



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 209381

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: Kaveri Properties, LLC C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 1680-A Massachusetts Ave., Cambridge, MA

TYPE OF OCCUPANCY: commercial

ZONING DISTRICT: Business A-2/Massachusetts Avenue Overlay

REASON FOR PETITION:

/Change in Use/Occupancy/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner seeks to convert second story of existing retail building to two dwelling units.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.33 Table of Dimensional Requirements
Article: 8.000 Section: 8.22.3 Nonconforming Structure
Article: 10.000 Section: 10.30 Variance

Original
Signature(s):

(Petitioner (s) / Owner)

James J. Rafferty, Attorney for Petitioner

(Print Name)

Address:

907 Massachusetts Avenue, Suite 300
Cambridge, MA 02139

Tel. No.

617.492.4100

E-Mail Address:

jrafferty@adamsrafferty.com

Date: February 13, 2023

2023 FEB 14 PM 12:10
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Kaveris Properties LLC
(OWNER)

Address: 1680 Mass Ave, Cambridge, MA, 02138

State that I/We own the property located at 1680 Mass Ave, Cambridge, MA, 02138,
which is the subject of this zoning application.

The record title of this property is in the name of Kaveris Properties LLC

*Pursuant to a deed of duly recorded in the date Jan 19, 2021, Middlesex South
County Registry of Deeds at Book 76715, Page 382, or
Middlesex Registry District of Land Court, Certificate No. 11460
Book 76715 Page 382.

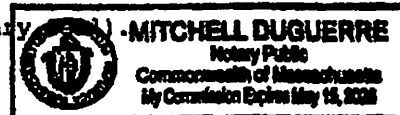
Tatinder Pabla
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Mass - Middlesex

The above-name Tatinder Pabla personally appeared before me,
this 9th of September, 2022, and made oath that the above statement is true.

My commission expires 5/15/22 (Notary [Signature])



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the Ordinance would preclude the petitioner from converting the second floor of this pre-existing nonconforming structure since the introduction of a residential use triggers modest side and front setback requirements.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is directly related to the size and shape of the lot and the existing structure on it.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The public good will not experience any detriment since there is a need for dwelling units of this size in the City.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The use of the property for residential dwellings is allowed in the Business A-2 District.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Kaveri Properties, LLC

Present Use/Occupancy: commercial

Location: 1680-A Massachusetts Ave., Cambridge, MA

Zone: Business A-2/Massachusetts Avenue Overlay

Phone: 617.492.4100

Requested Use/Occupancy: residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>		
<u>TOTAL GROSS FLOOR AREA:</u>		3,784 sf	no change	5,047 sf	(max.)	
<u>LOT AREA:</u>		2,884 sf	no change	6,000 sf	(min.)	
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.31	no change	1.75		
<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	1,442 sf	600 sf		
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	22'	no change	none		
	<u>DEPTH</u>	86'	no change	N/A		
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	0'	no change	5'		
	<u>REAR</u>	0'	no change	10'		
	<u>LEFT SIDE</u>	55'	no change	20'		
	<u>RIGHT SIDE</u>	0'	no change	10'		
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	30'	no change	35'		
	<u>WIDTH</u>	22'	no change	N/A		
	<u>LENGTH</u>	86'	no change	N/A		
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		60%	no change	50%		
<u>NO. OF DWELLING UNITS:</u>		0	2	2		
<u>NO. OF PARKING SPACES:</u>		2	2	2		
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A		
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A		

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

SECOND FLOOR RENOVATION

1680 MASSACHUSETTS AVE

CAMBRIDGE, MA 02138

SCOPE OF WORK: SECOND FLOOR RENOVATION TO A TWO UNIT RESIDENTIAL DWELLING.
RESTAURANT AND BASEMENT EXISTING TO REMAIN.
NO ADDED SQUARE FOOTAGE OR CHANGE TO F.A.R.

NEW WINDOWS AND TRIM ARE PROPOSED TO ALLOW PROPER EMERGENCY EGRESS TO EACH BEDROOM.
BRICK FACADE TO REMAIN.

Property Class	RETAIL-OFFIC
State Class Code	345
Zoning (Unofficial)	BA-2
Map/Lot	174-31
Land Area (sq. ft)	2,884

Code	Description	Gross Area	Living Area
BAS	First Floor	1,892	1,892
FUS	Upper Story, Finished	1,892	1,892
UBM	Basement	1,892	0
Total:		5,676	3,784



1680 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138



No.	Description	Date

Scale:
Date: 07/28/21
Drawn By: SLHG

Drawing Name

COVER

Sheet No.

A100

ARCHITECTURAL

1. ALL HABITABLE ROOMS, EXCEPT KITCHENS, ARE TO HAVE AN AREA OF NOT LESS THEN 70 SQ FT WITH A MINIMUM OF 7 FT IN ANY DIMENSION. - IRC R304
2. MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. - IRC R303
3. WHERE THE AIR INFILTRATION RATE OF A DWELLING UNIT IS 5 AIR CHANGES PER HOUR OR LESS WHERE TESTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCH W.C. (50 PA) IN ACCORDANCE WITH SECTION N1102.4.1.2, THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE-HOUSE MECHANICAL VENTILATION IN ACCORDANCE WITH SECTION M1507.3 - IRC R303.4
4. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQ FT, ONE-HALF OF WHICH MUST BE OPERABLE. EXCEPTION: THE GLAZED AREAS SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM ARE PROVIDED. THE MINIMUM LOCAL EXHAUST RATES SHALL BE DETERMINED IN ACCORDANCE WITH SECTION M1507. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. - IRC R303.3
5. MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 10 FEET FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS. EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. - IRC R303.5
6. HABITABLE SPACE AND HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS, AND HABITABLE SPACE IN BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET, 8 INCHES. - R305.1
7. EMERGENCY EGRESS FOR BASEMENTS WITH HABITABLE SPACE AND EACH SLEEPING ROOM: AN EXTERIOR DOOR OR WINDOW WITH A FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR, MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ FT, MINIMUM NET CLEAR OPERABLE WIDTH OF 20" AND MINIMUM NET CLEAR OPERABLE HEIGHT OF 24". GRADE FLOOR OPENINGS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ FT. - IRC R310
8. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. - IRC TABLE R308.3
9. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT OF STAIRS, OR GLAZING WITHIN 5 FT OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. - IRC R308
10. NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD ON THE CEILING. - IRC R309.2 AND R302.6
11. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1-3/8" THICK SOLID CORE OR 20 MINUTE RATED. DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. ELECTRICAL PANELS PENETRATING THE GARAGE SIDE GYPSUM BOARD MEMBRANE SHALL BE WRAPPED WITH 5/8" TYPE X GYPSUM BOARD ON THE TOP, BOTTOM, SIDES, AND BACK. - IRC R302.5.1
12. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. - IRC 311.7.1
13. THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. - IRC R311.7
14. ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES, AND PORCHES MORE THAN 30 INCHES ABOVE GRADE, AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. - IRC R312
15. THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. - IRC R311.7.2
16. LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. - IRC R311

CONSTRUCTION NOTES

- GENERAL:
- A)
1. REPAIR ANY DAMAGED STAIR TREADS AND RISERS.
 2. REPLACE ALL OLD DAMAGED DOORS AND WINDOWS WITH ENERGY CODE REQUIRED REPLACEMENTS
 3. G.C. IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING INTEGRITY AT ALL DEMISING & FIRE RATED WALLS AS WELL AS AT THE SLAB AND THE CEILING/ROOF
 4. WHEREVER WALL OR ROOF CAVITIES ARE OPENED, INSULATE EXISTING CAVITIES AT R3.5/INCH TO THE THICKNESS OF THE EXISTING CAVITIES.
 5. PROVIDE R-49 CAVITY INSULATION AT ROOF IF AND WHEN ANY ROOF ELEMENT IS CHANGE IN ANY WAY.
 6. SLEEVE, FIRESTOP, AND CAULK ALL PENETRATIONS OF FLOORS SO THAT ODORS AND/OR LIQUIDS WILL NOT PENETRATE THE SLAB. DO THE SAME IN FLOORS BETWEEN UNITS.
 7. G.C. IS TO PROVIDE LABELS AT COMMON WIRING THROUGHOUT TO IDENTIFY COMMON ELECTRICAL SERVICE.
 8. PROVIDE A FULL CLEANING, BROOM-SWEEP, OF BUILDING PRIOR TO OCCUPANCY.
 9. INCLUDE REPLACING ALL GWB/PLASTER. INCLUDE PAINTING ALL ROOMS AND CEILINGS.
 10. INCLUDE REWIRING BUILDING. INCLUDE NEW PANELS.
 11. REPLACE ANY DAMAGED PIPING, EQUIPMENT, OR MECHANICAL UNITS AS NEEDED.
 12. FOLLOW ALL APPLICABLE CODES AND REGULATIONS.
 13. WORK TO BE PERFORMED IN A PROFESSIONAL AND LAWFUL MANNER.
 14. WORKMANSHIP STANDARD OF CARE TO MEET INDUSTRY STANDARD/EXPECTATIONS.
 15. G.C. TO PROVIDE ALL NECESSARY PERMITS.
 16. G.C. TO CARRY ALL INSURANCE REQUIRED BY LAW; G.C. TO CARRY INSURANCE AS WOULD BE TYPICAL FOR THIS SCOPE OF WORK.

- LAYOUT:
- B)
1. LAYOUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONDITIONS IS SHOWN, U.N.O.
 2. DRAWINGS ARE NOT BE SCALED, DIMENSIONS GOVERN, IF DIMENSIONS ARE MISSING OR UNCLEAR, G.C. SHALL NOTIFY ARCHITECT FOR DIRECTION.
 3. G.C. TO VERIFY EXTENT OF WALL DAMAGE.
 4. G.C. TO VERIFY THAT ALL EXISTING DEMISING WALLS ARE PLUMB. IF NOT G.C. TO PROVIDE AND INSTALL FURRING AND GWB TO MAKE PLUMB.
 5. TYPICAL INTERIOR PARTITIONS ARE TYPE "A", UNLESS OTHERWISE NOTED TO MATCH EXISTING CONDITIONS
 6. PROVIDE CONVENIENCE ELECTRICAL OUTLETS EVERY 12 LINEAR FEET OF ROOM PERIMETER. PROVIDE GFCI OUTLETS @ 48" AFF IN BATHROOMS
 7. MATCH NEW LIGHTING WITH EXISTING AS MUCH AS POSSIBLE. PROVIDE ASSOCIATED SWITCHES

17. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED. - IRC R317
18. PROVIDE 1/2" AIRSPACE AT TOPS, SIDES, AND ENDS OF GIRDERS ENTERING EXTERIOR CONCRETE OR MASONRY WALLS UNLESS WOODS RESISTANT TO DECAY ARE USED. - IRC R317
19. NO WOOD SHALL BE NEARER THAN 8 INCHES TO EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3 INCHES IN THICKNESS WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN THE EARTH AND CONCRETE. THIS INCLUDES DECKS AND SIDINGS. - IRC R317
20. COMPOSITION SHINGLES SHALL NOT BE INSTALLED ON ROOFS HAVING A SLOPE LESS THAN 4 TO 12 UNLESS DOUBLE UNDERLAYMENT IS INSTALLED IN ACCORDANCE WITH IRC SECTION R905.2.2
21. ASPHALT SHINGLE, CLAY AND CONCRETE TILE, METAL SHINGLE, MINERAL-SURFACED WOOL ROOFING, SLATE AND SLATE-TYPE SHINGLE, WOOD SHINGLE, AND WOOD SHAKE ROOF MATERIALS REQUIRE AN ICE BARRIER THAT EXTENDS FROM THE EDGE OF THE EAVES TO A POINT NOT LESS THAN 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. -IRC R905
22. ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING. IRC R408.4. FOR ACCESS TO MECHANICAL EQUIPMENT IN THESE AREAS SEE IRC M1305.1.4
23. CROSS VENTILATION FOR ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS FOR EACH SEPARATE SPACE. VENTILATING OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED. THIS MAY BE REDUCED TO NOT LESS THAN 1 TO 300 IF: (1) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR (2) A 1 PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING. - IRC R806
24. UNVENTED CONDITIONED ATTIC ASSEMBLIES SHALL COMPLY WITH R806.5
25. MINIMUM 22" X 30" ATTIC ACCESS IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. - IRC R807. SEE M1305.1.3 FOR ACCESS TO FURNACES AND OTHER MECH. EQUIPMENT IN ATTICS.
26. EXTERIOR SIDING SHALL COMPLY WITH R703.11 AND TABLE R703.3(1)
27. MINIMUM 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE) OF ALL EXTERIOR WALLS AND ROOF CEILINGS. - IRC R702.7
28. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTIVE EXTERIOR WALL ENVELOPE. PROVIDE WEATHER-RESISTIVE BARRIER FLASHING DETAILS FOR WINDOWS, DOOR, AND OTHER OPENINGS IN THE BUILDING ENVELOPE, INCLUDE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALSO PROVIDE FLASHING DETAILS OVER DOORS, WINDOWS, SILLS, AT FOUNDATION, COLUMNS, AND OTHER LOCATIONS REQUIRING FLASHINGS. R703.1 AND R703.4
29. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBERED-CEMENT OR GLASS MAT GYPSUM BACKER
30. THE DRAWINGS THAT INSPECTIONS ARE REQUIRED FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICBO EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED. - IRC R109.1.5
31. WINDOW WELLS WILL PROVIDE A MINIMUM NET CLEAR OPENING OF 9 SQ FT WITH A MINIMUM DIMENSION OF 36 INCHES. SHOW A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44 INCHES DEEP. - IRC R310.2
32. SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE, AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST MEET SOME NEW REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST NOW BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE. R312.2
33. A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING / ROOF, WALLS, FOUNDATIONS (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES; U-FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS. THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. NOTE: THE LISTING WILL NOT ALLOW YOU TO DRILL OR MODIFY THE PANEL OR COVER IN ANY WAY ACCOMPLISH THIS. IRC N1101.10
34. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22 INCHES NET CLEAR OPENING. P2708.1.1
35. THE RISER HEIGHT SHALL BE NOT MORE THAN 8 1/4 INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES, AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A FOUR-INCH-DIAMETER SPHERE. R311.7.5.1
36. THE TREAD DEPTH SHALL BE NO LESS THAN NINE INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. R311.7.5.2
37. NOSINGS. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NOT GREATER THAN 9/16 INCH. A NOSING PROJECTION NOT LESS THAN 3/4 INCH AND NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH. R11.7.5.3

- COORDINATION:
- B)
1. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, NOTIFY OWNER IMMEDIATELY OF ANY MAJOR DISCREPANCIES
 2. G.C. TO COORDINATE ALL TRADES PRIOR TO COMMENCING ANY WORK
 3. G.C. TO NOTIFY OWNER AFTER LAYOUT AND PRIOR TO FRAMING IF: DIMENSION LABELED +/- VARIES MORE THAN 2" FROM ACTUALLY FIELD MEASUREMENT, ANY DISCREPANCY, OMISSION OR UNANTICIPATED FILED CONDITION ALTERS THE INTENT OF THESE DRAWINGS, ANY DIMENSIONS LABELED "MIN" CANNOT BE ACHIEVED
 4. G.C. SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, OWNER AND OWNER'S CONTRACTORS UPON REQUEST
 5. G.C. SHALL BE RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED TO INSTALL NEW FLOORING TO MANUFACTURER'S SPECIFICATIONS
 6. G.C. TO COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS.
 - G.C. TO SCHEDULE DELIVERY/ INSTALLATION DATES AT THE BEGINNING OF THE JOB TO GUARANTEE COMPLIANCE WITH CONSTRUCTION SCHEDULE
 7. WHEN IN DOUBT, CONSULT WITH ARCHITECT/OWNER PRIOR TO ANY ACTION

1. ALL HABITABLE ROOMS, EXCEPT KITCHENS, ARE TO HAVE AN AREA OF NOT LESS THEN 70 SQ FT WITH A MINIMUM OF 7 FT IN ANY DIMENSION. - IRC R304
2. MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. - IRC R303
3. WHERE THE AIR INFILTRATION RATE OF A DWELLING UNIT IS 5 AIR CHANGES PER HOUR OR LESS WHERE TESTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCH W.C. (50 PA) IN ACCORDANCE WITH SECTION N1102.4.1.2, THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE-HOUSE MECHANICAL VENTILATION IN ACCORDANCE WITH SECTION M1507.3 - IRC R303.4
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5. MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 10 FEET FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS. EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. - IRC R303.5
6. HABITABLE SPACE AND HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS, AND HABITABLE SPACE IN BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET, 8 INCHES. - R305.1
7. EMERGENCY EGRESS FOR BASEMENTS WITH HABITABLE SPACE AND EACH SLEEPING ROOM: AN EXTERIOR DOOR OR WINDOW WITH A FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR, MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ FT, MINIMUM NET CLEAR OPERABLE WIDTH OF 20" AND MINIMUM NET CLEAR OPERABLE HEIGHT OF 24". GRADE FLOOR OPENINGS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ FT. - IRC R310
8. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. - IRC TABLE R308.3
9. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT OF STAIRS, OR GLAZING WITHIN 5 FT OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. - IRC R308
10. NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD ON THE CEILING. - IRC R309.2 AND R302.6
11. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1-3/8" THICK SOLID CORE OR 20 MINUTE RATED. DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. ELECTRICAL PANELS PENETRATING THE GARAGE SIDE GYPSUM BOARD MEMBRANE SHALL BE WRAPPED WITH 5/8" TYPE X GYPSUM BOARD ON THE TOP, BOTTOM, SIDES, AND BACK. - IRC R302.5.1
12. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. - IRC 311.7.1
13. THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. - IRC R311.7
14. ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES, AND PORCHES MORE THAN 30 INCHES ABOVE GRADE, AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. - IRC R312
15. THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. - IRC R311.7.2
16. LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. - IRC R311

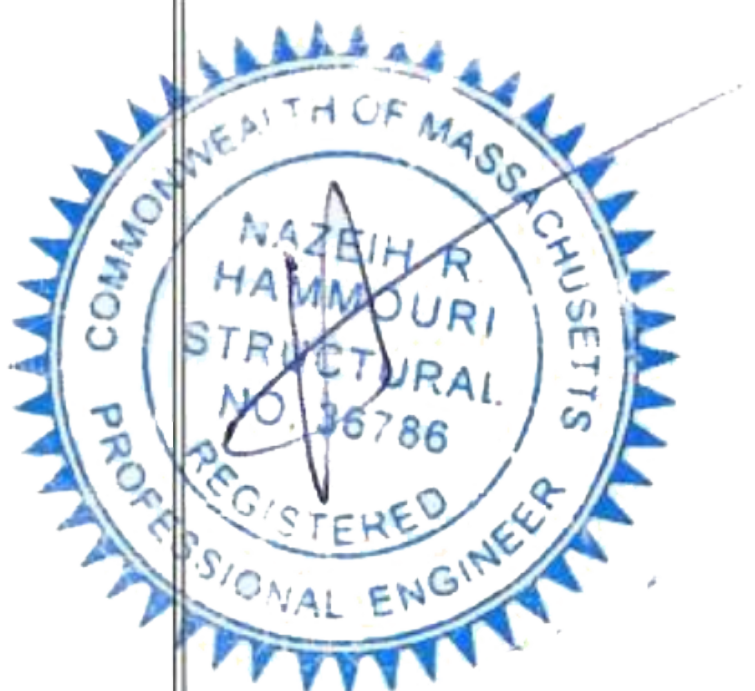
IRC N1102 TABLE N1102.1.2
INSULATION AND FENESTRATION REQUIREMENTS

CLIMATE ZONE	5
SKYLIGHT(B) U-FACTOR	0.55
GLAZED FENESTRATION U-FACTOR	0.30
GLAZED FENESTRATION SHGC	NR
CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	20 OR 13+5 (H)
MASS WALL R-VALUE (K)	13/17
FLOOR R-VALUE	30 (G)
BASEMENT WALL(C) FLOOR	15/19
BASEMENT SLAB(D) AND DEPTH R-VALUE	10, 2FT
CRAWL WALL SPACE (C) R-VALUE	15/19

- FOR S1: 1 FOOT = 304.8 MM.
- A) R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
- B) THE FENESTRATION, EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30
- C) "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- D) R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN CLIMATE ZONES 1 THROUGH 3 FOR HEATED SLABS.
- E) THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.
- F) BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301.1 AND TABLE R301.1
- G) OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM
- H) FIRST VALUE IS CAVITY INSULATION. SECOND IS CONTINUOUS INSULATION OR INSULATED SIDING. SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION OR INSULATED SIDING. IF STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF THE EXTERIOR, CONTINUOUS INSULATION R-VALUE SHALL BE PERMITTED TO BE REDUCED BY NO MORE THAN R-3 IN THE LOCATIONS WHERE STRUCTURAL SHEATHING IS USED. TO MAINTAIN A CONSISTENT TOTAL SHEATHING THICKNESS.
- I) THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.



1680 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138



No.	Description	Date

Scale: 1" = 1'-0"

Date: 07/28/21

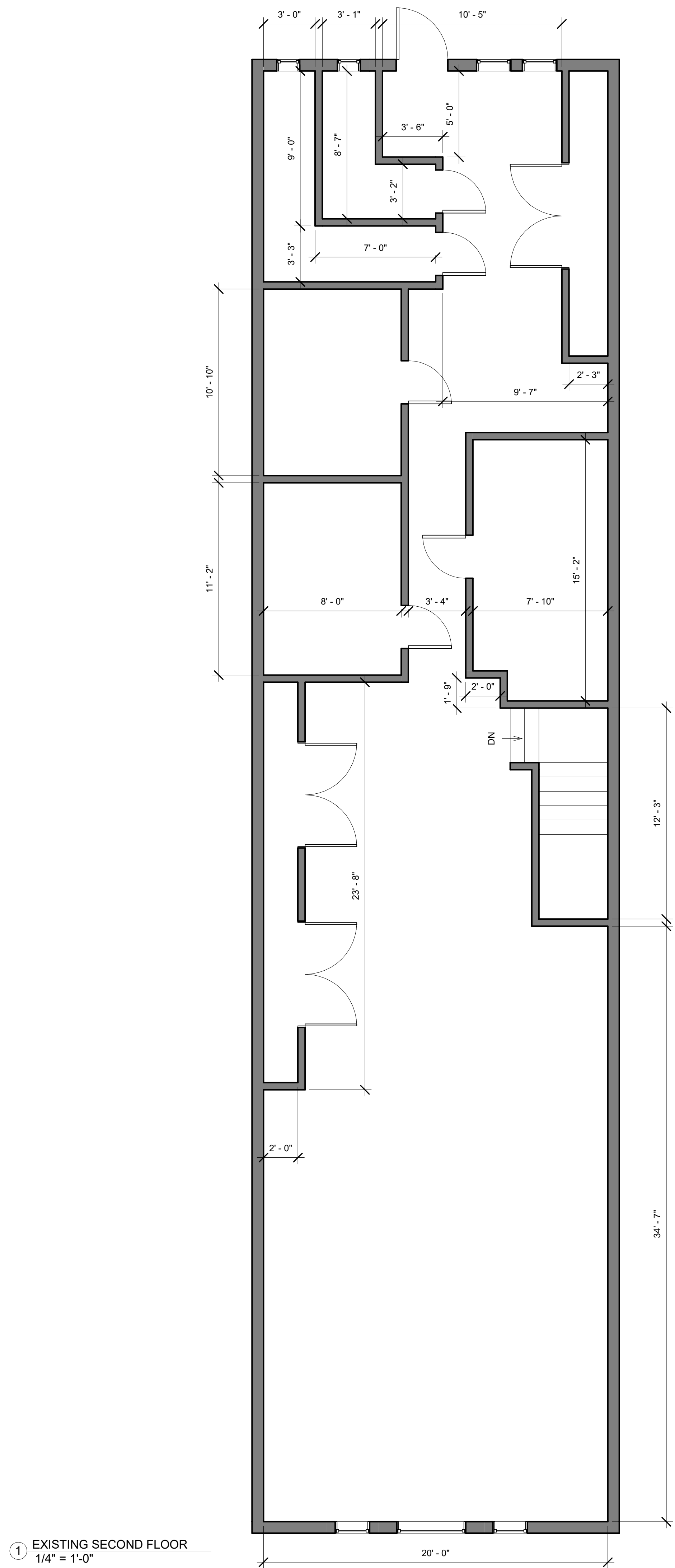
Drawn By: SLHG

Drawing Name

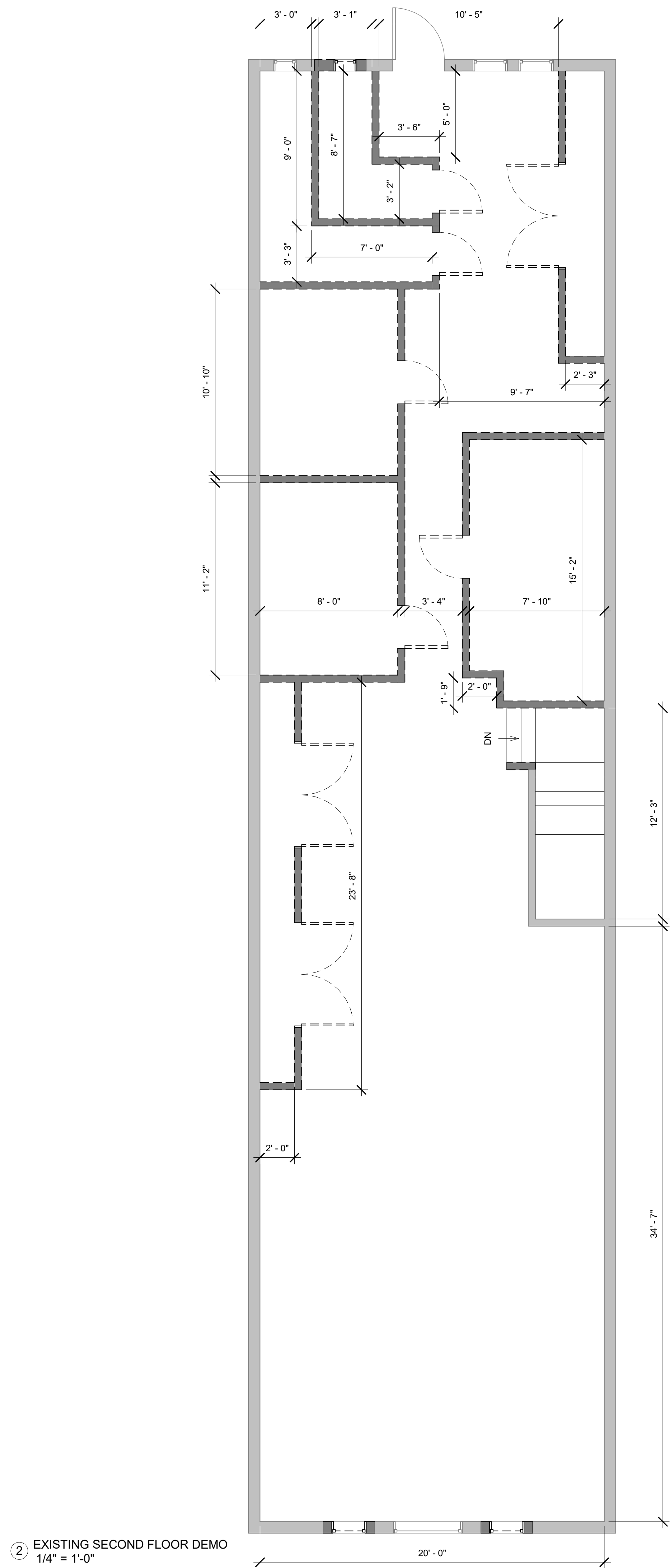
GENERAL
NOTES

Sheet No.

A101



① EXISTING SECOND FLOOR
1/4" = 1'-0"



② EXISTING SECOND FLOOR DEMO
1/4" = 1'-0"

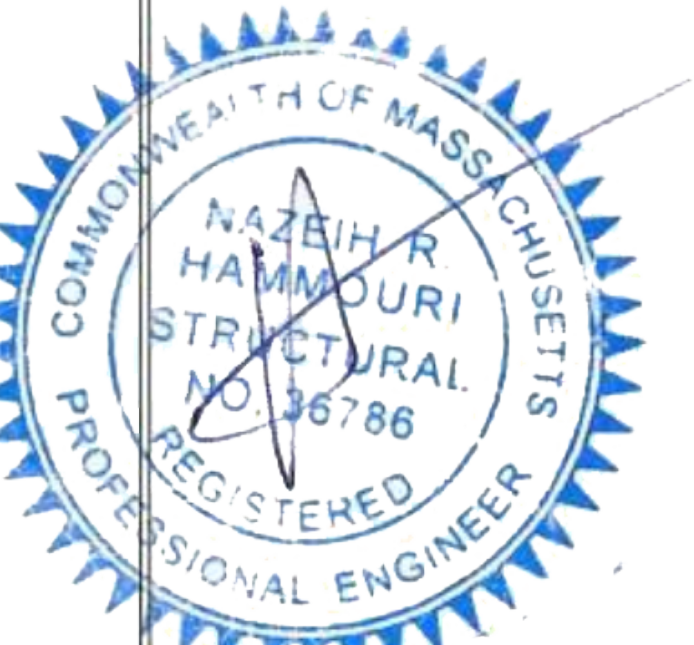


MAIN ENTRY - REPLACE DOOR AND
TRANSOM WINDOW - PAINT ENTRY

- Legend:
- = PROPOSED
 - = EXISTING
 - = DEMO
 - S = SMOKE ALARM
 - SC = SMOKE / CARBON ALARM
 - LEGEND
1/4" = 1'-0"



1680 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138



No.	Description	Date

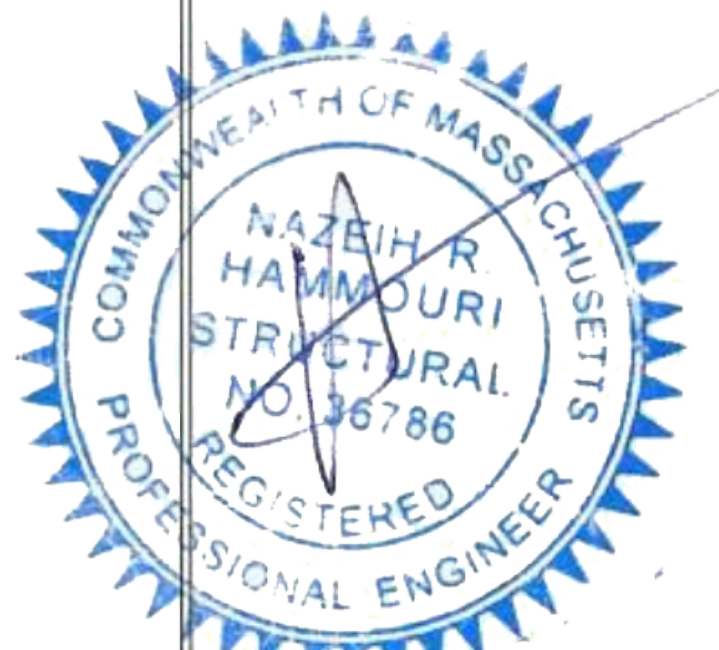
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Date: 07/28/21
Drawn By: SLHG

Drawing Name
EXISTING PLANS

Sheet No.
A102



1680 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138



No.	Description	Date

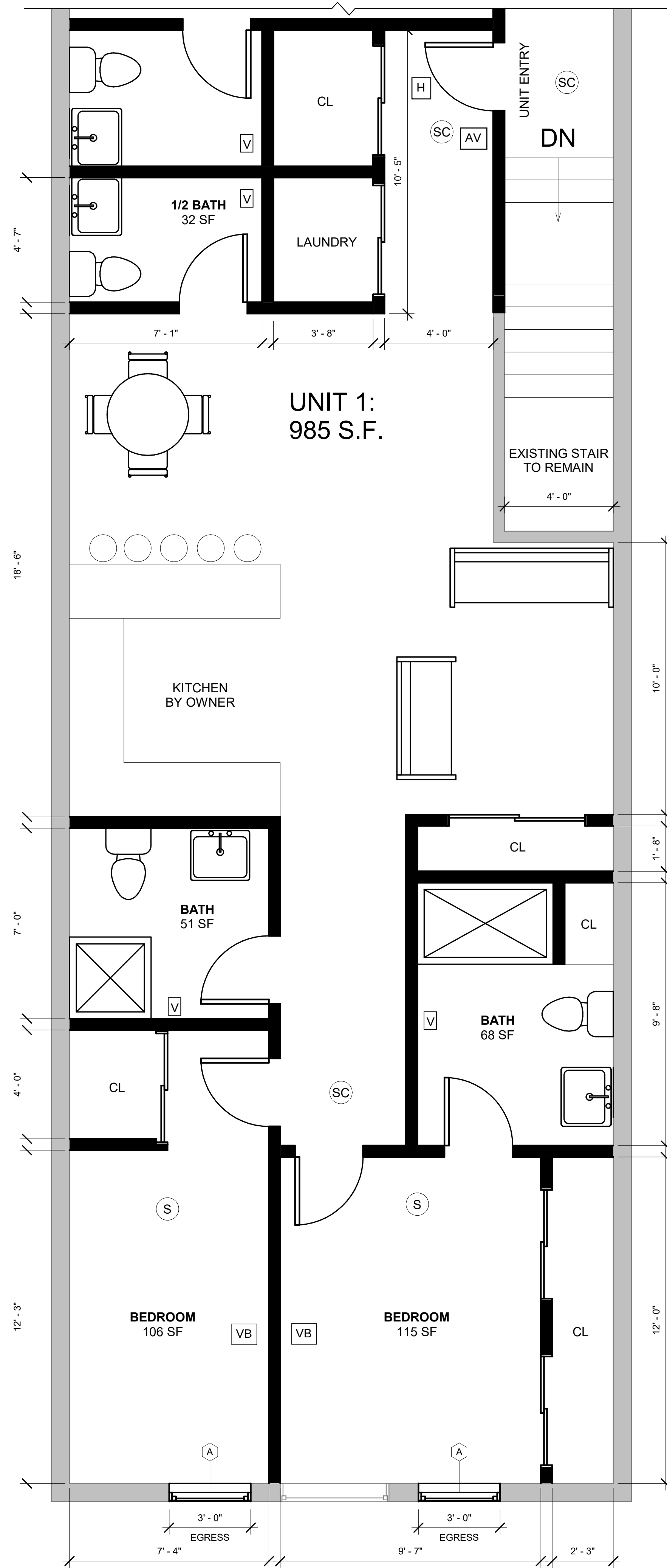
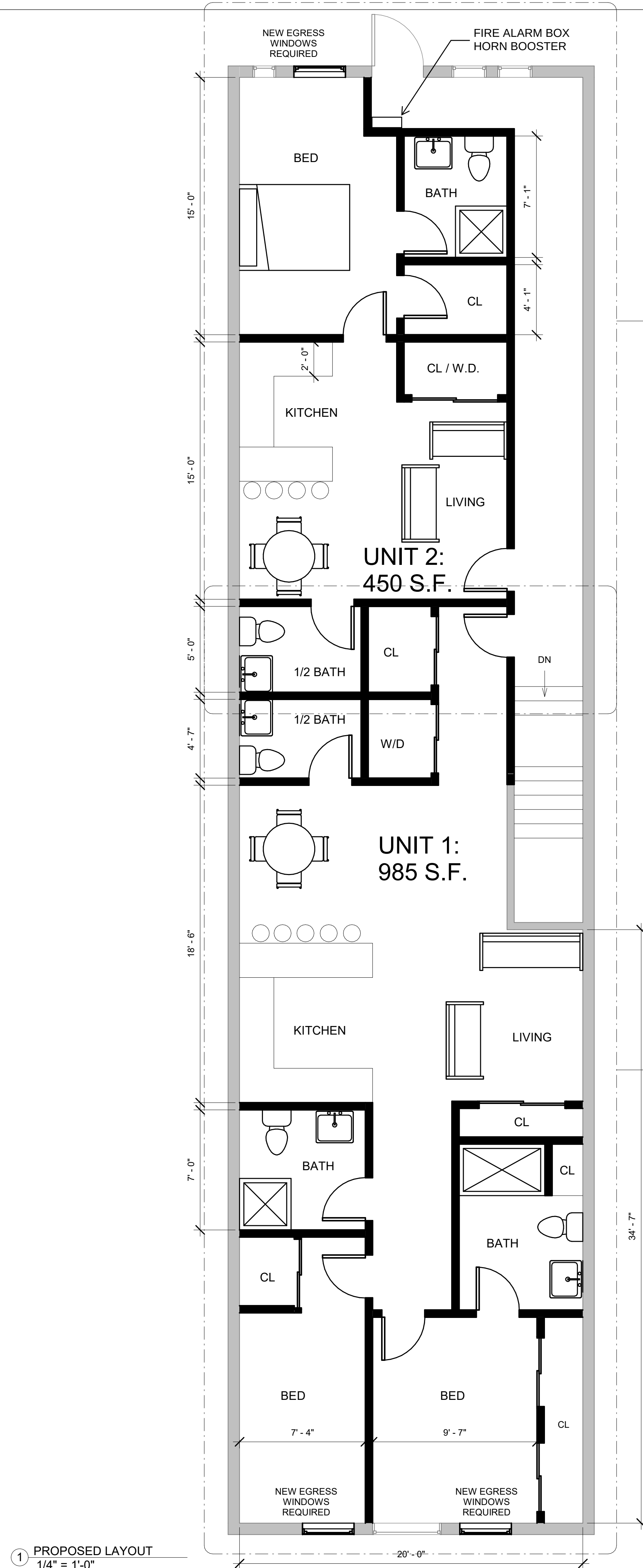
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Date: 07/28/21
Drawn By: SLHG

Drawing Name

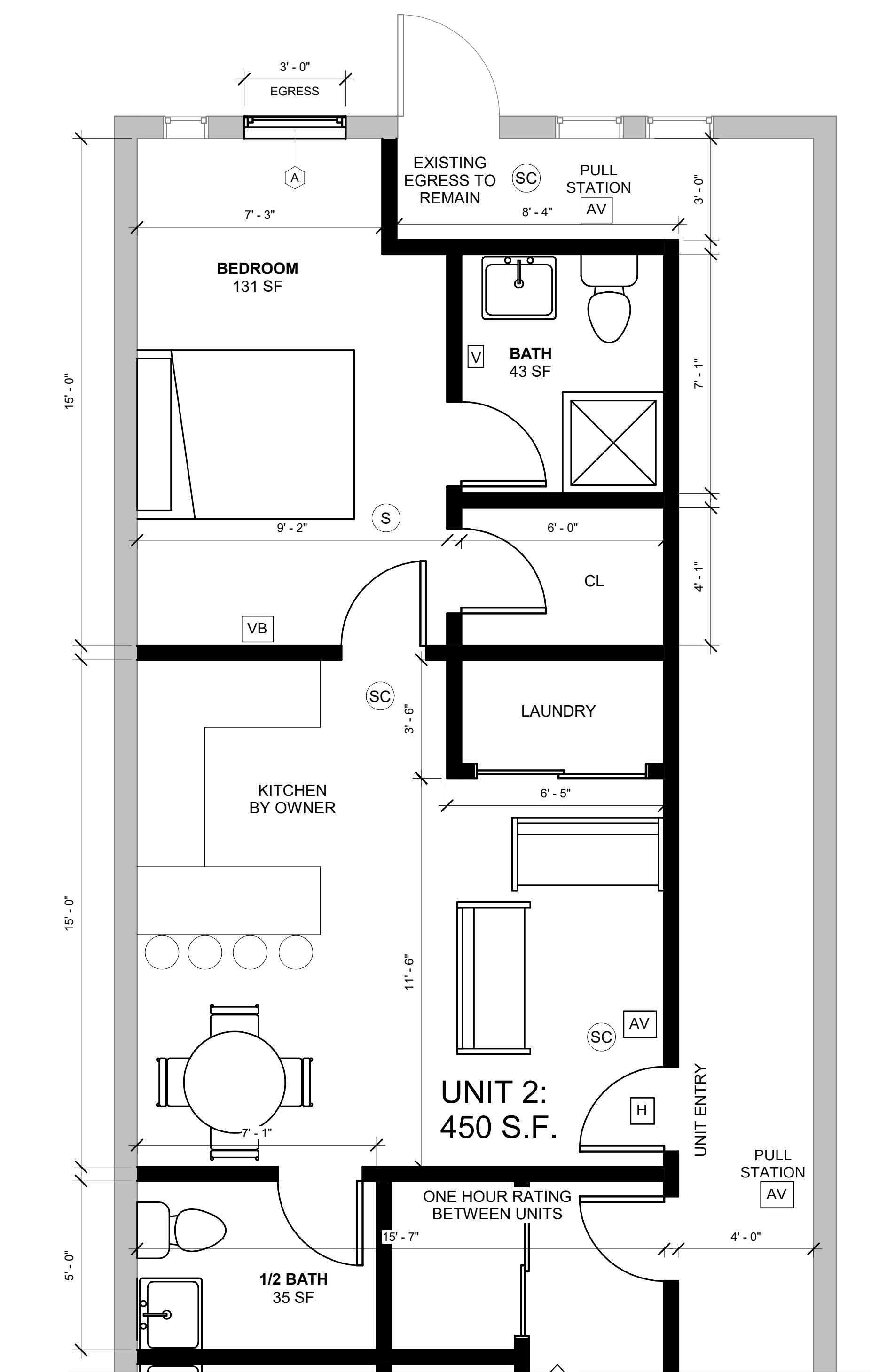
PROPOSED
PLANS

Sheet No.

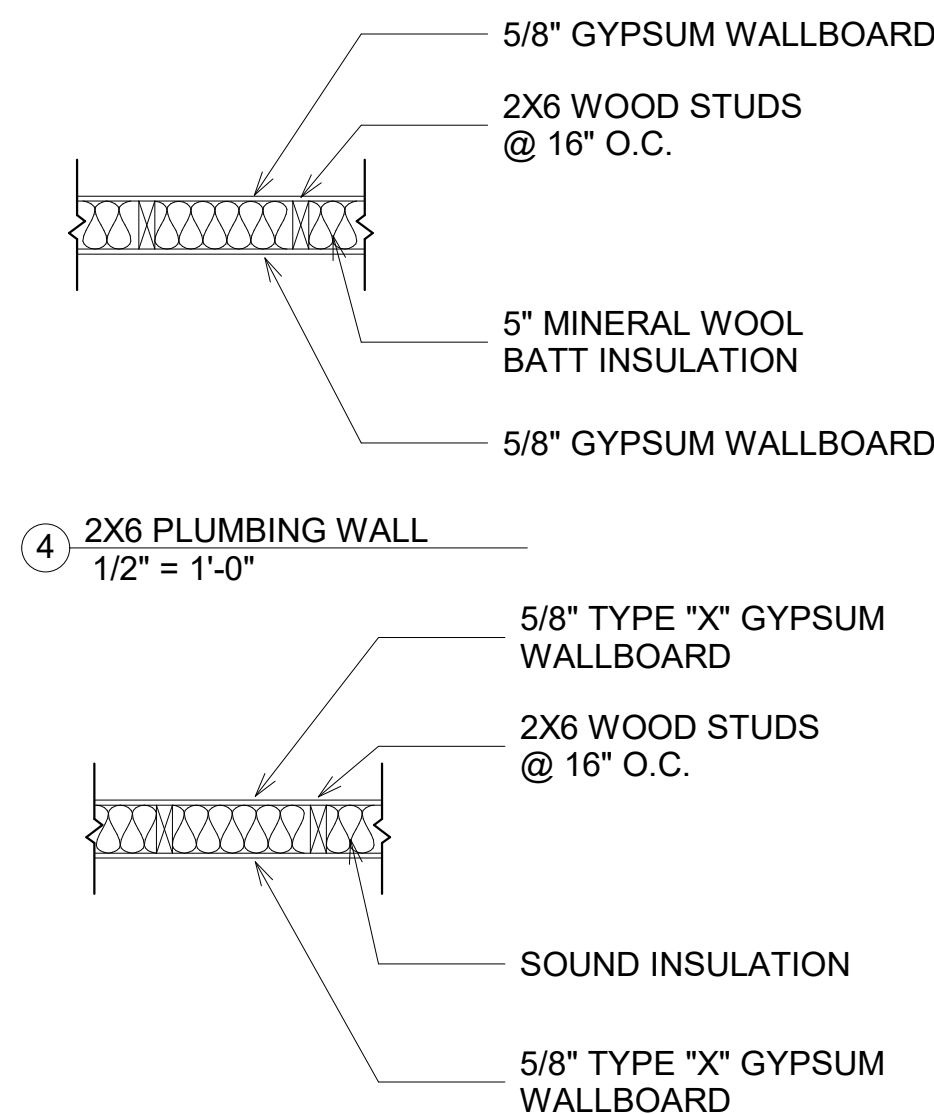
A103



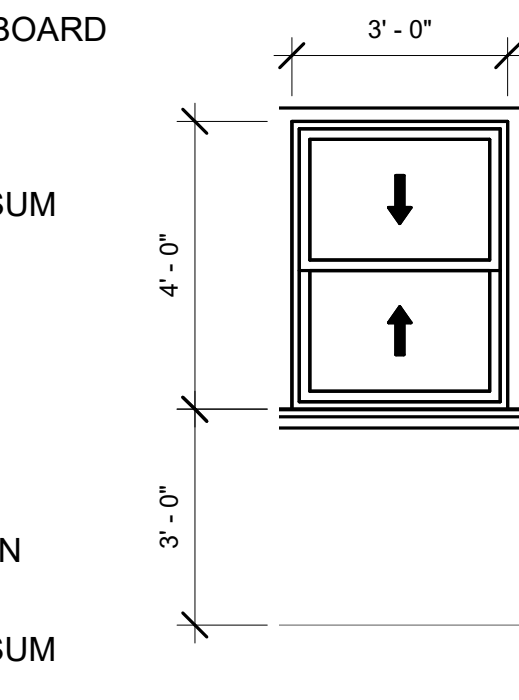
NOTE: EXISTING SKYLIGHTS TO REMAIN



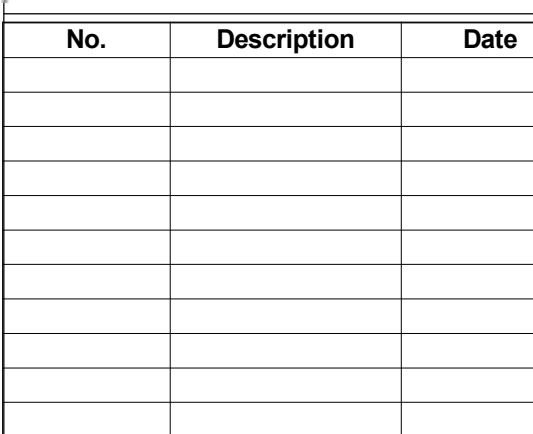
3 UNIT ONE LAYOUT
3/8" = 1'-0"



5 1 HOUR RATED PARTITION
1/2" = 1'-0"



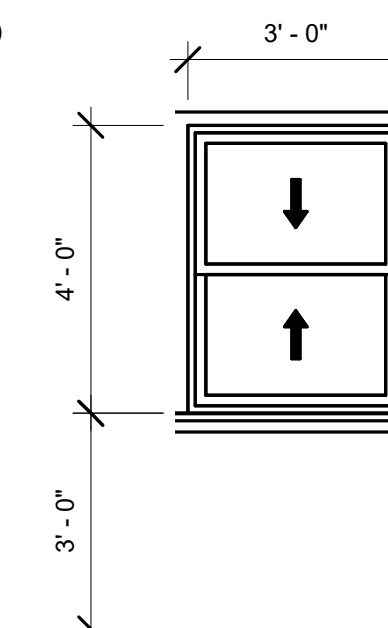
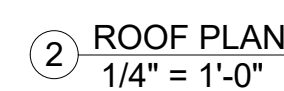
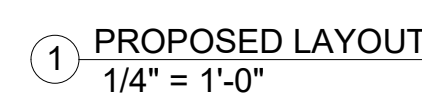
- H = HEAT DETECTOR
190 F RATE OF RISE
- A / V = AUDIO VISUAL HORN / STROBE
- V = VISUAL UNIT STROBE
- V8 = VISUAL BUZZER F.A.
- = PROPOSED
- = EXISTING
- = DEMO
- S = SMOKE ALARM
- SC = SMOKE / CARBON ALARM
- LEGEND
1/4" = 1'-0"



Drawing Name

Sheet No.

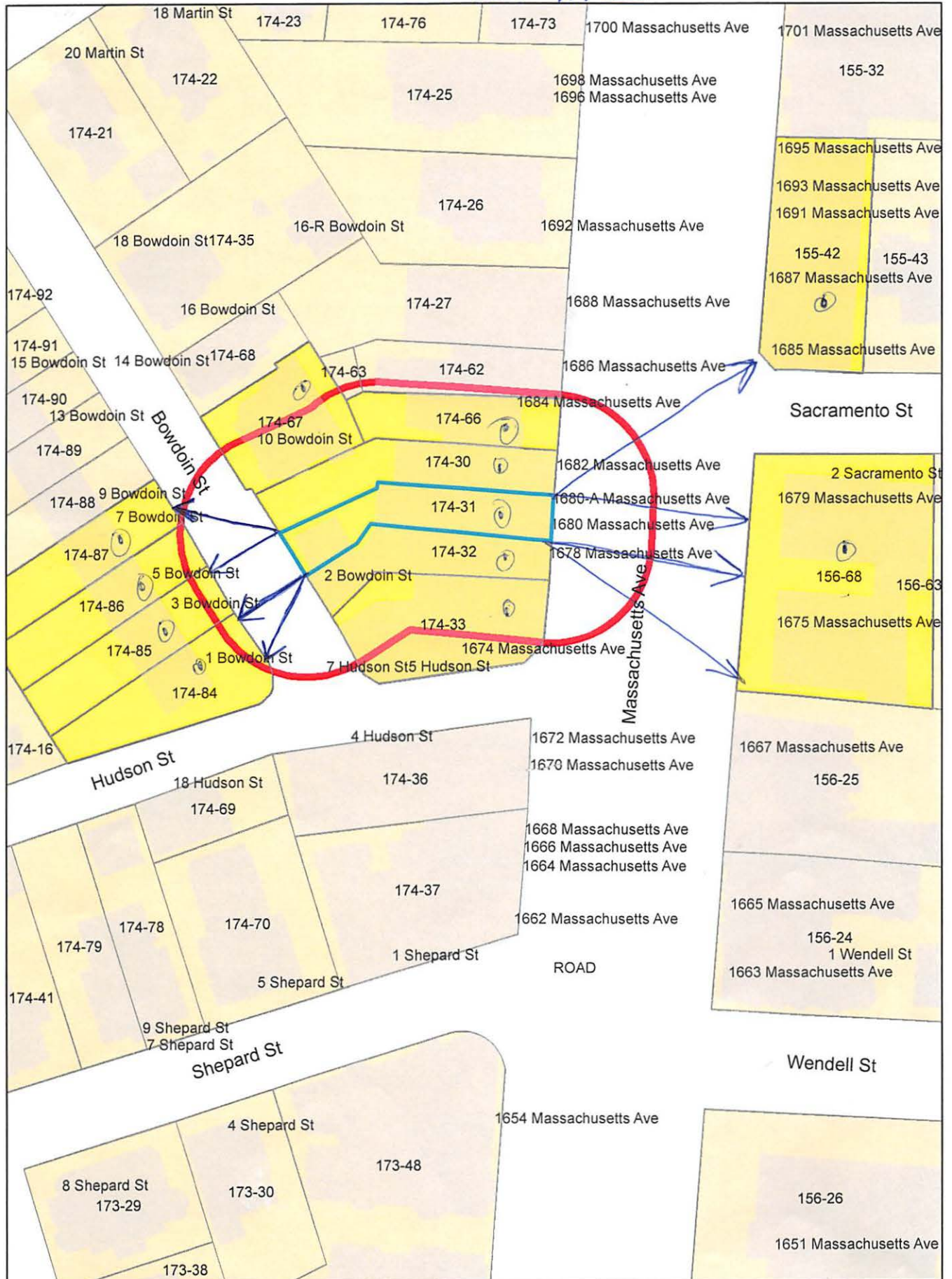
R103



 = PROPOSED
 = EXISTING
 = DEMO
 = SMOKE ALARM
 = SMOKE / CARBON ALARM

LEGEND
 1/4" = 1'-0"

1680-A Mass Ave



1680-A Mass Ave

174-33
STONE INVESTMENT HOLDING LLC,
9 SHEPARD ST.
CAMBRIDGE, MA 02138

155-42
1685 MASS AVE LLC
626 MAIN ST
ACTON, MA 01720

Rektiner
JAMES J. RAFFERTY, ESQ.
907 MASS AVENUE
CAMBRIDGE, MA 02139

174-87
SCHNOPPER, JANET M. % JANET M. KING
7 BOWDOIN STREET
CAMBRIDGE, MA 02138-1705

156-68
ROSE REALTY LLC,
1675 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

174-30
EMPR, LLC,
1682 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

174-66
MABARDI, PETER M. TRUSTEE OF 1684
MASSACHUSETTS AVENUE REAL ESTATE TR.
1684 MASSACHUSETTS AVE.
CAMBRIDGE, MA 02138

174-85
PATEL, BHUPESH D.& NANCY A. KRAMER
3 BOWDOIN ST
CAMBRIDGE, MA 02138

174-67
PAXMAN, JOHN M.
10 BOWDOIN STREET, UNIT #3
CAMBRIDGE, MA 02138

174-67
LANDAU, SUSAN E. TRUSTEE OF THE SUSAN E.
LANDAU REVOCABLE TRUST
37 HILLCREST PL
AMHERST, MA 01002

174-67
ALECKOVIC, MASA
72 FARRAGUT AVE
SOMERVILLE, MA 02144

174-32
1678 MASS AVE LLC C/O ORIENTAL FURNITURE
68 MOULTON STREET 3RD FLOOR
CAMBRIDGE, MA 02138

174-67
MARIANO, GIORGIO
10 BOWDOIN ST 1
CAMBRIDGE, MA 02138

174-84
HSU, PHILP S. & ESTHER RHEINBAY
1 BOWDOIN ST
CAMBRIDGE, MA 02138

174-67
PILGRIM CAROL R
10 BOWDOIN ST - UNIT 4
CAMBRIDGE, MA 02138

174-31
KAVERI'S PROPERTIES LLC
144 WOBURN ST
LEXINGTON, MA 02430

174-67
LEVY, OFER & SHARON LEVY
65 ORCHARD ST
CAMBRIDGE, MA 02140

174-86
BIGELOW, JOHN & SHULI BIGELOW
5 BOWDOIN ST
CAMBRIDGE, MA 02138