



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 DEC -7 PM 12: 17

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 202716

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Talaya Delaney & Niall Stephens C/O Morse Constructions

PETITIONER'S ADDRESS: 166 Vassal Lane, Cambridge, MA 02138

LOCATION OF PROPERTY: 164-166 VASSAL LN , Unit 166 , Cambridge, MA

TYPE OF OCCUPANCY: Two Family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

The petitioner proposes alterations to an existing non conforming two family dwelling. Relief is required for a new third floor addition that falls within the side and rear setbacks as well as increasing the non conforming gross floor area.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 8.000 Section: 8.22.2.d (Non-Conforming Structure).

Article: 10.000 Section: Section 10.40 (Special Permit)

Original
Signature(s):

(Petitioner (s) / Owner)

Niall Stephens & Talaya Delaney
(Print Name)

Address:

166 Vassal Ln. Cambridge MA 02138

Tel. No.

617-308-6651

E-Mail Address:

niall.stephens@gmail.com

Date: _____

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

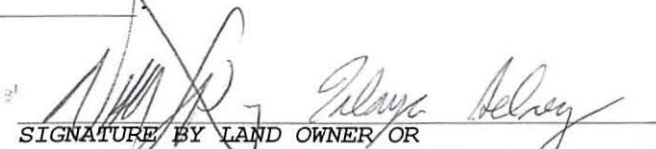
I/We Niall Stephens & Talaya Delaney
(OWNER)

Address: 166 Vassal Ln, Cambridge, MA 02138

State that I/We own the property located at 164-166 Vassal Ln, Unit 166, Cambridge, MA, 02138 which is the subject of this zoning application.

The record title of this property is in the name of _____
Niall Stephens & Talaya Delaney

*Pursuant to a deed of duly recorded in the date May 17, 2019, Middlesex South County Registry of Deeds at Book 72641, Page 568; or Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

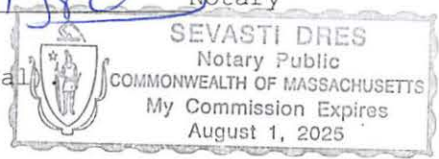
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Niall P Stephens and Talaya A Delaney personally appeared before me, this 15th of November, 2022, and made oath that the above statement is true.


Notary

My commission expires August 1, 2025 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 164-166 VASSAL LN , Unit 166 , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

Per Article 8.22.2(d) as well as the Mass General Laws Chapter 40a section6, existing non-conforming one and two family structures shall be granted special permit in finding that the alterations or enlargement shall not be substantially more detrimental than the non-conforming structure to the neighborhood. The existing two family structure does not presently comply with the right side yard setback, the rear yard setback, and the allowable Floor Area Ratio. The proposed expansion and renovation will not increase any other nonconformities.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed addition and alterations will not cause a change in traffic patterns in the neighborhood. The existing house has two dwelling units, and the proposed renovation will also contain two dwelling units and therefore access to and from the property will not create a substantial change to the neighborhood.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed alterations and additions to the residential structure have been aesthetically designed to meet the characteristics of the neighborhood. The addition will be very similar to an approved and completed project just next door. The proposed increase in size and volume of the house occurs vertically up to the allowable height for the zoning district and therefore not an impediment to adjacent development.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed alterations will be constructed in accordance with all the requirements of the State Building Code and will not cause nuisance or hazards.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed work on the two family dwelling is consistent with work that is in the neighborhood as well as the larger district. The use is remaining the same and fits within the district.

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Talaya Delaney & Niall Stephens
Location: 164-166 VASSAL LN., Unit 166., Cambridge, MA
Phone: 617-308-6651

Present Use/Occupancy: Two Family
Zone: Residence B Zone
Requested Use/Occupancy: Two Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2160	2660	1953	(max.)
<u>LOT AREA:</u>		3906	3906	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.55	.68	.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		1953	1953	2500	
<u>SIZE OF LOT:</u>	WIDTH	50	50	50	
	DEPTH	94.74	94.74	100	
<u>SETBACKS IN FEET:</u>	FRONT	8	8	15	
	REAR	20.1	20.1	25	
	LEFT SIDE	21.1	21.1	7.5	
	RIGHT SIDE	5.1	5.1	7.5	
<u>SIZE OF BUILDING:</u>	HEIGHT	29.2	34.8	35	
	WIDTH	41.5	41.5	N/A	
	LENGTH	24.7	24.7	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		60	60	40	
<u>NO. OF DWELLING UNITS:</u>		2	2	1	
<u>NO. OF PARKING SPACES:</u>		N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2023 JUN 24 PM 2:59
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139


RE: Case # BZA-202716

Address: 164-166 Vassar Lane

Owner, Petitioner, or Representative: Niall Stephens
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The Owner, Petitioner, or Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 1/23/23


Signature

1 * * * * *

2 (6:21 p.m.)

3 Sitting Members: Andrea A. Hickey, Jim Monteverde, Laura
4 Wernick, Matina Williams, and Jason
5 Marshall

6 JIM MONTEVERDE: The next case is No. 202716 --
7 164-166 Vassal Lane. Is the proponent on the phone?

8 We have correspondence that the case will be
9 continued as a case not heard. Propose a motion to accept
10 the request to continue the case? We need to pick a date.

11 Oh, I'm sorry. We do have a letter from Stephens
12 Niall and requesting a continuance. Yes, they're requesting
13 to March 23. Do we have time? All right. This will be
14 continued to 6:00 p.m. on March 23. So let me propose a
15 motion to accept the request to continue this case to 6:00
16 p.m. on March 23.

17 Andrea?

18 ANDREA HICKEY: Yes, in favor.

19 JIM MONTEVERDE: And Matina?

20 MATINA WILLIAMS: Yes, in favor.

21 JIM MONTEVERDE: And Laura?

22 LAURA WERNICK: Yes, in favor.

1 JIM MONTEVERDE: And Jason?

2 JASON MARSHALL: In favor.

3 [All vote YES]

4 JIM MONTEVERDE: And Jim Monteverde in favor. So
5 the request is approved. We're ahead of schedule. We have
6 seven minutes to wait.

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DIMENSIONAL INFORMATION

Applicant: Talaya Delaney & Niall Stephens
Location: 164-166 VASSAL LN., Unit 166, Cambridge, MA
Phone: 617-308-6651

Present Use/Occupancy: Two Family
Zone: Residence B Zone
Requested Use/Occupancy: Two Family

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		2160	2660	1953	(max.)
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NO. OF PARKING SPACES:		N/A	N/A	N/A	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

2462
(from survey)

+515
=2,977
(+21%)

78.4
(mean)

18.4

18.4

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N/A

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Special Permit: X

Variance:

Appeal:

PETITIONER: Talaya Delaney & Niall Stephens C/O Morse Constructions

PETITIONER'S ADDRESS: 166 Vassal Lane, Cambridge, MA 02138

LOCATION OF PROPERTY: 164-166 VASSAL LN, Unit 166, Cambridge, MA

TYPE OF OCCUPANCY: Two Family

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/

DESCRIPTION OF PETITIONER'S PROPOSAL:

The petitioner proposes alterations to an existing non conforming two family dwelling. Relief is required for a new third floor addition that falls within the side and rear setbacks as well as increasing the non conforming gross floor area.

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- Article: 10.000 Section: Section 10.40 (Special Permit)

Original
Signature(s):

Niall Stephens & Talaya Delaney
(Petitioner (s) / Owner)

NIALL STEPHENS & Talaya Delaney
(Print Name)

Address:

166 VASSAL LN Cambridge, 02138

Tel. No.

617-308-6651

E-Mail Address:

niall.stephens@gmail.com

Date: _____

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Talaya Delaney & Niall Stephens
Location: 164-166 VASSAL LN., Unit 166, Cambridge, MA
Phone: 617-308-6651

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Zone: Residence B Zone
Requested Use/Occupancy: Two Family

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Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 164-166 VASSAL LN , Unit 166 , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

Per Article 8.22.2(d) as well as the Mass General Laws Chapter 40a section 6, existing non-conforming one and two family structures shall be granted special permit in finding that the alterations or enlargement shall not be substantially more detrimental than the non-conforming structure to the neighborhood. The existing two family structure does not presently comply with the right side yard setback, the rear yard setback, and the allowable Floor Area Ratio. The proposed expansion and renovation will not increase any other nonconformities.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

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D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

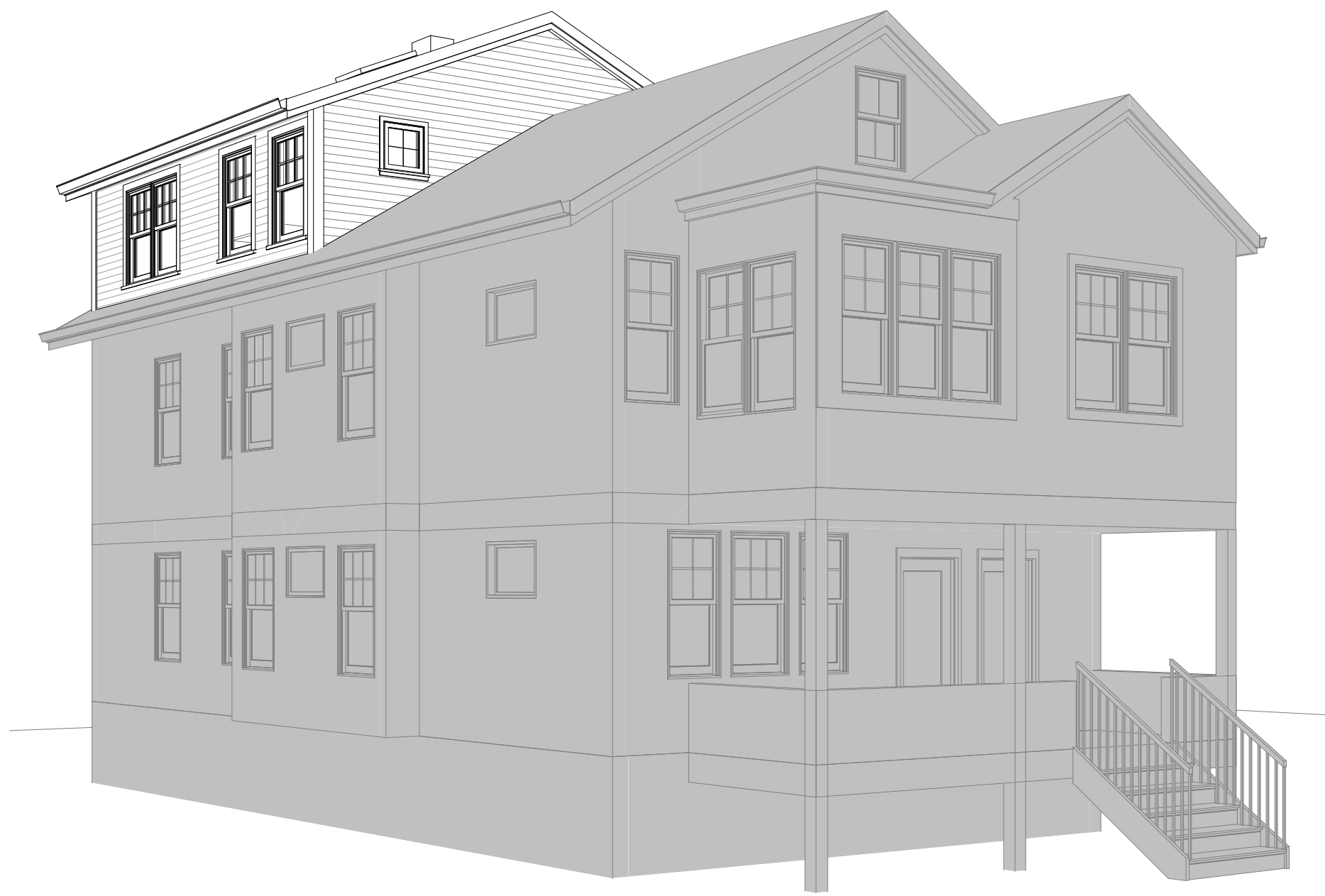
The proposed alterations will be constructed in accordance with all the requirements of the State Building Code and will not cause nuisance or hazards.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed work on the two family dwelling is consistent with work that is in the neighborhood as well as the larger district. The use is remaining the same and fits within the district.

DELANEY-STEPHENS RENOVATION

**166 VASSAL LANE
CAMBRIDGE, MA**



PROJECT NARRATIVE

RENOVATION OF THE TOP UNIT OF A TWO FAMILY DWELLING. THE RENOVATION WORK INCLUDE ADDING TWO NEW BEDROOMS AND A BATH TO A NEW THIRD FLOOR. A NEW STAIR TO ACCESS THE SPACE WILL ALSO BE ADDED FROM THE SECOND TO THIRD FLOOR.

CLIENT

**DELANEY-STEPHENS
166 VASSAL LANE
CAMBRIDGE, MA**

DESIGNER / GENERAL CONTRACTOR



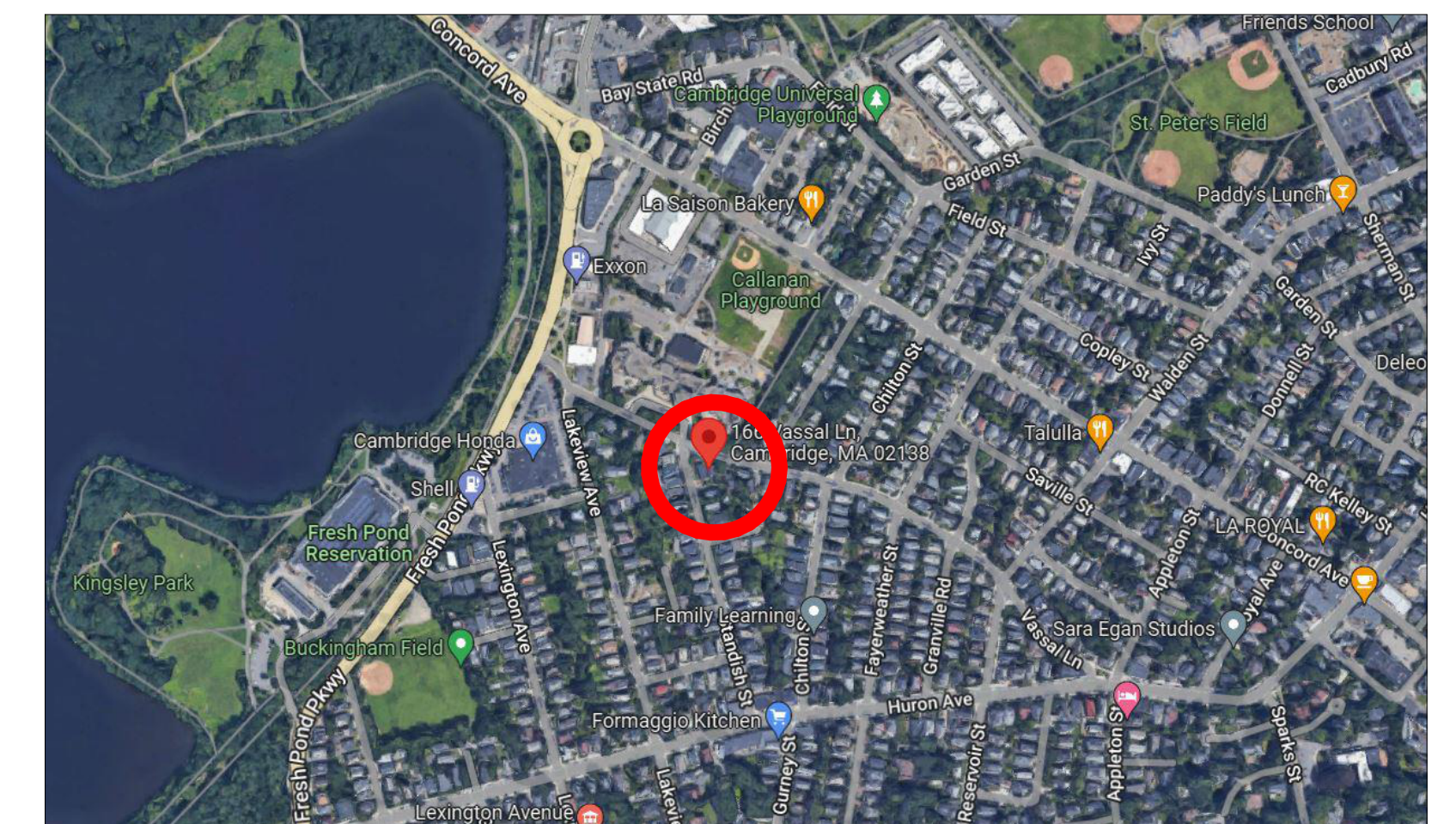
1 ARROW DRIVE, WOBURN, MA 01801

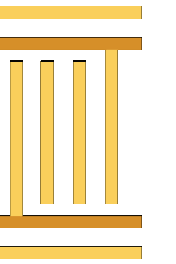
SPECIAL PERMIT 11/11/2022

SHEET LIST

G100	COVER
G101	NOTES
A100	SECOND FLOOR PLAN
A101	THIRD FLOOR PLAN
A200	ELEVATIONS
A900	3-D VIEWS
A102	PHOTOS

LOCATION PLAN





MORSE
CONSTRUCTIONS

DELANEY-STEPHENS RENOVATION

166 VASSAL LANE
CAMBRIDGE, MA

DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT SUITABLE FOR THE INTENDED USE OF THE OWNER. ITEMS NOT EXPRESSLY SET FORTH BUT WHICH ARE REASONABLY IMPLIED OR NECESSARY FOR THE PROPER PERFORMANCE OF THIS WORK SHALL BE INCLUDED.

COMPLY WITH APPLICABLE CODES, REGULATIONS, ORDINANCES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, INCLUDING ACCESSIBILITY GUIDELINES WHERE APPLICABLE. SUBMIT COPIES OF INSPECTION REPORTS, NOTICES AND SIMILAR DOCUMENTS TO ARCHITECT. PLANS ARE BASED ON MASSACHUSETTS RESIDENTIAL BUILDING CODE 9TH EDITION & CURRENT MAAB (2006 EDITION).

THE CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS SHALL REFER TO THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AS A WHOLE WHEN DETERMINING THE CONSTRUCTION REQUIREMENTS FOR THE PROJECT.

PROVIDE PRODUCTS AND MATERIALS SPECIFIED. REQUEST OWNER'S/ARCHITECT'S SELECTION OF COLORS AND ACCESSORIES IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL AREAS ON THE PROJECT WHICH REQUIRE TOLERANCES BETWEEN ROUGH OPENINGS AND/OR FINISH MATERIALS AND PROVIDE FOR THE PROPER TOLERANCES TO COMPLETE THE CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

ALL DRAWINGS, SCHEDULES AND SPECIFICATIONS IN THE BID PACKAGE ARE TO BE CONSIDERED EQUAL PARTS OF THIS CONTRACT PACKAGE. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS, SCHEDULES AND SPECIFICATIONS. ALL DISCREPANCIES, OMISSIONS OR ERRORS THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE SUBMISSION OF BIDS SO THAT CLARIFICATION MAY BE ISSUED.

ANY WORK PERFORMED IN CONFLICT WITH ANY PART OF THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENT SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.

THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHER TRADES. SUBCONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE ON DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES AND DO NOT PROCEED WITHOUT INSTRUCTIONS/CLARIFICATION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.

VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY OF ITS EMPLOYEES AND OTHER PERSONS IN THE CONSTRUCTION AREA, AS WELL AS FOR THE PROTECTION OF THE SAFETY OF THE IMPROVEMENTS BEING ERRECTED AND THE PROPERTY OF THE CONTRACTOR AND/OR OTHER PERSONS, AS A RESULT OF OPERATIONS HEREUNDER.

THE CONTRACTOR SHALL BE FULLY AND COMPLETELY LIABLE AT HIS OWN EXPENSE FOR DESIGN, CONSTRUCTION, INSTALLATION AND USE OR NON-USE OF ALL ITEMS AND METHODS INCIDENT TO PERFORMANCE OF EITHER PERSON OR PROPERTY, INCLUDING WITHOUT LIMITATION THE ADEQUACY OF ALL TEMPORARY SUPPORTS, SHORING, BRACING, SCAFFOLDING, MACHINERY OR EQUIPMENT, SAFETY PRECAUTIONS OR DEVICES, AND SIMILAR ITEMS OR DEVICES USED DURING CONSTRUCTION.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PROPERLY COMPLETE THE WORK, INCLUDING ITEMS NOT SPECIFICALLY SET FORTH IN THE CONSTRUCTION DOCUMENTS BUT REASONABLY INFERRED.

THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER OR WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES, PERMITS, AND INSPECTIONS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK.

ALL ITEMS TO BE REMOVED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED ENTIRELY FROM THE PROJECT SITE, UNLESS NOTED OTHERWISE. RETURN ITEMS IDENTIFIED FOR SALVAGE OR REUSE TO THE OWNER/PROPERTY MANAGER.

THE DRAWINGS ARE NOT INTENDED FOR USE AS SHOP OR ERECTION DRAWINGS.

CONTRACTOR TO PHASE ALL WORK SUCH THAT THE OCCUPIED PORTIONS OF THE BUILDING ARE SAFE & AVAILABLE THROUGHOUT CONSTRUCTION.

CONTRACTOR TO PROVIDE TEMPORARY BARRIERS AT ALL FLOOR PENETRATIONS TO PREVENT PHYSICAL BODILY DAMAGE.

CONTRACTOR TO PROVIDE A CLEAN JOB SITE FREE FROM DEBRIS THROUGHOUT CONSTRUCTION AT ALL FLOORS.

CONTRACTOR REQUIRED TO LOCATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION COMPONENTS AND CLEAR SPACE PRIOR TO WORK.

VERIFY STAGING AREA, PARKING AVAILABILITY, AND RULES FOR USE WITH PROPERTY OWNER.

MAINTAIN PROPER EMERGENCY EGRESS AND FIRE ALARM SYSTEMS THROUGHOUT DEMOLITION AND RENOVATION.

PROTECT EXISTING FINISHES, COMPONENTS, & STRUCTURE NOT SCHEDULED FOR RENOVATION, REMOVAL, OR ALTERATION. REPAIR AND SUCH MATERIALS, FINISHES, OR COMPONENTS DAMAGED DURING EXECUTION OF THIS PROJECT.

PATCH, PREP AND PAINT ALL WALLS THROUGHOUT WORK AREA.

VERIFY & PROTECT EXISTING SUBSURFACE, SURFACE, VISIBLE, & HIDDEN UTILITIES THROUGHOUT DEMO & RENOVATION AREAS. KEY ALL NEW LOCKS TO BUILDING STANDARD MASTER KEY SYSTEM; VERIFY W/ OWNER.

GENERAL

- Structural work shall conform to the requirements of "The Commonwealth of Massachusetts State Building Code" 9th Edition. Use double joists under all partitions. (One and Two Family Dwelling Code), "The International Residential Code", IRC2015, and ASCE 7-10.
- Examine architectural, mechanical, plumbing and electrical drawings for verification of location and dimensions of chases, inserts, openings, sleeves, washes, drips, reveals, depressions and other project requirements not shown on structural drawings.
- Verify and coordinate dimensions related to this project.
- Typical details and notes shown on structural drawings shall be applicable to all parts of the structural work except where specifically required otherwise by contract documents.

FOUNDATIONS

- Foundations for this project consist of a new slab. The allowable bearing pressure is assumed to be 2.0 tons per square foot. The contractor is to verify suitability of soils and notify the Architect/Engineer if conditions are not as assumed.
- No responsibility is assumed by the architect/engineer for the validity of the subsurface conditions described on the drawings, specifications, test borings or test pits. These data are included only to assist the contractor during bidding and subsequent construction and represent conditions only at these specific locations at the particular time they were made.
- Foundation units shall be centered under supported structural members, unless noted otherwise on the drawings.
- Carry out continuous control of surface and subsurface water during construction such that foundation work is done in dry and on undisturbed subgrade material as applicable.

CONCRETE

- Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318-14), and "Specifications for Structural Concrete for Buildings" (ACI 301-14).
- Unless noted otherwise, concrete shall have a minimum 28 day compressive strength of 4,000 psi normalweight.
- Concrete to be exposed to the weather in the finished project shall be air.

STRUCTURAL TIMBER CONSTRUCTION

- Timber construction shall conform to Part II "Design" as published in the "Timber Construction Manual" (AITC 6th Edition) and to "National Design Specification for Wood Construction" (N.F.P.A. 2012 Edition)
- New timber for structural use shall have a moisture content as specified in the "National Design Specification for Wood Construction (N.F.P.A. 2012 Edition).
- Timber construction shall conform to Article 23 of IBC 2015.
- Material properties for timber shall conform to the following:
 - For members with nominal 2" thickness, S-P-F #1/#2 or better (15% max MC).
Allowable bending stress:
Fb = 875 PSI (single member use)
Fb = 1000 PSI (multiple member use) Allowable shear stress Fv = 135 PSI Compression parallel to grain = 1100 PSI Compression perpendicular to grain = 425 PSI Modulus of elasticity = 1,400,000 PSI
 - For pressure-treated members with nominal 2" thickness, Southern Pine #1 or better (19% max MC).
Allowable bending stress Fb = 1300 PSI Allowable shear stress Fv = 90 PSI Compression parallel to grain = 1550 PSI Compression perpendicular to grain = 565 PSI Modulus of elasticity = 1,500,000 PSI
 - For pressure-treated members with nominal 4" thickness and greater, Southern Pine #2 pressure-treated (19% max MC).
Allowable bending stress Fb = 1250 PSI Allowable shear stress Fv = 95 PSI Compression parallel to grain = 725 PSI Compression perpendicular to grain = 440 PSI Modulus of elasticity = 1,400,000 PSI
- "PT" indicates pressure-treated lumber (to be used when in contact with concrete, masonry or weather).
- Joist support by nailing is forbidden unless used with an approved hanger. Unless noted otherwise on plans, all flush framed joists and beams shall be framed with Simpson hangers as follows (or approved equals):

(A) 2x6; 2x8	Type 'U26'
(B) 2-2x6; 2-2x8	Type 'U26-2'
(C) 3-2x6; 3-2x8	Type 'U26-3'
(D) 2x10; 2x12	Type 'U210'
(E) 2-2x10; 2-2x12	Type 'U210-2'
(F) 3-2x10; 3-2x12	Type 'U210-3'
(G) 3-1/2" x 9-1/4" LVL	Type 'GLTV3.56/9.25'
(H) 5-1/4" x 9-1/4" LVL	Type 'GLTV5.550/9.25'

(It is the contractor's responsibility to determine correct hangers for all sloped and/or skewed conditions. Custom hangers may be required at ridge/valley connections-submit to engineer for review.)

- Minimum bearing for all joists and rafters shall be 4".
- Use double joists under all partitions.
- Interior walls indicated on plans shall be framed with 2x4's at 16" O.C. (see arch drawings).
- New exterior walls indicated on plans shall be framed with 2x6's at 16" O.C. with 1/2" plywood sheathing nailed to studs with 10d nails at 4" O.C. at panel edges and 12" O.C. in field.
- Interior door headers shall be a minimum of 2-2x8's unless noted otherwise on the plans.
- Exterior door and window headers shall be a minimum of 2-2x10's unless noted otherwise on the plans.
- No joist shall be notched or drilled with holes without the specific approval of the architect.
- No joist shall be repaired or reinforced in any way without the specific approval of the architect.
- Beams built up of timbers shall be firmly nailed or bolted together.
- Plywood shall be laid with face grain parallel to span; stagger all joints.
- Temporary erection bracing shall be provided to hold structural timber securely in position as described on the drawings. It shall not be removed until permanent bracing has been installed.
- Timber shall be generally knot-free, with only small tight knots permitted and generally straight-grained.
- Structural timber shall be identified by the grade mark or certificate of inspection issued by a grading or inspection bureau or agency recognized as being competent.
- Structural timber shall be visually stress-graded lumber in accordance with the provisions of ASTM designation D245-74, "Methods for Establishing Structural Grades and Related Allowable Properties for Visually Graded Lumber".
- Timber shall be so handled and covered as to prevent marring and moisture absorption from snow and rain.
- Steel plates and angles shall be new steel conforming to ASTM A36.

RENOVATION AND RESTORATION

- The contractor shall notify the architect when, in the course of construction or demolition, conditions are uncovered which are unanticipated or otherwise appear to present a dangerous condition. Information regarding existing construction or conditions is based on available record drawings which may or may not truly reflect existing conditions. Such information is included on assumption that it may be of interest to the contractor, but the architect assumes no responsibility for its accuracy or completeness.
- Verify all dimensions and conditions on the job. Discrepancies shall be brought immediately to the attention of the architect before proceeding with that part of the work.
- Where new work will be adjacent to or framing existing construction, verify dimensions of existing construction prior to fabrication of new members.
- Provide all labor and material for any framing required to connect new framing to existing construction. Wherever it is necessary to remove existing construction in order to construct new work, the affected area shall be patched and rebuilt to match existing adjacent work to satisfaction of the architect.
- Details shown on any drawings shall be considered typical for all similar conditions.
- Notify architect of any contemplated structural alteration in reasonable time to render and document the architect's decision. Structural materials and components shall have prior approval of the architect.
- Structural alteration shall be preceded by adequate shoring and bracing.
- Screw-type shoring posts shall be provided for existing work during the removal of existing bearing walls and structural members and the installation of new structural work.
- Temporary shores shall be placed as close as practicable to the existing structural work being removed.
- Headers shall be placed across top of shoring posts and shall be snug tight against underside of the structure above.
- Shoring shall bear on sleepers to prevent damage to the structural below.
- Temporary shores shall be individually designed, erected, supported, braced and maintained by the contractor to safely support all dead loads presently carried by the existing structural work being removed and any construction live loads.
- Structural steel shall be completely installed before removing any shores.
- Shores shall be released gradually and left loosely in place for at least 2 days to allow for structural shake out.

STRUCTURAL DESIGN LOADS

- Dead loads
 - Weight of building components
- Live Loads
 - Typical Residential Floor - 40 PSF
 - Roof snow load - 45 PSF plus drift
Pg = 40 PSF; Is = 1.0; Ce = 1.0; Ct = 1.0;
- Wind loads - Per Mass. Code and ASCE7-10

MATERIALS KEY

	EARTH		SHINGLES (ELEVATION)
	GRAVEL		CLAPBOARD (ELEVATION)
	CAST CONCRETE		GYPSUM WALL BOARD
	SOLID WOOD		CMU MASONRY
	PLYWOOD		ARCHITECTURAL STONEMWORK
	RIGID INSULATION		ARCHITECTURAL STONEMWORK (ELEVATION)
	SPRAY INSULATION - HIGH DENSITY		METAL
	INSULATION - ACOUSTIC		

SYMBOLS

	LEVEL EL. #:#		ELEVATION MARKER		ROOM NAME		ROOM MARKER
	DOOR REFERENCE NUMBER		WINDOW REFERENCE NUMBER		SECTION CALL OUT		NORTH ARROW
	INTERIOR ELEVATION REFERENCE		DETAIL REFERENCE		PARTITION REFERENCE		CASEWORK REFERENCE
	EXTERIOR ELEVATION REFERENCE						
	STRUCTURAL GRID LINE						
	ELEVATION CALL OUT						
	KEYNOTE REFERENCE						

ABBREVIATIONS

AFB	ABOVE FINISH FLOOR	OC	ON CENTER
CIP	CAST-IN-PLACE CONCRETE	PCF	POUND PER CUBIC FOOT
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
DIA	DIAMETER	PT	PRESERVATIVE TREATED
DN	DOWN	PVC	POLYVINYL CHLORIDE
EXIST	EXISTING	R	RISER
		RO	ROUGH OPENING
FIN	FINISH	SF	SQUARE FOOT
FLR	FLOOR	SHT	SHEET
FT	FOOT	SIM	SIMILAR
		SPEC	SPECIFICATIONS
GC	GENERAL CONTRACTOR	T	TREAD
GWB	GYPSUM WALL BOARD	T&G	TONGUE AND GROOVE
		TYP	TYPICAL
HP	HIGH POINT	VCT	VINYL COMPOSITION TILE
IN	INCH	VIF	VERIFY IN FIELD
MAX	MAXIMUM		
MDF	MEDIUM DENSITY FIBERBOARD	W/	WITH
MDO	MEDIUM DENSITY OVERLAY	W/O	WITHOUT
MIN	MINIMUM		
MISC	MISCELLANEOUS	&	AND
MO	MASONRY OPENING	@	AT
		#	NUMBER
		CL	CENTERLINE
NTS	NOT TO SCALE		

ISSUANCE:
SPECIAL PERMIT

REVISION:

DATE: 11/11/2022

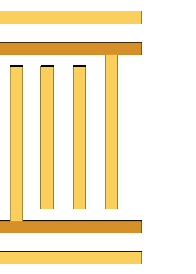
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CHECKED: Checker

SHEET INFO: NOTES

G101



DELANEY-STEPHENS RENOVATION

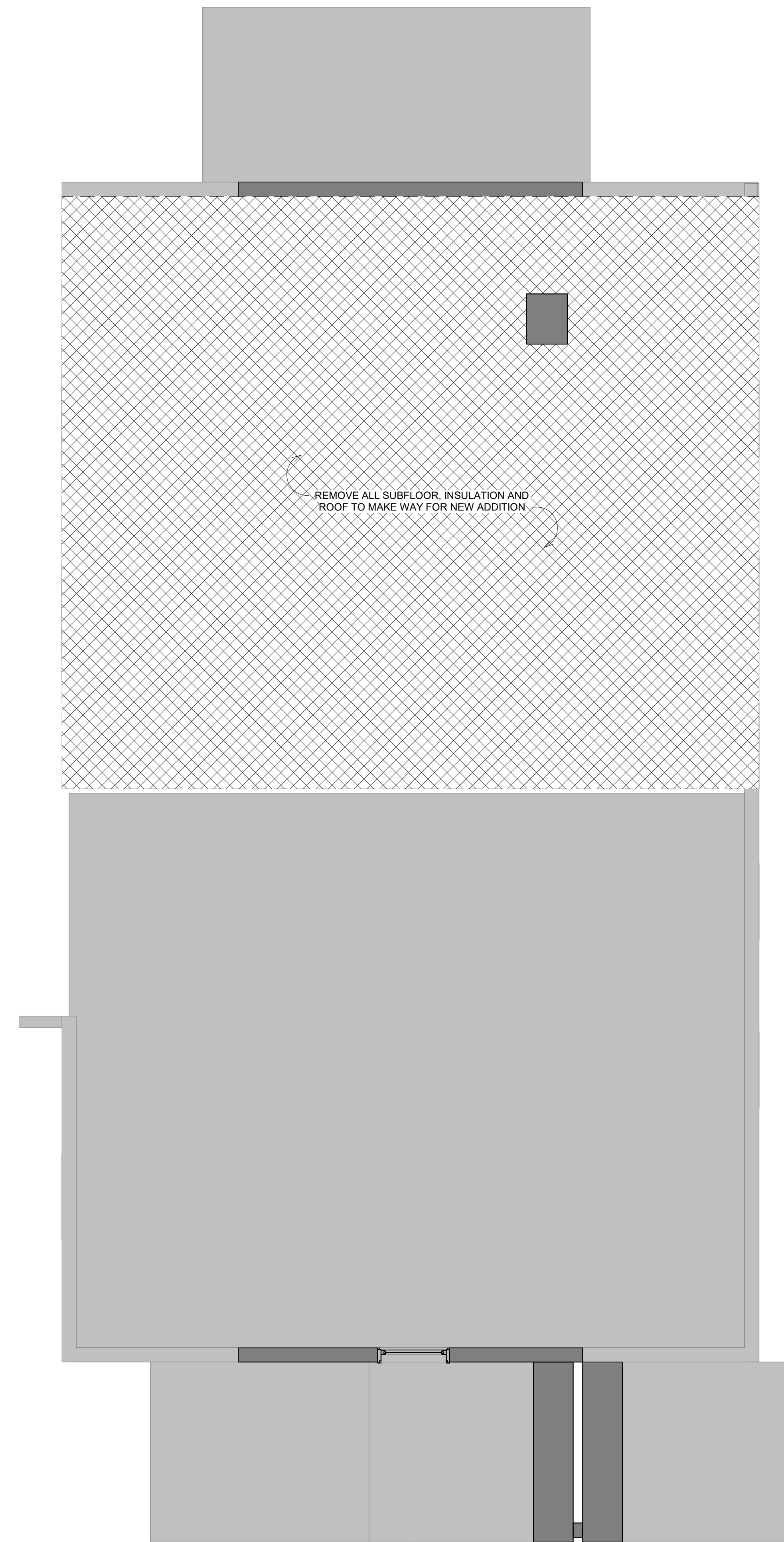
166 VASSAL LANE
CAMBRIDGE, MA

ISSUANCE:
SPECIAL PERMIT

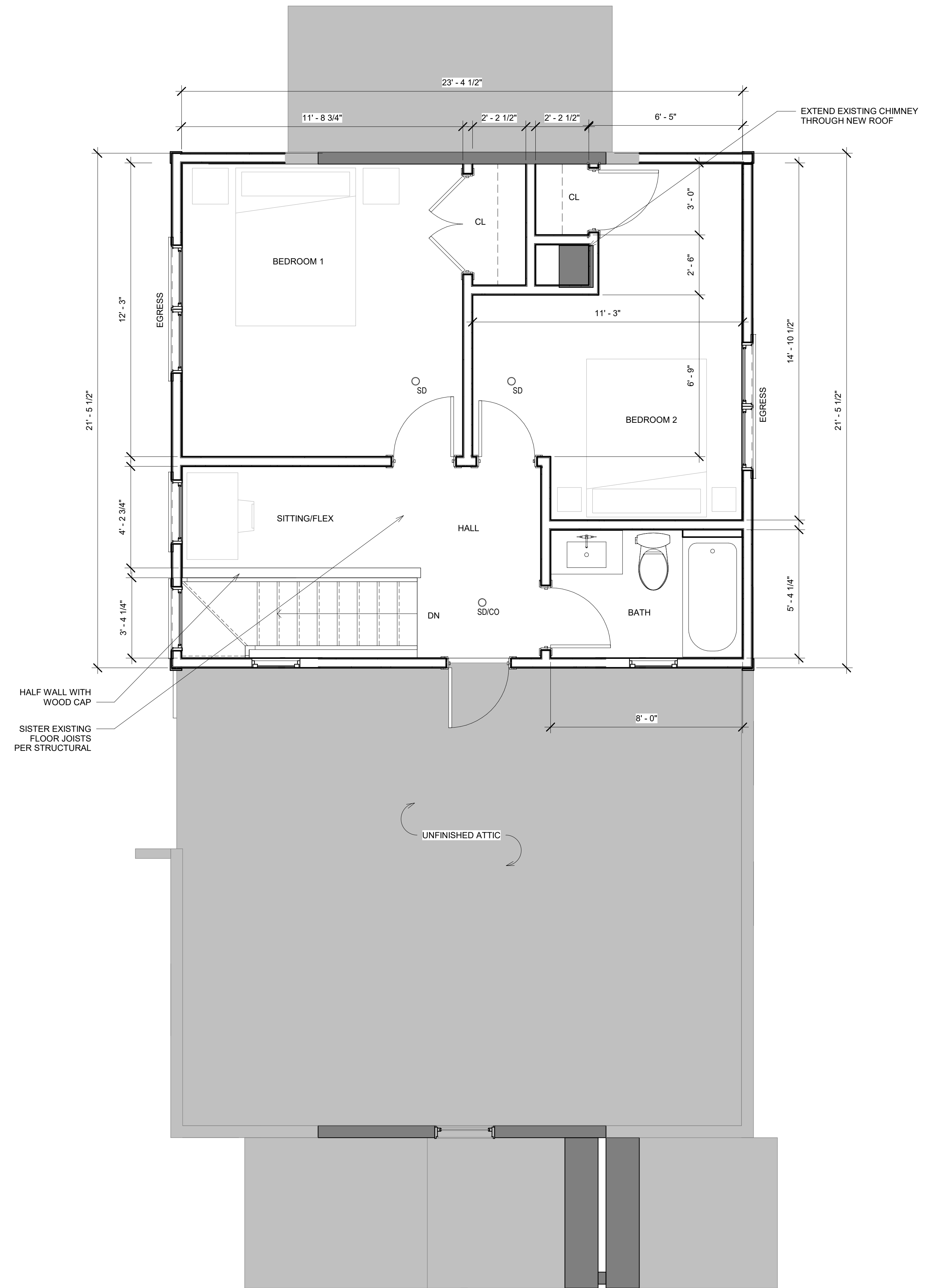
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CHECKED: MJ

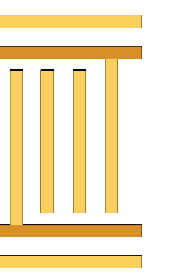
SHEET INFO:
THIRD FLOOR PLAN



② THIRD FLOOR - DEMO
3/8" = 1'-0"



① THIRD FLOOR
3/8" = 1'-0"



MORSE
CONSTRUCTIONS

DELANEY-STEPHENS RENOVATION

166 VASSAL LANE
CAMBRIDGE, MA



FRONT/RIGHT



LEFT



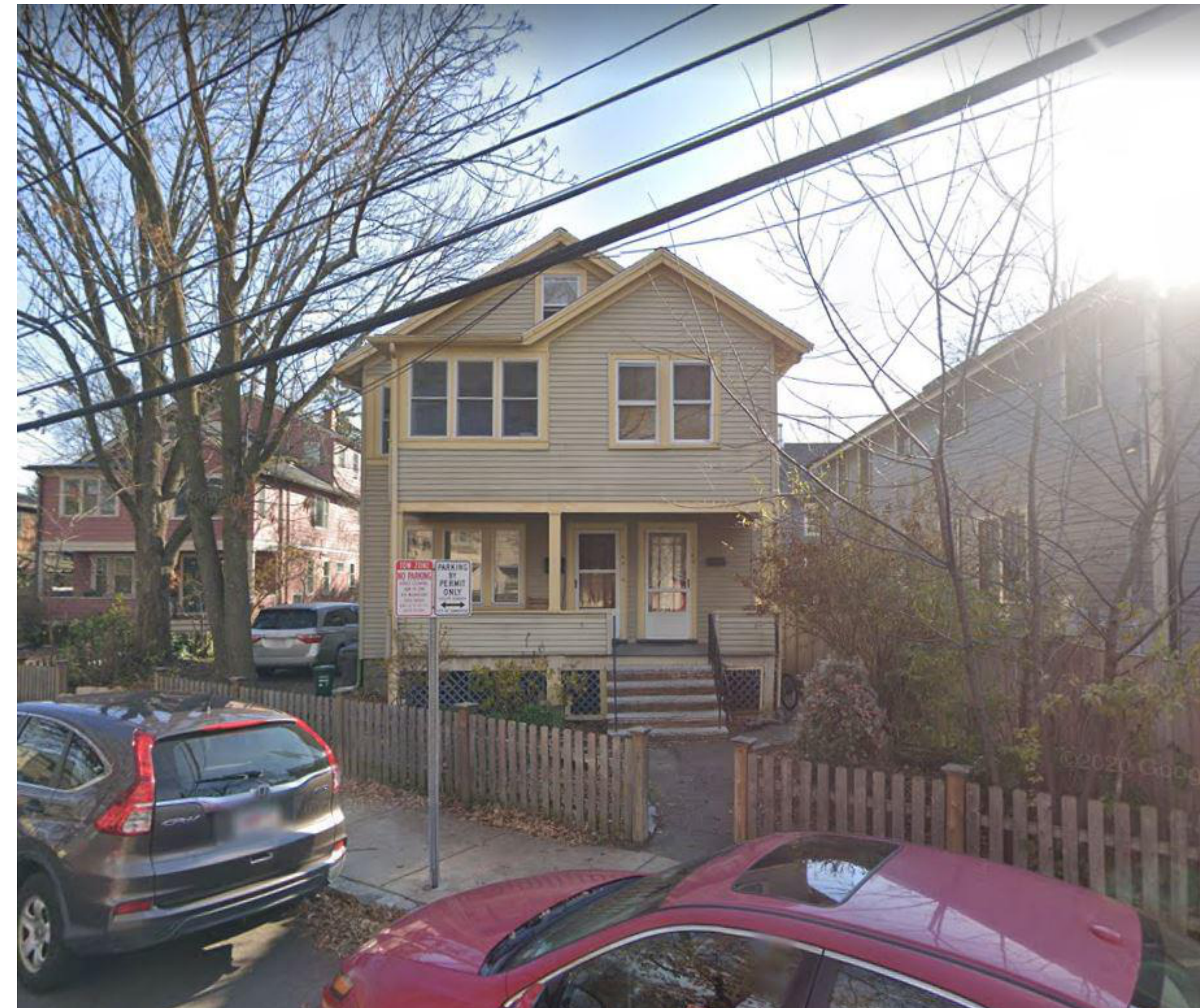
HOUSE DIRECTLY TO THE LEFT WITH SIMILAR
THIRD FLOOR ADDITION



BACK



LEFT



FRONT

ISSUANCE:
SPECIAL PERMIT

REVISION:

DATE: 11/11/2022

SCALE:

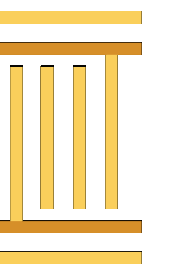
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CHECKED: MJ

SHEET INFO:

PHOTOS

A102



MORSE
CONSTRUCTIONS

DELANEY-STEPHENS RENOVATION

166 VASSAL LANE
CAMBRIDGE, MA

ISSUANCE:
SPECIAL PERMIT

REVISION:

DATE: 11/11/2022
SCALE: 1/4" = 1'-0"
DRAWN: MJ
CHECKED: MJ
SHEET INFO:
ELEVATIONS

A200



1 RIGHT ELEVATION
1/4" = 1'-0"



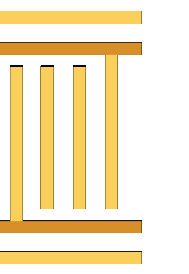
3 FRONT ELEVATION
1/4" = 1'-0"



4 LEFT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



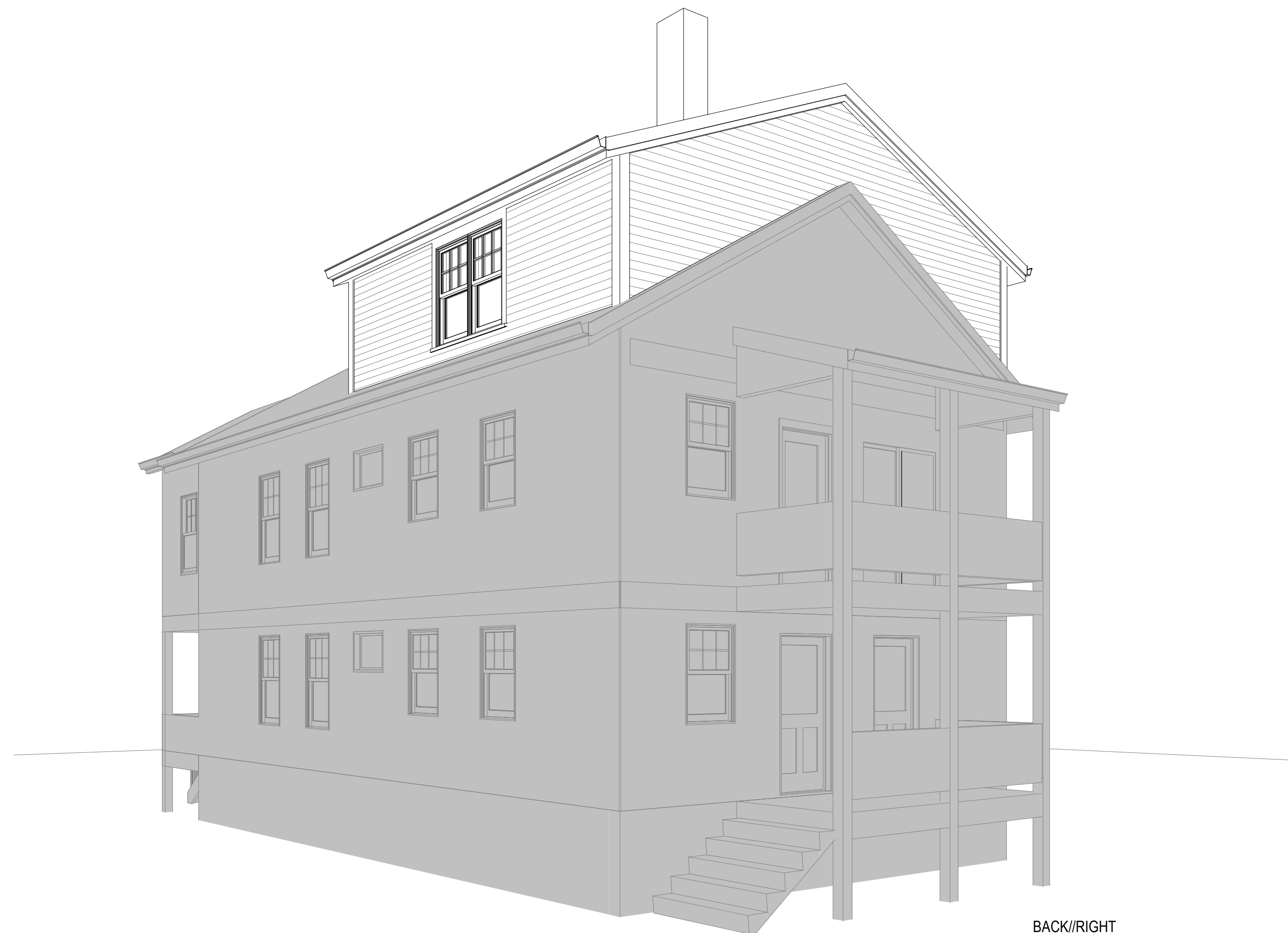
MORSE
CONSTRUCTIONS



FRONT/RIGHT



FRONT/LEFT



BACK/RIGHT



BACK/LEFT

DELANEY-STEPHENS RENOVATION

166 VASSAL LANE
CAMBRIDGE, MA

ISSUANCE:
SPECIAL PERMIT

REVISION:

DATE: 11/11/2022

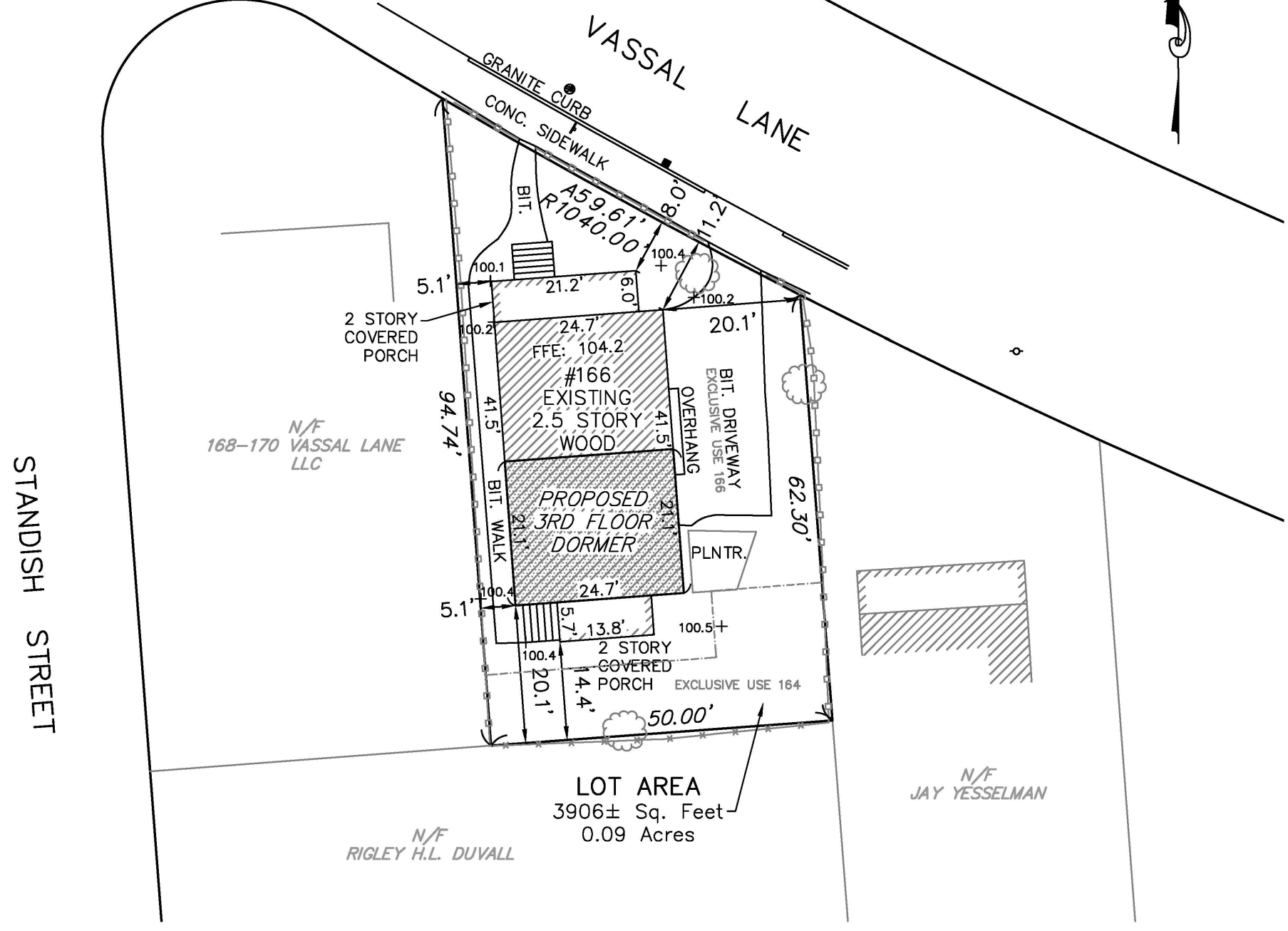
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CHECKED: Checker

SHEET INFO: 3-D VIEWS

A900

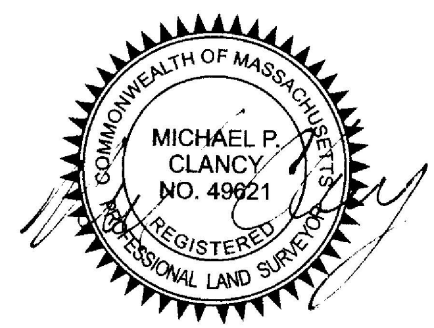
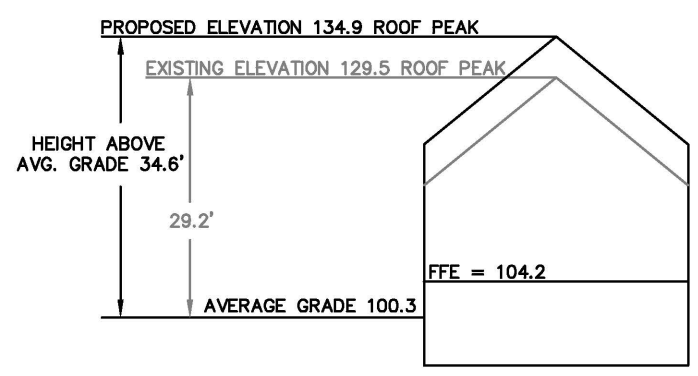


N/F
168-170 VASSAL LANE
LLC

N/F
JAY YESSELMAN

N/F
RIGLEY H.L. DUVALL

LOT AREA
3906± Sq. Feet
0.09 Acres



PREPARED FOR:
NAILL STEPHENS & TALAYA DELANEY
166 VASSAL LANE
CAMBRIDGE, MA 02138

ZONING DISTRICT
RES. B

REQUIREMENTS:	UNITS	REQUIRED	CURRENT	PROPOSED
MINIMUM LOT AREA	S.F.	5,000	3,906±	3,906±
MINIMUM LOT WIDTH	FT.	50.0	50.0	50.0
FRONT SETBACK	FT.	15.0	8.0	8.0
SIDE SETBACK	FT.	7.5 (20 SUM)	5.1(25.2)	5.1(25.2)
REAR SETBACK	FT.	25.0	14.4	14.4
BUILDING HEIGHT	FT.	35.0	29.2	34.6
PRIVATE OPEN SPACE	%	40.0	18.4	18.4

PLOT PLAN

FOR
164-166 VASSAL LANE
IN
CAMBRIDGE, MA.

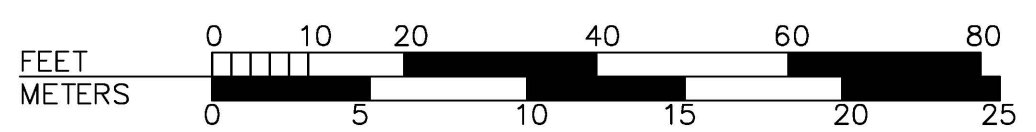
SCALE: 1"=20' OCTOBER 28, 2022

C & G SURVEY COMPANY
37 JACKSON ROAD
SCITUATE, MA. 02066
1-877-302-8440

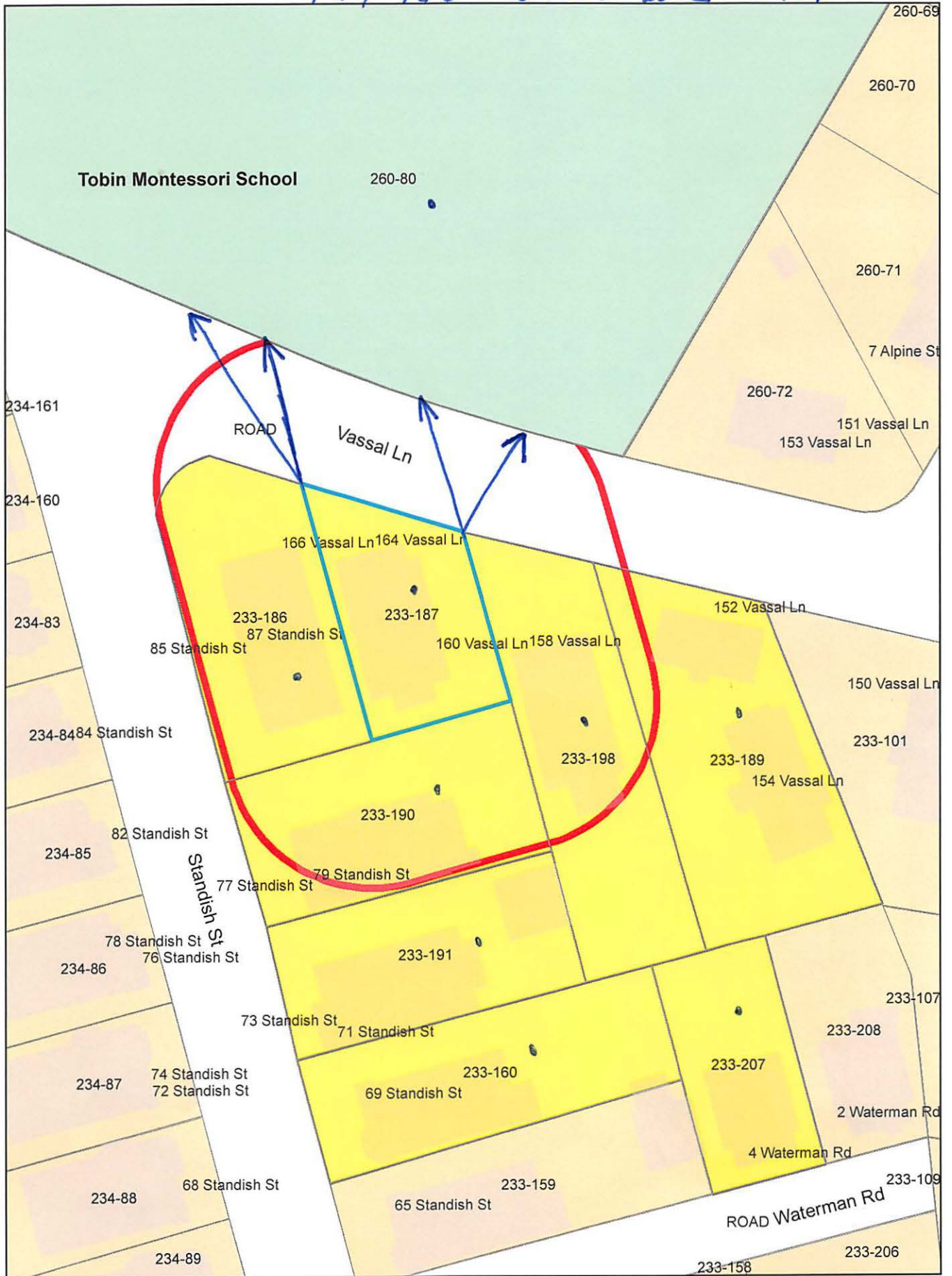
PLAN REVISED: 11-10-22

NOTES:

- ZONING CLASSIFICATION – RES. B
- MASTER DEED:
MIDDLESEX SOUTH REGISTRY OF DEEDS BOOK 65418 PAGE 589
- PLAN REFERENCES:
MIDDLESEX SOUTH REGISTRY OF DEEDS PLAN BOOK 400 PLAN 50
MIDDLESEX SOUTH REGISTRY OF DEEDS PLAN 1080 OF 2007
- ASSESSORS PARCEL ID: 233-187-164 & 166



164-166 Vassal lane #166



164-166 Vassal Lane #109
Petitioner

233-160
GIANAKOS, ELIZABETH
69 STANDISH STREET, UNIT #2
CAMBRIDGE, MA 02138

233-190
DUVALL, RIGLEY H. L. & KATHERINE LUM
77 STANDISH ST.
CAMBRIDGE, MA 02138

233-187
STEPHENS, NIALL & TALAYA DELANEY
166 VASSAL LN
CAMBRIDGE, MA 02138

233-160
LEI, YA-WEN
69 STANDISH ST., #3
CAMBRIDGE, MA 02138

233-191
FLAMM, HARRY S. & AMY E. MUNSAT
71-73 STANDISH ST
CAMBRIDGE, MA 02138-6816

JARED GARDINER, CONTRACTOR
1 ARROW DRIVE
WOBURN, MA 01801

233-187
BUJOREANU, MIHAELA
164 VASSAL LN
CAMBRIDGE, MA 02138

233-207
ROACH, TIMOTHY M. & ANDREA C. KRAMER
4 WATERMAN RD
CAMBRIDGE, MA 02138

233-189
RUTHERFORD MATTHEW S & BRIDGET M
TR RUTHERFORD FAMILY TRUST
154 VASSAL LN
CAMBRIDGE, MA 02138

233-160
DIZON, VINCENT, TR. OF THE VINCENTE
MARIA DIZON 2019 LIVING TRT
639 WEST END AVE UNIT #2D
NEW YORK, NY 10025

233-189
KENTON SCOTT
152 VASSAL LN
CAMBRIDGE, MA 02138

233-198
YESSELMAN, JAY
160 VASSAL LN
CAMBRIDGE, MA

233-186
CRARY, HARRIET S.
85 STANDISH ST
CAMBRIDGE, MA 02138

233-186
KIM, JINAH MYUNG-KOO KANG
87 STANDISH ST
CAMBRIDGE, MA 02138

260-80
CITY OF CAMBRIDGE
C/O YI-AN HUANG
CITY MANAGER

260-80
CAMBRIDGE CITY OF SCHOOL DEPT /
TOBIN SCHOOL
159 THORNDIKE ST
CAMBRIDGE, MA 02141

260-80
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

Pacheco, Maria

From: JAY YESSELMAN <jbyes@comcast.net>
Sent: Wednesday, January 18, 2023 5:20 PM
To: Pacheco, Maria
Subject: Case no. BZA-202716

Hello Ms Pacheco

I am a direct abutter to this property. I live at 160 Vassal Ln. Niall has shared the plan with me. I have no objections to it. Living right across the street from the construction project at The Tobin School and having lived through the 5 years of sewer separation project on Vassal Ln I am fed up with the noise and and debris and pollution. I am hopeful you will approve this project in a timely manner so that by the time the school project is complete this project will be complete and we can have some peace, quiet and clean air in our neighborhood for some period of time.

Jay Yesselman
160 Vassal Ln



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: LEE MASELIEN. Date: 1/10/23
(Print)

Address: 164-166 Vassal lane #164

Case No. BZA-202716

Hearing Date: 1/26/23

Thank you,
Bza Members

Pacheco, Maria

From: Niall Stephens <niall.stephens@gmail.com>
Sent: Monday, January 23, 2023 12:52 PM
To: Pacheco, Maria
Cc: Talaya Delaney
Subject: BZA-202716 continuance request

Dear Maria,

We request a continuance of our Case BZA-202716 at 166 Vassal Lane.

We would like to be heard on March 23 instead of this week.

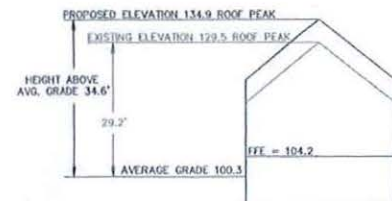
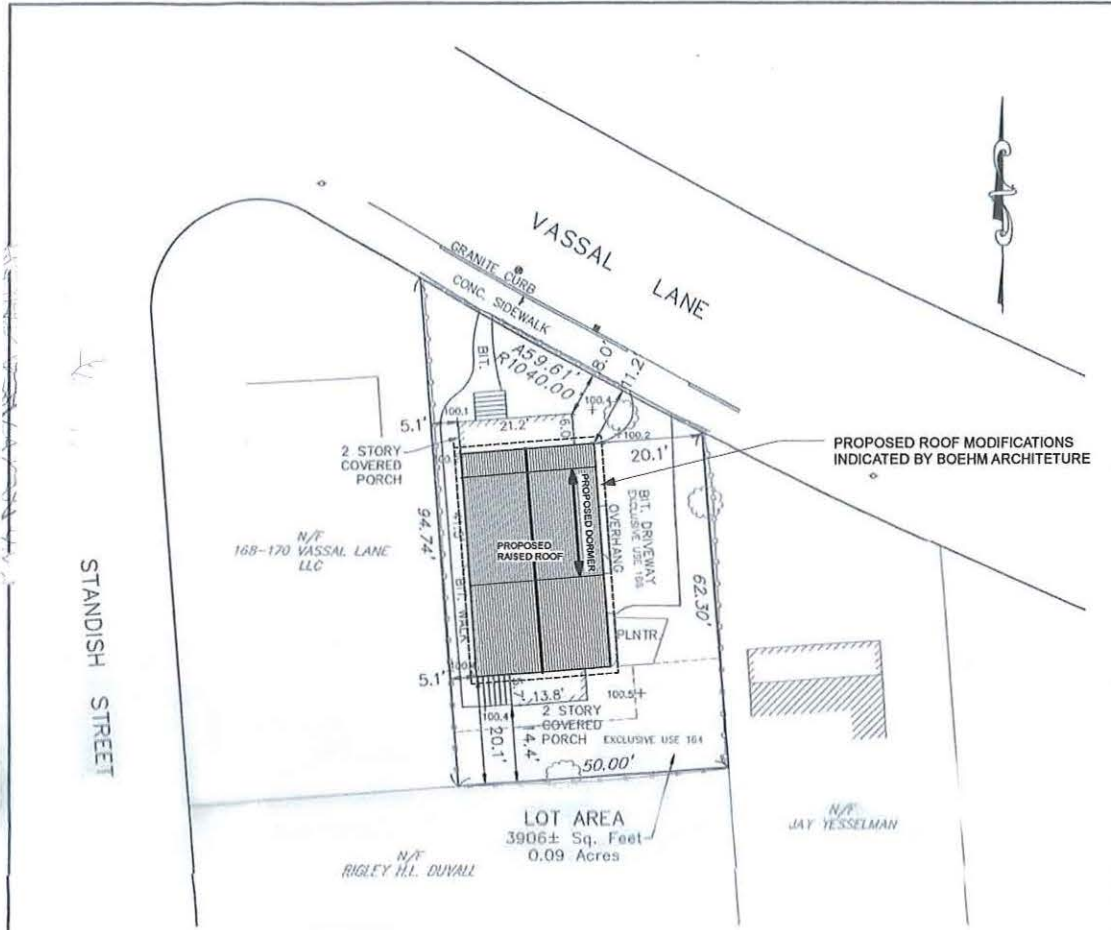
As such we will not attend the BZA hearing this Thursday (1/26).

Can you please confirm that this is acceptable and also tell us when the deadline for our revised plans is.

Thank you very much,

Niall Stephens
and
Talaya Delaney

166 Vassal Lane (BZA-202716)



ZONING DISTRICT
RES. B

REQUIREMENTS:	UNITS	REQUIRED	CURRENT	PROPOSED
MINIMUM LOT AREA	S.F.	5,000	3,906±	3,906±
MINIMUM LOT WIDTH	FT.	50.0	50.0	50.0
FRONT SETBACK	FT.	15.0	8.0	8.0
SIDE SETBACK	FT.	7.5 (20 SUM)	5.1(25.2)	5.1(25.2)
REAR SETBACK	FT.	25.0	14.4	14.4
BUILDING HEIGHT	FT.	35.0	29.2	34.6
PRIVATE OPEN SPACE	%	40.0	18.4	18.4

- NOTES:
- ZONING CLASSIFICATION - RES. B
 - MASTER DEED: MIDDLESEX SOUTH REGISTRY OF DEEDS BOOK 65418 PAGE 589
 - PLAN REFERENCES: MIDDLESEX SOUTH REGISTRY OF DEEDS PLAN BOOK 400 PLAN 50
MIDDLESEX SOUTH REGISTRY OF DEEDS PLAN 1080 OF 2007
 - ASSESSORS PARCEL ID: 233-187-164 & 166



PREPARED FOR:
NAILL STEPHENS & TALAYA DELANEY
166 VASSAL LANE
CAMBRIDGE, MA 02138

PLOT PLAN
FOR
164-166 VASSAL LANE
IN
CAMBRIDGE, MA.

SCALE: OCTOBER 28, 2022
C & G SURVEY COMPANY
37 JACKSON ROAD
SCITUATE, MA. 02066
1-877-302-8440
PLAN REVISED: 02-14-23



BOEHM ARCHITECTURE
561 Windsor St. #A802 Somerville MA 02143
www.boehmarchitecture.com
(617)-521-9882

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2023 MAR 20 P 12:07




REVISION #	DESCRIPTION	DATE
	Zoning Review	03.17.23

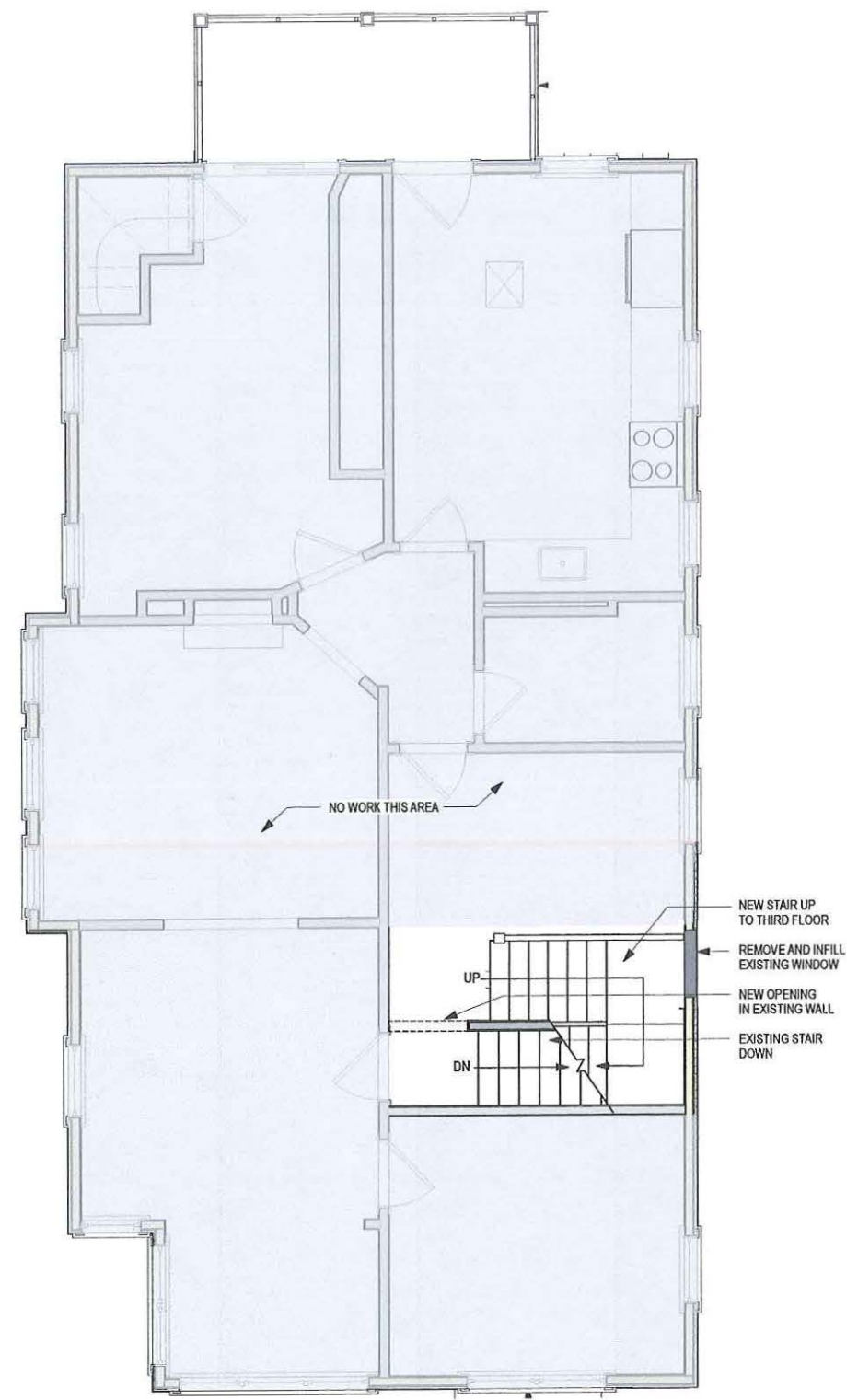
STEPHENS
RENOVATION
166 VASSAL LANE CAMBRIDGE, MA

Cover Sheet

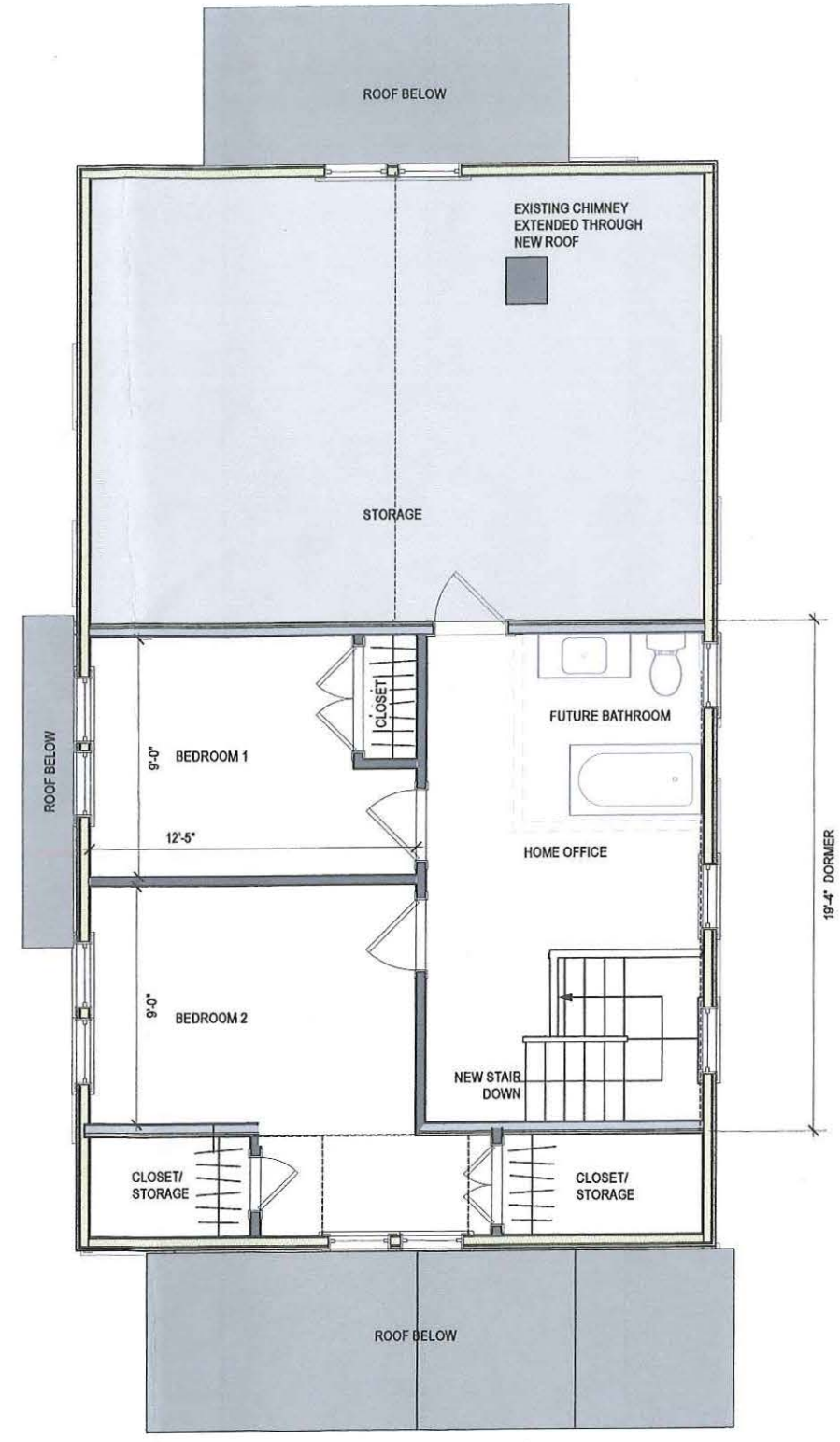
PRINT DATE: 02.15.2023
SCALE: As Noted

SHEET #
A0.0

wall key	
	existing wall to remain
	existing wall to be removed
	new wall



1 SECOND FLOOR
 Scale: 1/4" = 1'-0"



2 THIRD FLOOR
 Scale: 1/4" = 1'-0"

REVISION #	DESCRIPTION	DATE
	Zoning Review	03.17.23

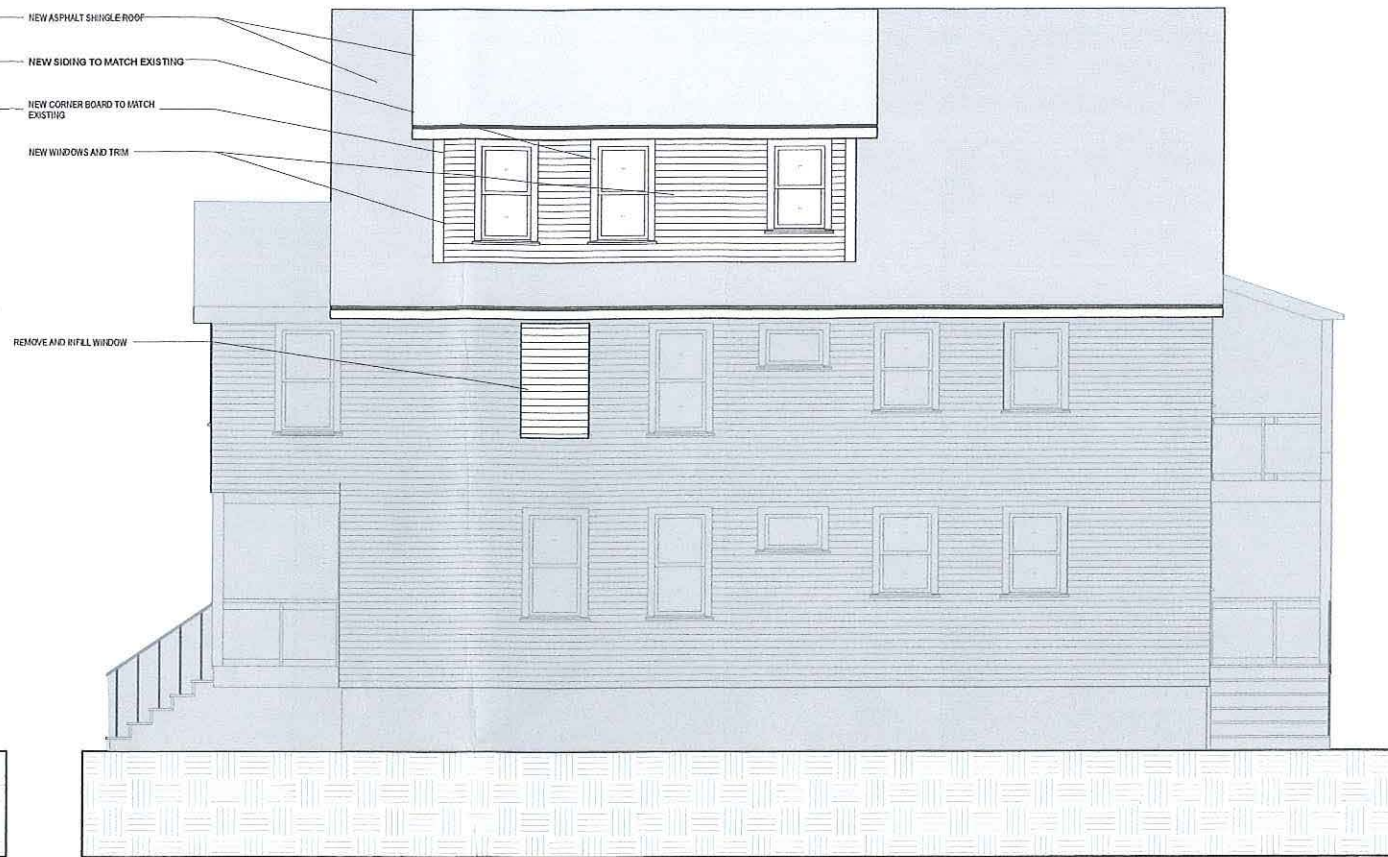
STEPHENS RENOVATION
 166 VASSALL LANE CAMBRIDGE, MA

Second And Third Floor Plan
 PRINT DATE: 02.15.2023
 SCALE: As Noted

SHEET #
A1.0



1 South Elevation
Scale: 3/16" = 1'-0"



2 West Elevation
Scale: 3/16" = 1'-0"

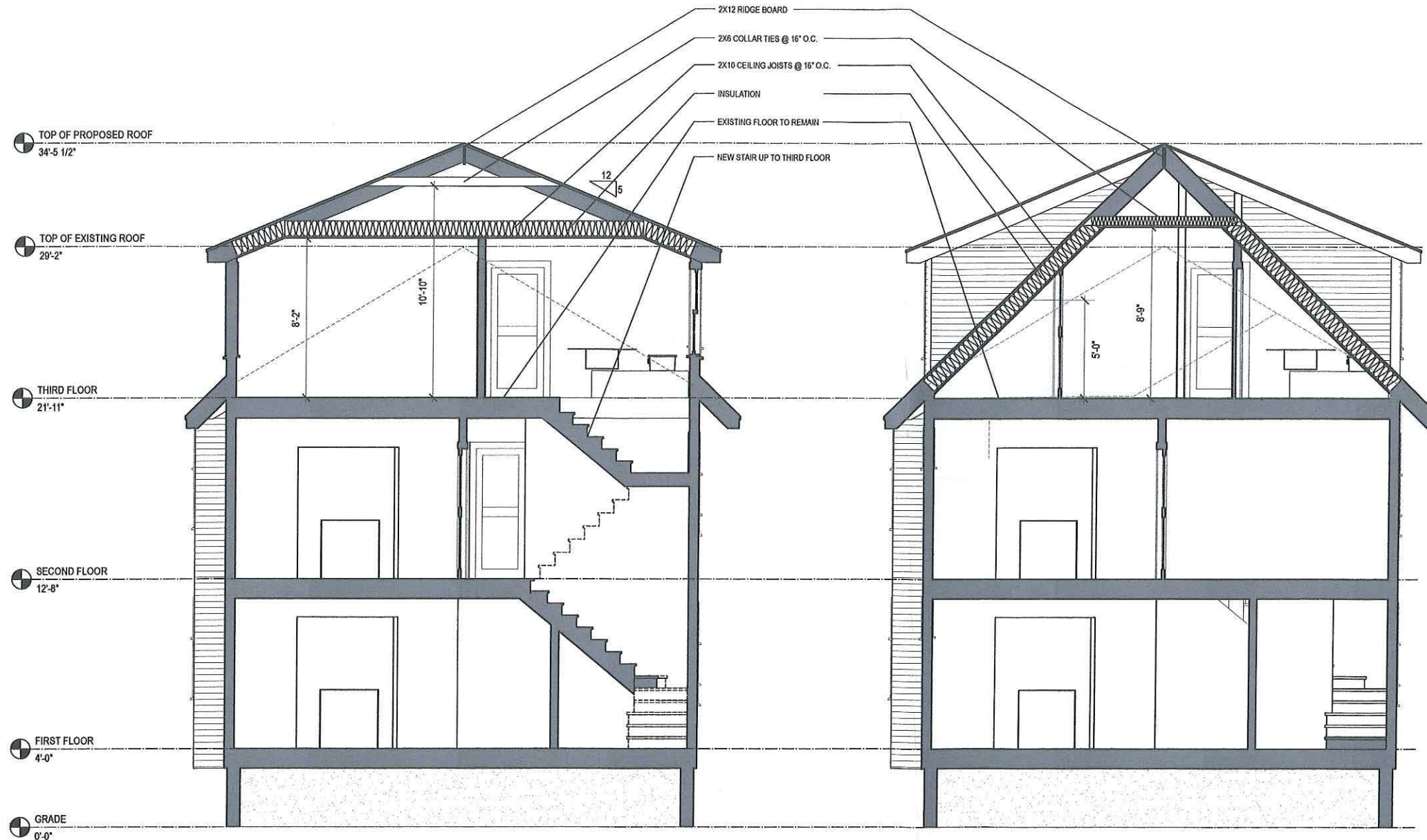


3 North Elevation
Scale: 3/16" = 1'-0"



4 East Elevation
Scale: 3/16" = 1'-0"

REVISION #	DESCRIPTION	DATE
	Zoning Review	03.17.23
STEPHENS RENOVATION 166 VASSAL LANE CAMBRIDGE, MA		
Elevations		
PRINT DATE: 02.15.2023		
SCALE: As Noted		
SHEET #		A2.0



1 North Section at Dormer
 Scale: 1/4" = 1'-0"

2 North Section at Main Roof
 Scale: 1/4" = 1'-0"

REVISION #	DESCRIPTION	DATE
	Zoning Review	03.17.23
STEPHENS RENOVATION 166 VASSAL LANE CAMBRIDGE, MA		
Section at Attic PRINT DATE: 02.15.2023 SCALE: As Noted		
		SHEET #
		A3.0

Pacheco, Maria

From: Beatriz Meza-Valencia <bmezavalencia@gmail.com>
Sent: Sunday, January 29, 2023 5:38 PM
To: Pacheco, Maria
Subject: Support for case BZA-202716.

Dear Ms. Pacheco,

I hope this email finds you well.

I am writing in support of the addition proposed in case BZA-202716.

The Stephens Delaney family are wonderful neighbors who care about the neighborhood and support the community. I hope their home addition will allow them to comfortably stay in the neighborhood and continue to make Huron Village a lovely community.

The houses next to theirs have undergone renovations very similar to this proposal and have added value and diversity to the neighborhood.

I hope this proposal will get approved. I'm in full support of it.

Warmly,

Beatriz

Beatriz E. Meza-Valencia
Pronouns: she, her, ella ([Why does this matter?](#))
Mom, Pediatrician, Mindfulness Educator
TallerRespira.com