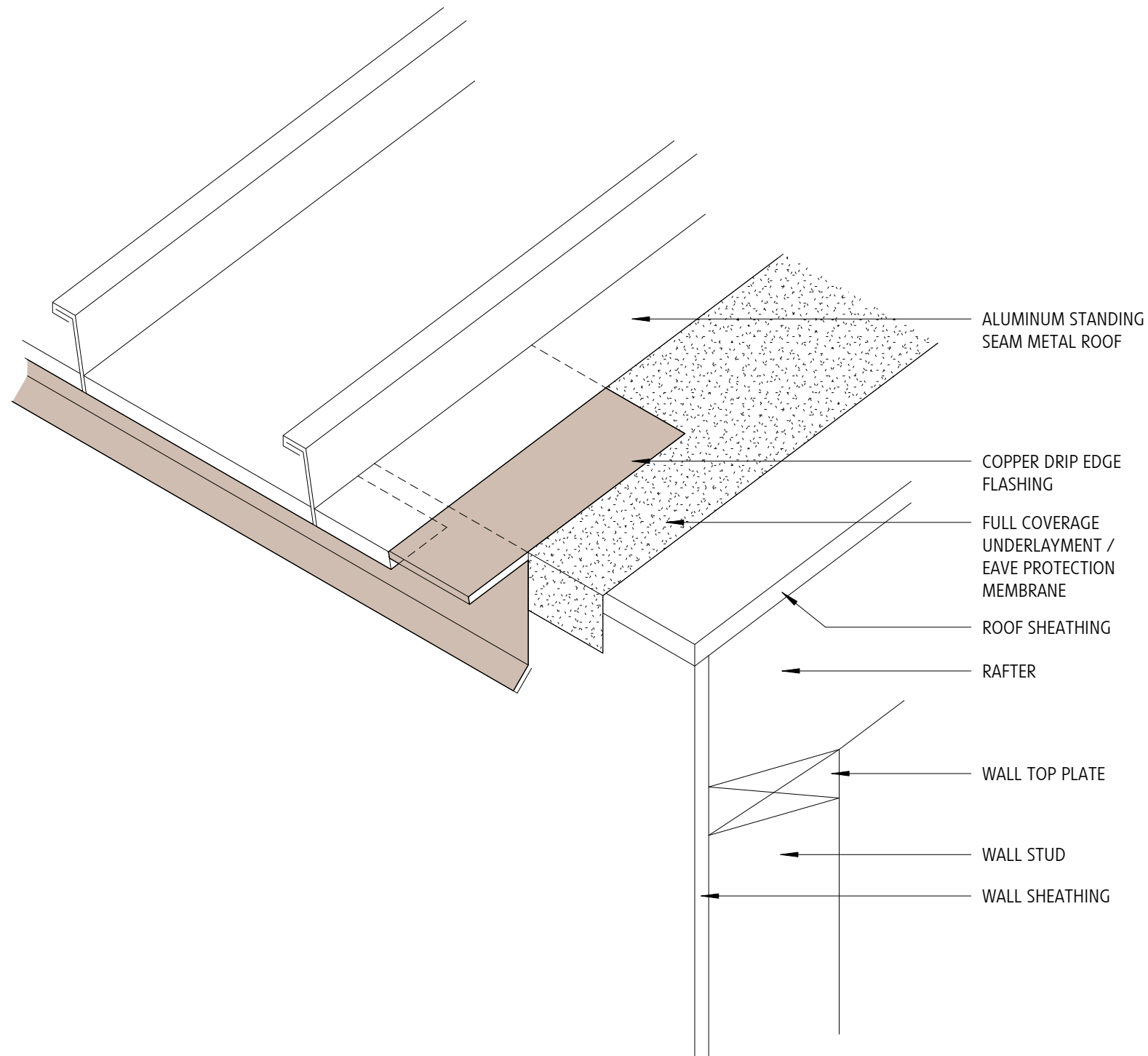
NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: EPDM ROOFING SCUPPER DETAIL  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

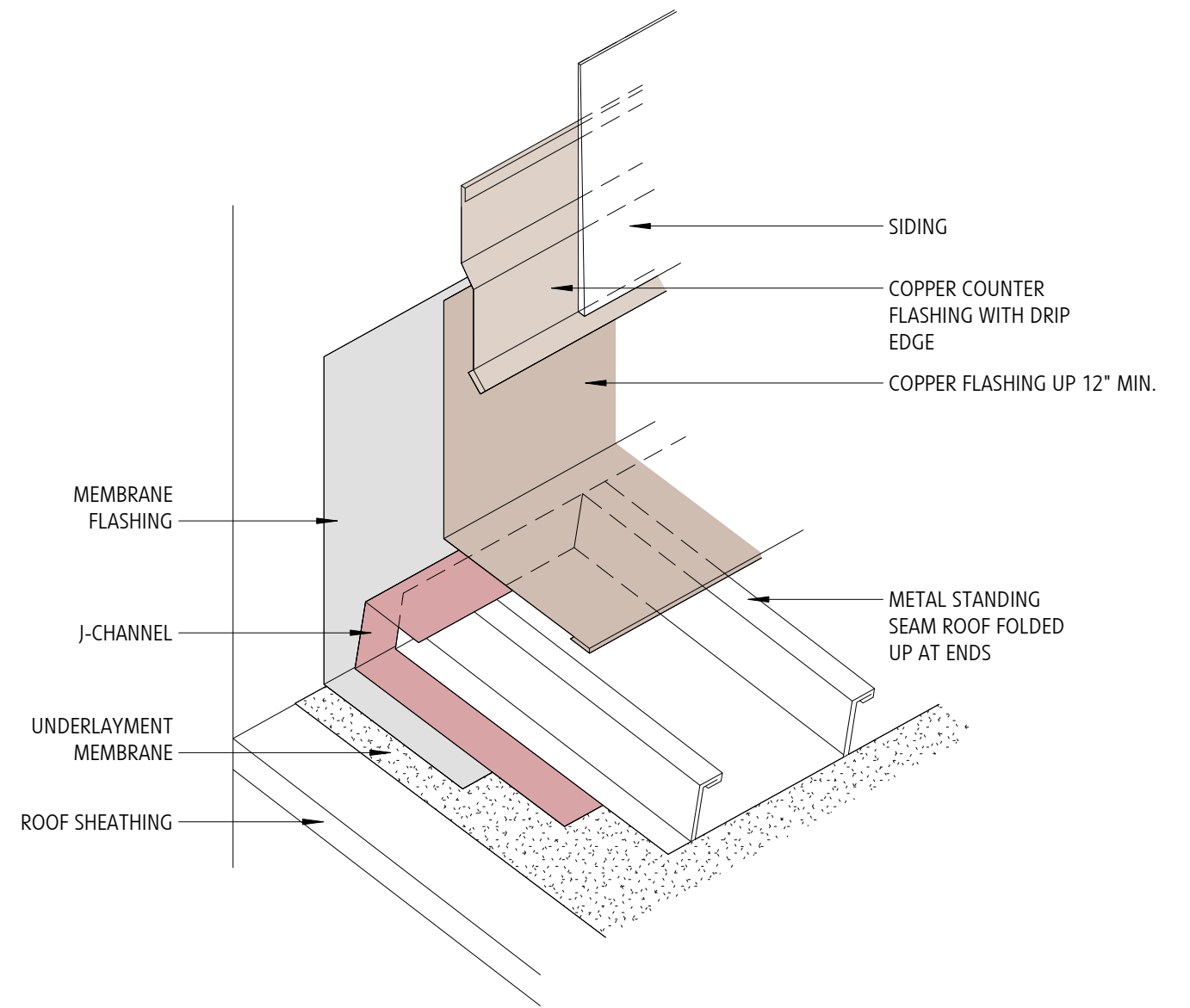
ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 3" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

A6.3



Roof - Metal Standing Seam - Eave



Roof - Metal Standing Seam - Roof/Wall

NOTE: THIS DRAWING PAGE IS FOR OWNER SAMPLE PURPOSES ONLY.  
 "All metal roofing shall be 26-gauge Drexel 200s profile standing seam roofing with 16" wide seams, installed over membrane underlayment & plywood sheathing. All metal roofing shall be installed in accordance with the manufacturer's installation instructions & "best practices". Color to be selected by owner."

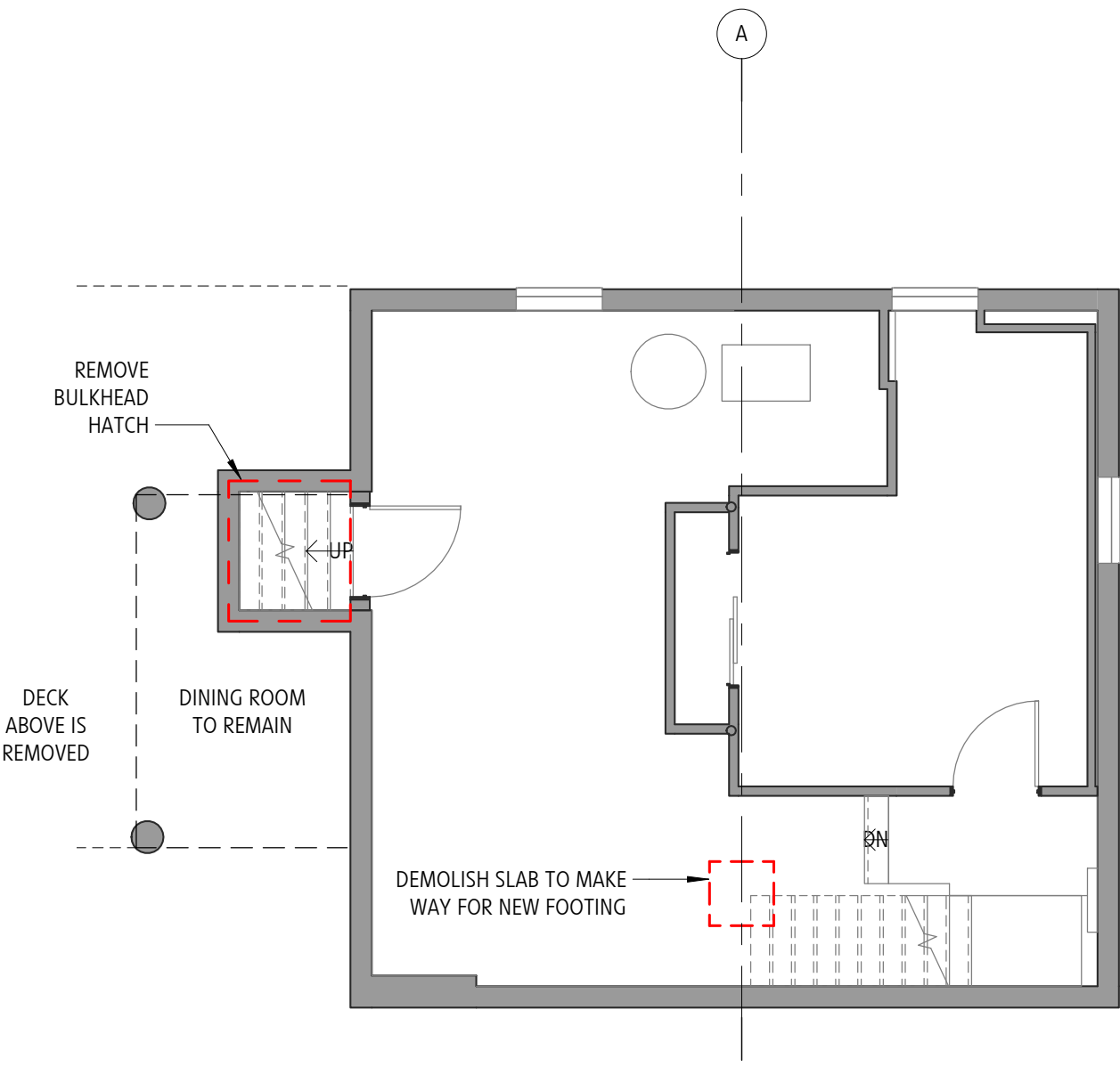


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: STANDING SEAM METAL ROOF DETAILS  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

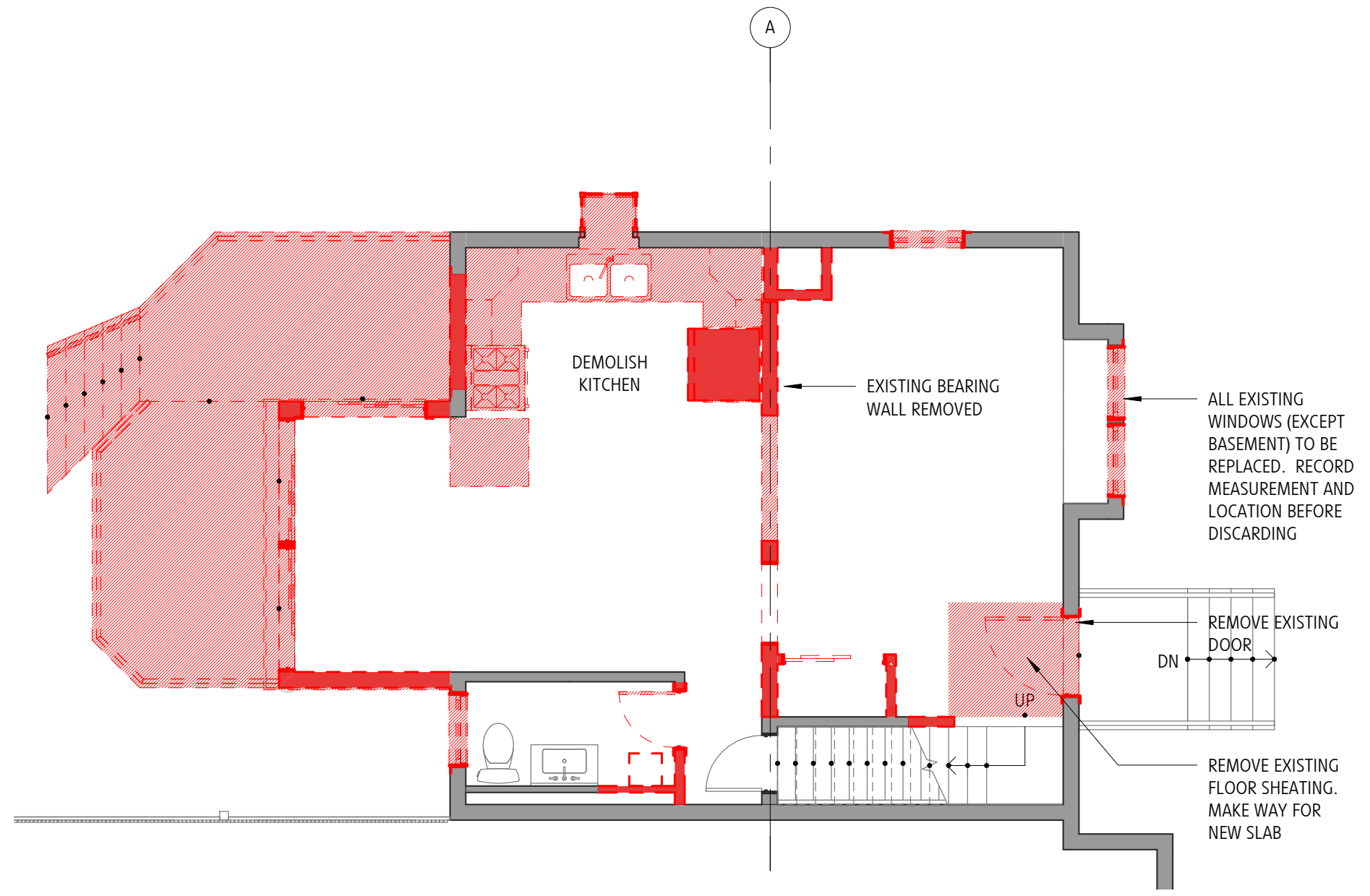
ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 3" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139




#2 BASEMENT DEMO PLAN

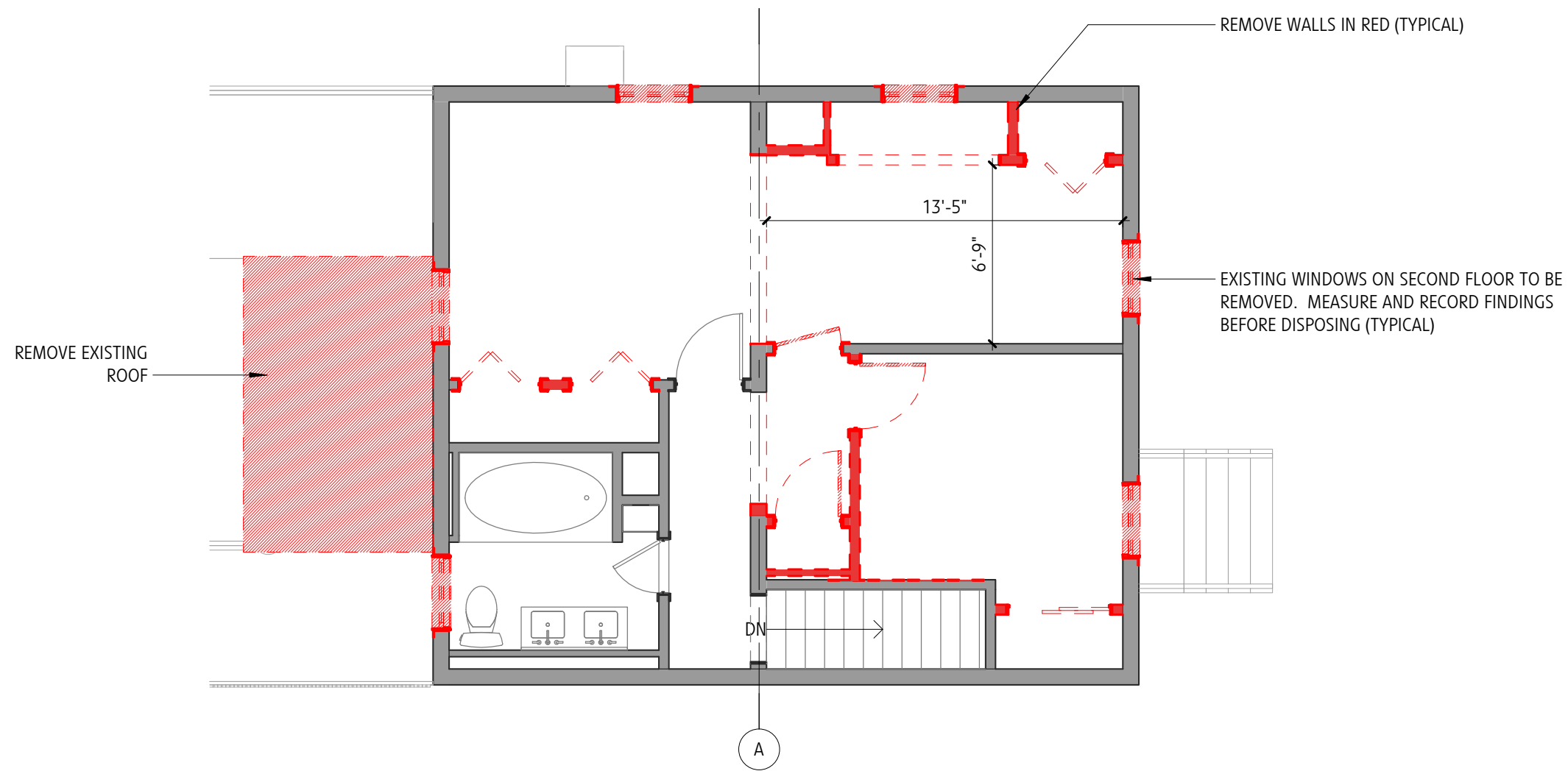
3/16" = 1'-0"



#1 FIRST FLOOR DEMO PLAN

3/16" = 1'-0"

	NICHOLAS TROY PRESTON	SHEET NAME: BASEMENT & FIRST FLOOR DEMO PLANS	ISSUED: OCTOBER 21, 2018	<b>RENOVATION PROJECT &amp; EXTERIOR IMPROVEMENTS</b> 154 CHERRY STREET, CAMBRIDGE, MA 02139	<b>D1.1</b>
	PHONE: 401.573.2922	CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD	PROJECT #: 154C		
	EMAIL: NICHOLASTPRESTON@GMAIL.COM	DESIGNER: NICHOLAS TROY PRESTON	SCALE: 3/16" = 1'-0"		



**#1 SECOND FLOOR DEMO PLAN**

3/16" = 1'-0"

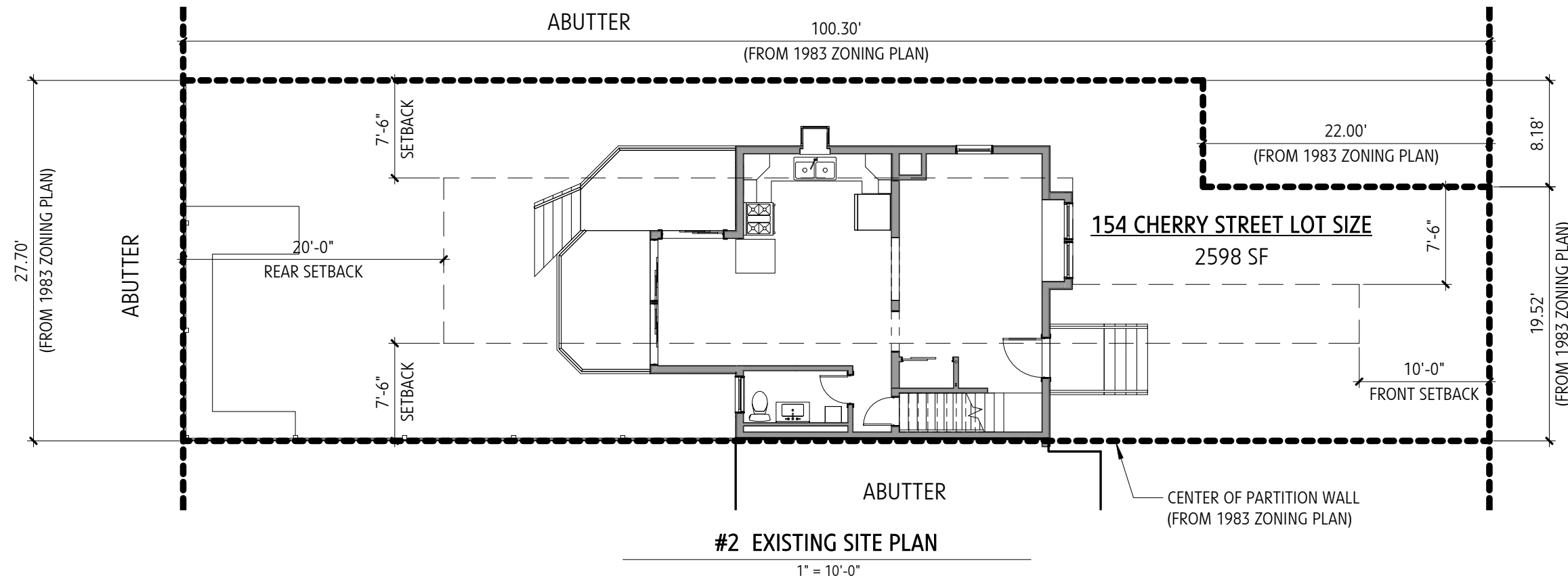


NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: SECOND FLOOR DEMOLITION  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

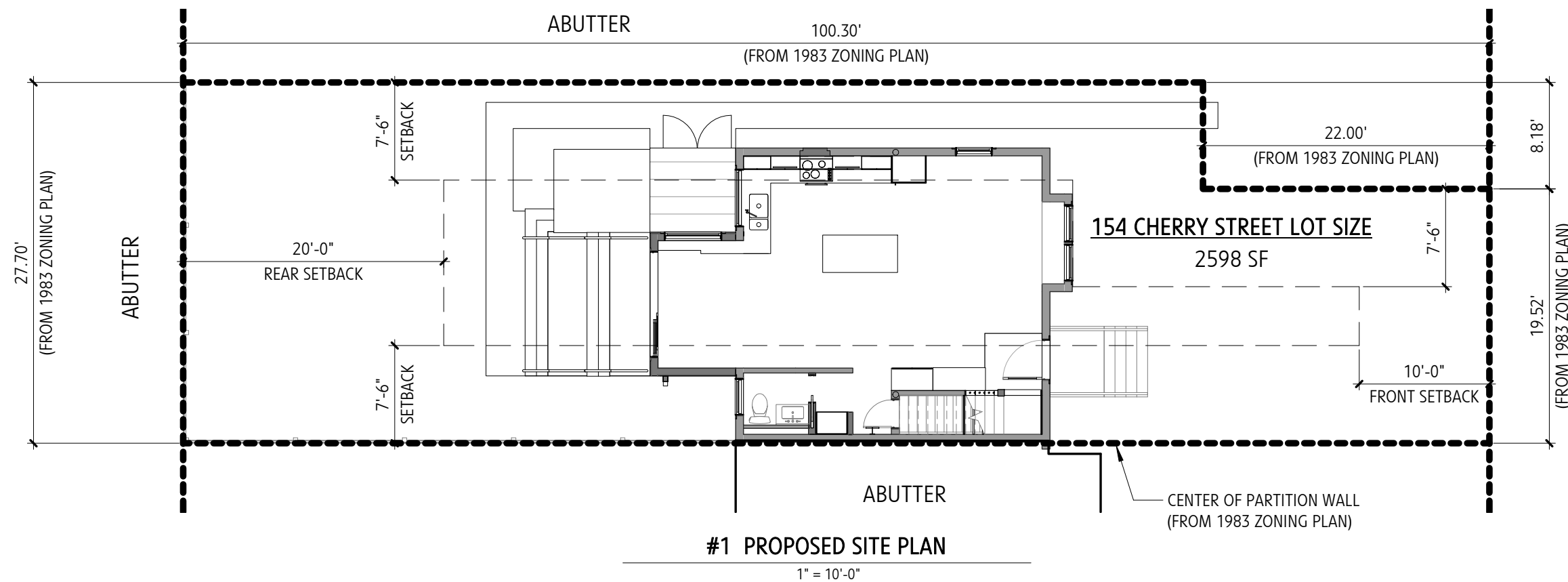
ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 3/16" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139



CHERRY STREET

LOT AREA 2596 SF  
RATIO OF BUILDING TO LOT .671



CHERRY STREET

LOT AREA 2596 SF  
RATIO OF BUILDING TO LOT .671



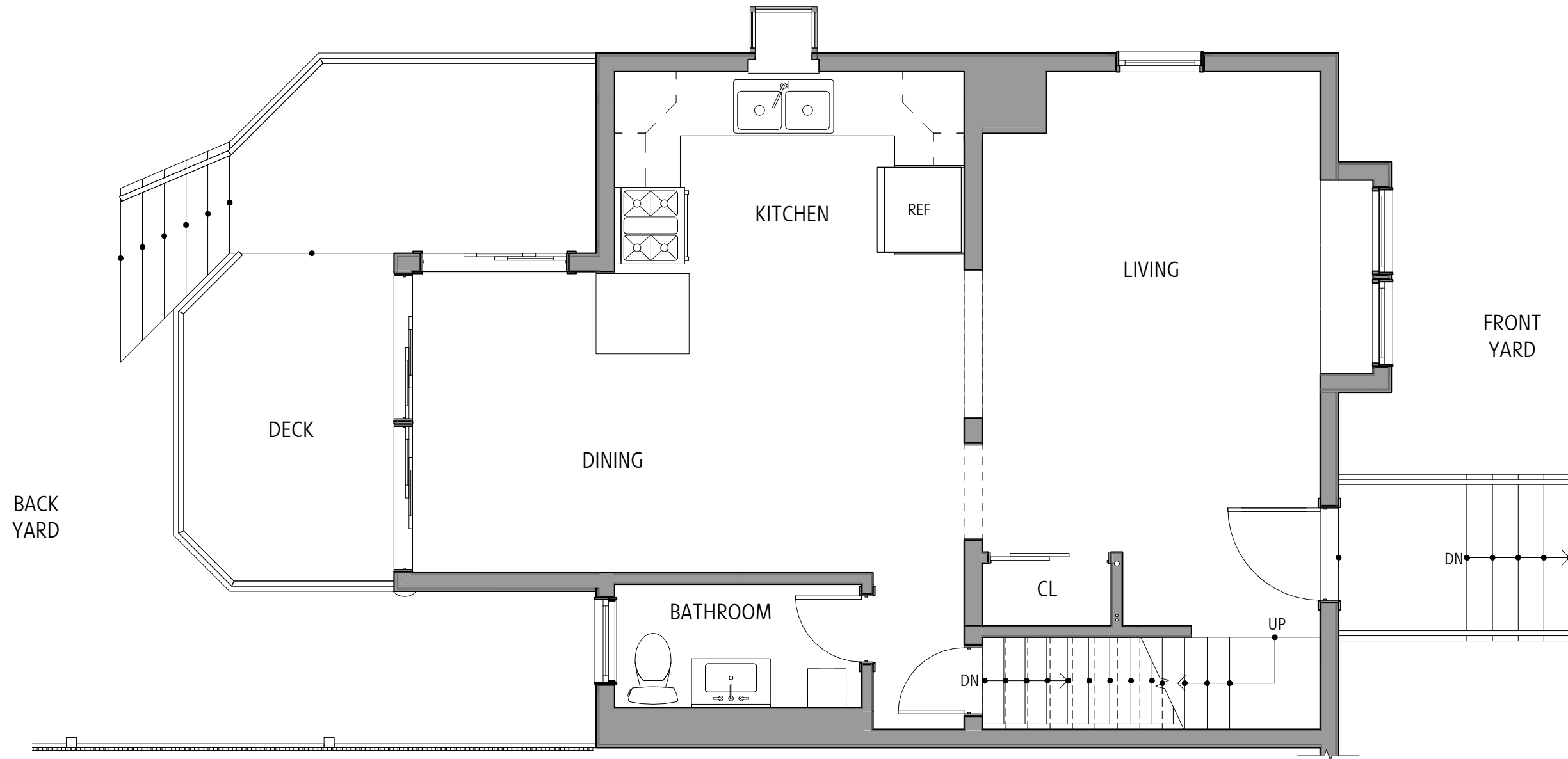
NICHOLAS TROY PRESTON  
PHONE: 401.573.2922  
EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: SITE PLAN  
CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
PROJECT #: 154C  
SCALE: 1" = 10'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
154 CHERRY STREET, CAMBRIDGE, MA 02139

EX1.0



#1 EXISTING FIRST FLOOR PLAN

1/4" = 1'-0"



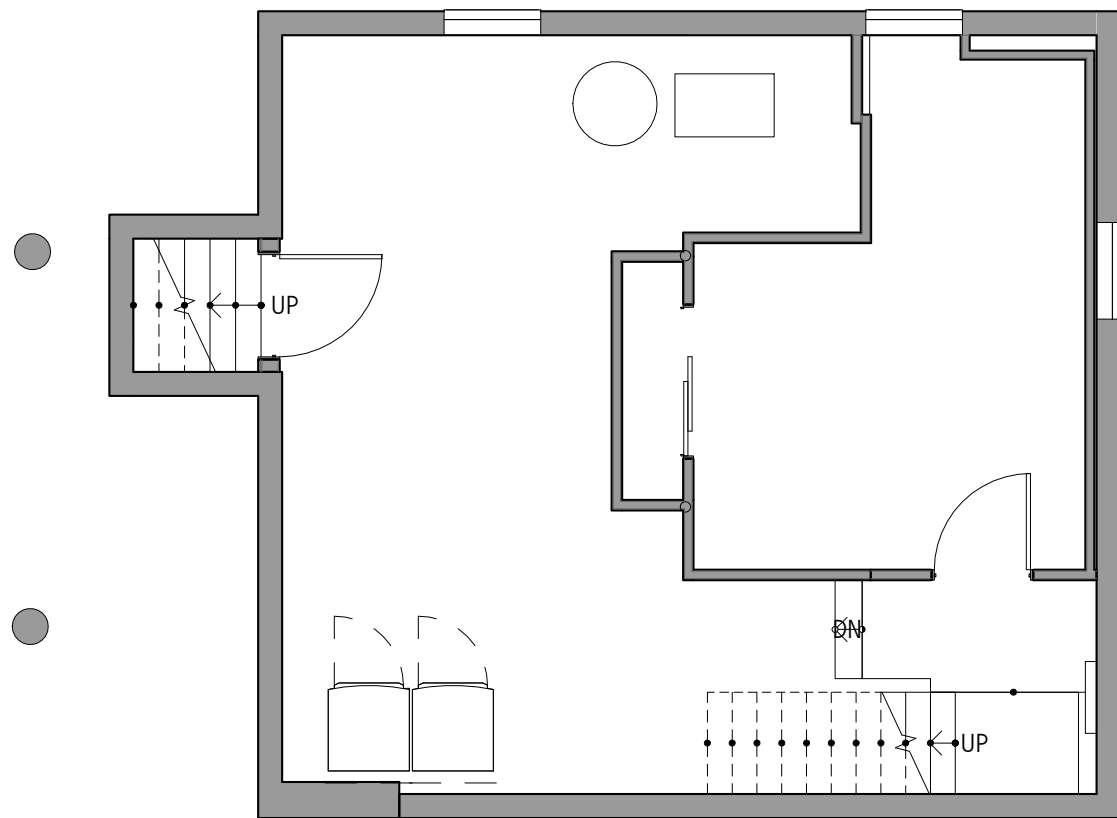
NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: FIRST FLOOR PLAN  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 1/4" = 1'-0"

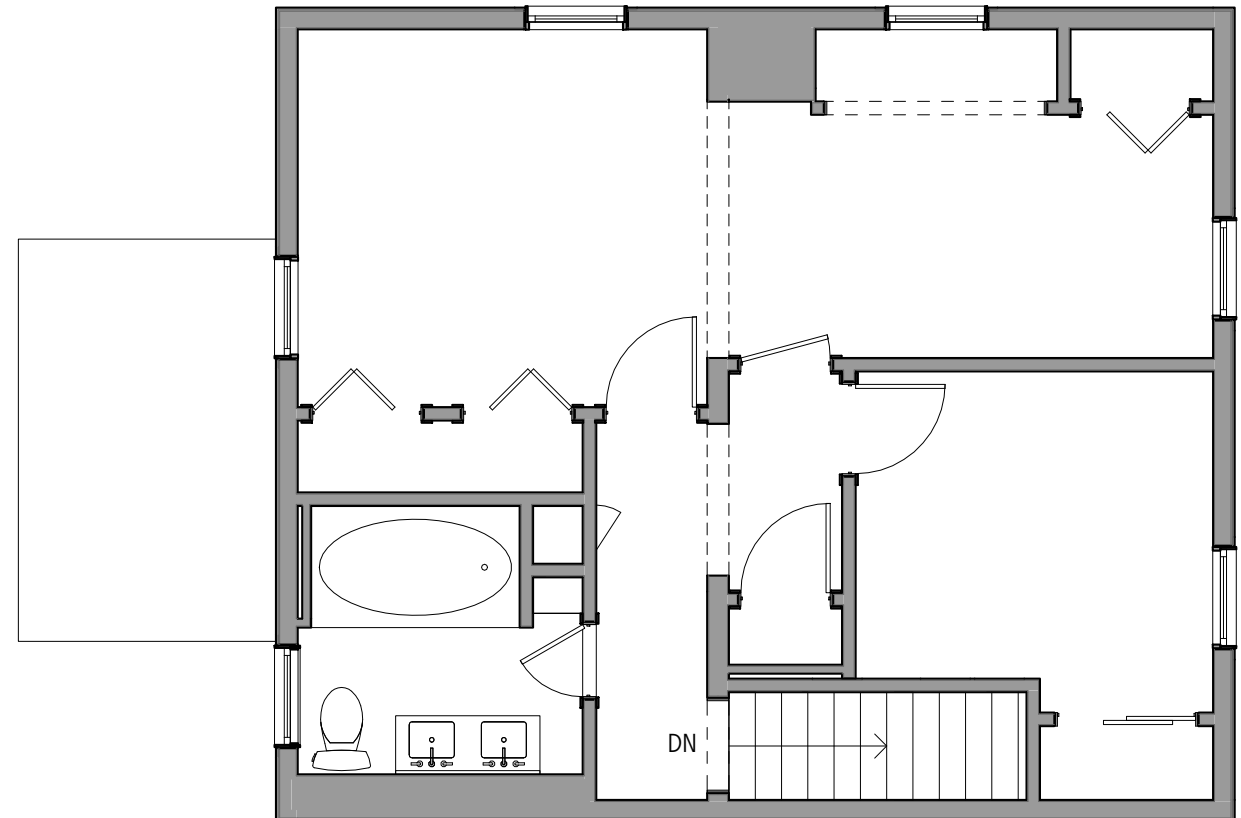
RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

EX1.1



**#2 EXISTING BASEMENT PLAN**

3/16" = 1'-0"



**#1 EXISTING SECOND FLOOR PLAN**

3/16" = 1'-0"



NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

SHEET NAME: BASEMENT & SECOND FLOOR EXISTING PLANS  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE: 3/16" = 1'-0"

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

EX1.2



UNDERSIDE OF EXISTING DINING ROOM

PHOTOGRAPH OF EXISTING BULKHEAD



EXISTING BULKHEAD HERE



FRONT OF HOUSE



NICHOLAS TROY PRESTON  
 PHONE: 401.573.2922  
 EMAIL: NICHOLASTPRESTON@GMAIL.COM

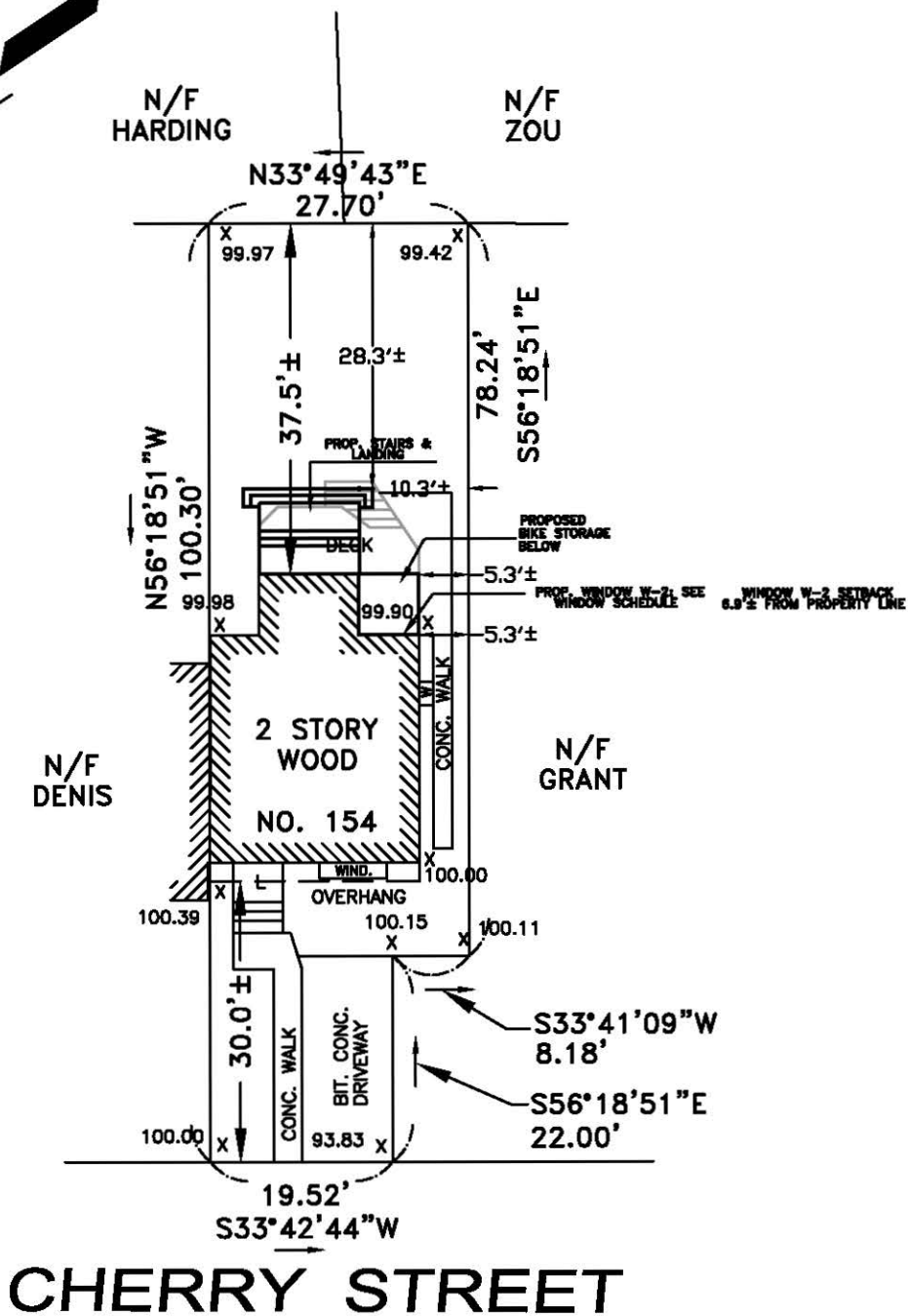
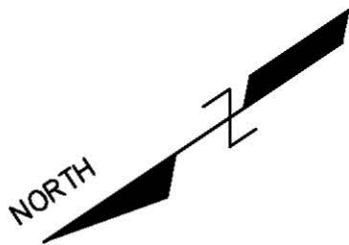
SHEET NAME: EXISTING PHOTOS  
 CLIENT: MAGALIE BOUCHER & STEVEN UPRITCHARD  
 DESIGNER: NICHOLAS TROY PRESTON

ISSUED: OCTOBER 21, 2018  
 PROJECT #: 154C  
 SCALE:

RENOVATION PROJECT & EXTERIOR IMPROVEMENTS  
 154 CHERRY STREET, CAMBRIDGE, MA 02139

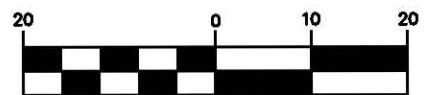
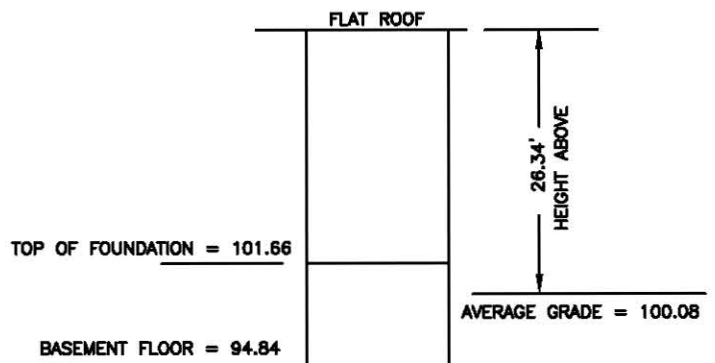
EX1.3





# CHERRY STREET

LOT AREA = 2,596 S.F.±  
 EXISTING BUILDING = 615 S.F.±  
 EXISTING PAVEMENT + WALK = 400 S.F.±  
 PROPOSED ADDITION = 0 S.F.±  
 EXISTING LOT COVERAGE = 23.7%  
 PROPOSED LOT COVERAGE = 23.7%  
 EXISTING OPEN SPACE = 60.9%  
 PROPOSED OPEN SPACE = 60.9%



( IN FEET )  
1 inch = 20 ft.

### NOTES

1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 15438, PAGE 560.
2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN PLAN BOOK 153 OF 1984.
3. SUBJECT PARCEL IS LOCATED IN ZONE C-1
4. BASEMENT IS 76.7% BELOW GRADE.

PROPOSED PLOT PLAN  
 IN  
 CAMBRIDGE, MA

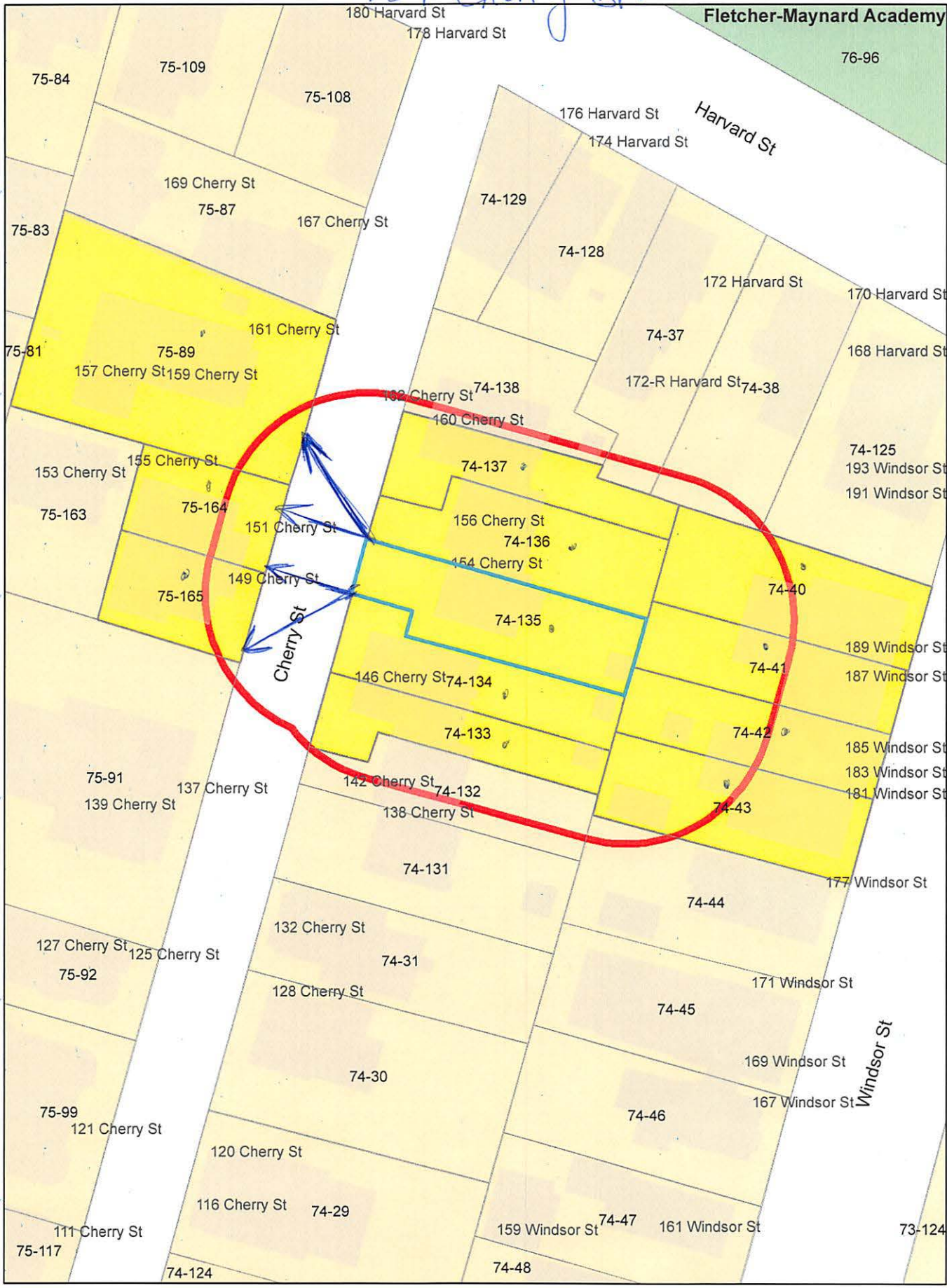
SCALE: 1" = 20' OCTOBER 1, 2018

DLJ GEOMATICS  
 PROFESSIONAL LAND SURVEYING  
 276 NORTH STREET  
 WEYMOUTH, MA 02191  
 (781) 812-0457

154 CHERRY ST CAMBRIDGE.dwg

PROFESSIONAL LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

154 Cherry St.



Fletcher-Maynard Academy

154 Cherry St.

Petitioner

74-40  
HARDING, NEIL  
TRUSTEE OF NEIL HARDING TRUST  
621 46TH STREET, N.W.  
CANTON, OH 44709

74-41-43  
HARDING, DONALD & SHIRLEY A HARDING  
TR. OF THE HARDING FAMILY REVOC. TR.  
181 WINDSOR ST  
CAMBRIDGE, MA 02139

74-135  
BOUCHER, MAGALIE & STEVEN A . UPRITCHARD  
154 CHERRY ST  
CAMBRIDGE, MA 02139

74-42  
ZOU, YING JIAO  
183 WINDSOR ST  
CAMBRIDGE, MA 02139

74-133  
HUBER, EDGAR & KRISTYNA HUBER  
146 CHERRY ST  
CAMBRIDGE, MA 02139

JAMES J. RAFFERTY, ESQ.  
907 MASS AVENUE - 3<sup>RD</sup> FL  
CAMBRIDGE, MA 02139

74-134  
GRANT, ARTHUR M. & FLORENCE M. GRANT  
148 CHERRY STREET  
CAMBRIDGE, MA 02139

74-136  
DENIS, JEAN C. AND MARIE L. DENIS  
156 CHERRY STREET  
CAMBRIDGE, MA 02139

74-137  
LAU, LINDA SUSAN  
160 CHERRY ST.  
CAMBRIDGE, MA 02139

75-89  
MOSELEY, GEORGE  
157-161 CHERRY ST., #157  
CAMBRIDGE, MA 02139

75-89  
MYGRANT, ERIC W. & ANDREA J. BALUTIS  
157-161 CHERRY ST. #159  
CAMBRIDGE, MA 02139

75-89  
DEHNEL, YVES & AGATHE ROBISSON TR.  
161 CHERRY ST  
CAMBRIDGE, MA 02139

75-164  
WAYSHVILLE, AMORY  
151 CHERRY ST. UNIT#1  
CAMBRIDGE, MA 02139

75-164  
CANAN, DAGDEVIREN  
151 CHERRY ST., #2  
CAMBRIDGE, MA 02139

75-165  
YANG, MICHAEL  
149 CHERRY ST., UNIT #1  
CAMBRIDGE, MA 02139

75-165  
PANTAZIS, DIMITRIOS  
149 CHERRY ST., UNIT #2  
CAMBRIDGE, MA 02139