



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 FEB -4 PM 12:03
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 106949

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: Gregory Ashe and Maura Rizzuto

PETITIONER'S ADDRESS: 163 Cushing St, Cambridge, MA 02138

LOCATION OF PROPERTY: 163 Cushing St, Cambridge, MA

TYPE OF OCCUPANCY: Single Family Residential **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Variance for a Second Floor bedroom addition of an existing nonconforming residential building. Section 8.20
Special Permit for a Second Floor bedroom addition of an existing nonconforming residential building. Section 8.20

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 8.000 Section: 8.22.3 (Variance-Non-Conforming Structure).
- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
- Article: 8.000 Section: 8.22.2 (Special Permit-Non-Conforming Structure).

Original
Signature(s):

(Petitioner (s) / Owner)

Gregory Ashe and Maura Rizzuto
(Print Name)

Address:

Tel. No. 617 455-7641
E-Mail Address: gregorynashe@gmail.com

Date: 2/3/2021

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Gregory Neal Ashe and Maura Ann Rizzuto
(OWNER)
Address: 163 Cushing St. Cambridge, MA 02138

State that I/We own the property located at 163 Cushing St., which is the subject of this zoning application.

The record title of this property is in the name of Gregory Neal Ashe and Maura Ann Rizzuto

*Pursuant to a deed of duly recorded in the date 4/11/2018, Middlesex South County Registry of Deeds at Book 70855, Page 103; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____

Maura Ann Rizzuto
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

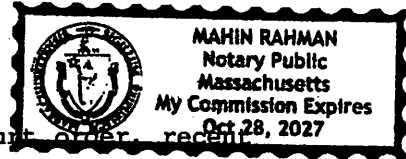
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

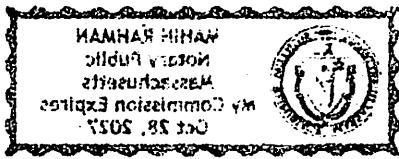
The above-name Gregory Neal Ashe & Maura Ann Rizzuto personally appeared before me, this 29th of January, 2021, and made oath that the above statement is true.

Mahin Rahman Notary
Mahin Rahman

My commission expires Oct 28, 2027 (Notary Seal).



• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

My wife, Maura, and I were both raised in Cambridge, attended Cambridge Public Schools, and have lived here in the city for over 35 years. We have a two year-old child, Calvin, and are hoping to expand our family in the near future. We live in a small single family home, which was previously owned and lived in by Maura's grandparents, before they passed away. Maura was raised a few blocks away on Park Ave, where her parents still live today. Our home on Cushing St. has been in Maura's family for many years, and we would like to continue raising our family here. It is our hope that our son or future child will raise their family here, too.

Our home currently has two bedrooms on the second floor, and we are requesting to build a bedroom addition on the second floor, over our existing kitchen, to accommodate a growing family.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The awkward triangular shape of our plot is such that building the necessary bedroom addition would require a variance.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

We met with our neighbors at 165 Cushing St. (who would be the ones impacted), provided them with a hard copy of the permit set plans, brought them over to our backyard to see the space, walked them through the plans, and answered their questions. They told us, verbally and in writing, that they are completely fine with our proposed plans. In addition, we have ~15-20-foot-tall Arborvitae that provide privacy for both our family, as well as our neighbors at 165 and 161 Cushing St.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

There is no change to our home's intended use, and only a negligible footprint increase. The second floor bedroom addition over the existing kitchen, and reduction of five feet to the enclosed patio, is a negligible deviation from the zoning requirements.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 163 Cushing St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The 2nd floor bedroom addition will not change the occupancy or use of the preexisting nonconforming single family residence.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed bedroom addition will not create a congestion hazard or substantial change given that the driveway and curb cut will remain the same.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed 2nd floor bedroom addition will not adversely affect our neighbors or our neighborhood character in any way.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

There will be no hazard or nuisance created by this requested relief.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed 2nd floor bedroom addition and its design are consistent with the neighborhood aesthetic.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Gregory Ashe and Maura Rizzuto**Present Use/Occupancy:** Single Family Residential**Location:** 163 Cushing St**Zone:** Residence B Zone**Phone:** 617 455-7641**Requested Use/Occupancy:** Single Family Residential

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	1586	1647	1499.5	(max.)
<u>LOT AREA:</u>	2999	2999	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	0.53	0.55	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>	2999	2999	5000	
<u>SIZE OF LOT:</u>				
WIDTH	39' 7"	39'7"	50"	
DEPTH	112.57'	112.57'	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	10'10"	10'10"	15'	
REAR	35'5"	40'6"	25	
LEFT SIDE	6'	4' 3.5"	7'6"	
RIGHT SIDE	7'6"	7'6"	7'6"	
<u>SIZE OF BUILDING:</u>				
HEIGHT	24	24	35	
WIDTH	51'11"	46'6"	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	66%	72%	MIN 40%	
<u>NO. OF DWELLING UNITS:</u>	1	1	1	
<u>NO. OF PARKING SPACES:</u>	2	2	1	
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



WARNING:
 This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):
 1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee.
 2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.
 3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
 4. any person using or relying on document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.

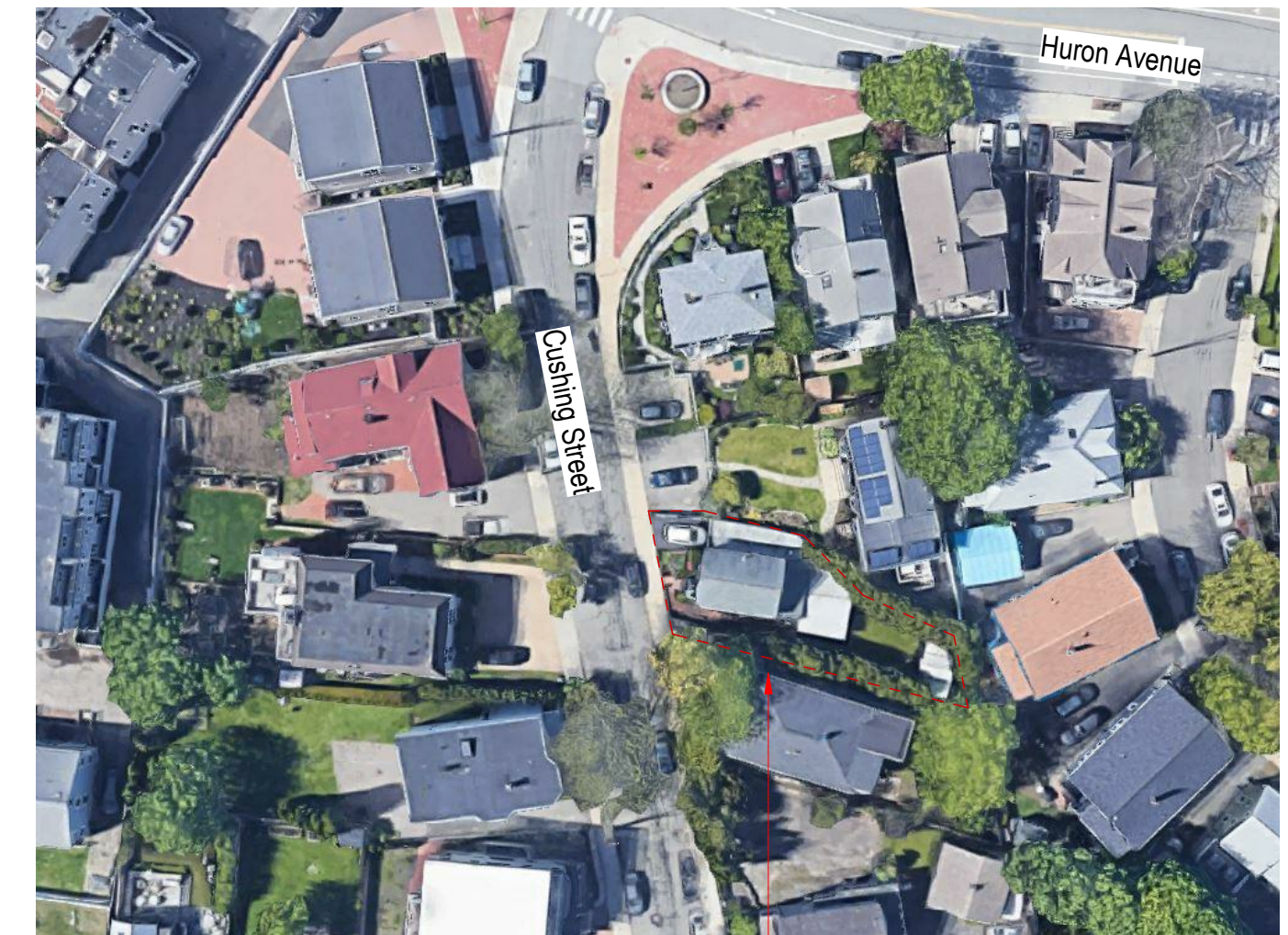


project number 368 drawing number A000 revision

Index of Drawings

SHEET LIST

Sheet Number	Sheet Name
A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A002 - S1	PLOT PLAN
A003	STANDARDS, GENERAL NOTES & ABBREVIATIONS
A010	MEANS OF EGRESS PLAN
A030	EXISTING PLAN
A040	DEMOLITION PLAN
A041	DEMOLITION ELEVATIONS
A110	FLOOR PLAN
A120	REFLECTED CEILING
A130	SWITCHING / AV AND FINISHES
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A210	BUILDING SECTIONS
A211	BUILDING SECTIONS
A440	SCHEDULES
A600	INTERIOR ELEVATIONS
A601	INTERIOR ELEVATIONS
A602	INTERIOR ELEVATIONS



163 Cushing Street, Cambridge, MA 02138

For Permit

CLIENT NAME:
Maura Rizzuto and Gregory Ashe

CLIENT ADDRESS:

JOE THE ARCHITECT

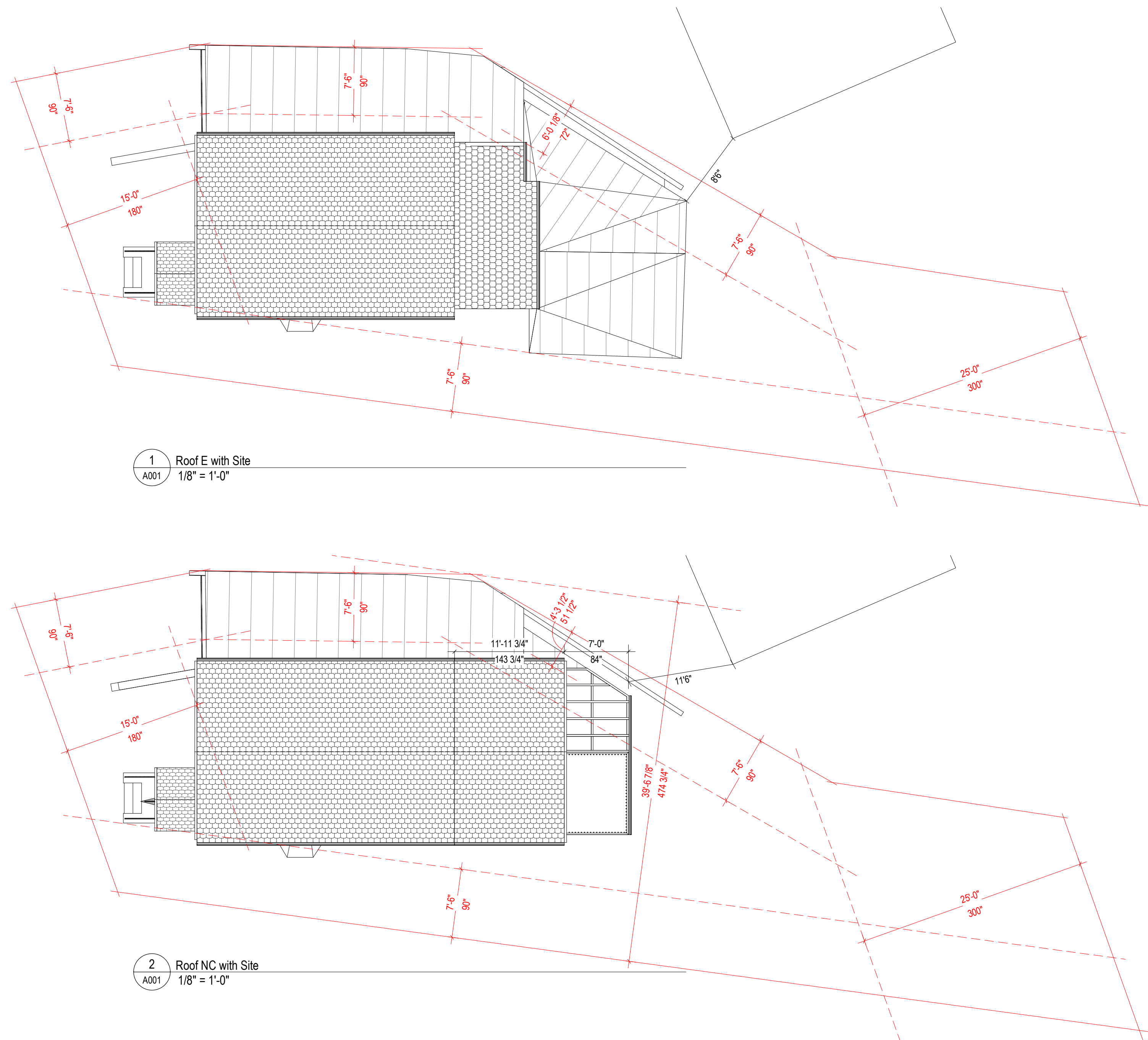
343 Medford Street, Suite 4C,
 Somerville, MA 02145
 t: +1(617) 764-3593
 e: info@joethearchitect.com
 www.joethearchitect.com

J t A

PROJECT NAME:
Cushing Street Residence

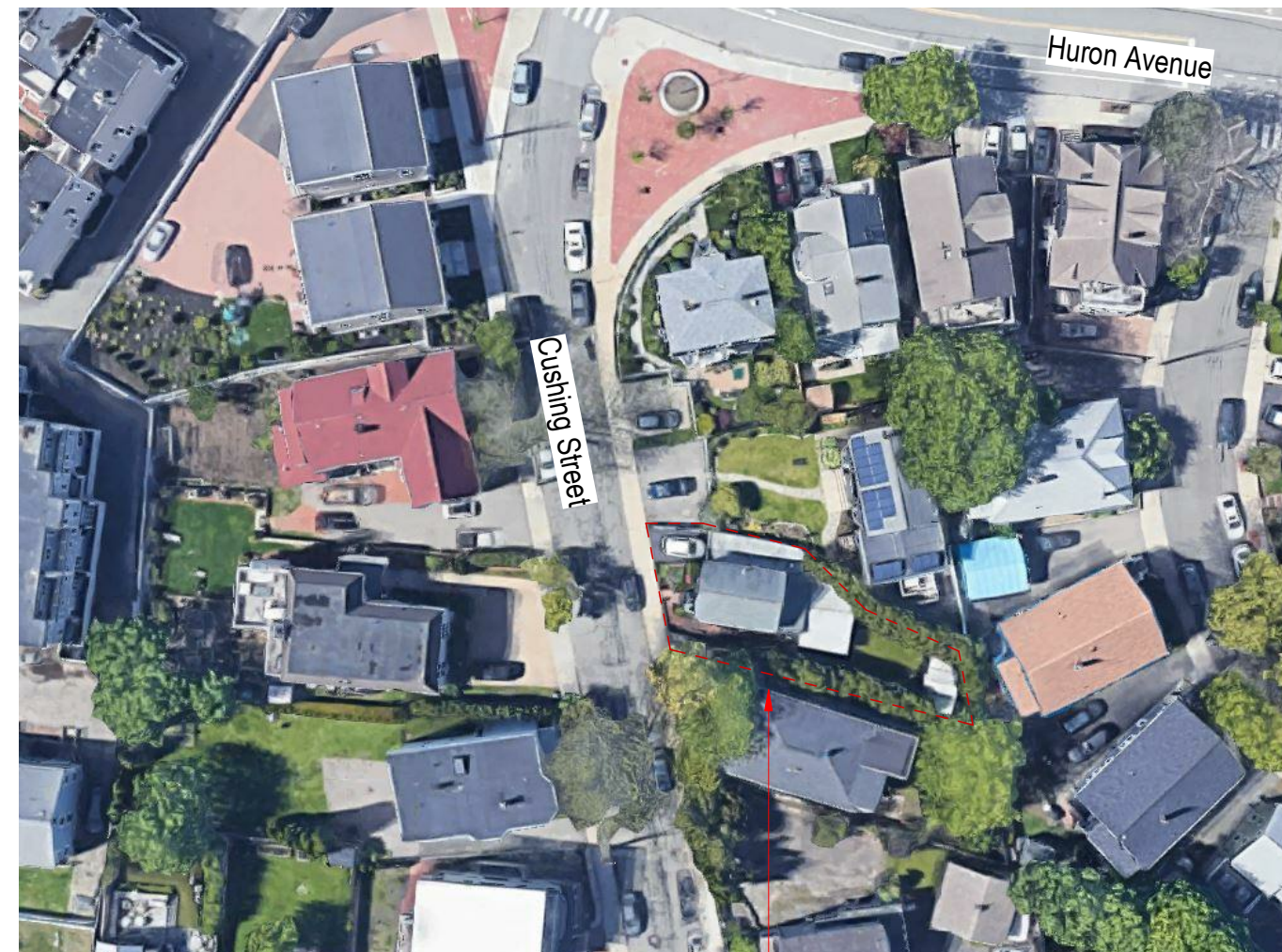
PROJECT ADDRESS:
**163 Cushing Street
 Cambridge, MA**

PROJECT NO: 368 ISSUE DATE:
 1/20/2021 3:43:08 PM



1 Roof E with Site
A001 1/8" = 1'-0"

2 Roof NC with Site
A001 1/8" = 1'-0"



163 Cushing Street, Cambridge, MA 02138

USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts state building code 780 CMR 9th edition/ international building code		
	Existing	Proposed
Property Class	R3	R3
Map/Lot		
Use Group (780 CMR Section 304)	R3	R3
Type of construction (780 CMR Section 602)	V	V
Number of stories	2+Basement	2+Basement
Fire Protection		
Building Element (780 CMR Section 601)		Fire Resistance Rating
primary structural frame		0
bearing walls		0
exterior walls		0
interior walls		0
non bearing walls and interior		0
floor construction and secondary members		0
roof construction and secondary members		0
Notes		

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

Property Class	Single Family Residence B					
Map/Lot	258-54					
Neighborhood	Strawberry Hill					
Zoning Ordinance	Cambridge MA Zoning Ordinance					
	Zoning Data		Required		Existing	
	Use	Residential	Residential	Residential	Residential	Residential
	# of Dwelling Units*	1	unit	1	unit	1
	Floor Area Ratio (FAR)	0.5		0.53		0.55
	Min. Lot Size	5000	sqft	2999	sqft	2999
	Min. Lot Area / Dwelling Unit*	2500	sqft	2999	sqft	2999
	Min. Lot Width	50	ft	39'7"	ft	39'7"
	Front Yard Setback	15	ft	10'10"	ft	10'10"
	Rear Yard Setback	25	ft	35'5"	ft	40'6"
	Side Yard Setback	7'6" (sum of 20)	ft	7'6", 6"	ft	7'6", 4'3 1/2"
	Building Height	max. 35	ft	23' 8"	ft	23' 8"
	Min. Ratio of private Open Space to Lot Area	40	%	66	%	72
Additional Information						

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition As a reminder, the new, ninth edition code is based on modified versions of the following 2015 codes as published by the International Code Council (ICC).
Residential	International Residential Code 2015 (IRC 2015)
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	368
Project Title	Cushing Street Residence
Project Address	163 Cushing Street, Cambridge, MA 02138
Client Name	Maura Rizzuto and Gregory Ashe
Client Address	163 Cushing Street, Cambridge, MA 02138

PROJECT DESCRIPTION

Addition of a master bedroom and a balcony to the back of the residential building on the second floor as well as a reconfiguration of the backyard patio.

EXISTING STRUCTURES (IEBC)

Alteration - Level 2 (section 504)

Based on our interpretation of the IEBC 2015 Chapter 5 - Classification of work, 163 Cushing Street is Alteration - Level 2 (section 504). The work includes addition of floor space on the second floor, the addition of a balcony on the second floor, and the reconfiguration of the first floor backyard patio. The work will comply with all the provisions of chapter 7 for Level 1 alterations as well as all the required provisions of chapter 8 for level 2 alterations.

WARNING:
Joe The Architect, Inc. all drawings and written material herein constitute the original and established work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or faxed. All work to comply with I.B.C. Regulations and relevant American Standards.
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consultant / contractor information:

stamp:

revision	revision description	date
----------	----------------------	------

project title:
Cushing Street Residence

163 Cushing Street
Cambridge, MA

client information:
Maura Rizzuto and Gregory Ashe

J t A
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www.joethearchitect.com

drawing title
**SITE CONTEXT AND
CODE ANALYSIS**

project number	drawing scale	approver
368	As indicated	Approver
drawing number	revision	

A001

NOT FOR CONSTRUCTION 1/20/2021 3:43:05 PM

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF DECEMBER 12, 2020 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS:
 ZONE: X
 COMMUNITY PANEL: 25017C0419E
 EFFECTIVE DATE: 06/04/2010

PREPARED FOR:
 OWNERS OF RECORD:
 GREGORY N. ASHE
 MAURA ANN RIZZUTO
 163 CUSHING STREET
 CAMBRIDGE, MA 02138

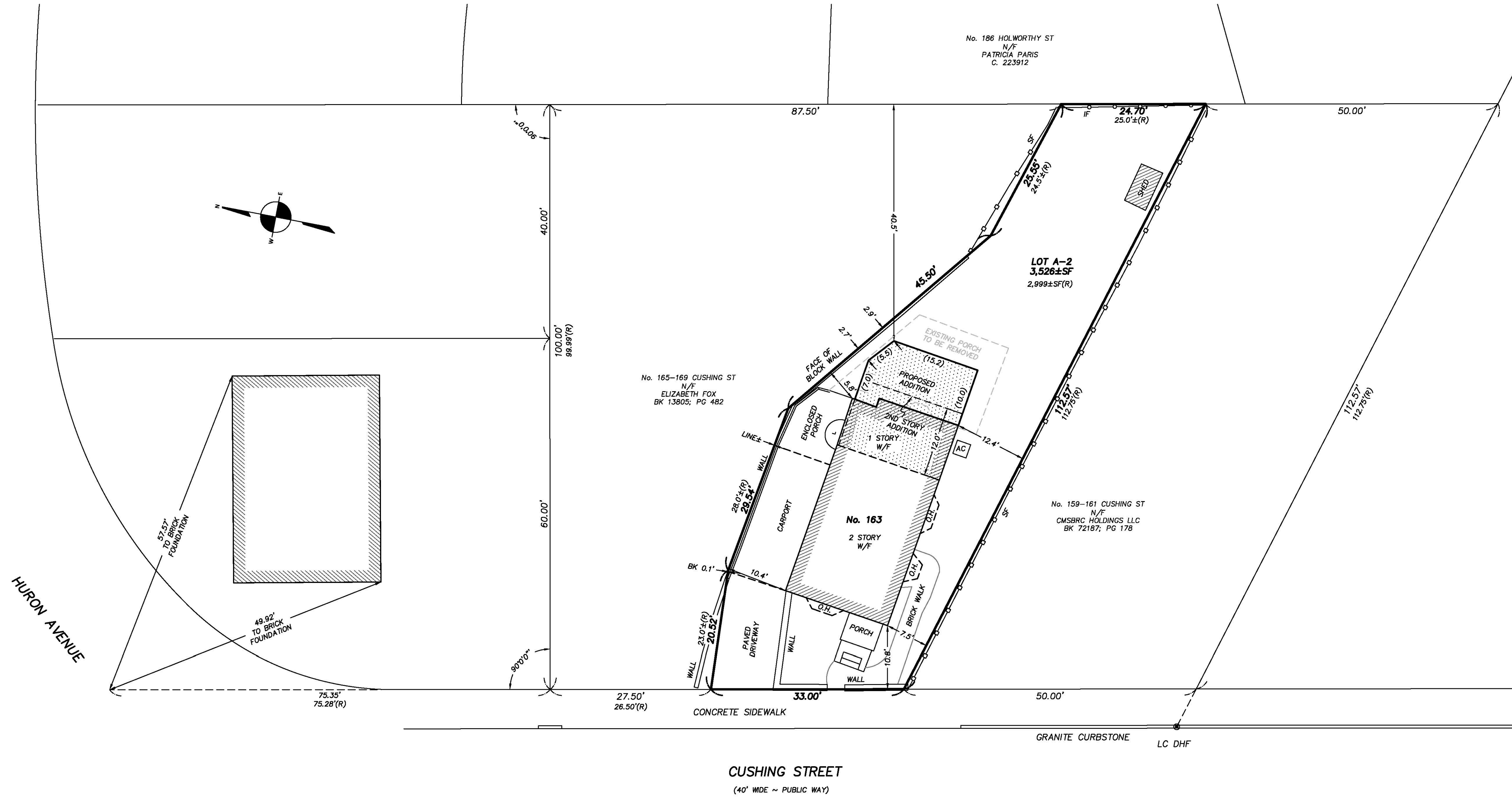
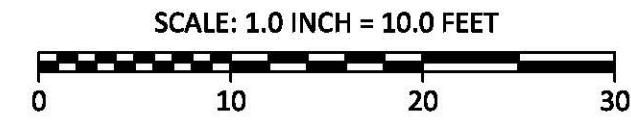
REFERENCES:
 DEED: BK 70855; PG 103
 PLAN: PL 1937 #385
 PL 1951 #1496
 PL 1952 #949
 PL 1987 #1017
 PL 1988 #615
 LCC: 12506-A
 29998-A
 39582-A

CITY OF CAMBRIDGE ENGINEERING RECORDS
 STR-12-47 HURON AVENUE
 STR-19-43 HOLWORTHY STREET
 SURVEY #9024
 SURVEY #6533
 FB 163; PG 30
 FB 78; PG 6

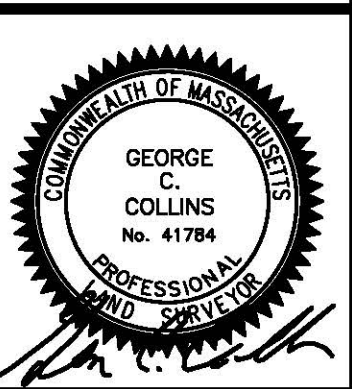
NOTES:
 MAP/LOT: 258-54
 ZONING: B

CERTIFIED PLOT PLAN

LOCATED AT
 163 CUSHING STREET
 CAMBRIDGE, MA



FIELD:	MO
DRAFT:	RAP
CHECK:	GCC
DATE:	01/13/21
JOB #	20-00627

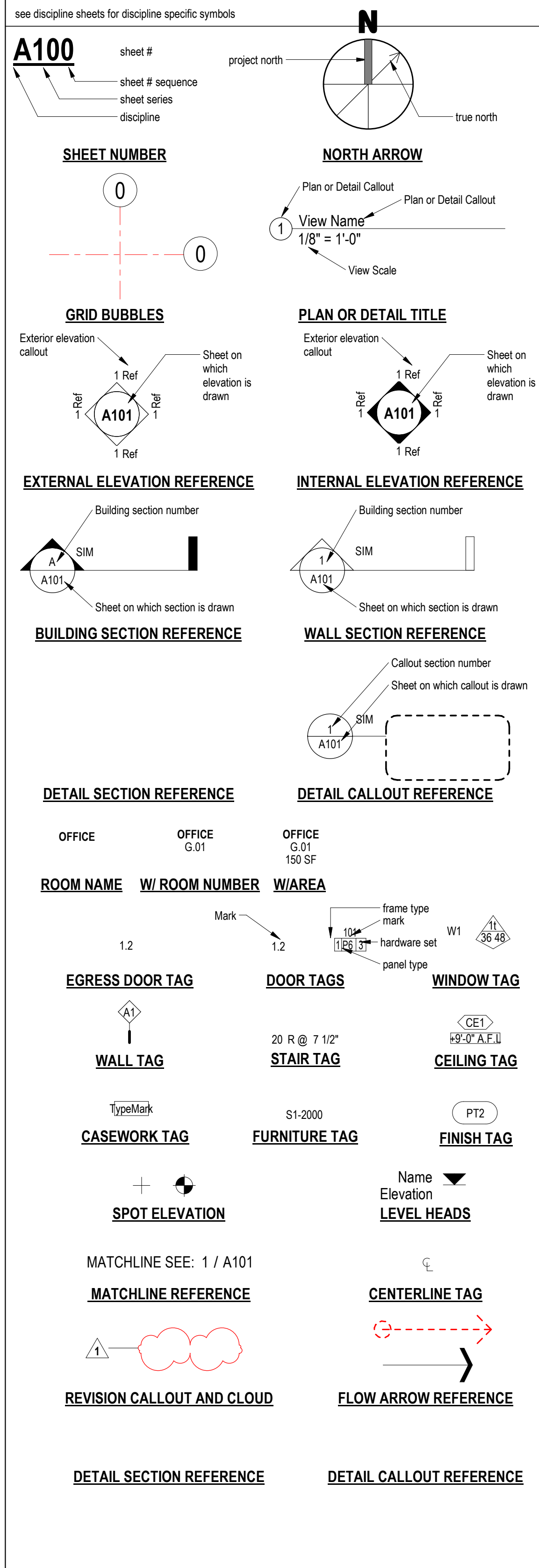


**GENERAL NOTES AND LEGENDS
ABBREVIATIONS**

& L @ AL CL DIA. PERP. C # /	and angle at align centerline diameter perpendicular channel number or pound per or divide	FRFP FRG FRP FRT FS FSP FTR FTG FURR F&I FUT	fireproof fiber reinforced gypsum fiber reinforced panel fire retardant treatment full size fire standpipe fire treated fooling furring furnish and install future	Q QTY	quarry tile quantity
A A/C ACT AD ADJ AFF AGGR ALUM AP APPX APT ARCH ASB ASPH AVG	air condition acoustic ceiling tile area drain adjustable above finished floor aggregate aluminum acoustic panel apartment architectural asbestos asphalt average	G GA GALV GB GC GFRG GL GND GT GSF GYM GYP	gauge galvanized grab bar general contractor glass fiber reinforced concrete glass fiber reinforced gypsum glass / glazing ground gROUT gross square foot gypsum wall board gypsum	H HB HC HWD HDWE HWR HM HORIZ HPT HR HT HGT	high hose bib hollow core hardwood hardware hardware hollow metal horizontal highpoint hour height height
B BD BITUM BLDG BLK BLKG BM BO B/O BOD BOS BR BSMT BTB	board bimultuminous building block blocking beam bottom of by others basis of design bottom of steel bedroom basement back to back	I ID IN INFO INSUL INT	inside diameter, inside dimension inch information insulation interior	J JAN JST	janitor joist
C CAB CB CER CF/CI CF/OI CG CH CI CIP CJ CL CLG CLR CLO CM CMU CNTR COL CONC CONT CORR CPT CSW CTSK CT CTR CUH CW	cecius cabinet catch basin ceramic contractor furnished/ contractor installed contractor furnished/ owner installed corner guard coat hook cast iron cast in place construction joint control joint centerline ceiling clear closet crown moulding concrete masonry unit counter column concrete continuous corridor carpet casework countersunk ceramic tile center cabinet unit heater curtain wall	K KIT	kitchen	L LAB LAM LAV LB LED LF LH LKR LT LVL LVR LVT	laboratory laminated lavatory pound light emitting diode linear feet left hand locker light laminated veneer lumber louver luxury vinyl tile
D DBL DEMO DEPT DET DF DH DIA DIM DISP DN DO DR DS DSP DW DWR	deep double demolition department detail drinking fountain double hung diameter dimension dispenser down door opening door downspout dry stand pipe dishwasher drawing(s) drawer	M MAX MC MDR MDL MECH MEMB MEP MFR MH MIN MIR MISC MLD MO MTD MTL MUL MWK	maximum medic cabinet medium density fiberboard modular mechanical membrane mechanical, electrical, plumbing manufacturer manhole minimum mirror miscellaneous moulding masonry opening mounted metal mullion millwork	N NC NIC NO. or # NOM NSF NTS	new construction not in contract number nominal net square footage not to scale
E (E) EA EFS EJ EL ELEC ELVTR EMER ENCL EOS EP EPX EQ EQPT ERD EWC EXH EXIST EXP EXT	existing east each exterior insulation and finish system expansion joint elevation electrical elevator emergency enclosure edge of slab electrical panel epoxy equal equipment existing roof drain electrical water cooler exhaust existing exposed exterior	O OA OBS OC OCC OD OFF OFICI OF/OI OFD OHDR OH OPNG OPP ORIG	overall obscure on center occupancy outside diameter (DIM.) office owner furnished/contractor installed owner furnished/owner installed overflow drain overhead door opposite hand opening opposite original	P P PBF PBL PCC PCF PERF PL PLAM PLA PLF PLYWD POS PR PRCST PRT PSF PSI PT PTD PTDR PTL PTR PVMT	pendant prefabricated plumbing fixture precast concrete pounds per cubic foot perforated plate plastic laminate plaster pounds per linear foot plywood point of sale pair precast partition pounds per square foot pounds per square inch paint paper towel dispenser combination paper towel dispenser and receptacle pressure treated lumber pressure treated pavement
F FA FACP FB FBO FEC FD FDC FDN FE FEC FHC FIN FLUOR FO FOC FOM FOS FOW FPL FPR	fahrenheit fire alarm fire alarm control panel flat bar furnished by others fire extinguisher cabinet floor drain fire department connection foundation fire extinguisher fire extinguisher cabinet fire hose cabinet finish fluorescent finished opening face of concrete face of masonry face of stud face of wall fireplace fire protection riser	R RA RAD RBR RCP RD REF REFR REL,LOC REINP REQD RESIL RESTR RGR RH RM RP RO RSF RTU RWD RWL	riser, right return air radius resilient base rubber base reflected ceiling plan roof drain reference refrigerator relocate reinforced required resilient restroom register right hand room resilient panel rough opening resilient sheet flooring rooftop unit rewood rain water leader	S SA SAB SC SCD SCHED SD SECT SF SH SHR SHT SIM SKL SND SMR SMT SOB JT SPD SPEC SQ SS SSK SST ST STA STD STL STOR STRL SUSP SYM	supply air sound attenuation blankets solid core seat cover dispenser schedule smoke detector section square footage shelf shower sheet similar skylight sanitary napkin dispenser sanitary napkin receptacle sealant symbol on background south soap dispenser specification square solid surface service sink stainless steel stone station standard steel storage structural suspended symmetrical
T TB TBD TC TEL TEMP TER T&G THK TOC TOP TOS TOW TPD TR TV TX TYP	tile towel bar to be determined top of curb telephone temporary terrazzo tongue and groove thick top of concrete top of pavement top of slab/top of steel top of wall toilet paper dispenser tread television textile upholstery typical	U UL UNF UON UR	underwriters' laboratories unfinished unless otherwise noted urnal	V VAR VBR VCT VERT VEST VIF VNR	varnish vapor barrier vinyl composition tile vertical vestibule verify in field vener
W WB WC WD WO WP WSCT WT WTC WWM	west with wall base wall covering wood without waterproof wainscot weight water closet welded wire mesh	X Y			

The preceding list of abbreviations is presented as a general guide and does not necessarily show all abbreviations used. Other generally accepted abbreviations may be found among the drawings.

**GENERAL NOTES AND LEGENDS
SYMBOL LEGEND**



GENERAL NOTES AND LEGENDS

- the drawings have been compiled from the best available information and are not intended to limit the scope of work. the contractor may uncover hidden conditions not shown in this contract set.
- the contractor shall perform all work described in the drawings and specifications and shall provide all items req'd for a complete functioning system, including appropriate blocking for wall mounted fixtures, shelving, accessories, etc.
- work shown but not included in this contract is noted "N.I.C.". items to be provided by owner and installed by g.c. are so noted.
- general contractor shall make all sub-contractors and suppliers aware of the requirements of these notes.
- all work shall be performed in compliance with all applicable local, state and national building, life safety, electrical and plumbing codes having jurisdiction over this project.
- general contractor shall be responsible for securing all permits necessary for the completion of the work shown throughout the contract documents.
- general contractor shall layout in the field the entire work to be performed to verify dimensional relationships before proceeding with the construction and shall verify all existing conditions and locations / benchmarks before proceeding with work / installation.
- general contractor shall be responsible for the coordination of the dimensional requirements between the work of the required trades and sub-contractors.
- drawings shall not be scaled for dimensions and / or sizes. drawings may have been reproduced at a scale different than that originally drawn.
- general contractor shall field verify all existing conditions including dimensions, structure, utility lines, etc. any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying of a product, material or method of assembly is to be brought to the attention of the architect immediately. sk drawings will be issued when or as required.
- g.c. & all trades, are responsible for coordination of the locations of all mech., elec., plumb. fixtures & devices. if conflict exist b/w drawings, exact locations shall be per architectural drawings or per field instruction of architect.
- g.c. & ea. trade subcontractor are responsible for reviewing & coordinating all trades' equipment and distribution including pipes, conduit, etc. to ensure that all fit in the allocated space. any conflict should be brought to the attention of the architect and appropriate engineer immediately, in writing.
- protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes. existing finishes disturbed during the course of the work shall be repaired such that patches will not be detectable & the new surface will be continuous w/ adjacent surfaces. wall surfaces shall be smooth, durable, and stable, free of cracks, holes, dents etc.
- where new walls or construction are to meet existing, repair or replace existing adjacent finishes as req. such that the joint is smooth, flush and invisible when completed.
- g.c. and trades shall cut penetrations for me/p/ security and data systems, through wall, through ceiling, through floor and through roof as required. patching of all surfaces w/ materials that match and align w/ that cut shall be accomplished under the base contract, whether specifically shown or not. each trade is responsible for providing appropriate fire rated, fire rated caulk, etc for all penetrations in fire rated separations in order to maintain/restore fire rating.
- dimensions:
1. - all partition dimensions shown are to face of stud @ new wall construction u.o.n.
2. - dimensions noted as "clr." mean clear dim. to face of finish.
3. - all horiz. dims are shown on plans and vert. dims on interior & exterior elevations where relevant.
4. - vertical dimensions are to l.o. subfloor, u.o.n. align electrical devices including switches, outlets, fire alarm devices, emergency lights, etc. vertically & horizontally, wherever in close proximity to each other, and unless prevented by code. see mounting heights schedule for typ. heights, see elevations for specific exceptions. align ceiling devices including smoke detectors, sprinkler heads, etc., with ceiling mounted lighting fixtures unless otherwise noted. center all between elements or within grid in both directions u.o.n.
- ea. trade is responsible for sealing air tight any penetrations made through air & vapor barriers.
- all metal & membrane flashings to be lapped positively to drain.
- separate dissimilar metals.

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stamp:		
revision	revision description	date

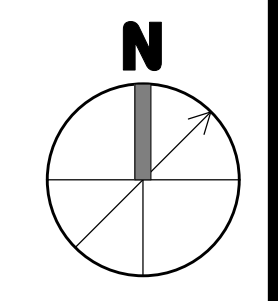
project title:
Cushing Street Residence

163 Cushing Street
Cambridge, MA

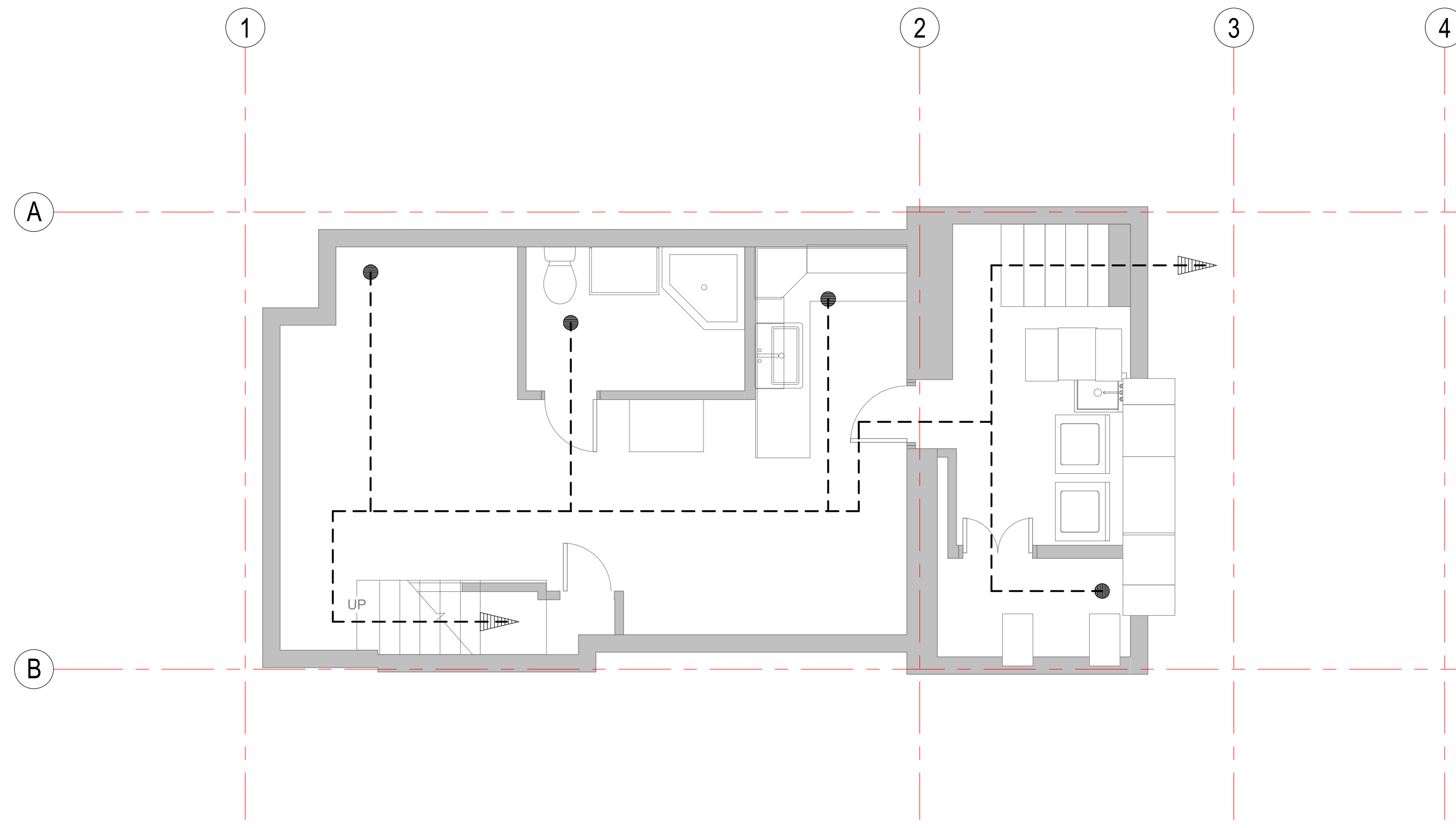
client information:
Maura Rizzuto and Gregory Ashe

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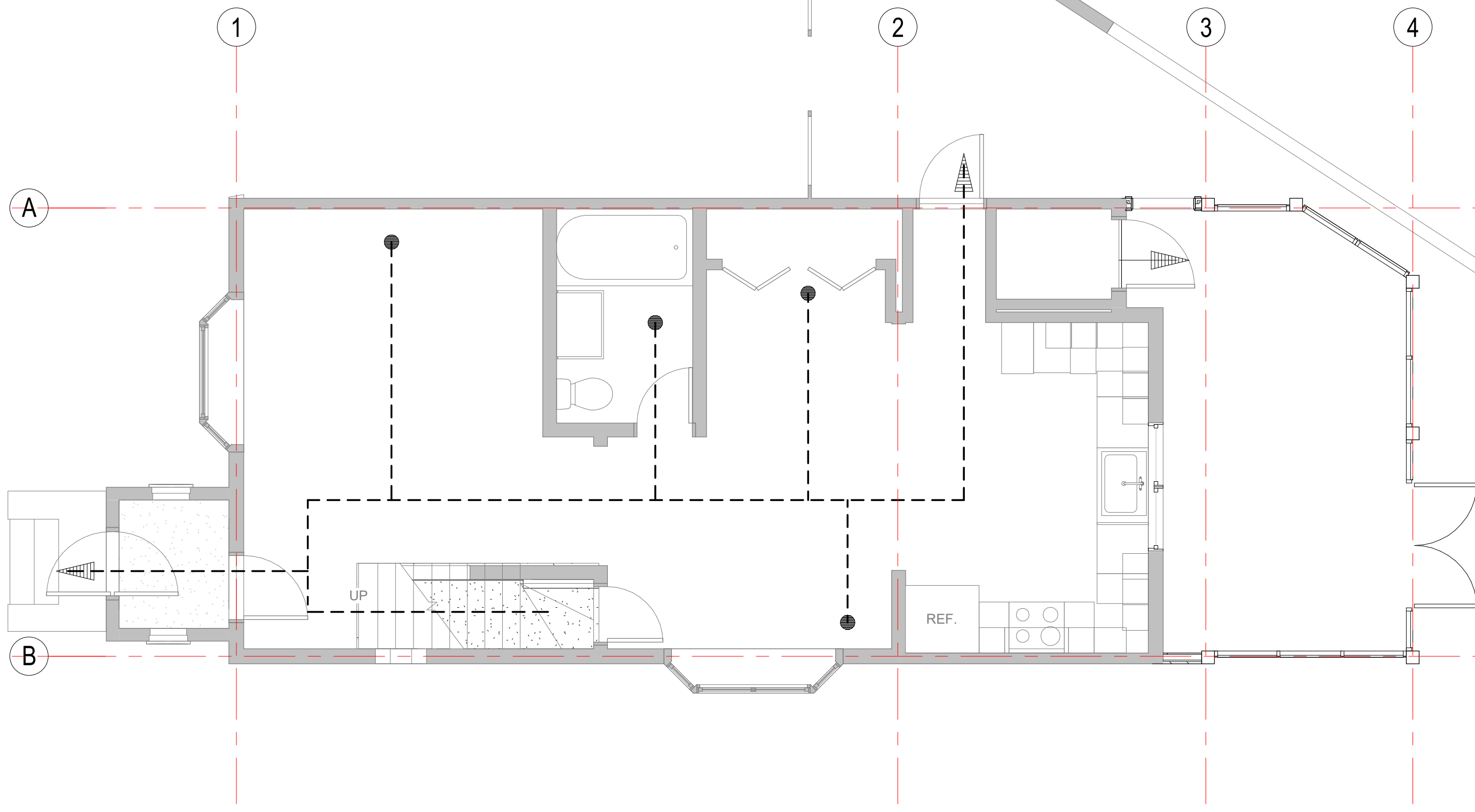
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project number	368
drawing scale	As indicated
approver	Approver
drawing number	A003
revision	



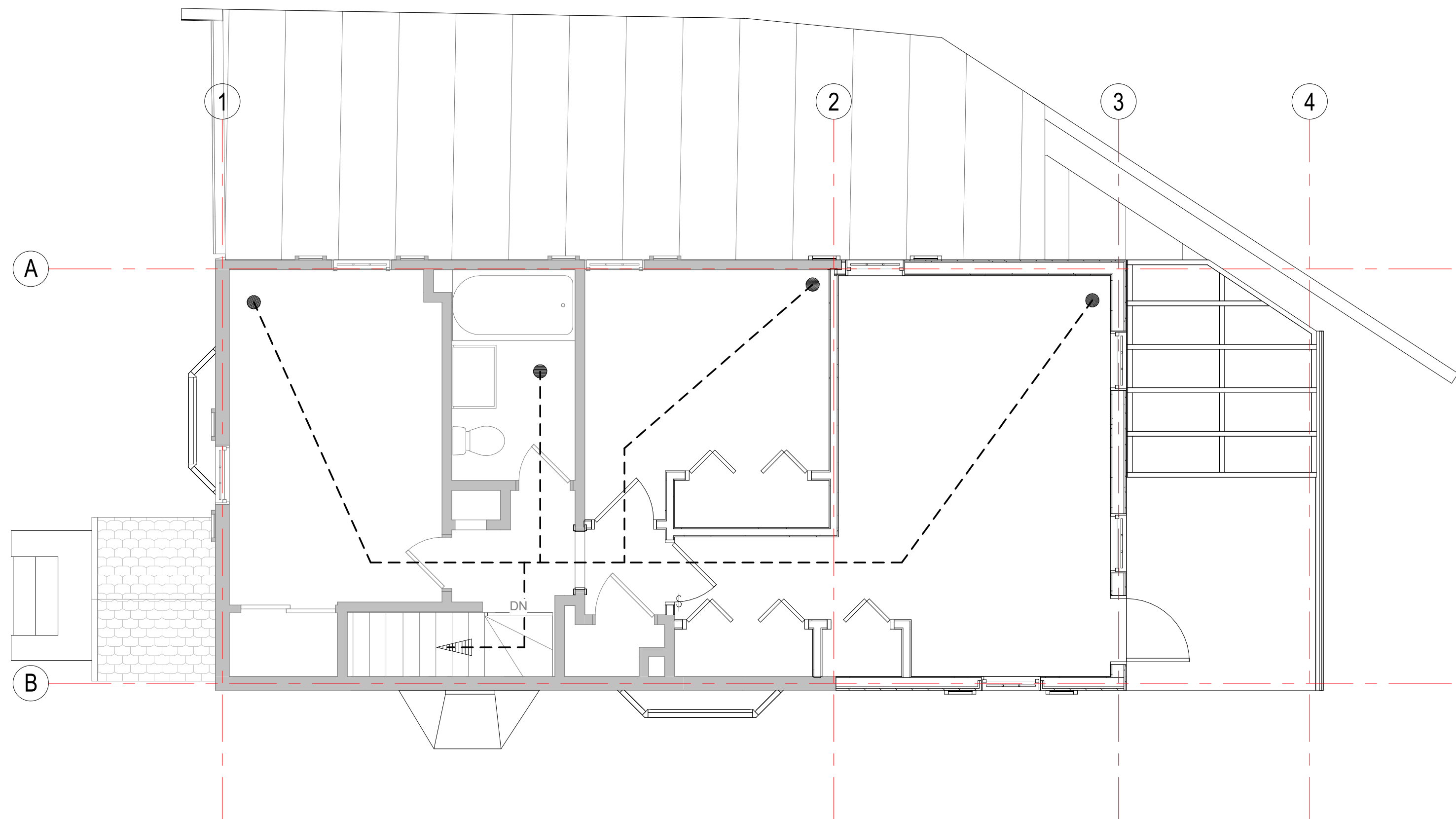
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3 0 Basement Egress
A010 1/4" = 1'-0"



1 1 First Floor Egress
A010 1/4" = 1'-0"



2 2 Second Floor Egress
A010 1/4" = 1'-0"

GENERAL NOTES AND LEGENDS
LIFE SAFETY

• c • u	sprinkler standard; concealed; upright
FPS	fire alarm pull station
FACP	fire alarm control panel
RFAP	fire alarm remote panel
FEC	fire extinguisher cabinet
FE	fire extinguisher wall hung
FSH	fire alarm horn & strobe
SD	photoelectric smoke detector
CM	carbon monoxide detector
SM	smoke / carbon monoxide detector
EL	emergency lighting; battery pack
EXIT	exit signage with direction indicator
↑	building exit arrow indicator
→	egress path of travel indicator
▶	egress exit triangle indicator
HE ▶	egress exit triangle indicator; horizontal exit
D ▶	egress exit triangle indicator; exit discharge
1	door mark indicator number

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project title:
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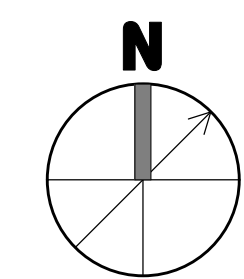
client information:
Maura Rizzuto and Gregory Ashe

GENERAL NOTES AND LEGENDS
EGRESS NOTES

- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
- the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/client. this information has not been independently verified by Joe The Architect, LLC.
- refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
- refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
- refer to plumbing drawings if applicable for all plumbing fixture counts.
- refer to structural drawings if applicable for all structural loads.

PARTITION FIRE RATING LEGEND

key & graphic symbol	wall type
—	default existing partition
—	default new partition
▨	1 hour fire separation
▩	2 hour fire separation
▪	3 hour fire separation



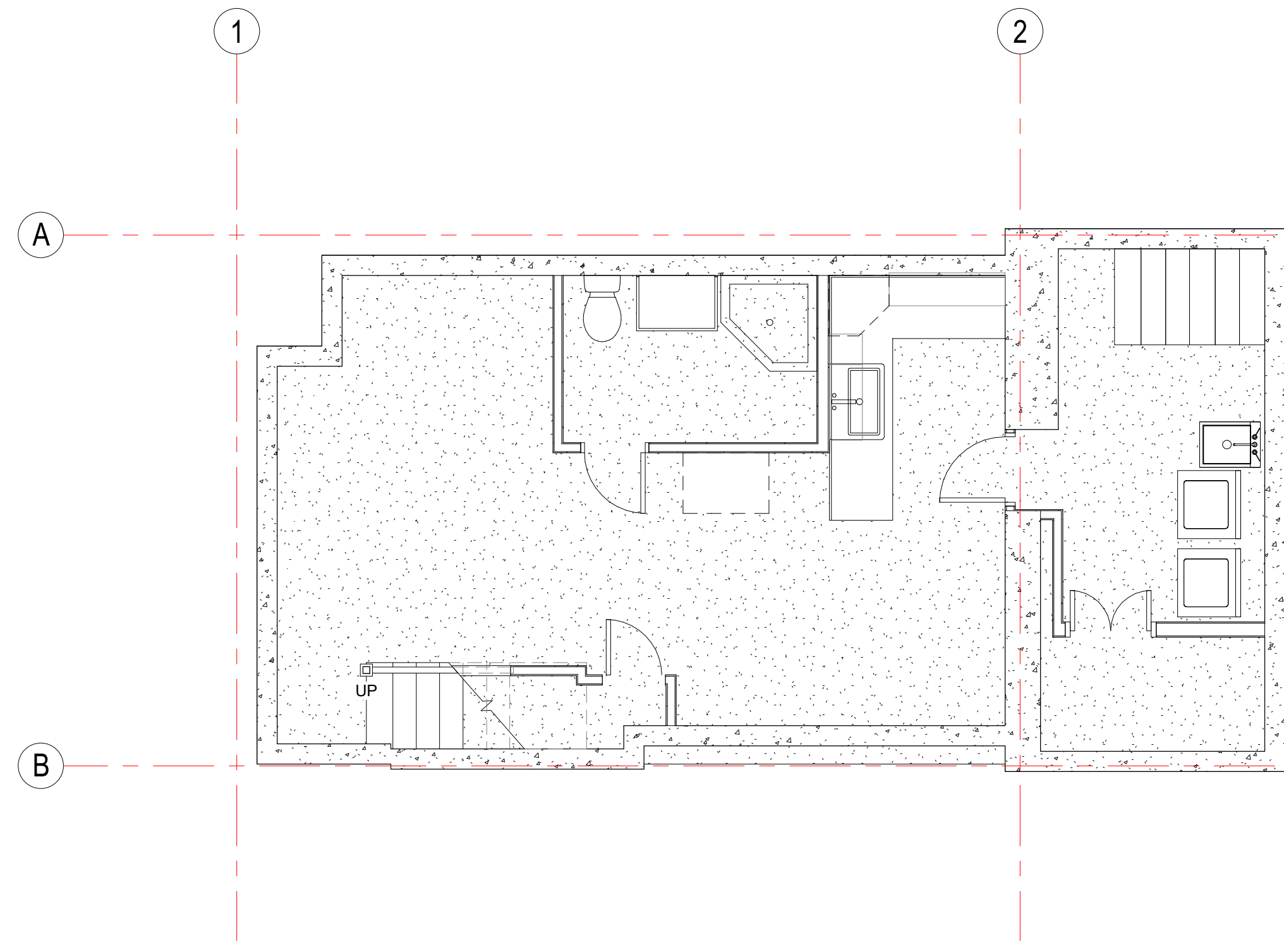
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drawing title
MEANS OF EGRESS PLAN

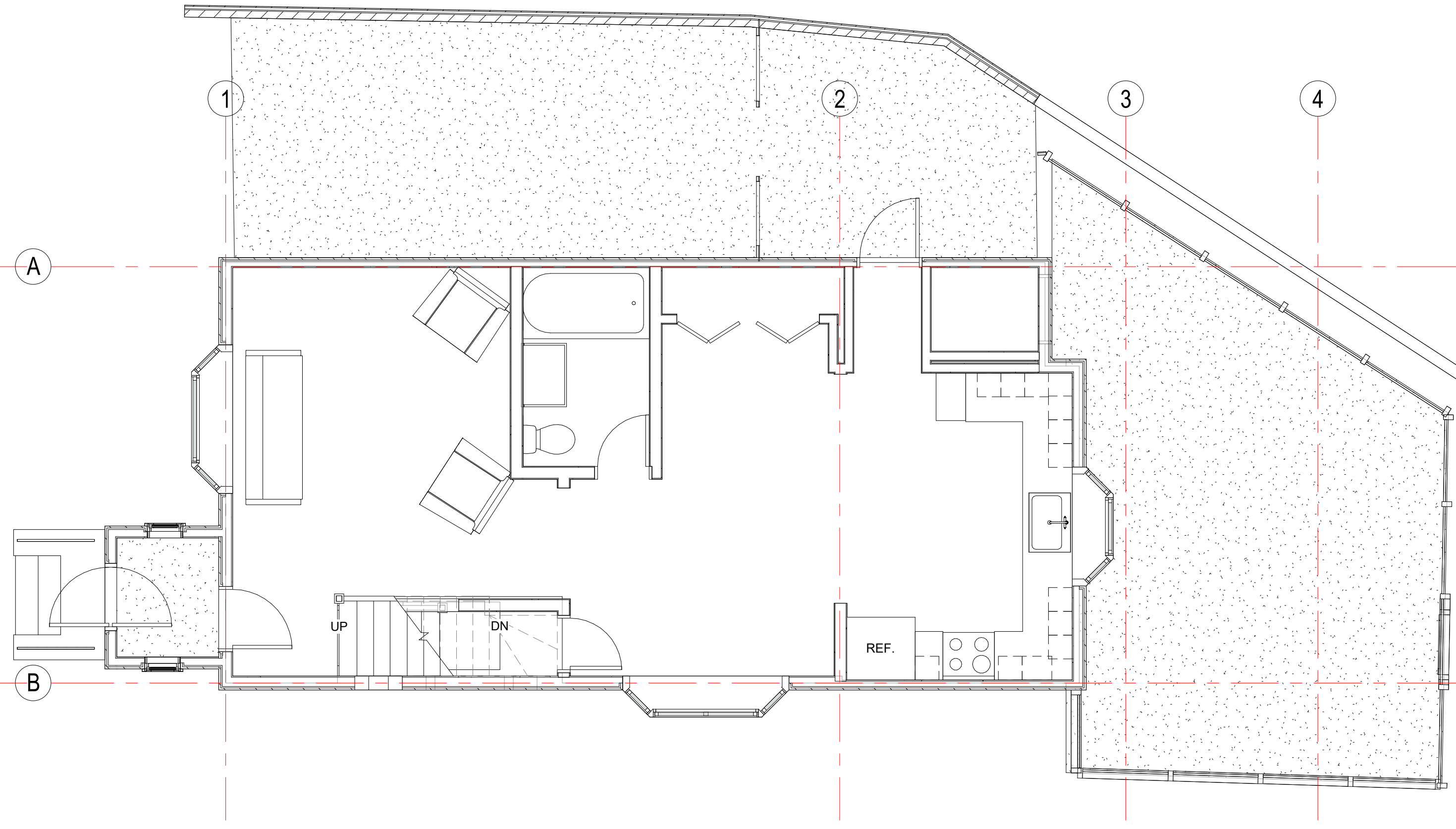
project number	drawing scale	approver
368	As indicated	Approver
drawing number	revision	

A010

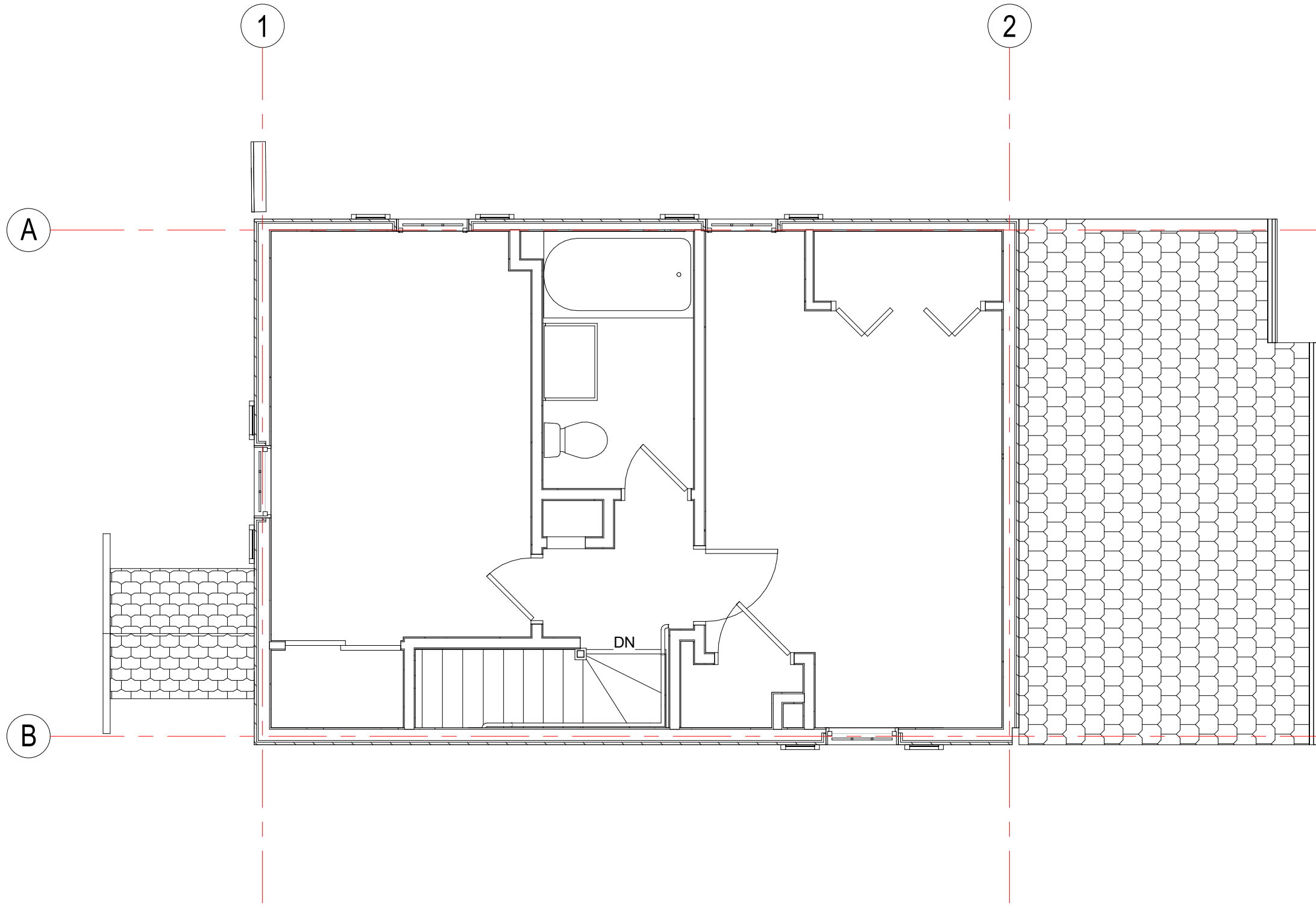
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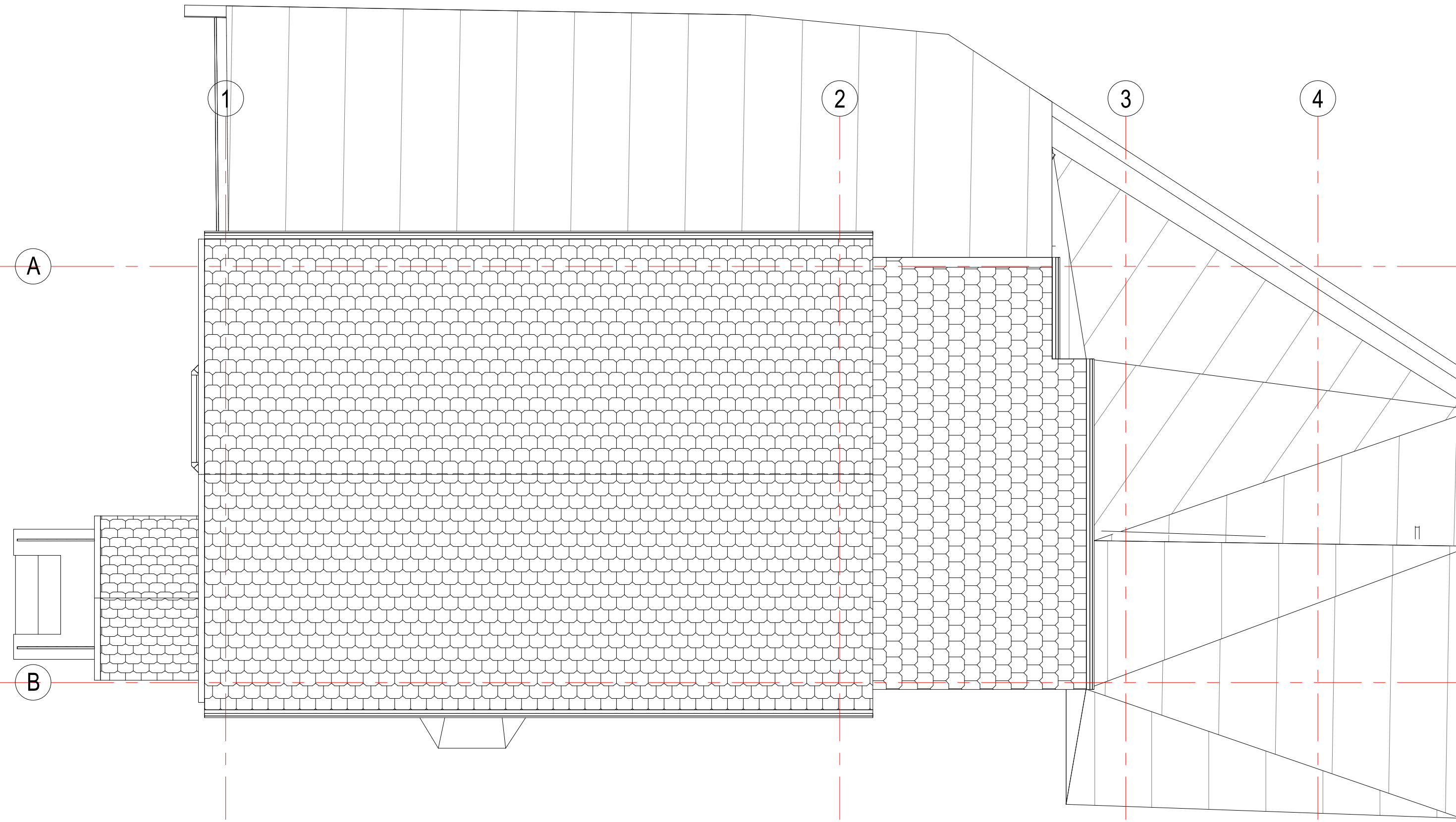
1 Basement E
A030 1/4" = 1'-0"



2 First Floor E
A030 1/4" = 1'-0"



3 Second Floor E
A030 1/4" = 1'-0"



4 Site E
A030 1/4" = 1'-0"

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stamp:

revision	revision description	date

project title:
Cushing Street Residence

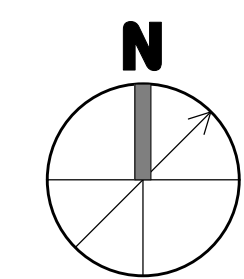
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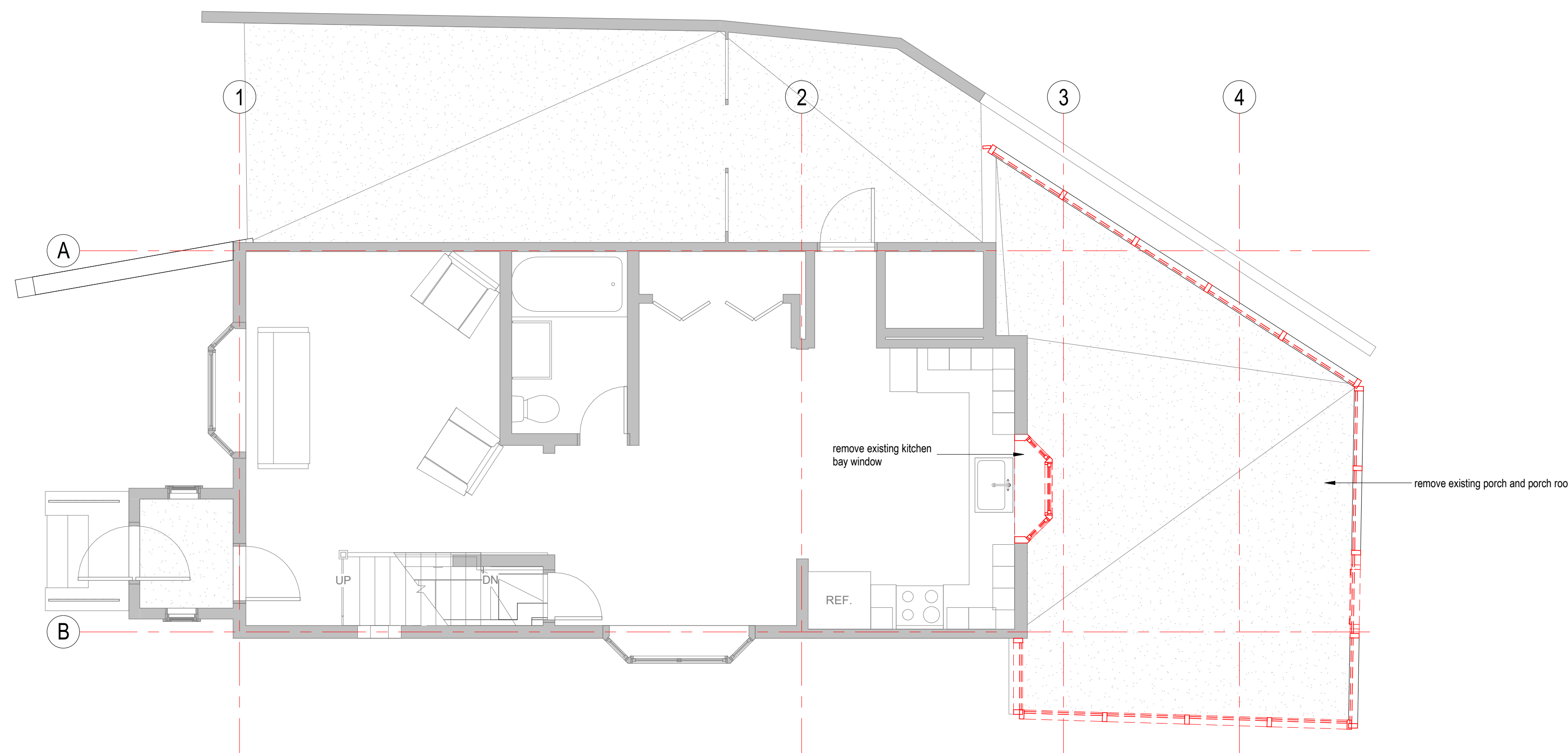
drawing title
EXISTING PLAN

project number	drawing scale	approver
368	1/4" = 1'-0"	Approver
drawing number	revision	
A030		

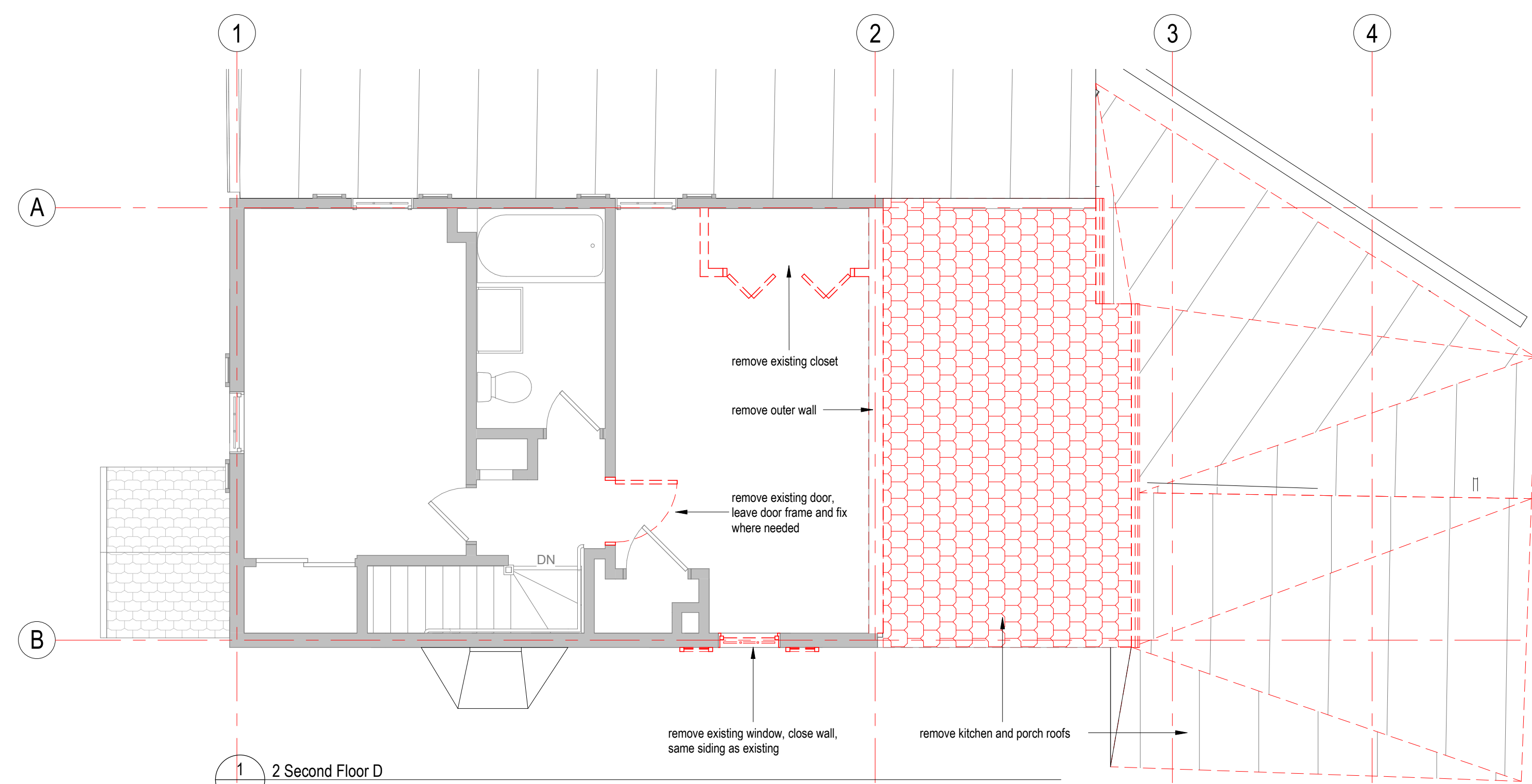


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2 1 First Floor D
A040
1/4" = 1'-0"

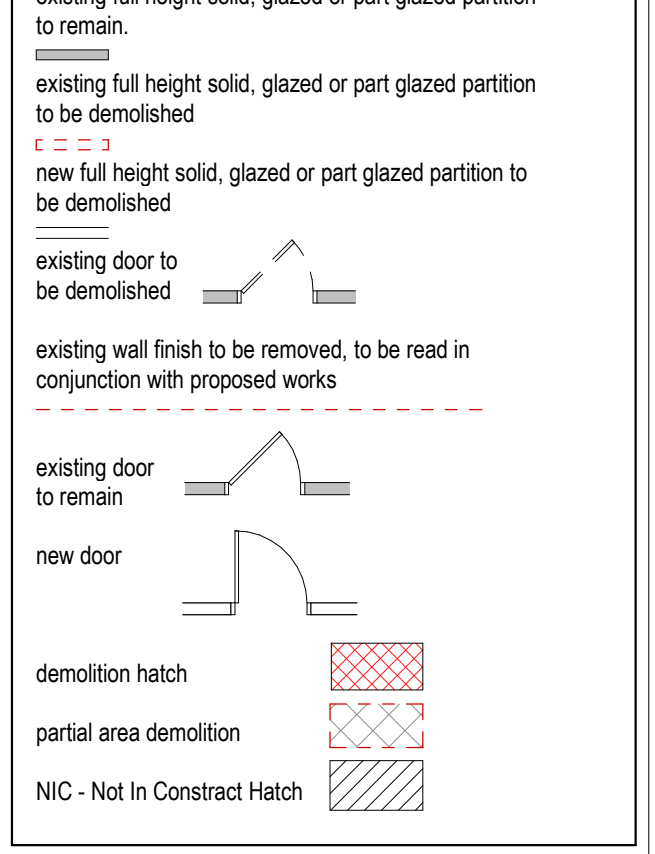


1 2 Second Floor D
A040
1/4" = 1'-0"

**GENERAL NOTES AND LEGENDS
DEMOLITION**

- see general construction notes on sheet A000.
- the drawings have been compiled from the best available information and are not intended to limit the scope of work. the contractor may uncover hidden conditions not shown in this contract set. in such an event, the contractor shall contact the architect immediately.
- selectively demo walls, ceiling, and floor finishes as shown and as required for new layout and systems.
- go to coordinate cutting of new door openings with required dims for units as shown on floor plans, elevations, and door schedule. notify architect of any conflicts.
- the contractor shall perform demo as required for wall mounted fixtures, shelving, accessories, etc. whether specifically shown or not.
- where removal of existing construction is required for performance of any work under this contract, removal & reinstallation shall be accomplished under the base contract, whether specifically shown or not, including restoration of utilities and any temporary shoring of structural components.
- protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes.
- see electrical, mechanical, plumbing, fire protection drawings and specifications for relevant info and coordination for systems work. cut penetrations for me/pip, security and data systems, through wall, through ceiling, through floor and through roof as required.
- all new sprinklers & piping shall be installed prior to demolishing the (e) system & making final connections, in order to minimize the impacts of shutdowns, drain down, system re-fill, and fire watches.
- it is the intent of the demolition scope to remove all existing items that will conflict with new work whether shown or not. all existing non-structural partitions, ceilings, casework, me/pip items, fur-outs, finish materials, stairs, doors, windows and industrial equipment shall be removed. the contractor shall visit the site prior to the start of any work to become familiar with the existing conditions.
- refer to structural documents for additional information regarding removal and shoring of structural elements.
- refer to civil engineering and landscape architecture documents for additional information regarding removal of site related fixtures, equipment, and associated accessories.
- roofing subcontractor is responsible for removal of all roofing, including non-structural substrates, gutters, and associated flashings. removed material shall be disposed of by the general contractor.
- coordinate all demolition with hazardous material removal/abatement requirements.
- general contractor is responsible for disposal of all excess salvaged items not used in the project or requested to be returned to the owner.
- the contractor shall verify all existing conditions and review with all trades the extent of demolition required.
- the contractor shall protect all materials and equipment noted to remain. all material indicated to be salvaged or reinstalled shall be stored and protected from damage until ready to be permanently reinstalled.
- all material indicated to be removed shall be disposed of in accordance to applicable codes and laws. the owner retains the right to reclaim any existing material. such material shall be protected from damage and delivered to the owner as per owner's requirements and compliance with sustainable practices. at the end of demolition, leave the area free and clear. broom clean for the application of new work.
- the contractor shall provide protection around and over all floor openings. coordinate all new floor opening dimensions with architectural drawings.
- where floor finish removal is indicated, remove flooring materials down to substrate.
- clean any residue from concrete surface. prep substrate to receive finish as indicated on finish schedule and per flooring manufacturer's recommendations.
- where ceiling removal is indicated, remove all components of existing ceiling systems including all fasteners. all materials and equipment shall be removed to underside of structure above. prep surface of underside of structure for new finish per finish schedule.
- see mechanical, plumbing, fire protection, and electrical drawings for scope of mechanical, plumbing, fire protection, and electrical demolition. cut, cap, and make safe all piping, conduit, and wiring as indicated on related drawings.
- contractor to provide temporary protection for interior side of all exterior walls and surfaces which will remain after demolition.
- locations of (e) sprinkler heads, lighting, hvac diffusers/registers, etc. and a.c.t. grids are not field dimensioned. g.c. to verify locations where in proximity of work.
- sprinkler heads, lighting, hvac diffusers/registers, etc. and a.c.t. grids are existing to remain u.o.n.
- provide temporary enclosure of all exterior openings created as a result of demolition until permanent enclosures are installed.
- provide temporary shoring at all demolition of new openings to install new lintel as indicated.

CONSTRUCTION LEGEND



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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

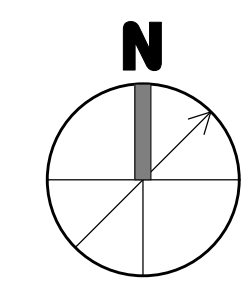
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client information:
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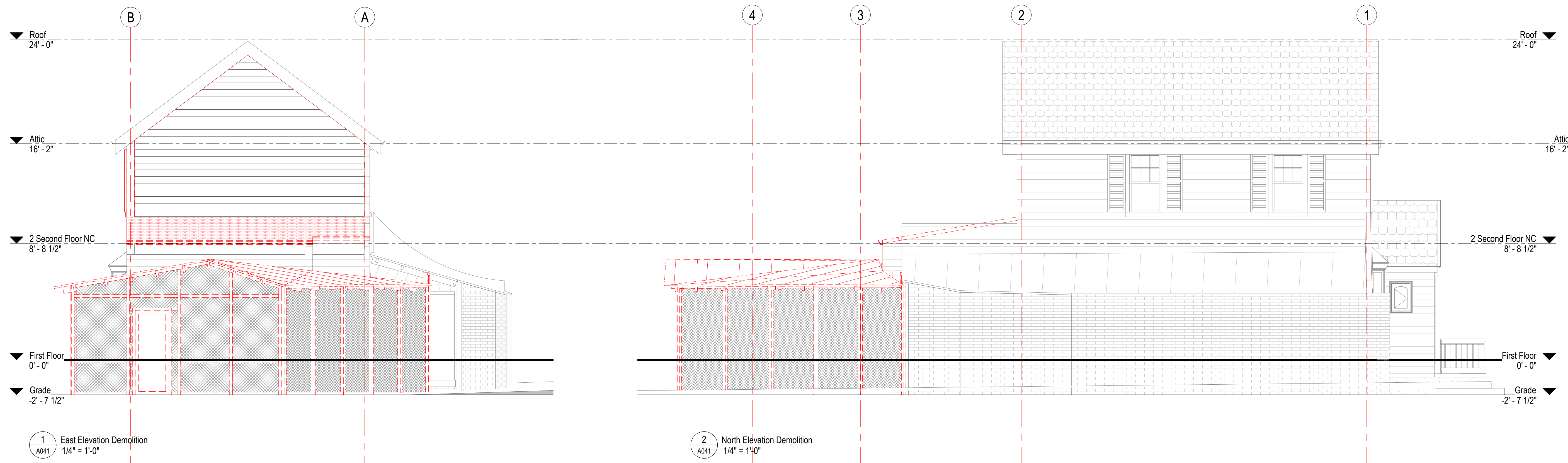
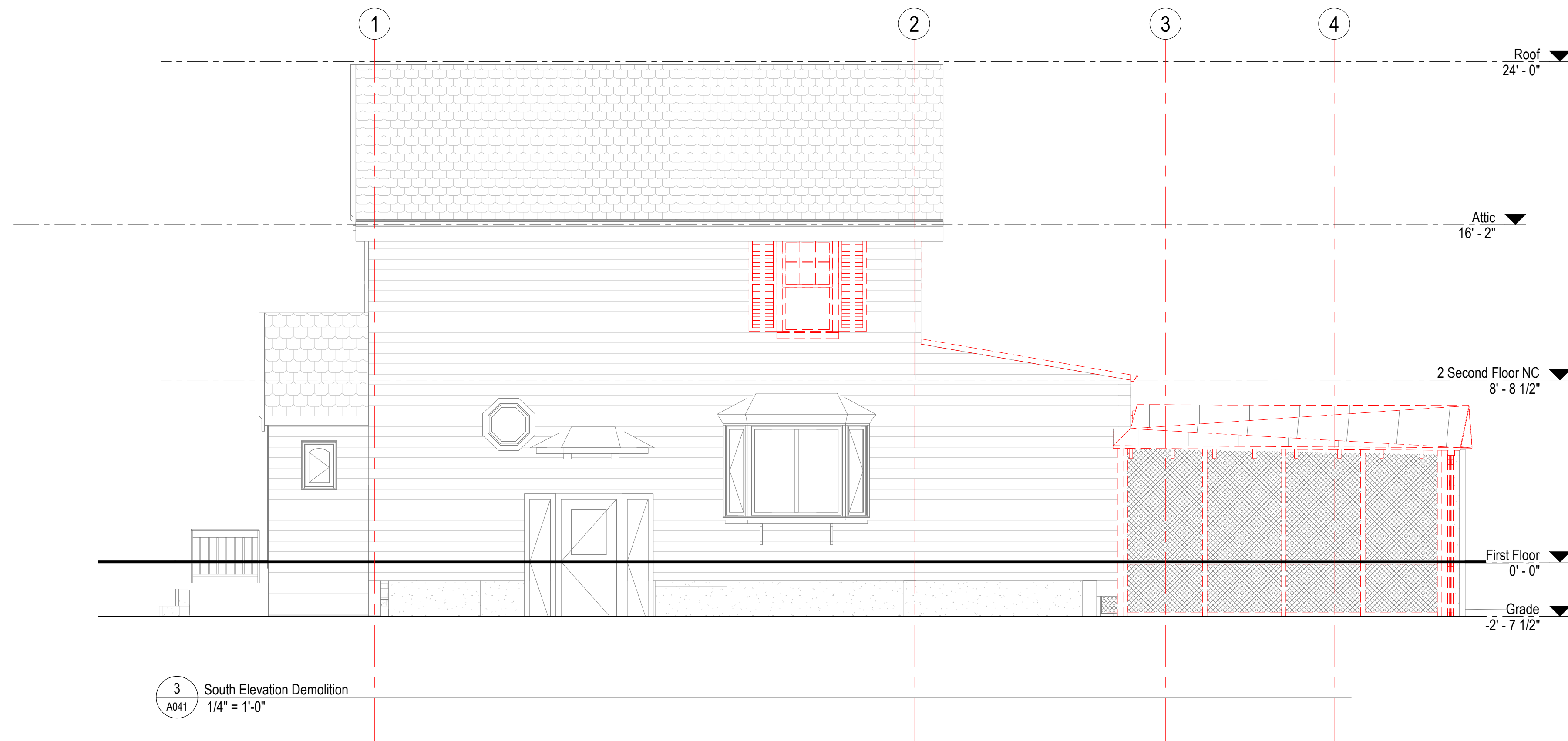
drawing title
DEMOLITION PLAN

project number 368	drawing scale As indicated	approver Approver
drawing number A040		revision



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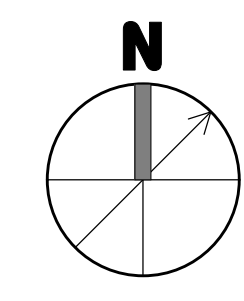
project title:
 Cushing Street Residence
 163 Cushing Street
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drawing title
DEMOLITION ELEVATIONS

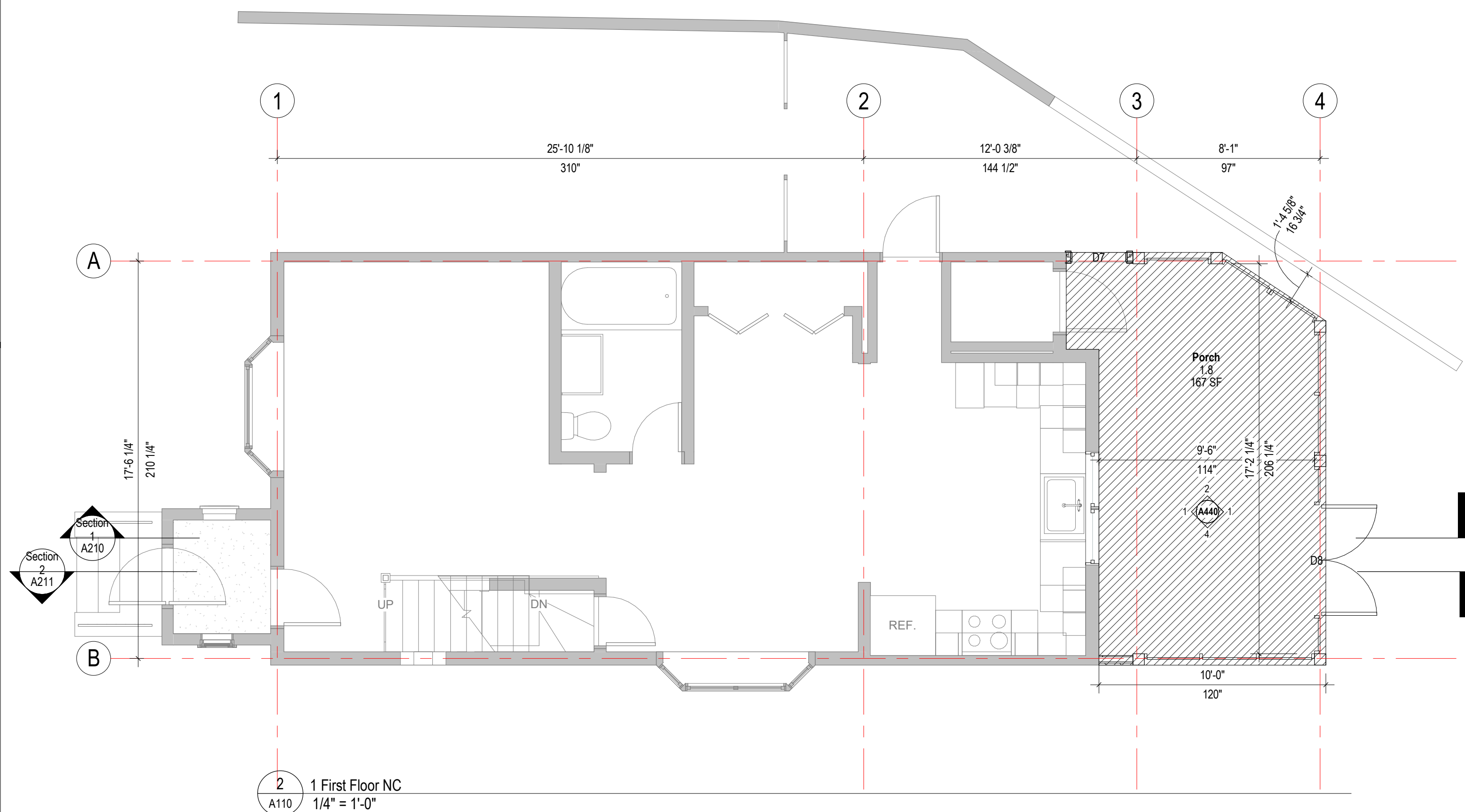
project number	drawing scale	approver
368	1/4" = 1'-0"	Approver
drawing number	revision	

A041

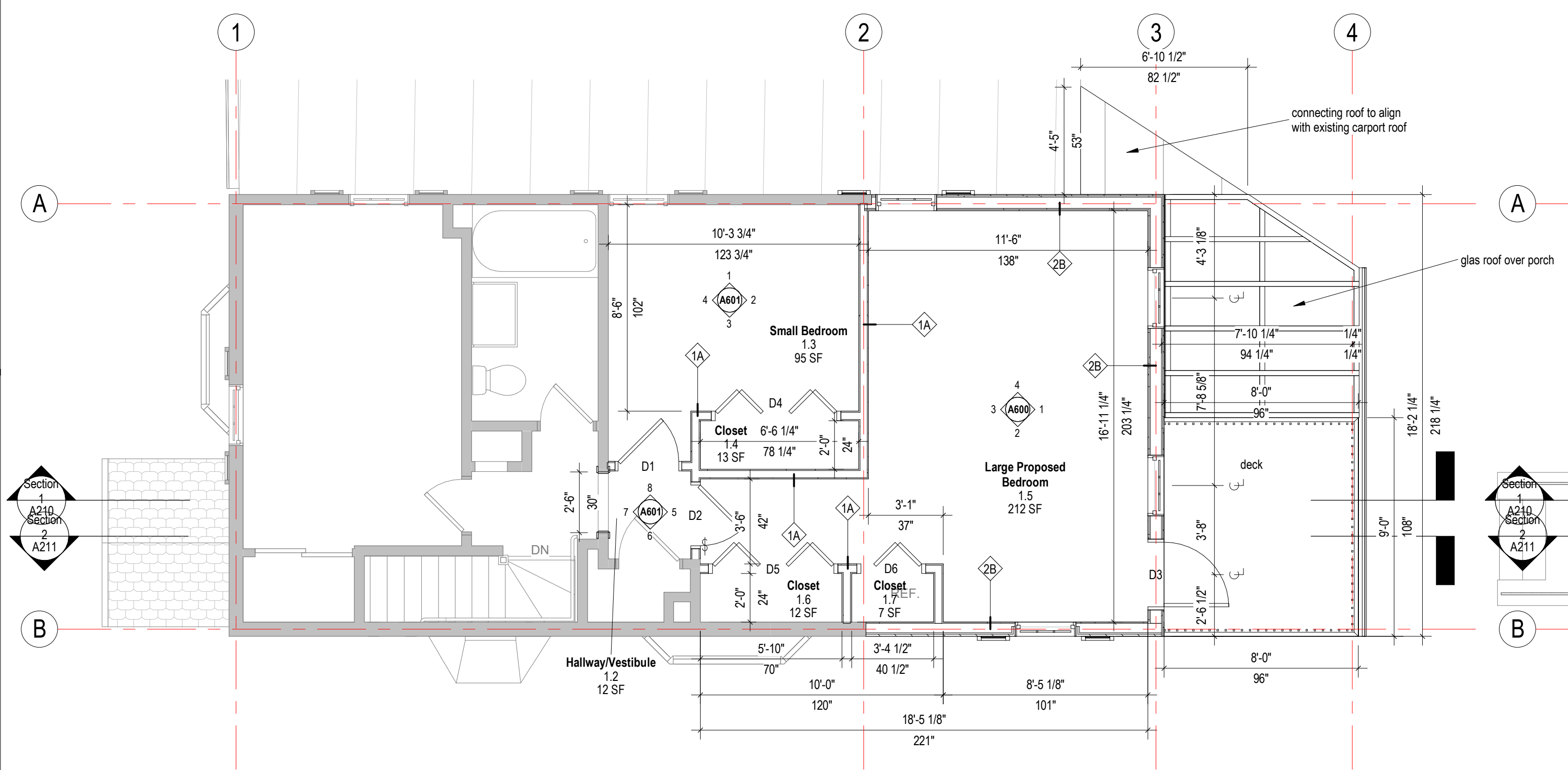


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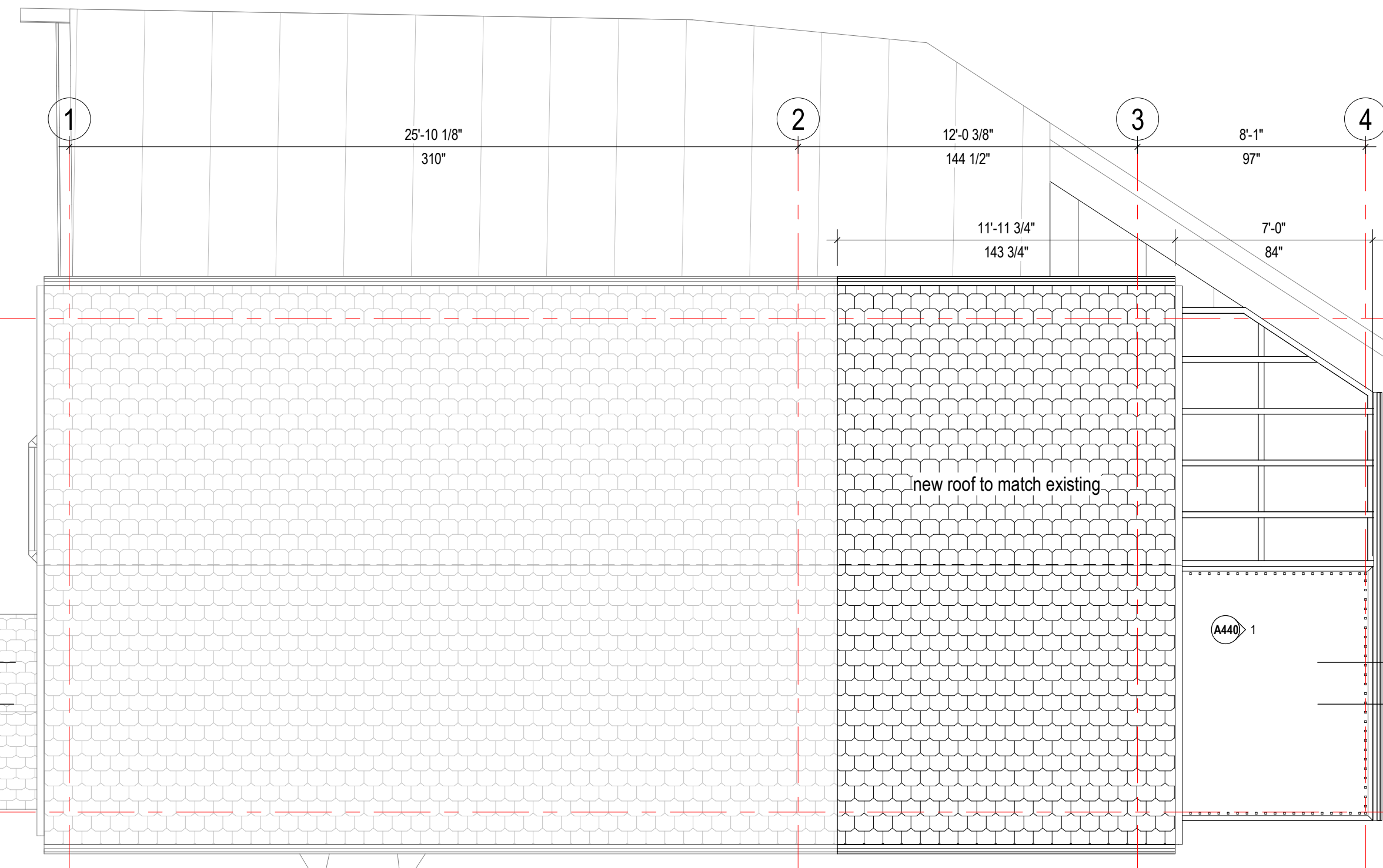
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2 1 First Floor NC
1/4" = 1'-0"

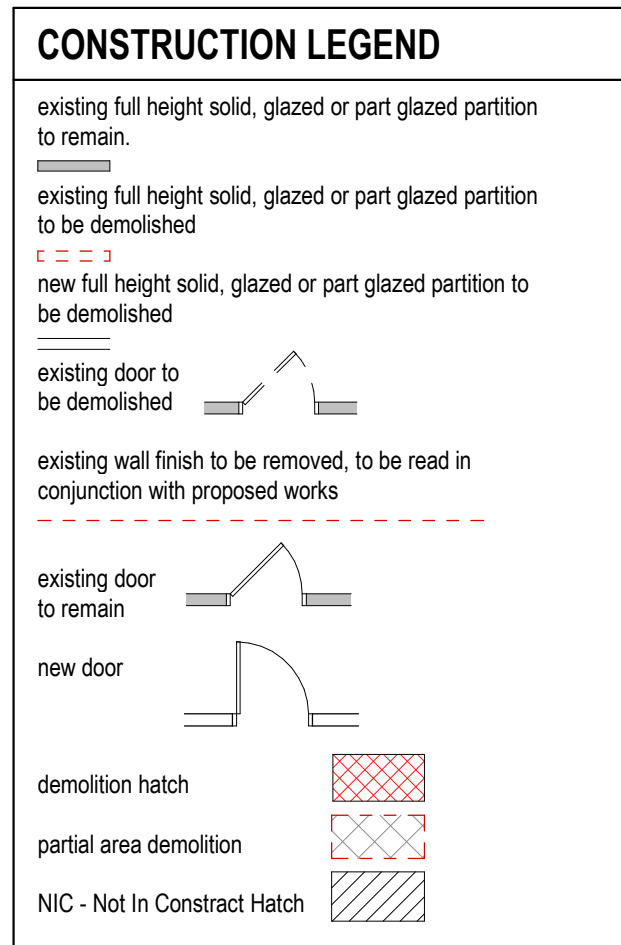


3 2 Second Floor NC
1/4" = 1'-0"



3 Roof NC
1/4" = 1'-0"

- ### GENERAL NOTES AND LEGENDS DEMOLITION
- see interior elevations for additional information on wall finish materials and typical mounting heights required.
 - see general construction notes on sheet a000.
 - see reflected ceiling plans for ceiling finish materials.
 - the contractor shall verify all existing conditions after demolition is completed.
 - all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
 - existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule. coordinate areaway drains and floor drains with plumbing drawings.
 - provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
 - all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
 - see door schedule for all door sizes, door info and details.
 - all glass within 18" a.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
 - all existing walls to be patched where existing walls were removed.
 - provide leveling compound over all existing concrete floor areas to receive new floor covering. no flooring transitions are to exceed 1/2" in height.
 - provide in-wall blocking as required.
 - provide in-wall blocking for all future built-in casework where indicated.
 - patch existing gwb at all locations where a partition has been removed.
 - at all areas of me/p/e equipment removed from walls, contractor to patch/repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
 - seal air tight any penetrations made through air & vapor barriers.
 - paint all (a) and (b) gwb & plaster finishes in work area unless noted.
 - interior dimensions are indicated to finish wall (cmu or gypsum board) materials. u.n.o.
 - me/p/e elements shown are schematic and are provided for reference only. refer to me/p/e drawings & specifications for more information.
 - exterior masonry dimensions are indicated to centerline of joints.
 - window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
 - provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
 - all material installation to be level & plumb.
 - see a140 series for all finishes.



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revision	revision description	date

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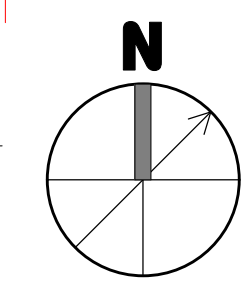
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client information:
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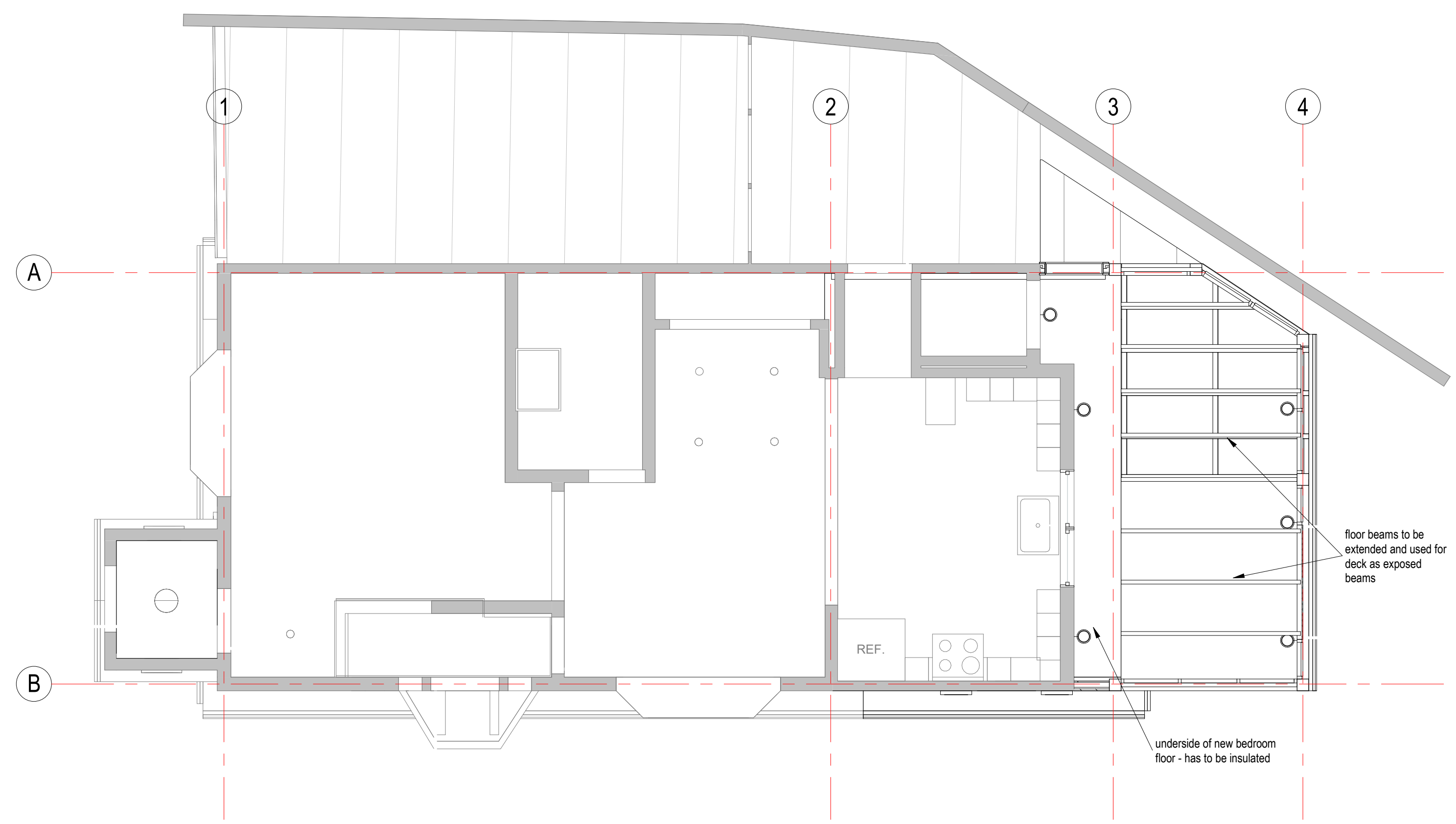
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drawing title
FLOOR PLAN

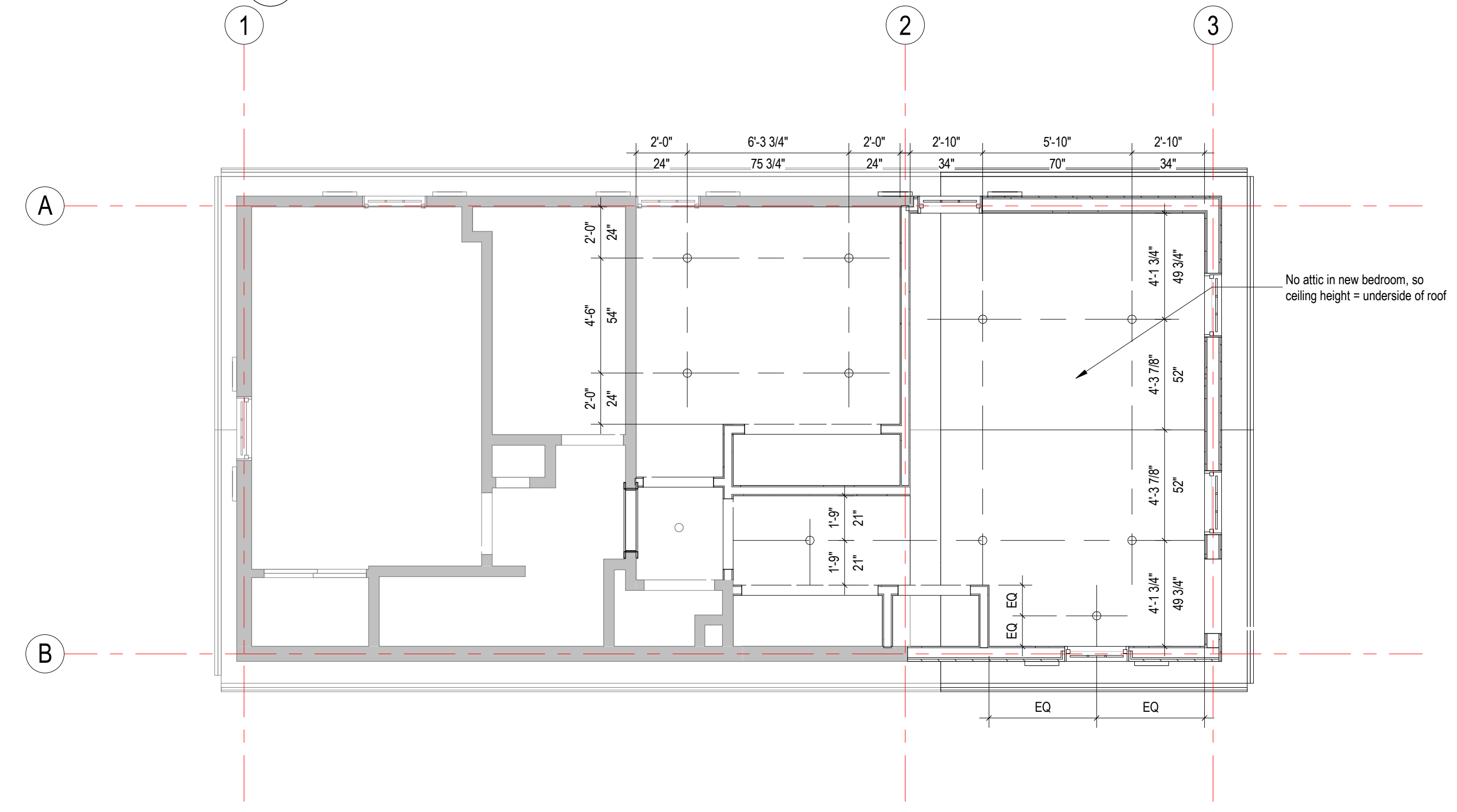
project number 368	drawing scale As indicated	approver Approver
drawing number A110		revision



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2 1 First Floor RCP NC
A120 1/4" = 1'-0"



3 2 Second Floor RCP NC
A120 1/4" = 1'-0"

REFLECTED CEILING SYMBOLS

- exhaust register with directional arrows
- return register; size varies
- supply register; size varies
- occupancy, motion sensor
- sprinkler | standard, concealed, upright
- emergency lighting, battery pack
- exit signage with direction indicator
- ceiling mounted recessed fixture; see schedule for size; lens style; light direction
- round recessed/surface mounted downlight and wall washer
- square recessed/surface mounted downlight and wall washer
- surface mounted scones (wedge, rectangle, cylinder, cone)
- linear wall mounted light fixture
- cylinder pendant fixture
- cone pendant fixture
- surface mounted/suspended track; track head light fixture
- under surface led tape light not in contract hatch
- 1 hour rated ceiling hatch
- 2 hour rated ceiling hatch
- ACT1 - acoustic ceiling tile 24x24
- GWB - gypsum ceiling

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REFLECTED CEILING NOTES

1. see general construction notes on sheet a000.
2. field verify all existing ceiling conditions including dimensions, structure, utility lines, etc. discrepancies with the drawings shall be reported to the architect.
3. dimensions:
4. dimensions noted as "cir." mean clear dimension to face of finish.
5. all horizontal dims. are shown on plans and vertical dims.
6. all ceiling elevations noted on the rcp are from finish floor elevation unless noted.
7. the contractor shall protect all ceiling materials and equipment's noted to remain
8. see mechanical, electrical, and fire protection drawings for all light fixture types, exit signs, sprinkler head locations, and air registers. see architectural drawings for final location of all light fixture and ceiling equipments.
9. all sprinkler heads to align with lighting, door openings, windows, and should be centered on ceiling tiles. contractor shall be responsible for sprinkler coordination.
10. all exposed duct work, pipes, conduit, etc. to be primed and painted.
11. underside of existing and new concrete deck, & all existing exposed concrete encased steel beams to be painted.
12. all ceiling tiles to be 2' x 2' uno and all ceiling tile grids to be centered in room, uno
13. where no ceiling material is indicated, finish is to be underside of exposed slab and beams, cleaned, primed, and painted.
14. center a.c.t. in room in both directions u.o.n. no a.c.t. shall be no less than half a tile.
15. cut a.c.t. as req'd to center hvac registers/diffusers when smaller than a.c.t.
16. where (e) plaster or gypboard cigs are to be infilled or patched, patch such that the joint is smooth, flush and invisible when completed.
17. align ceiling devices including smoke detectors, sprinkler heads, etc. with ceiling mounted lighting fixtures and center between elements or within grid in both directions as shown, u.o.n.
18. paint all (n) + (e) gwb & plaster finishes in the ceiling area.
19. align fire alarm, and all other electric devices, lighting as shown.
20. see sheet axxx for partition types.

stamp:

revision	revision description	date

project title:
Cushing Street Residence

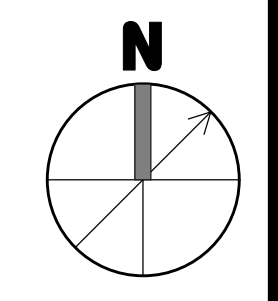
163 Cushing Street
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drawing title
REFLECTED CEILING

project number 368	drawing scale As indicated	approver Approver
drawing number A120	revision	



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**GENERAL NOTES AND LEGENDS
POWER NOTES**

1. refer to general demolition notes for additional requirements.
2. receptacles, switches and devices shall be installed at mounting heights and locations as indicated on the architectural elevations, part plans and details. contractor shall refer to the architectural drawings for information.
3. circuit numbers are shown for descriptive purposes only. exact numbers shall be determined in field and shall be noted on the contractors as-built drawings.
4. coordinate exact location of all mechanical equipment with hvac, plumbing and fire protection drawings.
5. conduits and light fixture chains will be mask off and protect from being painted over.
6. gc to protect all cat 5e and any other power device wires close to ceiling prior to painting.

WARNING:
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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

163 Cushing Street
Cambridge, MA

client information:
Maura Rizzuto and Gregory Ashe

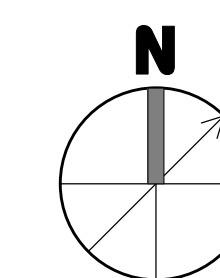
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t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
**SWITCHING / AV AND
FINISHES**

project number	drawing scale	approver
368	As indicated	Approver

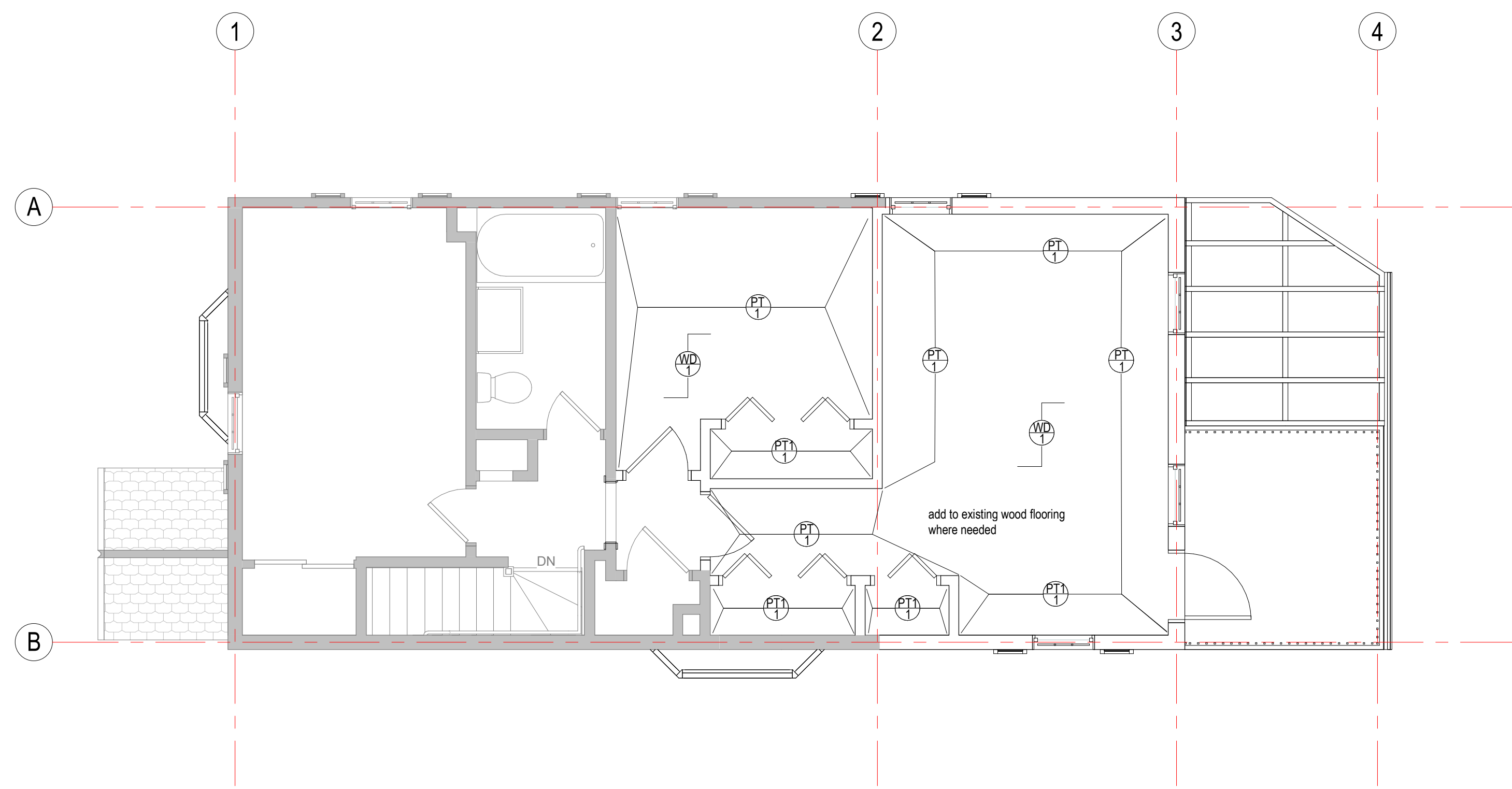
drawing number	revision
A130	

A130

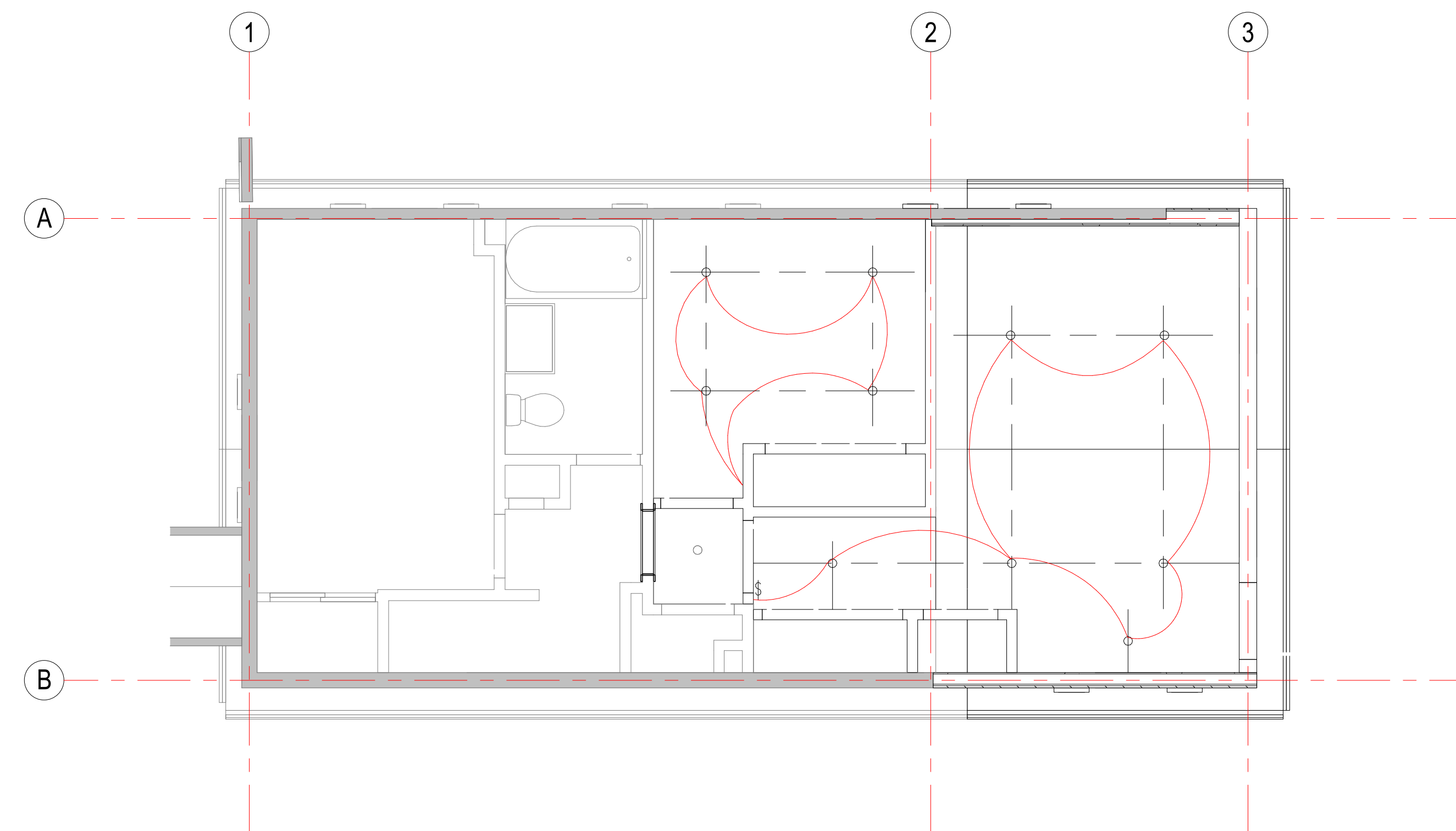


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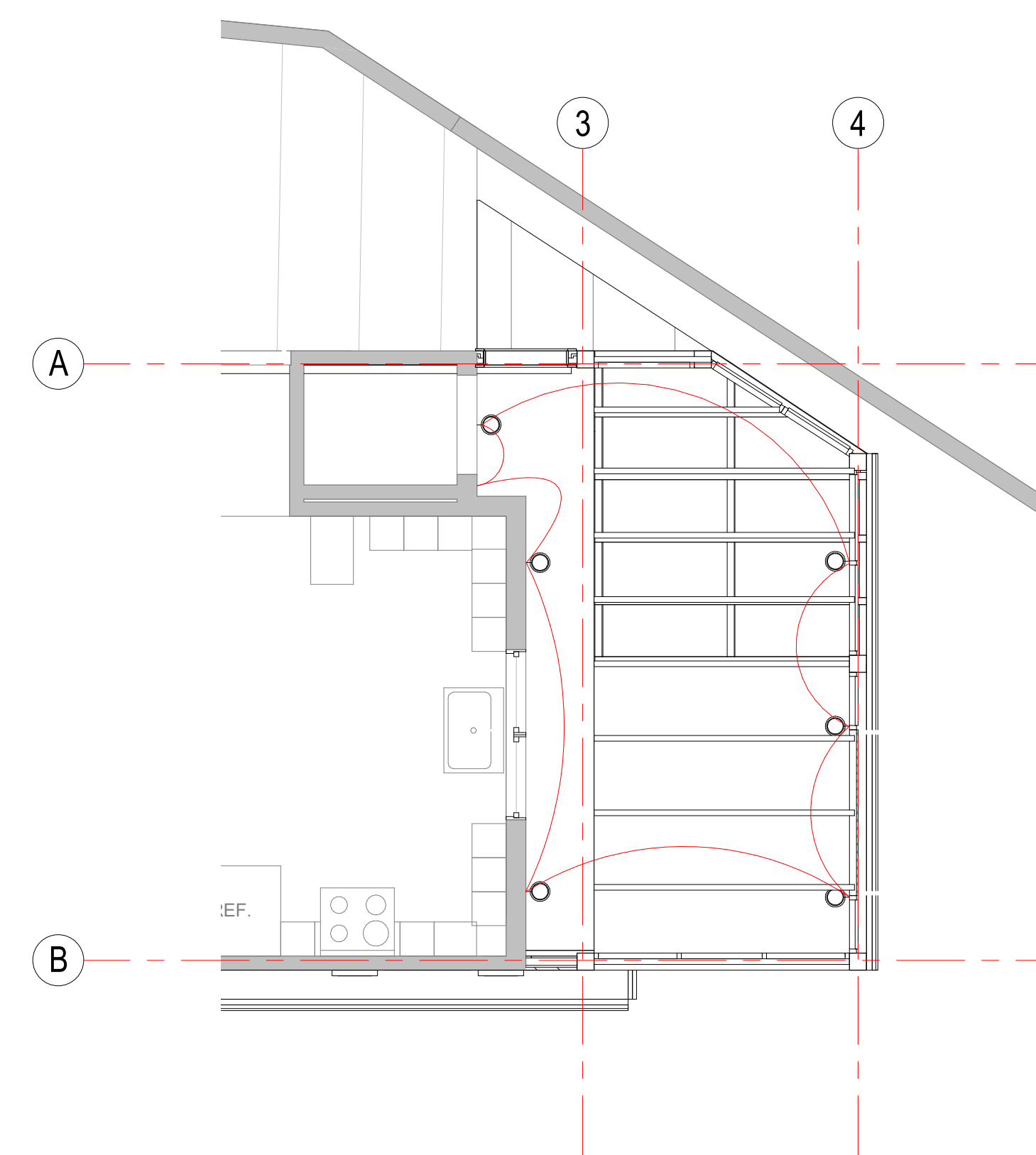
1/20/2021 3:43:13 PM



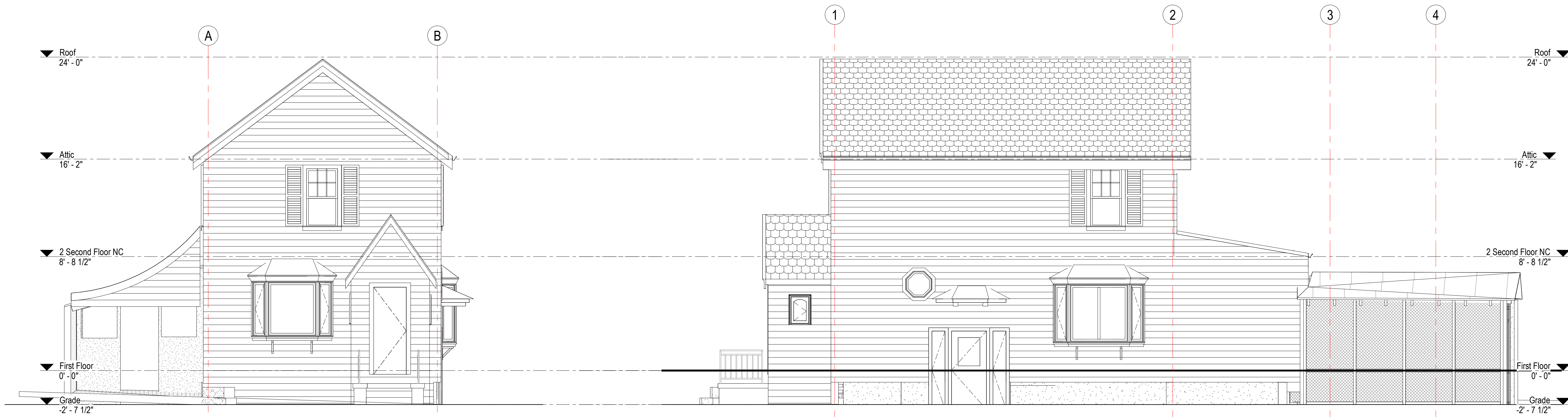
4 2 Second Floor NC Finishes
A130 1/4" = 1'-0"



2 2 Second Floor RCP NC Switching
A130 1/4" = 1'-0"

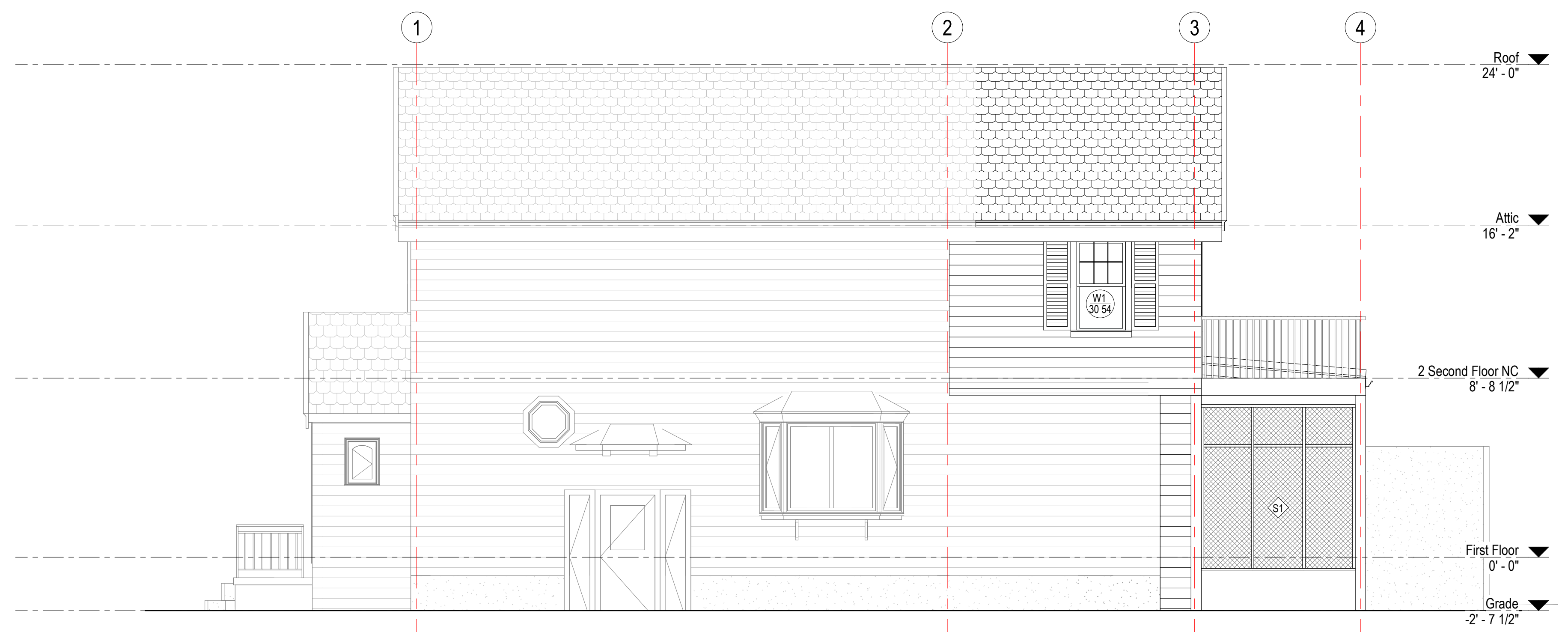


1 1 First Floor RCP NC Switching
A130 1/4" = 1'-0"



4 West Elevation to stay untouched
A200 1/4" = 1'-0"

5 South Elevation Existing
A200 1/4" = 1'-0"



3 South Elevation Proposed
A200 1/4" = 1'-0"

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consultant / contractor information:

stamp:

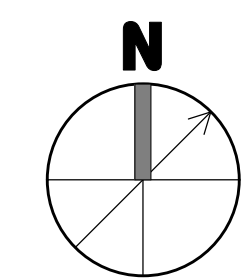
revision	revision description	date

project title:
Cushing Street Residence
163 Cushing Street
Cambridge, MA
client information:
Maura Rizzuto and Gregory Ashe

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www.joethearchitect.com

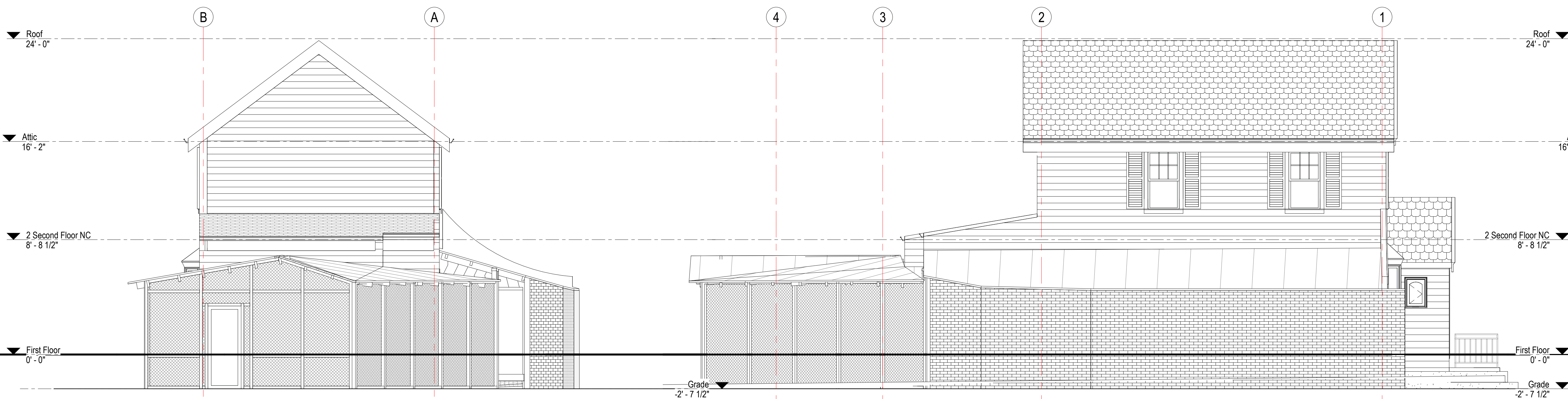
drawing title
EXTERIOR ELEVATIONS

project number	drawing scale	approver
368	1/4" = 1'-0"	Approver
drawing number	revision	
A200		



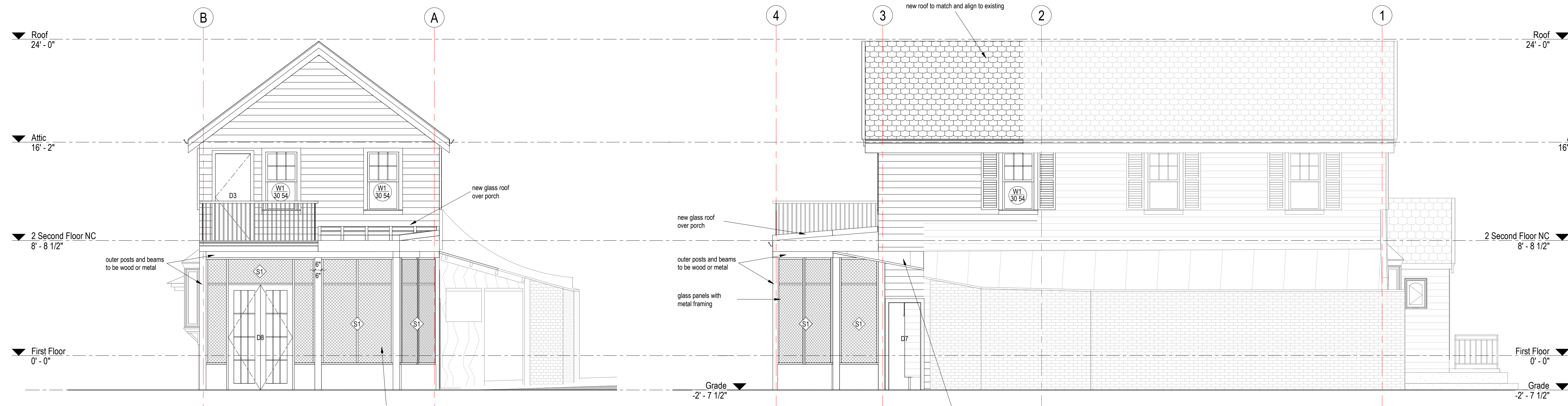
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1 East Elevation Existing
A201 1/4" = 1'-0"

2 North Elevation Existing
A201 1/4" = 1'-0"



5 East Elevation Proposed
A201 1/4" = 1'-0"

3 North Elevation Proposed
A201 1/4" = 1'-0"

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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

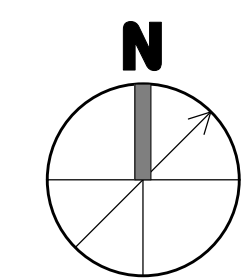
163 Cushing Street
Cambridge, MA

client information:
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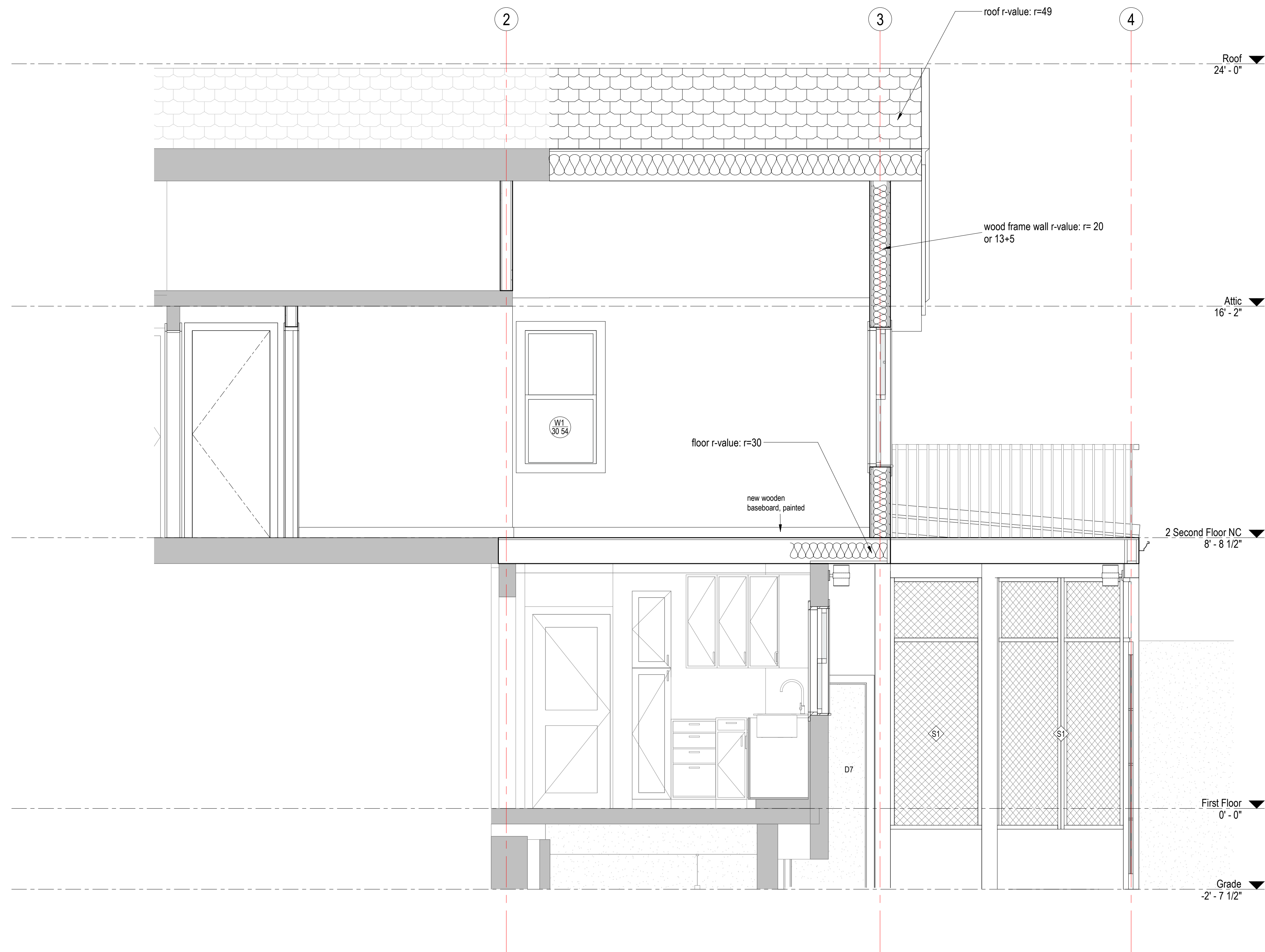
drawing title
EXTERIOR ELEVATIONS

project number 368	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A201		revision



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1 Section 1
A210 1/2" = 1'-0"

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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

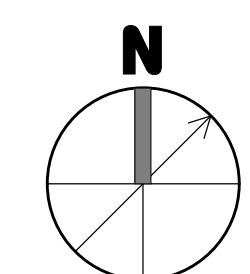
163 Cushing Street
Cambridge, MA

client information:
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drawing title
BUILDING SECTIONS

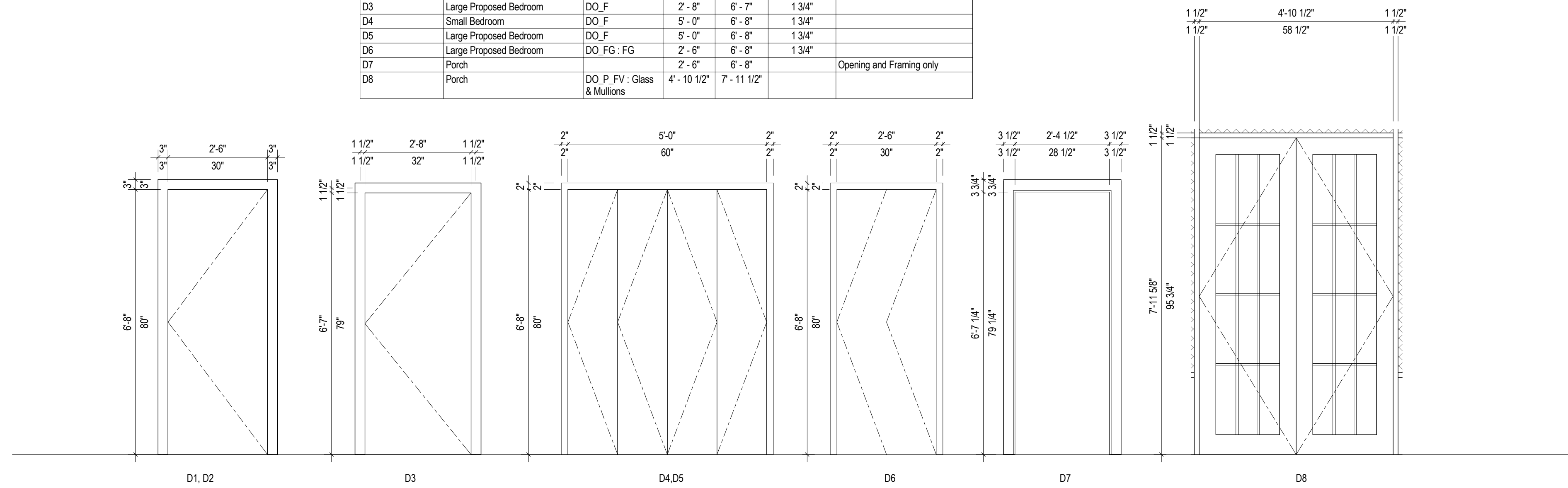
project number 368	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A210	revision	



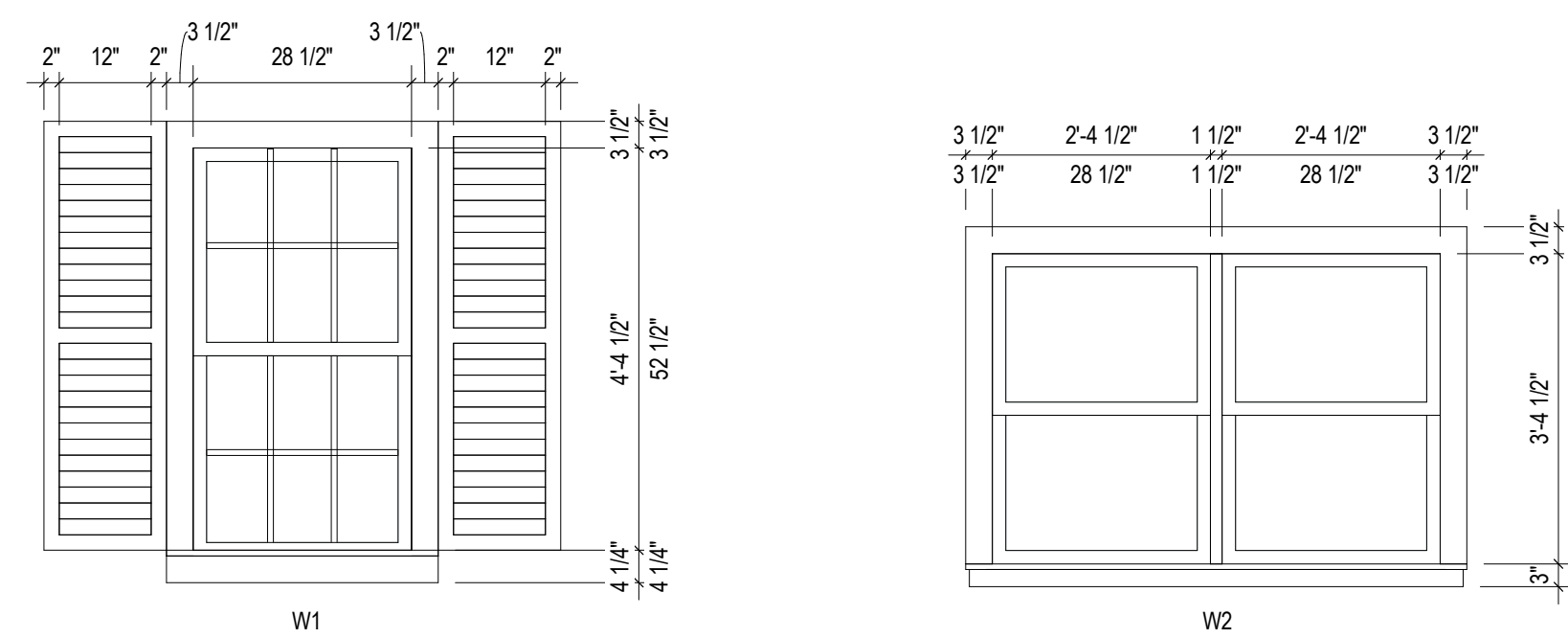
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Number	Location	Door Panel Type	Door			Comments
			Dimensions			
			Width	Height	Thickness	
D1	Small Bedroom	DO_F	2'-6"	6'-8"	1 3/4"	
D2	Large Proposed Bedroom	DO_F	2'-6"	6'-8"	1 3/4"	
D3	Large Proposed Bedroom	DO_F	2'-8"	6'-7"	1 3/4"	
D4	Small Bedroom	DO_F	5'-0"	6'-8"	1 3/4"	
D5	Large Proposed Bedroom	DO_F	5'-0"	6'-8"	1 3/4"	
D6	Large Proposed Bedroom	DO_FG : FG	2'-6"	6'-8"	1 3/4"	
D7	Porch		2'-6"	6'-8"		Opening and Framing only
D8	Porch	DO_P_FV : Glass & Mullions	4'-10 1/2"	7'-11 1/2"		



WINDOW SCHEDULE					
MARK	SIZE		QUANTITY	Location	Comments
	WIDTH	HEIGHT			
W1	2'-6"	4'-6"	4	Second Floor	match new windows and shutters to existing
W2	5'-0"	3'-6"	1	Kitchen	



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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

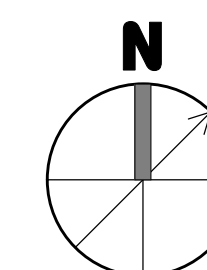
163 Cushing Street
Cambridge, MA

client information:
Maura Rizzuto and Gregory Ashe

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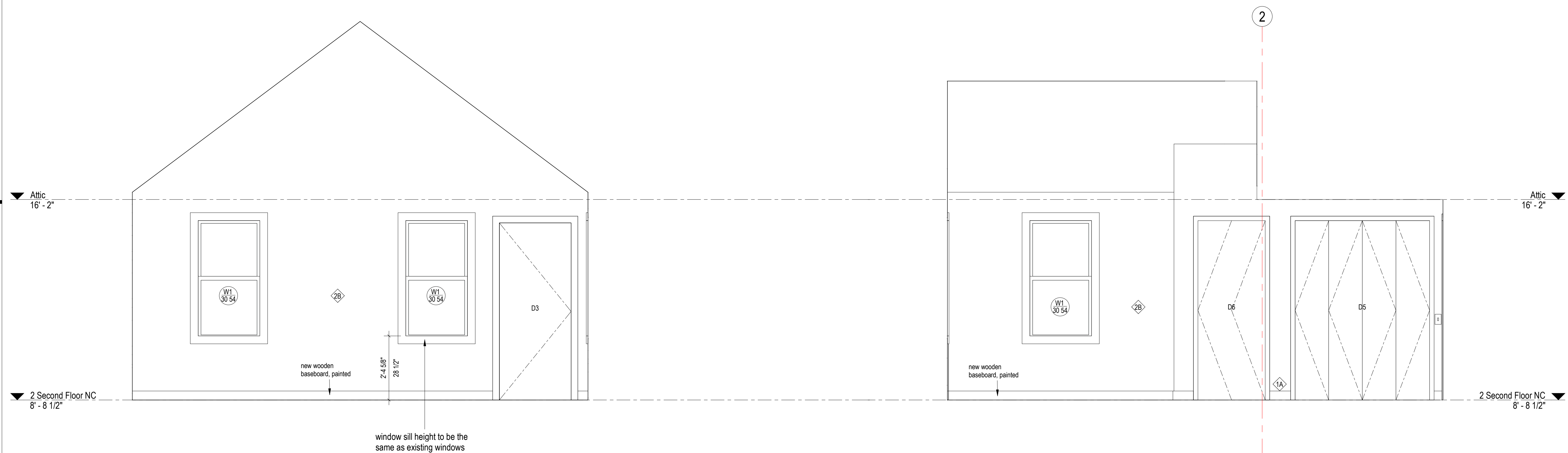
drawing title
SCHEDULES

project number 368	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A440	revision	



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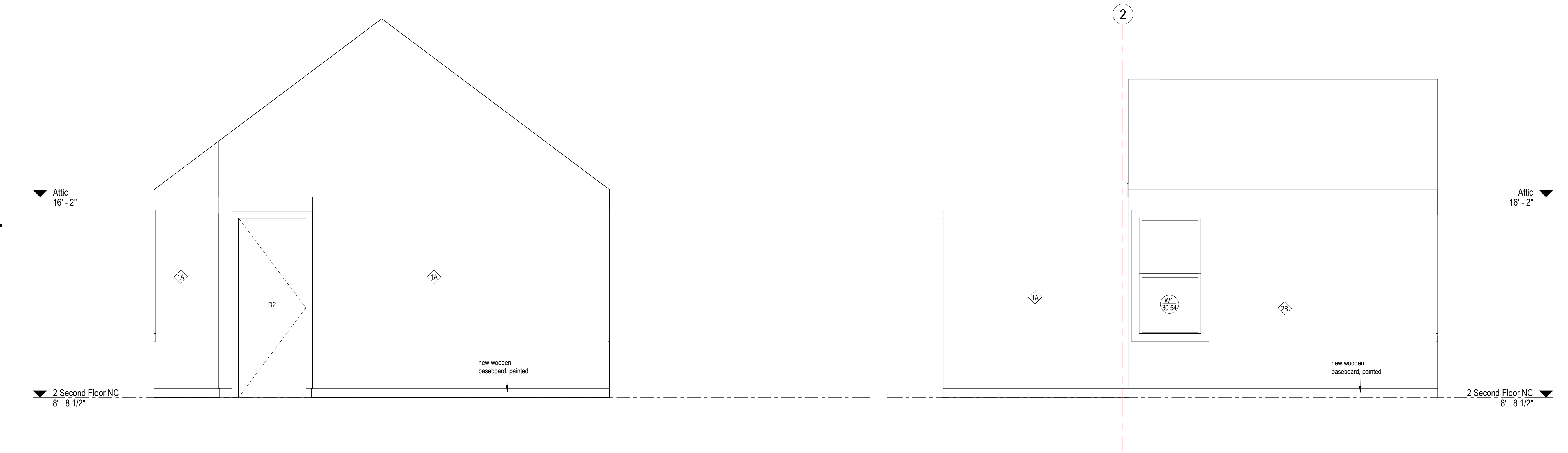
1 Master Bedroom 1
A600 1/2" = 1'-0"

2 Master Bedroom 2
A600 1/2" = 1'-0"

window sill height to be the same as existing windows

new wooden baseboard, painted

new wooden baseboard, painted



3 Master Bedroom 3
A600 1/2" = 1'-0"

4 Master Bedroom 4
A600 1/2" = 1'-0"

new wooden baseboard, painted

new wooden baseboard, painted

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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

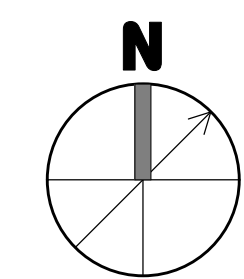
163 Cushing Street
Cambridge, MA

client information:
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drawing title
INTERIOR ELEVATIONS

project number 368	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A600		revision



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1 Small Bedroom 1
A601 1/2" = 1'-0"

2 Small Bedroom 2
A601 1/2" = 1'-0"



3 Small Bedroom 3
A601 1/2" = 1'-0"

4 Small Bedroom 4
A601 1/2" = 1'-0"



5 Hallway 1
A601 1/2" = 1'-0"

6 Hallway 2
A601 1/2" = 1'-0"

7 Hallway 3
A601 1/2" = 1'-0"

8 Hallway 4
A601 1/2" = 1'-0"

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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

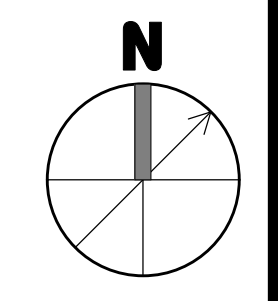
163 Cushing Street
Cambridge, MA

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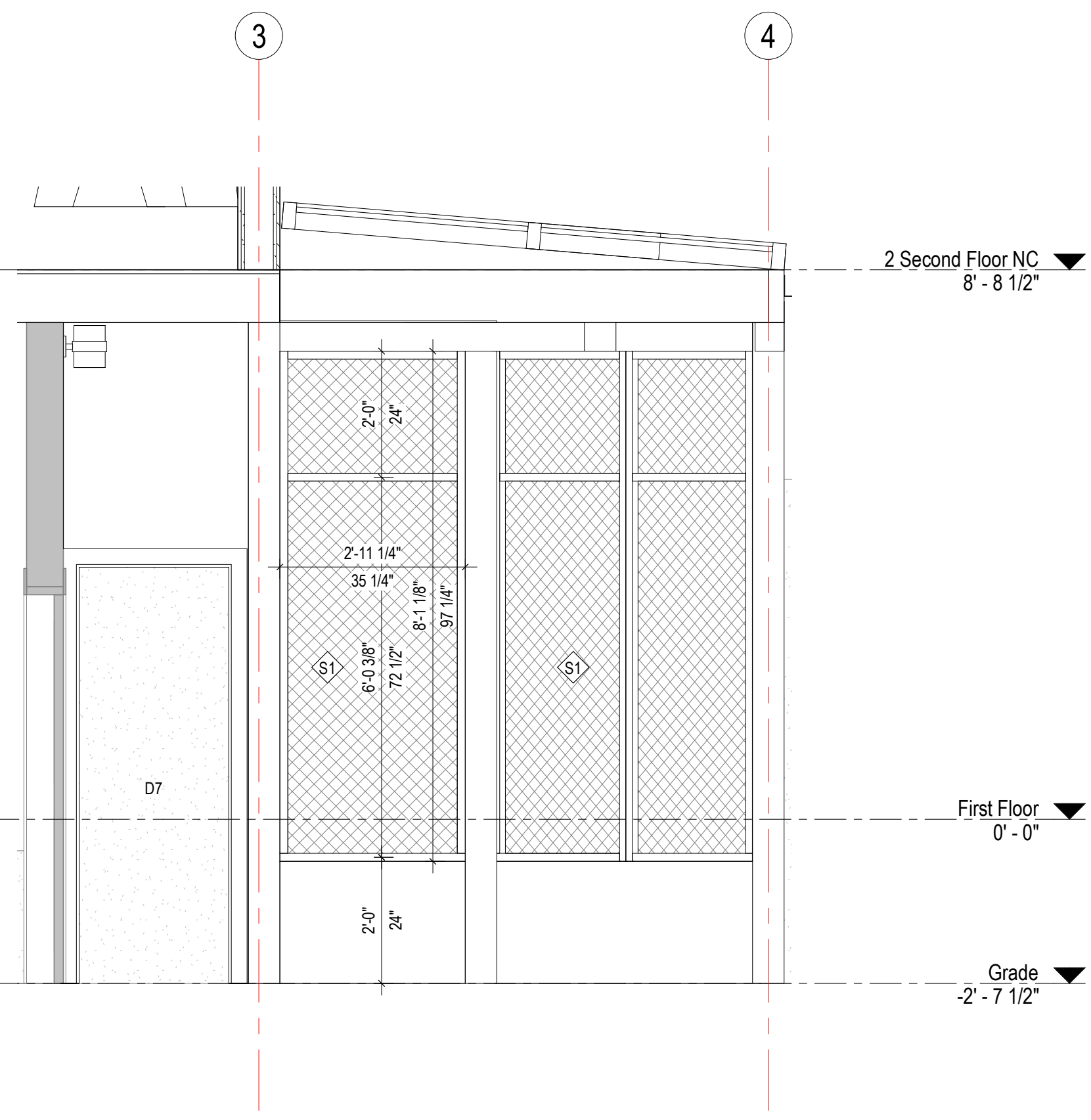
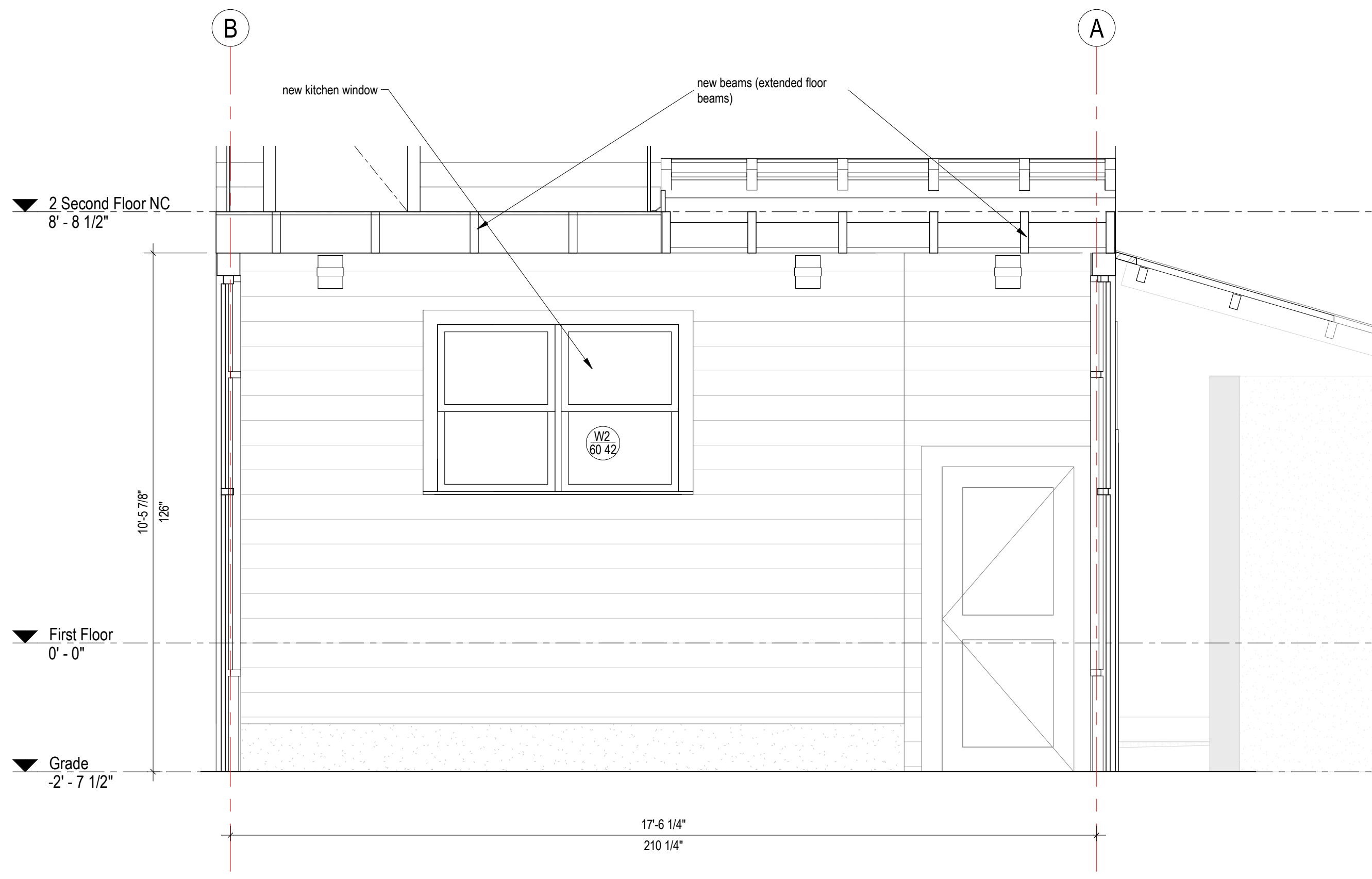
drawing title
INTERIOR ELEVATIONS

project number 368	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A601	revision	



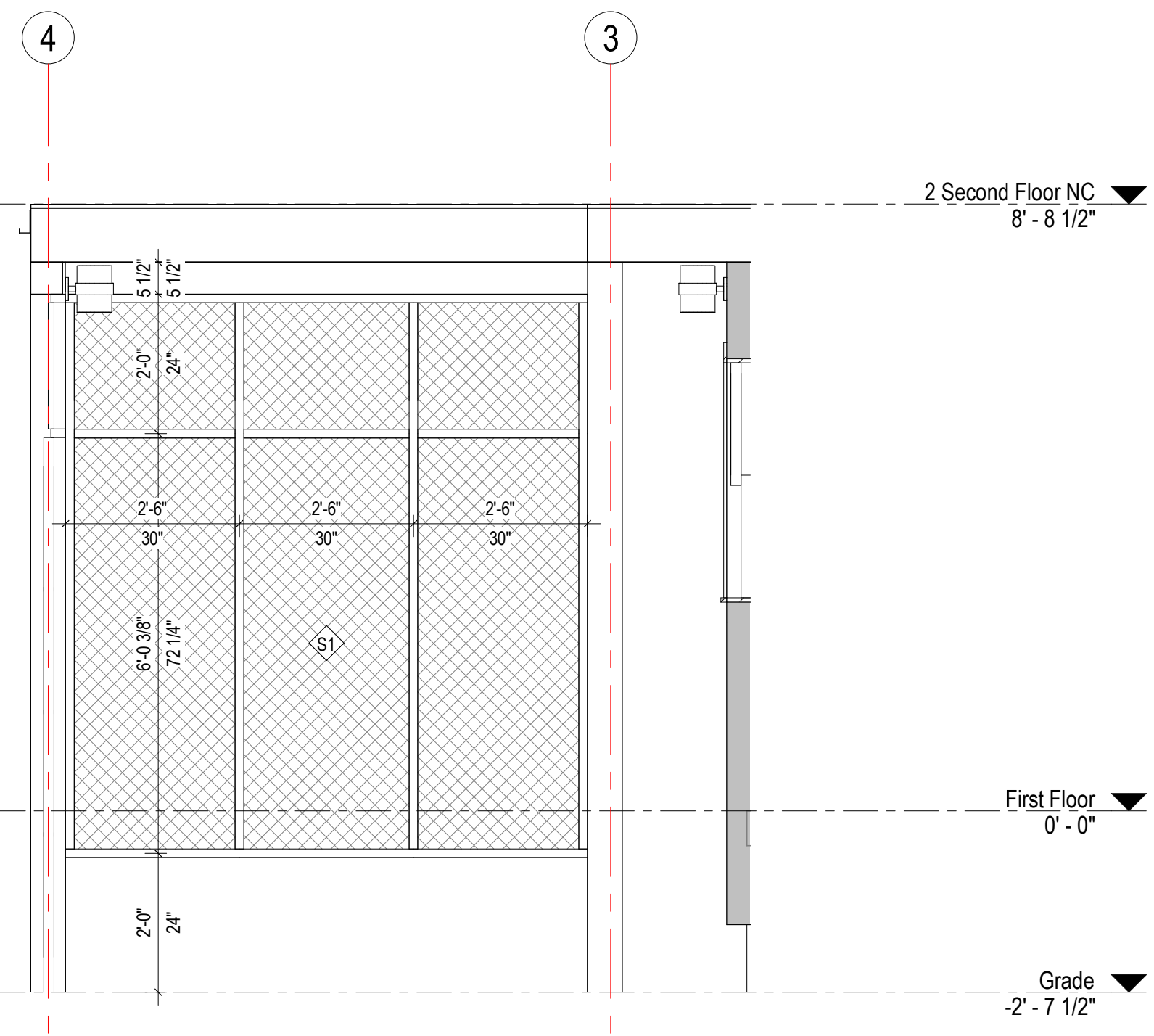
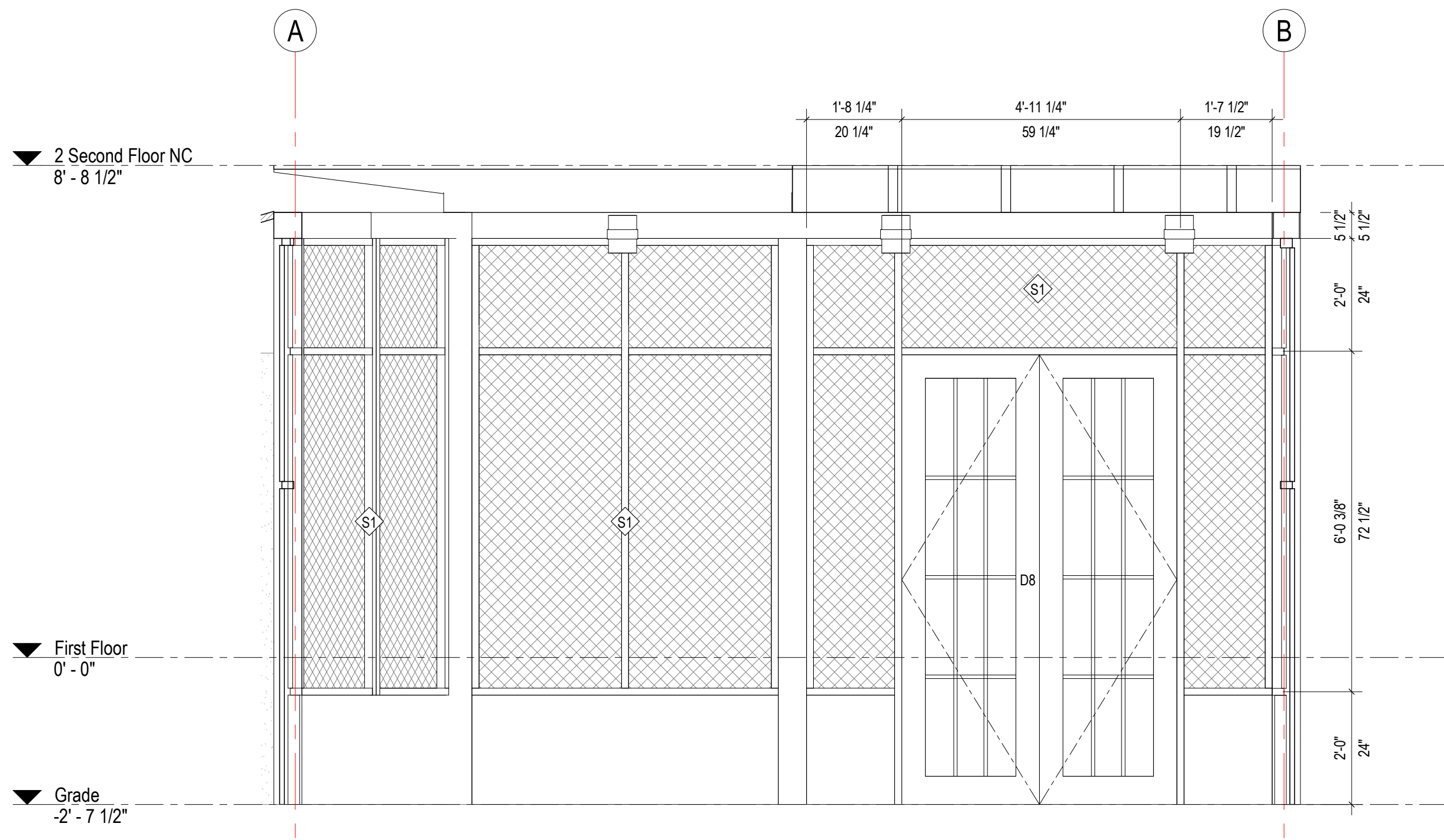
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1 Porch 1
A602 1/2" = 1'-0"

2 Porch 2
A602 1/2" = 1'-0"



3 Porch 3
A602 1/2" = 1'-0"

4 Porch 4
A602 1/2" = 1'-0"

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consultant / contractor information:

stamp:

revision	revision description	date

project title:
Cushing Street Residence

163 Cushing Street
Cambridge, MA

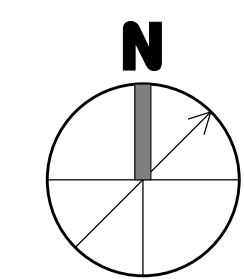
client information:
Maura Rizzuto and Gregory Ashe

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drawing title
INTERIOR ELEVATIONS

project number	drawing scale	approver
368	1/2" = 1'-0"	Approver

drawing number	revision
A602	



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I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF DECEMBER 12, 2020 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
 ZONE: X
 COMMUNITY PANEL: 25017C0419E
 EFFECTIVE DATE: 06/04/2010

PREPARED FOR:
 OWNERS OF RECORD:
 GREGORY N. ASHE
 MAURA ANN RIZZUTO
 163 CUSHING STREET
 CAMBRIDGE, MA 02138

REFERENCES:
 DEED: BK 70855; PG 103
 PLAN: PL 1937 #385
 PL 1951 #1496
 PL 1952 #949
 PL 1987 #1017
 PL 1988 #615
 LCC: 12506-A
 29998-A
 39582-A

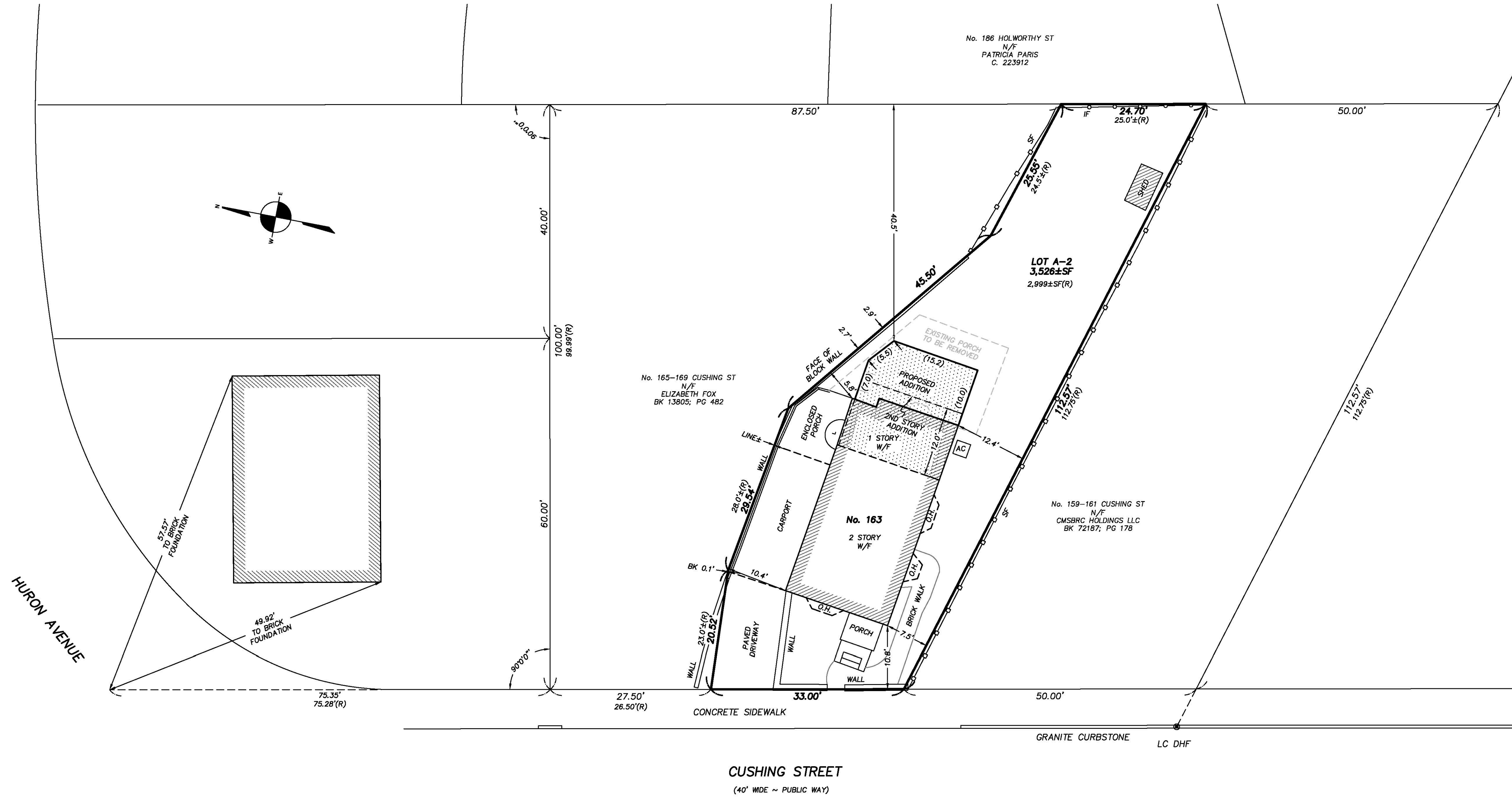
CITY OF CAMBRIDGE ENGINEERING RECORDS
 STR-12-47 HURON AVENUE
 STR-19-43 HOLWORTHY STREET
 SURVEY #9024
 SURVEY #6533
 FB 163; PG 30
 FB 78; PG 6

NOTES:
 MAP/LOT: 258-54
 ZONING: B

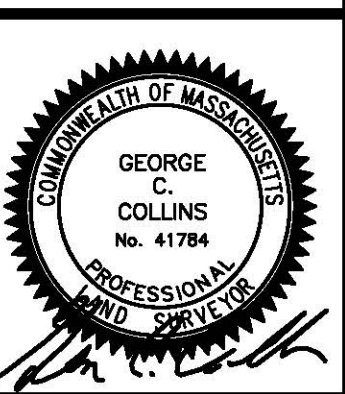
CERTIFIED PLOT PLAN

LOCATED AT
 163 CUSHING STREET
 CAMBRIDGE, MA

SCALE: 1.0 INCH = 10.0 FEET



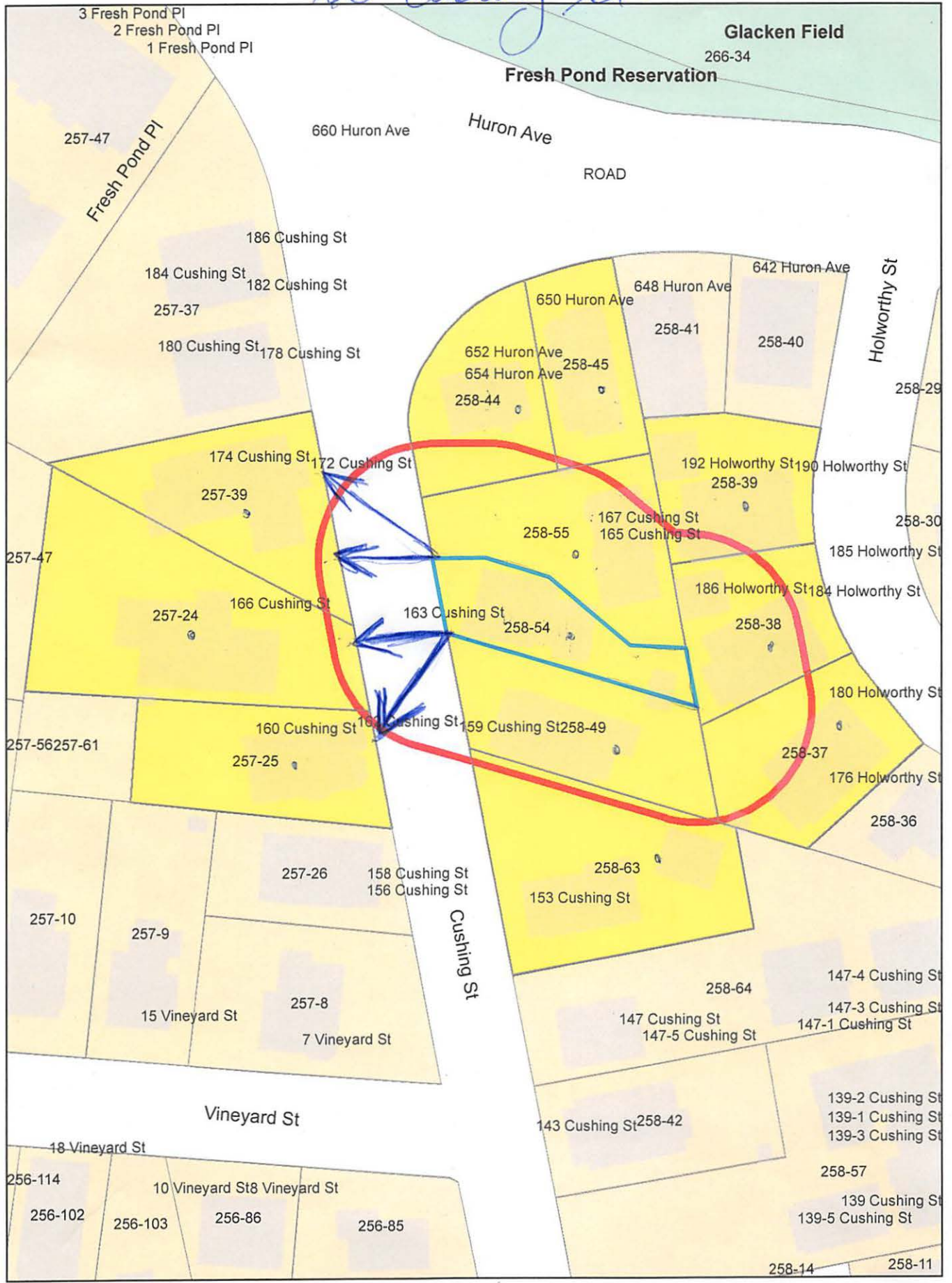
FIELD:	MO
DRAFT:	RAP
CHECK:	GCC
DATE:	01/13/21
JOB #	20-00627







163 Cushing St.



163 Cushing St.

Petitioner

258-45
RUIZ-HAU, JUAN A. & JUAN M. RUIZ-HAU
TRS. THE RUIZ-HAN FAMILY TRUST
650 HURON AVE #1
CAMBRIDGE, MA 02138

258-39
HOLLOMAN, UNDRELLA S.
190-192 HOLWORTHY ST., # 190
CAMBRIDGE, MA 02138

258-54
RIZZUTO, MAURA ANN & GREGORY NEAL ASHE
163 CUSHING ST
CAMBRIDGE, MA 02138

258-45
FORTE, JANICE E. & ANNA M. TARQUINIO
650 HURON AVE. UNIT#2
CAMBRIDGE, MA 02138

258-55
HOGAN, SARAH E. & DOUGLAS M. FLANDRO
165 CUSHING ST
CAMBRIDGE, MA 02138

258-63
BORELLI, SAMUEL A.
153 CUSHING ST
CAMBRIDGE, MA 02138

258-38
PARIS, PATRICIA
186 HOLWORTHY ST
CAMBRIDGE, MA 02138-4508

258-44
BARGER, PATRICIA S.
TR. OF THE BARGER REALTY TRUST
652 HURON AVE
CAMBRIDGE, MA 02138-4586

258-45
WANG, JIAN
650 HURON AVE., #3
CAMBRIDGE, MA 02138

258-55
FAIRMAN, HELEN
167 CUSHING ST., #167
CAMBRIDGE, MA 02138-1334

257-24
MARCHIO, VINCENT E., MARIO C. MARCHIO &
MARIA A. MARCHIO
166 CUSHING ST
CAMBRIDGE, MA 02138-4582

257-25
PRUSSACK, AMY & NICHOLAS G. NAGYKERY
160 CUSHING ST., UNIT #1
CAMBRIDGE, MA 02138

257-25
MOELLER, BRIGITTE
162 CUSHING ST
CAMBRIDGE, MA 02138-4582

257-25
VELARDI, DANIEL & YORDANOS BERHE
164 CHESTNUT ST.
CAMBRIDGE, MA 02138

257-39
MARCHIO, MARIO C. & MARIA A. MARCHIO
174 CUSHING ST
CAMBRIDGE, MA 02138-4582

258-49
CMSBRC HOLDINGS LLC
2 WORCESTER ST.
CAMBRIDGE, MA 02139

258-37
ZACCARDI, GENEVIEVE A. A LIFE ESTATE
180 HOLWORTHY ST
CAMBRIDGE, MA 02138

258-39
GATELY PETER M & PHYLLIS COHEN
190-192 HOLWORTHY ST
CAMBRIDGE, MA 02138

17 February 2021

To:
Cambridge Board of Zoning Appeals
831 Mass Ave.
Cambridge MA 02139

Dear Cambridge BZA,

We are writing to express our support for the proposed construction at 163 Cushing St. We have reviewed the design documents and are impressed by the number of improvements that will be made with so little change to the exterior.

The house has not been significantly updated in many years, and needs some changes to be workable for a family today. We want a city that includes long-term families and hope to keep our good neighbors Greg Ashe and Maura Rizzuto in the neighborhood for many years to come.

We ask the BZA to support this request for zoning relief.

Sincerely,

Sarah Hogan and Douglas Flandro
165 Cushing St.
Cambridge, MA 02138