



CITY OF CAMBRIDGE  
MASSACHUSETTS  
BOARD OF ZONING APPEAL  
831 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139  
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-016276-2018

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : ✓ Variance : \_\_\_\_\_ Appeal : \_\_\_\_\_

PETITIONER : 189 Charles Street LLC - Chris Koskores C/O Sean D. Hope, Esq.

PETITIONER'S ADDRESS : 675 Massachusetts Avenue Cambridge, MA 02139

LOCATION OF PROPERTY : 189 Charles St Cambridge, MA

TYPE OF OCCUPANCY : 4.31 ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Other: Windows in the setback

DESCRIPTION OF PETITIONER'S PROPOSAL :

Petitioner requests Special Permit relief to add/alter windows within the setback(s).

SECTIONS OF ZONING ORDINANCE CITED :

Article 8.000 Section 8.22.2(C) (Alteration/Non-conforming Structure).

Article 10.000 Section 10.40 (Specail Permit).

Original Signature(s) :

  
(Petitioner(s) / Owner)

Sean D. Hope

(Print Name)

Address : 675 Massachusetts Avenue  
Cambridge, MA 02139

Tel. No. : 617-492-0220

E-Mail Address : sean@hopelegal.com

Date : May 1, 2018

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to  
The Secretary of the Board of Zoning Appeals.

I/We 189 Charles LLC c/o Chris Koskores  
(OWNER)

Address: 22 McGrath Hwy #206 Somerville, MA 02143

State that I/We own the property located at 189 Charles St.,  
which is the subject of this zoning application.

The record title of this property is in the name of 189 Charles LLC

\*Pursuant to a deed of duly recorded in the date 12/7/17, Middlesex South  
County Registry of Deeds at Book 70351, Page 239; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

Chris Koskores  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

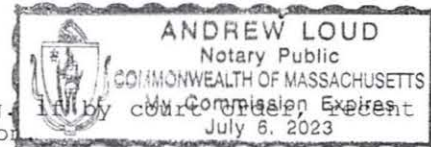
Commonwealth of Massachusetts, County of Suffolk

The above-name Christopher Koskores personally appeared before me,  
this 25 of April, 2018, and made oath that the above statement is true.

Andrew Loud Notary

My commission expires July 6, 2023 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. in by court order, recent deed, or inheritance, please include documentation



## **BZA APPLICATION FORM**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 189 Charles St Cambridge, MA  
(location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:  
With the requested relief the requirements of the ordinance will be satisfied.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:  
No congestion, hazard, or substantial change in the established neighborhood character will result from approval of the windows within the setback because the new window will provide additional light and air into the renovated dwelling.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:  
The continued operation of or the development of adjacent uses will not be adversely affected because there is no change to the proposed use.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:  
No nuisance or hazard will be created nor will any detriment to the health, safety and/or welfare of the occupants of the proposed use or the citizens of the City because the additional windows will allow the appropriate light and air into the reconfigured dwelling.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:  
The proposed addition will not impair the integrity of the district and is consistent with the intent of the ordinance by allowing for the renovation and modernization of Cambridge's older housing stock.

**BZA APPLICATION FORM****DIMENSIONAL INFORMATION**

**APPLICANT:** Hope Legal law Offices      **PRESENT USE/OCCUPANCY:** Multi-family  
**LOCATION:** 189 Charles St Cambridge, MA      **ZONE:** Residence C-1 Zone  
**PHONE:** 6174920220      **REQUESTED USE/OCCUPANCY:** No Change

		<b><u>EXISTING</u></b> <b><u>CONDITIONS</u></b>	<b><u>REQUESTED</u></b> <b><u>CONDITIONS</u></b>	<b><u>ORDINANCE</u></b> <b><u>REQUIREMENTS</u></b> <sup>1</sup>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		2,130sf	2,130sf	3,750sf	(max.)
<b><u>LOT AREA:</u></b>		1,086sf	1,086sf	5,000sf	(min.)
<b><u>RATIO OF GROSS FLOOR AREA</u></b> <b><u>TO LOT AREA:</u></b> <sup>2</sup>		1.96	1.96	.75	(max.)
<b><u>LOT AREA FOR EACH DWELLING UNIT:</u></b>		362sf	362sf	1,500sf	(min.)
<b><u>SIZE OF LOT:</u></b>	<b>WIDTH</b>	38'+/-	38'+/-	50' min	(min.)
	<b>DEPTH</b>	28.34'	28.34'	None	
<b><u>SETBACKS IN FEET:</u></b>	<b>FRONT</b>	0	0	10' min	(min.)
	<b>REAR</b>	5.55'	5.55'	20' min	(min.)
	<b>LEFT SIDE</b>	1'-7"	1'-7"	7.5'min	(min.)
	<b>RIGHT SIDE</b>	5'-9"	5'-9"	7.5'min	(min.)
<b><u>SIZE OF BLDG.:</u></b>	<b>HEIGHT</b>	34.5'	34.5'	35' max	(max.)
	<b>LENGTH</b>	23.9'	23.9'	n/a	
	<b>WIDTH</b>	30.4'	30.4'	n/a	
<b><u>RATIO OF USABLE OPEN SPACE</u></b> <b><u>TO LOT AREA:</u></b>		0	0	30%	(min.)
<b><u>NO. OF DWELLING UNITS:</u></b>		3	3	0	(max.)
<b><u>NO. OF PARKING SPACES:</u></b>		0	0	0	(min./max)
<b><u>NO. OF LOADING AREAS:</u></b>		0	0	0	(min.)
<b><u>DISTANCE TO NEAREST BLDG.</u></b> <b><u>ON SAME LOT:</u></b>		3.45'	3.45'	n/a	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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831 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139  
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2018 MAY -2 AM 10:42  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS  
Plan No: BZA-016276-2018

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Sean D. Hope

(Print Name)

Address : 675 Massachusetts Avenue

Cambridge, MA 02139

Tel. No. : 617-492-0220

E-Mail Address : sean@hopelegal.com

Date : May 1, 2018

189 CHARLES STREET, CAMBRIDGE MA.

LIST OF DRAWINGS		PERMIT SET 02 JAN 2017	
GENERAL			
T-1	TITLE SHEET	X	
	CERTIFIED PLOT PLAN	X	
G1.0	GENERAL NOTES, ABBREVIATIONS, KEY SYMBOLS AND PARTITION TYPES	X	
G1.1	CODE ANALYSIS	X	
ARCHITECTURAL			
D1.0	DEMO PLANS	X	
A0.1	ARCHITECTURAL SITE PLAN	X	
A1.0	ARCHITECTURAL FLOOR AND ROOF PLANS	X	
A2.1	ELEVATIONS	X	
A3.1	BUILDING SECTIONS	X	
A3.2	WALL SECTIONS	X	
A4.1	WINDOW SCHEDULE & TYPICAL DETAILS	X	
A4.2	DOOR SCHEDULE & DETAILS	X	
A5.1	EXTERIOR DETAILS		
A5.2	EXTERIOR DETAILS		
STRUCTURAL			
S-1	STRUCTURAL DETAILS		
S-2	GENERAL STRUCTURAL NOTES & DETAILS		
S-3	STRUCTURAL DETAILS		
ELECTRICAL			
E1.0	ELECTRICAL PLANS	X	
FIRE PROTECTION			
FP1.0	FP DETAILS		
FP1.1	FP FLOOR PLANS		
	FP CALCULATIONS		
	FP NARRATIVE		

PREPARED BY:

ARCHITECT

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH (617) 354.3989

SURVEYOR

STRUCTURAL ENGINEER

BOMBARDIER STRUCTURAL  
ENGINEERING  
131 LINCOLN STREET  
ABINGTON, MA 02351  
PH (508) 631.3332

M/E/P ENGINEER

ZADE ASSOCIATES  
140 BEACH STREET  
BOSTON, MA 02111  
PH (617) 338.4402

PREPARED FOR:

KRE COMPANY, LLC  
22 McGRATH HWY, SUITE 208  
SOMERVILLE, MA 02143  
PH (978) 337.3982

DESIGN PER 780CMR MASSACHUSETTS STATE  
BUILDING CODE 9th ED.

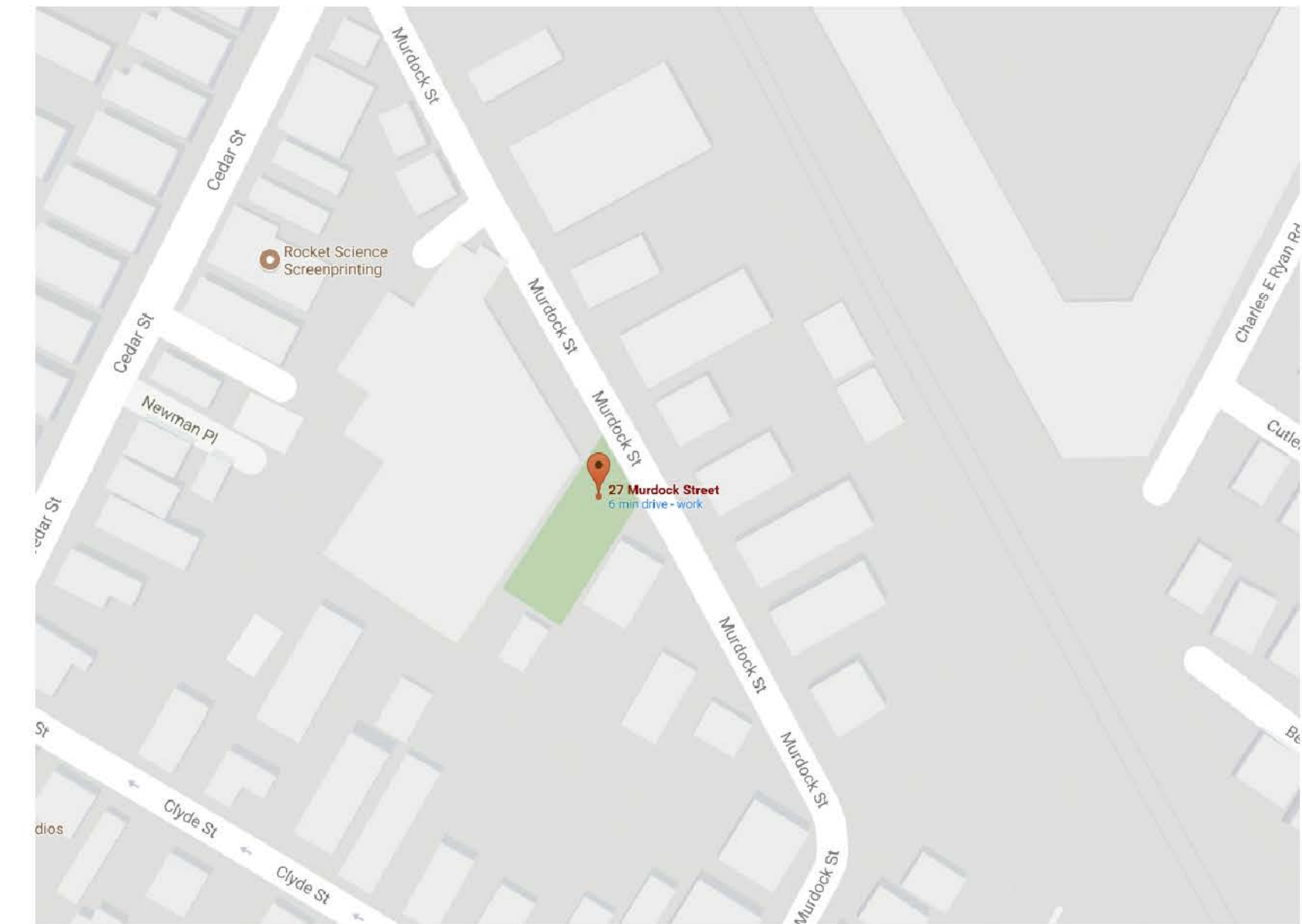
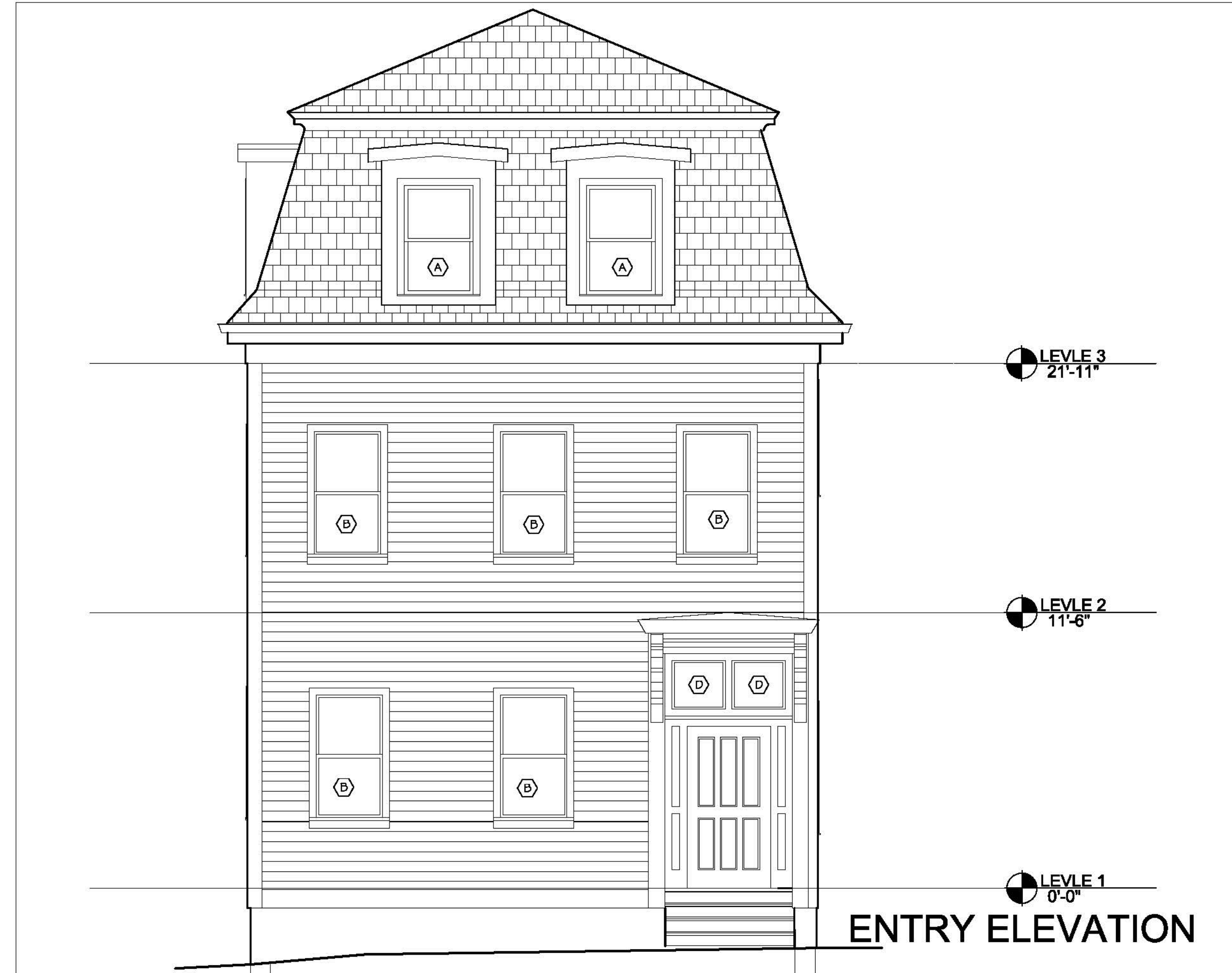
ENERGY CODES:  
STRETCH ENERGY CODE -  
AA 104 EXISTING BUILDING -  
3-STORY RESIDENTIAL, COMPLY WITH  
780 CMR 51.00 RESIDENTIAL CODE  
AS AMENDED - SECTION N1100.1 THROUGH N1111.2

SECTION N1109 (R503) ALTERATIONS-  
N1109.1 (R503.1)  
ALTERATIONS TO EXISTING BUILDINGS  
SHALL COMPLY WITH SECTIONS N1109.1.1 THOUGH N1109.2

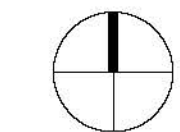
SECTION N1109.1 (503.1)-  
ALTERATIONS SHALL COMPLY WITH SECTION N1102 (R402)  
AS REQUIRED, EXCEPT PER EXCEPTION-2  
WHERE EXISTING STUD CAVITIES  
SHALL BE FILLED WITH INSULATION.

SECTION N1102 (R402)-  
PER TABLE R402.1.2-  
CEILING R-VALUE 49  
WALL FRAMING R-VALUE 20 OR 13+5  
FLOOR R-VALUE 30  
BASEMENT WALL R-VALUE 15 OR 19 (15 CL. EXTERIOR  
OR 19 CL.INTERIOR

WHERE POSSIBLE  
WHERE NOT POSSIBLE EXCEPTION 2 USED AND CAVITIES FILLED  
WITH INSULATION



LOCUS MAP



PETER  
QUINN  
ARCHI  
TECTS

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989 FAX 617-868-0280

SEAL

CONSULTANT

PROJECT

RENOVATION OF  
THREE FAMILY  
BUILDING

189 CHARLES STREET,  
CAMBRIDGE, MA

PREPARED FOR

KRE COMPANY, LLC.  
22 McGRATH HWY  
SUITE 206  
Somerville, MA. 02143

.....

DRAWING TITLE

TITLE SHEET

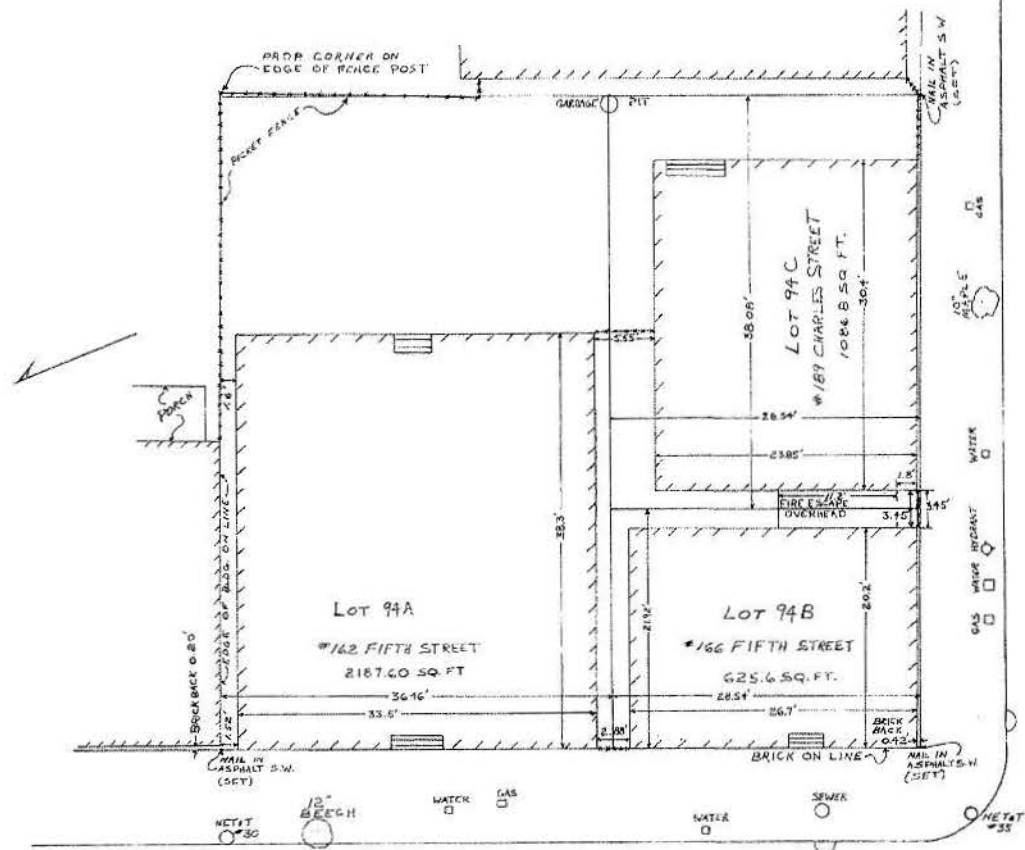
SCALE AS NOTED

REVISION / ISSUE	DATE
PERMIT SET	02 JAN 2018
DRAWN BY ELM	REVIEWED BY PQ

SHEET

T-1

2



CHARLES STREET



Fee 25 By SW  
Middlesex Registry of Deeds  
Southern District  
Cambridge, Massachusetts  
Plan No. 76 of 1820  
Rec'd JAN 20 1904  
at 3.40 PM and No 475  
Rec'd, Bk 15415 Pg 13  
*John J. Jones*

FIFTH STREET

I CERTIFY THAT THIS PLAN HAS BEEN FILED IN CONFORMITY  
WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS  
OF THE COMMONWEALTH OF MASSACHUSETTS.  


PROPOSED SUBDIVISION  
OF LOT 94 PLAT 26  
IN CAMBRIDGE, MASSACHUSETTS  
SCALE: 1" = 5' DATE: 10-9-03

ABBREVIATIONS

ABV	ABOVE	EXT	EXTERIOR	OD	OUTSIDE DIMENSION
ACOUS	ACOUSTICAL	F.E.	FIRE EXTINGUISHER	O.F.O.S.	OUTSIDE FACE OF STUDS
ADD	ADDENDUM(S)	F.O.C.	FACE OF CONCRETE	OH	OVERHEAD
ADDL	ADDITIONAL	F.O.F.	FACE OF FINISH	OPNG	OPENING
ADH	ADHERE(ED), ADHESIVE	F.O.M.	FACE OF MASONRY	PERIM	PERIMETER
ADJ	ADJUST(ABLE), ADJACENT	F.O.S.	FACE OF STUD	PKG	PARKING
AFF	ABOVE FINISH FLOOR	F.O.T.	FACE OF TREAD	PL	PLATE, PROPERTY LINE
ALT	ALTERNATE(S)	FAST	FASTEN(ER)	PLAS	PLASTER, PLASTIC
ALUM	ALUMINUM	F.D.	FLOOR DRAIN	PLF	POUNDS PER LINEAR FOOT
ALTH.	ALUMINUM THRESHOLD	FIN	FINISHED	PLYWD	PLYWOOD
ANOD	ANODIZED	F.F.	FINISHED FLOOR	PNL	PANEL
APPROX	APPROXIMATE	FLASH	FLASHING	PRCST	PRECAST
ARCHT	ARCHITECT	FLR	FLOOR	PREFAB	PREFABRICATED
ASPH	ASPHALT(IC)	FLUOR	FLUORESCENT	PSF	POUNDS PER SQUARE FOOT
B.O.	BOTTOM	FRF	FIREPROOF	PSI	POUNDS PER SQUARE INCH
BD	BOARD	FRM(G)	FRAME(D), FRAMING	PT	PAINT
BIT	BITUMINOUS	FT	FOOT, FEET	PTN	PARTITION
BLDG	BUILDING	FTG	FOOTING	PVMT	PAVEMENT
BLK	BLOCK	FUR	FURRED, FURRING	QT	QUARRY TILE
BLKG	BLOCKING	G	GAS	QTY	QUANTITY
BLW	BLOW	G.C.	GENERAL CONTRACT(OR)	R	RISER(S)
BM	BEAM, BENCHMARK	GA	GALVANIZED IRON	RA	RETURN AIR
BOT	BOTTOM	GALV	GALVANIZED	RAD	RADIUS
BR	BEDROOM	GB	GRAB BAR(S)	RBT	RABBET(ED)
BRG	BEARING	GL	GLASS, GLAZING	RCP	REINFORCED CONCRETE PIPE
BRK	BRICK	GRD	GRADE	RD	ROOF DRAIN
BRKT	BRACKET	GSKT	GASKET	REF	REFERENCE
BRZ	BRONZE	GVL	GRAVEL	REFL	REFLECTED
BSMT	BASEMENT	GWB	GYP&UM WALLBOARD	REFR	REFRIGERATOR
BTN	BATTEN	GYP	GYP&UM	REG	REGISTER
BTWN	BETWEEN	H	HIGH, HEIGHT	REINF	REINFORCED
BUR	BUILT-UP ROOFING	HB	HOSE BIB	REQ	REQUIRED
BVL	BEVEL(ED)	HC	HOLLOW CORE	RESIL	RESILIENT
CB	CATCH BASIN,CASING BEAD	HDP	HANDICAPPED	RFG	ROOFING
CI	CAST IRON	HDR	HEADER	RH	RIGHT HAND
CAB	CABINET	HDL	HANDRAIL	RL	RAILING
CEM	CEMENT(TIOUS)	HDWR	HARDWARE	RM	ROOM
CER	CERAMIC	HM	HOLLOW METAL	R.O.	ROUGH OPENING
CHNL	CHANNEL	HP	HEAT PUMP	RWL	RAIN WATER LEADER
CL	CLOSET, CENTER LINE, COLUMN LINE	HR	HOUR	SC	SOLID CORE
CLG	CEILING	HVAC	HEATING, VENTILATING &	SCHED	SCHEDULE
CMU	CONCRETE MASONRY UNIT(S)		AIR CONDITIONING	SF	SQUARE FEET
CNTR	COUNTER	HW	HOT WATER	SFGL	SAFETY GLASS
CO	CLEAN-OUT	HWH	HOT WATER HEATER	SHWR	SHOWER
COL	COLUMN	HYD	HYDRANT	SHT	SHEET(S)
COMP	COMPRESS(ED),(ION)	ID	INSIDE DIAMETER	SHTG	SHEATHING
CONC	CONCRETE	IN	INCH(ES)	SIM	SIMILAR
CONST	CONSTRUCTION	INCL	INCLUDE(D), INCLUDING	SINT	SEALANT
CONT	CONTINUOUS	INSUL	INSULATE(D), INSULATING	SPEC	SPECIFICATION(S)
CONTR	CONTRACT(OR)	INT	INTERIOR	S.P.	STAND PIPE
COORD	COORDINATE	INTERMED	INTERMEDIATE	SQ	SQUARE
CORR	CORRIDOR, CORRUGATED	INV	INVERT	SECT	SECTION
CPR	COPPER	ISO	ISOMETRIC	SSTL	STAINLESS STEEL
CPT	CARPET(ED)	JST	JOIST(S)	STD	STANDARD
CRS	COURSE(S)	JT	JOINT(S)	STL	STEEL
CSMT	CASIMENT	KIT	KITCHEN	STOR	STORAGE
CTSK	COUNTERSINK	L	LONG, LENGTH	STRUCT	STRUCTURAL
CTR	CENTER	LAM	LAMINATE(D)	SUSP	SUSPENDED
CW	COLD WATER	LAV	LAVATORY	SW	SWITCH
D	DEEP, DEPTH, DRYER	LBL	LABEL	SYM	SYMMETRICAL
DBL	DOUBLE	LF	LINEAR FOOT	T	TREAD
DEMO	DEMOLISH, DEMOLITION	LH	LEFT HAND	TC	TRASH COMPACTOR
DEP	DEPRESSED, DEPRESSION	LL	LIVE LOAD	T&G	TONGUE & GROOVE
DIF	DOUBLE HUNG	LR	LIVING ROOM	TB	TOWEL BAR
DIA	DIAMETER	LT	LIGHT	TBD	TO BE DETERMINED
DIAG	DIAGONAL(Y)	LTL	LINTEL	T.O.	TOP OF
DIM	DIMENSION(S)	LVR	LOUVER	T.O.C.	TOP OF CURB
DISP	DISPOSAL, DISPENSER	M.O.	MASONRY OPENING	T.O.P.	TOP OF PLATE
DL	DEAD LOAD	MAS	MASONRY	T.O.S.	TOP OF STEEL
DN	DOWN	MAX	MAXIMUM	TEMP	TEMPERED, TEMPORARY
DR	DOOR	MBR	MEMBER	THK	THICK
DRN	DRAIN	M.C.	MEDICINE CABINET	TPD	TOILET PAPER DISPENSER
DTN	DETAIL(S)	MCHL	MECHANICALLY	THRES	THRESHOLD
DUMP	DUMPSTER	MED	MEDIUM, MEDICINE	TRNSF	TRANSFORMER
DW	DISHWASHER	MEMB	MEMBRANE	TYP	TYPICAL
DWG	DRAWING(S)	MFR	MANUFACTURER	VB	VAPOR BARRIER, VINYL BASE
EA	EACH	MH	MANHOLE	VERT	VERTICAL
EL	ELEVATION (HEIGHT)	MIN	MINIMUM	VEST	VESTIBULE
ELEC	ELECTRICAL	MIRR	MIRROR	VNR	VENEUR
EL.FAN.	ELECTRICAL PANEL	MLD	MOLDING	VP	VENT PIPE
ELV	ELEVATION (FACADE)	MR	MOISTURE RESISTANT	W	WIDTH, WATER, WASHER
ELIM	ELIMINATE	M.T.H.	MARBLE THRESHOLD	WTH	WITH
EMER	EMERGENCY	MTL	METAL	WC	WATER CLOSET
ENCL	ENCLOSURE, ENCLOSURE	MUL	MULLION	WD	WOOD
E.O.	EDGE OF	N	NOT IN CONTRACT	WT	WOOD THRESHOLD
EQ	EQUAL	N.I.C.	NOT TO SCALE	WH	WATER HEATER
EQUIP	EQUIPMENT	N.T.S.	NOT TO SCALE	WF	WATERPROOF
EXH	EXHAUST	O.C.	ON CENTER		
EXIST	EXISTING				

KEY SYMBOLS

	ROOM NUMBER		SECTION MARKER		DOOR		TYPICAL EXTERIOR DIMENSIONS
	GRID LINE NUMBER		DETAIL SYMBOL		CONCRETE WALL		TYPICAL INTERIOR DIMENSIONS
	DOOR SYMBOL		ELEVATION SYMBOL		STUD WALL		
	WINDOW SYMBOL				EXISTING WALL TO REMAIN		
	PARTITION TYPE						
	FLOOR ELEVATION						

GENERAL NOTES:

1. ALL THE WORK IS SHOWN, DESCRIBED OR SPECIFIED IN THE DRAWINGS.
2. FIELD DIRECTIONS FROM OWNERS AGENTS OTHER THAN PGA ARCHITECTS TO THE GENERAL CONTRACTOR SHALL BE COPIED TO THE ARCHITECT. ANY DEVIATION FROM THESE PLANS INVOLVING ISSUES PERTAINING TO LIFE SAFETY, STATE BUILDING CODE, OR SOMERVILLE ZONING REGULATIONS SHALL REQUIRE THE APPROVAL OF THE ARCHITECT PRIOR TO IMPLEMENTATION.
3. PRIOR TO CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE CALLED BY THE CONTRACTOR AND HELD WITH THE OWNER, THE CONTRACTOR AND THE ARCHITECT.

DIV. I - GENERAL REQUIREMENTS:

1. THE GENERAL CONTRACTOR SHALL BE LICENSED BY THE COMMONWEALTH OF MASSACHUSETTS.

2. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE IN A COMPANY OR COMPANIES LICENSED TO DO BUSINESS IN THE COMMONWEALTH OF MASSACHUSETTS. LIABILITY INSURANCE SHALL INCLUDE ALL MAJOR DIVISIONS OF COVERAGE AND BE ON A COMPREHENSIVE BASIS INCLUDING.

- A. PREMISES - OPERATIONS.
- B. INDEPENDENT CONTRACTOR'S PROTECTIVE.
- C. PRODUCTS AND COMPLETED OPERATIONS.
- D. CONTRACTUAL.
- E. OWNED, NOT OWNED, AND HIRED MOTOR VEHICLES.
- F. BROAD-FORM COVERAGE FOR PROPERTY DAMAGE.
- G. WORKMAN'S COMPENSATION.

3. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE, IBC 2009 WITH 8TH EDITION, AS AMENDED, AND ALL LOCAL CODES AND ORDINANCE, EXCEPT IN CASES WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED IN THESE DRAWINGS.

4. PROVIDE SUPERVISION AND EQUIPMENT, TOOL, AND APPLIANCE INSPECTION TO INSURE A SAFE WORKING ENVIRONMENT IN COMPLIANCE WITH O.S.H.A. REGULATIONS.

5. DO NOT SCALE DRAWINGS.

6. ALL NEW AND EXISTING DIMENSIONS AND ELEVATIONS TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION, CONTACT THE ARCHITECT IMMEDIATELY ABOUT ANY DISCREPANCIES THAT MAY ARISE. DO NOT PROCEED UNTIL FULL COORDINATION WITH ARCHITECT HAS BEEN DONE.

7. ALL WORK, MATERIAL AND LABOR SHOULD BE WARRANTED FOR THREE (3) YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION. UNLESS OTHERWISE NOTICE IN SPECIFICATION.

8. PRIOR TO ANY EXCAVATION CONTACT DIGSAFE, 1-800-322-4644.

9. CONTRACTOR TO APPLY FOR AND ACQUIRE ALL PERMITS FROM THE CITY OF CAMBRIDGE.

10. ALL PRODUCTS, EQUIPMENT, AND WORK SHALL BE INSTALLED/APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN REQUIREMENT AND SPECIFICATIONS APPLICABLE TO THE CONSTRUCTION CONDITIONS. THERE SHALL BE NO DEVIATIONS MADE FROM THIS SPECIFICATION OR THE APPROVED SHOP DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE MANUFACTURER.

11. PRIOR TO COMMENCING WORK, ORDERING OF MATERIALS AND SHOP FABRICATION OF ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS INDICATED ON THE DRAWINGS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.

12. DRAWINGS INDICATE LOCATION, DIMENSIONS, REFERENCE, AND TYPICAL DETAIL FOR CONSTRUCTION. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. FOR CONDITIONS NOT ILLUSTRATED, NOTIFY ARCHITECT FOR CLARIFICATION AND/OR SIMILAR DETAIL.

13. WORK WHICH IS OBVIOUSLY REQUIRED TO PROVIDE A COMPLETE AND FINISHED PRODUCT WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE CONTRACT DOCUMENTS, SHALL BE PERFORMED BY THE CONTRACTOR AND BE INCLUDED IN THE BID. CONTRACTOR TO INSPECT AT TIME OF DELIVERY ALL FIXTURES PROVIDED BY OWNER TO INSURE PROPER QUANTITY, THAT ITEMS ARE DEFECT FREE, AND MATCH INVOICE. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION, WHICH MAY INCLUDE BLOCKING, SHIMMING, ETC. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL ITEMS SUPPLIED BY OWNERS' VENDORS AND TO VERIFY THAT ALL MATERIALS RECEIVED ARE IN ACCORDANCE WITH THE SPECIFICATIONS HEREIN. ANY DAMAGED ITEMS OR DISCREPANCIES BETWEEN MATERIALS SPECIFIED AND MATERIALS SHIPPED, SHALL BE REPORTED TO THE ARCHITECT PROMPTLY.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATIONS, CONDITIONS, MATERIALS AND FINISHES WITHIN THE PROPOSED CONSTRUCTION AREA AND ALL ADJOINING PROPERTY AFFECTED BY CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK. ANY EXISTING MATERIALS AND FINISHES WHICH ARE DAMAGED, SHALL BE REPLACED AS NECESSARY WITH NEW MATCHING MATERIALS AT THE CONTRACTOR'S OWN COST AND EXPENSE.

15. THE CONTRACTOR SHALL DO ALL CUTTING, CHASING, CORE DRILLING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK THAT MAY BE INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB. PATCHING SHALL ALIGN W/ AND MATCH ADJACENT SYSTEMS, MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.

16. CONTRACTOR SHALL EMPLOY ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK. ALL WORK SHALL BE PERFORMED BY DULY LICENSED PROFESSIONALS AND AS REQUIRED BY STATE AND LOCAL GOVERNMENTS FOR EACH APPLICABLE TRADE, (PLUMBING, ELECTRICAL, ETC), WHO SHALL ARRANGE FOR AND OBTAIN REQUIRED INSPECTIONS AND SIGN OFFS.

17. ALL INTERIOR DIMENSIONS ARE TO CENTER OF WALL. CONTRACTOR, SUBCONTRACTORS, VENDORS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THEIR WORK REGARDLESS OF WHERE THE INFORMATION OCCURS ON THE DRAWINGS.

18. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WORK OF ALL TRADES AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHERS, AND SHALL VERIFY THAT ANY WORK RELATING TO THEM WHICH MUST BE PROVIDED BY OTHERS, HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

19. CONTRACTOR SHALL PROVIDE STRUCTURAL BACKING/BLOCKING FOR ALL WALL MOUNTED FIXTURES, ACCESSORIES, FINISHES AND EQUIPMENT, AND FOR ALL HANGING FIXTURES, BLINDS, ETC.

20. CONTRACTOR SHALL AT ALL TIMES DURING THE COURSE OF THE CONTRACT KEEP THE ADJOINING PREMISES, INCLUDING STREETS AND OTHER AREAS ASSIGNED TO, OR USED BY THE CONTRACTOR, FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS OR THEIR WORK.

21. CONTRACTOR SHALL ASSIST WITH DELIVERY AND STORAGE OF OWNER SUPPLIED ITEMS, AND DISPOSE OF ANY RESULTING TRASH.

22. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL TRADES PRIOR TO INSTALLATION, AND SAMPLES OF ALL MATERIAL AND COLOR/ FINISHES FOR ARCHITECT'S APPROVAL. CONTRACTOR SHALL PROVIDE TIMELY AND COMPLETE DATA ON ANY DEVIATION/ SUBSTITUTION FROM CONTRACT DOCUMENTS.

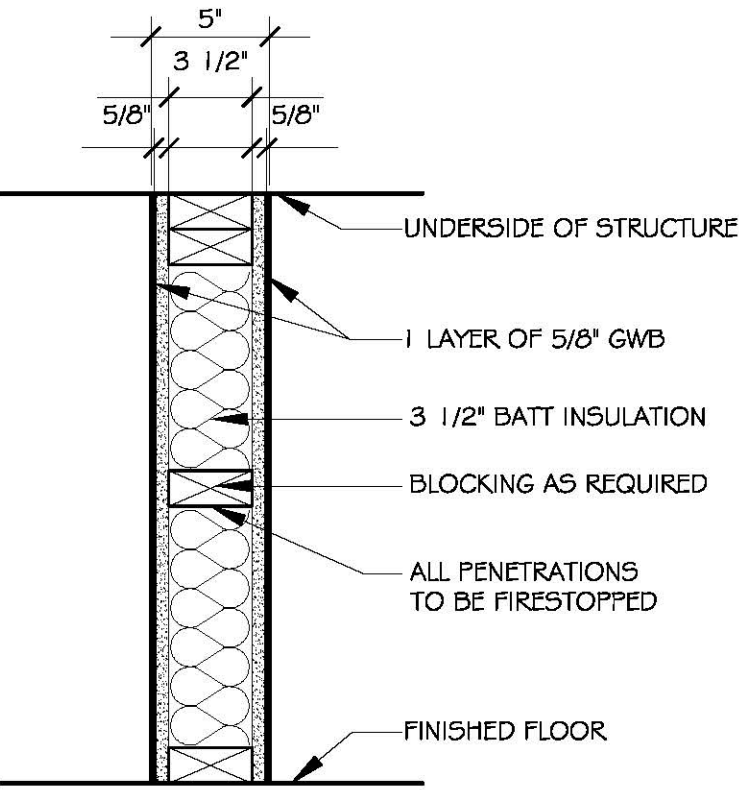
23. CONTRACTOR TO VERIFY ALL FIXTURE COUNTS, AS APPLICABLE TO THEIR CONTRACT ,WITH OWNER.

24. CONTRACTOR SHALL BE RESPONSIBLE FOR CLOSEOUT, PRIOR TO FINAL PAYMENT, INCORPORATING ALL STANDARD GUARANTEES AND WARRANTIES AND ORIGINALS OF ALL APPLICABLE CERTIFICATES OF TESTING, INSPECTION, TEMPORARY FINAL CERTIFICATE OF OCCUPANCY. COORDINATE WITH OWNER.

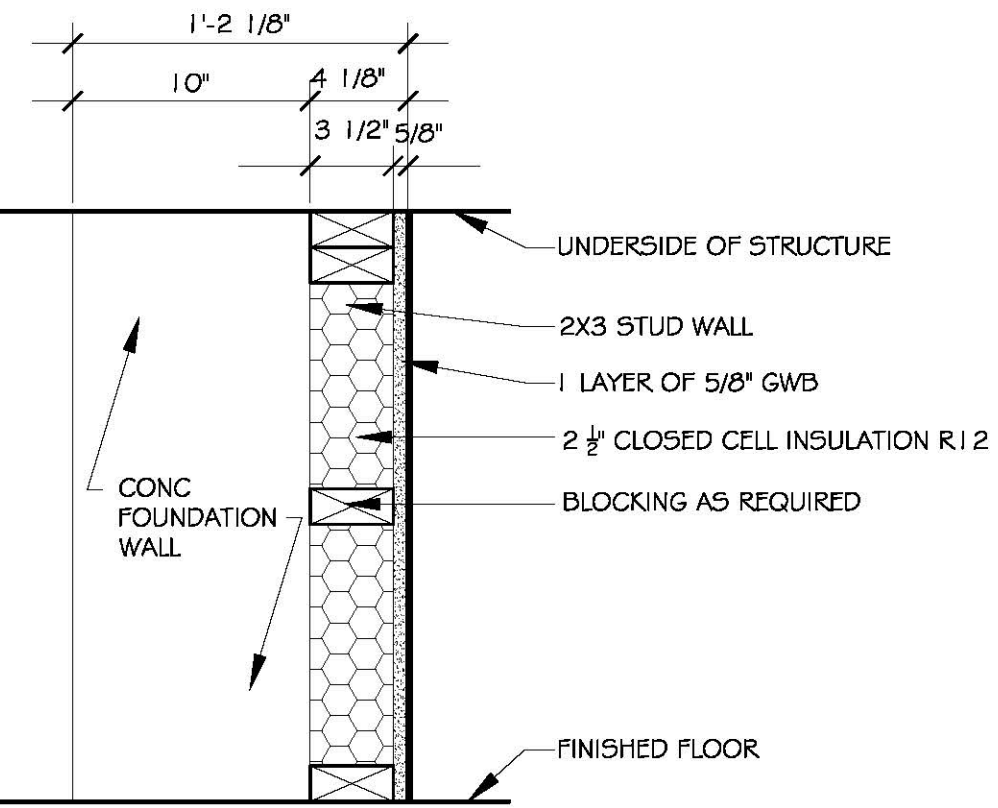
25. CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH, PROFESSIONAL CLEANING OF THE ENTIRE FACILITY PRIOR TO OWNER TAKEOVER DATE. ALL EXPOSED HORIZONTAL AND VERTICAL SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING MUST BE WIPED CLEAN AND FREE OF DUST: WALLS, EXPOSED STRUCTURAL MEMBERS, STAIRS AND RAILINGS, CABINERY. ALL FLOORS MUST BE MOPPED CLEAN.

26. CONTRACTOR TO PROVIDE 3 COPIES OF AS-BUILT INFORMATION, OPERATION AND MAINTENANCE MANUALS, INCLUDING ALL PRODUCT GUARANTEES AND WARRANTIES.

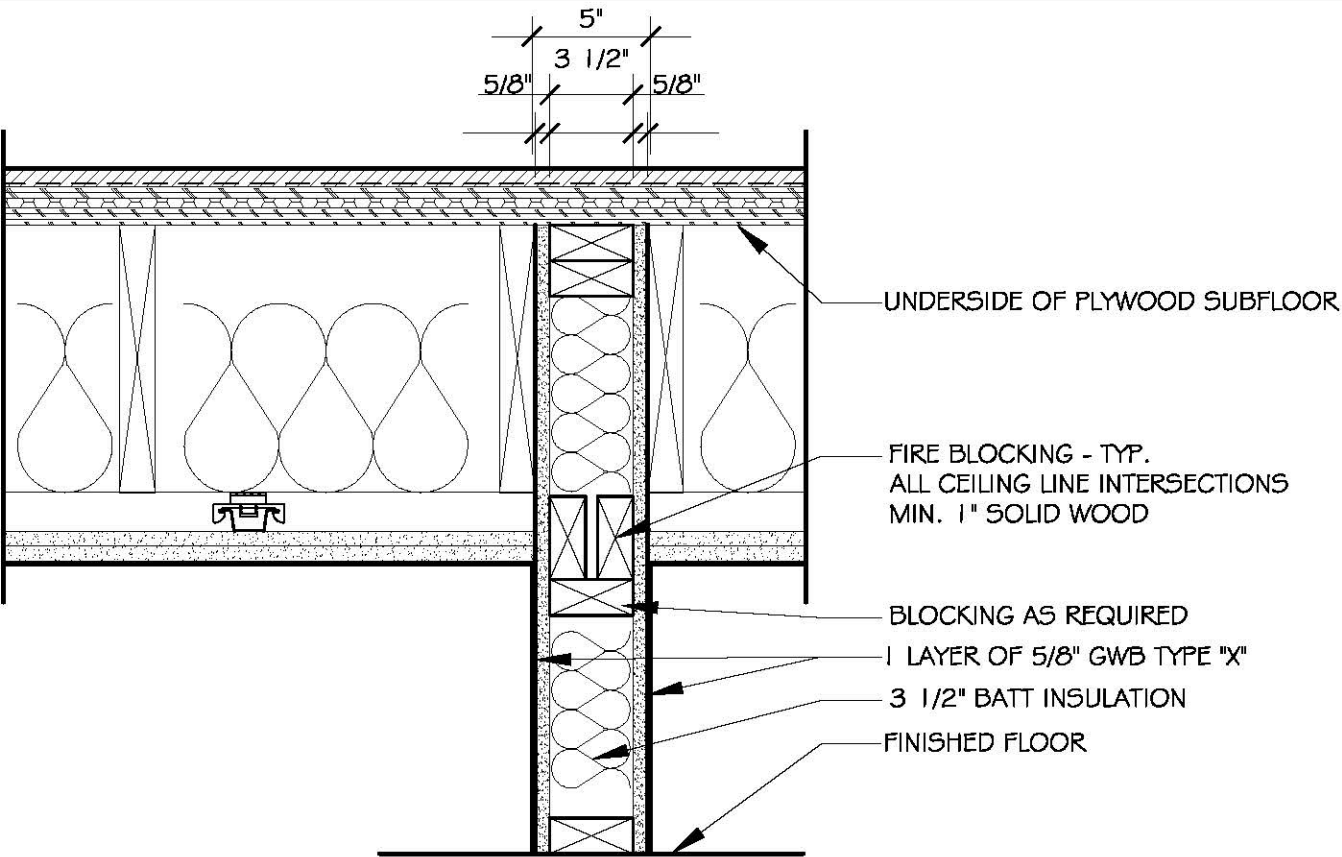
27. CONTRACTOR TO SELECT AND INSTALL CARBON MONOXIDE DETECTORS/ALARMS IN ACCORDANCE W/ ALL APPLICABLE CODES.



3 PARTITION TYPE 3  
SCALE 1 - 1/2" = 1'-0"



2 PARTITION TYPE 2  
SCALE 1 - 1/2" = 1'-0"



1 1 HR FIRE RATED PARTITION TYPE 1 (UL U305)  
SCALE 1 - 1/2" = 1'-0"

PARTITION NOTES

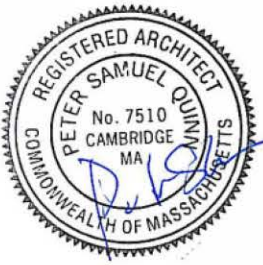
- 1) ALL ASSEMBLIES SHALL BE CONSTRUCTED PER DESIGNATED UL TESTED ASSEMBLY.
- 2) AT ALL FIRE RATED PARTITION ASSEMBLIES GYPSUM BOARD SHALL BE 5/8" TYPE-X.
- 3) FOR ALL SOUND PARTITIONS USE ACOUSTICAL SEALANT AT TOP AND BOTTOM.
- 4) USE FIRE RATED SEALANT SUCH AS HILTI CP 50G SERIES SEALANT AT RATED PARTITIONS. USE RATED ACOUSTICAL SEALANT AT RATED ACOUSTICAL PARTITIONS
- 5) AT ALL TILED WALLS USE 5/8" CEMENT BOARD ("DUROCK" OR APPROVED EQUAL) IN LIEU OF 5/8" FIRE CODE GYPSUM WALL BOARD, MAINTAINING REQUIRED FIRE RATING.
- 6) AT ALL TUB LOCATIONS ABUTTING A DEMISING OR FIRE SEPARATION WALL, EXTEND 5/8" FIRE CODE GYPSUM WALL BOARD OR 5/8" "DUROCK" TO FLOOR DECK BEHIND FIXTURE, BEFORE PLACING FIXTURE MAINTAIN FIRE RATED ASSEMBLY NOTED.
- 7) PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT CABINETS AND TOILET ACCESSORIES- REFER TO SHADED AREAS ON BATHROOM ELEVATIONS FOR EXTENT OF BLOCKING. INCLUDING BLOCKING FOR FUTURE FIXTURES.
- 8) AT BATHROOM USE MOISTURE RESISTANT GYPSUM BOARD.
- 9) GWB LAYERS TO BE LAPPED AND JOINTED AS REQUIRED, TYPICAL LAP IS ONE STUD WIDTH. REFER TO THE SPECIFIED UL DESIGN FOR THE REQUIREMENTS OF EACH RATED CONSTRUCTION TYPE.

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SEAL



CONSULTANT

PROJECT

RENOVATION OF  
THREE FAMILY  
BUILDING

189 CHARLES STREET,  
CAMBRIDGE, MA

PREPARED FOR

KRE COMPANY, LLC.  
22 McGRATH HWY  
SUITE 206  
Somerville, MA. 02143

....

DRAWING TITLE

GEN. NOTES,  
ABBREVIATIONS  
KEY SYMBOLS  
PARTITION  
TYPES

SCALE AS NOTED

REVISION / ISSUE	DATE
PERMIT SET	02 JAN 2018
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SHEET	

G1.0

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## RENOVATION OF THREE FAMILY BUILDING

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CAMBRIDGE, MA

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DRAWING TITLE

## CODE ANALYSIS

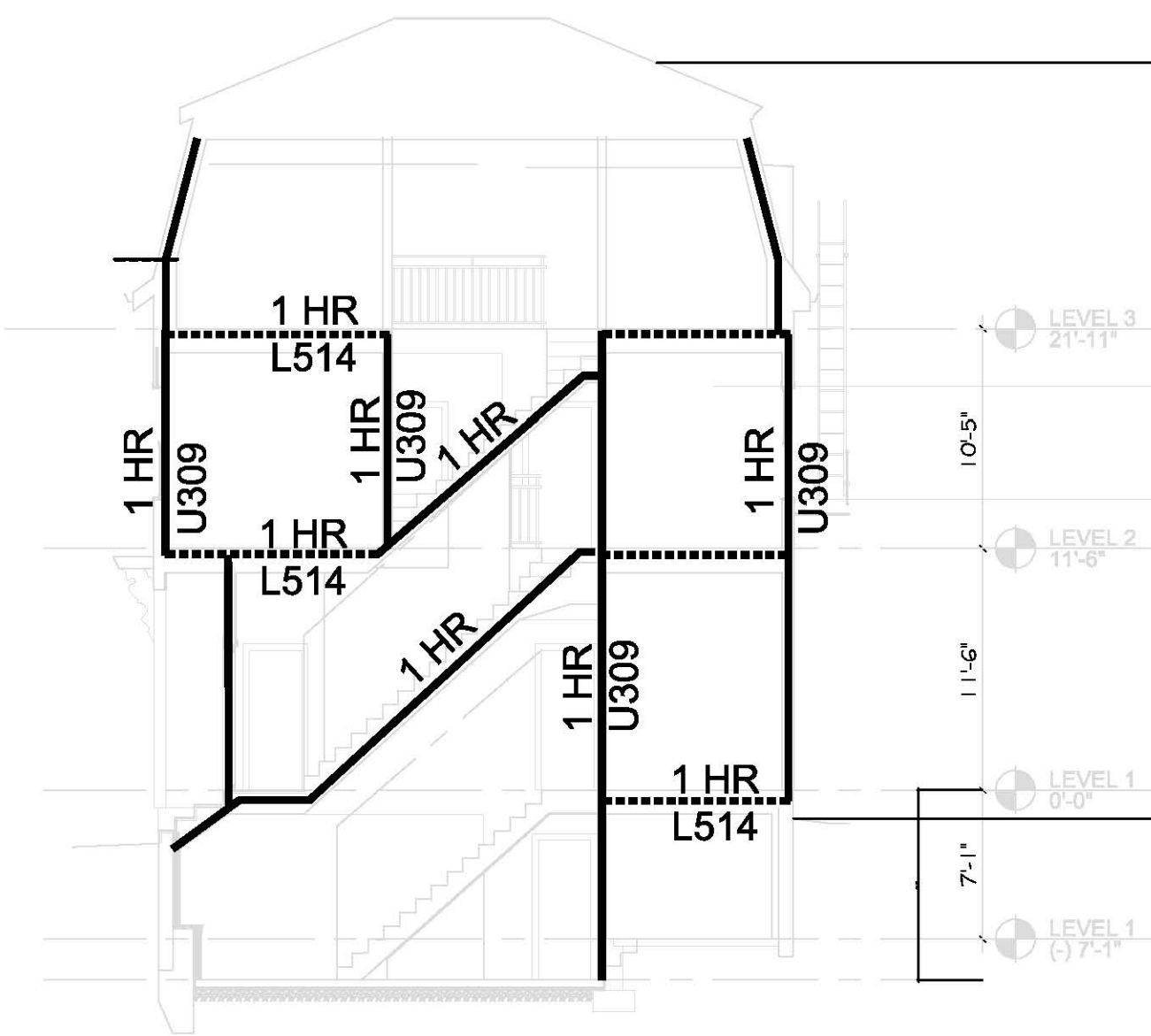
SCALE AS NOTED

REVISION / ISSUE	DATE
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PERMIT SET	02 JAN 2018
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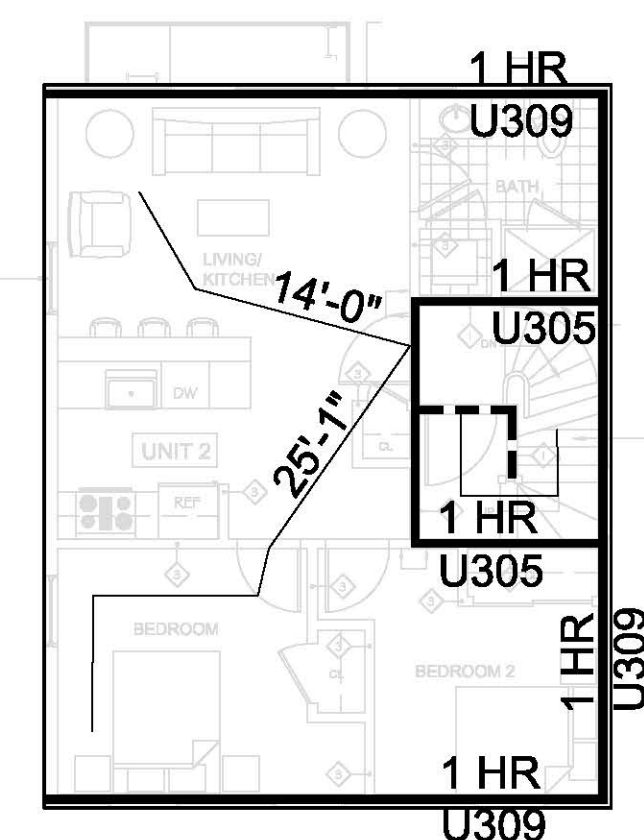
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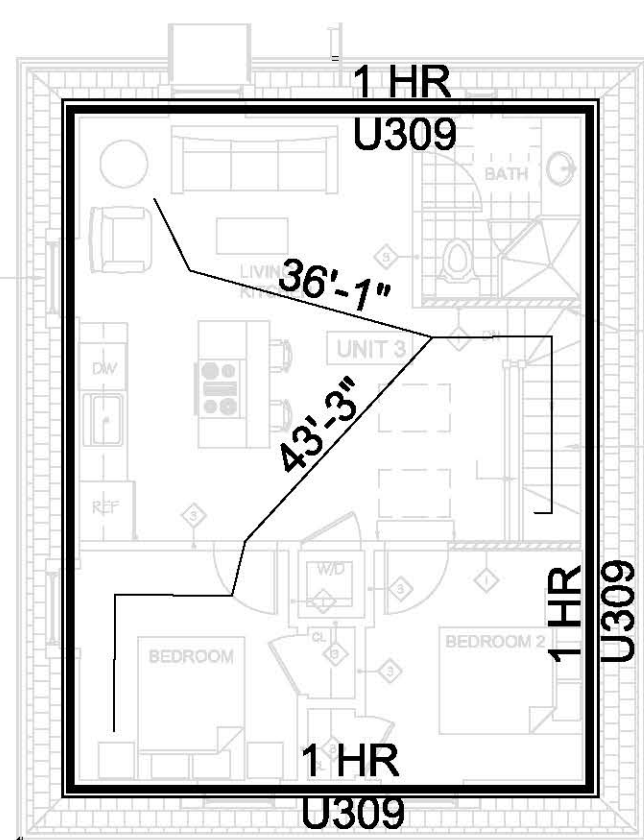
5 SECTION

SCALE: 1/8"= 1'-0"



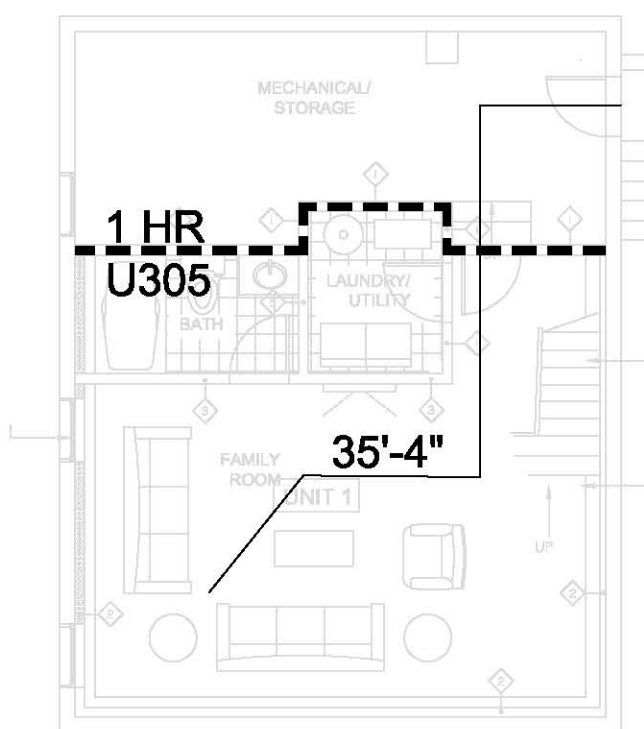
4 ATTIC FLOOR PLAN

SCALE: 1/8"= 1'-0"



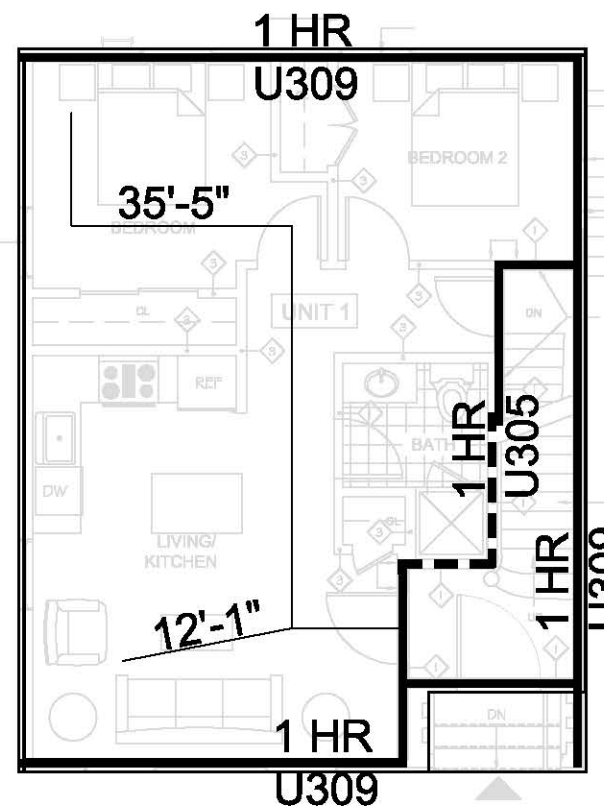
3 SECOND FLOOR PLAN

SCALE: 1/8"= 1'-0"



2 FIRST FLOOR PLAN

SCALE: 1/8"= 1'-0"



1 BASEMENT PLAN

SCALE: 1/8"= 1'-0"



1 HR FIRE RATED



1 HR FIRE RATED WALL ON  
EXISTING STUDS

### BUILDING CODE REVIEW

MASSACHUSETTS STATE BUILDING CODE-IBC 2008 WITH 8TH EDITION MA AMENDMENTS

TOTAL GROSS FLOOR AREA: 2,807 SF

USE GROUP - R2, S2 NON-SEPARATED.

STRETCH ENERGY CODE  
USE "HERS" RATING SYSTEM.  
SEE BELOW AND WALL SECTIONS A3.1 AND A3.2

TABLE 503:

NO.	FLOOR	USE GROUP	TYPE OF CONSTRN	ALLOWED AREA S.F.	STORIES/ HEIGHT	PROVIDED		REMARKS
						AREA S.F.	STORIES/ HEIGHT	
0	BASEMENT	R2/S2	RESIDENTIAL/ UTILITY/ STORAGE	5B	21,000*	3/60**	714.17	1/ 9'-0 1/2"
1	FIRST	R2	RESIDENTIAL	5B	21,000*	3/60**	706.10	1/11'-6"
2	SECOND	R2	RESIDENTIAL, MULTI-FAMILY	5B	21,000*	3/60**	726.56	1/10'-5"
3	ATTIC	R2	RESIDENTIAL, MULTI-FAMILY	5B	21,000*	3/60**	661.56	1/ 9'-0 1/2"
					TOTAL	2,807.26	3/36.0***	*** ABOVE AVERAGE GRADE

FIRE RESISTANCE OF BUILDING ELEMENTS: FROM TABLE 601 U.N.O:

BUILDING ELEMENT	TYPE OF CONSTRUCTION		FIRE RATING FILE UL# (SEE PARTITION TYPES)
	REQUIRED	PROVIDED	
1. PRIMARY STRUCTURAL FRAME	0HR	0HR	
2. BEARING WALLS:-(BASED ON CONSTRUCTION TYPE) EXTERIOR AND INTERIOR-	0HR	0HR (SEE 7.8.9,10)	
3. BEARING AND NON-BEARING WALLS:- (BASED ON SEPARATION DISTANCE) EXTERIOR: (704.10, 705.5, TABLE 602)	<10' 10'-30' >30'	1HR 0HR 0HR (SEE 10)	U344 N/A N/A
4. INTERIOR NON-BEARING WALLS AND PARTITIONS:-	0HR	0HR (SEE 7.8.9)	N/A
5. FLOOR CONSTRUCTION & SECONDARY MEMBERS:	0HR	0HR (SEE 8.9,10)	N/A
6. ROOF CONSTRUCTION AND SECONDARY MEMBERS	0HR	0HR	N/A
7. SHAFT ENCLOSURES MSBC SEC 708.4 4 OR MORE STORIES LESS THAN 4 STORIES (SUPPORTING STRUCTURE INCLUDED PER 712.4) FLOOR OF EXIT @ STAIRS: DOORS: (TABLE 715.4):	2HR 1HR 1HR 60 MIN	N/A 1 HR 1HR 60 MIN	N/A U309 L514
8. FIRE SEPARATIONS BETWEEN DWELLING UNITS: -PARTITIONS (MSBC 420.2, 709.3) -FLOOR / CEILING, (MSBC 420.3, 712.3)	.5HR .5HR	1HR 1HR	U309 L514
9. CORRIDORS: WALLS (MSBC 709.3, EX1; TABLE 1018.1) (OCCUPANT LOAD- 9: NO RATING REQD)	0HR	0HR	
10. OPENINGS IN EXTERIOR WALL MSBC 705.8.1 EX. 2	NO LIMIT		

EGRESS CALCULATIONS:

OCCUPANT LOAD: TABLE 1004.1.1:

#	FLOOR	USE GROUP	FLOOR AREA IN SQ. FT. PER OCCUPANT	OCCUPANT/ FLOOR
0	BASEMENT / RESID/ UTIL.	R-2	714.17 / 200 GROSS	4
1	FIRST / RESIDENTIAL	R-2	705.10 / 200 GROSS	4
2	SECOND / RESIDENTIAL	R-2	726.56 / 200 GROSS	4
3	ATTIC / RESIDENTIAL	R-2	661.43 / 200 GROSS	4
	TOTAL		2807.26	16

SECTION 1005.1

STAIR WIDTH 1005.1: WIDTH IN INCHES STAIRS 0.3 / PERSON 1009.1: STAIR WIDTH 36" FOR OCCUPANCY < 50		
#	STAIR	EGRESS CAPACITY 0.3 X OCCUPANTS
1	STAIR #1	0.3 X 36 = 12
		36" MIN
OTHER EGRESS COMPONENTS		
1005.1: WIDTH IN INCHES- DOORS 0.20 / PERSON 1008.1: MIN. CLEAR WIDTH AT EGRESS DOORS: 32"		
#	DOOR	EGRESS CAPACITY 0.2 X OCCUPANTS
	COMMON AREA- EGRESS DOORS	0.2 X 36 = 8
		32"

EXITS	REQUIRED	PROVIDED
EXIT ACCESS TRAVEL DISTANCE: (SECTION 1016.1, TABLE 1016.1)	250' MAX	< 250'
REQUIRED EXITS FROM EACH FLOOR LEVEL: PER TABLE 1021.2 (WITH TRAVEL DISTANCE < 50FT)	1	1
EXITS FROM DWELLING UNITS: (SECTION 1021.1, EXCEPTION 4 / SECTION 1015.1.1, EXCEPTION)	1	1
EMERGENCY ESCAPE AND RESCUE: SECTION 1029: (EXCEPTION 1- SPRINKLERED BUILDING: REQD FROM 3RD FLR BEDROOMS ONLY)	ONE FROM EACH 3RD FLR BEDROOM	YES

STRETCH ENERGY CODE

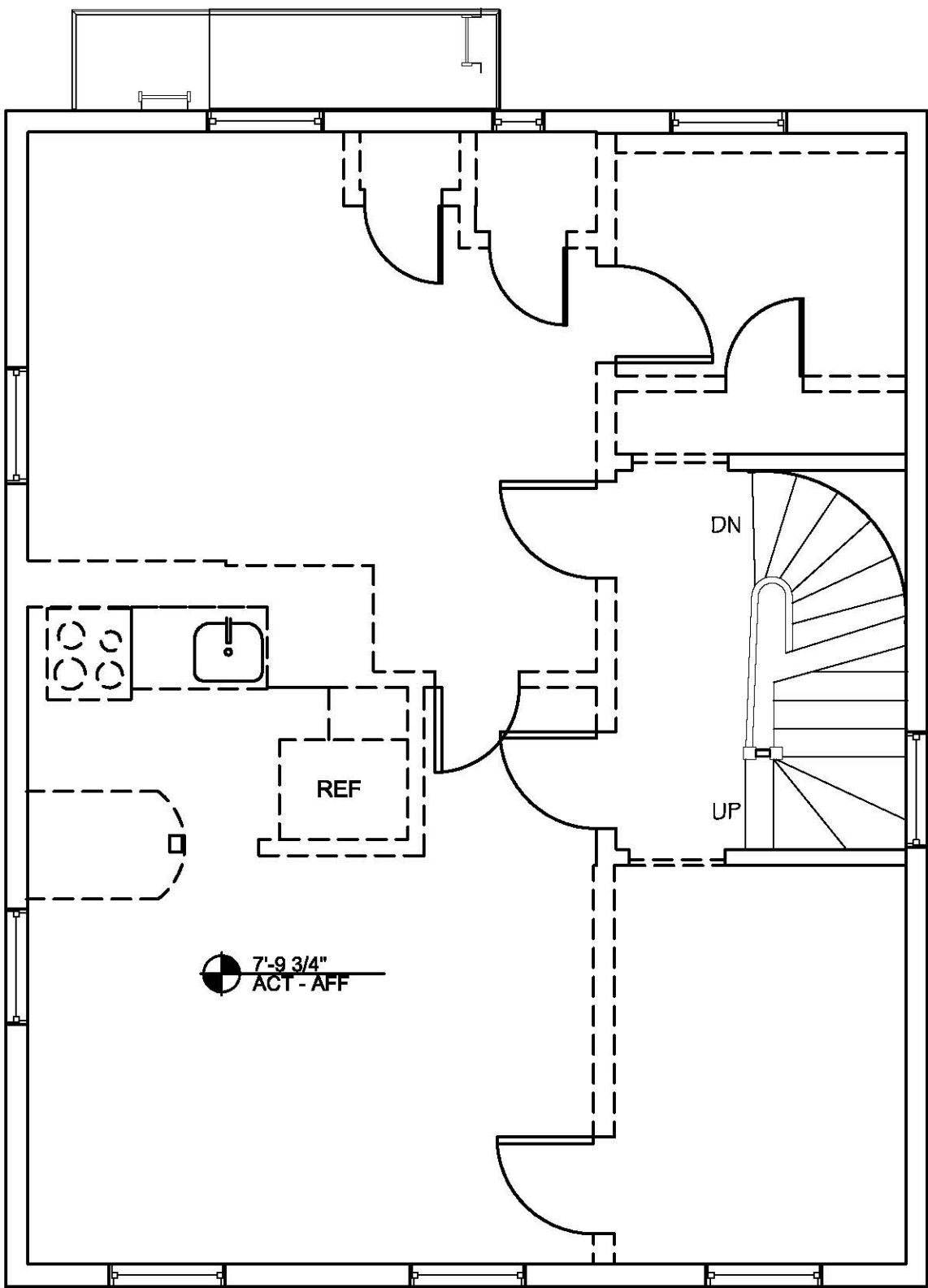
SECTION 401.2: COMPLY USING "HERS" ENERGY RATING SYSTEM, REQUIRED FOR RESIDENTIAL 3-STORY AND LESS.

TABLE 602.2 OF THE STRETCH ENERGY CODE USED FOR GUIDANCE FOR BUILDING ENVELOPE ENERGY DESIGN:  
-ROOFS: R-25 IF USING CONTINUOUS EXTERIOR INSULATION; R-38 IF USING INSULATION BETWEEN JOISTS  
-WALLS: R-20  
-WALLS BELOW GRADE: R-7.5 EXTERIOR CONTINUOUS INSULATION; R-19 IF USING INTERIOR INSULATION.  
-FLOOR (OVER EXTERIOR AREAS, GARAGE): R-30.

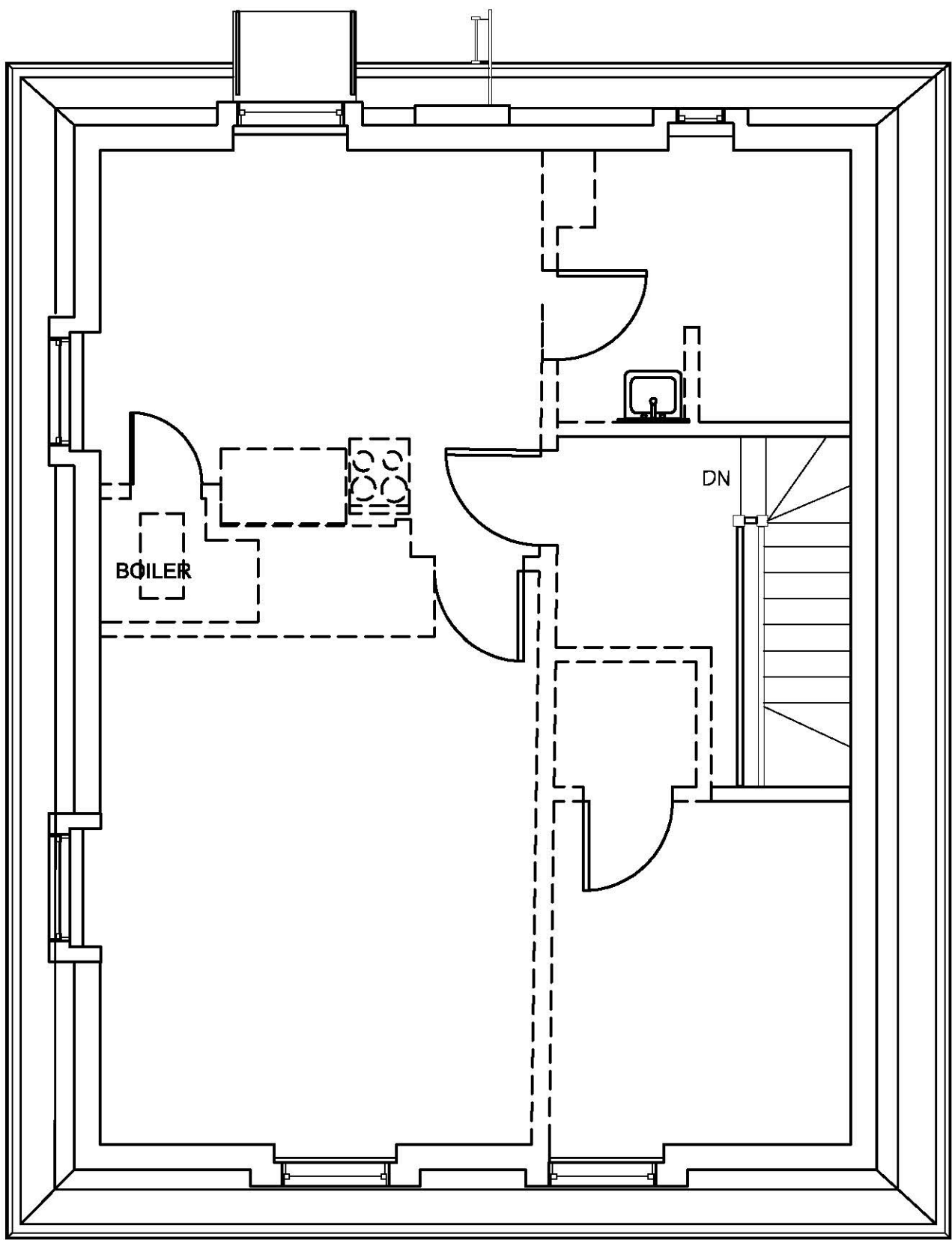
ACCESSIBILITY- MA ARCHITECTURAL ACCESS BOARD (MAAB)	REQUIRED	PROVIDED
MAAB- 521 CMR 9.0: MULTIPLE DWELLINGS: - PER 521 CMR 9.3: UPPER FLOOR UNITS EXEMPT (NO ELEVATOR) - PER 521 CMR 9.6: TOWNHOUSES EXEMPT (GROUND FLOOR UNIT)	NO REQUIREMENTS	N/A

SOUND TRANSMISSION- MSBC 1207

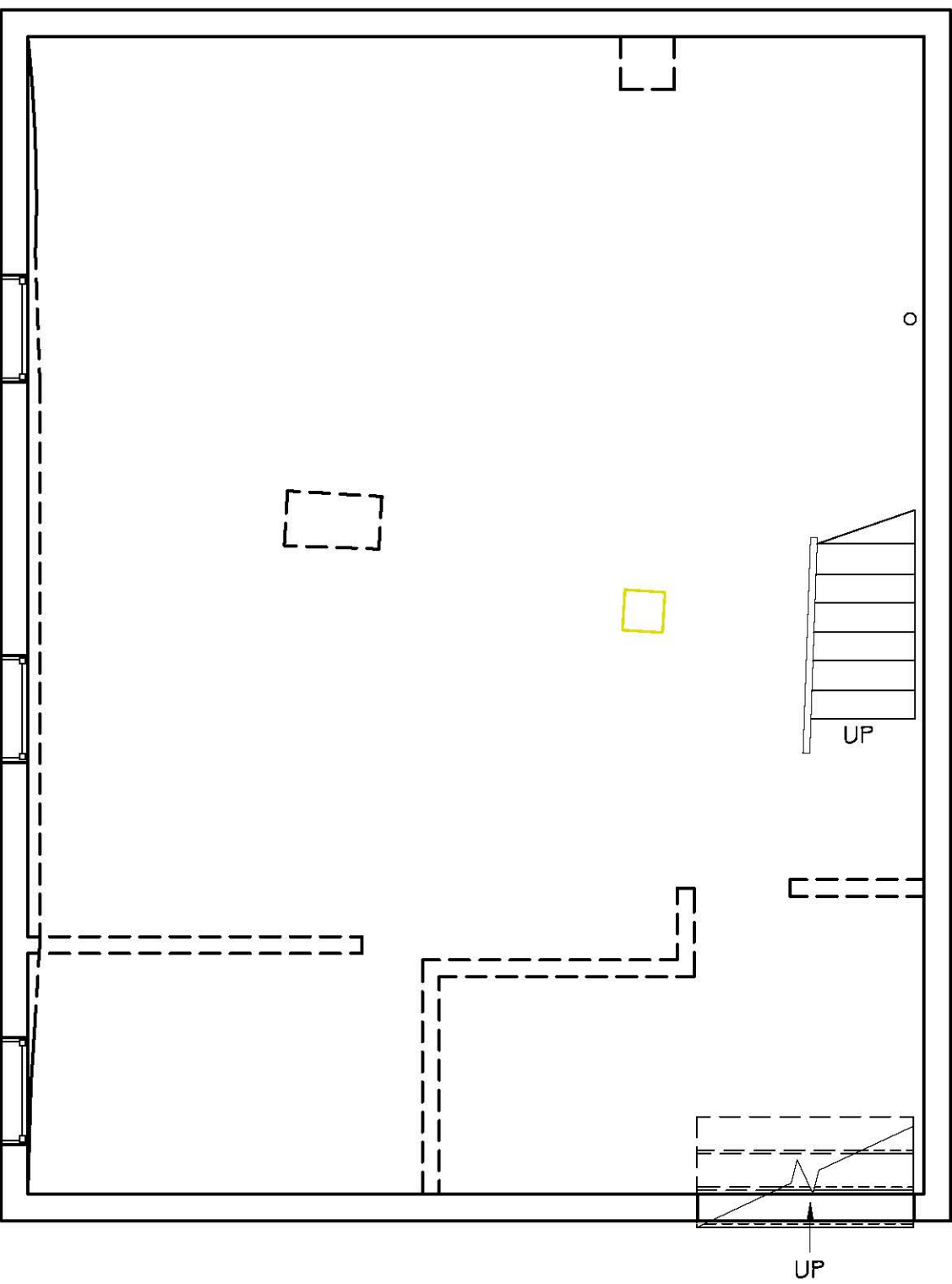
BUILDING ELEMENT	STC RATINGS	
	REQUIRED	PROVIDED
1. AIRBORNE SOUND: (MSBC 1207.2): - PARTITIONS & CEILINGS BETWEEN DWELLING UNITS - PARTITIONS & CEILINGS BET. DWELLING UNITS AND PUBLIC AREA	STC: 50 STC: 50	STC: 57 STC: 57
2. STRUCTURE BORNE SOUND: (MSBC 1207.3): - FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS - FLOOR/CEILING ASSEMBLIES BET DWELLING UNITS AND PUBLIC.	IIC: 50 IIC: 50	IIC: 51 IIC: 51



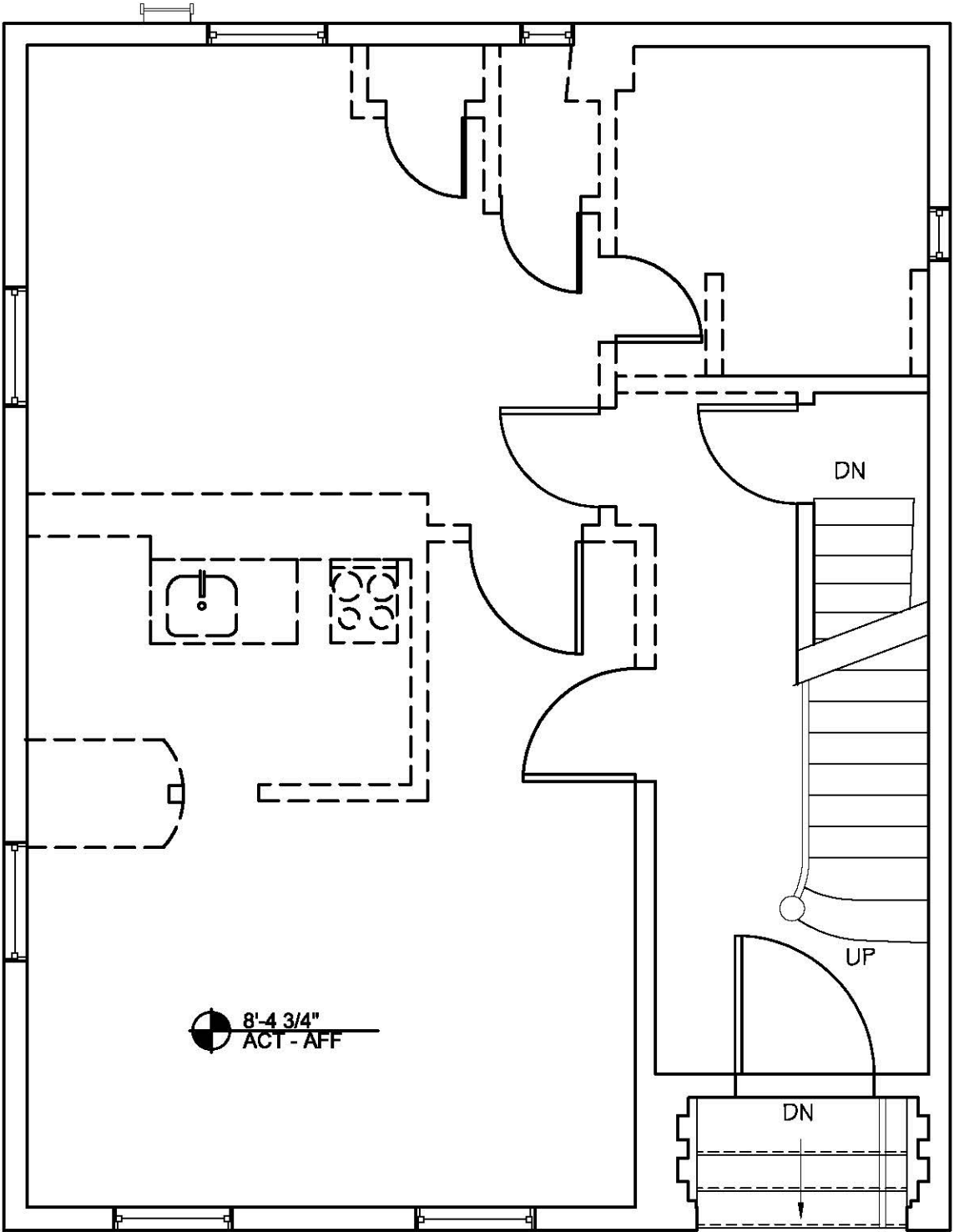
③ SECOND FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"



④ ATTIC LEVEL  
SCALE: SCALE: 1/4"=1'-0"



① BASEMENT FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"



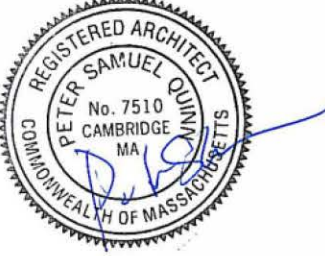
② FIRST FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"

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DEMO  
FLOOR PLANS

SCALE AS NOTED

REVISION / ISSUE	DATE
PERMIT SET	## NOV 2017
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SHEET

D1.0

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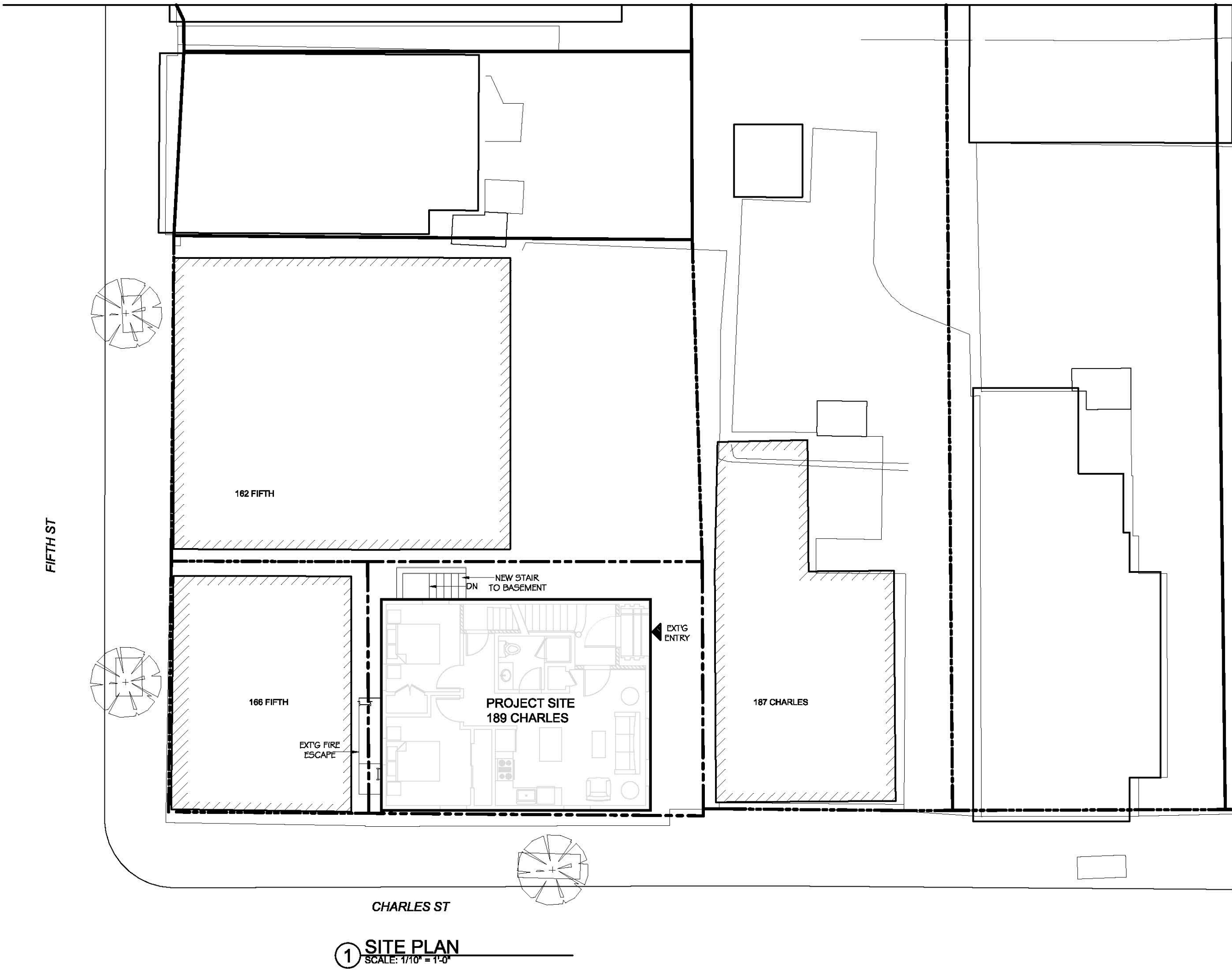
ARCHITECTURAL  
SITE PLAN

SCALE AS NOTED

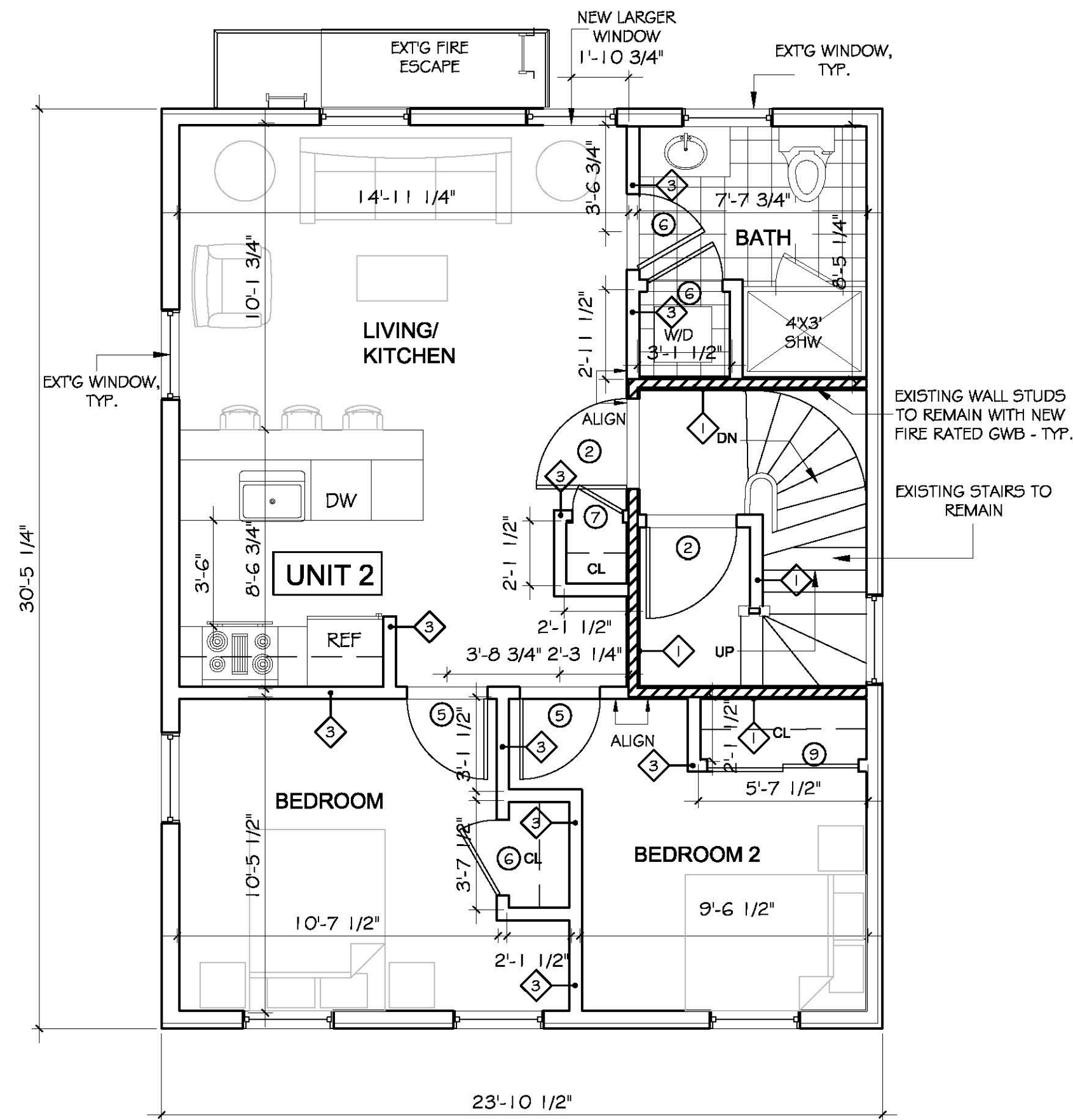
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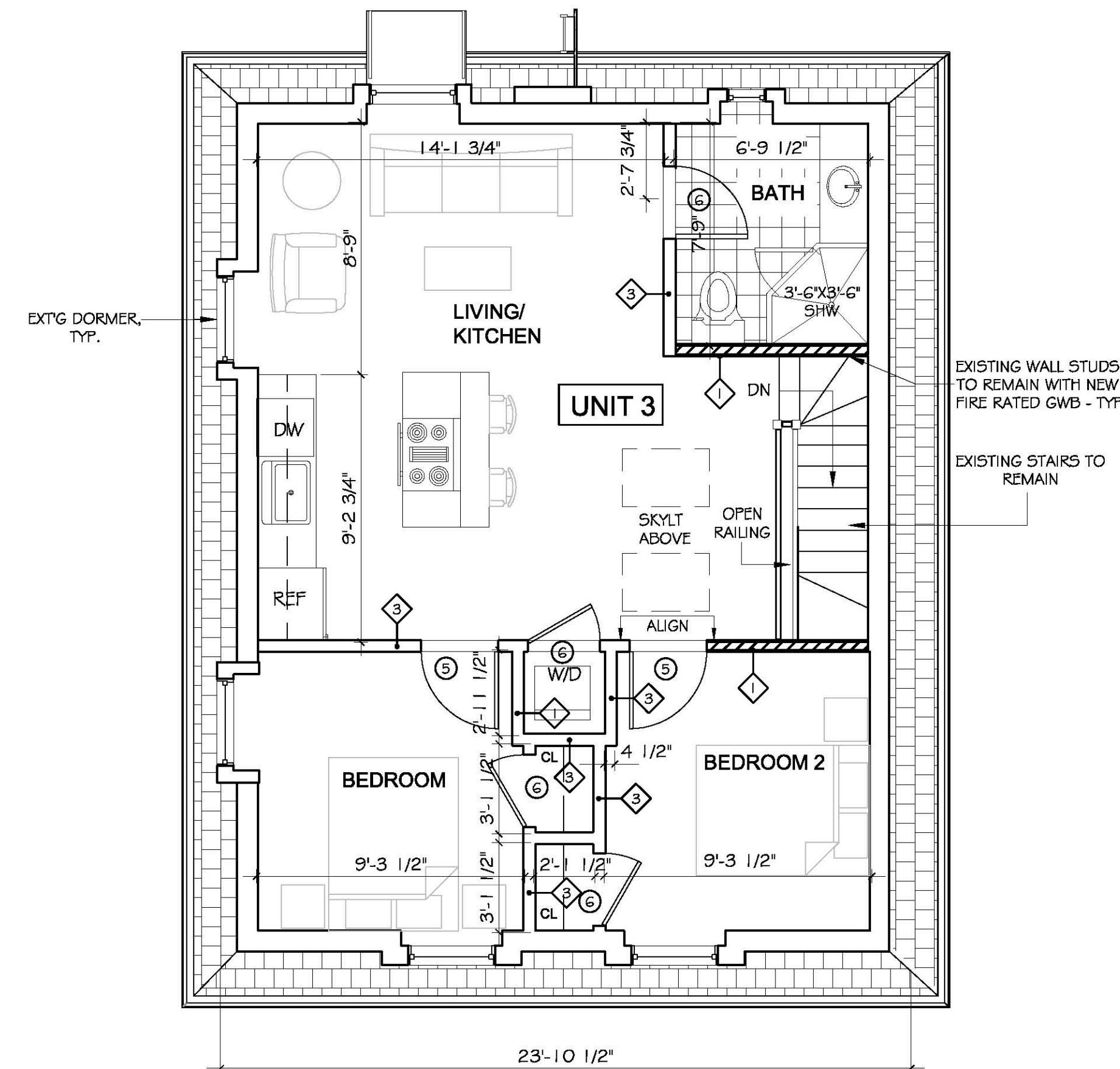
A-0.1



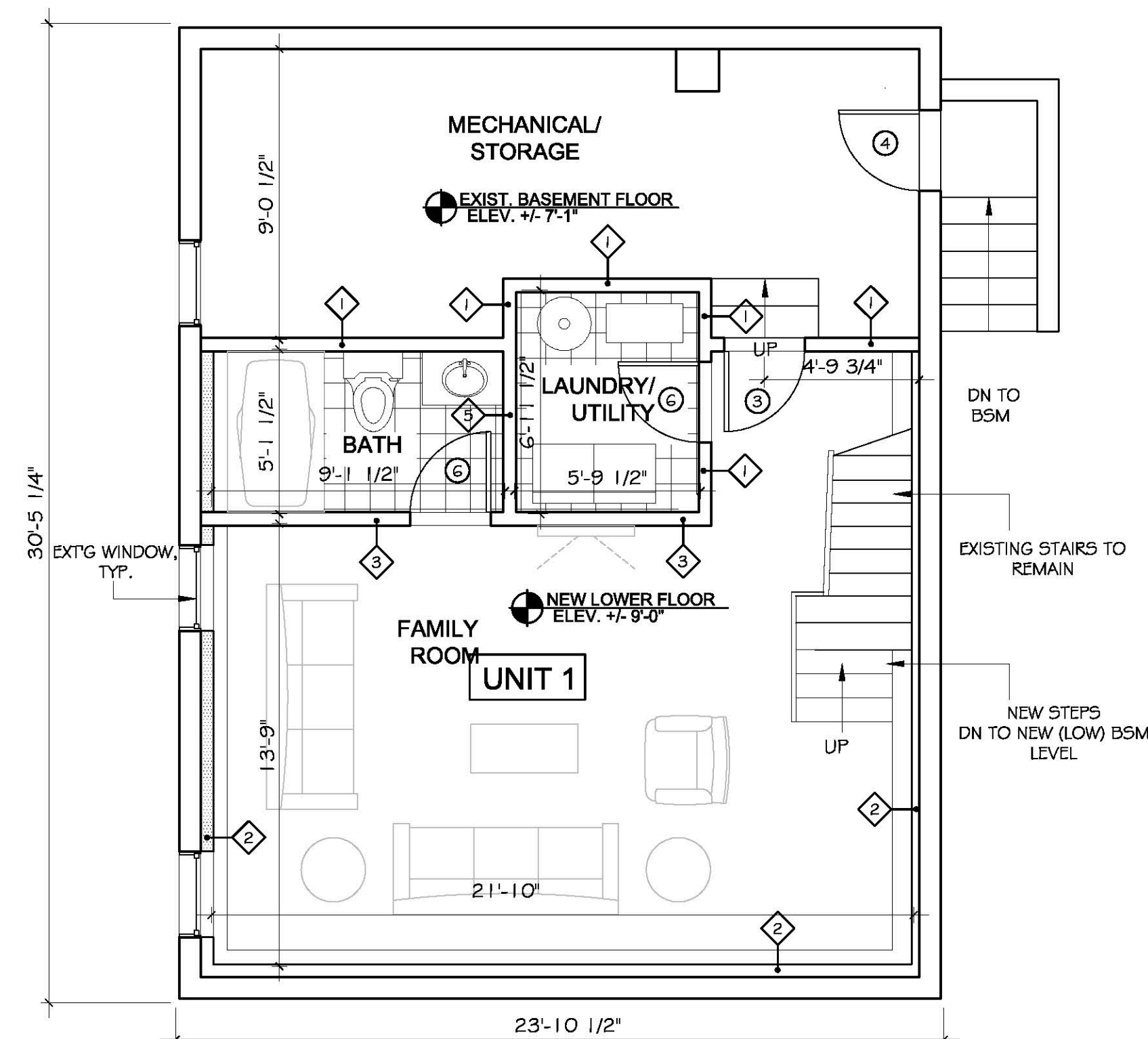
1 SITE PLAN  
SCALE: 1/16" = 1'-0"



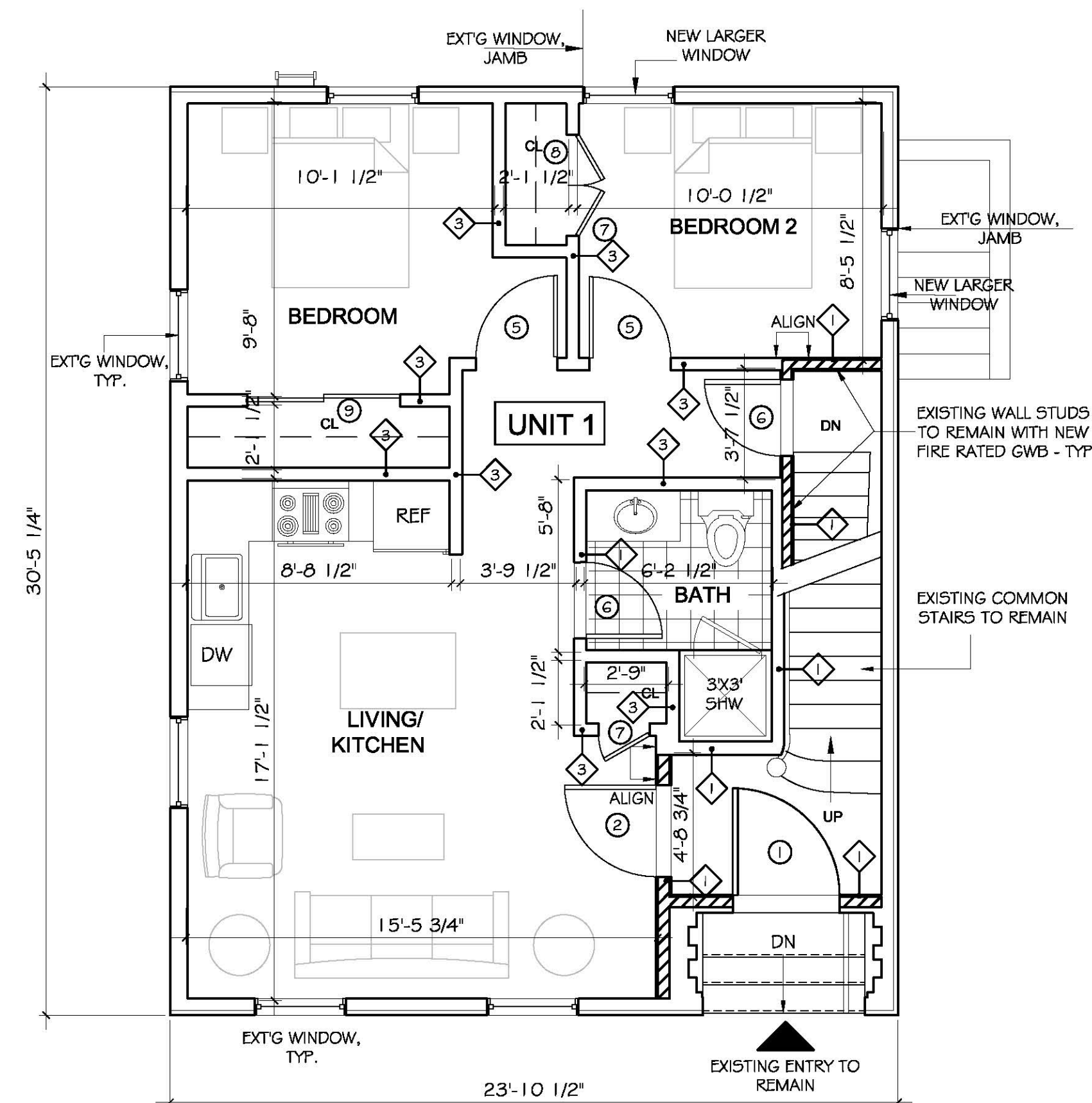
③ SECOND FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"



④ ATTIC LEVEL  
SCALE: SCALE: 1/4"=1'-0"



① BASEMENT FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"



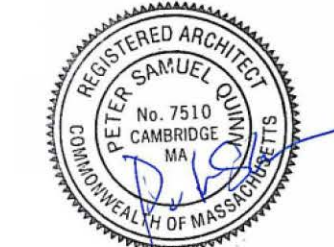
② FIRST FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"

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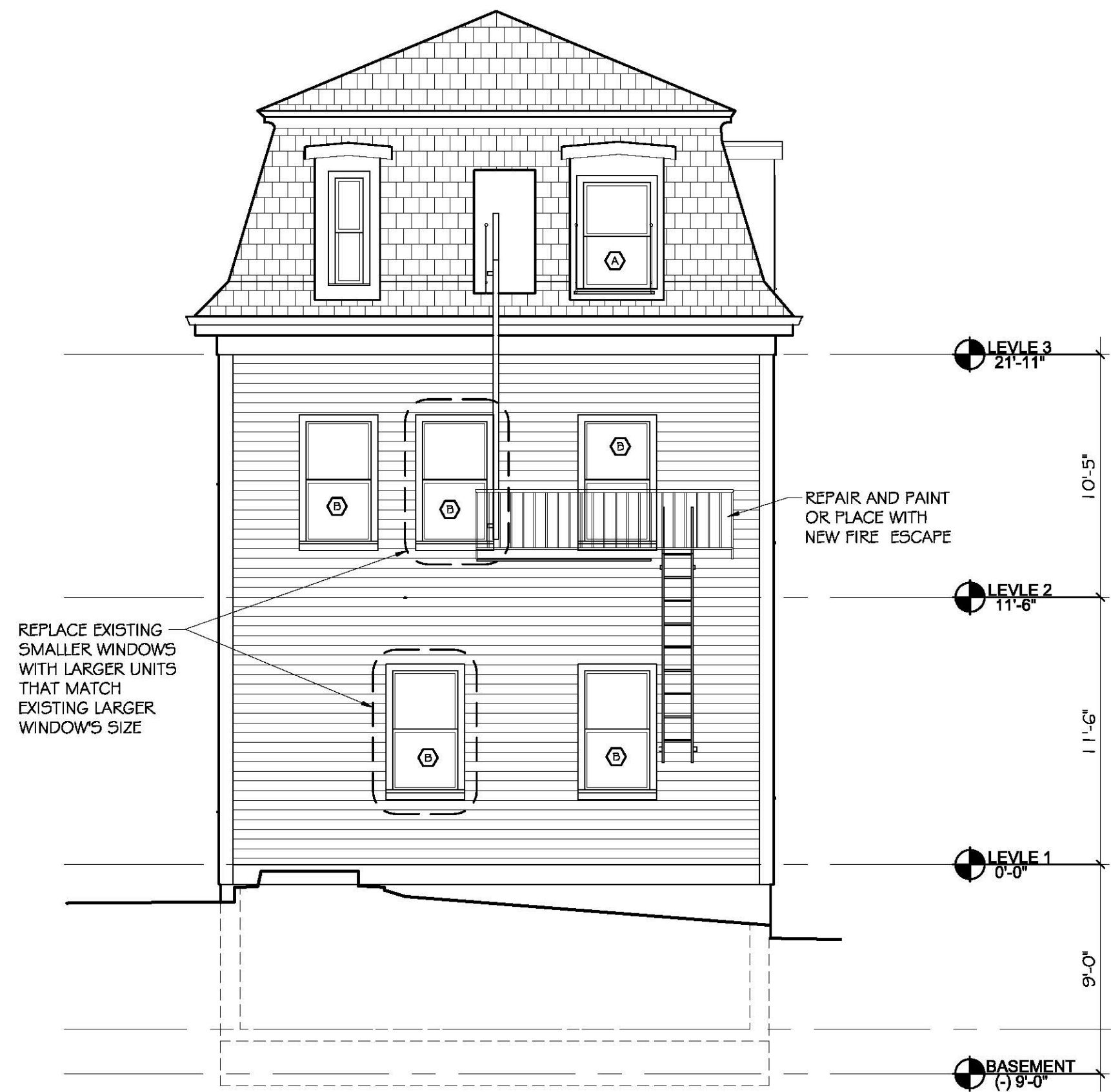
PROPOSED  
FLOOR PLANS

SCALE AS NOTED

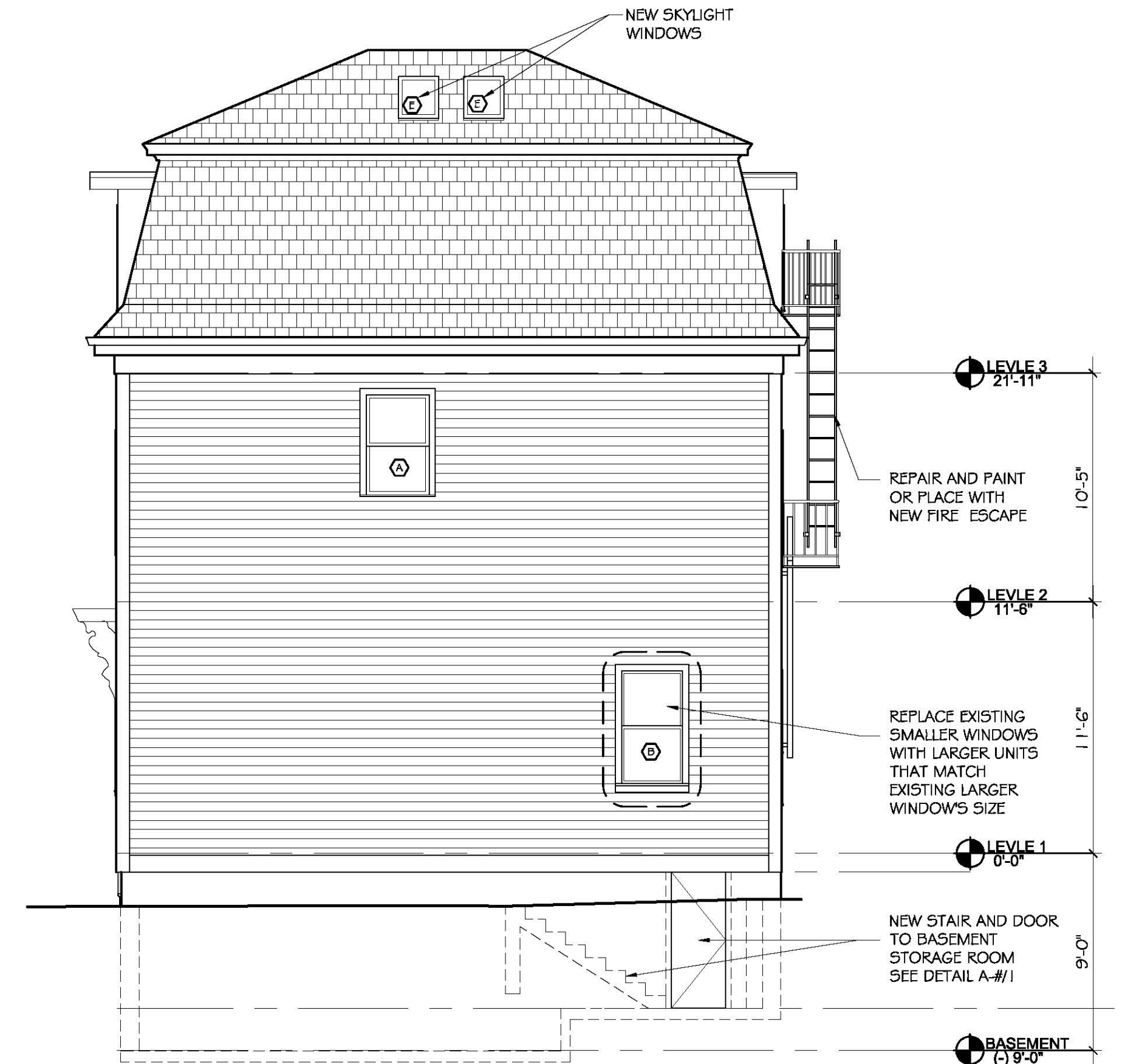
REVISION / ISSUE	DATE
PERMIT SET	## NOV 2017
DRAWN BY ELM	REVIEWED BY PQ

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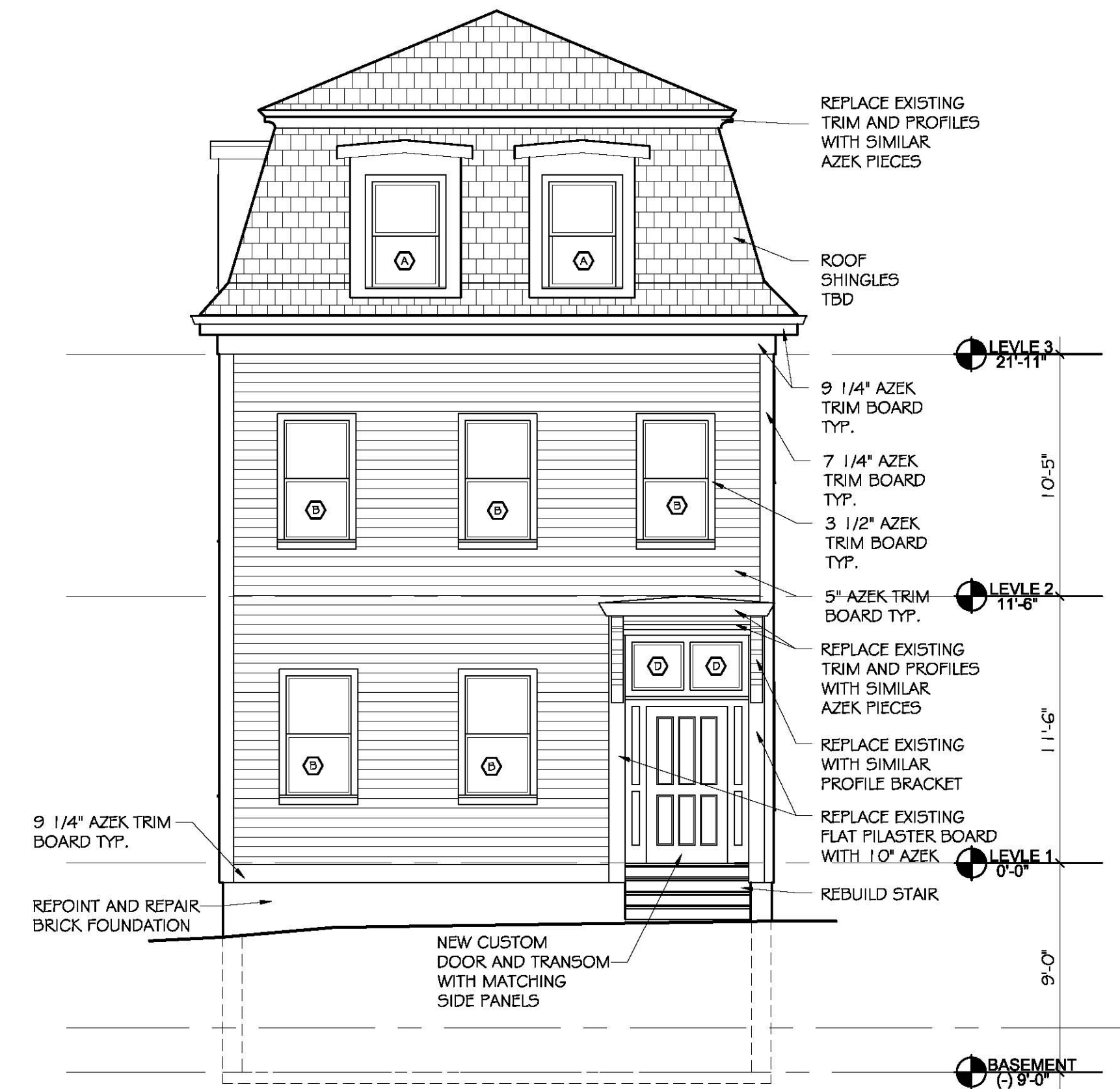
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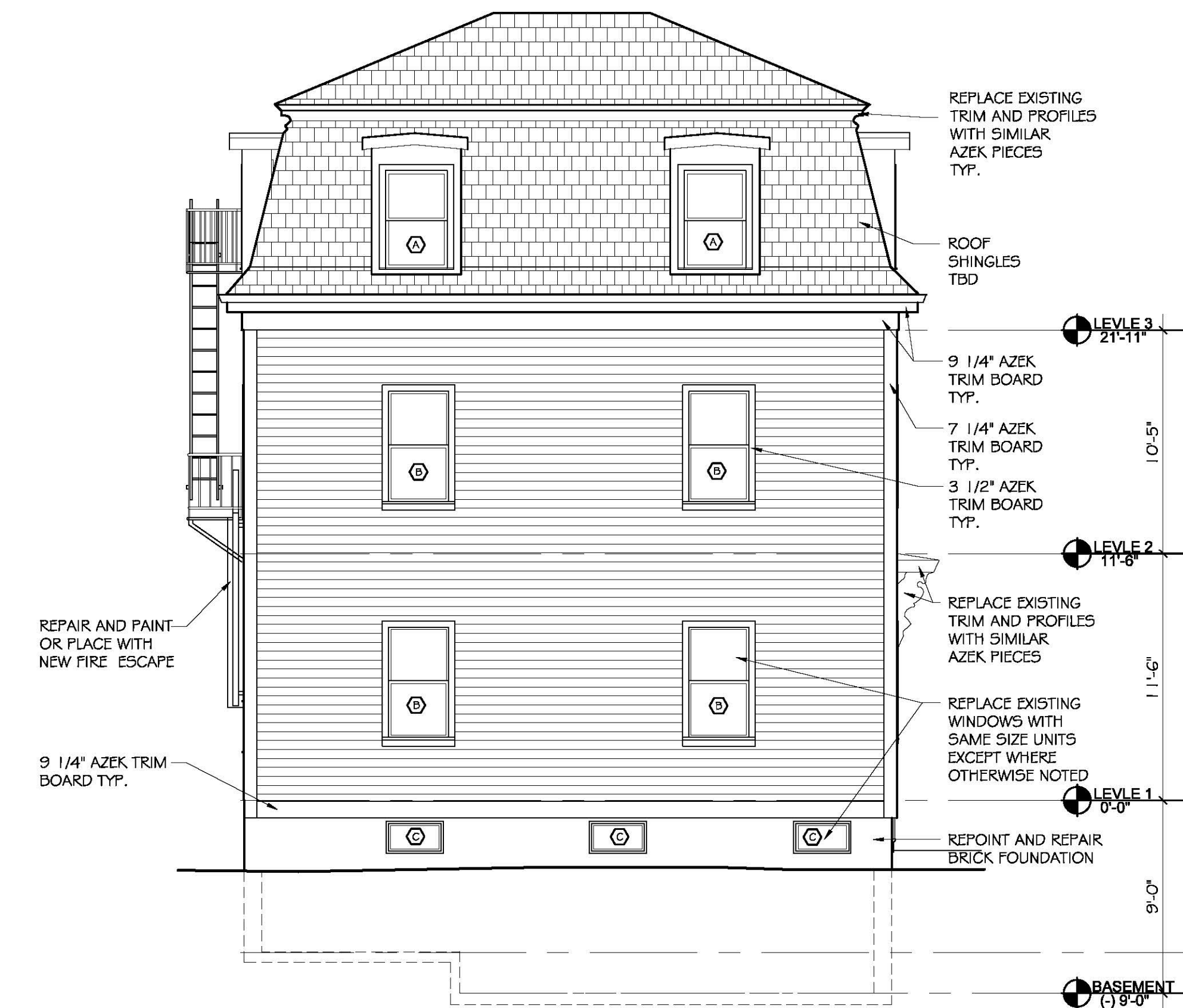
④ SIDE ELEVATION - WEST  
SCALE: 3/16"



③ REAR ELEVATION - NORTH  
SCALE: 3/16"



② ACCESSWAY ELEVATION - EAST  
SCALE: 3/16"



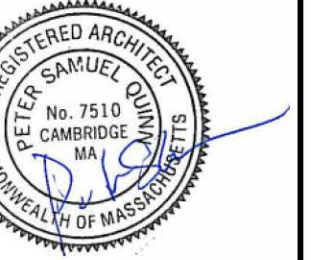
① CHARLES STREET ELEVATION - SOUTH  
SCALE: 3/16"

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DRAWING TITLE

ELEVATIONS

SCALE AS NOTED

REVISION / ISSUE	DATE
PERMIT SET	02 JAN 2018
DRAWN BY ELM	REVIEWED BY PQ

SHEET

A2.1

SEAL



CONSULTANT

PROJECT

RENOVATION OF  
THREE FAMILY  
BUILDING

189 CHARLES STREET,  
CAMBRIDGE, MA

PREPARED FOR

KRE COMPANY, LLC.  
22 McGRATH HWY  
SUITE 206  
Somerville, MA. 02143

....

DRAWING TITLE

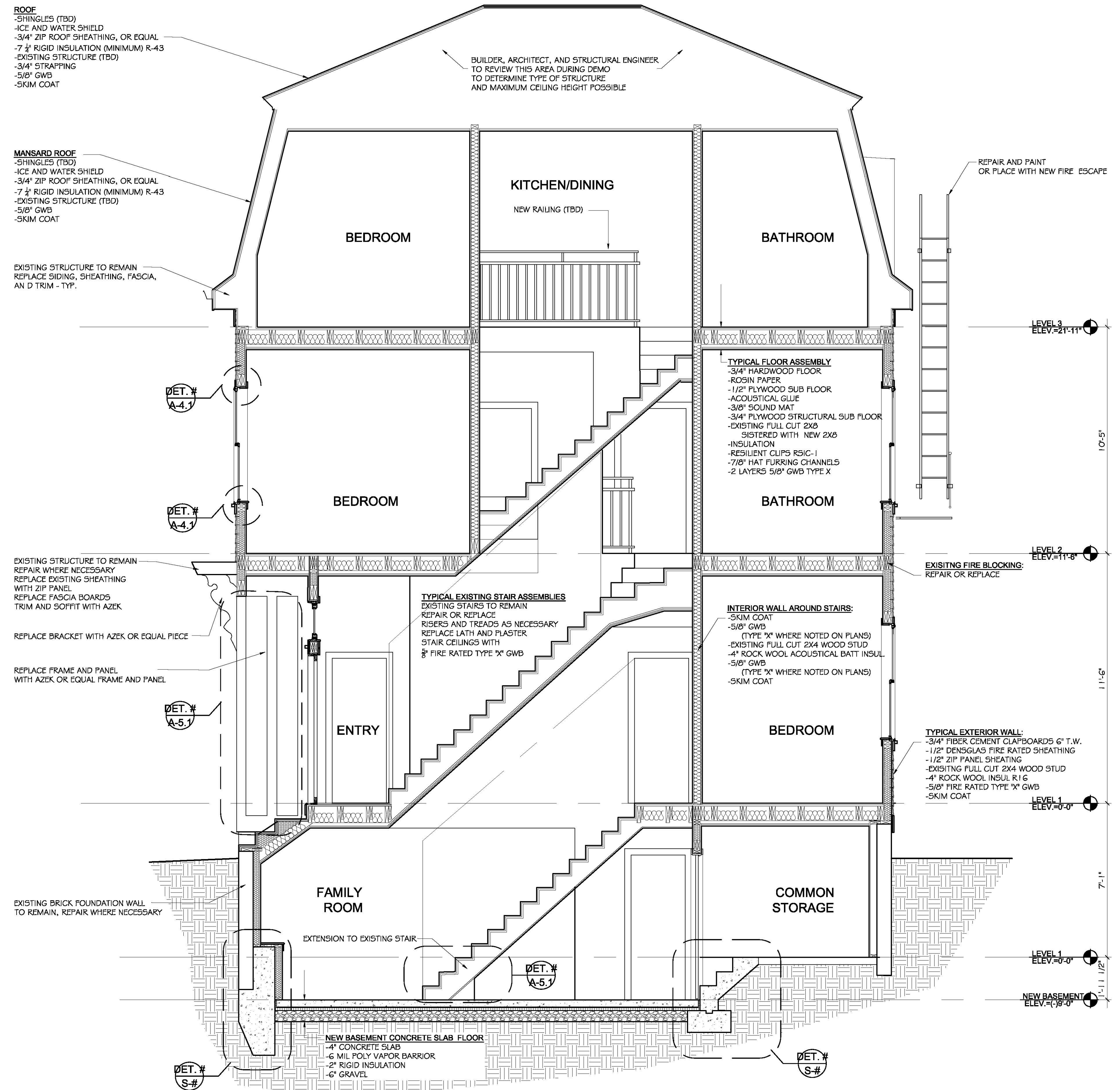
BUILDING  
SECTION

SCALE AS NOTED

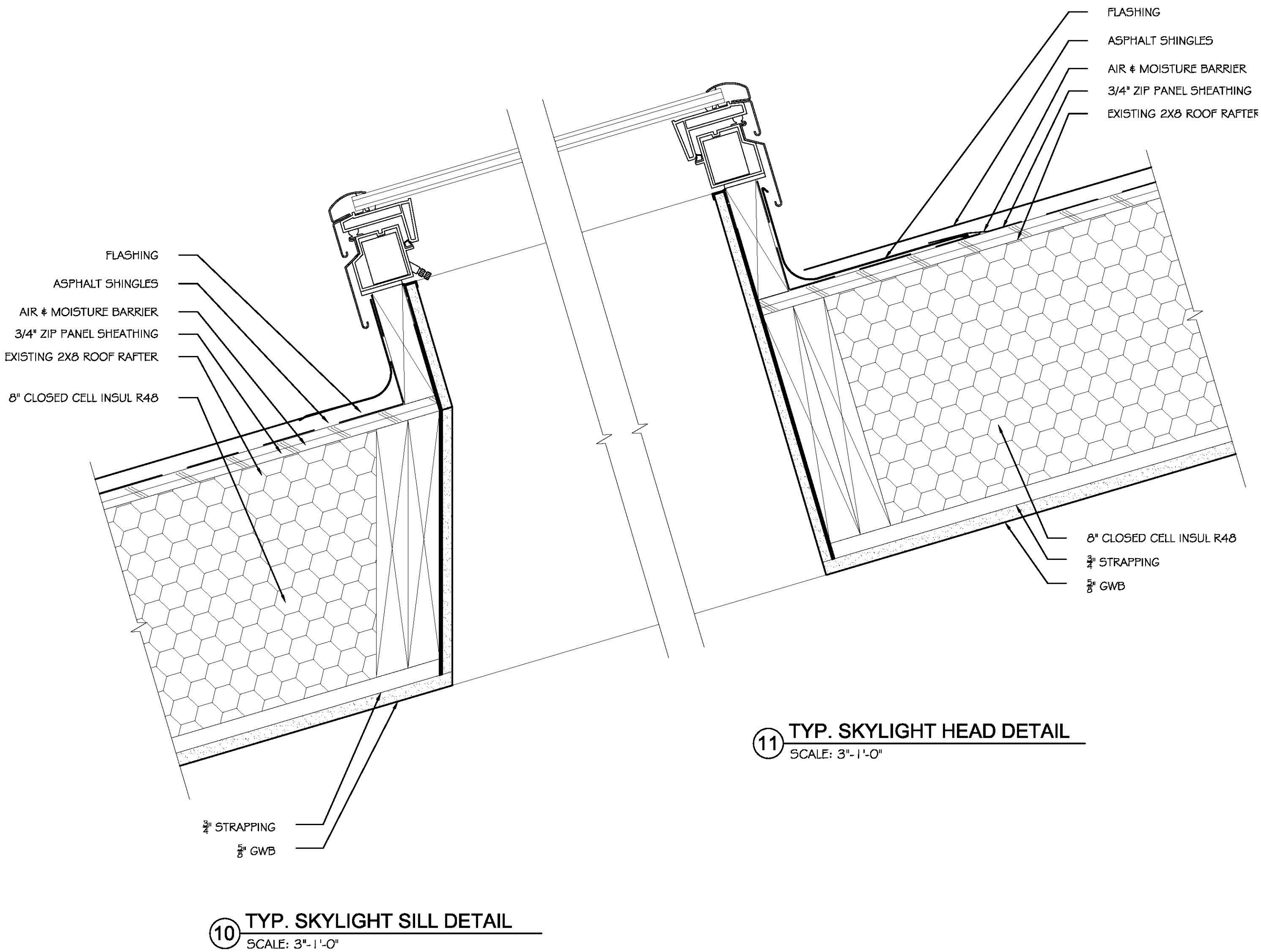
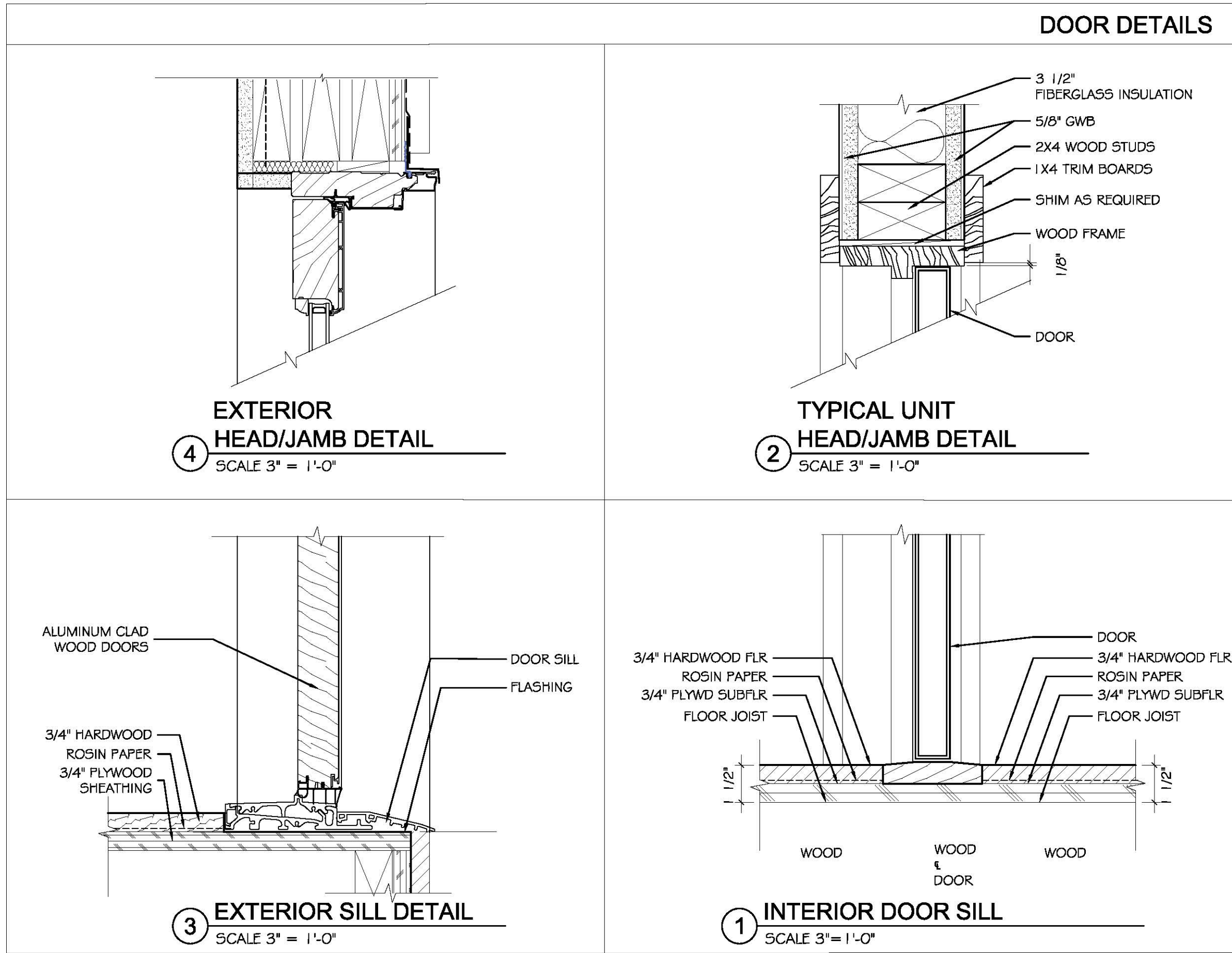
REVISION / ISSUE	DATE
PERMIT SET	02 JAN 2018
DRAWN BY BI	REVIEWED BY PQ

SHEET

A3.1



1 BUILDING SECTION  
SCALE: 3/8" = 1'-0"



**DOORS**

**DOOR ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**GENERAL DOOR NOTES**

- 1) CONFIRM ALL DOOR SWINGS AND SIZES WITH OWNER PRIOR TO ORDERING.
- 2) PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS.
- 3) ALL GLASS DOORS TO BE TEMPERED SAFETY GLASS.
- 4) ALL PROPOSED DOORS TO BE 1 3/4" THICK OR UNLESS NOTED OTHERWISE. VERIFY THICKNESS WITH MANUFACTURER.
- 5) ALL PROPOSED INTERIOR DOORS TO USE 2" FRAME SHOWN IN DOOR NOTE 5.

**DOOR NOTES**

1. **DOOR CONSTRUCTION**  
HC = HOLLOW CORE WOOD HM = HOLLOW METAL SC = SOLID CORE WOOD FG = FIBER GLASS
2. **FACING AND FINISH**  
P = PAINTED FF = FACTORY FINISH
3. **GLASS**  
TG = TEMPERED GLASS
4. INDICATES IN MINUTES OF FIRE RATING

**DOOR SCHEDULE**

AREAROOM	DOOR MARK	OPENING SIZE	ELEVATION	CONSTRUCTION	FACING & FINISH	GLASS	RATING	THRESHOLD	HEAD / JAMB	SILL	REMARKS
EXTERIOR	MAIN ENTRANCE DOOR	1 3'-6" X 6'-8"									CUSTOM DOOR WITH TRANSOM AND MATCHING SIDE PANELS
	APARTMENT ENTRANCE DOOR	2 3'-0" X 6'-8"	B	SC	P	TG	-	STL	4	3	
	MECHANICAL/STORE ROOM DOOR	3 2'-6" X 6'-8"	B	SC	P	TG	60 MIN	STL	4	3	
	MECHANICAL/STORE ROOM REAR DOOR	4 2'-6" X 6'-0"	B	SC	P	TG	-	STL	4	3	
INTERIOR	BEDROOM	5 2'-8" X 6'-8"	C	SC	P	-	-	W	2	1	
	CLOSET, LAUNDRY, BATH ROOM	6 2'-6" X 6'-8"	D	SC	P	-	-	W	2	1	
	CLOSET (SINGLE)	7 1'-8" X 6'-8"	E	HM	P	-	-	W	2	1	
	CLOSET (DOUBLE)	8 3'-4" X 6'-8"	E	HM	P	-	-	W	2	1	
	CLOSET (DOUBLE)	9 5'-0" X 6'-8"	D	HC	P	-	-	W	2	1	

**WINDOWS**

**WINDOW ELEVATIONS**  
SCALE: 1/4" = 1'-0"

**GENERAL WINDOW NOTES**

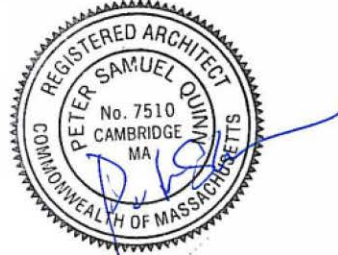
- 1) PRODUCT: ALL WINDOWS AND PATIO DOORS TO BE JELD WEN UNLESS NOTED OTHERWISE. SKYLIGHTS TO BE VELUX.
- 2) WINDOW SIZING TO BE CONFIRMED BEFORE ORDERING. DIMENSIONS INDICATE ESTIMATED FRAME SIZE. CONTRACTOR TO VERIFY SIZES WITH MANUFACTURER.
- 3) ALL EXPOSED GYPSUM CORNERS TO HAVE GYPSUM ACCESSORIES.
- 4) ALL PATIO DOORS, WINDOWS AND SKYLIGHTS TO HAVE LOW E WITH ARGON GLASS.
- 5) IF GLASS IS LESS THAN 18" ABOVE FINISH FLOOR IT MUST BE TEMPERED.
- 6) ALL WINDOWS AND PATIO DOORS TO HAVE FULL INSECT SCREEN FROM SAME MANUFACTURER AS WINDOWS.

**PETER QUINN ARCHITECTS**

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
259 ELM STREET, SUITE 301  
SOMERVILLE, MA 02144  
PH 617-354-3989 FAX 617-868-0280

SEAL



CONSULTANT

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DRAWING TITLE

**WINDOW &  
DOOR  
SCHEDULE  
& DETAILS**

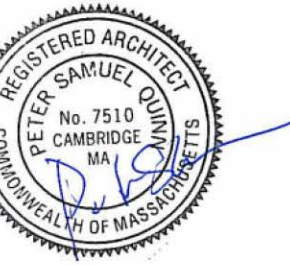
SCALE AS NOTED

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**A4.1**

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DRAWING TITLE

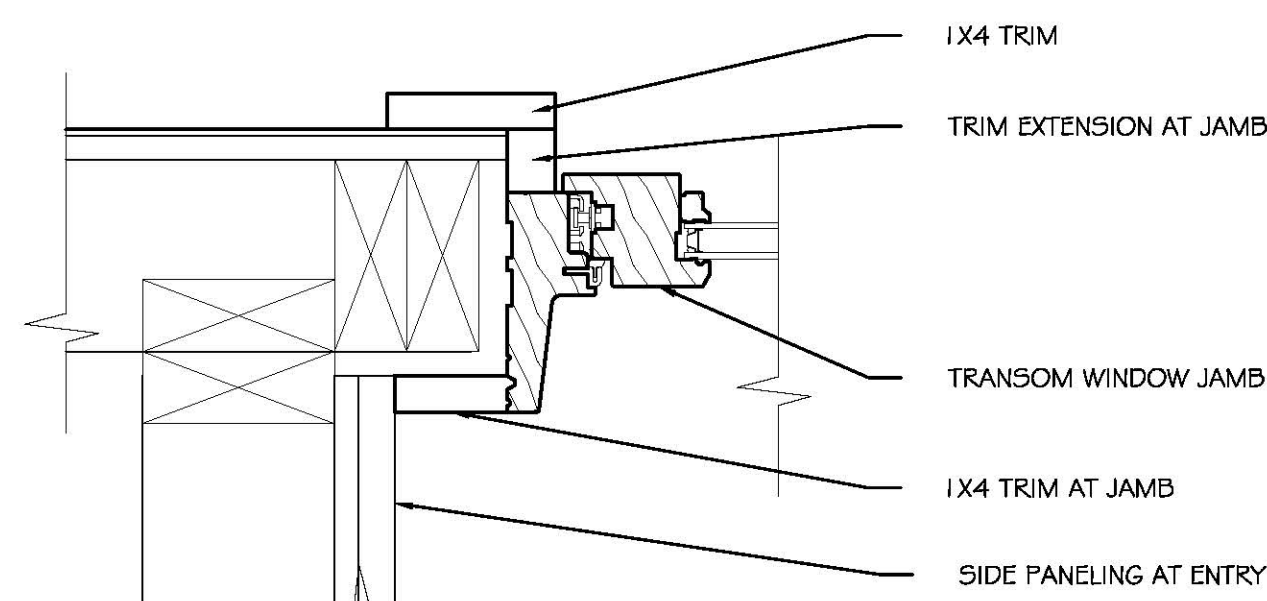
WINDOW  
DETAILS

SCALE AS NOTED

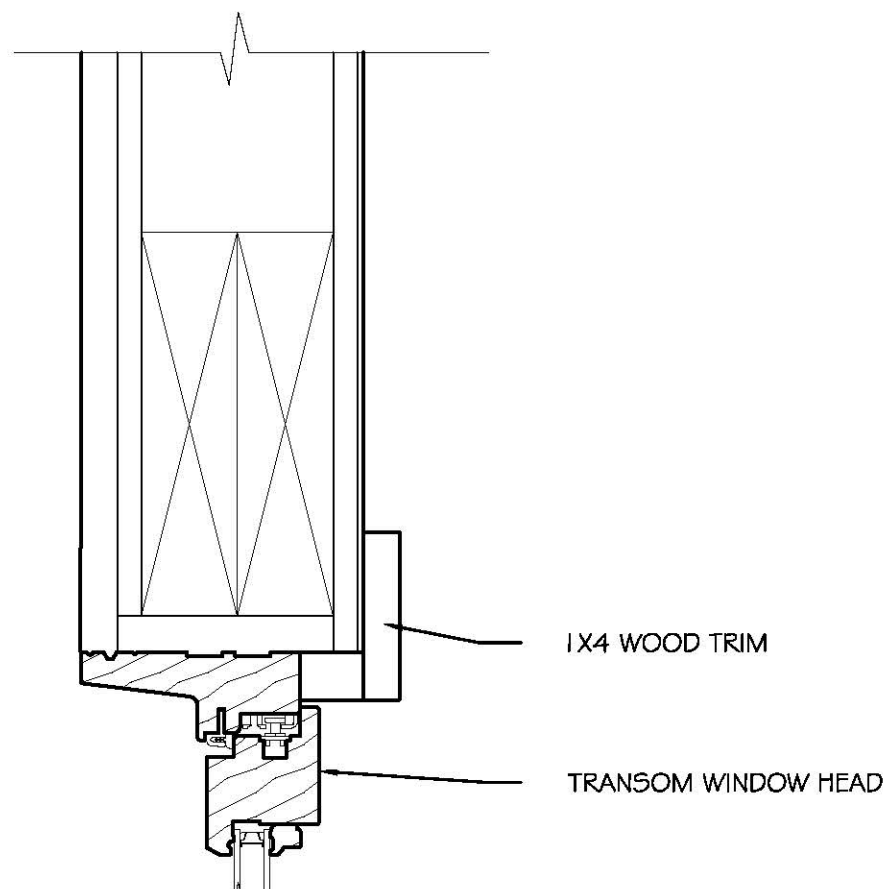
REVISION / ISSUE	DATE
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SHEET

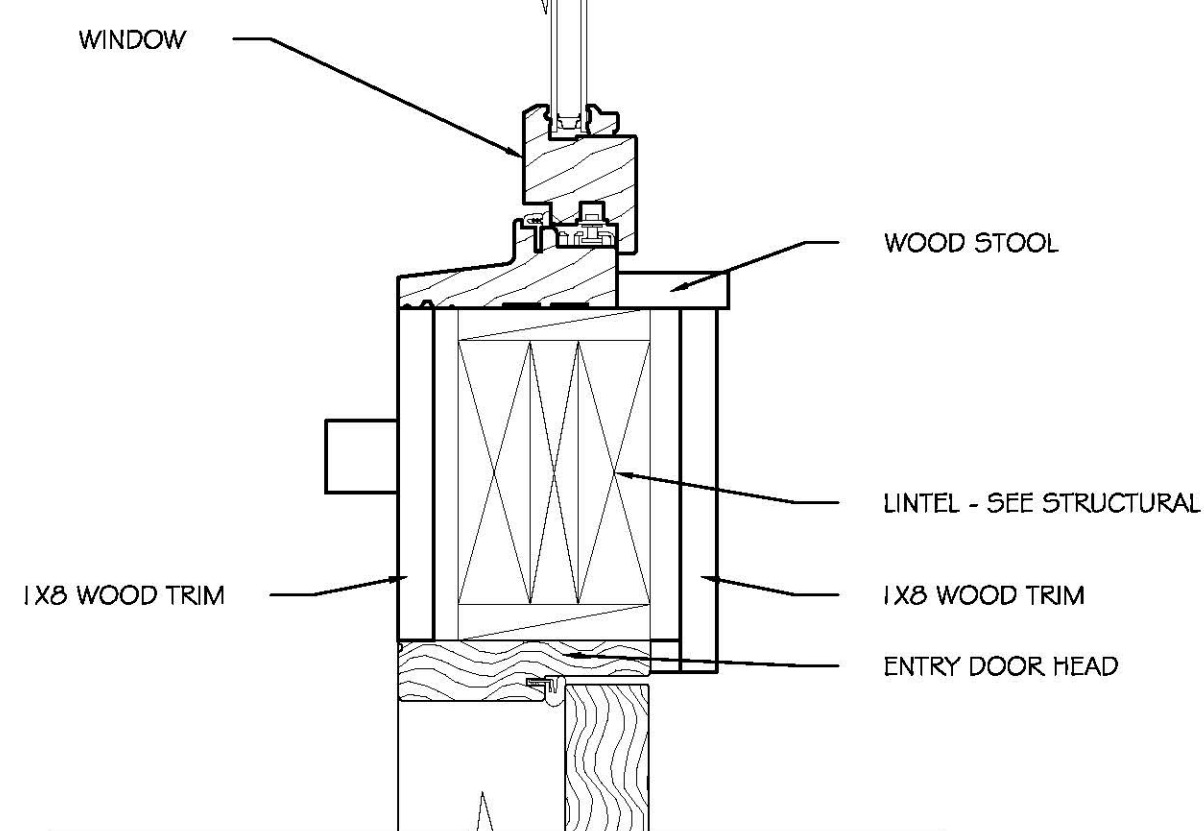
A4.2



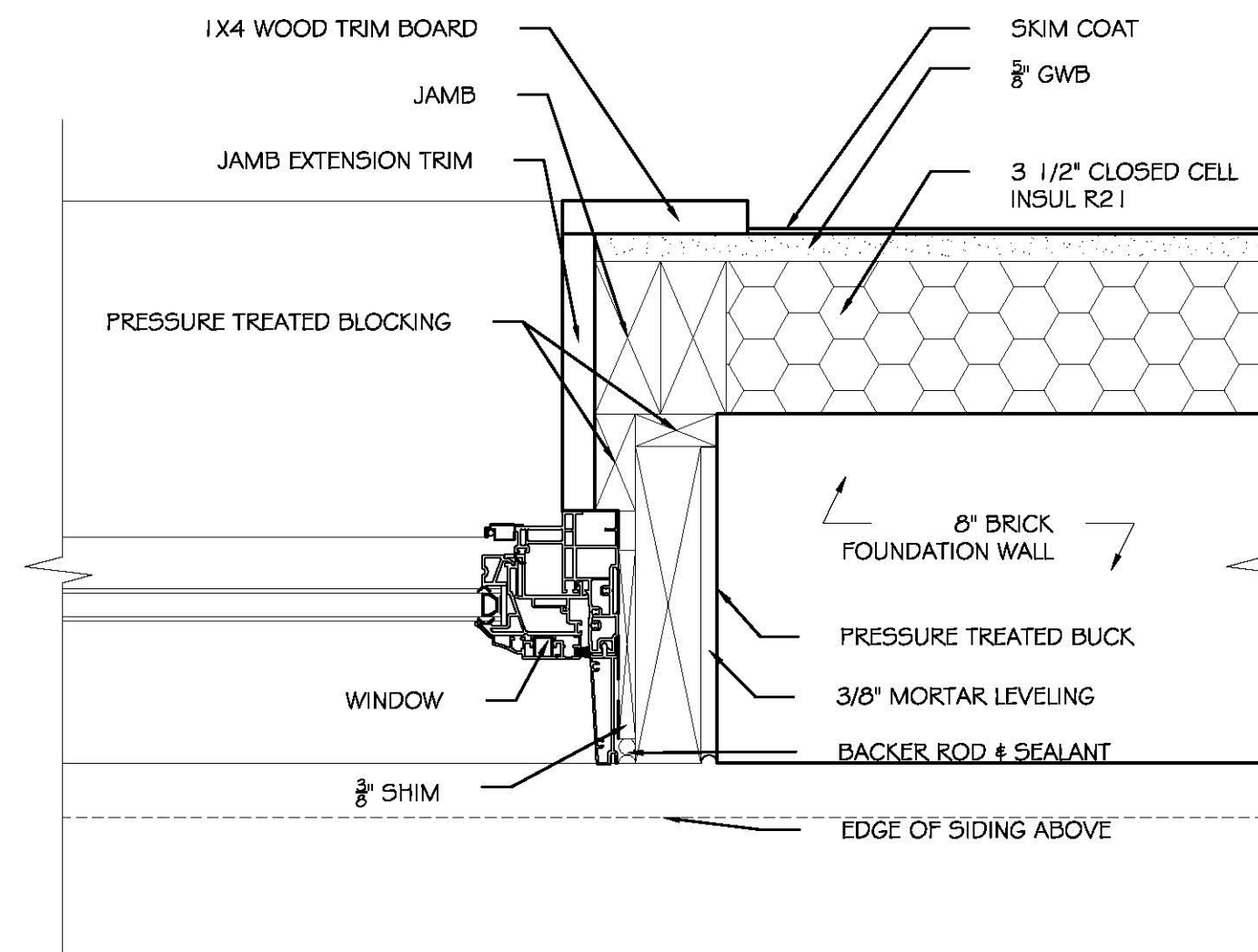
9 TYP. CASEMENT WINDOW JAMB DETAIL @ ENTRY DOOR TRANSOM  
SCALE: 3'-1'-0"



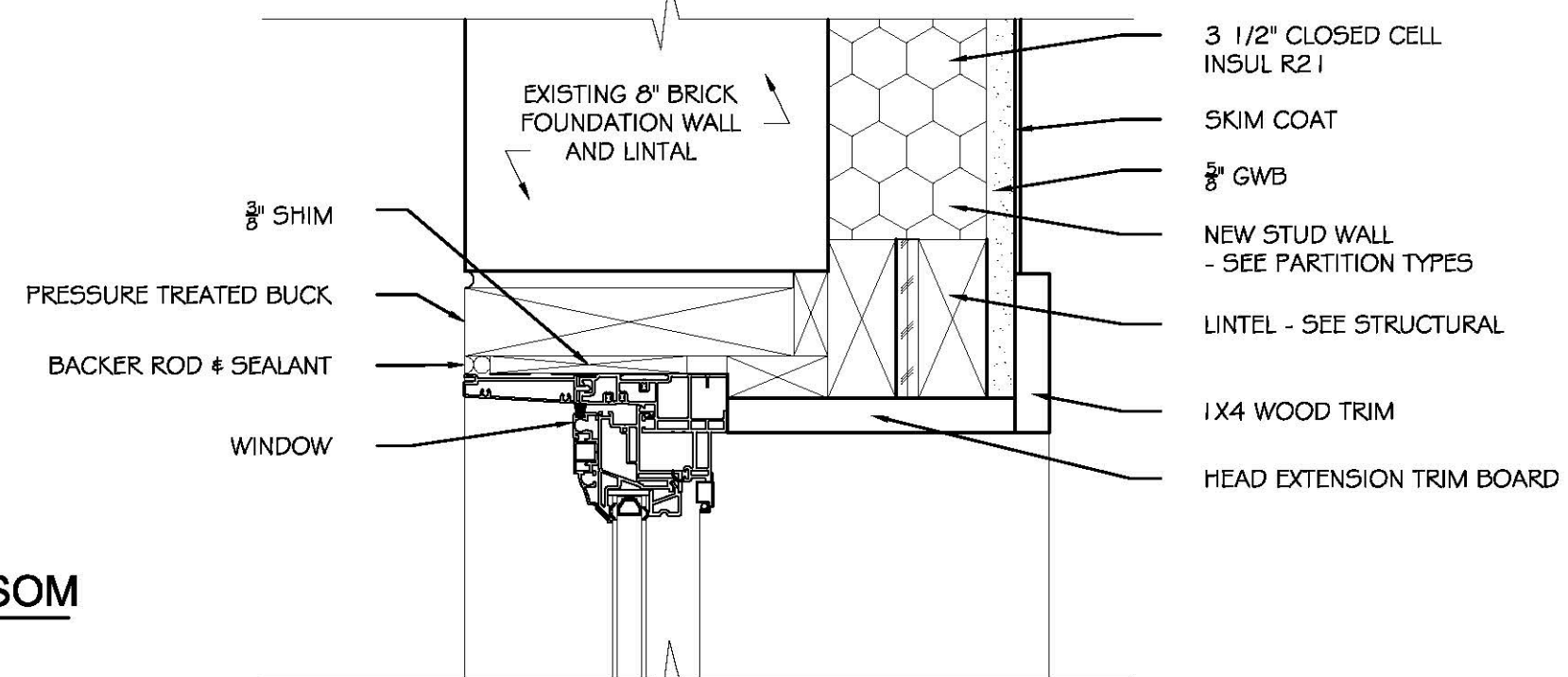
8 TYP. CASEMENT WINDOW HEAD DETAIL @ ENTRY DOOR TRANSOM  
SCALE: 3'-1'-0"



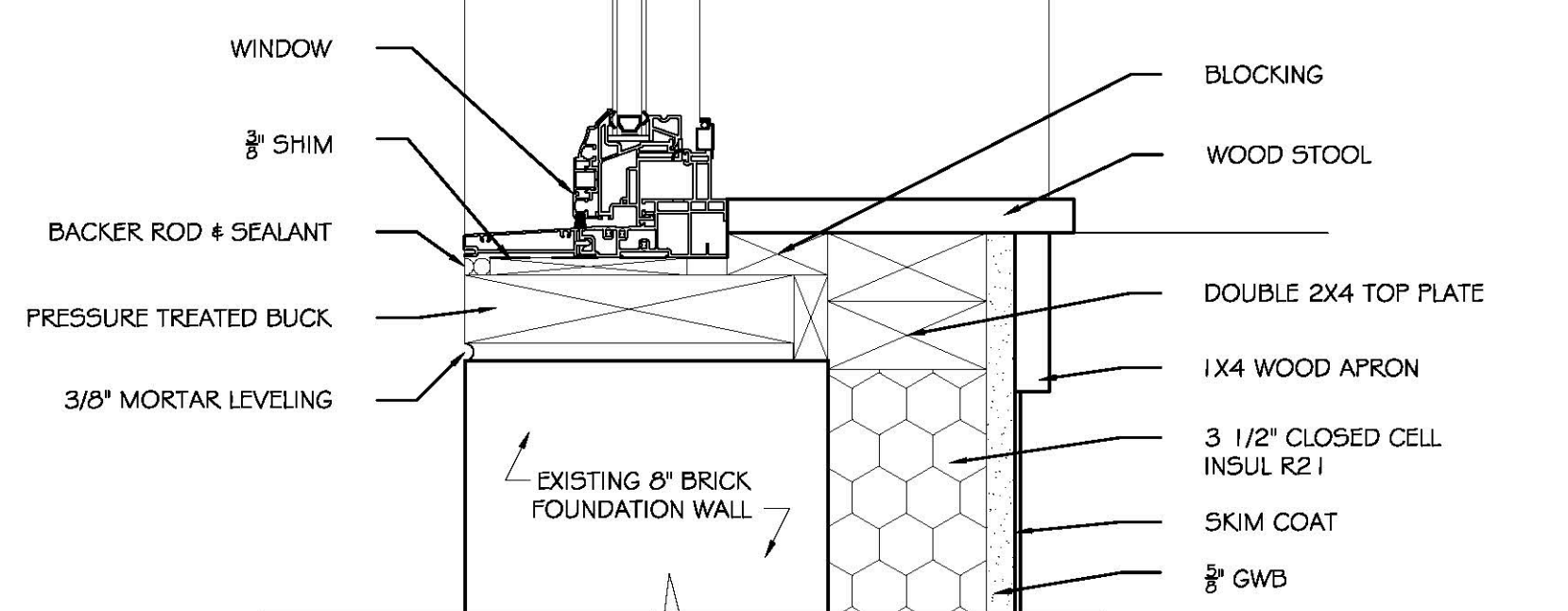
7 TYP. CASEMENT WINDOW SILL DETAIL @ ENTRY DOOR TRANSOM  
SCALE: 3'-1'-0"



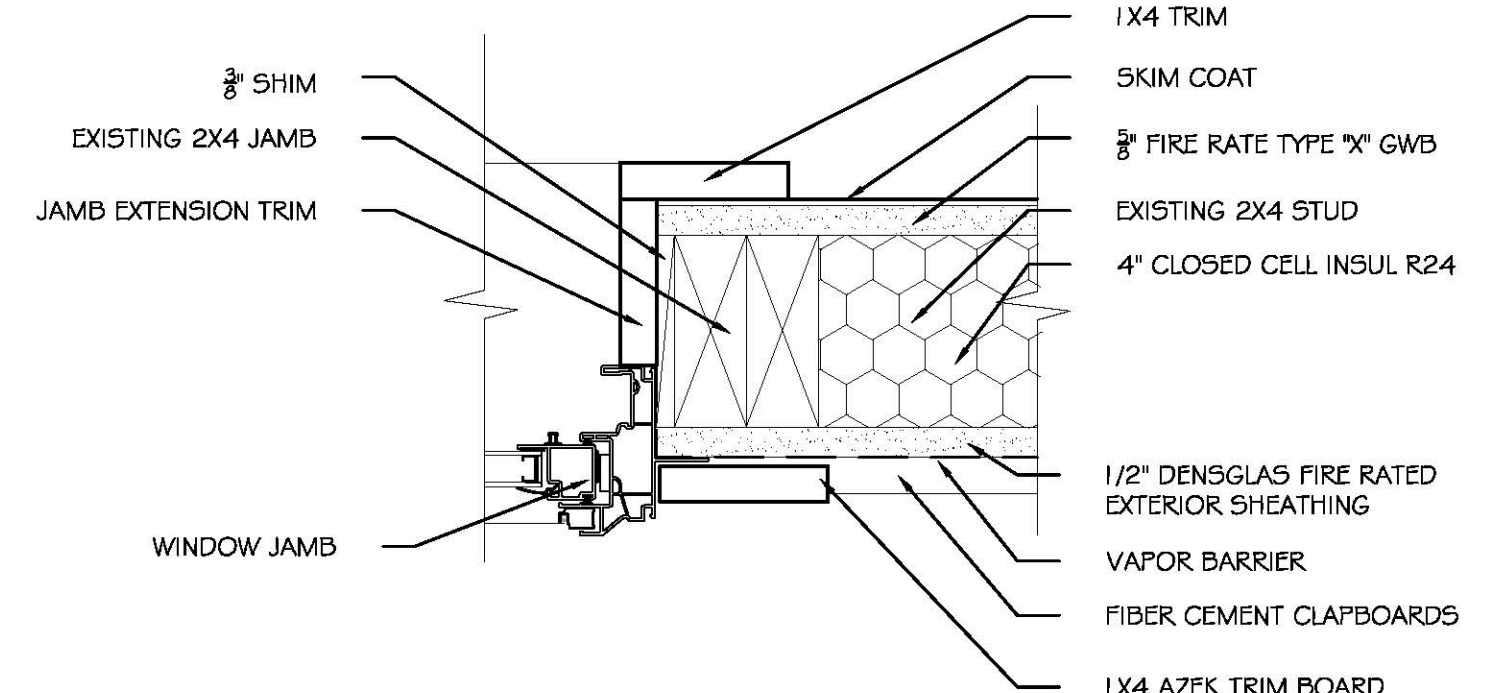
6 TYP. CASEMENT WINDOW JAMB DETAIL @ BASEMENT  
SCALE: 3'-1'-0"



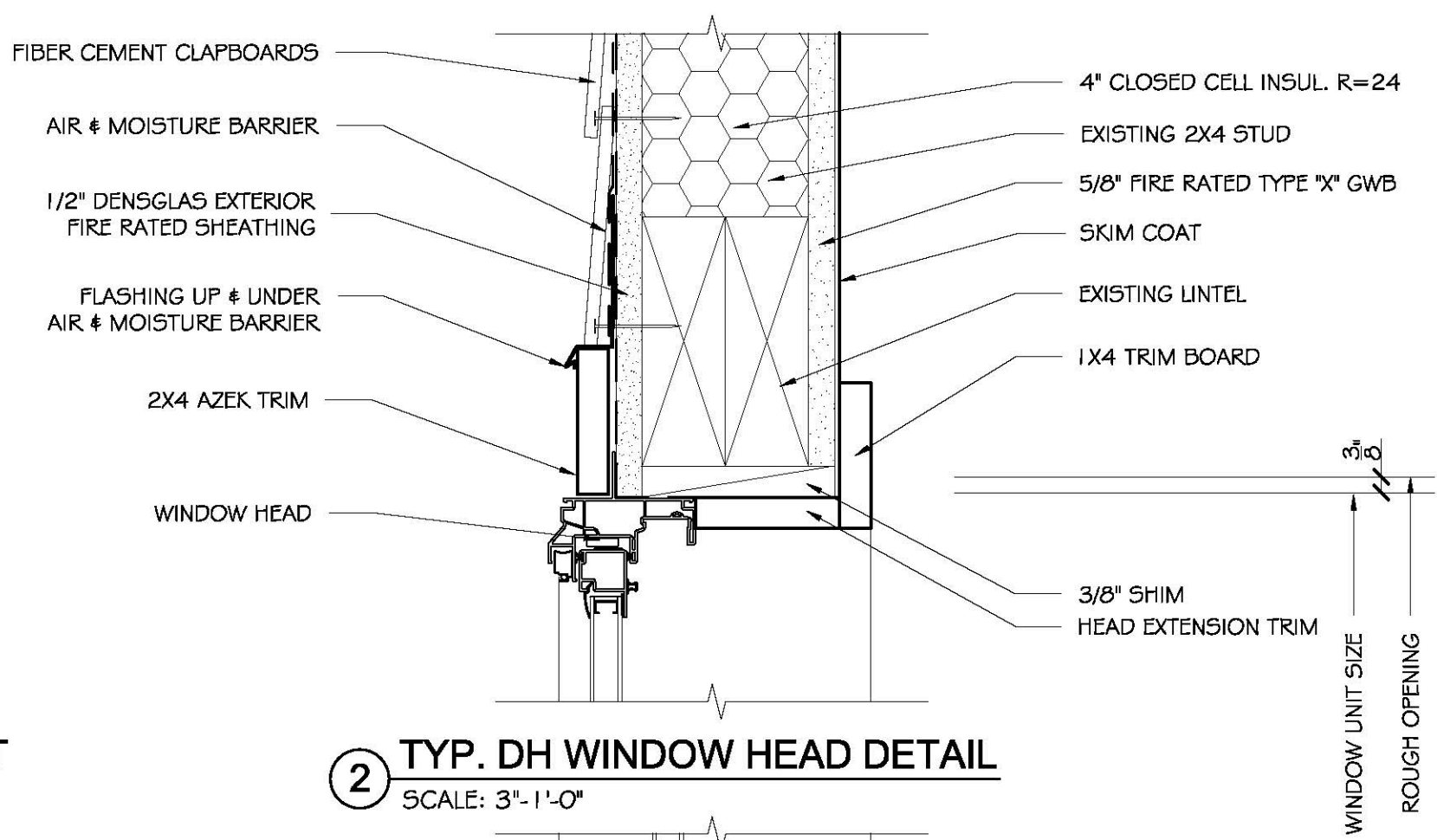
5 TYP. CASEMENT WINDOW HEAD DETAIL @ BASEMENT  
SCALE: 3'-1'-0"



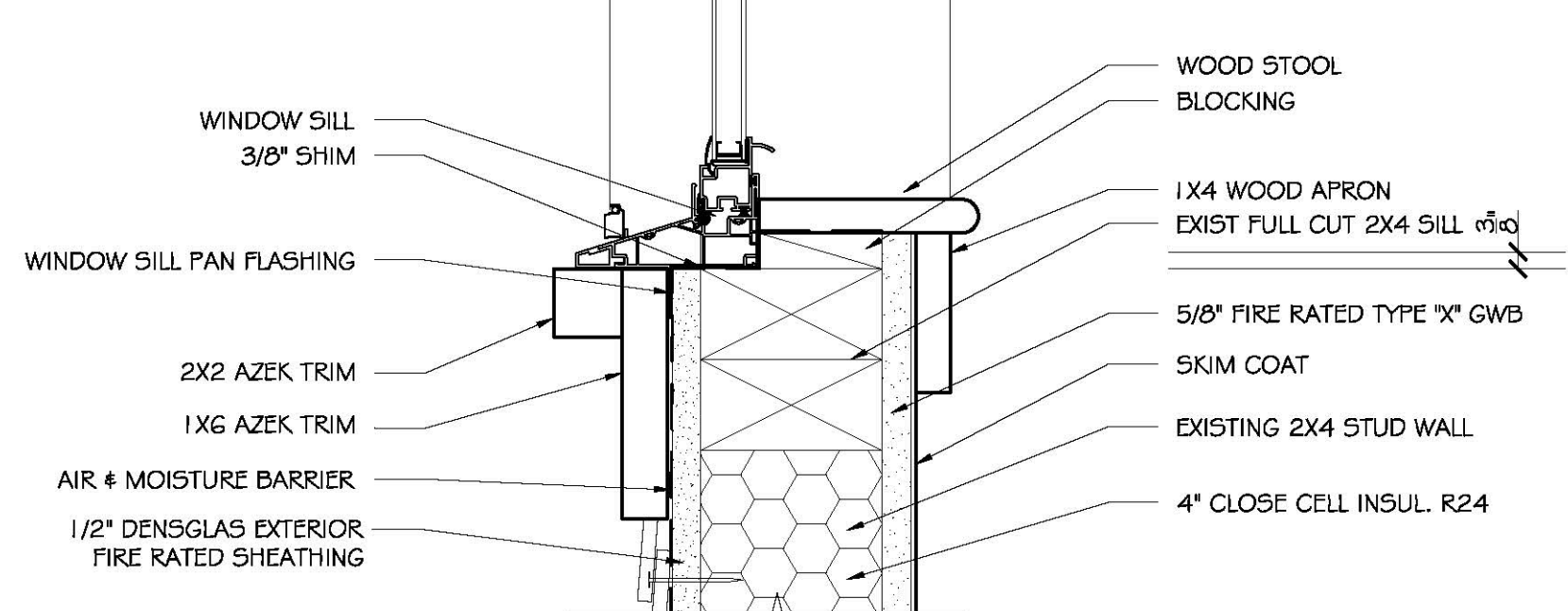
4 TYP. CASEMENT WINDOW SILL DETAIL @ BASEMENT  
SCALE: 3'-1'-0"



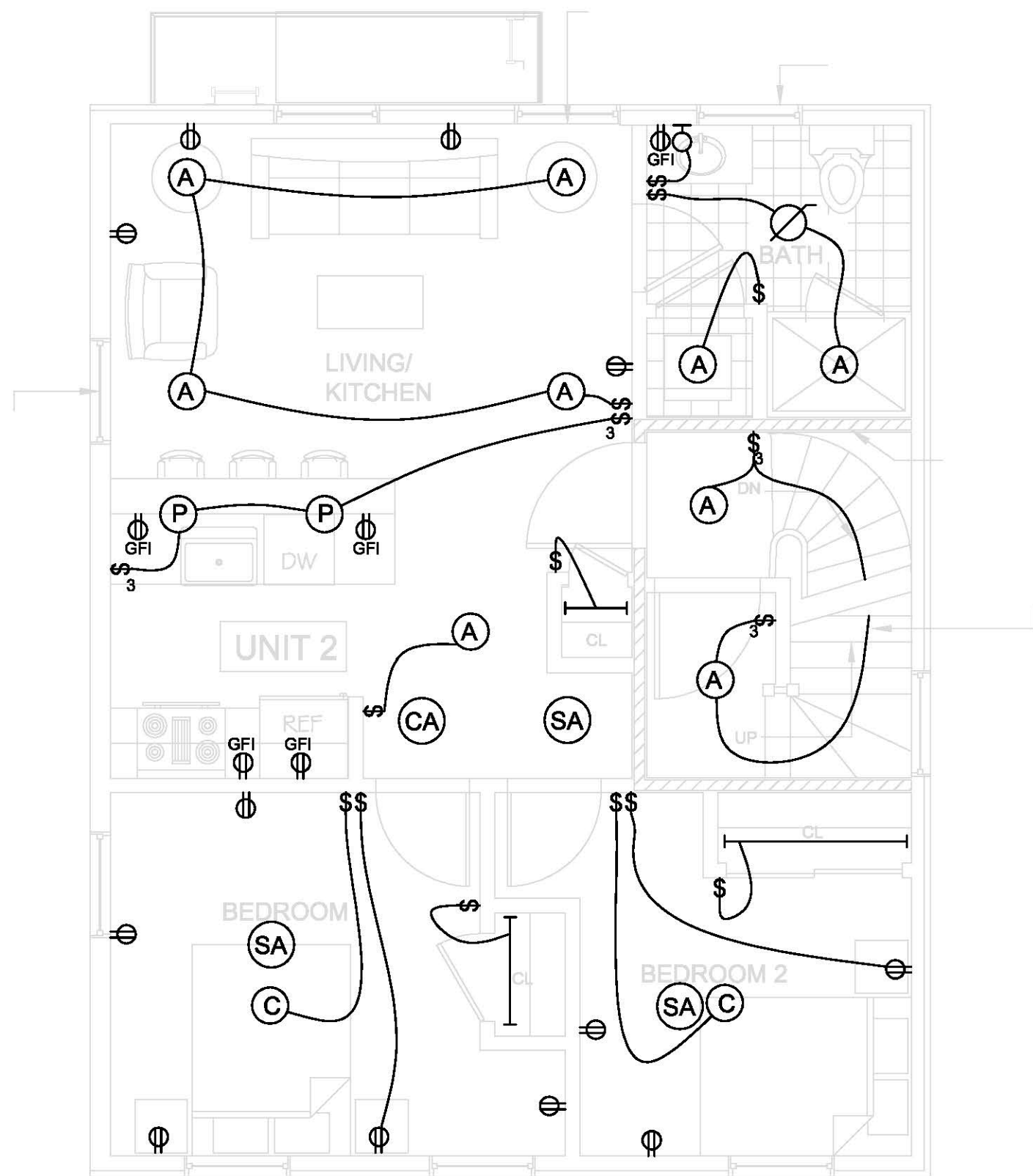
3 TYP. DOUBLE-HUNG JAMB DETAIL  
SCALE 3'-1'-0"



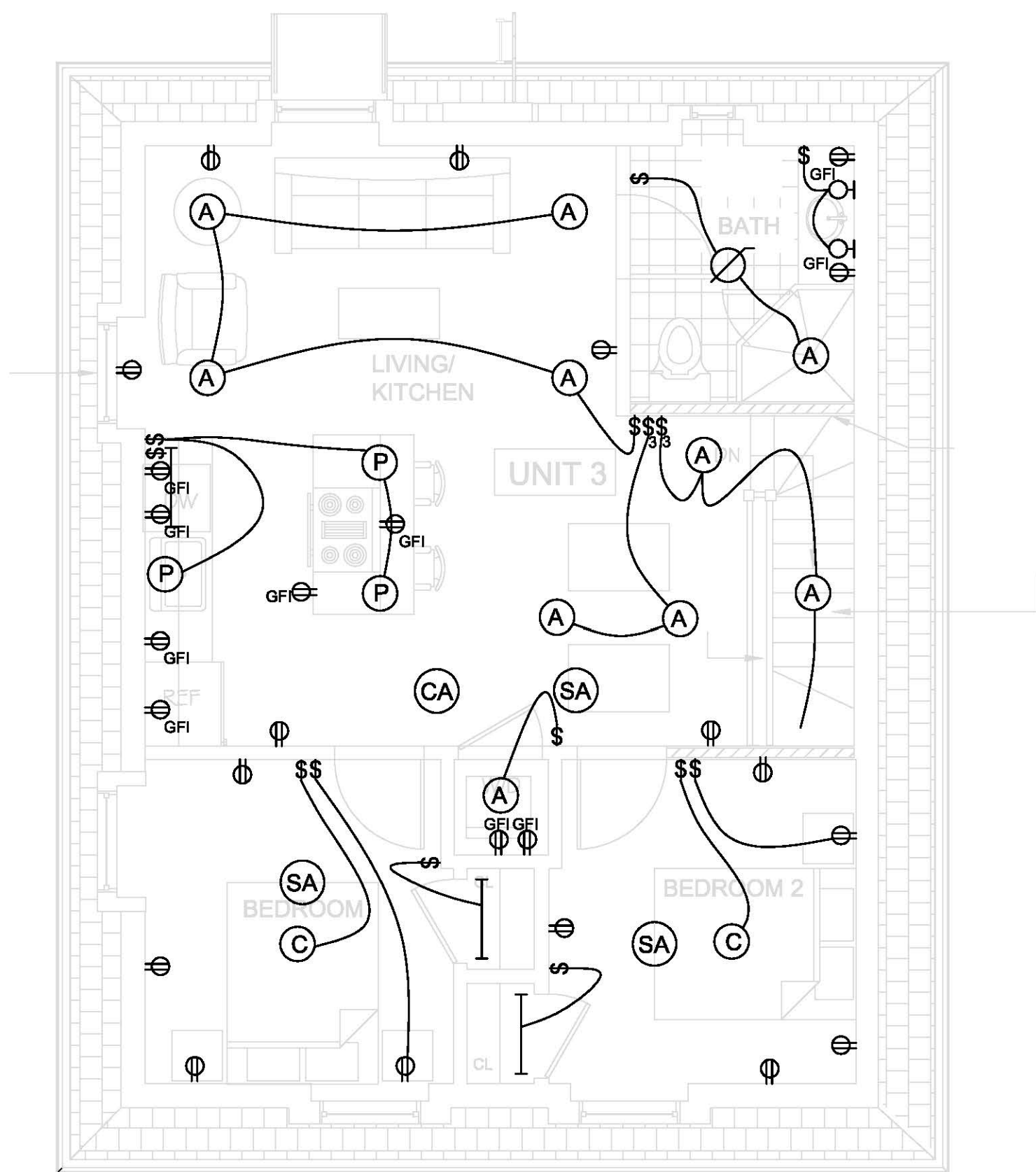
2 TYP. DH WINDOW HEAD DETAIL  
SCALE: 3'-1'-0"



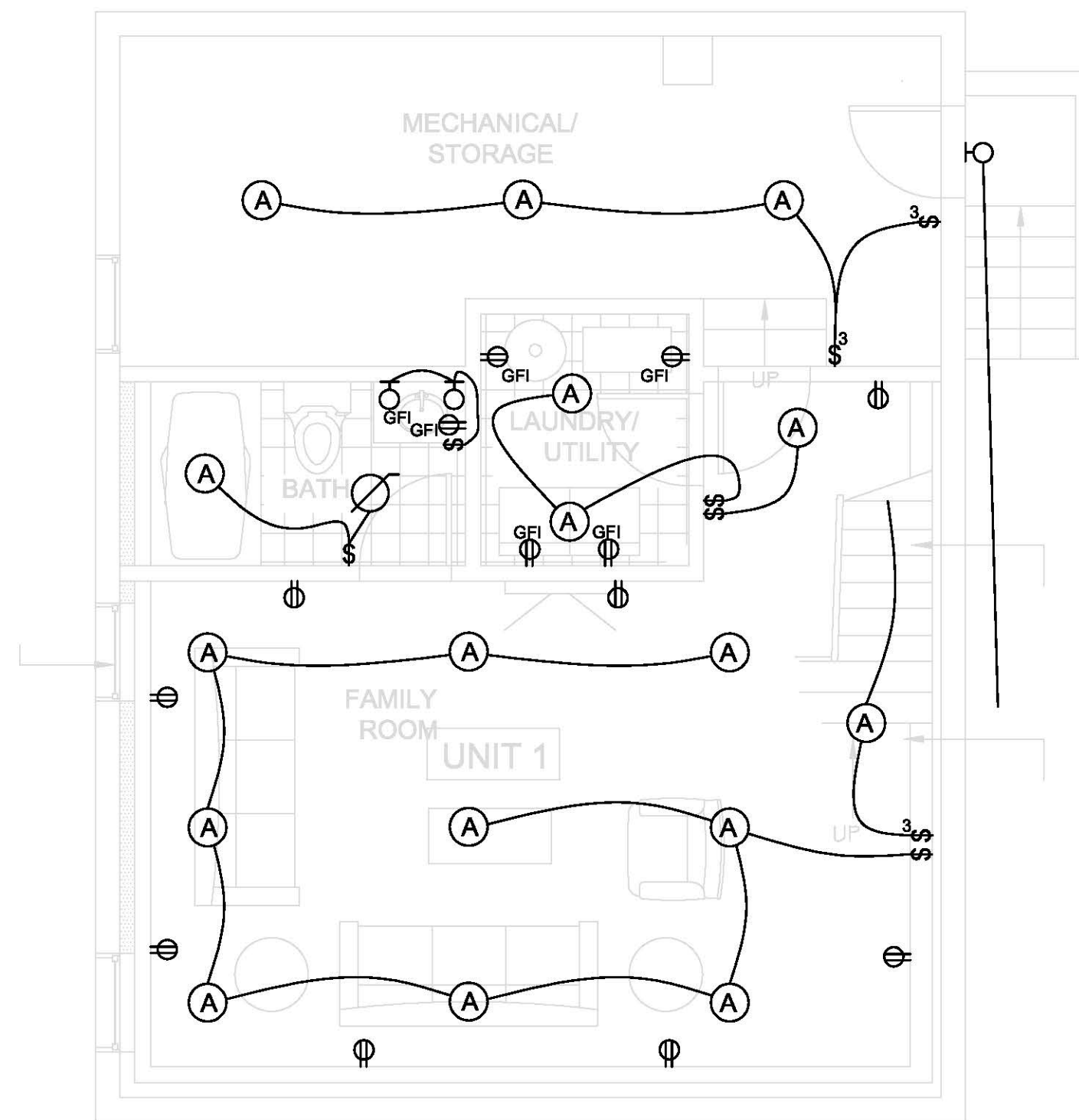
1 TYP. DH WINDOW SILL DETAIL  
SCALE: 3'-1'-0"



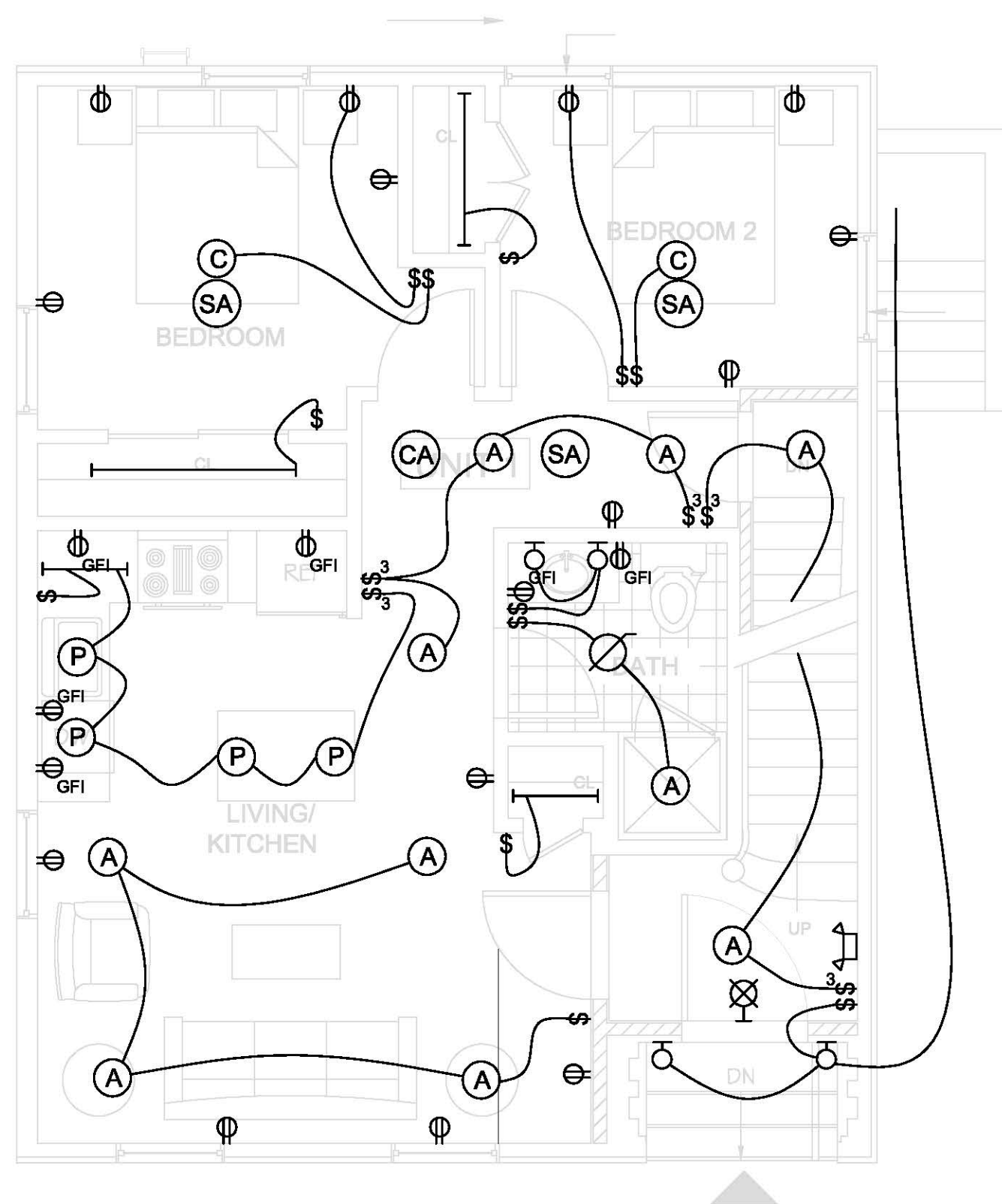
3 SECOND FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"



4 ATTIC LEVEL  
SCALE: SCALE: 1/4"=1'-0"



1 BASEMENT FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN  
SCALE: SCALE: 1/4"=1'-0"

#### LIGHT FIXTURE TYPES

- (A) RECESSED
- (B) RECESSED SPOT
- (C) CEILING MOUNTED
- (P) PENDENT
- (J) JUNCTION BOX

#### ELECTRICAL LEGEND

- ⊗ FAN W/ LIGHT
- \$ SWITCH
- \$3 3 WNY SWITCH
- D DIMMER
- Φ DUPLEX
- Φ 240
- Φ<sub>WP</sub> WATERPROOF
- Φ<sub>GFI</sub> GROUND FAULT
- ⊕ WALL MOUNTED
- ⊖ FLORECENT FIXTURE
- ⊗ WALL MOUNTED EXIT SIGN FIXTURE
- ⊕ WALL MOUNTED STROBE
- ⊖ WALL MOUNTED STROBE

PROVIDE CONSTANT FEED TO BUILT-IN EMERGENCY BATTERY AS REQUIRED

#### DETECTOR AND ALARM LEGEND

- (HD) HEAT DETECTOR
- (SA) SMOKE ALARM
- (CA) CARBON MONOXIDE ALARM

SEE ELECTRICAL DRAWINGS FOR FULL LIST

PETER  
QUINN  
ARCHI  
TECTS

ARCHITECTURE  
PLANNING  
COMMUNITY DESIGN

PETER QUINN ARCHITECTS LLC  
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DRAWING TITLE

ELECTRICAL  
PLANS

SCALE AS NOTED

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SHEET

E-1.0



## CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2<sup>nd</sup> Floor, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*  
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*  
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

### Jurisdiction Advice

To the Owner of Property at 189 Charles Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- ☐ Old Cambridge Historic District
- ☐ Fort Washington Historic District  
(M.G.L. Ch. 40C, City Code §2.78.050)
- ☐ Avon Hill Neighborhood Conservation District
- ☐ Half Crown – Marsh Neighborhood Conservation District
- ☐ Harvard Square Conservation District
- ☐ Mid Cambridge Neighborhood Conservation District
- ☐ Designated Landmark
- ☐ Property is being studied for designation: \_\_\_\_\_  
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- ☐ Preservation Restriction or Easement (as recorded)
- ☒ Structures is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.  
**No demolition permit anticipated.**
- ☐ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- ☐ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.  
Staff comments: \_\_\_\_\_

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

**If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.**

CHC staff initials SLB

Date May 10, 2018

Received by Uploaded to Energov

Date May 10, 2018

Relationship to project BZA 16276-2018

cc: Applicant  
Inspectional Services Commissioner

## **Demolition Delay Ordinance and Application Information**

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

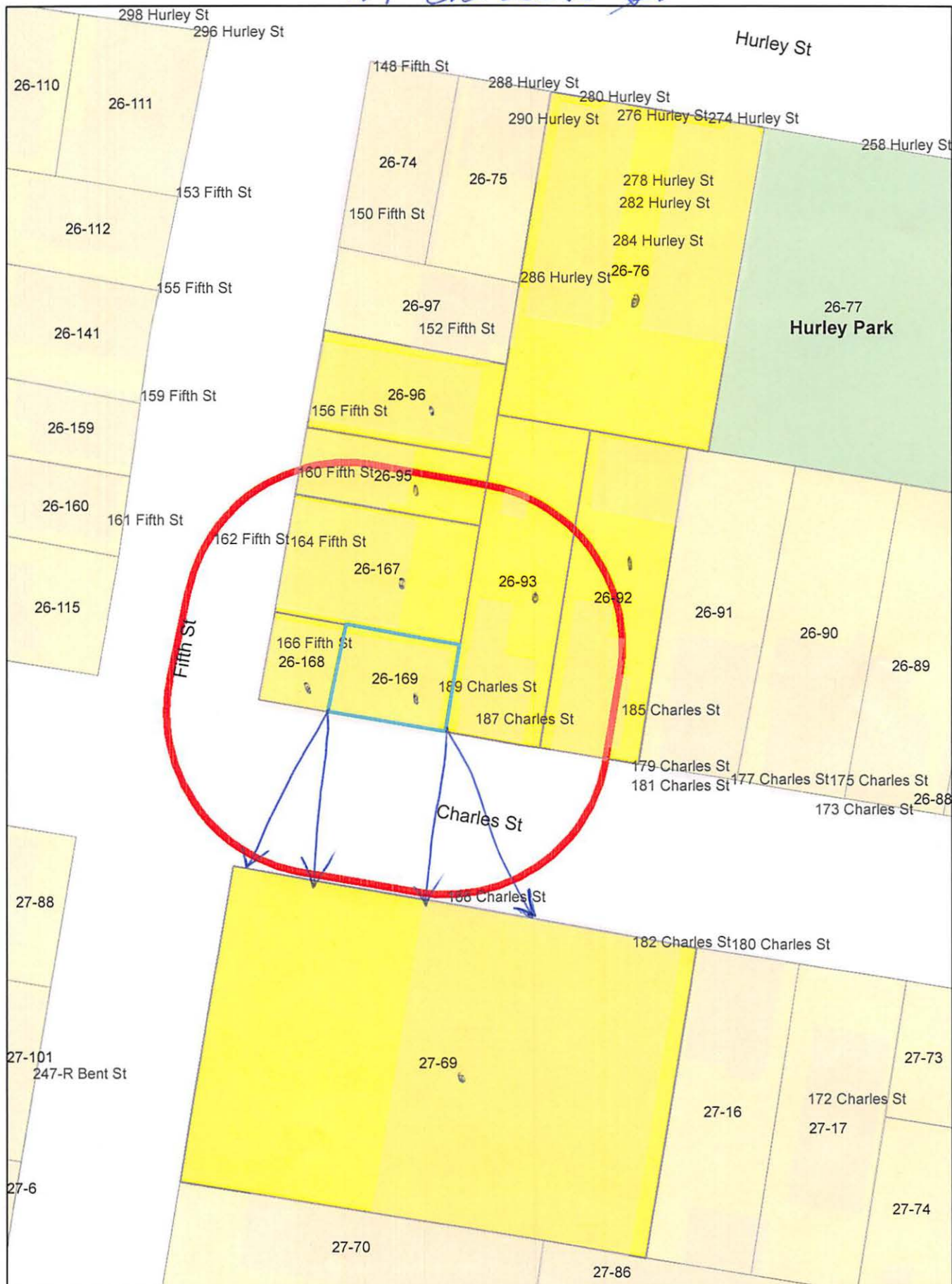
Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission  
831 Massachusetts Ave., 2<sup>nd</sup> Fl.  
Cambridge, MA 02139  
Ph: 617/349-4683 or TTY: 617/349-6112  
<http://www.cambridgema.gov/Historic>

189 Charles St.



189 Charles St.  
Petitioner  
SEAN D. HOPE, ESQ.  
675 MASS AVENUE  
CAMBRIDGE, MA 02139

26-76  
PIRES, MARIA ,  
TR. OF MP REALTY TRUST  
135 AMORY ST.  
CAMBRIDGE, MA 02139

26-92  
179-181 CHARLES LLC.  
ATT: AMY WILSON  
105 MT. VERNON ST  
BOSTON, MA 02108

26-95  
HELENEK, KRIS A. & HENRY B. KASDON  
160 FIFTH ST  
CAMBRIDGE, MA 02141

26-96  
GARVIN, CRAIG & PATRICIA A. ZERHUSEN  
156 FIFTH ST  
CAMBRIDGE, MA 02141

26-167  
ANNAcone, ANGELO L. &  
MARION J. ANNAcone  
2 HENRY ST  
MEDFORD, MA 02155

26-168  
ORANDA, PETER O.  
166 FIFTH ST  
CAMBRIDGE, MA 02141

26-169  
PFORTE, WILLIAM F., JR. &  
KIMBERLY T. PFORTE  
189 CHARLES ST.  
CAMBRIDGE, MA 02141

27-69  
KAGNO, N. IRA, SAMUEL GONDELMAN TRUSTEE  
& CITY OF CAMBRIDGE TAX TITLE  
188 CHARLES ST  
CAMBRIDGE, MA 02141

26-93  
RODGERS, MARTHA P.  
187 CHARLES ST  
CAMBRIDGE, MA 02141

BZA-016276-2018 189 Charles Street

