



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2026 MAY 27 AM 11:05

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 1212288

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____ Variance: X Appeal: _____

PETITIONER: Elad Shoushan and Shelly M. Shoushan C/O Sarah Like Rhatigan, Esq., Trilogy Law LLC

PETITIONER'S ADDRESS: 12 Marshall Street, Boston, MA 02108

LOCATION OF PROPERTY: 162 Otis St., Cambridge, MA

TYPE OF OCCUPANCY: Dwelling, Two-Family **ZONING DISTRICT:** Residence C-1 Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Construction of a rear addition that violates side setback requirements for the district.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000 Section: 8.22.3 (Non-Conforming Structure).
Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

(Petitioner (s) / Owner)

Sarah Like Rhatigan, Esq., on behalf of
Petitioners
(Print Name)

Address:

Trilogy Law LLC, 12 Marshall St.,
Boston MA 02108

Tel. No.

617-543-7009

E-Mail Address:

sarah@trilogylaw.com

Date: 5/21/2026

BZA APPLICATION FORM - OWNERSHIP INFORMATION


To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

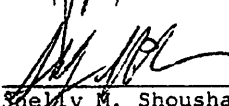
We Elad Shoushan and Shelly M. Shoushan
(OWNER)

Address: 35 Falkerson Street, Cambridge, Massachusetts

state that I/We own the property located at 162 Otis Street, Cambridge, Massachusetts, which is the subject of this zoning application.

The record title of this property is in the name of: Elad Shoushan and Shelly M. Shoushan, pursuant to a deed dated August 29, 2020 and duly recorded in Middlesex South District Registry of Deeds at Book 75543, Page 434.


Elad Shoushan


Shelly M. Shoushan

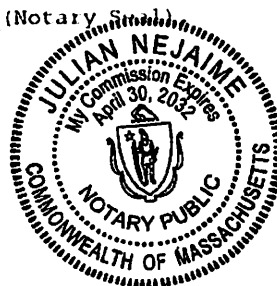
NOTARY PUBLIC

Commonwealth of Massachusetts, County of Middlesex

The above-named Elad Shoushan and Shelly M. Shoushan personally appeared before me, this 9th day of April, 2026, and made oath that the above statement is true.


Notary

My commission expires April 30, 2032 (Notary Seal)



BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions of the Cambridge Zoning Ordinance would involve substantial hardship to the Petitioners due to the unique physical characteristics and existing conditions affecting the property located at 162 Otis Street, Cambridge, Massachusetts.

The Petitioners seek a variance to permit a modest rear addition that extends the existing nonconforming side setback conditions further toward the rear yard. The requested relief is narrowly tailored and limited to the minimum necessary to permit a reasonable, code-compliant rehabilitation of the property.

The existing dwelling is a narrow 19th century structure situated on an unusually constrained 20-foot-wide lot with existing side setbacks as narrow as approximately 0.6 feet and 2.7 feet. These dimensional constraints are pre-existing and longstanding in nature. The existing structure is further affected by age-related deterioration, structural insufficiencies, and outdated construction methods. A structural assessment prepared by the project's structural engineer, Monolith Group, Inc., identifies structural deficiencies in the existing structure and foundation.

The existing building is functionally obsolete and structurally deficient to the extent that substantial reconstruction above the foundation is required. While portions of the existing foundation may be retained, the structural engineer has concluded that the existing masonry foundation has limited capacity to support vertical expansion. Construction of a fourth story beyond the proposed three-story design would likely require substantial underpinning and/or replacement of the existing foundation. Due to the constrained site conditions and close proximity of adjacent structures, such work would result in materially greater construction impacts, cost, complexity, and risk to neighboring properties than the proposed modest rear addition.

The property is also located within an area affected by elevated flood risk as identified by the City of Cambridge Flood Viewer and is therefore subject to flood resiliency requirements under Article 22 of the Cambridge Zoning Ordinance. Existing mechanical systems are presently located within the basement. Compliance with Article 22 will likely require relocation of critical building systems to upper levels and may substantially limit the future functional use of basement areas as habitable space. These flood resiliency constraints further reduce usable interior square footage and increase the practical necessity of accommodating limited additional floor area within the proposed rear addition.

The Petitioners and their design team have developed a proposal that preserves portions of the existing foundation and reconstructs the structure above while maintaining the general scale and character of the streetscape. The proposal includes a limited rear addition of approximately nine feet together with modest stacked porches/balconies intended to provide private open space for each unit.

Strict enforcement of the required 5-foot side setback for the rear addition would leave a buildable width that is not sufficient to create functionally viable and code-compliant residential layouts. Due to the extreme narrowness of the lot and the pre-existing nonconforming conditions, a conforming rear addition would result in impractical and unusable interior spaces and would materially impair the reasonable rehabilitation of the property.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is owing to circumstances described above that are especially affecting this property and not generally affecting the zoning district, including:

- (a) the exceptional narrowness of the lot and existing nonconforming side setbacks;
- (b) structural deficiencies and foundation limitations associated with the existing building; and
- (c) flood resiliency constraints affecting basement use and building systems.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

- 1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The requested relief may be granted without substantial detriment to the public good. The proposed rear addition continues an existing building line and does not create materially new setback conditions beyond those already existing on the property. The addition is modest in scale, limited in depth, and designed to minimize visual and privacy impacts on neighboring properties. The rear addition will remain substantially set back from the rear lot line and will not be readily visible from the public way.

The project will comply with applicable flood resiliency and stormwater management requirements and will incorporate flood-resistant construction measures and elevated building systems in accordance with current City requirements.

- 2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The requested variance may also be granted without nullifying or substantially derogating from the intent or purpose of the Ordinance. The proposal allows for the rehabilitation of an existing structurally compromised building, preservation of neighborhood character, and creation of code-compliant residential housing while maintaining a scale and massing consistent with surrounding properties. The requested relief is the minimum necessary to permit a reasonable and practical rehabilitation of the site.

The Petitioners therefore respectfully request that the Board grant the requested variance.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Elad Shoushan and Shelly M. Shoushan
Location: 162 Otis St, Cambridge, MA
Phone: 617-543-7009

Present Use/Occupancy: Dwelling, Two-Family
Zone: Residence C-1 Zone
Requested Use/Occupancy: Dwelling, Three-Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,541 sf	3,641 sf	n/a	(max.)
<u>LOT AREA:</u>		1,680 sf	1,680 sf	n/a	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.5	2.2	n/a	
<u>LOT AREA OF EACH DWELLING UNIT</u>		840 ft	560 ft	n/a	
<u>SIZE OF LOT:</u>	WIDTH	20 ft	20 ft	20 ft	
	DEPTH	84 ft	84 ft	n/a	
<u>SETBACKS IN FEET:</u>	FRONT	0.8 ft	0.8 ft	0.4 ft (avg of abutters)	
	REAR	30.3 ft	16.7 ft	5.0 ft	
	LEFT SIDE	2.7 ft	2.7 ft	2.7 (existing)/5.0 ft (addition)	
	RIGHT SIDE	0.6 ft	0.6 ft	0.6 (existing)/5.0 ft (addition)	
<u>SIZE OF BUILDING:</u>	HEIGHT	23 ft 2 in	35 ft 4 in	45 ft	
	WIDTH	n/a	n/a	n/a	
	LENGTH	n/a	n/a	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		45.5% (open and perm)	31.0% (open and perm)	30.0% (open)/15.0% (perm)	
<u>NO. OF DWELLING UNITS:</u>		2	3	n/a	
<u>NO. OF PARKING SPACES:</u>		0	0	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		n/a	n/a	n/a	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Construction of a wood-framed rear addition and reconstruction of wood structure above existing masonry foundation, with conventional residential construction methods.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.

162 OTIS STREET
CAMBRIDGE, MA 02141

CLIENT:

ELAD SHOUSHAN
162 OTIS STREET
CAMBRIDGE, MA 02141

PROJECT DESCRIPTION:

THE EXISTING TWO-FAMILY STRUCTURE LOCATED AT 162 OTIS STREET, CAMBRIDGE, MA IS TWO STORIES WITH A FULL BASEMENT. THE FLOOR AND WALLS ARE STRUCTURALLY DEFICIENT BEYOND REPAIR THEREFORE THE ENTIRE STRUCTURE WILL BE RAZED. THE MASONRY FOUNDATION WALLS WILL REMAIN IN PLACE EXCEPT FOR 20 LINEAR FEET OF WALL. THE NEW STRUCTURE WILL BE THREE STORIES IN HEIGHT FOR THREE DWELLING UNITS. THE FIRST-FLOOR UNIT WILL HAVE ACCESS TO THE BASEMENT. THE OTHER TWO UNITS WILL BE LOCATED AT THE SECOND AND THIRD FLOORS.

INDEX OF DRAWINGS

ARCHITECTURAL

NO.	DRAWING TITLE
T-1	COVER SHEET.
C-1	CODE REVIEW.
PP	PLOT PLAN.
A1.0	EXISTING/DEMOLITION FLOOR PLANS.
A1.1	EXISTING/DEMOLITION ELEVATIONS.
A2.0	PROPOSED FLOOR PLANS.
A2.1	PROPOSED ROOF PLAN-BUILDING SECTION WALL-FLOOR/CEILING DETAILS-WINDOW SCHEDULE.
A2.2	PROPOSED BUILDING SECTION.
A3.0	PROPOSED ELEVATIONS.
A4.0	PROPOSED BUILDING ENVELOPE.

STRUCTURAL

NO.	DRAWING TITLE
S101	FOUNDATION PLAN - FIRST-SECOND FRAMING PLANS.
S102	THIRD FLOOR - ROOF FRAMING PLANS.
S103	SHEAR WALLS LAYOUTS.
S201	DETAILS.



PERMIT DRAWINGS



430 Franklin Village Drive, #130, Franklin, MA 02038
t | 617.448.7506

PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.

ADDRESS : 162 OTIS STREET, CAMBRIDGE, MA 02141

Client:

ELAD SHOUSHAN

162 OTIS STREET, CAMBRIDGE, MA 02141

Revisions:

04-21-2026

DESIGNED	RE
DRAWN	AA
CHECKED	AA
PROJECT NO	00-0000
DATE	03-20-2026

DRAWING TITLE
COVER SHEET

DRAWING NUMBER

T1

Two-Family Structure Replacement with Three-Family Structure
162 Otis Street, Cambridge, Ma

Introduction and Summary

The existing two-family structure located at 162 Otis Street, Cambridge Ma is two stories with a full basement. The floor and walls are structurally deficient beyond repair therefore the entire structure will be razed. The masonry foundation walls will remain in place except for 20 linear feet of wall. The new structure will be three stories in height for three dwelling units. The first-floor unit will have access to the basement. The other two units will be located at the second and third floors.

Applicable Building Codes

- The Massachusetts State Building Code (780 CMR, 10th edition), comprised of the International Building Code 2021 (IBC 2021) amended by Massachusetts Amendments to the International Building Code 2021
- 225 CMR 22 MA Stretch Code & Specialized Code for Low-Rise Residential
- 2021 International Energy Conservation Code
- IMC - International Mechanical Code
- IFC - International Fire Code
- 527 CMR - MA fire prevention and electrical regulations
- 521 CMR - MA accessibility regulations
- 248 CMR - MA plumbing regulations
- 524 CMR - MA elevator regulation

INTERNATIONAL BUILDING CODE WITH MA AMENDMENTS

CHAPTER 3 – USE AND OCCUPANCY CLASSIFICATIONS

Use Group R-2

CHAPTER 4 – SPECIAL DETAILED REQUIREMENTS BASED ON USE

Separation Walls: Fire Partitions in accordance with Section 708 Section 420.2

Horizontal Separations: Shall be horizontal assemblies in accordance with Section 711 Section 420.3

Automatic Sprinkler System: In accordance with Section 903.2.8 Section 420.4

Fire Alarm Systems and Smoke Alarms: In accordance with Section 907.2.9 Section 420.5

CHAPTER 5 – GENERAL BUILDING HEIGHT AND AREAS

Construction Type V-B

Height (Table 504.3 & 504.4): 60 feet / Three Stories
Area (Table 506.2): 7,000 SF

CHAPTER 6 – TYPES OF CONSTRUCTION

Fire Resistance Rating Requirement for Specific Building Elements
(Table 601)

Primary Structural Frame: 0 HRS
Bearing Walls: 0 HRS
Nonbearing Walls – Exterior: 0 HRS
Non-bearing Walls – Interior: 0 HRS
Floor Construction: 0 HRS
Roof Construction: 0 HRS

CHAPTER 7 – FIRE AND SMOKE PROTECTION FEATURES

Bldg. Projections: - Projects not permitted with 0 to less than 2' bldg. fire separation distance. Table 705.2
- 24" projections allowed for 2 to less than 3' bldg. fire separation distance.
- 2/3 of FSD allowed with 3 to less than 5' bldg. fire separation distance.
- 40" projection allowed for 5' or greater bldg. fire separation distance.

Fire-Resistance rating Requirements for Exterior Walls Based on Fire Separation Distance
(Table 705.5)

X < 5 1 HR
5 ≤ X < 10 1 HR
10 ≤ X < 10 0 HR

Maximum Area of Exterior Wall Openings Based on Fire Separation Distance
(Table 705.8)

0 to less than 3 feet (unprotected, sprinklered)	Not Permitted
3 to less than 5 feet (unprotected, sprinklered)	15% per story
5 to less than 10 feet (unprotected, sprinklered)	25% per story
Dwelling Unit Separation Walls Section 708.3	1 HR
Dwelling Unit Horizontal Assembly Section 711.2.4.3	1HR
Shaft Enclosure Section 713.4	1 HR

Stairway Fire Rated Door 1 HR
Table 716.1(2)

CHAPTER 8 - INTERIOR FINISHES

Interior Wall and Ceiling Finishes (Table 803.13)

Interior Stairway Class C, min.
Rooms and Enclosed Spaces Class C, min.

Interior Trim Class C, min.
Section 806.7

Interior Floor Wall Base Class C, min.
Section 806.8

CHAPTER 9 – FIRE PROTECTION AND LIFE SAFETY SYSTEMS

Automatic Sprinkler System: Required
Section 903.2.8

NFPA 13R Sprinkler System: Allowed
Section 903.3.1.2

Manual Fire Alarm System: Not required
Section 907.2.8.1

Smoke Alarms: Required in the following areas:
Section 907.2.11.2
1. Outside each bedroom
2. In Bedrooms
3. At each story

CHAPTER 10 – MEANS OF EGRESS

Single Exit: Allowed for bldgs. not exceeding three floors with max. of 4 dwelling units Table 1006.3.4(1) and exit access travel distance not exceeding 125 feet.

Stairway Width: 36" min.
Section 1011.2 (1)

Stairway Headroom: 80" min.
Section 1011.3

Stairway Riser Height: 7" max., 4" min.
Section 1011.5.2

Enclosure Under Stairway: 1 hour fire rated.
Section 1011.7.3

Stairway Exit Signs: Not required.
Section 1013.1(3)

Handrail Height: 34" to 38"

Section 1014.2
Handrail Type: Outside diameter not less than 1 /14", not greater than 2".
Section 1014.3

Handrail Extensions: 12" min at top stairway landing and handrail continue to slope for depth of one tread beyond bottom riser.
Section 1014.6

Handrail Clearance: 1 1/2" min. between handrail and wall
Section 1014.7

Guard Height: 42" min
Section 1015.3

Guard Opening: 4" max.
Section 1015.4

Exit Access Travel Distance: 250' max.
Table 1017.2

Corridor Width: 36" min.
Table 1020.3

Stairway Construction: 1 Hour Fire Rated
Section 1023.2

Emergency Escape and Rescue: Required in stories with one exit and in basements.
Section 1031.2

Emergency Escape and Rescue Size: 5 sf at grade
Section 1031.3.1 5.7 sf above grade

Emergency Escape and Rescue Min. Dimensions: 24 H,20" W
Section 1031.3.1

Emergency Escape and Rescue Maximum Height: 44" from floor.
Section 1031.3.3

Emergency Escape Area Walls: 9 SF
Section 1031.5.1 3' W x 3' D

CHAPTER 12 – INTERIOR ENVIRONMENT

Unvented Enclosed Rafter Assembly: Allowed if no interior Class I Vapor retarder installed on the interior ceiling side.
Section 1202.3 Air-impermeable insulation- Class II vapor retarder

Ventilation Area for Crawl Spaces with Covered Floors: 1 SF per 1,500 sf of crawl space
Section 1202.4.1.2 Class I vapor retarder

Sound Transmission Class: 50 min. between dwelling units
Section 1206.2

Min. Room Width: 7'
Section 1208.

Min. Ceiling Height: 7'-6"
Section 1208.2 7' at bathroom, kitchens, storage space and laundry rooms

Crawl Space Access: 18" x 24" min.
Section 1209.1

APPENDIX RC-MA MUNICIPAL OPT-IN SPECIALEZED STRETCH CODE 2023

Compliance: Section RC 103 – All Electric
RC101.1 Section R404.4 – EV Wiring
Section R406 – HERS

SECTION RC 103 ALL-ELECTRIC PATHWAY

General: Shall comply with:
RC103.1 Section R401.2.5 – Additional Energy Efficiency
Section RC 103.2 – All Electric HERS Rating Index
Appendix RB – Solar Ready Provisions

All Electric HERS Rating Index Score: 45 max., building shall meet the requirements of Table RC103.2 - Section R406.2

Additional Energy Efficiency: R408.2.2 and R408.2.3 shall apply for primary space heating and R401.2.5 domestic hot water supply.

Wiring for Electric Vehicle Ready Parking Spaces: Does not apply, off-street parking not provided.
R404.4

Requirements for Energy Rating Index:
Table R406.2 R403.6.1 Heat and Energy Recovery Ventilation
R404.1. Lighting Equipment
R402.2. Interior Lighting Controls

More Efficient HVAC Equipment Performance Option: Shall apply, refer to this Section.
R408.2.2

Reduced Energy use in Service in Water Heating Option: Shall apply, refer to this Section.
R408.2.3

PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.

ADDRESS : 162 OTIS STREET, CAMBRIDGE, MA 02141

**Client:
ELAD SHOUSHAN
162 OTIS STREET, CAMBRIDGE, MA 02141**

Revisions:

04-21-2026

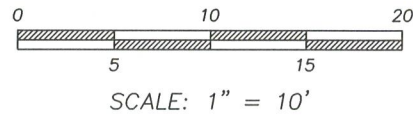
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PROJECT NO	DATE
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**DRAWING TITLE
CODE REVIEW**

DRAWING NUMBER

C-1





ZONE: C-1

	REQUIRED	EXISTING	PROPOSED
MIN OPEN SPACE%	30%	45.5%	31.0%
MAX STORIES	4	2	3
MIN FRONT YARD(AVG FRONT SETBACK)	0.4	0.8	0.8
MIN SIDE YARD	5	2.7	2.7
MIN SIDE YARD	5	0.6	0.6
MIN REAR YARD	5	30.3	16.7

NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: ELAD & SHELLY M SHOUSHAN

TITLE REFERENCE: BK 75543 PG 434

PLAN REFERENCE: 4479A & 368 OF 1968

THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

SURVEYOR'S CERTIFICATION:

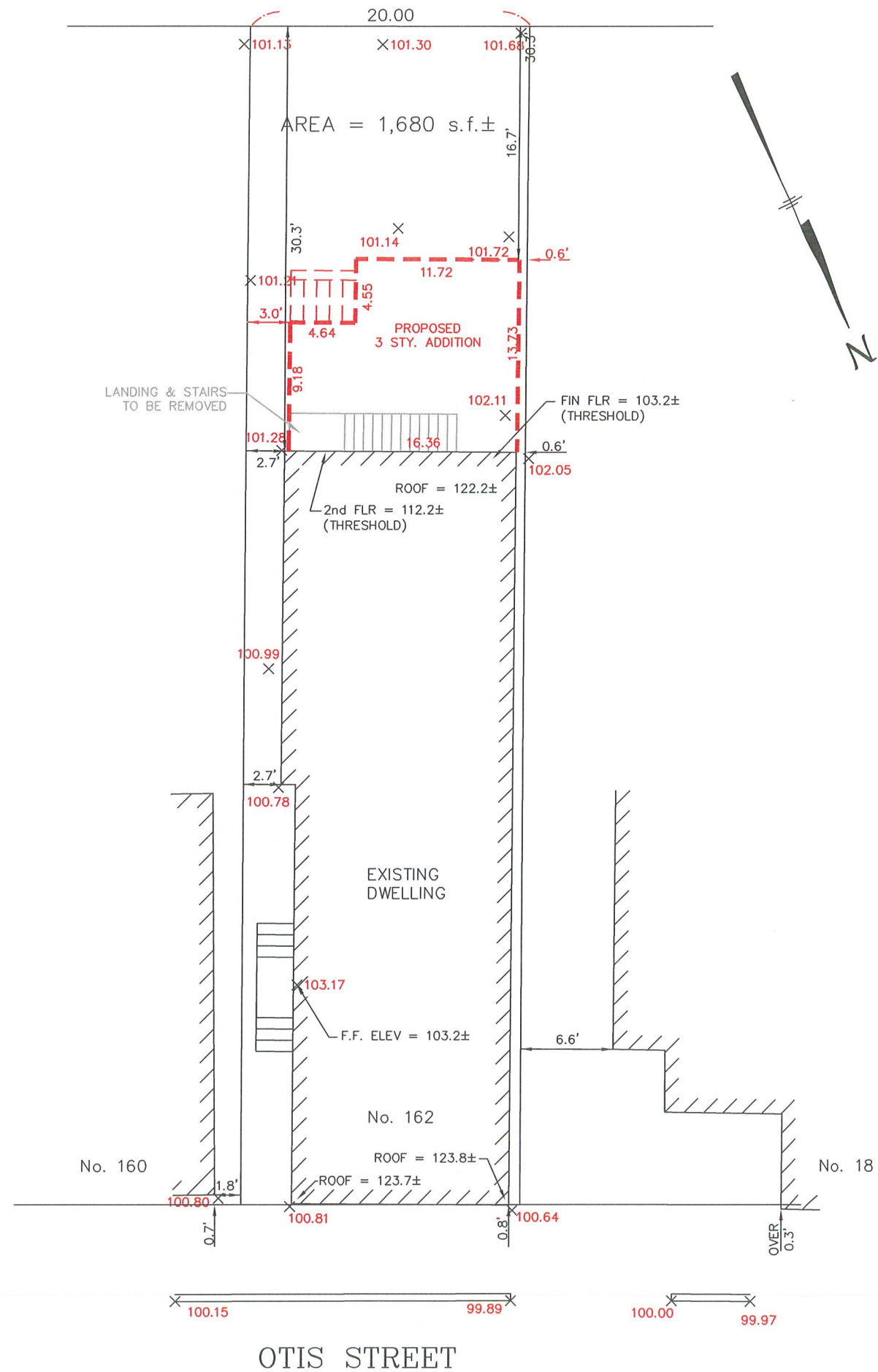
TO: ELAD & SHELLY M SHOUSHAN

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: AUGUST 25, 2025
 DATE OF PLAN: SEPTEMBER 23, 2025
 DATE OF PLAN: NOVEMBER 12, 2025
 REVISION DATE: MARCH 04, 2026 (PROPOSED)
 REVISION DATE: APRIL 20, 2026 (REVISION)

RICHARD J. MEDE, JR. P.L.S.

04/20/2026
 DATE:



CERTIFIED PLOT PLAN
162 OTIS STREET
CAMBRIDGE, MA.
(MIDDLESEX COUNTY)

MEDFORD ENGINEERING & SURVEY
 ANGELO B. VENEZIANO ASSOCIATES
 15 HALL STREET, MEDFORD, MA 02155
 781-396-4466 fax: 781-396-8052

PREPARED BY:

PREPARED FOR:
 ALEX HAIDAR

DRAWN CAV	CHECKED RJM	FILE No. 22768
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PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.
ADDRESS : 162 OTIS STREET, CAMBRIDGE, MA 02141

Client:
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162 OTIS STREET, CAMBRIDGE, MA 02141

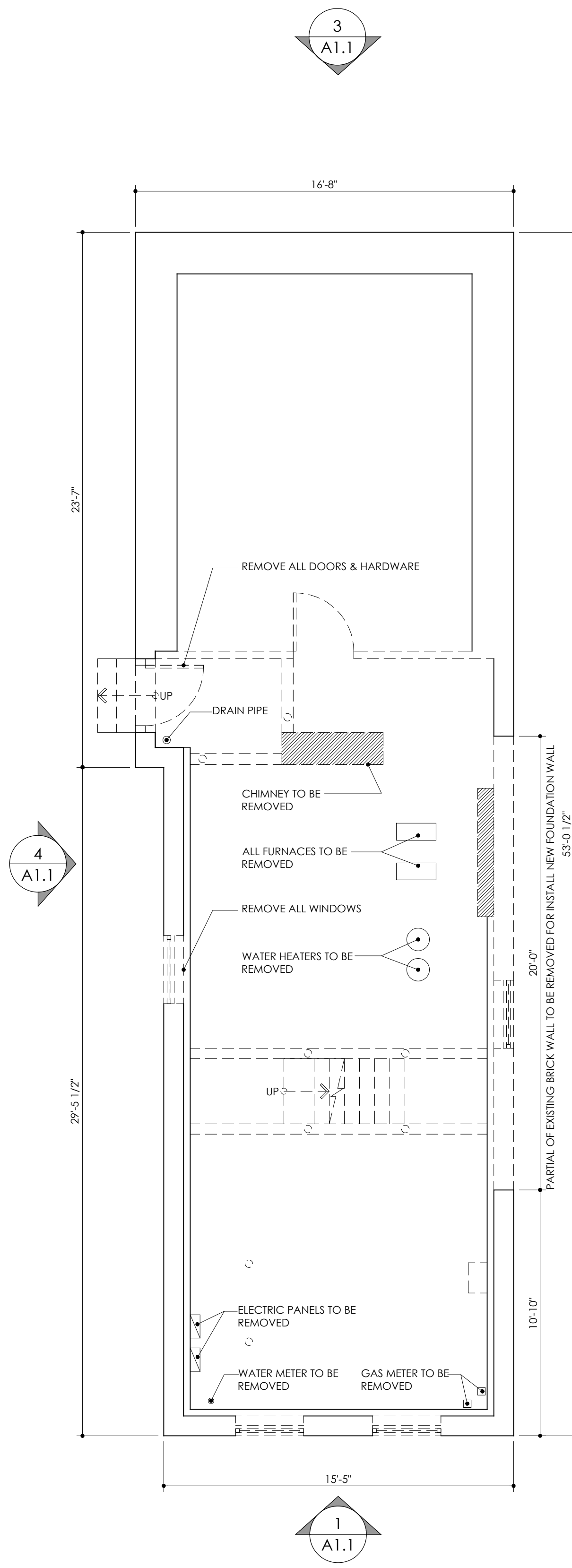
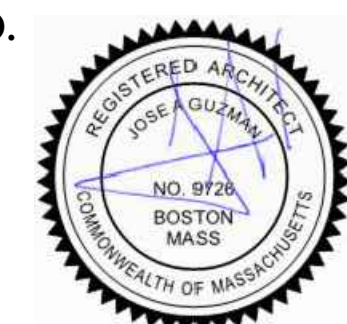
Revisions:
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00-0000	02-24-2026

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EXISTING/DEMOLITION FLOOR PLANS

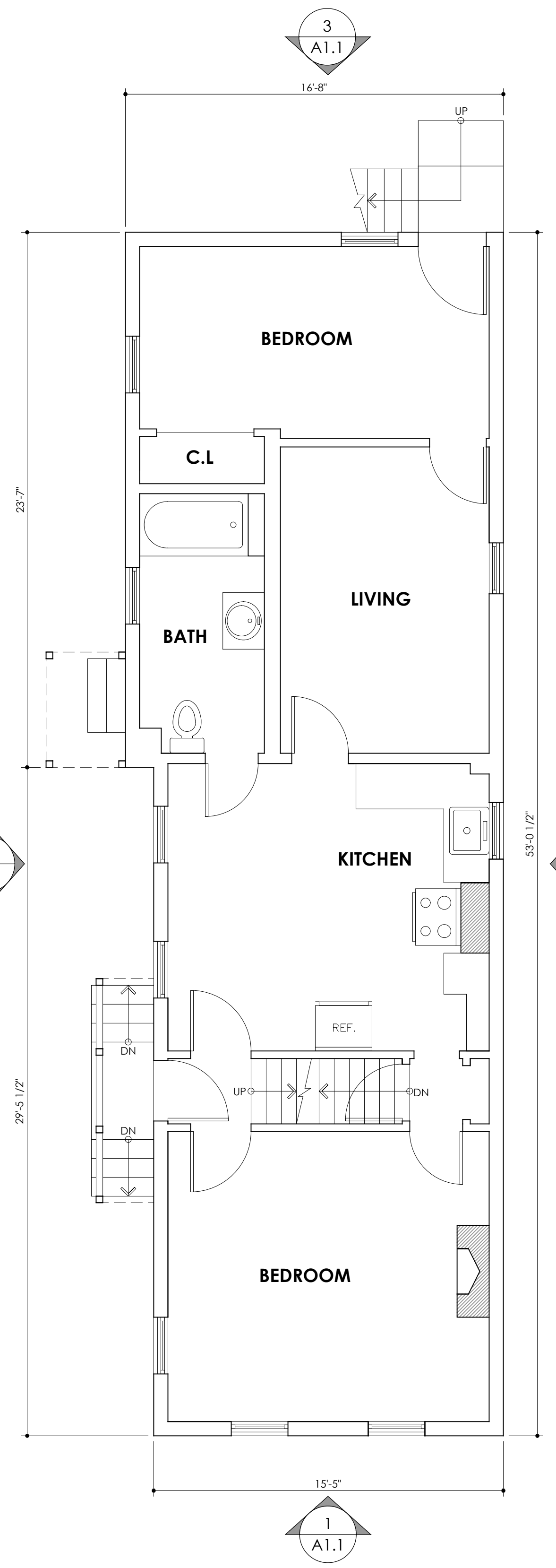
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A1.0



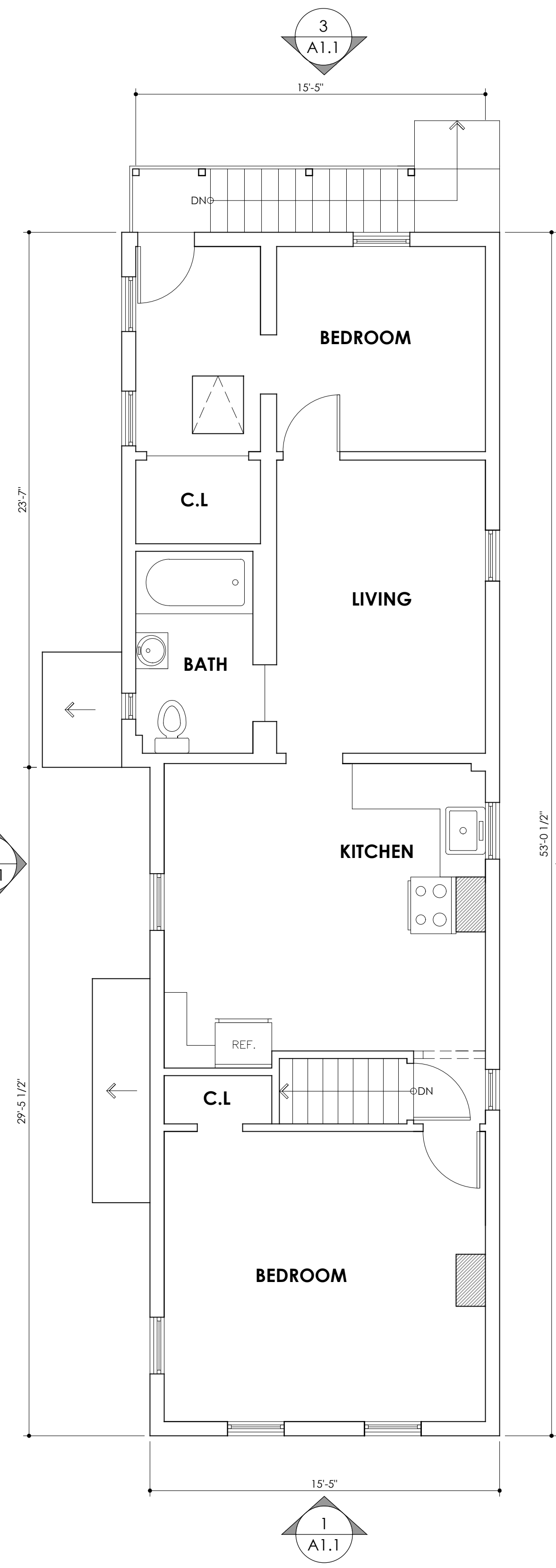
1 EXISTING/DEMOLITION BASEMENT PLAN
A1.0 847 G.S.F. 1/4"=1'-0"

NOTE:
1. FOUNDATION WALLS TO REMAIN WITH EXCEPTION NOTED.



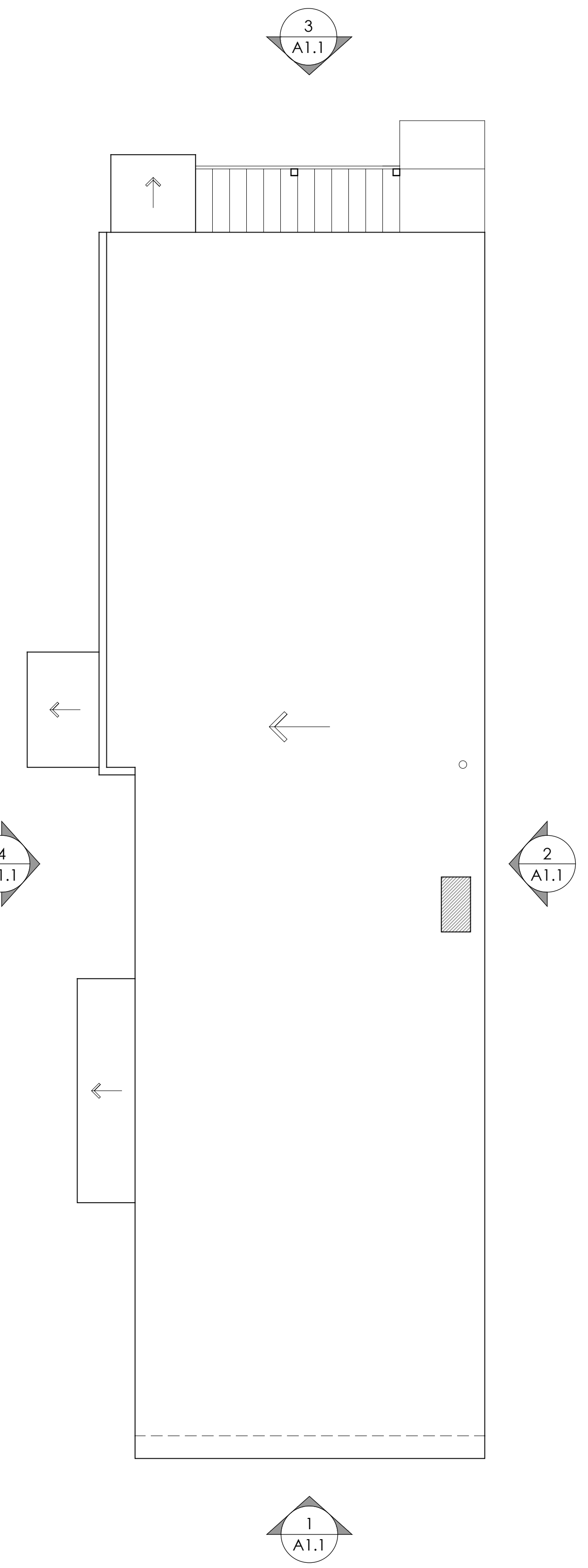
2 EXISTING/DEMOLITION FIRST FLOOR PLAN
A1.0 847 G.S.F. 1/4"=1'-0"

NOTE:
1. ENTIRE WALLS AND FLOOR/CEILING ASSEMBLIES WILL BE DEMOLISHED.



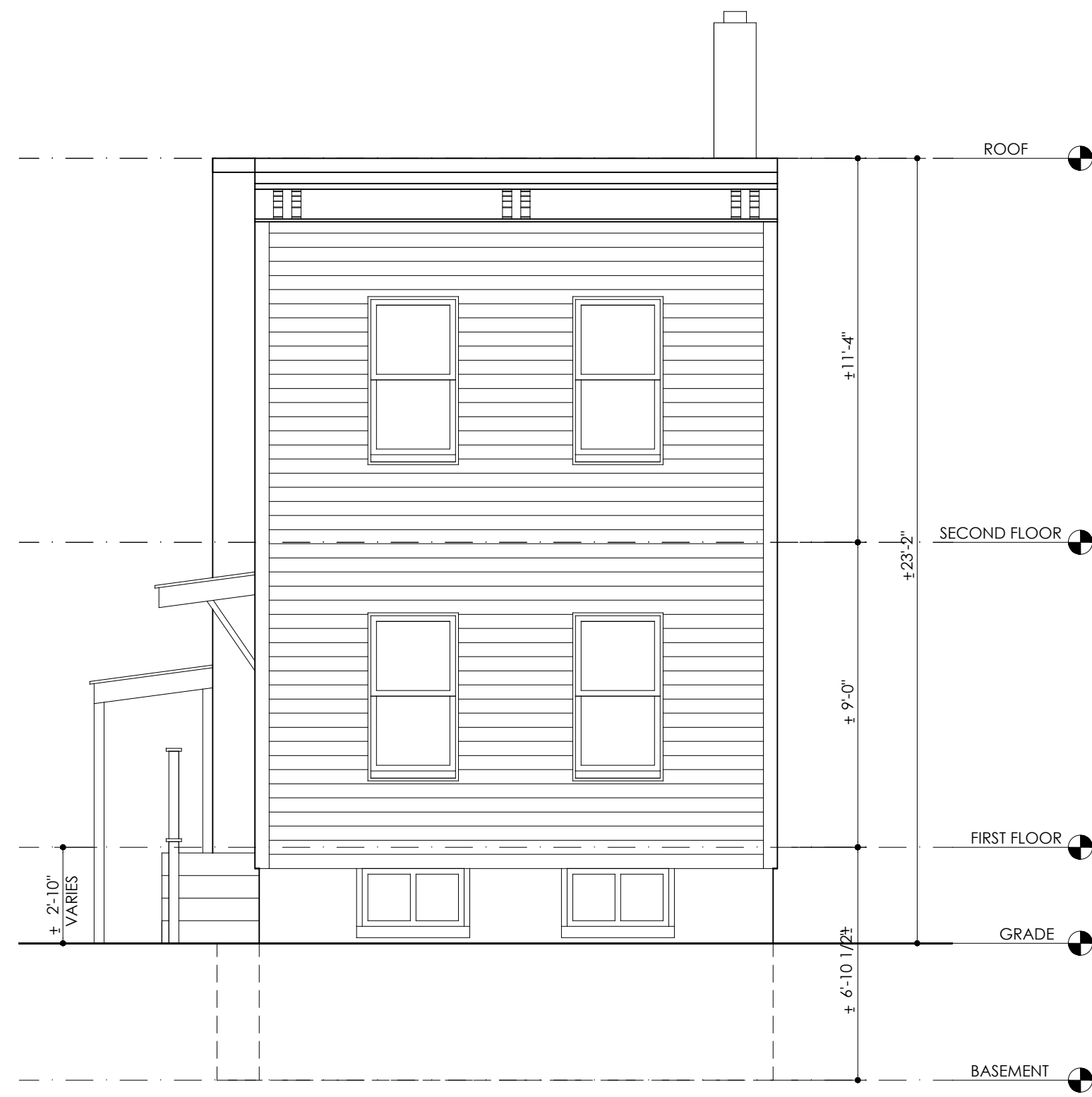
3 EXISTING/DEMOLITION SECOND FLOOR PLAN
A1.0 847 G.S.F. 1/4"=1'-0"

NOTE:
1. ENTIRE WALLS AND FLOOR/CEILING ASSEMBLIES WILL BE DEMOLISHED.



4 EXISTING/DEMOLITION ROOF FLOOR PLAN
A1.0 847 G.S.F. 1/4"=1'-0"

NOTE:
1. ENTIRE ROOF ASSEMBLIES WILL BE DEMOLISHED.



1 EXISTING/DEMOLITION FRONT ELEVATION
A1.1 1/4"=1'-0"

NOTE:

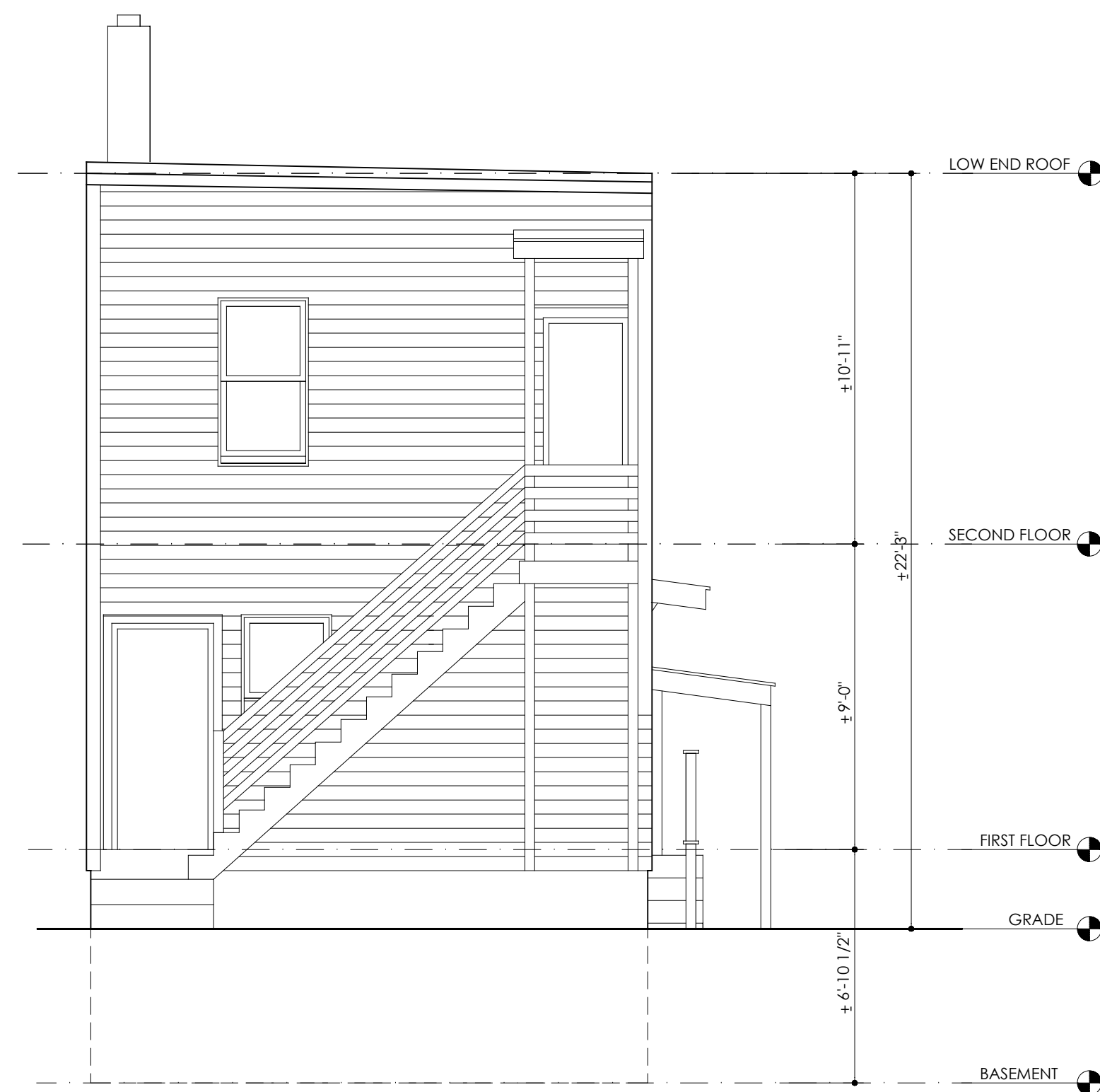
1. ENTIRE WALLS AND FLOOR/CEILING ASSEMBLIES WILL BE DEMOLISHED.
2. ENTIRE ROOF ASSEMBLIES WILL BE DEMOLISHED.
3. FOUNDATION WALLS TO REMAIN .



2 EXISTING/DEMOLITION RIGHT SIDE ELEVATION
A1.1 1/4"=1'-0"

NOTE:

1. ENTIRE WALLS AND FLOOR/CEILING ASSEMBLIES WILL BE DEMOLISHED.
2. ENTIRE ROOF ASSEMBLIES WILL BE DEMOLISHED.
3. FOUNDATION WALLS TO REMAIN WITH EXCEPTION NOTED.
4. TOTAL WALLS = 1,175 SQ.FT - OPENINGS = 60 SQ.FT (5%).



3 EXISTING/DEMOLITION REAR ELEVATION
A1.1 1/4"=1'-0"

NOTE:

1. ENTIRE WALLS AND FLOOR/CEILING ASSEMBLIES WILL BE DEMOLISHED.
2. ENTIRE ROOF ASSEMBLIES WILL BE DEMOLISHED.
3. FOUNDATION WALLS TO REMAIN .



4 EXISTING/DEMOLITION LEFT SIDE ELEVATION
A1.1 1/4"=1'-0"

NOTE:

1. ENTIRE WALLS AND FLOOR/CEILING ASSEMBLIES WILL BE DEMOLISHED.
2. ENTIRE ROOF ASSEMBLIES WILL BE DEMOLISHED.
3. FOUNDATION WALLS TO REMAIN .
4. TOTAL WALLS = 1,175 SQ.FT - OPENINGS = 132 SQ.FT (11%).



PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.
ADDRESS : 162 OTIS STREET, CAMBRIDGE, MA 02141

Client:
ELAD SHOUSHAN
162 OTIS STREET, CAMBRIDGE, MA 02141

Revisions:
04-21-2026

DESIGNED	RE	
DRAWN	AA	
CHECKED	AA	
PROJECT NO	00-0000	DATE 02-24-2026

DRAWING TITLE
EXISTING/DEMOLITION ELEVATIONS

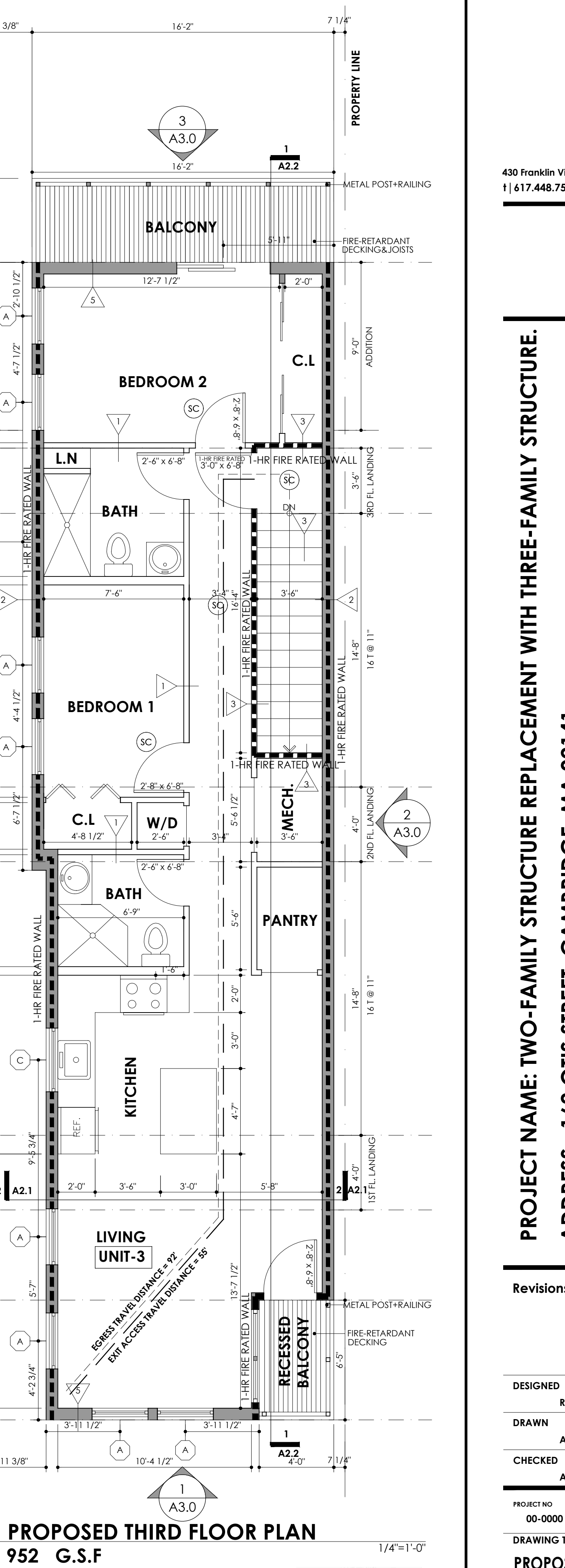
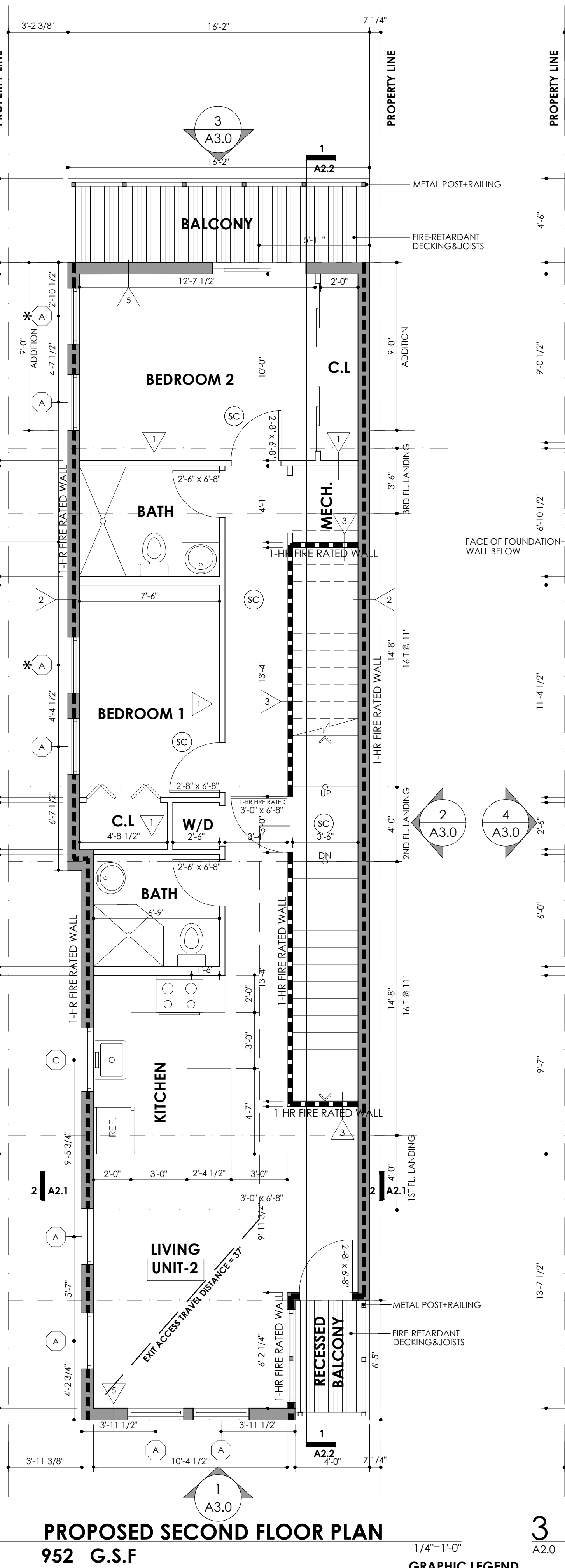
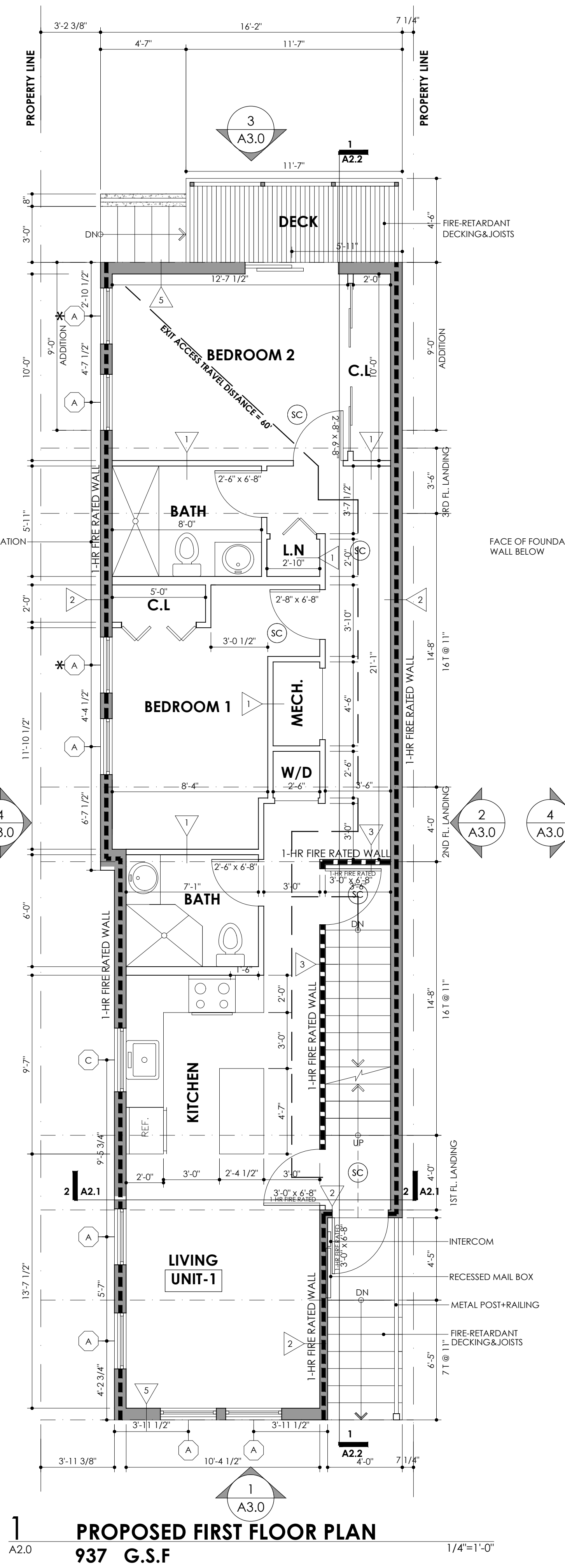
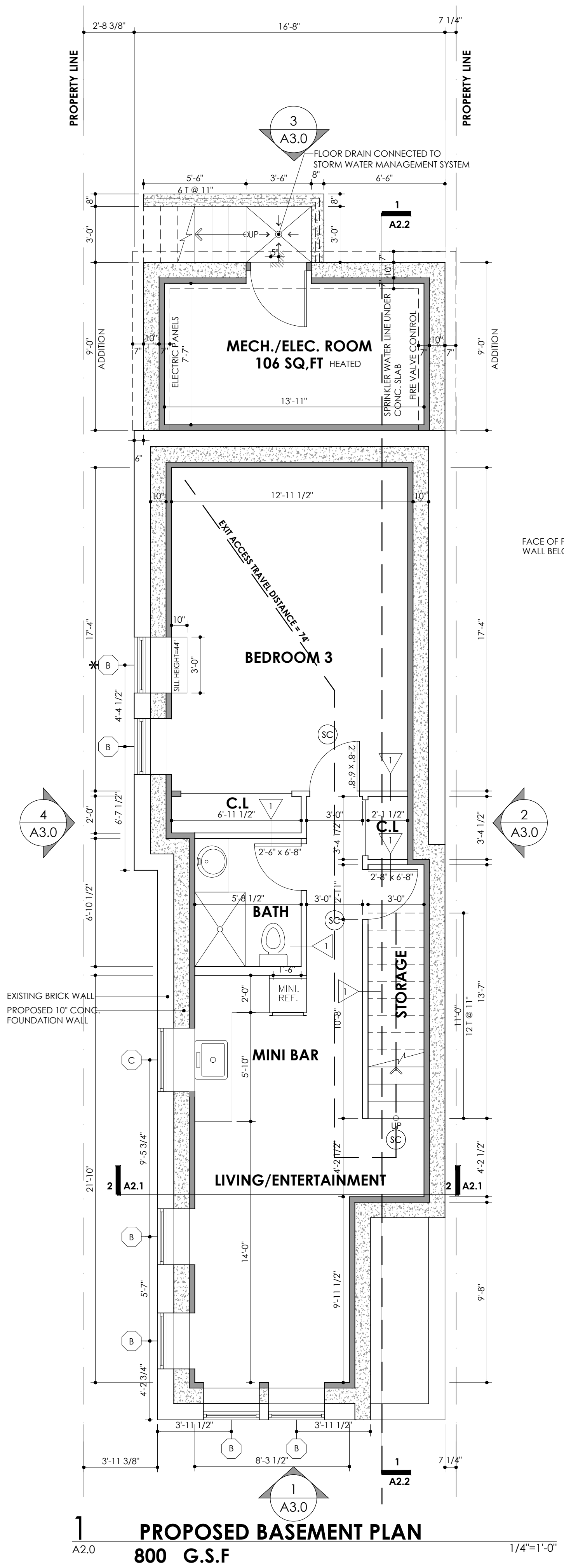
DRAWING NUMBER
A1.1

PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.
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Revisions:
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DRAWN	AA
CHECKED	AA
PROJECT NO	DATE
00-0000	02-24-2026
DRAWING TITLE	
PROPOSED FLOOR PLANS	
DRAWING NUMBER	
A2.0	



GRAPHIC LEGEND

- SC HARD-WIRE SMOKE CARBON MONOXIDE DETECTOR
- 1-HR FIRE RATED WALL
- EGRESS TRAVEL DISTANCE
- EXIT ACCESS TRAVEL DISTANCE
- R-28 CLOSED-CELL SPRAY FOAM INSULATION
- R-21 CLOSED-CELL SPRAY FOAM INSULATION AT BASEMENT WALLS
- EMERGENCY ESCAPE WINDOW



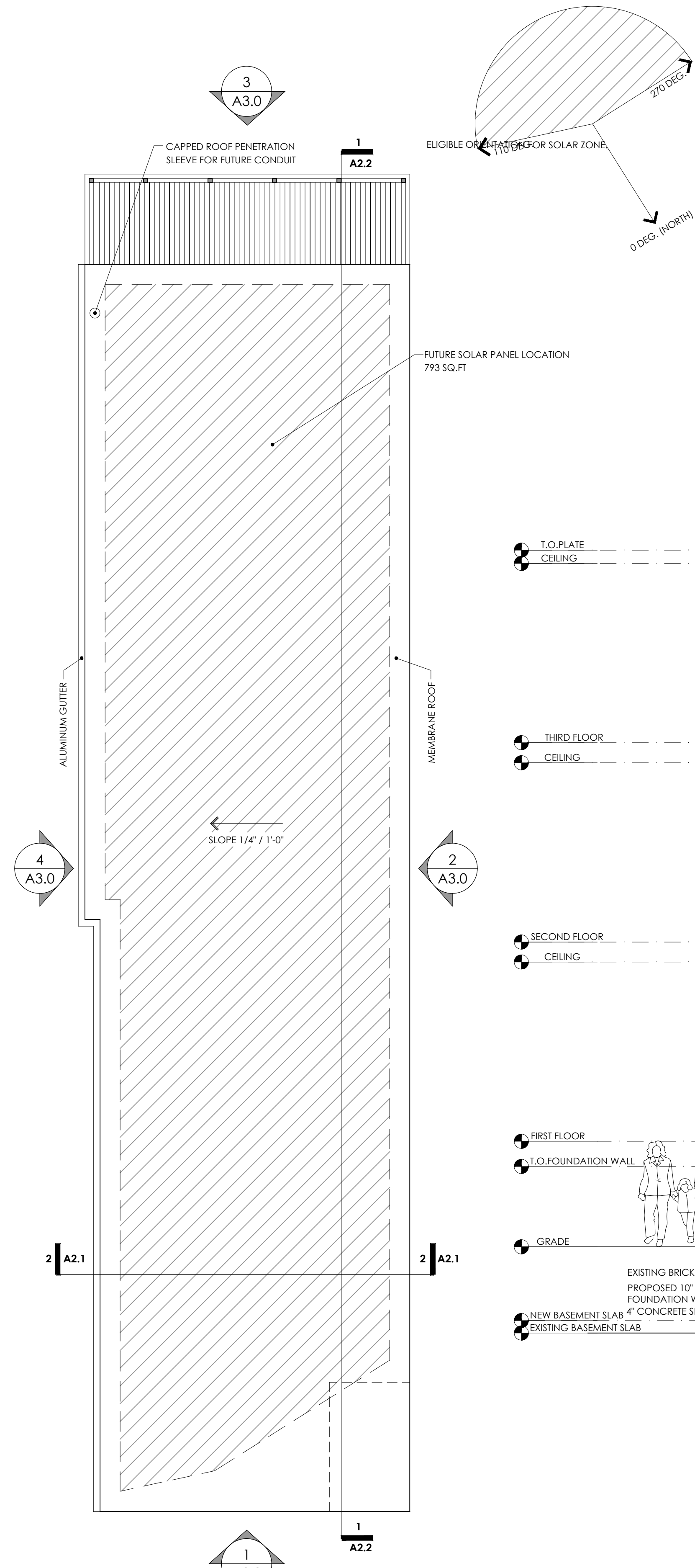
WINDOW SYMBOL	WINDOW SCHEDULE					
(X)	No.	TYPE	UNIT DIM. (W x H)	MANUFACTURER	MODEL	NOTES
(A)	24	DOUBLE-HUNG WINDOW	2'-11 5/8" x 5'-0 7/8"	ANDERSEN	400 SERIES TW210410	EMERGENCY ESCAPE WINDOW
(B)	6	CASEMENT WINDOW(FULL OPENING)	2'-11 15/16" x 2'-1115/16"	ANDERSEN	400 SERIES CXW13	EMERGENCY ESCAPE WINDOW @ BASEMENT
(C)	4	CASEMENT WINDOW	3'- 4 3/4" x 2'-1115/16"	ANDERSEN	400 SERIES CN23	KITCHEN WINDOW

NOTES:

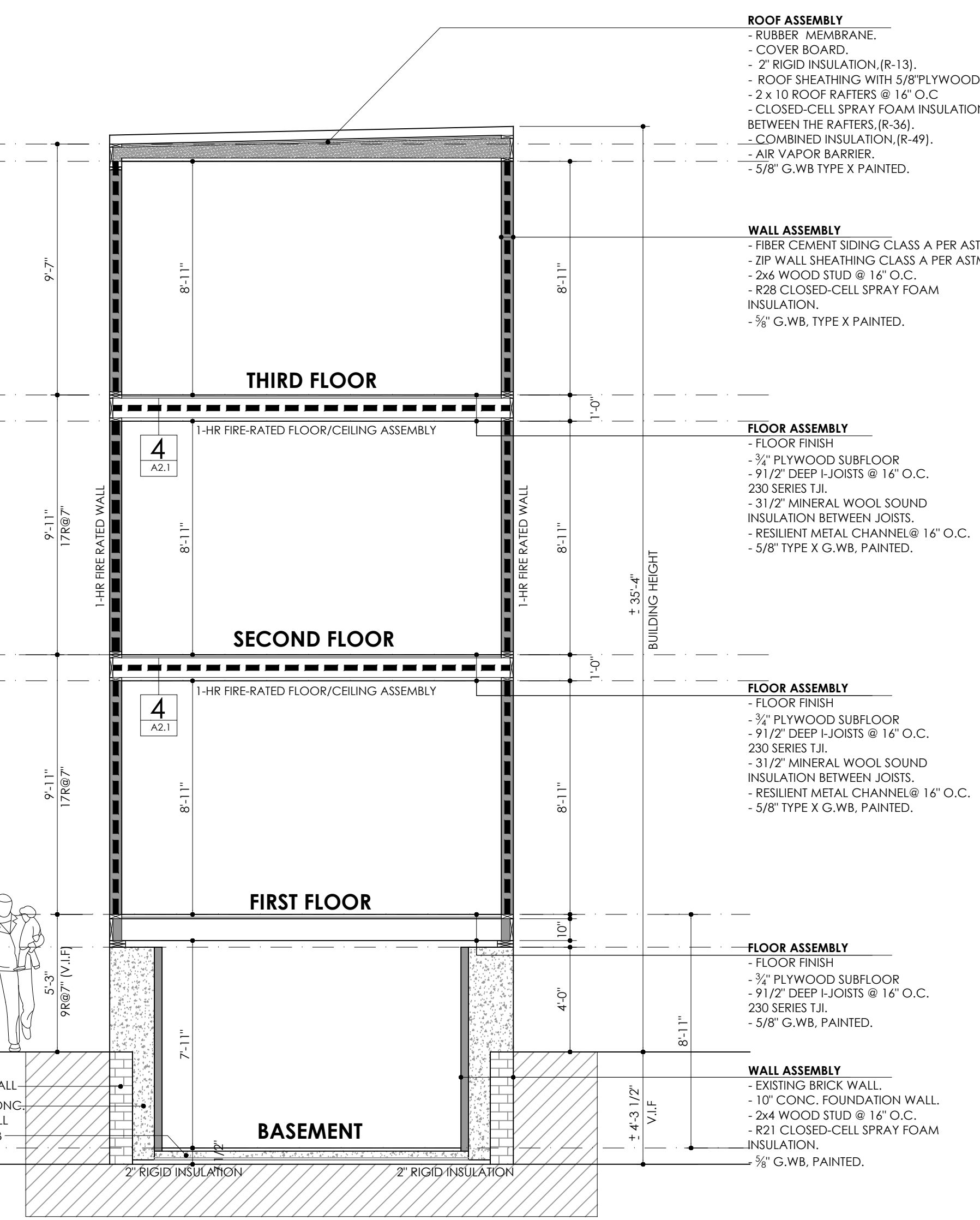
1. THE CONTRACTOR SHALL CONFIRM ALL ROUGH WINDOW OPENINGS CONFORM TO WINDOW SIZES SHOWN ON DRAWINGS PRIOR TO ORDERING WINDOWS.
2. THE CONTRACTOR CAN PROPOSE WINDOW SUBSTITUTIONS SIMILAR TO WINDOW SPECIFIED BY THE ARCHITECT FOR ARCHITECTS APPROVAL.

3 WINDOW SCHEDULE
 A2.1 1/4" = 1'-0"

DETAIL	DESCRIPTION	TEST NUMBER	ACOUSTICAL PERFORMANCE	
			STC	TEST NUMBER
	- 5/8" G.WB, PAINTED. - 2X4 WOOD STUD @ 16" O.C. - 5/8" G.WB, PAINTED.			
	- FIBER CEMENT SIDING CLASS A PER ASTM E84. - ZIP WALL SHEATHING CLASS A PER ASTM E84. - 2X6 WOOD STUD @ 16" O.C. - R-28 CLOSED-CELL SPRAY FOAM INSULATION. - 5/8" G.WB, TYPE X PAINTED.	UL DES U327 1-HR FIRE-RATED	52	BBN-760903
	- 5/8" G.WB, TYPE X PAINTED. - 2X4 WOOD STUD @ 16" O.C. - 5/8" G.WB, TYPE X PAINTED.	1-HR FIRE-RATED		
	- FLOOR FINISH - 3/4" PLYWOOD SUBFLOOR - 91/2" DEEP I-JOISTS @ 16" O.C. - 230 SERIES TJI. - 3 1/2" SOUND INSULATION. - RC-1 CHANNEL. - 5/8" TYPE X G.WB, PAINTED.	UL DES L514 1-HR FIRE-RATED	50	
	- FIBER CEMENT SIDING. - ZIP WALL SHEATHING. - 2X6 WOOD STUD @ 16" O.C. - R-20 CLOSED SPRAY FOAM INSULATION. - 5/8" G.WB, PAINTED.			



1 PROPOSED ROOF PLAN
 A2.1 980 G.S.F
 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION
 A2.1 1/4" = 1'-0"

SOLAR PANEL NOTE:

1. ELECTRIC PANEL SHALL HAVE A RESERVED SPACE FOR A DUAL CIRCUIT BREAKER.
2. THE CAPPED ROOF PENETRATION SLEEVE SHALL BE SIZED TO ACCOMMODATE PHOTOVOLTAIC SYSTEM CONDUIT AND SHALL HAVE INSIDE DIAMETER OF NOT LESS THAN 1 1/4 INCHES.



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Revisions:

DESIGNED	RE	
DRAWN	AA	
CHECKED	AA	

PROJECT NO: 00-0000 DATE: 02-24-2026

DRAWING TITLE: PROPOSED ROOF PLAN PROPOSED BUILDING SECTION WALL-FLOOR/CEILING DETAILS

DRAWING NUMBER: **A2.1**

PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.

ADDRESS : 162 OTIS STREET, CAMBRIDGE, MA 02141

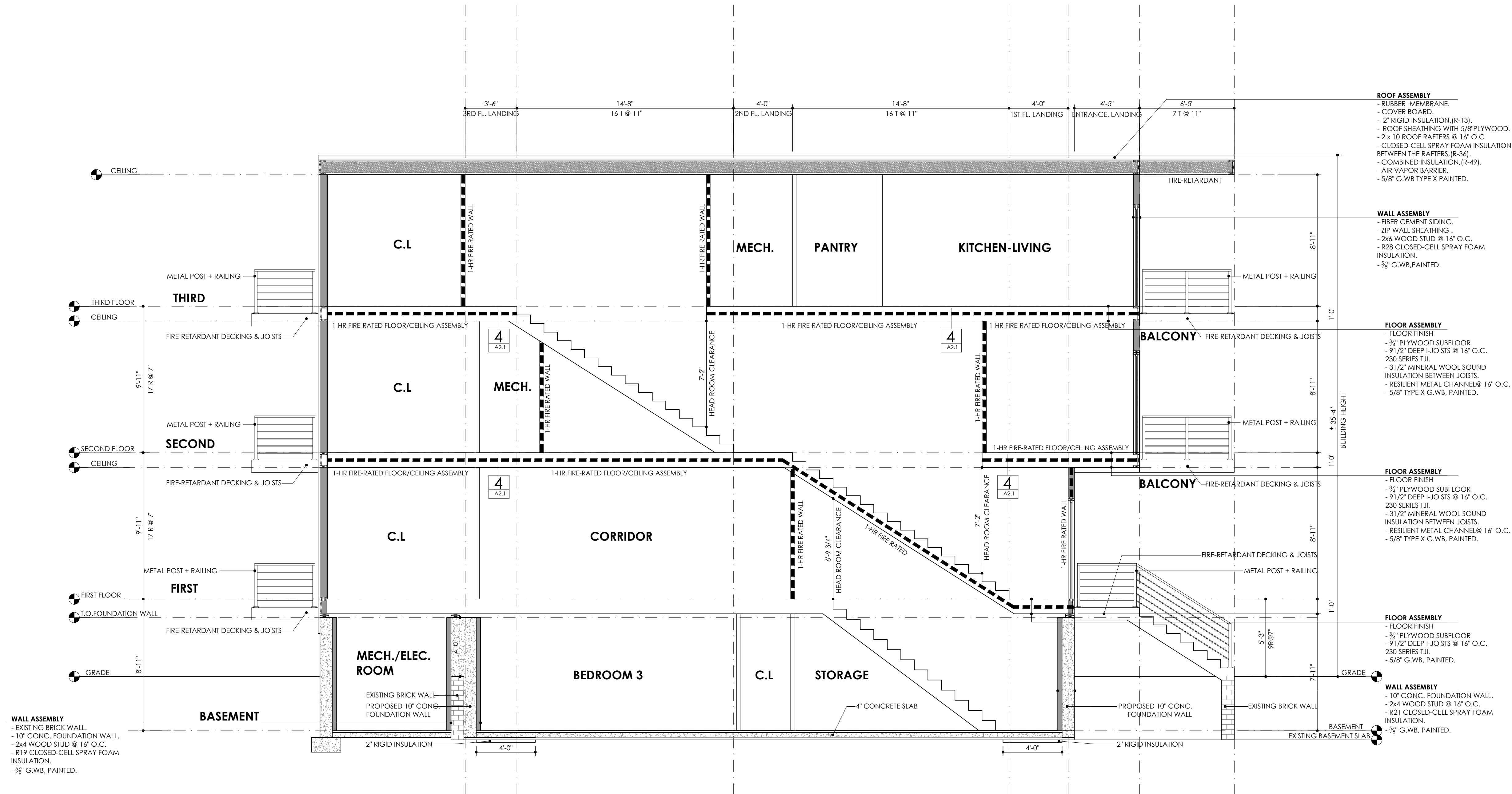
Client:
 ELAD SHOUSHAN
 162 OTIS STREET, CAMBRIDGE, MA 02141

Revisions:
 04-21-2026

DESIGNED	RE	
DRAWN	AA	
CHECKED	AA	
PROJECT NO	00-0000	DATE 02-24-2026

DRAWING TITLE
 PROPOSED BUILDING SECTION

DRAWING NUMBER
A2.2



1 PROPOSED BUILDING SECTION
 A2.2 1/4"=1'-0"

PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.
ADDRESS : 162 OTIS STREET, CAMBRIDGE, MA 02141

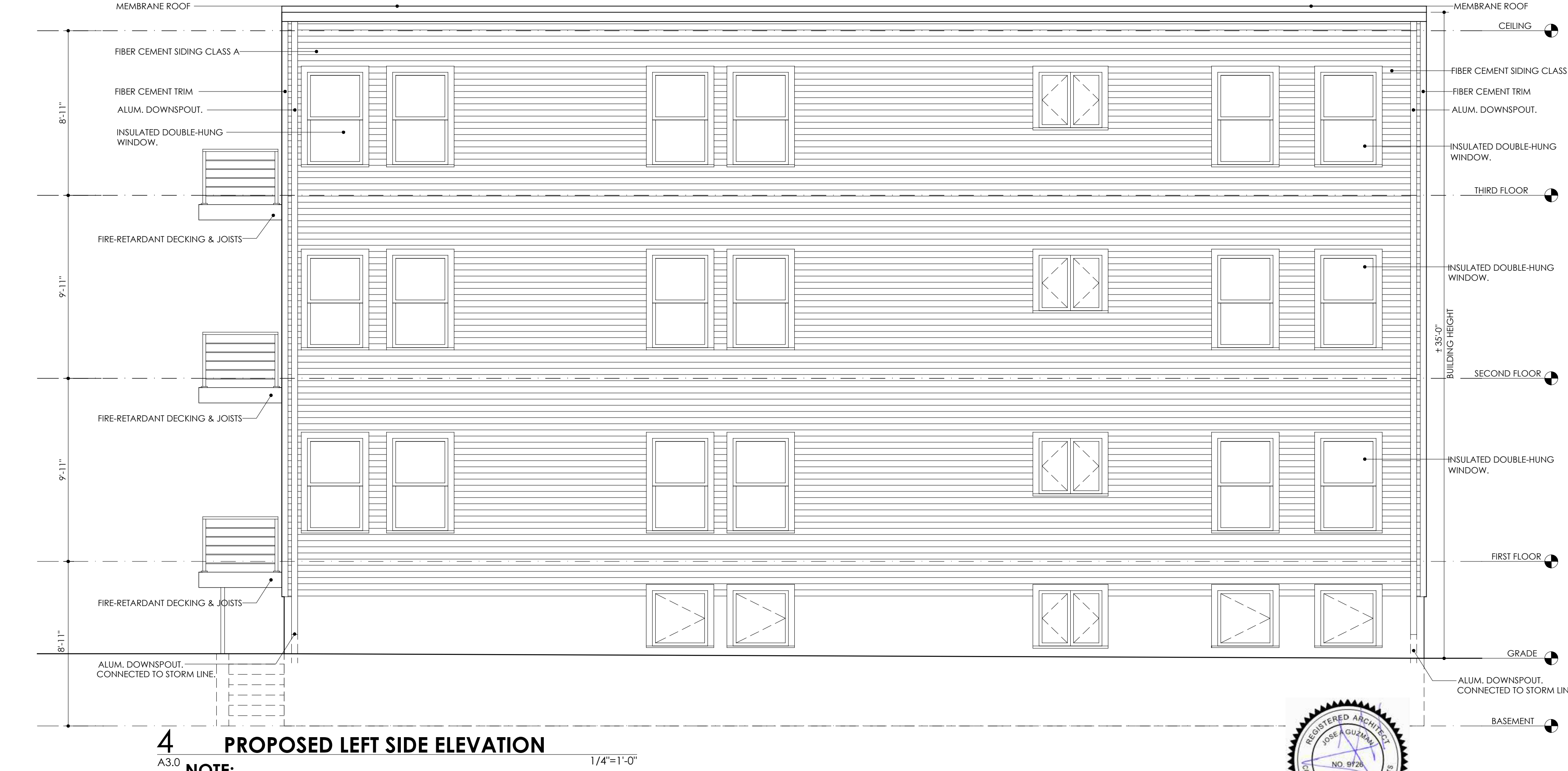
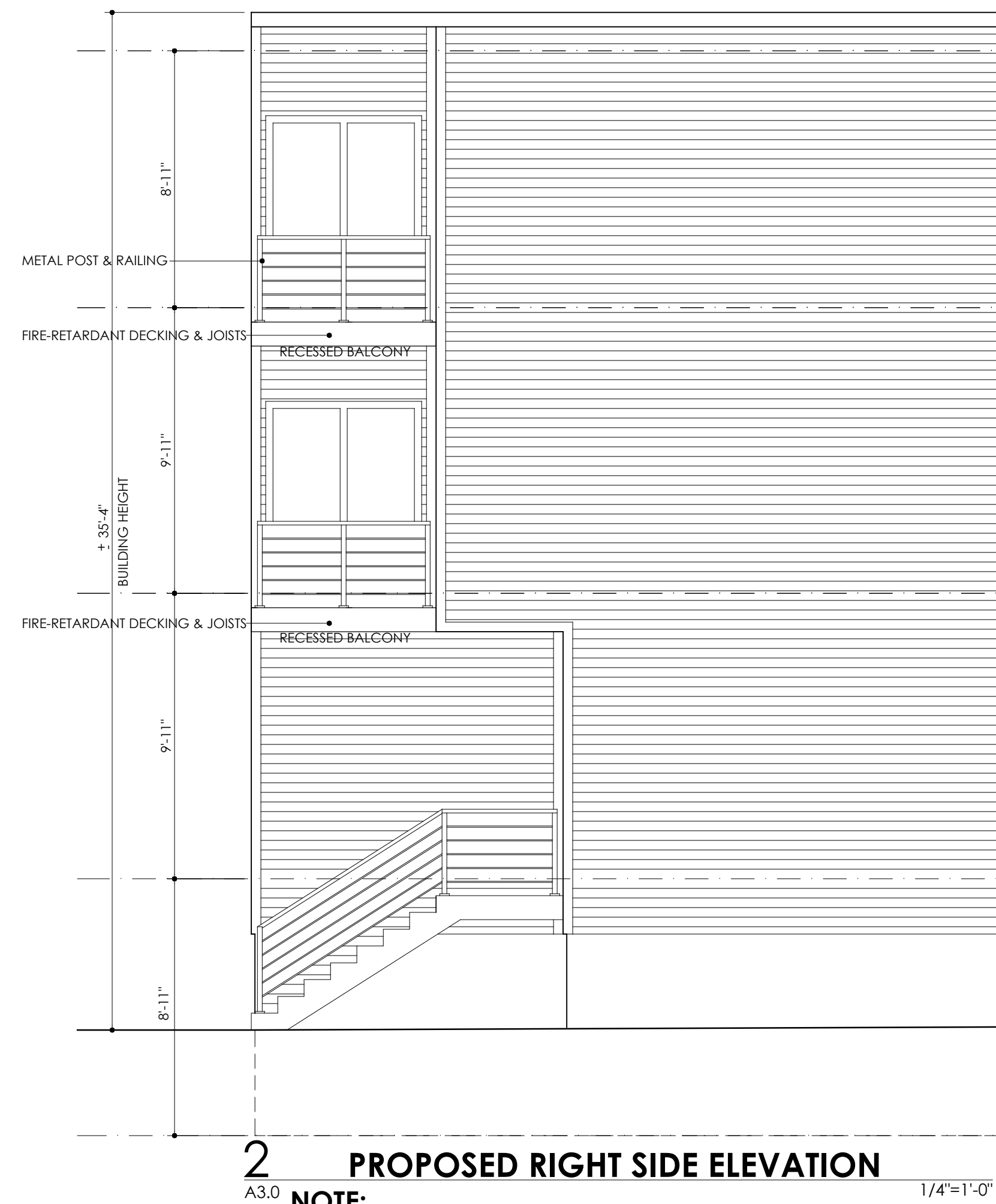
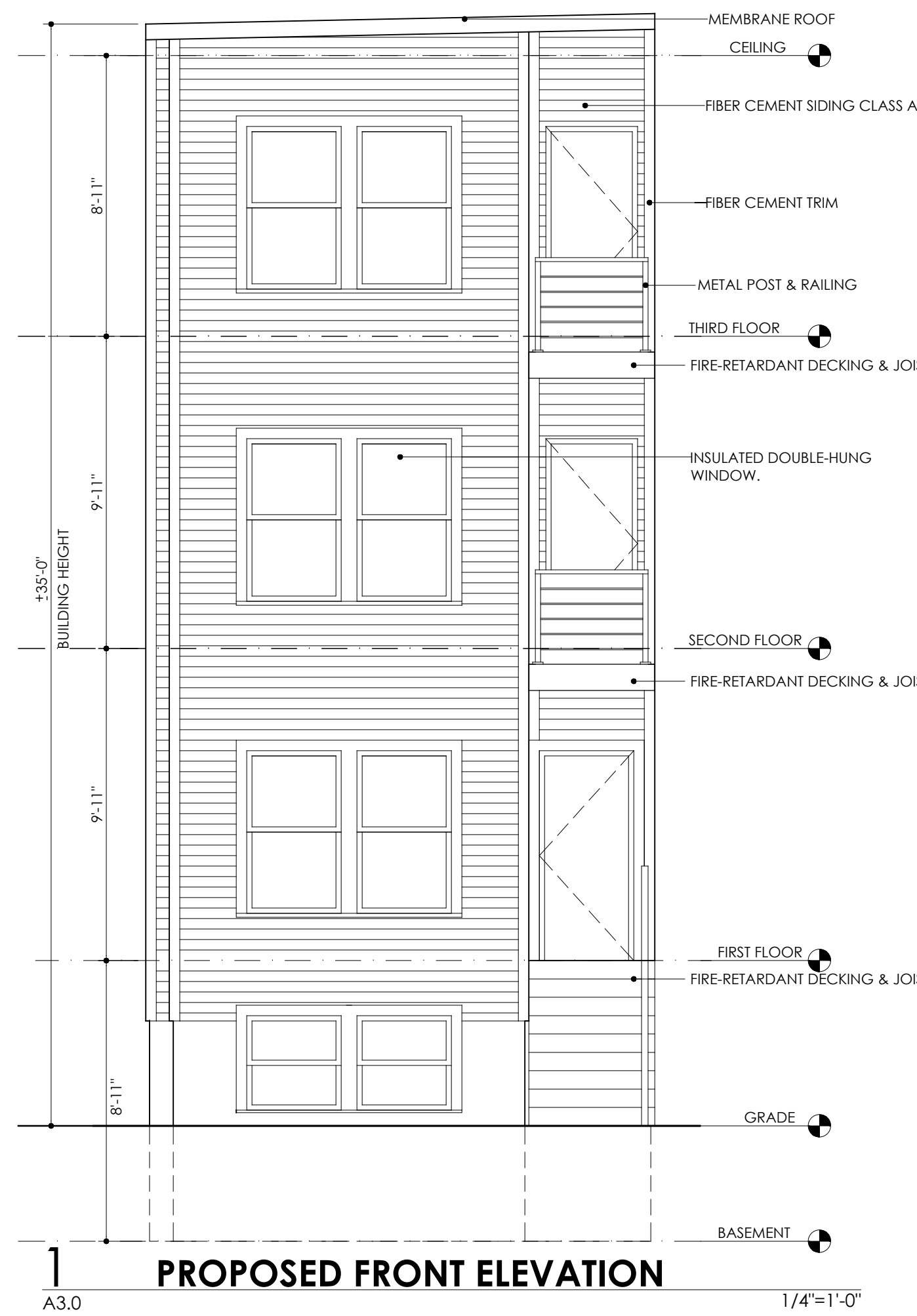
Client:
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162 OTIS STREET, CAMBRIDGE, MA 02141

Revisions:
04-21-2026

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CHECKED	AA	
PROJECT NO	00-0000	DATE 02-24-2026

DRAWING TITLE
PROPOSED ELEVATIONS

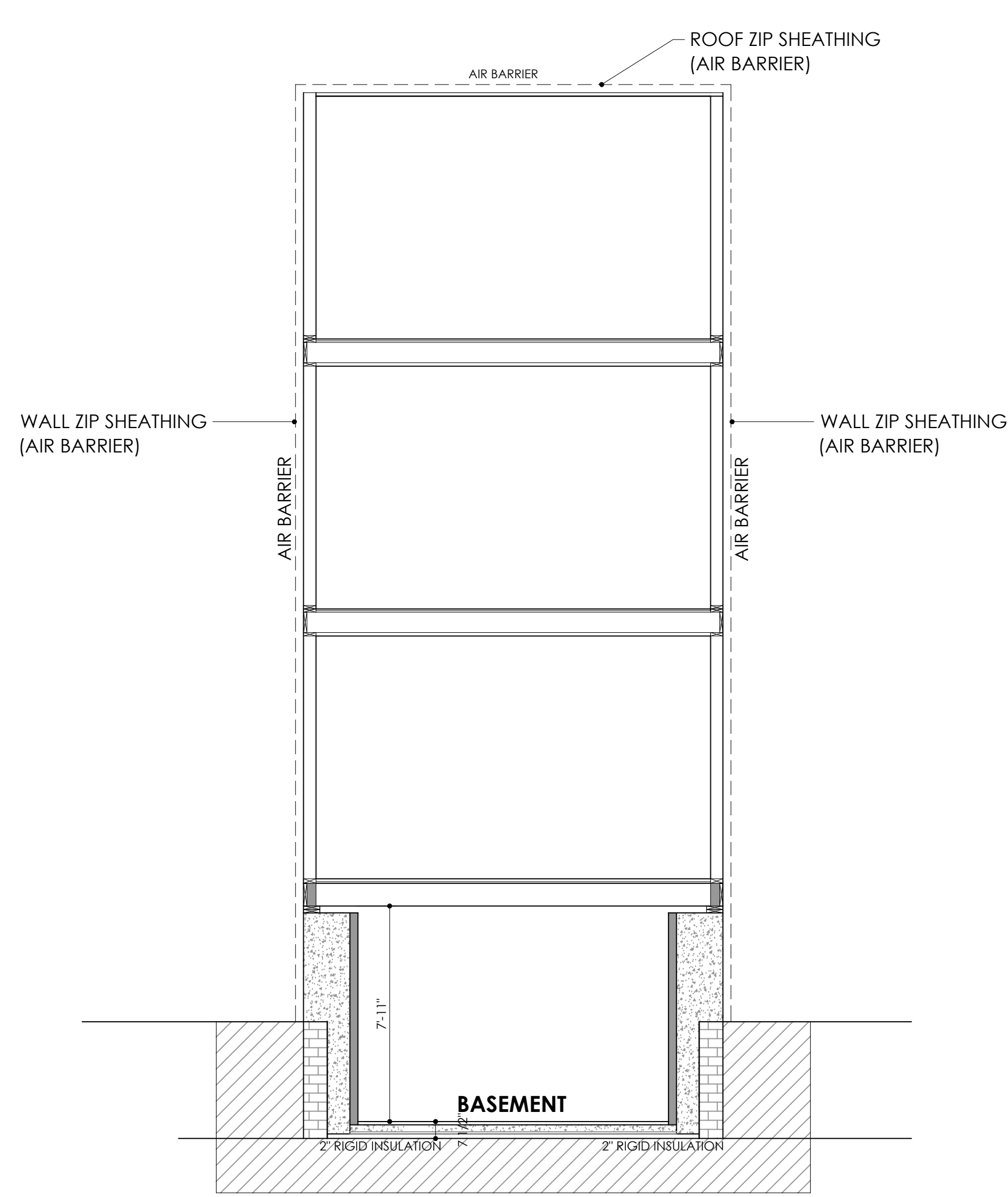
DRAWING NUMBER
A3.0



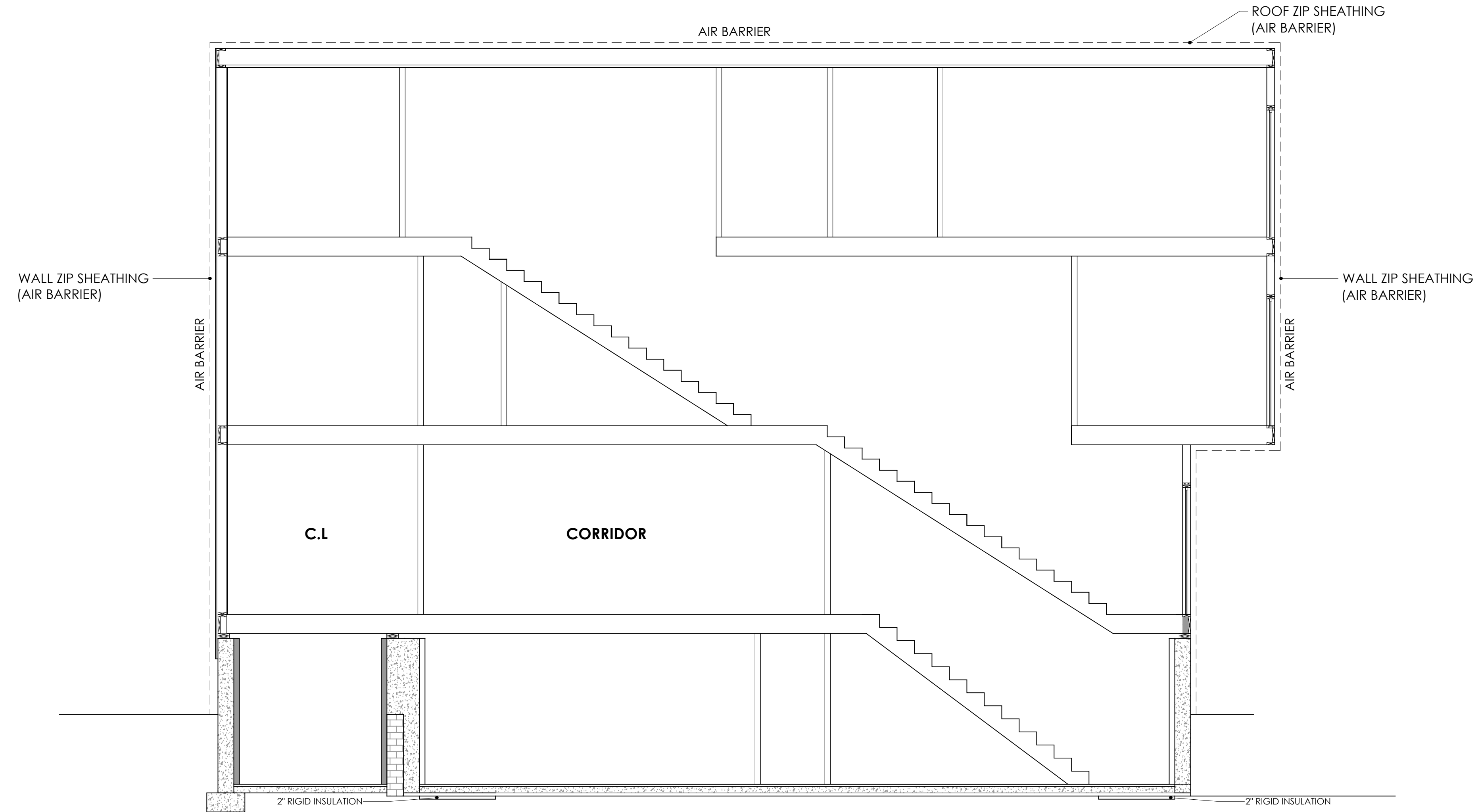
NOTE:
1. WALL OPENINGS ARE LESS THAN 15% PER FLOOR.
2. TOTAL WALLS = 2,192 SQ.FT - OPENINGS = 75 SQ.FT (3.5%).

NOTE:
1. WALL OPENINGS ARE LESS THAN 15% PER FLOOR.
2. TOTAL WALLS = 2,192 SQ.FT - OPENINGS = 328 SQ.FT (14.9%).





1 PROPOSED BUILDING ENVELOPE
 A4.0 1/4"=1'-0"



2 PROPOSED BUILDING ENVELOPE
 A4.0 1/4"=1'-0"



GRAPHIC LEGEND

--- AIR BARRIER

PROJECT NAME: TWO-FAMILY STRUCTURE REPLACEMENT WITH THREE-FAMILY STRUCTURE.

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DRAWN	AA
CHECKED	AA
PROJECT NO	DATE
00-0000	03-20-2026

DRAWING TITLE
PROPOSED BUILDING ENVELOPE

DRAWING NUMBER
A4.0



← 162 Otis St



163 Otis St
 Cambridge, Massachusetts

Google Street View

Nov 2020



Google Maps

May 11, 2026

Project: Remodeling and Addition
162 Otis St, Cambridge, MA
Variance Application Structural Support Letter

Monolith Group, Inc. (MGI) is the structural engineer for the above-referenced project. The purpose of this letter is to provide a general overview of the building condition observed throughout the design phase.

The existing building consists of a basement and two stories. MGI personnel visited the site multiple times prior to and during the design phase. Below is the general summary of our observations:

- The existing structure and foundation exhibit structural deficiencies consistent with an aging 19th century building.
- The existing masonry foundation has limited capacity for additional vertical loading.
- Constructing a fourth story would likely require substantial underpinning and/or foundation replacement.
- The existing foundation reinforcement was designed to accommodate the proposed approach of retaining portions of the existing foundation while reconstructing the upper structure with a limited rear addition.

Please do not hesitate to reach out with any questions.

Sincerely,

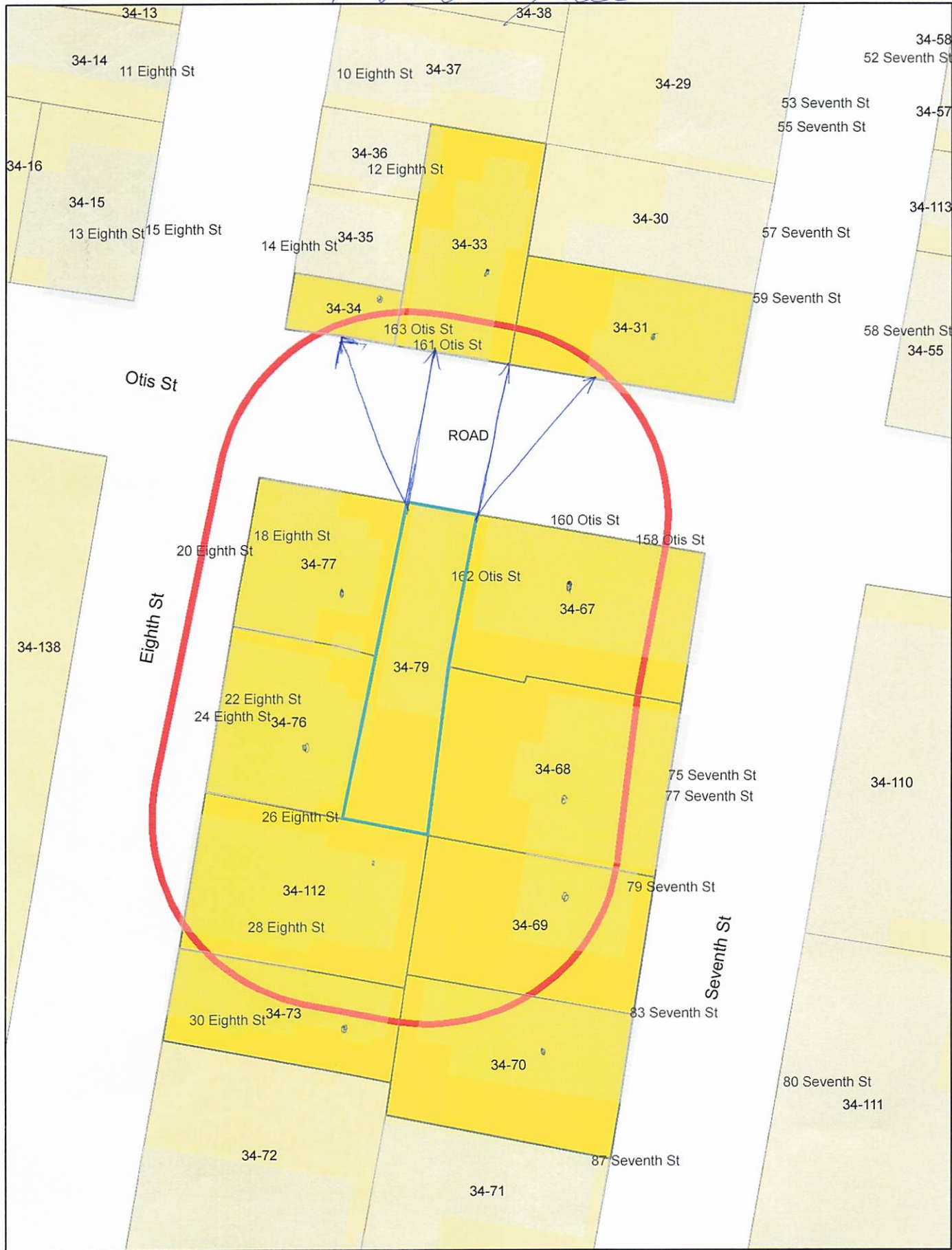


Pavel Kozhokin, P.E.
pavel@monolith-group.net





162 Otis Street



142 Otis St.

Pettimer

34-70
RUTKAUSKAS, MARK A.
83 SEVENTH ST
CAMBRIDGE, MA 02141

34-73
HUSSEY, EDWARD C. JR. &
MARGARET HUSSEY A LIFE ESTATE
30 EIGHTH ST
CAMBRIDGE, MA 02141

TRIOLOGY LAW LLC
C/O SARAH L. RHATIGAN, ESQ.
12 MARSHALL STREET
BOSTON, MA 02108

34-76
AGUIAR, GAULTER J & LUCY AGUIAR F.,
TRUSTEE OF THE AGUIAR 2017 TRUST
39 EARLY AVE
MEDFORD, MA 02155

34-67
160 OTIS LLC
231 SUTTON ST SUITE 2J
NORTH ANDOVER, MA 01845

34-34
VIGILANTE, DENNIS, DAVID VIGILANTE &
SUSAN C. PILLERI
163 OTIS STREET
CAMBRIDGE, MA 02141-1514

34-69
SHATSANG, SONAM D.
79 SEVENTH ST
CAMBRIDGE, MA 02141

34-112
RIBEIRO, GEORGE
26 EIGHTH STREET
CAMBRIDGE, MA 02141

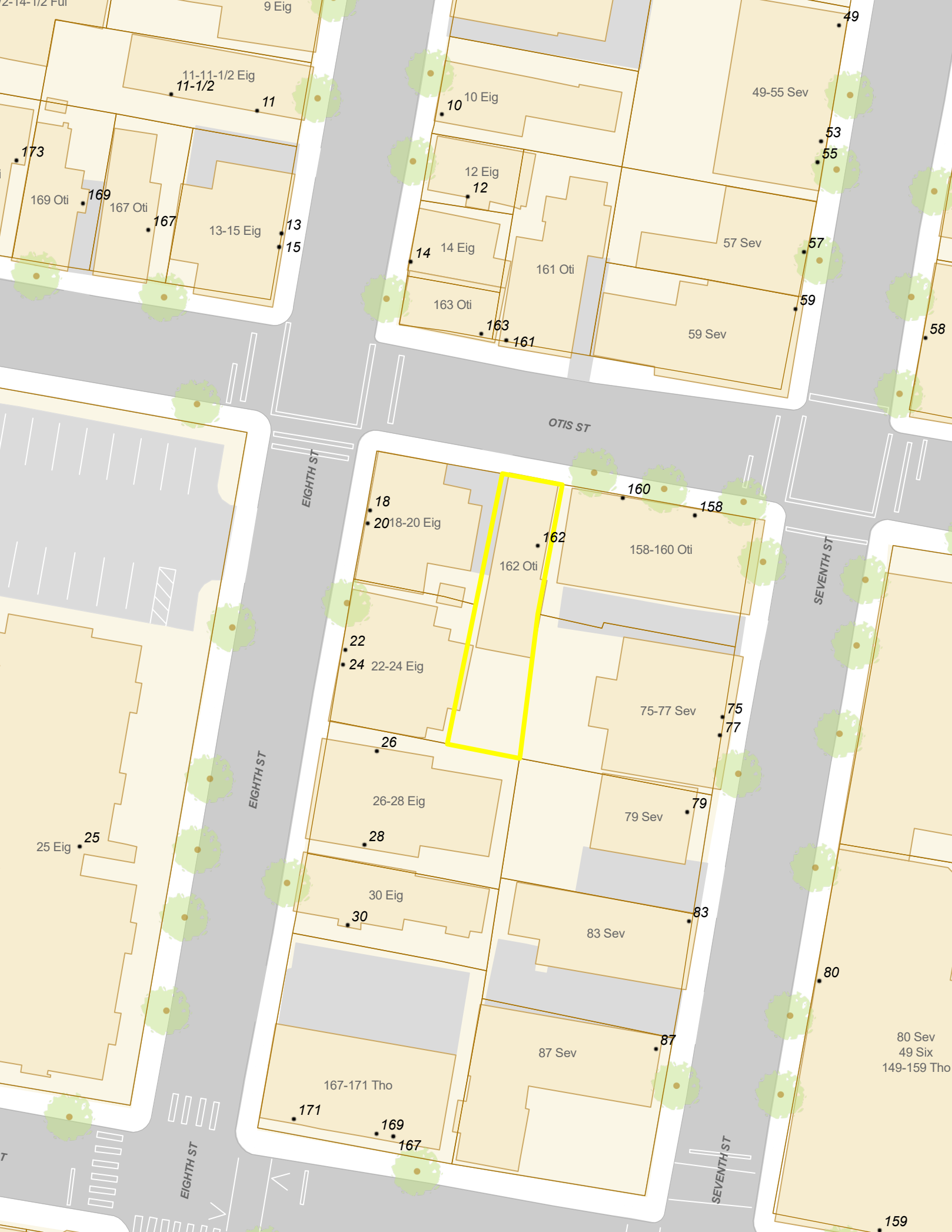
34-68
SEVENTH STREET LLC
231 SUTTON ST SUITE 2J
NORTH ANDOVER, MA 01845

34-79
SHOUSHAN ELAD SHELLY M. SHOUSHAN
35 FULKERSON ST
CAMBRIDGE, MA 02141

34-31
FLYNN, JESSE & CHRISTOPHER ZAKAK
POZEN, DANIEL
17 ALLENS LN
DUXBURY, MA 02332

34-33
HE, WEI
265 BOULEVARD
SCARSDALE, NY 10583

34-77
CABRAL, LILLIAN D. &
DORENE M. CABRAL MOCHI
20 EIGHTH ST
CAMBRIDGE, MA 02141



Flood Viewer 2022

Cambridge FloodViewer 2022

Resilient Cambridge CCRP CDD Homepage Cambridge DPW

162 otis street

Show search results for 162 otis...

Water Bodies

- Building
- Call Box
- Other
- Park
- others

Parcels With Flood Data

- 2070 - 10% - Impacted Parcels
- 2070 - 10% - Extent of Flooding
- 2070 - 10% - Impacted Parcels

Flooding Scenarios

Ground Elevation Min:	20.6 ft-CCB
Ground Elevation Max:	22.4 ft-CCB
2070 - 1% - SLR/SS	23.2
2070 - 1% - Precip	22
2070 - 10% - SLR/SS	N/A
2070 - 10% - Precip	N/A
2030 - 1% - Precip	21.7
2030 - 10% - Precip	N/A
Present Day - 1% - Precip	21.3
Present Day - 10% - Precip	N/A
FEMA 500-Year	N/A
FEMA 100-Year	N/A
1% - L1FE	23.2
10% - L1FE	N/A

Address: 162 Otis St

Selected Map-Lot: 34-79

Selected Address: 162 Otis St

[Zoom To](#)

Flooding Scenarios

- 2070 - 10% - Impacted Parcels
- 2070 - 10% - Extent of Flooding
- 2070 - 10% - Impacted Parcels
- 2030 - 1% - Precipitation Flooding
- 2030 - 10% - Precipitation Flooding
- Present Day - 1% - Precipitation Flooding
- Present Day - 10% - Precipitation Flooding
- FEMA 100-year & FEMA 500-Year Flood Zones

[View larger map](#)