

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 JAN 21 PM 8:04

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 159906

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: BERKMAR, LLC, C/O Paul Rungta of Brooklyn Bagel Factory

PETITIONER'S ADDRESS: 114 Magazine Street, Cambridge, MA 02139

LOCATION OF PROPERTY: 168 Hampshire St., Cambridge, MA

TYPE OF OCCUPANCY: Drycleaner / Vacant

ZONING DISTRICT: Business A Zone

REASON FOR PETITION:

/Change in Use/Occupancy/

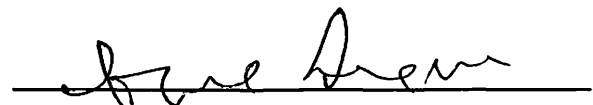
DESCRIPTION OF PETITIONER'S PROPOSAL:

Please consider to change to Zoning so that I can open a Bagel Shop

SECTIONS OF ZONING ORDINANCE CITED:

Article: 4.000 Section: 4.35(o) (Fast Order Food Establishment).
Article: 10.000 Section: 10.40 (Special Permit).
Article: 11.000 Section: 11.30 (Fast Order Food Establishment).

Original
Signature(s):


(Petitioner (s) / Owner)

Gopal Rungta
(Print Name)

Address:

129 Franklin St #112 Cambridge

Tel. No.

8572460966

MA 02139

E-Mail Address:

brooklynbagelfactory@gmail.com

Date: 01/19/22

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

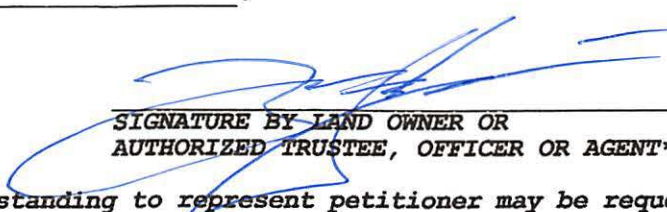
I/We Berkmar LLC c/o NCP Management
(OWNER)

Address: 716 Beacon St #590179 Newton, MA

State that I/We own the property located at 168 Hampshire St,
which is the subject of this zoning application.

The record title of this property is in the name of Berkmar LLC

*Pursuant to a deed of duly recorded in the date 10/24/14, Middlesex South
County Registry of Deeds at Book 64411, Page 302; or
Middlesex Registry District of Land Court, Certificate No. 162924
Book _____ Page _____.

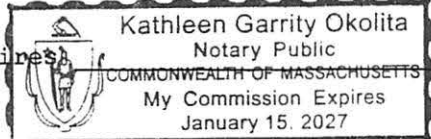

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Zachary Sambucci personally appeared before me,
this 13th of January, 2022, and made oath that the above statement is true.


Notary

My commission expires  (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 168 Hampshire St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

There is no change to the dwelling / building or structure . Proposing a small Bagel shop with no Hood in existing structure / shop . I am a Cambridge resident and lost two restaurants due to covid in Cambridge . Brooklyn Bagel Factory will be a high class Bagel shop for locals by a local .

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Our concept is Online ordering and mostly pick up or delivery . We have some seating for the patrons who wants to grab a bite and finish there home work . Our concept will not bring any congestion and it will not bring any changes to the character of neighborhood .

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

No it will not

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No it will not

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

No it will not

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: BERKMAR, LLC.
Location: 168 Hampshire St., Cambridge, MA
Phone: 8572460966

Present Use/Occupancy: Drycleaner / Vacant
Zone: Business A Zone
Requested Use/Occupancy: Bagel Shop

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		840	840	840	(max.)
<u>LOT AREA:</u>		840	840	840	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		n/a	n/a	n/a	
<u>LOT AREA OF EACH DWELLING UNIT</u>		n/a	n/a	n/a	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	n/a	n/a	n/a	
	<u>DEPTH</u>	n/a	n/a	n/a	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	n/a	n/a	n/a	
	<u>REAR</u>	n/a	n/a	n/a	
	<u>LEFT SIDE</u>	n/a	n/a	n/a	
	<u>RIGHT SIDE</u>	n/a	n/a	n/a	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	n/a	n/a	n/a	
	<u>WIDTH</u>	n/a	n/a	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		vacant 840 sq ft shop	bagel shop	Change of Zoning	
<u>NO. OF DWELLING UNITS:</u>		n/a	n/a	n/a	
<u>NO. OF PARKING SPACES:</u>		6	6	n/a	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		n/a	n/a	n/a	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

n/a

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AWS	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
AB	AND	MID	MIDDLE
& OR ⌘	APPROXIMATELY	MID-PT	MID-POINT
APPROX	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
ARCH	AT	MISC	MISCELLANEOUS
@			
		NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BAL	BALANCE		
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET		
BLDG	BUILDING	OC	ON CENTER
		OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
⌚	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR		
COL	COLUMN	P.T.	PRESSURE TREATED
CONC	CONCRETE	PT	POINT
CMU	CONCRETE MASONRY UNIT	PTD	PAINTED
CONST	CONSTRUCTION	PTB	POST-TENSIONED BAR
CONSTJT OR ⌚	CONSTRUCTION JOINT	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CJ	CONTROL JOINT	PVC	POLYVINYL CHLORIDE
		P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR □	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING
DN	DOWN		OR REINFORCEMENT
DWG	DRAWING	REQD	REQUIRED
		RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⊕	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING		
EXP BOLT	EXPANSION BOLT	SPECS	SPECIFICATIONS
EJ OR EXP JT	EXPANSION JOINT	SPKR	SPRINKLER
EXT	EXTERIOR	SQ	SQUARE
		STN STL	STAINLESS STEEL
		STD	STANDARD
FF	FINISH FACE	STL	STEEL
FT	FEET OR FOOT	ST STL	STAINLESS STEEL
FIN	FINISH	STRUCT	STRUCTURAL
FIN FL	FINISHED FLOOR	SYM	SYMMETRICAL
FPRF	FIREPROOF		
FL	FLOOR	TEMP	TEMPERATURE OR
FD	FLOOR DRAIN		TEMPORARY
FTG	FOOTING	THK	THICK OR THICKNESS
FDN	FOUNDATION	x	TIMES OR BY
GA	GAGE OR GAUGE	TO	TOP OF
GALV	GALVANIZED	T & B	TOP AND BOTTOM
GWB or GYP	GYP SUM WALL BOARD	TOC	TOP OF CURB or CONCRETE
HGT	HEIGHT	TOS	TOP OF STEEL
H OR HORIZ	HORIZONTAL	TOW	TOP OF WALL
		TYP	TYPICAL
IN	INCH		
INFO	INFORMATION	UNO	UNLESS NOTED OTHERWISE
INCL	INCLUDING OR INCLUSIVE	V OR VERT	VERTICAL
ID	INSIDE DIAMETER	VIF	VERIFY IN FIELD
IF	INSIDE FACE		
INSUL	INSULATION	W	WEST
INT	INTERIOR	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INV	INVERT		WITH
JT	JOINT	W/	WITHOUT
		W/O	WITHOUT
LWC	LIGHT WEIGHT CONCRETE	WP	WORKING POINT
LBS	POUNDS		

BROOKLYN BAGEL FACTORY RETAIL FIT-UP

168 Hampshire Street, Cambridge MA 02139

CODE REVIEW

- I. APPLICABLE CODES:
A. 2015 IBC - 780 CMR 9TH EDITION
B. 2015 IMC - MASSACHUSETTS MECHANICAL CODE
C. 248 CMR - MASSACHUSETTS PLUMBING CODE
D. 527 CMR - MASSACHUSETTS FIRE PREVENTION & ELECTRIC CODE
E. NFPA 13, 14 & 72
F. 521 CMR - MASSACHUSETTS ARCHITECTURAL ACCESS BOARD

III. SECTION 3 - USE GROUP CLASSIFICATION

SECTION 303.3 -
PROPOSED USE - ASSEMBLY A2

TABLE 1004.1.2 - OCCUPANT LOAD
STANDING SPACE UNCONCENTRATED (TABLES & CHAIRS) - 15 NSF/PERSON
AREA = 350 NSF
MAX DINING ROOM OCCUPANCY = 23.3
DESIGNED OCCUPANCY = 16
KITCHENS, COMMERCIAL - 200 GSF/PERSON
AREA = 457GSF
MAX KITCHEN OCCUPANCY = 2.2
DESIGNED OCCUPANCY = 2
TOTAL ALLOWED OCCUPANCY LOAD = 25.5
TOTAL DESIGNED OCCUPANCY LOAD = 18

IV. SECTION 6 - CONSTRUCTION CLASSIFICATION

SECTION 602.2 - TYPE 2B CONSTRUCTION

VII. SECTION 10 - MEANS OF EGRESS:

TABLE 1006.2.1 - SPACES W/ ONE EXIT OR EXIT ACCESS DOORWAY
USE GROUP A2:
MAX OCC: 49
PROPOSED: <49
MIN TRAVEL DISTANCE (SPRINKLED): 75'
PROPOSED = 48'
TABLE 1020.2 MINIMUM CORRIDOR WIDTH
OCCUPANT LOAD <50 = 36" MIN

VIII. CMR 248, SECTION 10.10 PLUMBING FIXTURE COUNT FOR UNISEX RESTROOM

BASED ON ACTUAL OCCUPANCY OF 53 MAX PERSONS/FLOOR

	WOMEN	MEN	PROVIDED
WC	1/30 = 1 REQ'D	1/60 = 1 REQ'D	1
URINAL	N/A	50% = <1 REQ'D	0
LAV	1/75 = 1 REQ'D	1/75 = 1 REQ'D	1
SERVICE SINK	1		1

GENERAL NOTES

1. WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
2. CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR:
A. ALL ELECTRICAL WORK & ANY REQUIRED LIGHTING TO MAINTAIN w/sf REQUIREMENTS FOR THE PROPOSED USE.
B. ASSESSMENT OF EXISTING FIRE ALARM, SMOKE ALARMS, STROBES AND PULL STATIONS FOR COMPLIANCE WITH NFPA 70 AND NFPA 72.
3. CONTRACTOR SHALL ENGAGE A LICENSED FIRE PROTECTION CONTRACTOR TO ASSESS AND RE-ENGINEER FIRE SPRINKLER SYSTEM AS REQUIRED AND IN COMPLIANCE WITH CHAPTER 9 OF THE 2015 IBC AND AS REQUIRED BY 780CMR 107.2.2
4. CONTRACTOR SHALL ENGAGE A LICENSED MECHANICAL CONTRACTOR FOR ALL FOR ANY ALTERATIONS TO MECHANICAL AND DUCT SYSTEMS. WORK SHALL COMPLY WITH REQUIREMENTS THE 2015 IMC
5. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
6. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
7. CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
8. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
9. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
10. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
11. DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	FLOOR PLANS & ELEVATIONS

ARCHITECT
S47|a
studio47 architects, inc
517 boston post rd
suite #30
sudbury, ma 01776
p: 508.500.4730
www.s47a.com

PROJECT:
Brooklyn Bagel
Factory Retail Fit-Up

168 Hampshire Street
Cambridge MA 02139

CLIENT:
Cafe Spice MIT, Inc
100 Memorial Dr
Suite 2-2A
Cambridge, MA 02142

PROJECT TEAM:

REVISIONS:

DRAWING TITLE:

TITLE SHEET

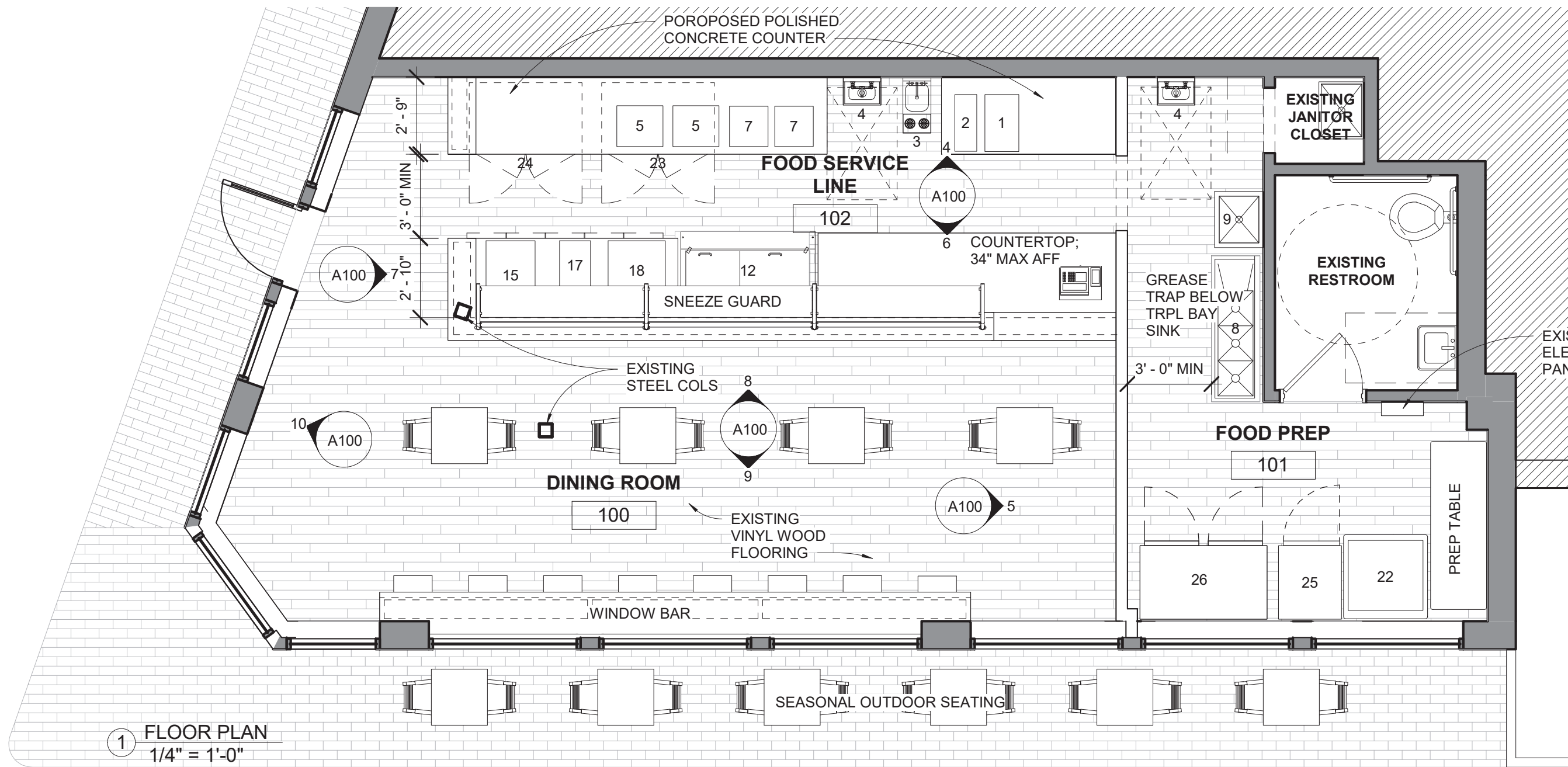
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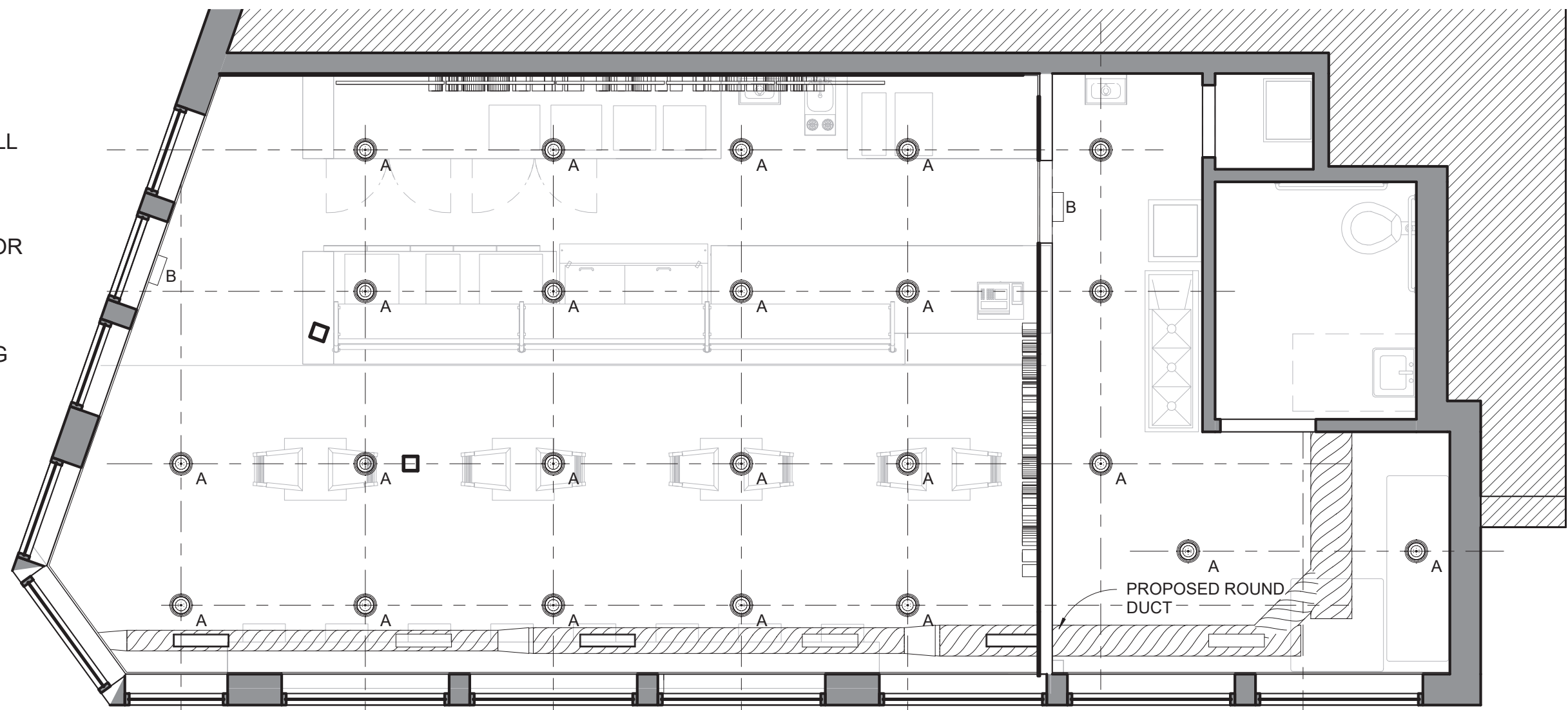
November 17, 2021
DATE OF ISSUE
PERMITTING
DOCUMENT PHASE
As indicated
SCALE
2117.00
PROJECT #

DRAWING NUMBER:

A000



- SYMBOL LEGEND**
- EXISTING WALL
 - PROPOSED WALL
 - PROPOSED DOOR
 - SHEET #
 - ELEVATION TAG
 - VIEW #



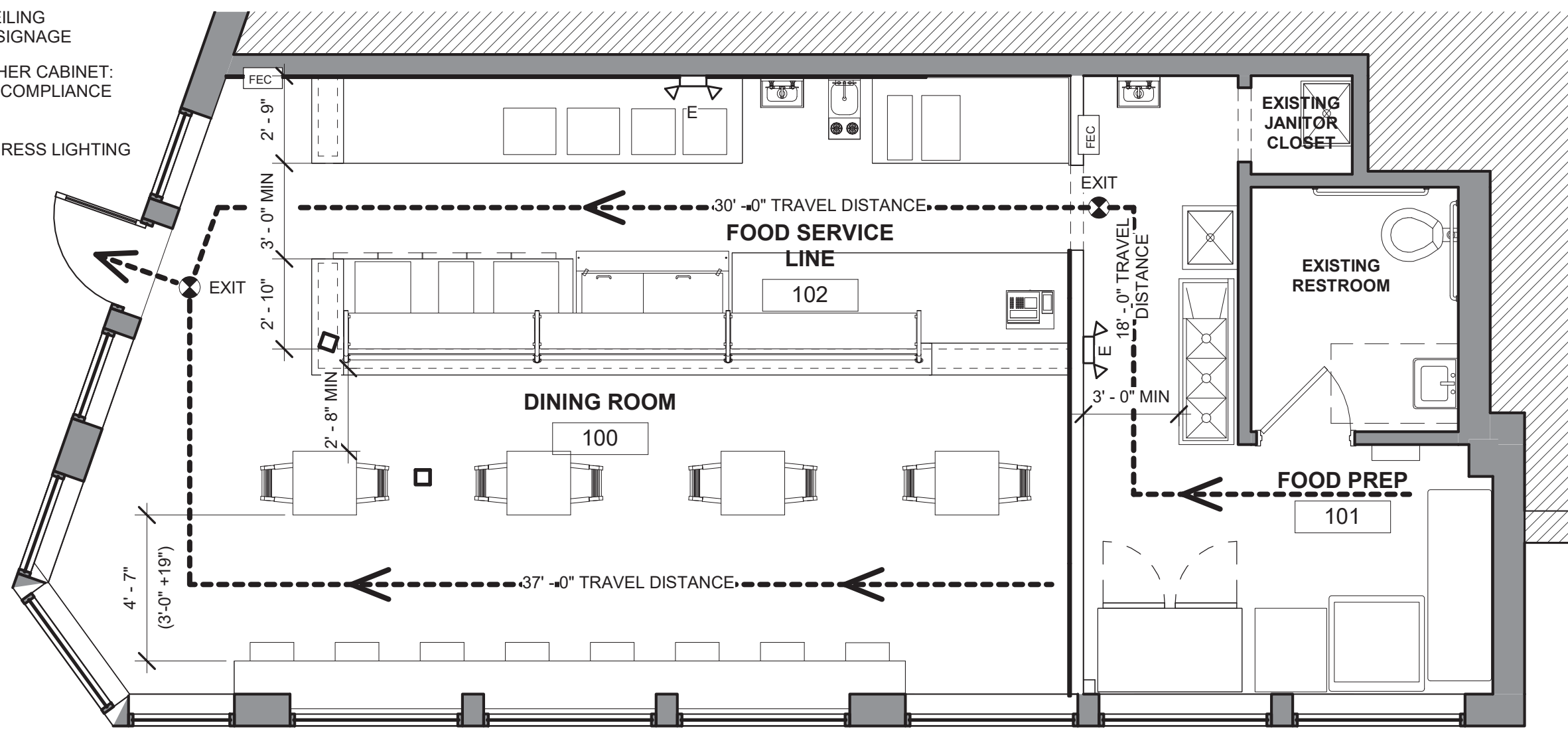
LIGHTING FIXTURE SCHEDULE				
MARK	MFR	MODEL	Count	COMMENTS
A	BEL AIR LIGHTING	PND-1005-WB	23	
B	CHLORIDE	46 SERIES LED	2	

1 FLOOR PLAN
1/4" = 1'-0"

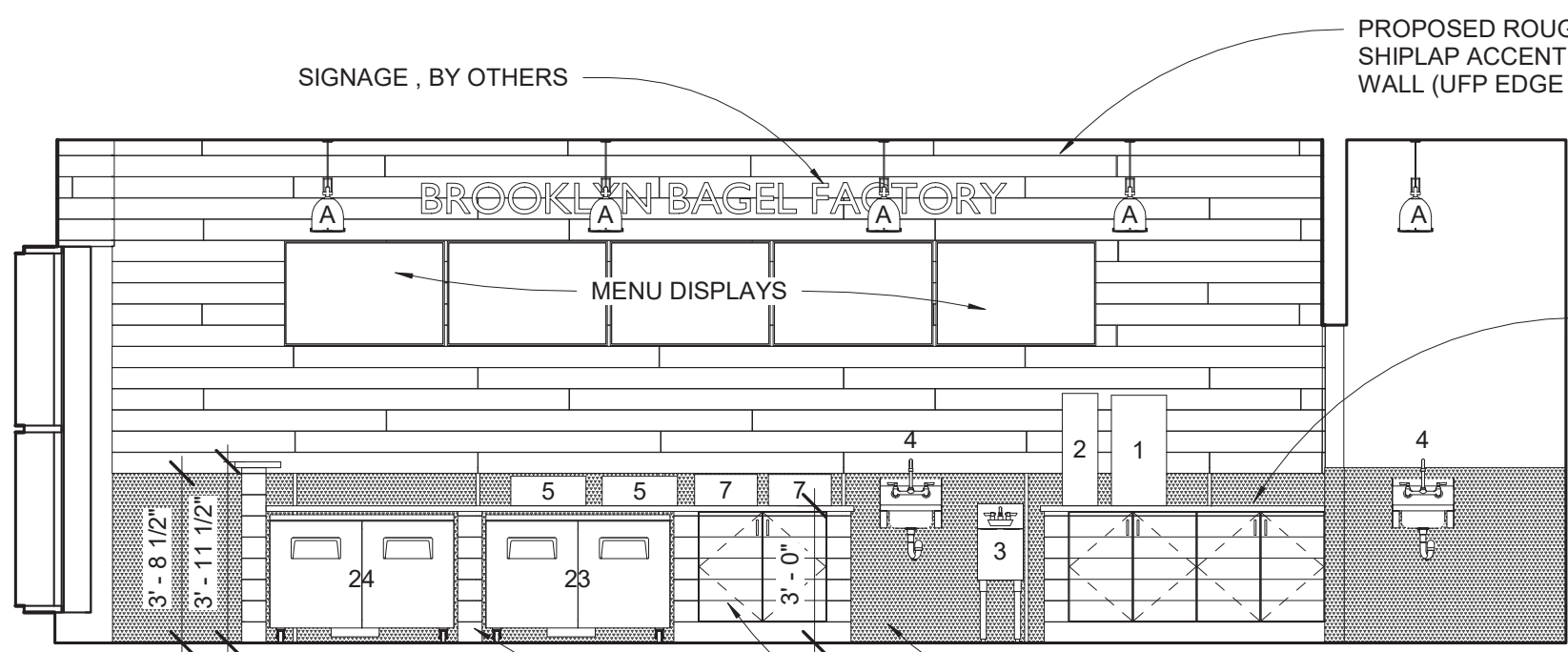
2 RCP
1/4" = 1'-0"

EQUIPMENT SCHEDULE			
Type Mark	Description	Manufacturer	Model
1	ESPRESSO MACHINE	SUPERAUTOMATIC	D5BMPB9DT999A
2	ESPRESSO MACHINE	BUNN	23050.0011
3	DUMP SINK	Krowne Metal	KR24-MD12
4	WALL MOUNT HANDSINK	KA TOM	WM300
5	EGG STATION	ANTUNES	ES-604
7	COUNTER TOP STEAMER	NEMCO	6600
8	3 BAY SINK	ADVANCED TABCO	TBD
9	PREP SINK	KA TOM	TBD
12	60" SANDWICH PREP TABLE	NORTH AMERICAN REFRIGERATION	ASP-60-24
15	SPEED OVEN	MTI PRODECTS	MULTI-CHEF XLT
17	CONVEYOR TOASTER	STAR MANUFACTURING, INC	QCS1-500
18	DRAWER WARMER	ALTO SHAAM	500-2D
22	TABLE-TOP CONVECTION OVEN	MOFFAT	E27M3
23	UNDERCOUNTER FREEZER	NORTH AMERICAN REFRIGERATION	AWTF-48
24	UNDERCOUNTER COOLER	NORTH AMERICAN REFRIGERATION	AWTC-48
25	REACH-IN COOLER	NORTH AMERICAN REFRIGERATION	A1DC
26	REACH-IN FREEZER	NORTH AMERICAN REFRIGERATION	A2DF

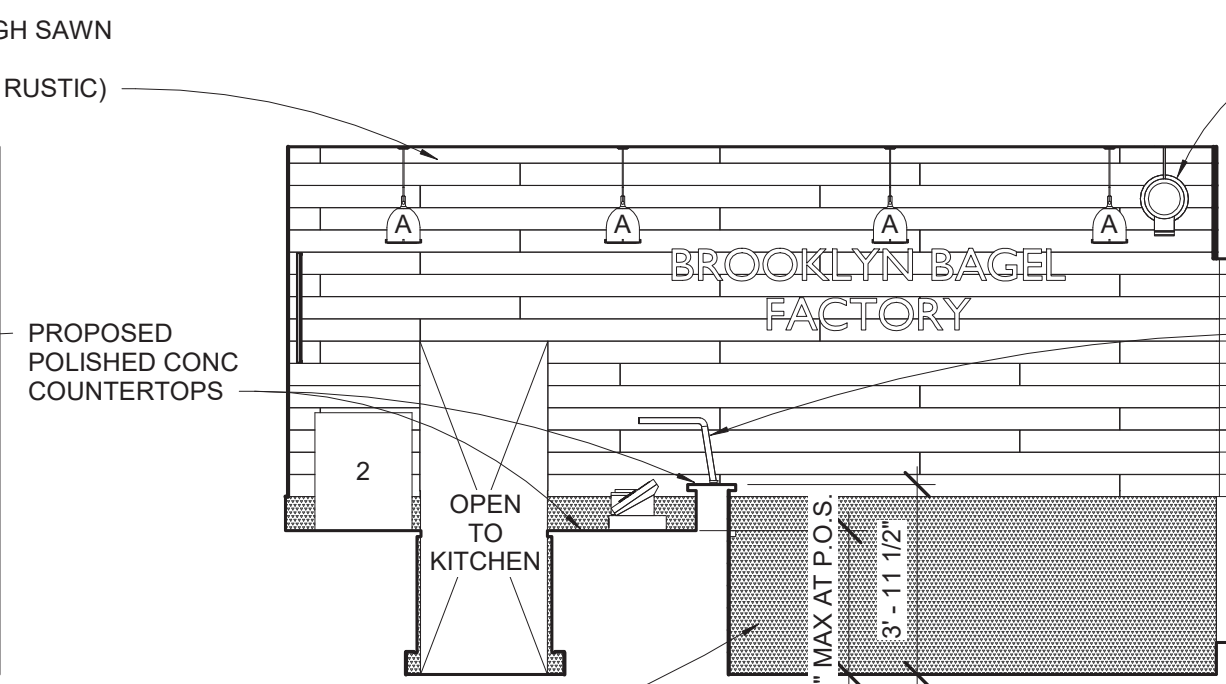
- PATH OF EGRESS
- ILLUMINATED CEILING MOUNTED EXIT SIGNAGE
- FIRE EXTINGUISHER CABINET: CLASS B AND IN COMPLIANCE W/ NFPA 10
- EMERGENCY EGRESS LIGHTING



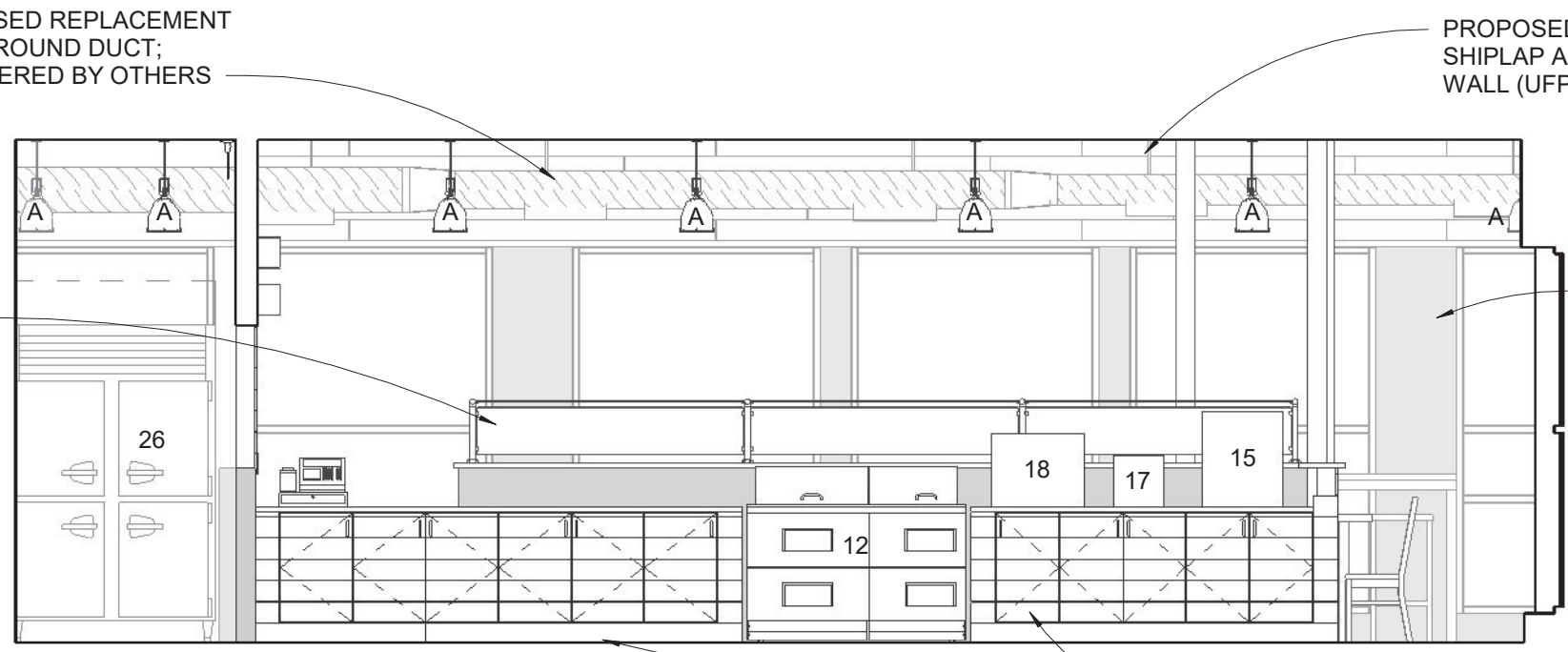
3 EGRESS PLAN
1/4" = 1'-0"



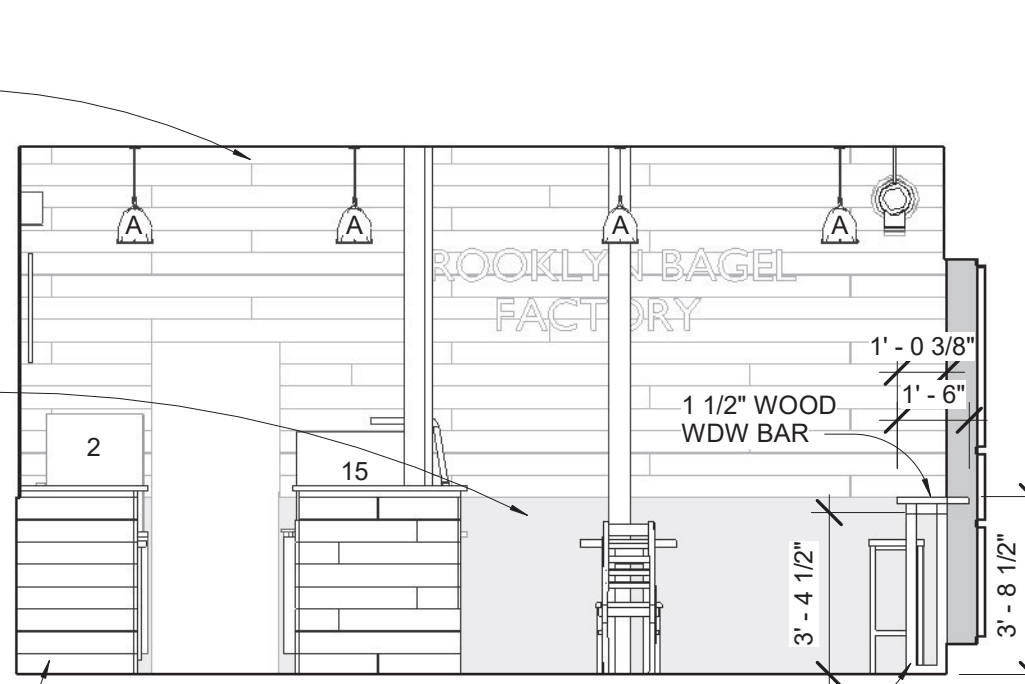
4 BACK COUNTER ELEVATION
1/4" = 1'-0"



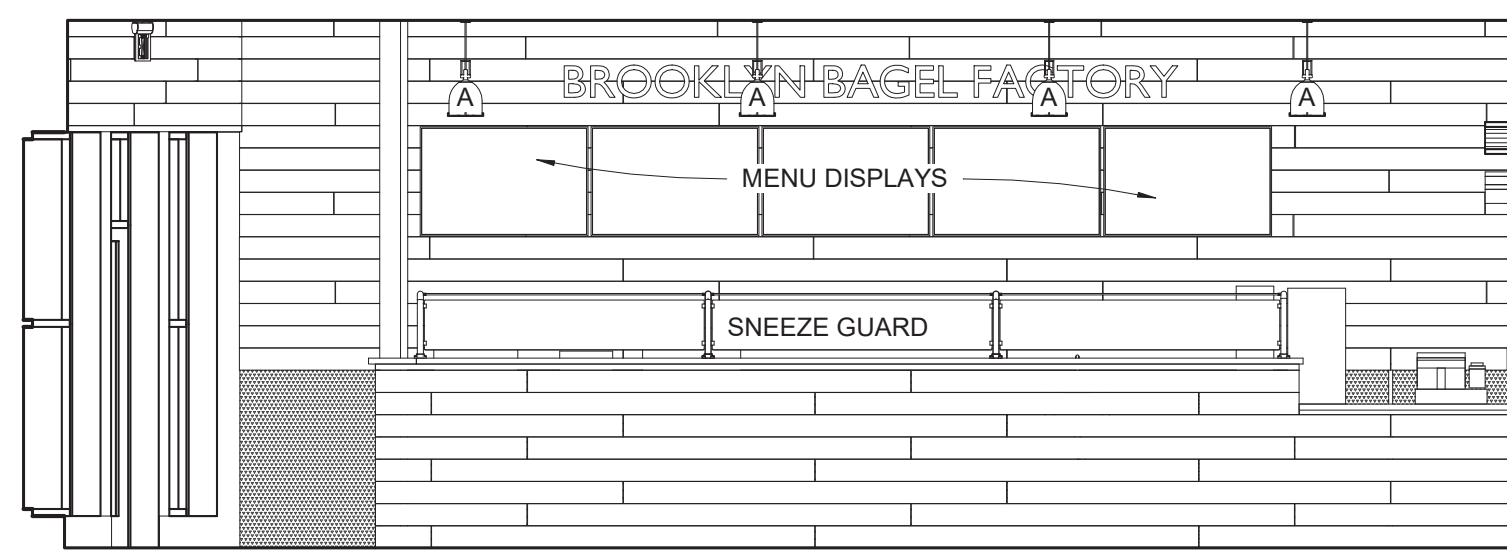
5 SERVING/DINING RIGHT ELEVATION
1/4" = 1'-0"



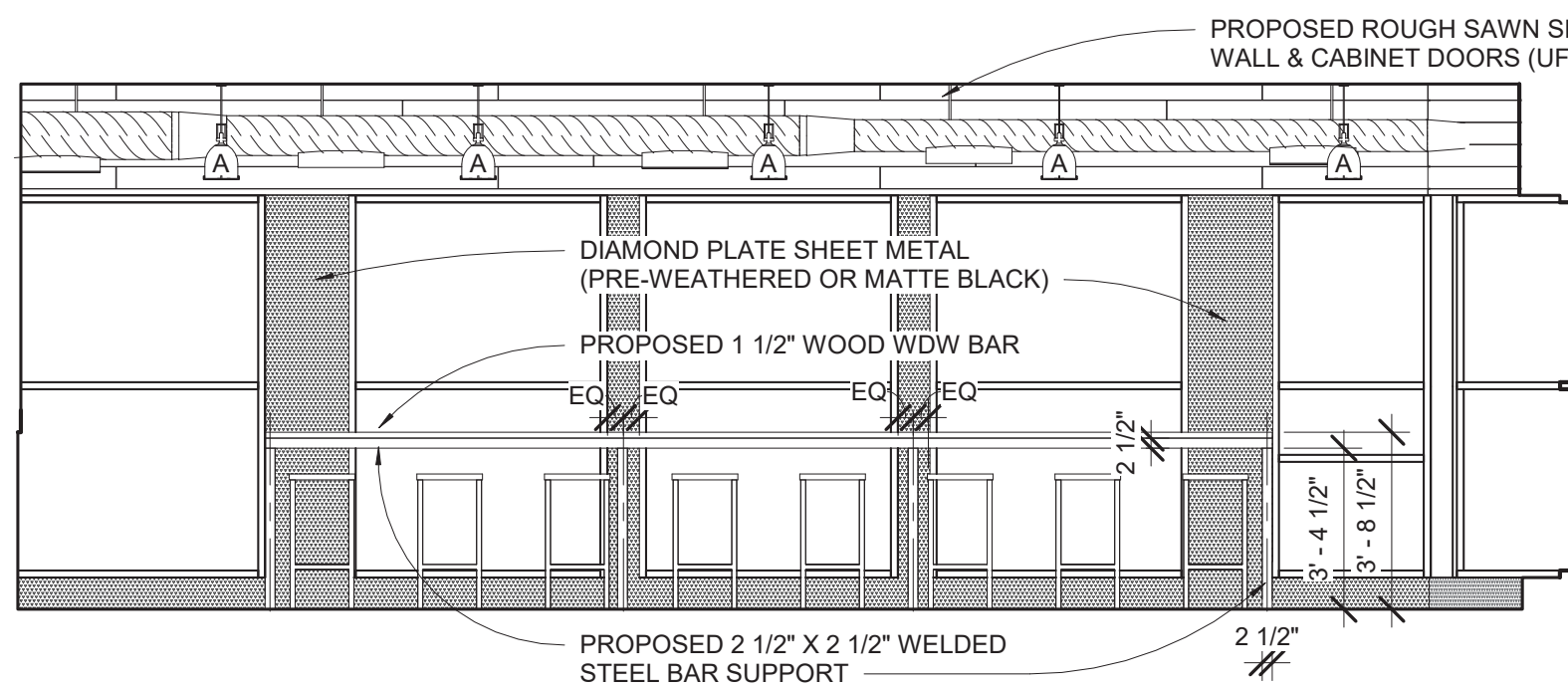
6 SERVING LINE/KITCHEN ELEVATION
1/4" = 1'-0"



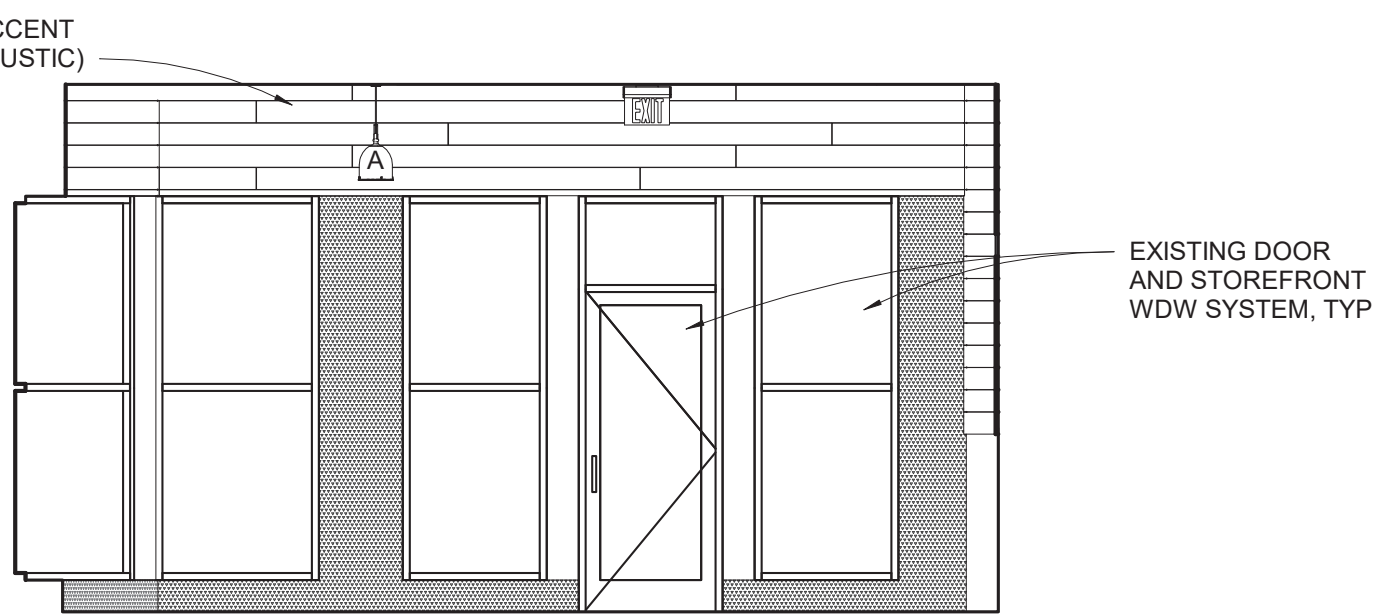
7 SERVING LINE/DINING ELEVATION
1/4" = 1'-0"



8 DINING RM/SERVING LINE ELEVATION
1/4" = 1'-0"



9 DINING RM STOREFRONT ELEVATION
1/4" = 1'-0"



10 ENTRANCE STOREFRONT ELEVATION
1/4" = 1'-0"

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PROJECT TEAM:

REVISIONS:
1

DRAWING TITLE:

**FLOOR
PLANS &
ELEVATIONS**

STAMP

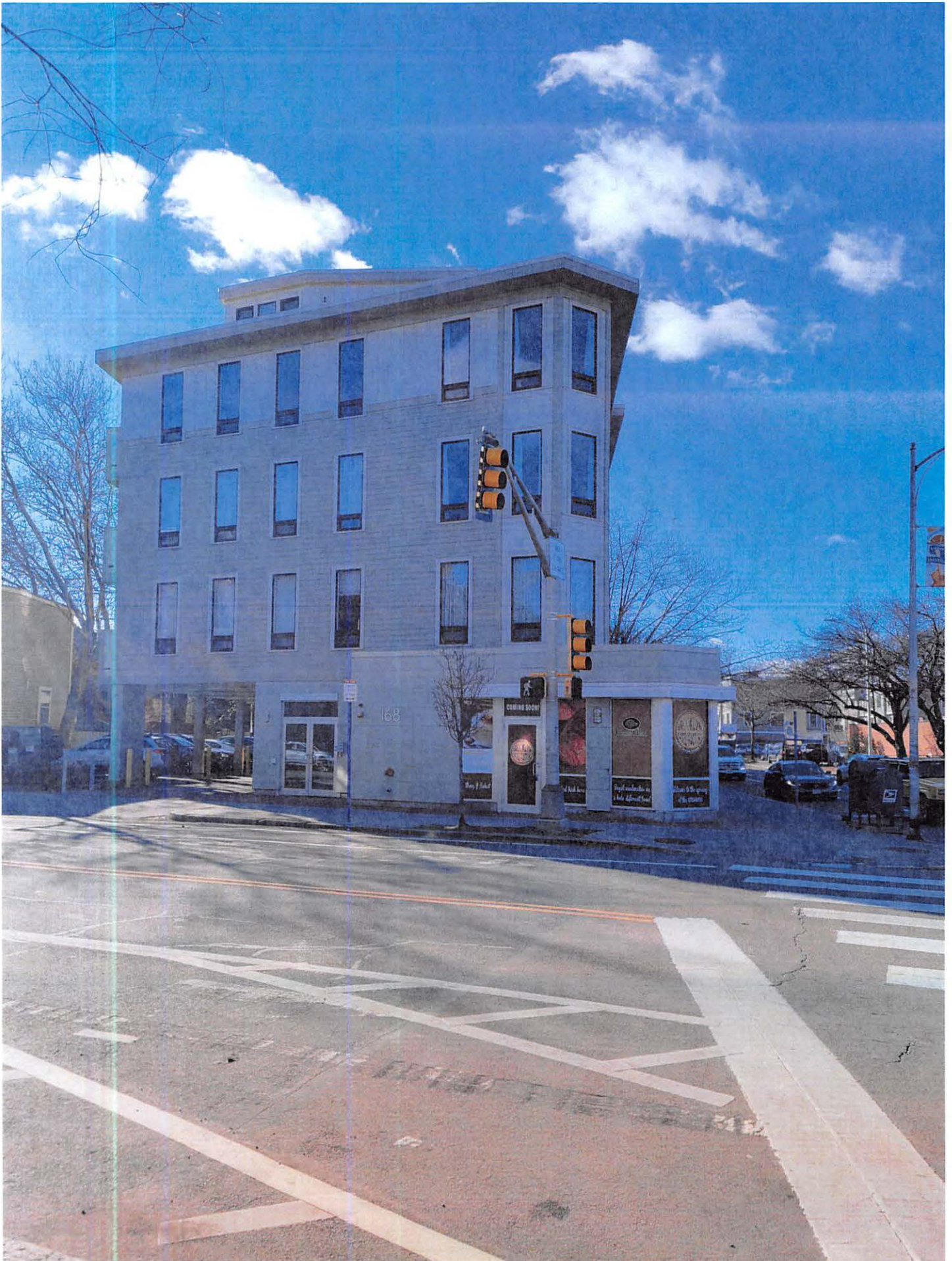


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1/4" = 1'-0"
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PROJECT #

DRAWING NUMBER:

A100











This map shows a residential neighborhood with several streets and numerous houses. The streets include Amory St, Hampshire St, Prospect St, and Murdock St. A large yellow area covers the left and center, while a red area highlights a specific block on the right. Blue arrows indicate a path or flow between various points.

Streets shown include:

- Amory St
- Hampshire St
- Prospect St
- Murdock St
- Carlisle St

House numbers and addresses visible include:

- 193 Hampshire St, 193-A Hampshire St, 84-98, 84-106, 84-99, 189 Hampshire St, 84-100, 187 Hampshire St, 84-12, 305 Prospect St, 84-65, 84-56, 84-57, 310 Prospect St, 84-88, 306 Prospect St, 84-89, 304 Prospect St, 84-36, 300 Prospect St, 84-35, 84-95, 84-96, 19 Carlisle St, 84-33, 294 Prospect St, 22 Carlisle St, 84-40, 20 Carlisle St, 18 Carlisle St, 14 Carlisle St, 84-41, 84-42, 84-43, 84-52, 173 Hampshire St, 84-51, 171 Hampshire St, 84-69, 84-93, 167 Hampshire St, 84-70, 165 Hampshire St, 84-48, 163 Hampshire St, 161 Hampshire St, 159 Hampshire St, 162 Hampshire St, 158 Hampshire St, 156 Hampshire St, 87-139, 87-140, 49 Tremont St, 47 Tremont St, 87-86, 87-59, 87-138, 87-55, 15 Murdock St, 87-44, 87-32, 244 Prospect St, 87-34, 254 Prospect St, 87-35, 258 Prospect St, 87-37, 168 Hampshire St, 166 Hampshire St, 164-A Hampshire St, 164 Hampshire St, 87-39, 87-40, 3 Murdock St, 7 Murdock St, 9 Murdock St, 10 Murdock St, 87-147, 87-53, 87-54, 87-45, 87-152, 110-65, 247 Prospect St, 110-63, 251 Prospect St, 110-104, 110-47, 110-61, 259 Prospect St, 110-48, 110-51, 186-1/2 Hampshire St, 110-55, 110-52, 154 Amory St, 110-53, 190 Hampshire St, 187 Hampshire St, 287 Prospect St, 84-85, 290 Prospect St, 292 Prospect St, 84-53, 288 Prospect St, 84-42, 84-41, 84-35, 84-36, 304 Prospect St, 84-89, 84-57, 84-56, 84-65, 305 Prospect St, 189 Hampshire St, 84-100, 84-12, 187 Hampshire St, 193-A Hampshire St, 193 Hampshire St, 84-98, 84-106, 84-99, 110-21, 110-51, 110-52, 110-53, 110-48, 110-47, 110-61, 259 Prospect St, 110-104, 251 Prospect St, 110-63, 247 Prospect St, 110-65, 87-152, 87-32, 244 Prospect St, 87-34, 254 Prospect St, 87-35, 258 Prospect St, 87-37, 168 Hampshire St, 166 Hampshire St, 164-A Hampshire St, 164 Hampshire St, 87-39, 87-40, 3 Murdock St, 7 Murdock St, 9 Murdock St, 10 Murdock St, 87-147, 87-53, 87-54, 87-45, 87-133, 87-138, 87-59, 87-55, 15 Murdock St, 87-44, 87-32, 244 Prospect St, 87-34, 254 Prospect St, 87-35, 258 Prospect St, 87-37, 168 Hampshire 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108 Hampshire St.

Petitioner

87-40
MOZAYENI, CYRUS DAVID & SUSAN XU LUO
75 SCOTCH PINE RD
WESTON, MA 02493

87-34
ROSATI, ROBERT C.,
TR. OF PROSPECT STREET REALTY TRUST
254 PROSPECT ST.
CAMBRIDGE, MA 02139-1219

PAUL RUNGTA
OF BROOKLYN BAGEL FACTORY
114 MAGAZNE STREET
CAMBRIDGE, MA 02139

84-51
NORTHEASTERN CONFERENCE CORPORATION
OF SEVENTH DAY ADVENTISTS
115-50 MERRICK BLVD
JAMAICA, NY 11434-1896

84-69
CASSIN LLC
C/O NCP MANAGEMENT CO.
PO BOX 590179
NEWTON, MA 02459

87-37
BERKMAR LLC
C/O NCP MANAGEMENT CO
PO BOX 590179
NEWTON CENTER, MA 02459

87-40
HUDSON, LINDA
3 MURDOCK ST
CAMBRIDGE, MA 02139

87-39
MESSOM, CHARLES H. JR. &
NANCY LEE MESSOM
166 HAMPSHIRE ST
CAMBRIDGE, MA 02139-1305

87-40
YANGDON, RIGZIN
TRUSTEE OF SY NOMINEE TRUST
2353 MASS AVE #66
CAMBRIDGE, MA 02140

87-42
GRANGER, DAVID M. & CHRISTINE M. FOOT
TRUSTEES OF THE 9 MURDOCK ST NOM REALTY
96 BLAKELY ROAD
MEDFORD, MA 02155

110-61
CAMBRIDGE ELECTRIC LIGHT CO
C/O NSTAR ELECTRIC CO
PROPERTY TAX DEPT, P.O. BOX 270
HARTFORD, CT 06141-0270

110-91
ZTKR MANAGEMENT LLC,
27 HUCKLEBERRY HILL
LINCOLN, MA 01773

84-85
JOES KWIK MARTS MA LLC
645 W HAMILTON ST - STE 400
ALLENTOWN, PA 18101

84-52
BREENHAP PROPERTIES CORP
907 MASSACHUSETTS AVE
CAMBRIDGE, MA 02139

87-41
KOHMAN BRYNNE C & RICHARD E TRS
7 MURDOCK ST
CAMBRIDGE, MA 02139

87-35
258 PROSPECT LLC
228 PARK AVE S PMB 35567
NEW YORK, NY 10003-1502

87-40
WEEKS, BENJAMIN
3 MURDOCK ST., #1
CAMBRIDGE, MA 02139

Pacheco, Maria

From: Andrew Groh <agroh@yahoo.com>
Sent: Monday, February 21, 2022 12:57 PM
To: Singanayagam, Ranjit; Ratay, Olivia; Pacheco, Maria
Subject: Zoning relief for bagel factory on hampshire street

I live on Columbia street in cambridge and am writing to support zoning relief for the bagel factory. It with be a wonderful addition to the neighborhood and I and many of my neighbors have been looking forward to it. Please approve the relief they need as soon as possible

Andrew Groh
306 Columbia st

Sent from my iPhone

Pacheco, Maria

From: Allan Sadun <aesadun@alum.mit.edu>
Sent: Monday, February 21, 2022 12:13 AM
To: Pacheco, Maria
Subject: BZA-159906

Dear BZA members,

I live 1500 feet from the proposed bagel place and I support allowing it to open. My understanding is that as-of-right the space must be a fast food establishment. I would like to assure you that when the bagel place opens, I will make those bagels disappear so fast you won't even know they were there to begin with.

Best regards,
Allan Sadun
24 Union St

Pacheco, Maria

From: Shane Woolley <shwoolley@gmail.com>
Sent: Sunday, February 20, 2022 11:13 PM
To: Pacheco, Maria
Subject: BZA-159906

Dear Zoning Board of Appeals,

Please approve the special permit for Brooklyn Bagel Factory. Mid-Cambridge languishes in an inhospitable bagel desert. So many of my friends are moving to New York and I can't blame them. Stop the bagel drain now. Approve the permit and get this city moving again.

Thank you,

Shane Woolley
Inman Square

Pacheco, Maria

From: Alex Wang <awswim@gmail.com>
Sent: Sunday, February 20, 2022 1:36 PM
To: Pacheco, Maria
Subject: Board of Zoning Appeal BZA-159906

Hello,

I'm writing in support of the petition BZA-159906 for a bagel shop at 168 Hampshire St. I live a couple blocks away and used to go to the KFC that was at this address over 10 years ago. I would be happy to see another food service location here.

The location has been disappointingly vacant for several years now after the previous dry cleaning business closed. I am excited to see that someone local wants to fill that location with a new business.

I look forward to walking to Brooklyn Bagel Factory for breakfast in the near future!

Alex Wang
45 Market St.