

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: ✓ Variance: _____ Appeal: _____

PETITIONER: John Burke

PETITIONER'S ADDRESS: 37 Warehouse Street, Springfield, MA 01118

LOCATION OF PROPERTY: One Brattle Square

TYPE OF OCCUPANCY: Group A-2 ZONING DISTRICT: BB

REASON FOR PETITION:

- Additions
- Change in Use/Occupancy
- Conversion to Addi'l Dwelling Unit's
- Dormer
- Other: fast food
- New Structure
- Parking
- Sign
- Subdivision

DESCRIPTION OF PETITIONER'S PROPOSAL:

Interior fitout of a cafe. The cafe will be located on the left side of the existing Webster Bank location.

SECTIONS OF ZONING ORDINANCE CITED:

Article 4.30 Section 4.350

Article _____ Section _____

Article _____ Section _____

Applicants for a Variance must complete Pages 1-5
Applicants for a Special Permit must complete Pages 1-4 and 6
Applicants for an Appeal to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s): [Signature]
(Petitioner(s)/Owner)

John Burke
(Print Name)

Address: 37 Warehouse Street
Springfield, MA 01118

Tel. No.: 413-374-4010

E-Mail Address: john@allenandburke.com

Date: 3/6/18
2/10/18

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for One Beattle Square (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

There will be no changes to the front of the building other than signage.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

1. Currently there is no parking in front of the space
2. Loading doors are provided as building infrastructure at the rear of building for loading and trash removal.

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The location is a vibrant commercial district and the Cafe aligns with similar activity.

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Existing sidewalk and public space is more than adequate for proposed Cafe and is similar to adjacent Plaza where pedestrian traffic is even more robust.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Harvard Square is a commercial hub of pedestrian friendly cafes and shops. This cafe fits into the model for community and student

(ATTACHMENT B - PAGE 6)

lifestyle in a way that is more suitable for the current commercial bank.

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: John Burke PRESENT USE/OCCUPANCY: Bank Group-B

LOCATION: One Brattle Square ZONE: _____

PHONE: (413) 374-4010 REQUESTED USE/OCCUPANCY: Group A-2

	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹	
TOTAL GROSS FLOOR AREA:	<u>94,826</u>	<u>94,826</u>	<u>94,826</u>	(max.)
LOT AREA:	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>3.2</u>	<u>3.2</u>	<u>3.2</u>	(max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
SIZE OF LOT:				
WIDTH	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
DEPTH				
Setbacks in Feet:				
FRONT	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
REAR	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
LEFT SIDE	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
RIGHT SIDE	<u>N/A</u>	<u>-</u>	<u>-</u>	(min.)
SIZE OF BLDG.:				
HEIGHT	<u>75'</u>	<u>75'</u>	<u>75'</u>	(max.)
LENGTH				
WIDTH				
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(min.)
NO. OF DWELLING UNITS:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>	(max.)
NO. OF PARKING SPACES:	<u>52</u>	<u>52</u>	<u>164/156</u>	(min./max)
NO. OF LOADING AREAS:	<u>3</u>	<u>3</u>	<u>3</u>	(min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:				(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Piedmont - One Brattle Square I, LLC
(OWNER)

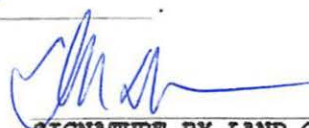
Address: One Brattle Square Cambridge, MA 02134

State that I/We own the property located at One Brattle Square, which is the subject of this zoning application.

The record title of this property is in the name of Wells REIT
One Brattle Square I, LLC

*Pursuant to a deed of duly recorded in the date 3/2/04, Middlesex South County Registry of Deeds at Book 42156, Page 500; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____


Piedmont Office Management, LLC,
Agent for owner
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Washington,
~~Commonwealth of Massachusetts, County of~~ District of Columbia

The above-name Daniel M. Dillon personally appeared before me, this 24th of January 2018, and made oath that the above statement is true.

Janice Hardy Notary

My commission expires 2/28/22 (Notary Seal).



• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

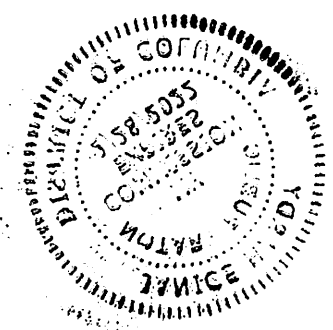
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Handwritten text, possibly a date or location, located below the previous section.

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BZA APPLICATION FORM

GENERAL INFORMATION

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2018 MAR -6 AM 11:30

Special Permit: Variance:

Appeal:

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

PETITIONER: John Burke

PETITIONER'S ADDRESS: 37 Warehouse Street, Springfield, MA 01118

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(Petitioner(s)/Owner)
John Burke
(Print Name)

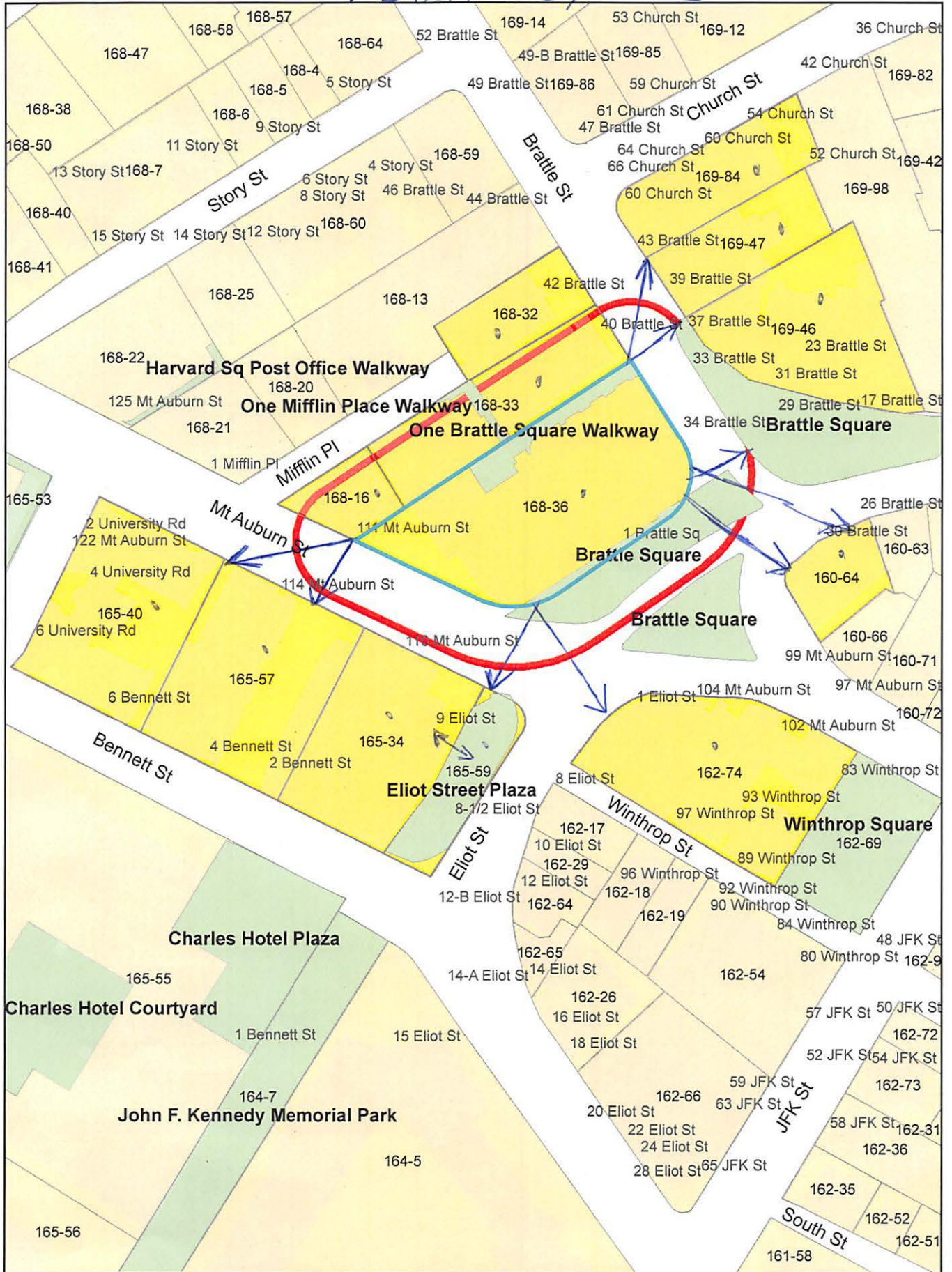
Address: 37 Warehouse Street
Springfield, MA 01118

Tel. No.: 413-374-4010

E-Mail Address: john@allenandburke.com

Date: 3/6/18
2/10/18

1 Brattle Square



1 Brattle Sq.

Petitioner

160-64
HADLEY, LILLIAN H., HARRY LEBARON SAMPSON, TR.
C/O THOMAS HADLEY TRUST
59 HUNTER LANE
LANCASTER, MA 01523

162-74
ELIOT SQUARE ENTERPRISES INC.,
TR. ELIOT SQUARE ENTERPRISES TRUST
1270 SOLDIERS FIELD RD
BRIGHTON, MA 02135

ALLEN & BURKE CONSTRUCTION
C/O JOHN BURKE
37 WAREHOUSE STREET
SPRINGFIELD, MA 02118

169-84
DIGIOVANNI, JOHN P.
TRUSTEE OF 45 BRATTLE STREET REALTY TRUST.
P.O. BOX 380212
CAMBRIDGE, MA 02238

162-74
JUNIPER ENTERPRISES LIMITED PARTNERSHIP
1270 SOLDIERS FIELD RD
BRIGHTON, MA 02135

162-74
THOMPSON, JANE McC,
TRUSTEE OF WINTHROP STREET 93 REALTY TR.
93 WINTHROP ST. UNIT#WSR6
CAMBRIDGE, MA 02138

162-74
BORDEN, PHILIP A. & CATHERINE J. TURCO
95 WINTHROP ST., #WSR7
CAMBRIDGE, MA 02138

168-36
WELLS REIT ONE BRATTLE SQUARE I,LLC
C/O THOMPSON PROPERTY TAX SERVICES
P.O. BOX 56607
ATLANTA, GA 30343

162-74
LAURELWOOD, LLC
1188 CENTRE ST.
NEWTON, MA 02458

162-74
HUEBNER, ALEXANDRA
93 WINTHROP ST. UNIT#5A
CAMBRIDGE, MA 02138

162-74
OSMENA, MARIA VICTORIA R.
C/O TEMPLETON & COMPANT LLP,
301 E. LAS BLVD #800
FORT LAUDERDALE, FL 33301

168-33
UNION OF CONCERNED SCIENTISTS, INC.
40C BRATTLE STREET, #1/4
CAMBRIDGE, MA 02138

162-74
LEVITAN, SHARI A.,
TRUSTEE THE 93 WINTHROP NOMINEE TRUST
C/O HOLLAND & KNIGHT LLP
10 SAINT JAMES AVE, 11 FL
BOSTON, MA 02116

165-57
CONDUCTOR'S BUILDING LLC
20 UNIVERSITY RD.
CAMBRIDGE, MA 02138

165-34/165-59
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O HARVARD REAL ESTATE INC.
HOLYOKE CENTER - ROOM #1017
1350 MASS AVE
CAMBRIDGE, MA 02138

165-40
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O CHAPMAN ARMS LLC
280 FRANKLIN STREET
CAMBRIDGE, MA 02139

168-16
TARRAGON, LLC
1188 CENTRE STREET
NEWTON, MA 02459

168-32
CAMBRIDGE CENTER FOR ADULT EDUCATION
P.O. BOX 9113
CAMBRIDGE, MA 02238

168-33
BRATTLE SQUARE ASSOCIATES
C/O BRATTLE SQUARE MANAGEMENT CORP
P.O. BOX 380828
CAMBRIDGE, MA 02238

168-33
B & J BRATTLE REALTY, LLC.
2 BRATTLE SQ
CAMBRIDGE, MA 02138

168-33
COHEN, SAUL B. & MARC E. GOLDBERG
TRS. OF HARVARD YEARBOOK REALTY TRUST
2 BRATTLE SQUARE
CAMBRIDGE, MA 02138

168-33
UNION OF CONCERNED SCIENTISTS, INC.
2 BRATTLE SQUARE
CAMBRIDGE, MA 02138

168-33
CRESS, WILLIAM E.,
TR OF TWO BRATTLE SQUARE TR. C/O BRATTLE
WALK INC HAMMOND PRP MGMT INC
TWO BRATTLE SQUARE
CAMBRIDGE, MA 02138

169-46 & 47
BRATTLE SQUARE LLC,
C/O COLLIERS INTERNATIONAL
160 FEDERAL STREET
BOSTON, MA 02110



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
William G. Barry, Jr., Robert G. Crocker, Joseph V. Ferrara, Chandra Harrington, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 1 Brattle Square (Shiru Café)

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
No CHC review of use. Signs will be reviewed when sign permit application is made.
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: _____
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structures is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB Date February 28, 2018

Received by Uploaded to Energov Date February 28, 2018

Relationship to project BZA 15715-2018

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

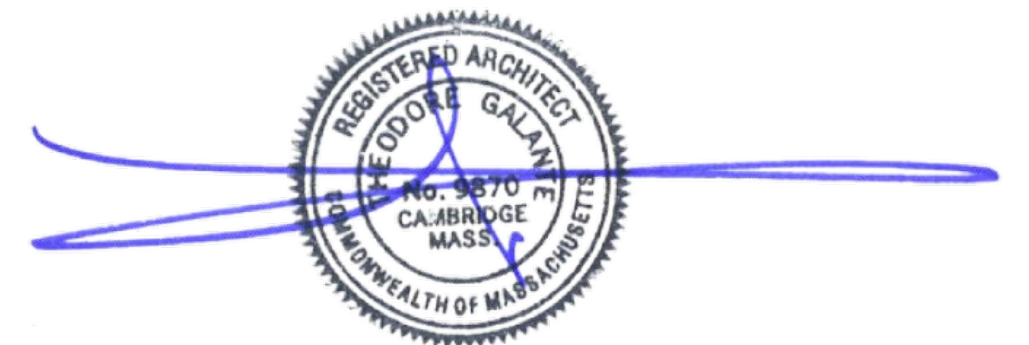
July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>

SHIRU CAFE

One Brattle Street, Cambridge. MA 02138

Permit



DRAWING INDEX

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AD-101	Demolition Floor Plan	E201	Floor Plan Lighting
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A-102	Proposed Reflected Ceiling Plan	E501	Details
A-103	Furniture & Equipment Plan	E601	Specifications
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M100	Demolition Plan Mechanical		
M101	Renovation Plan Mechanical		
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ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and material. Includes categories like Electrical, Mechanical, and Structural.

SYMBOLS

Table of symbols for Section Mark, Elevation Mark, Interior Elevation, Wall Type, Door Tag, and Window Tag.

OTHER SYMBOLS

Table of other symbols for Floor/Wall Demo, Existing Construction, and New Construction.

CODE REVIEW

Code review table listing various codes (Building, Fire Prevention, Accessibility, etc.) and their corresponding requirements.

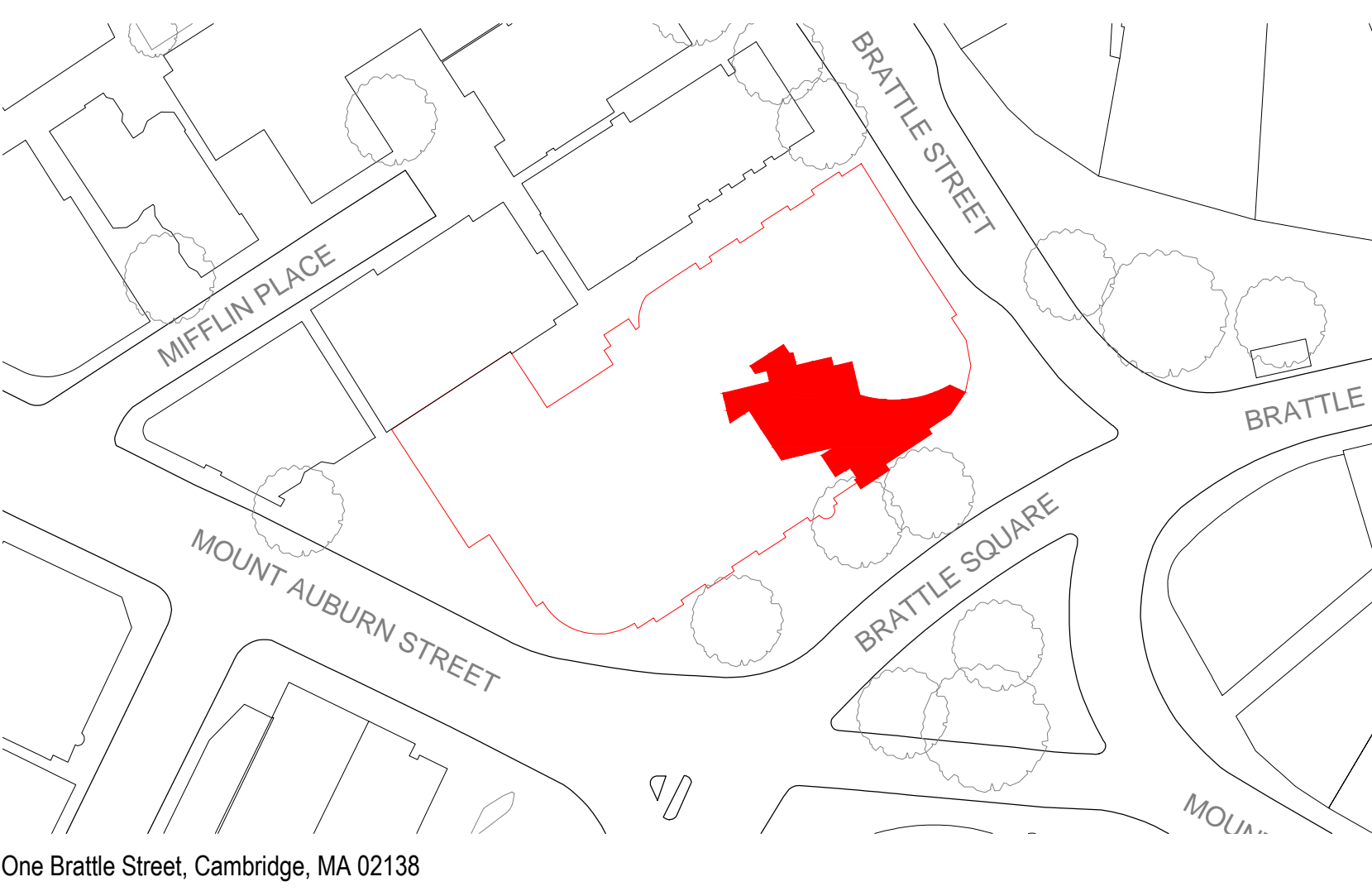
MATERIALS

Table of materials including Insulation, Dimensional Lumber, Blocking, Concrete, Gypsum Wall Board, Hardwood, and Plywood.

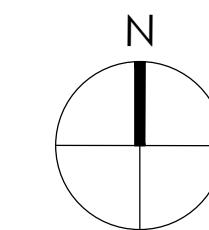
LINETYPES

Table of linetypes for Overhead, Beyond/Hidden, Centerline, and Demolition.

LOCATION MAP



BUILDING LIMIT OF WORK



Project Number 1720
Project Title Shiru Cafe
One Brattle Street, Cambridge, MA 02138

Drawing Title Abbreviations, Location Map, Symbols, & Materials

Date/Issued For 01.05.18

Permit

Scale As Noted

Drawn By TGAS

Drawing Number



GENERAL NOTES

It is understood that in these General Notes, and all other written and graphic items that make up the Construction Documents, the SHIRU CAFE is heretofore referred to as the "owner."

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

- Immediately upon review of these documents, contractor is to provide Requests For Information (RFI's) to architect for clarification. If none are received contractor accepts documents as being clear and set for construction.
- Before preparing a proposal, each contractor shall inspect the site and verify all areas and conditions to determine the exact scope and quantities required to complete the work described in the Contract Documents Drawings & Specifications. All contractors shall be responsible to have compared the premises, existing conditions and any other conditions affecting the performance of the work with the Construction Documents and Specifications. Any conflicts, omissions or discrepancies shall be reported in writing to the project architect.
- All new or modified construction shall be in accordance with all applicable codes, ordinances, and regulations of the most recent prevailing building code and all agencies having jurisdiction over the work, including Federal, State, and Local requirements. In the absence of governing codes, ordinances, rules and regulations, all materials, products and equipment shall be installed in strict accordance with manufacturer's instructions where no specifications exist.
- If documents are in conflict with one another on a particular item or items, contractor shall base his proposal on the better quality and more expensive of the items or conditions, and duly note this in delivered price. ALL TRADES ARE RESPONSIBLE FOR PRICING AND COORDINATION OF ALL INFORMATION ON ALL DRAWINGS AND SPECIFICATIONS. Items or equipment specified under one trade shall be binding as if specified under all applicable trades.
- This project does NOT require state historic preservation office (SHPO) review.

DIVISION 01 - GENERAL REQUIREMENTS

- All drawings are intended to be printed at full scale on Arch D (24"x36") paper.
- DO NOT SCALE DRAWINGS. Written dimensions govern. Construction element location dimensions and types, door and window locations shall be as shown on construction plans. In case of conflict, notify project architect for written clarification prior to proceeding with construction. Construction drawings by architect supersede those of consultants or other design team members.
- ALL DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. Contractor shall notify project architect in writing, of any discrepancy in dimensions prior to proceeding with the work in that area.
- The plus/minus (+/-) symbol indicates a dimension that can vary due to discrepancies in the existing conditions. Notify project architect of any changes to that dimension, unless otherwise noted.
- "Align", when used, indicates that the finished adjacent surfaces must be in the same plane. Align takes precedence over dimensions.
- Dimensions are shown from finished face of construction element, unless otherwise noted. Dimensions marked "clear" or "hold" shall be maintained and shall allow for thickness of finishes. Contractor shall not adjust dimensions without written instruction or approval from the project architect.
- Requests for substitution will not be permitted on this project, unless otherwise noted by project architect. Approved equal substitutions will be considered only if they provide better services, have a more advantageous delivery date, or have a lower price providing a credit to the owner and will not sacrifice quality, appearances or function. Under no circumstances will the architect be required to prove that a product proposed for substitution is or is not of equal quality to the specified product.
- The contractor shall coordinate their work with owner including, but not limited to, scheduling time, location and methods for deliveries, building facilities, and use of on-site material staging & storage areas.
- Contractor is to provide items referred to or implied in the documents in proper quantities required to complete work within the allotted time frame.
- The contract documents, including specific installation details shown on the drawings, establish the minimum installation requirements for the project. If details shown are more stringent than manufacturer's standard details, in the sole opinion of project architect, the details shown will govern the installation of that portion of the work. If manufacturer's standard details are more stringent than details shown, in the sole opinion of project architect, the manufacturer's details shown will govern the installation of that portion of the work. All manufacturer's requirements in excess of that required

by the contract documents must be provided at no additional cost to owner.

- All new construction materials shall be provided in accordance with reference standards and most recent prevailing building code and authorities having jurisdiction over the work. All materials and construction to be incorporated in the work shall be in strict accordance with the latest edition of the Underwriters Laboratory, (UL), American Society of Testing Materials, (ASTM) as applicable, and to conform with the standards and recommendations of the various trade institutes (ACI, AWI, AISC, gyp. assoc. etc.) where applicable. All materials incorporated into the work shall be new, and installed in a professional craftsman-like manner.
- No known hazardous materials shall be used in the bidding or construction of this project.
- The contractor shall provide all labor and material required for a complete and finished installation that is fully warranted/guaranteed by manufacturers. Any details or work required, but not shown or specified, are to be provided in accordance with manufacturer's recommendations and requirements at no additional cost to owner.
- The contractor is responsible for construction means, methods, techniques, sequences and procedures, and for the coordination of the work performed by his subcontractors.
- Contractor shall layout new construction elements for project architect to review for design intent. Do not proceed with installation of new work without this review approval. Contractor shall coordinate and verify conditions to ensure proper fit. Review for design intent does not release contractor from the responsibility to maintain critical dimensions and clearances.
- Contractors shall coordinate placement of blocking, equipment and or steel plates with project architect for partition mounted millwork and/or partition mounted equipment.
- The contractor shall not proceed with work for which they expect additional compensation beyond the contract amount without written authorization from the owner's contracting official. Failure to obtain such authorization shall invalidate a claim for extra compensation.
- The General Contractor shall maintain exits, exit lighting, life safety & fire protective devices and alarms (temporary and/or permanent) to conform to local building code requirements for the entire duration of this project. Exit doors shall be readily operable at all times from the side from which egress is to be made. Legal means of egress, per the latest edition Mass Building Code, 780 CMR, and any authorities having jurisdiction over the work area, must be maintained from all areas, and adjacent buildings that remain in use during construction. All building exits shall be kept readily accessible and unobstructed at all times. Illumination of at least 5 foot-candles measured at the floor level shall be maintained continuously in exits and their access facilities, per most recent prevailing building code. Exit signs are to remain on at all times, except for the duration of required changes.

DIVISION 02 - EXISTING CONDITIONS

- All contractors shall protect all existing site and adjacent existing elements that are indicated to remain or as directed by owner during construction. Any damage resulting from work done under this contract shall be promptly replaced by the contractor with the same type, finish, function, quality and quantity at no additional cost to owner.
- Work shall not interfere with the operation/function of the existing adjacent facilities. Build temporary walls, dust barriers and/or barricades as required, to totally seal off employees, the public and the occupants of the site and the adjacent building from the demolition operations and the new construction, without compromising code or life safety required points of egress. Notify project architect of all work prior to beginning operations. Exit doors shall be readily operable at all times from the side from which egress is to be made. Doors opening into interior enclosed stair shall not be locked from either side except that doors may be locked to prevent access to the stair from the outdoors at the street level.
- The contractor shall be responsible for adequately bracing and protecting work during construction against damage, breakage, collapse, distortion and/or misalignment in accordance with applicable codes, standards, and safe construction practices.
- Any steel which is currently covered in fire proofing, that requires work by ANY trade, shall be re-fire proofed with coatings to meet or exceed the original. Any new steel

requiring fire proofing, shall be coated with appropriate fire proofing material to meet or exceed governing code requirements.

- Contractor shall verify and be responsible for compatibility of new products with areas of existing construction, scheduled to remain. All existing elements or items that are in conflict with the new construction installation are to be disconnected, removed, and modified as required and reinstalled to eliminate any conflict. All work must be done without interruption to ongoing activities in all surrounding areas. All mechanical and electrical work must be performed by sub-contractors licensed in the appropriate trade in the state where work is to be performed.

- Contractor shall repair all construction which is damaged as a result of selective demolition and/or new construction. Repairs shall exactly match adjacent materials, finish, colors, and appearance unless otherwise noted.

DIVISION 08 - OPENINGS

- Where noted to provide and install all new glazing, contractor shall provide setting blocks, spacers and shims as required. Provide heat tempered glass or laminated glass at all new interior construction elements unless otherwise noted and where required by building code. This is typical throughout the construction project.

DIVISION 09 - FINISHES

- Exposed gypsum board shall have metal trim, as detailed on drawings. In the absence of a specific detail, architect is to be consulted prior to material being purchased and brought to the site. Provide corner beads along full length of outside corners and tape-able J beads along ends of gypsum board. Unless otherwise specifically noted, tape joints, provide three coats of spackle and sand all joints smooth to receive designated finishes. Partitions shall have a smooth finish condition ready for priming, paint and/or finish material application as specified by finish material manufacturer unless otherwise noted.
- New gypsum board assemblies adjoining installed construction in the same plane shall be flush with no visible joints unless otherwise noted.
- All interior finishes to have smoke and flame spread ratings shall be in accordance with most recent prevailing building code and authorities having jurisdiction over the work. Interior finishes materials shall be classified in accordance with the surface flame-spread rating obtained as prescribed in ASTM E-84 1961 "standard method of test for surface burning characteristics of building materials" and as prescribed by most recent prevailing building code. Patch walls and floors as required to maintain the integrity of the existing materials fire ratings and to provide a smooth surface for installation of new finish materials.
- Partitions shall rest directly upon the concrete floor/deck construction and extend to the underside of existing roof or floor structure above with deflection head tracks unless noted otherwise. Partitions shall be acoustically insulated for sound isolation unless noted otherwise. Partitions are to be fitted and cut to all surrounding surfaces.
- Where new floor finishes are to be provided, flash patch concrete slab and finish substrate if topping is broken or crumbling. Repair and clean to smooth surface before installing new floor finish, per mfr. specifications.
- Interior floor finish carpet; where new carpeting or carpet tile is to be provided, it shall comply, meet, and/or exceed requirements of most recent prevailing building code & authorities having jurisdiction over the work.

DIVISION 26 - ELECTRICAL

- Contractor to verify compatibility of new and existing electrical appliances, products, owner's equipment, and related items with modified electrical system.
- Contractor is fully responsible for ensuring electrical systems operate without interruption to owners' ongoing operations.
- All receptacles are to be installed with grounding elements on bottom of outlets.

521 CMR COMPLIANCE

- All areas accessible to the public shall comply with the regulations of 521 CMR, the

Massachusetts Architectural Access Board.

MISCELLANEOUS

- Conduits in fire rated partitions will not exceed ¾" in diameter. Outlets in such partitions will be backed up with approved materials, per most recent prevailing building code and authorities having jurisdiction over the work.
- Provide fire blocking meeting or exceeding most recent prevailing building code requirements at all penetrations through fire rated construction. Ducts, passing through rated construction shall be protected by rated self-closing fire and / or smoke devices or dampers per most recent prevailing building code (typical).
- Fire blocking: concealed spaces within partitions, walls, floors, ceilings, stairs, furred pipe spaces, column enclosures, etc. shall be fire blocked per most recent prevailing building code (except where concealed space contains a fully automatic sprinkler system, with localized heads, or is constructed as a fire rated shaft enclosure) as follows:
 - non-combustible material that can be shaped as accepted by ASTM E-81 4 "Through Penetration Fire Stop System."
 - Non-combustible fire blocking may be masonry set in mortar, concrete 3/4" mortar or plaster on non-combustible lath, plaster board at least 3/8" thick, sheet metal of at least 0.002" thick, solid web metal structural members, 1/4" minimum fireproof cement board of equivalent materials, mineral, slag, or rockwool when compacted in confined space.

Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
General Notes

Date/Issued For
01.05.18

Permit

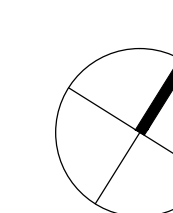


Scale
As Noted

Drawn By
TGAS

Drawing Number

G-002



Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Demolition Floor
Plan

Date/Issued For



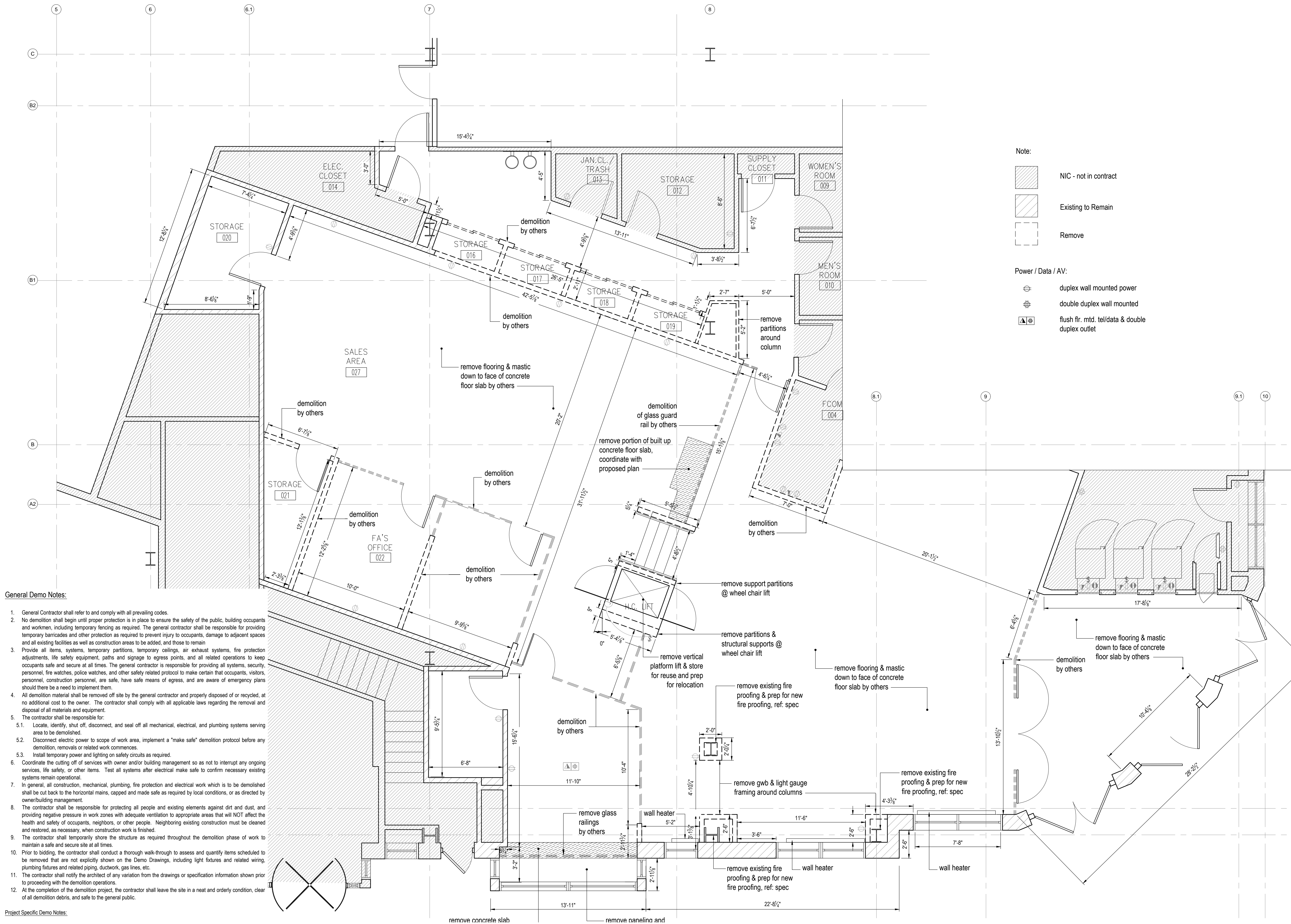
Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number

AD-101



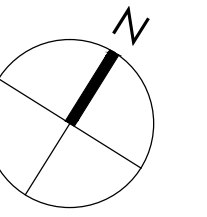
General Demo Notes:

- General Contractor shall refer to and comply with all prevailing codes.
- No demolition shall begin until proper protection is in place to ensure the safety of the public, building occupants and workmen, including temporary fencing as required. The general contractor shall be responsible for providing temporary barricades and other protection as required to prevent injury to occupants, damage to adjacent spaces and all existing facilities as well as construction areas to be added, and those to remain.
- Provide all items, systems, temporary partitions, temporary ceilings, air exhaust systems, fire protection adjustments, life safety equipment, paths and signage to egress points, and all related operations to keep occupants safe and secure at all times. The general contractor is responsible for providing all systems, security, personnel, fire watches, police watches, and other safety related protocol to make certain that occupants, visitors, personnel, construction personnel, are safe, have safe means of egress, and are aware of emergency plans should there be a need to implement them.
- All demolition material shall be removed off site by the general contractor and properly disposed of or recycled, at no additional cost to the owner. The contractor shall comply with all applicable laws regarding the removal and disposal of all materials and equipment.
- The contractor shall be responsible for:
 - Locate, identify, shut off, disconnect, and seal off all mechanical, electrical, and plumbing systems serving area to be demolished.
 - Disconnect electric power to scope of work area, implement a "make safe" demolition protocol before any demolition, removals or related work commences.
 - Install temporary power and lighting on safety circuits as required.
- Coordinate the cutting off of services with owner and/or building management so as not to interrupt any ongoing services, life safety, or other items. Test all systems after electrical make safe to confirm necessary existing systems remain operational.
- In general, all construction, mechanical, plumbing, fire protection and electrical work which is to be demolished shall be cut back to the horizontal mains, capped and made safe as required by local conditions, or as directed by owner/building management.
- The contractor shall be responsible for protecting all people and existing elements against dirt and dust, and providing negative pressure in work zones with adequate ventilation to appropriate areas that will NOT affect the health and safety of occupants, neighbors, or other people. Neighboring existing construction must be cleaned and restored, as necessary, when construction work is finished.
- The contractor shall temporarily shore the structure as required throughout the demolition phase of work to maintain a safe and secure site at all times.
- Prior to bidding, the contractor shall conduct a thorough walk-through to assess and quantify items scheduled to be removed that are not explicitly shown on the Demo Drawings, including light fixtures and related wiring, plumbing fixtures and related piping, ductwork, gas lines, etc.
- The contractor shall notify the architect of any variation from the drawings or specification information shown prior to proceeding with the demolition operations.
- At the completion of the demolition project, the contractor shall leave the site in a neat and orderly condition, clear of all demolition debris, and safe to the general public.

Project Specific Demo Notes:

- Coordinate removal of miscellaneous electrical items with the work of the E Drawings.
- Remove vertical platform lift and protect and store for reuse in new construction.

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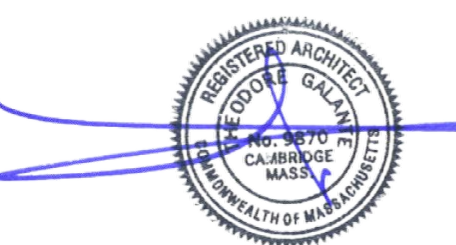


Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Demolition
Reflected Ceiling
Plan

Date/Issued For



Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number

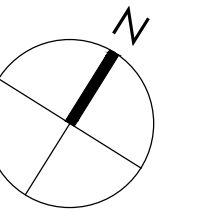
AD-102



1 Demolition Reflected Ceiling Plan

Scale: 1/4" = 1'

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Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Proposed Floor Plan

Date/Issued For



Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number

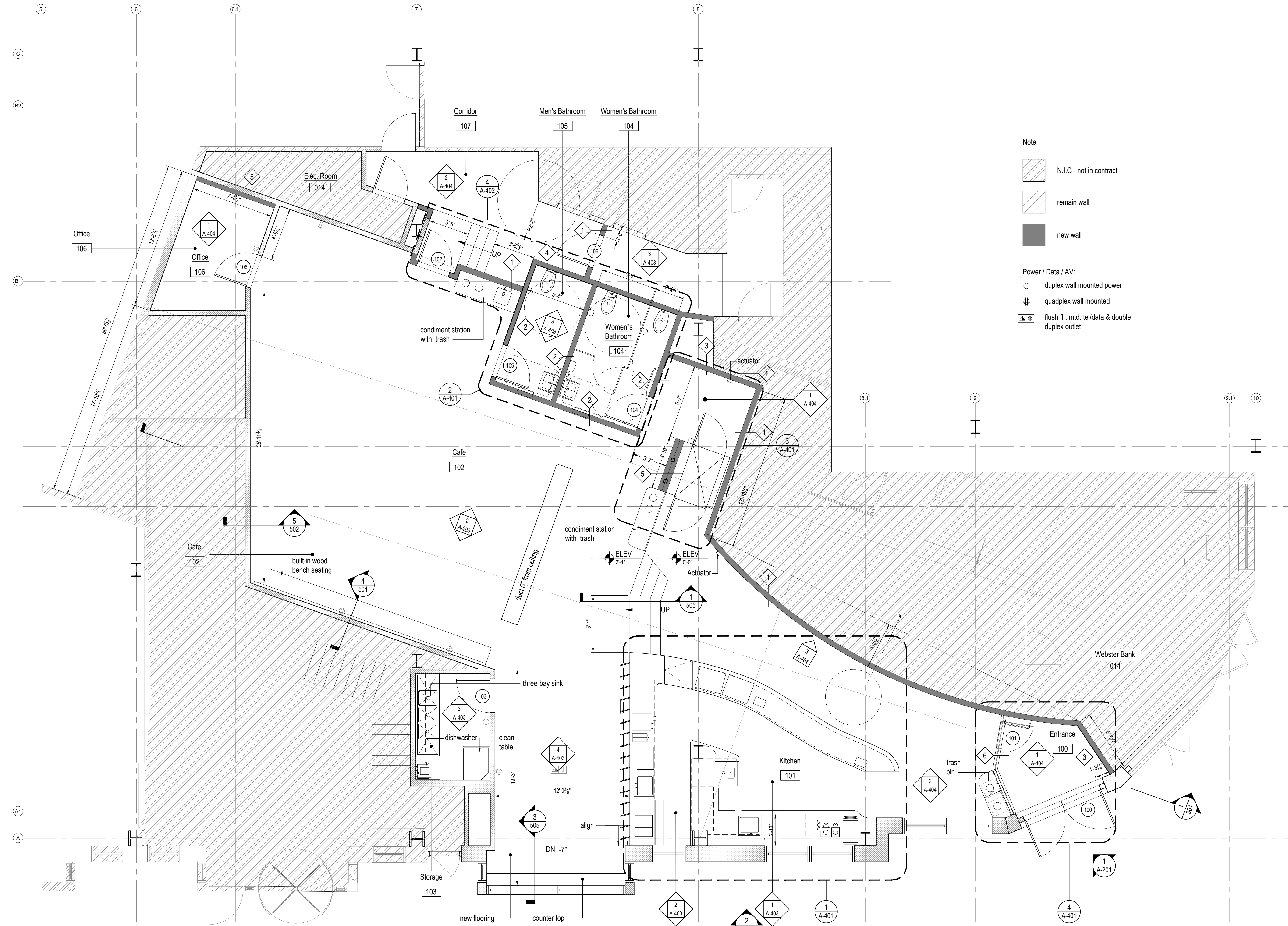
A-101

Note:

- N.I.C. - not in contract
- remain wall
- new wall

Power / Data / AV:

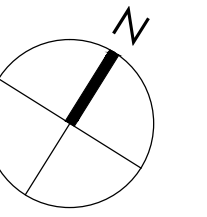
- duplex wall mounted power
- quadplex wall mounted
- flush fir. mtd. tel/data & double duplex outlet



1 Proposed Floor Plan

Scale: 1/4" = 1'

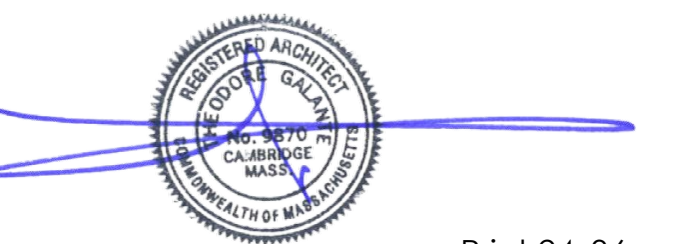
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Project Number
1720
Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Proposed Reflected
Ceiling Plan

Date/Issued For



Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number

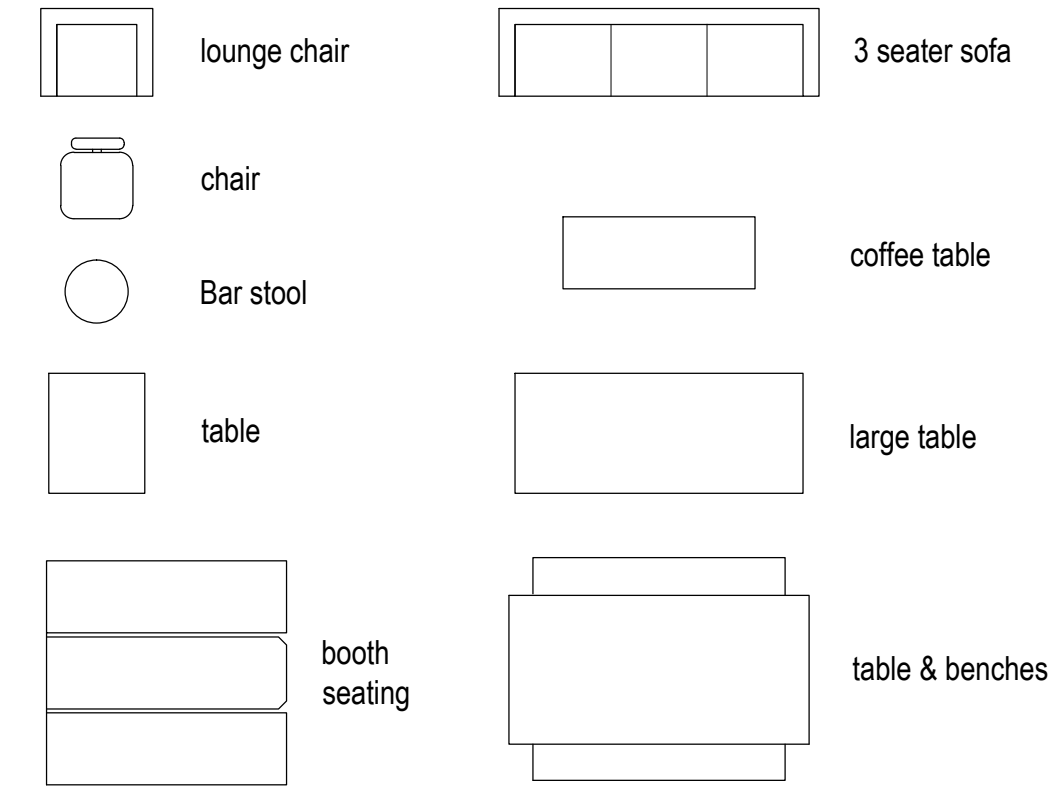
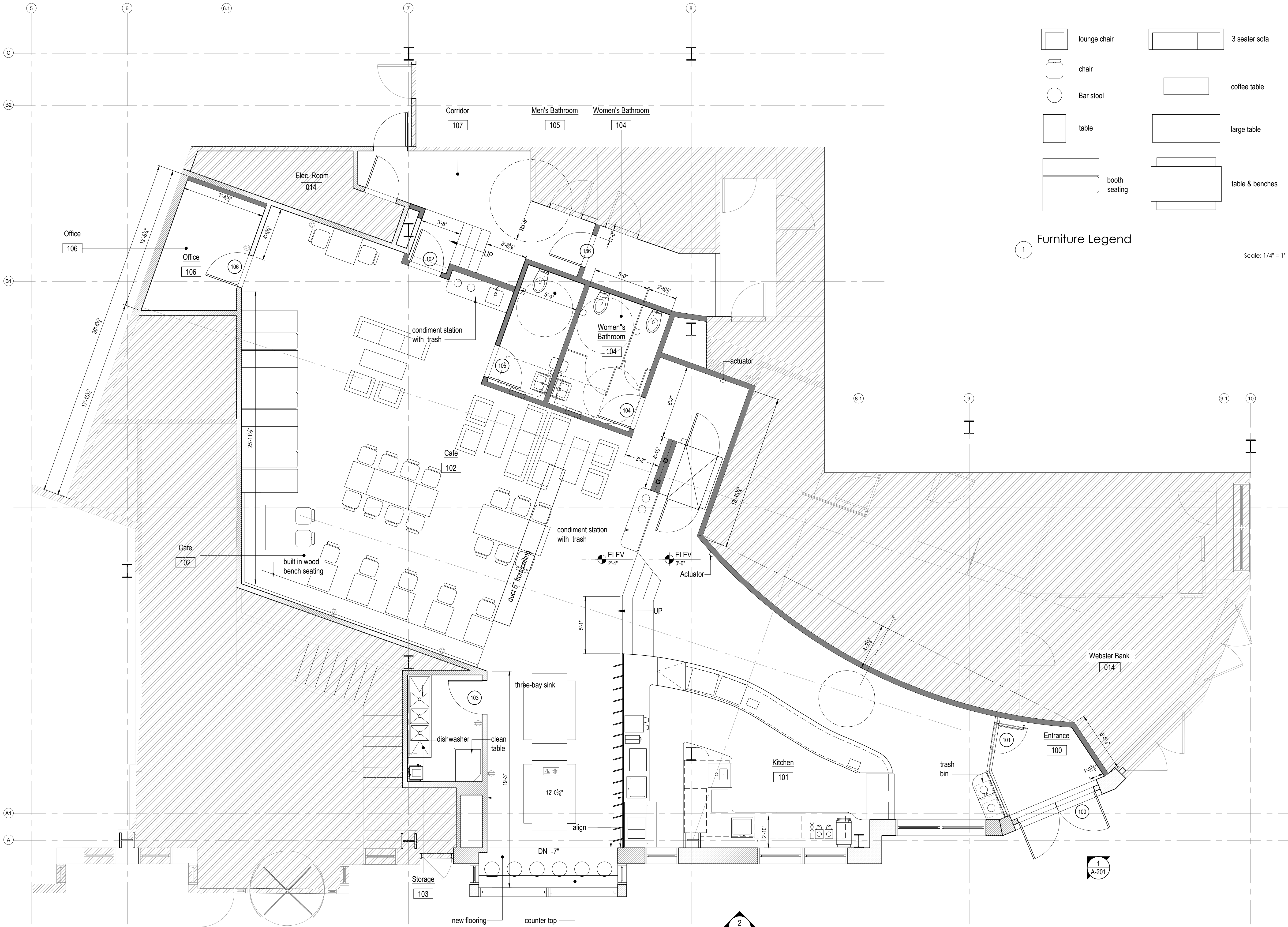
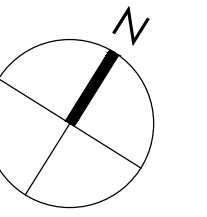
A-102



1 Reflected Ceiling Plan

Scale: 1/4" = 1'

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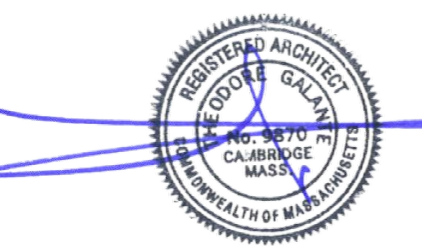
1 Furniture Legend

Scale: 1/4" = 1'

Project Number
1720
Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Furniture Plan

Date/Issued For



Print 24x36

Scale
As Noted

Drawn By
TGAS

Drawing Number

1 Furniture and Equipment Plan

Scale: 1/4" = 1'

Project Number
1720
Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Exterior Elevations

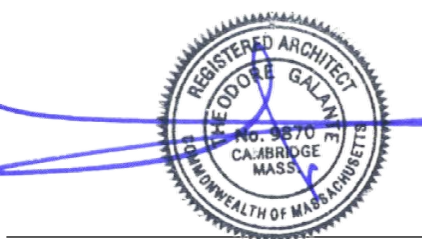
Date/Issued For



1
A-201
Partial Building Elevation - Brattle Street

2

Scale: 1/4" = 1'



Print 24x36

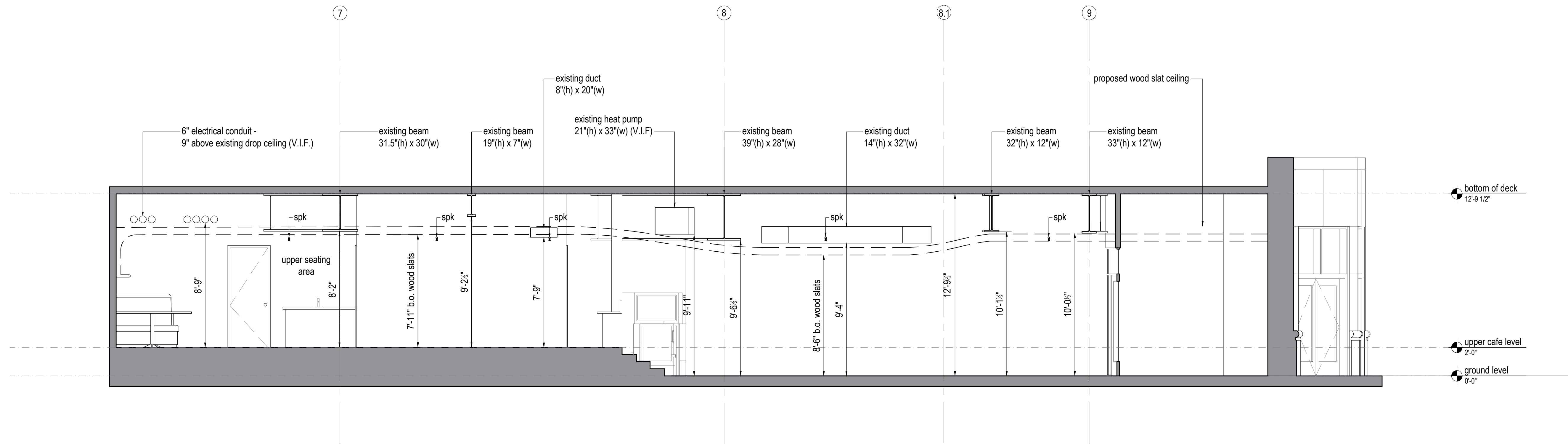
Scale
As Noted

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TGAS

Drawing Number

A-201

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1 Longitudinal Section

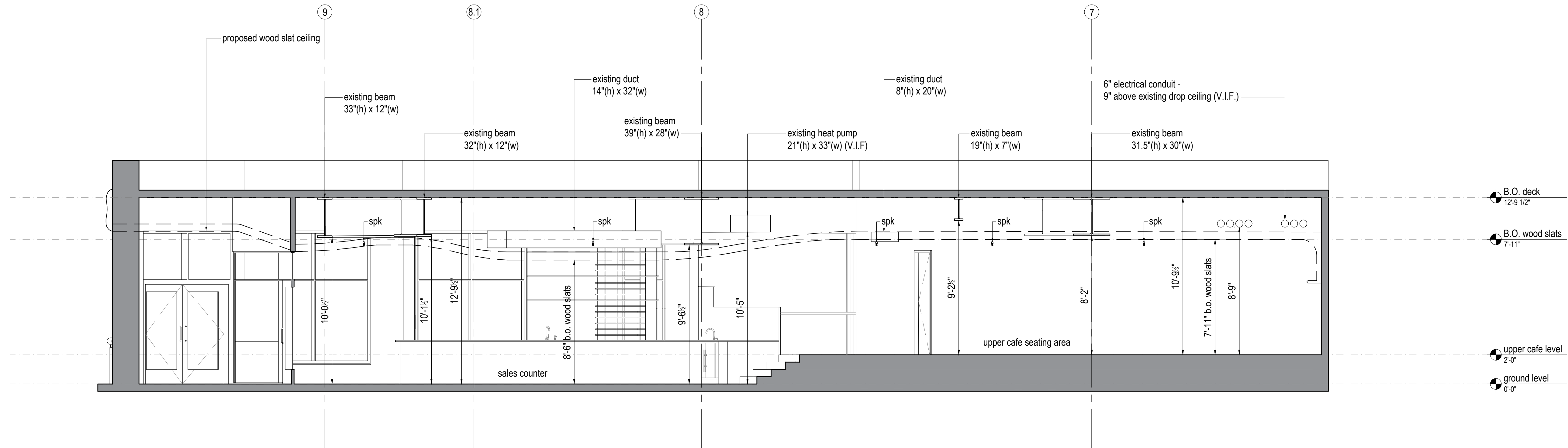
Scale: 1/4" = 1'

Project Number
1720

Project Title
Shiru Cafe

One Brattle Square

Drawing Title
Building Sections

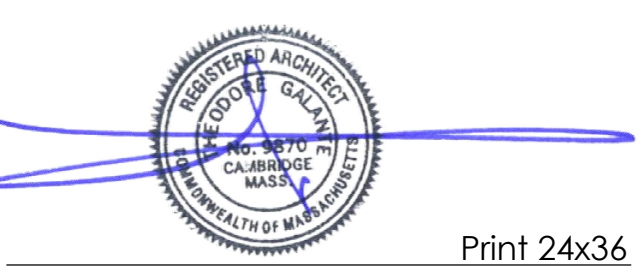


2 Longitudinal Section

Scale: 1/4" = 1'

Date/Issued For

B.O. deck
12'-9 1/2"
B.O. wood slats
7'-11"
upper cafe level
2'-0"
ground level
0'-0"



Print 24x36

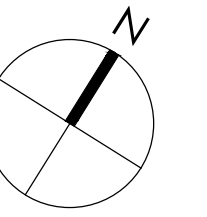
Scale
As Noted

Drawn By
TGAS

Drawing Number

A-301

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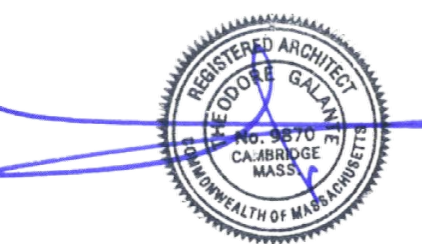


Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Enlarged Plans

Date/Issued For



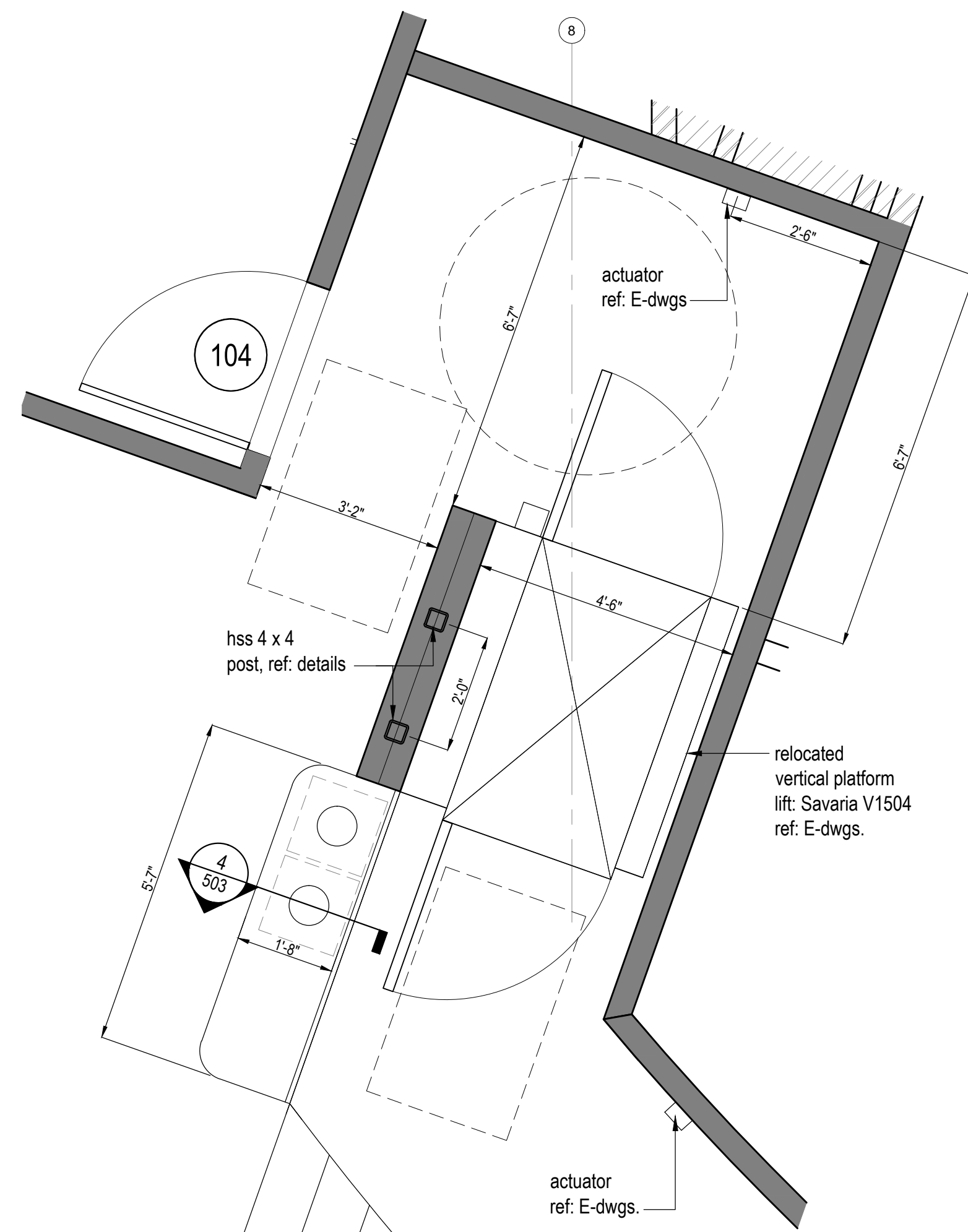
Print 24x36

Scale
As Noted

Drawn By
YL

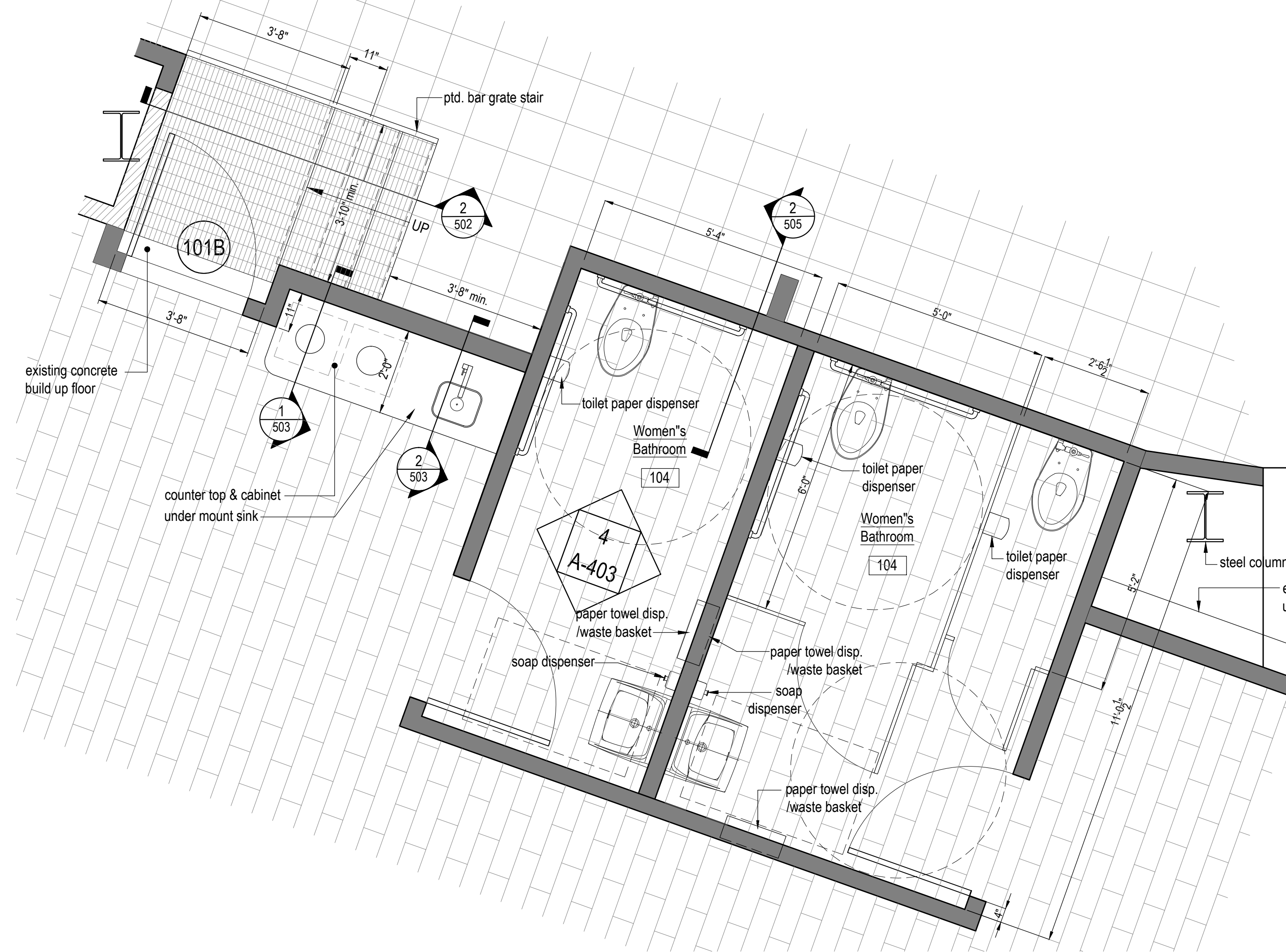
Drawing Number

A-401



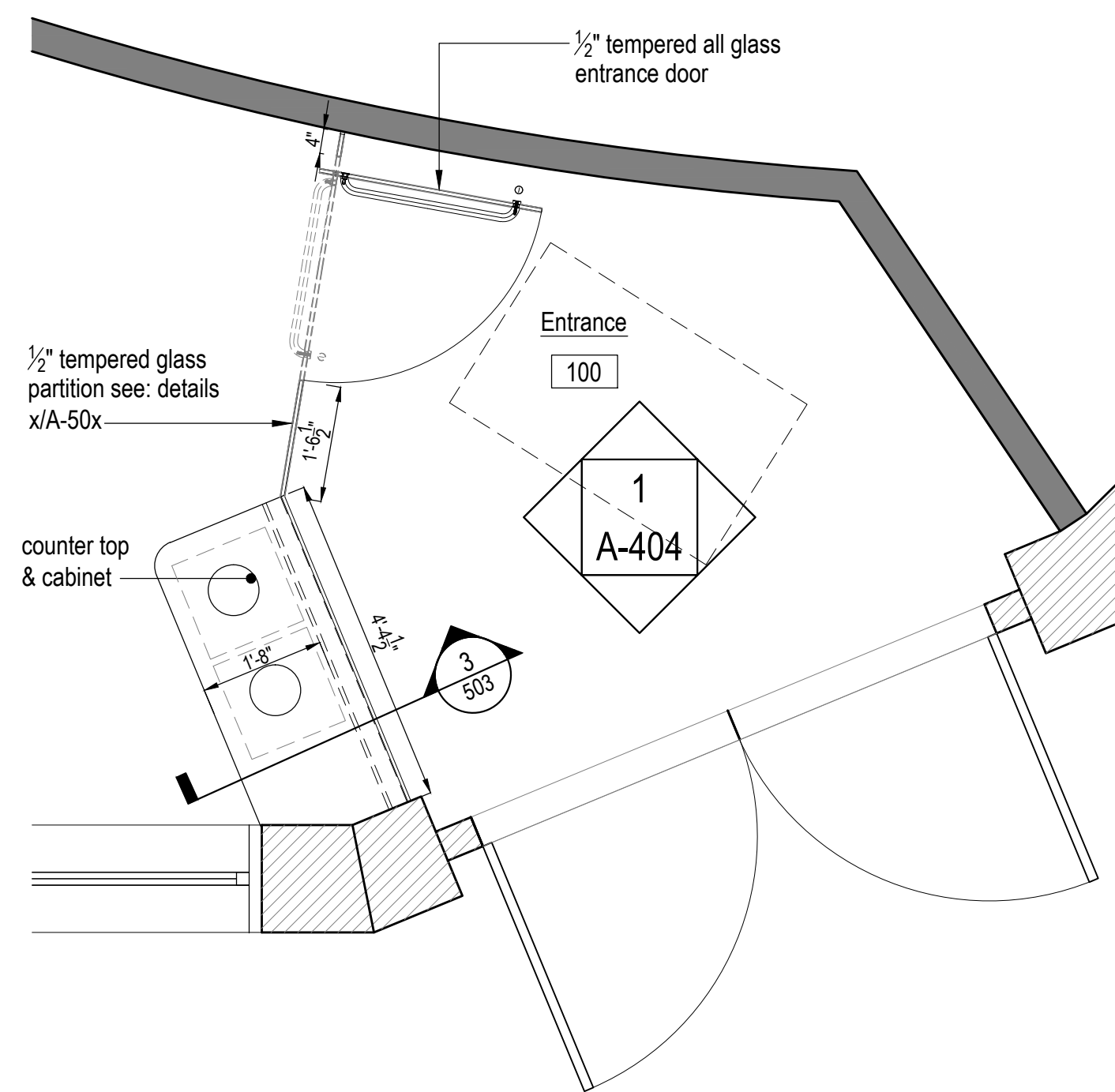
Enlarged Wheel chair lift Plan

Scale: 1/2" = 1'



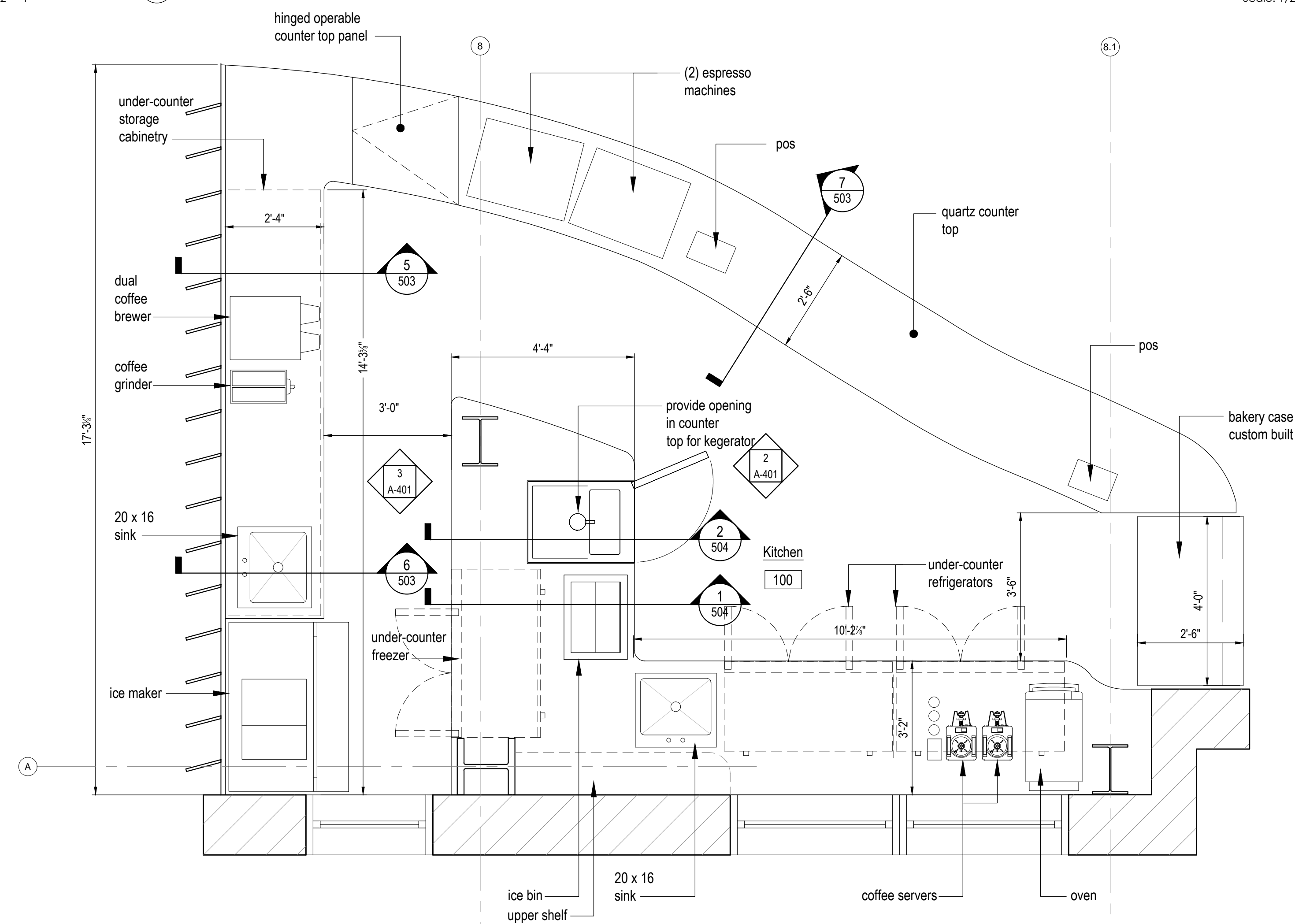
Enlarged Bathroom & Stair Plan

Scale: 1/2" = 1'



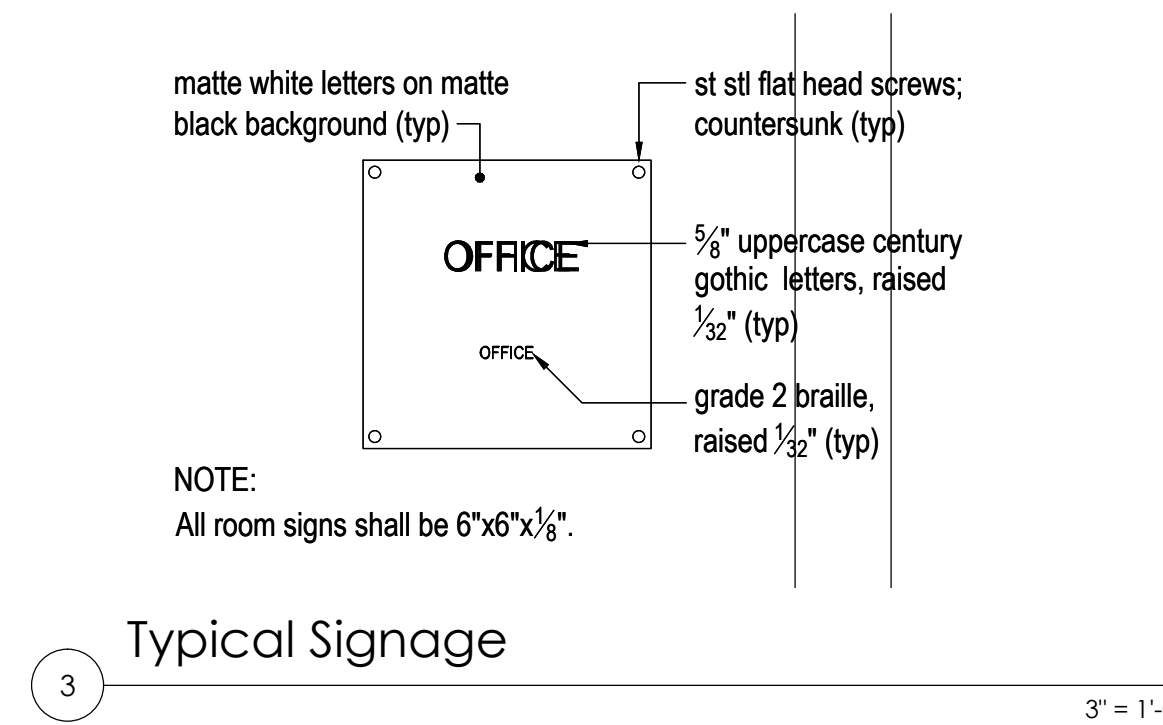
Enlarged Entrance Vestibule Plan

Scale: 1/2" = 1'

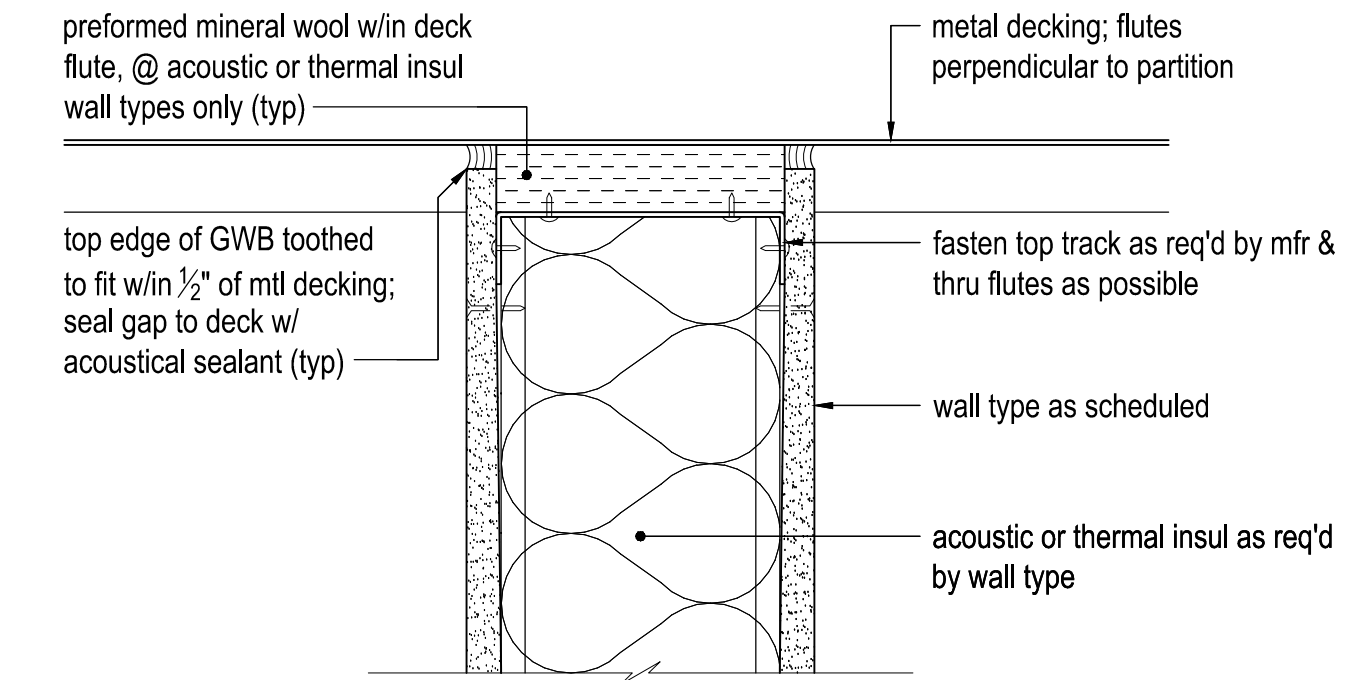


Enlarged Kitchen Plan

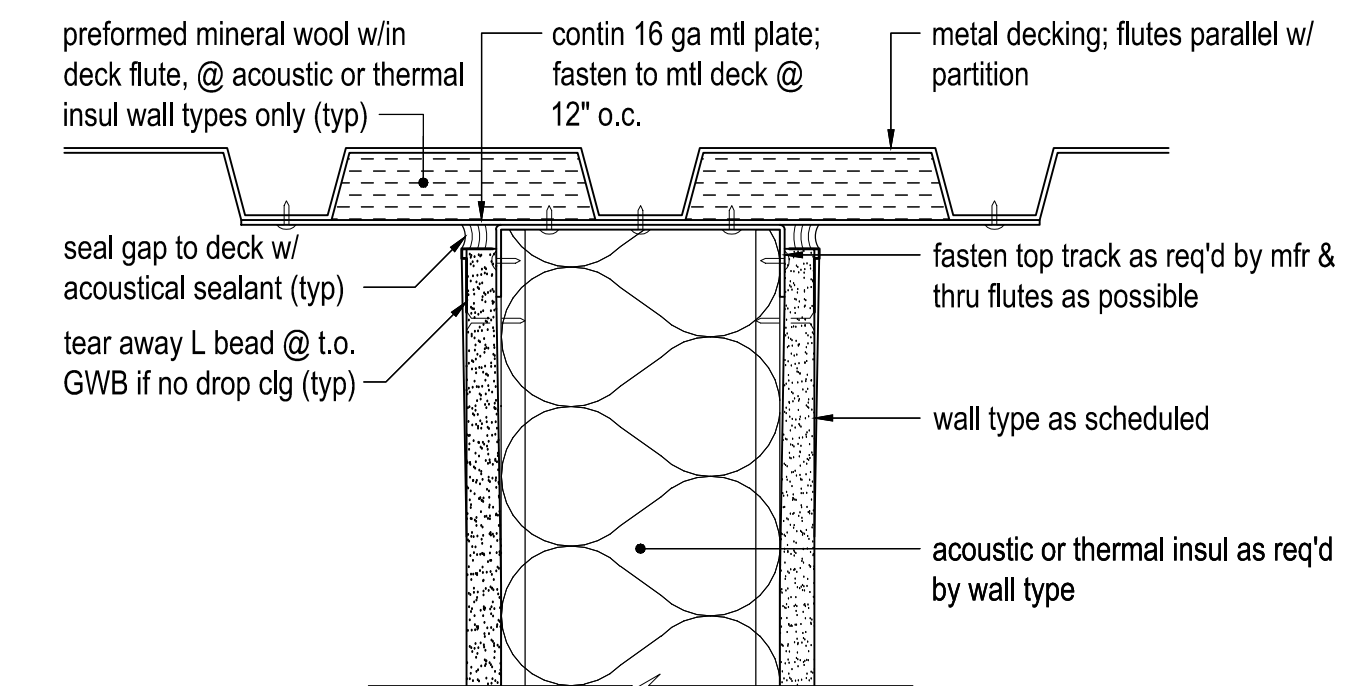
Scale: 1/2" = 1'



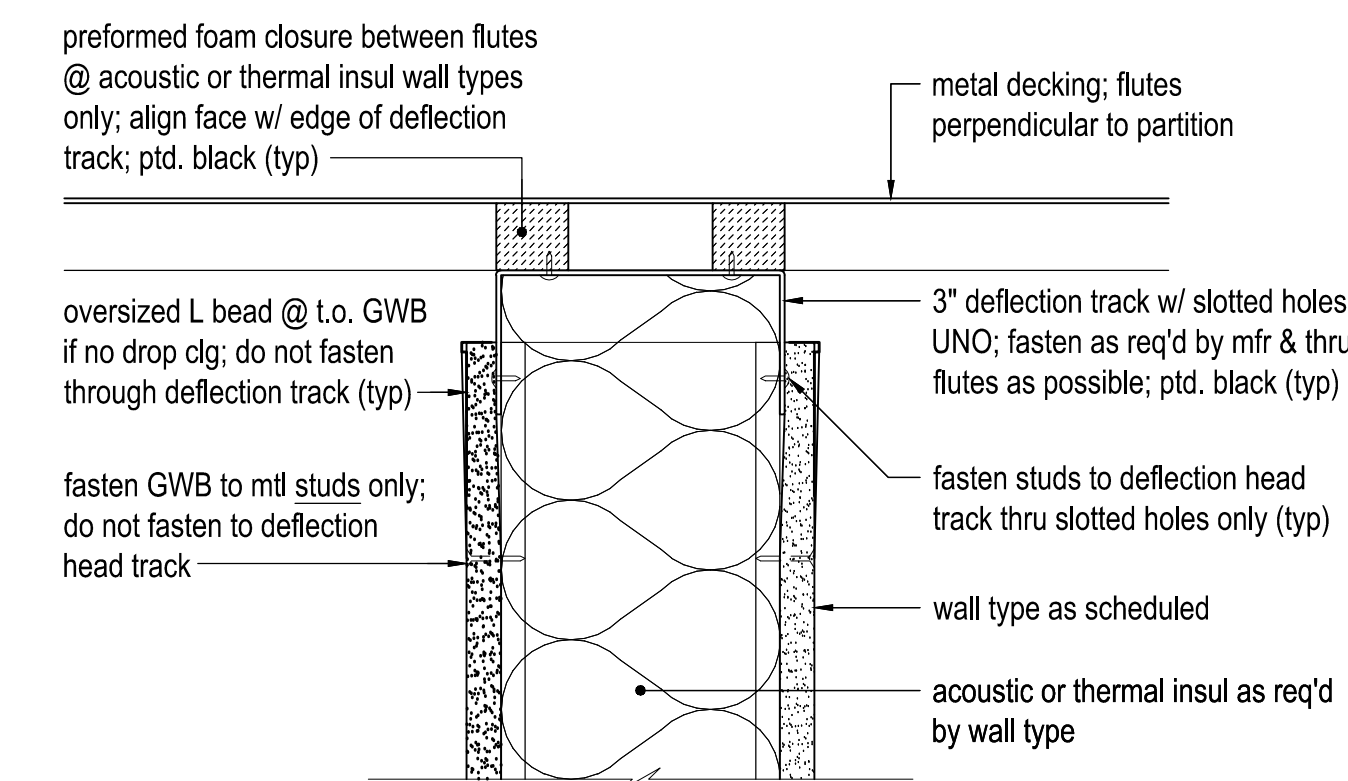
3 Typical Signage 3" = 1'-0"



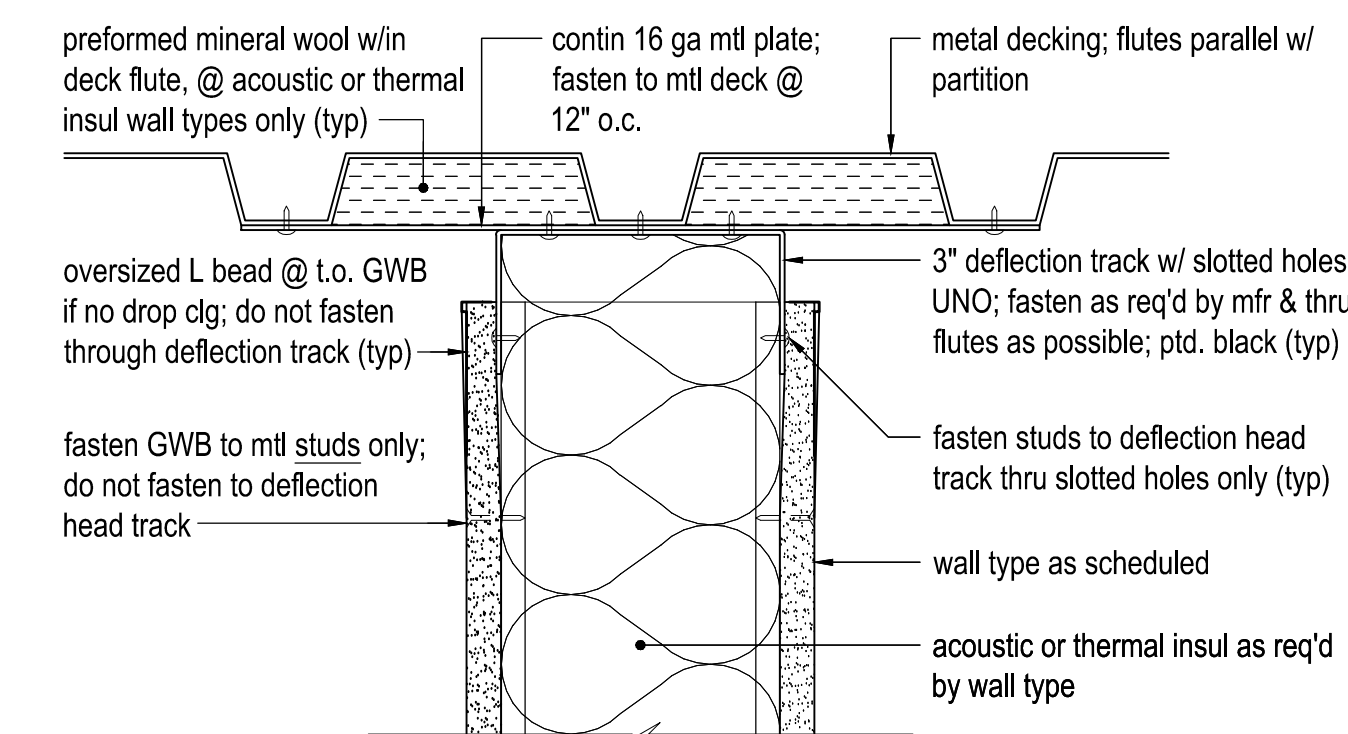
D. Standard Top Track Perpendicular to Metal Decking Flutes



C. Standard Top Track Parallel to Metal Decking Flutes



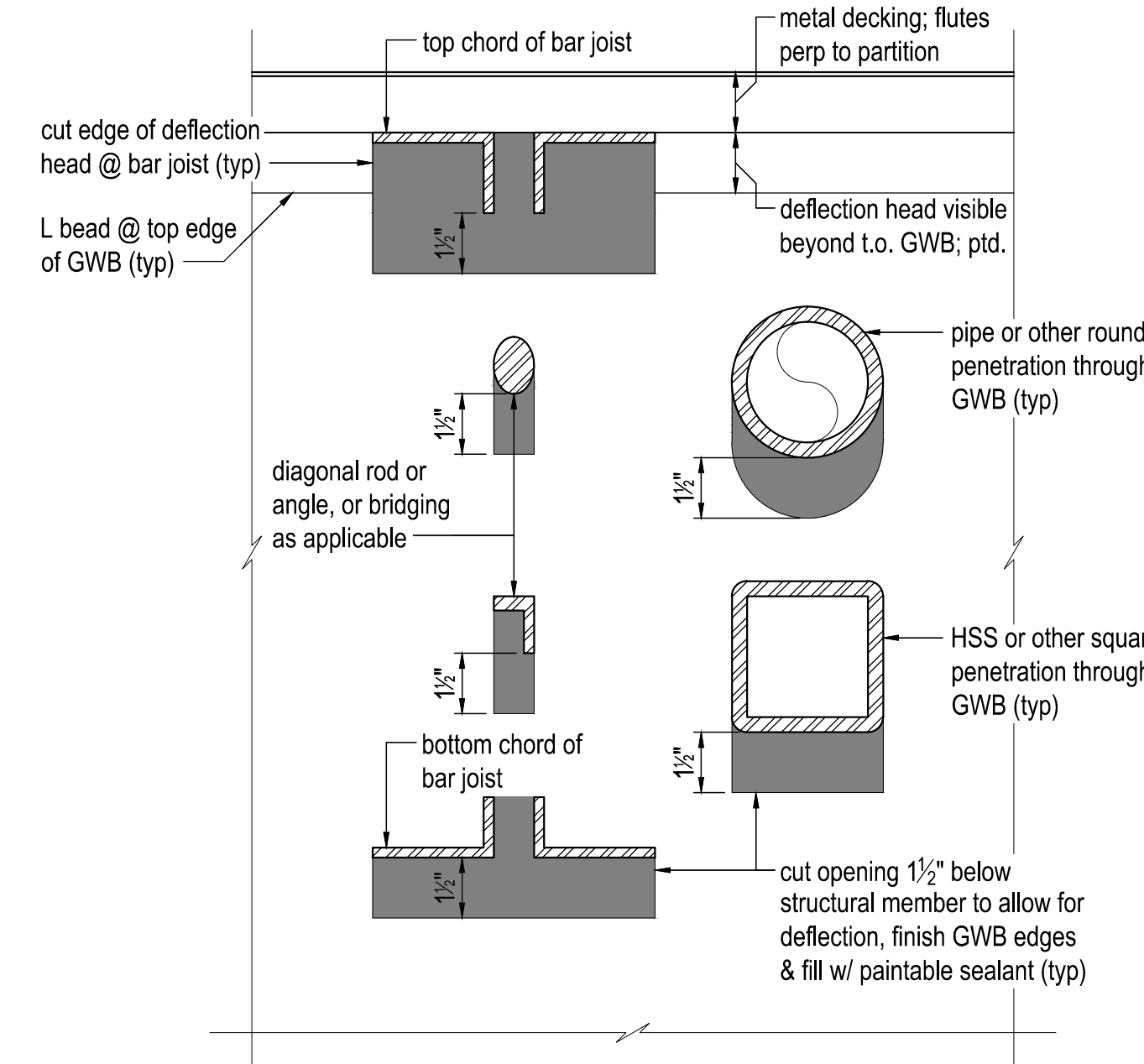
B. Deflection Head Perpendicular to Metal Decking Flutes



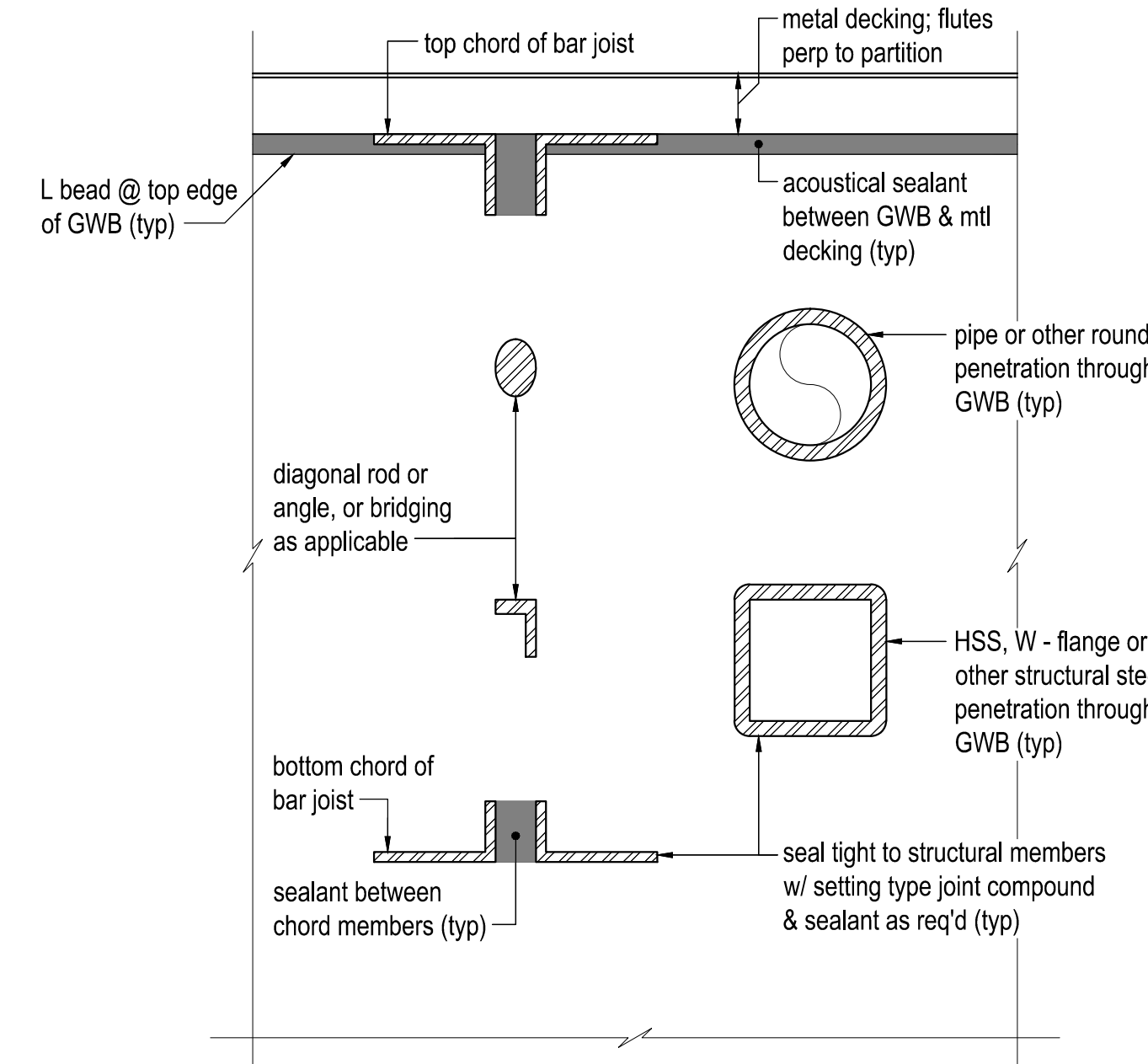
A. Deflection Head Parallel to Metal Decking Flutes

Note:
1. Partitions framed up to decking shall include a deflection head unless noted otherwise.
2. Unless noted otherwise, assume similar detail for non-GWB wall types.

1 Section Details - Typical Interior Partition Head to Deck Connection 3" = 1'-0"



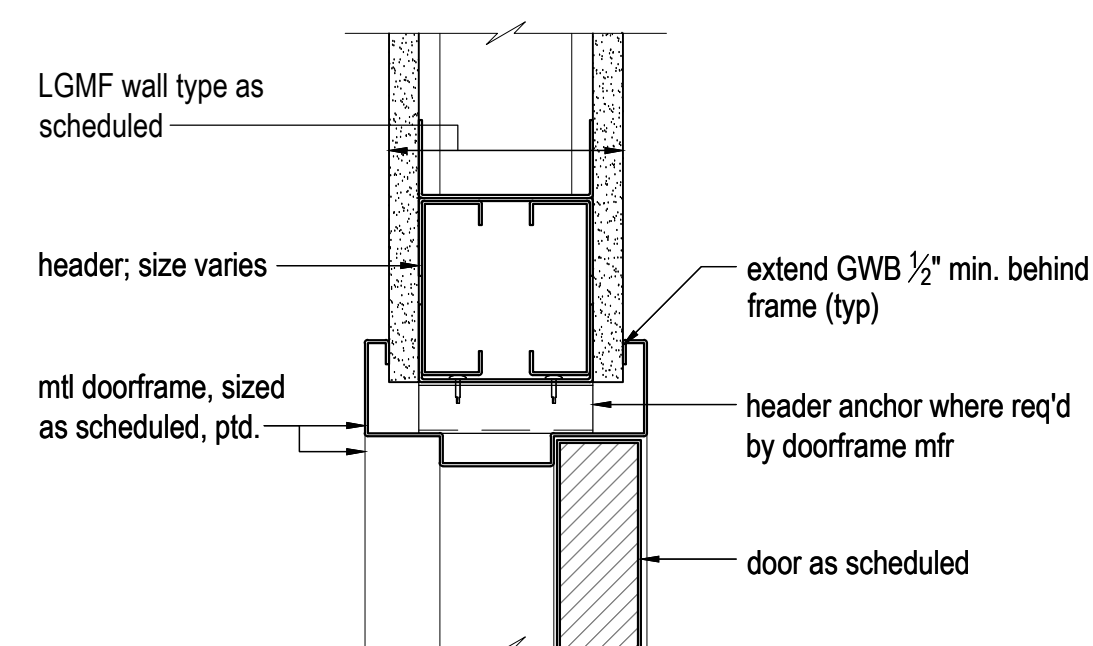
B. Typical for Penetrations thru GWB Partitions w/ Deflection Heads



A. Typical for Penetrations thru GWB Partitions

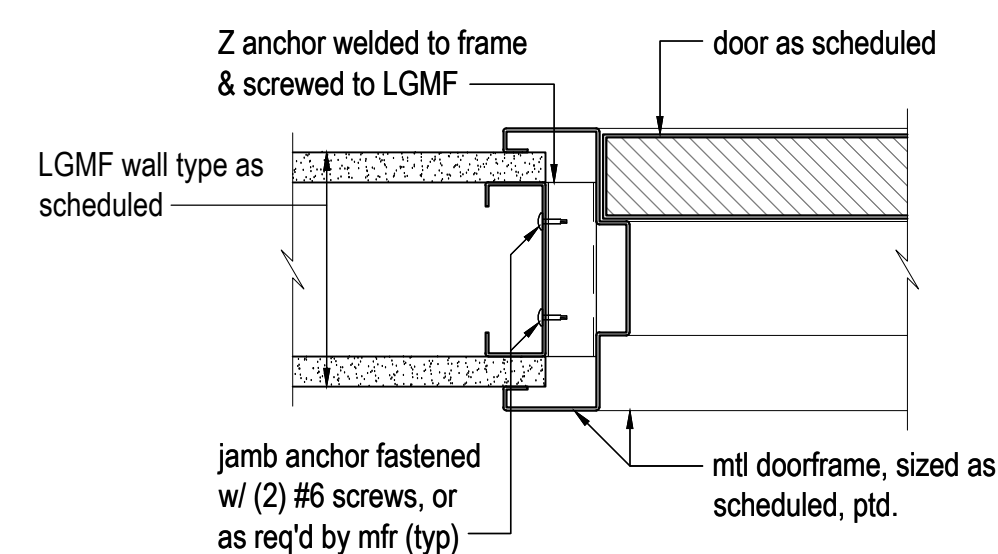
Note:
1. Penetrations are examples only. Actual shapes, sizes, and dimensions will vary.

2 Typical Interior Partition Penetration Details 3" = 1'-0"



Note:
1. Boxed header size:
@ 3'-0" door: (2) 3 3/8" x 20 ga.
@ 6'-0" door: (2) 6" x 20 ga.

B. Header Detail



A. Jamb Detail

Note:
1. Follow installation procedures of ANSISDI A250.11-2012.

4 Typical HM Door Jamb/Header Details in Non-Load Bearing Partition 3" = 1'-0"



Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Partition Types

Date/Issued For

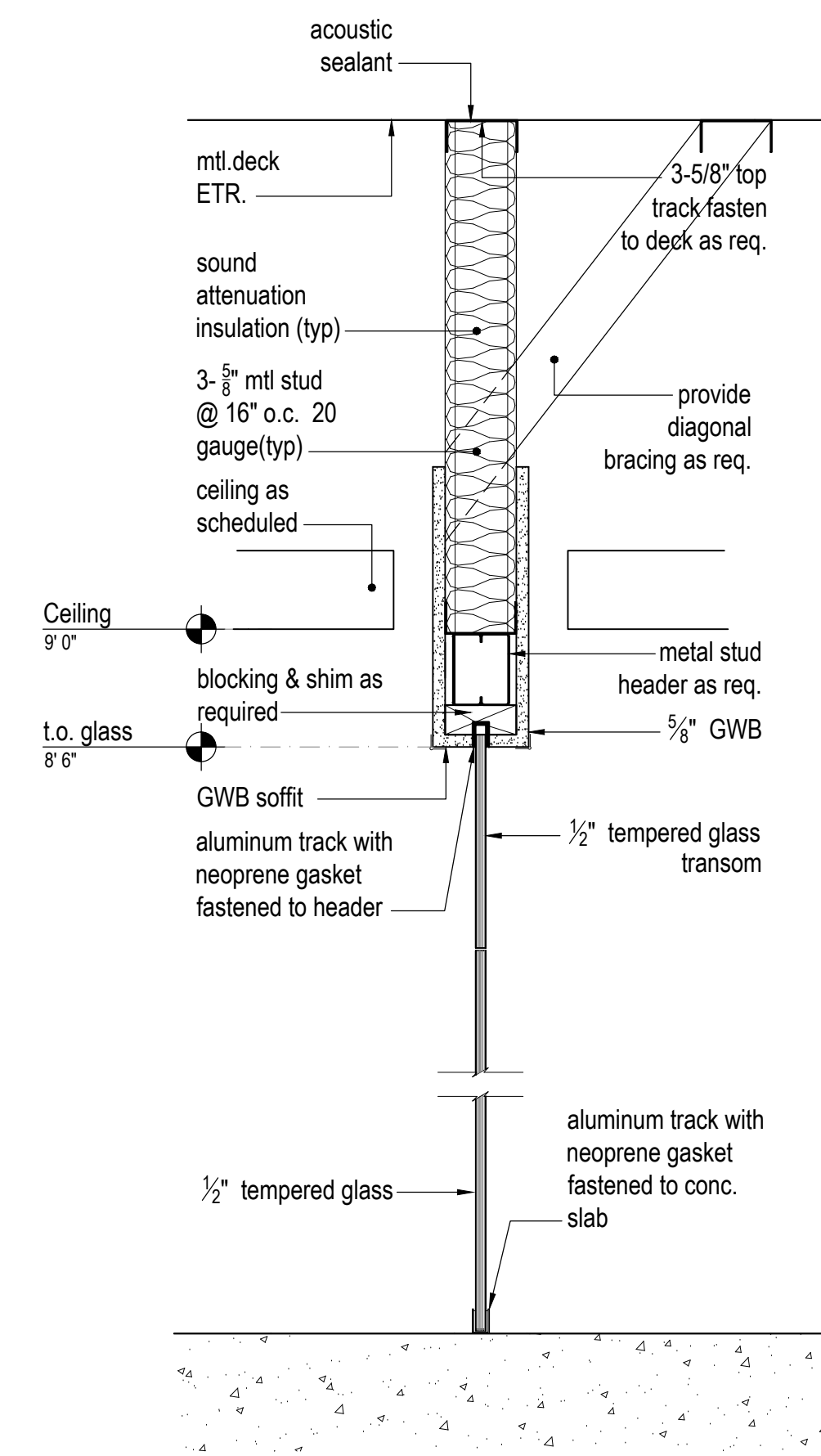
Print 24x36

Scale
As Noted

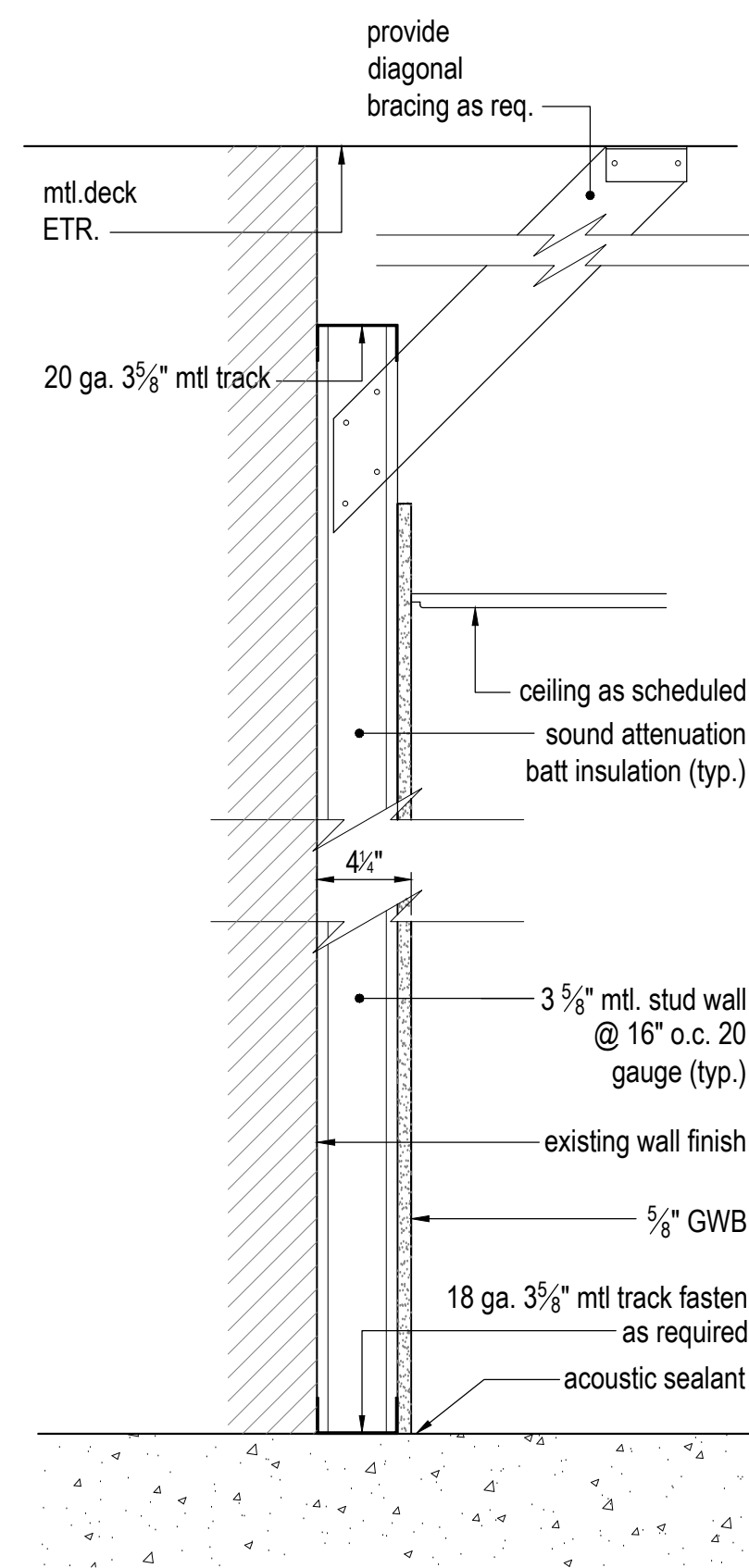
Drawn By
YL

Drawing Number

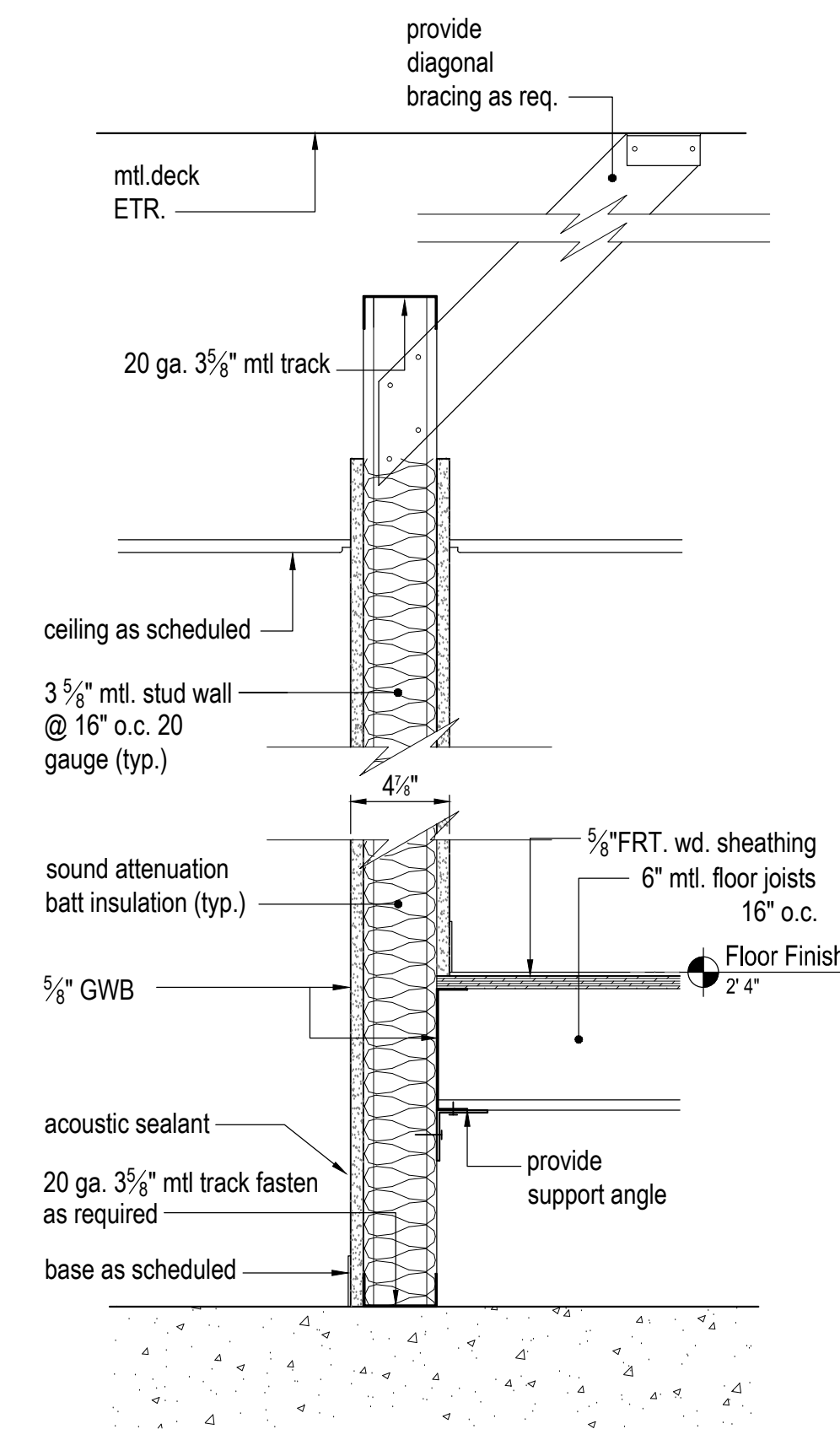
A-502



Type 6

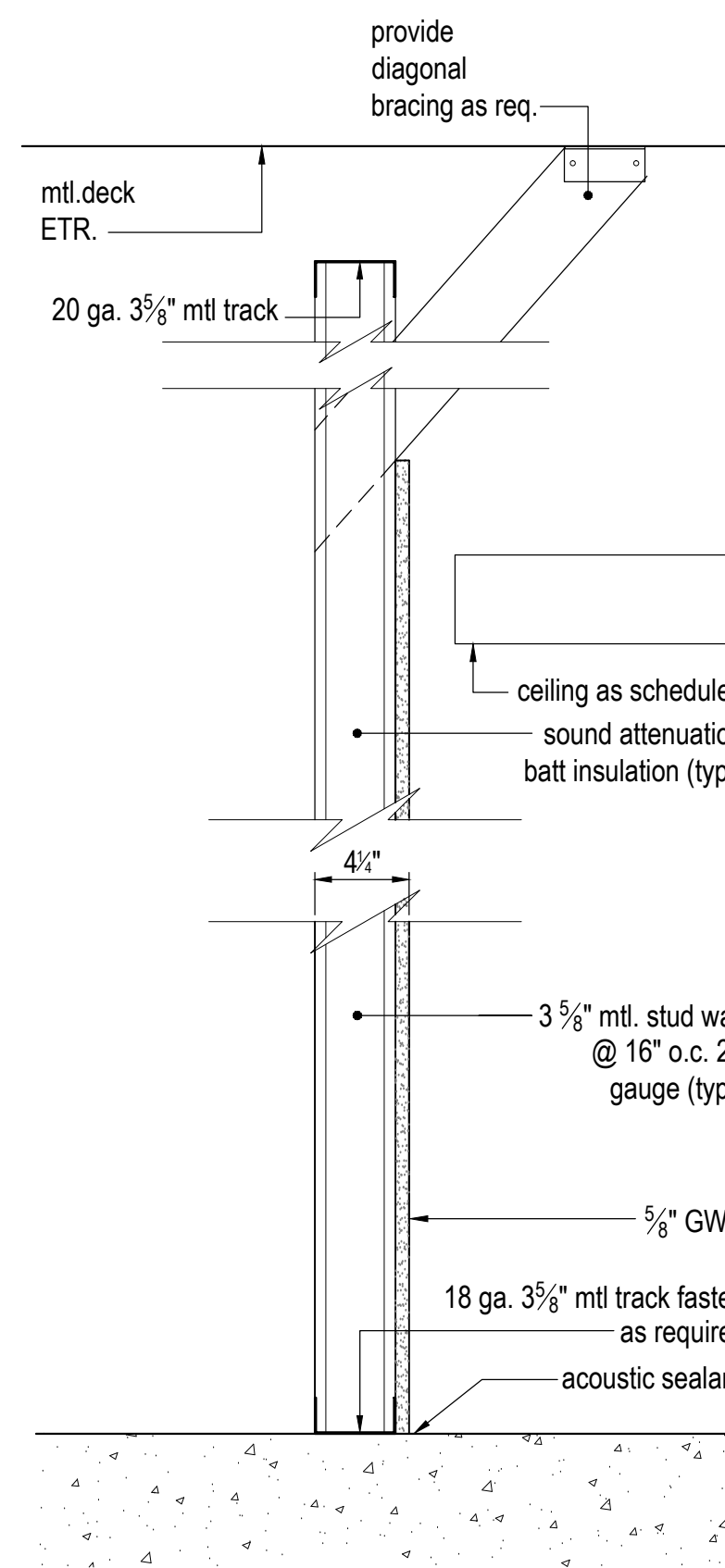


Type 5

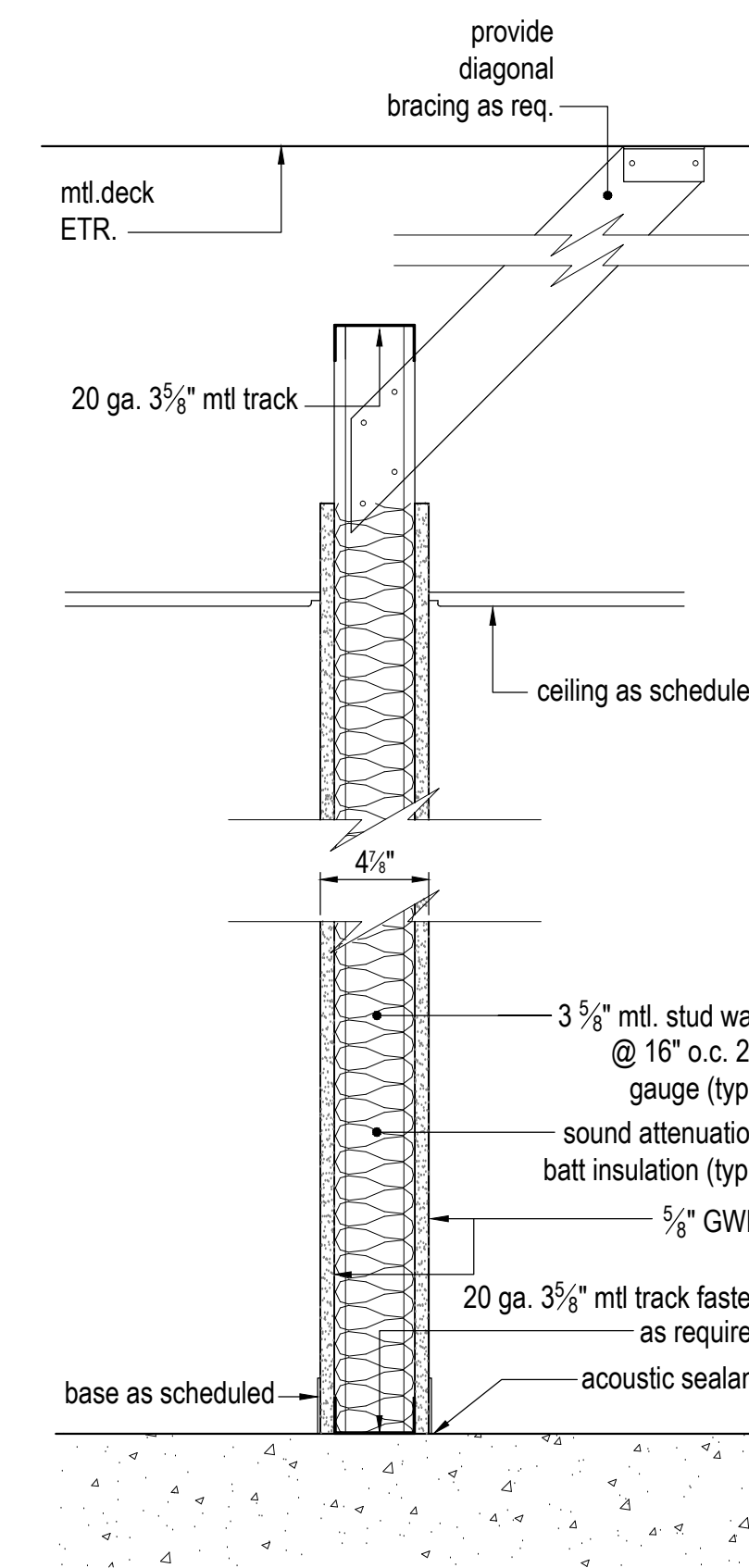


Note:
1. Provide water resistant gwb on bathroom side of wall

Type 4

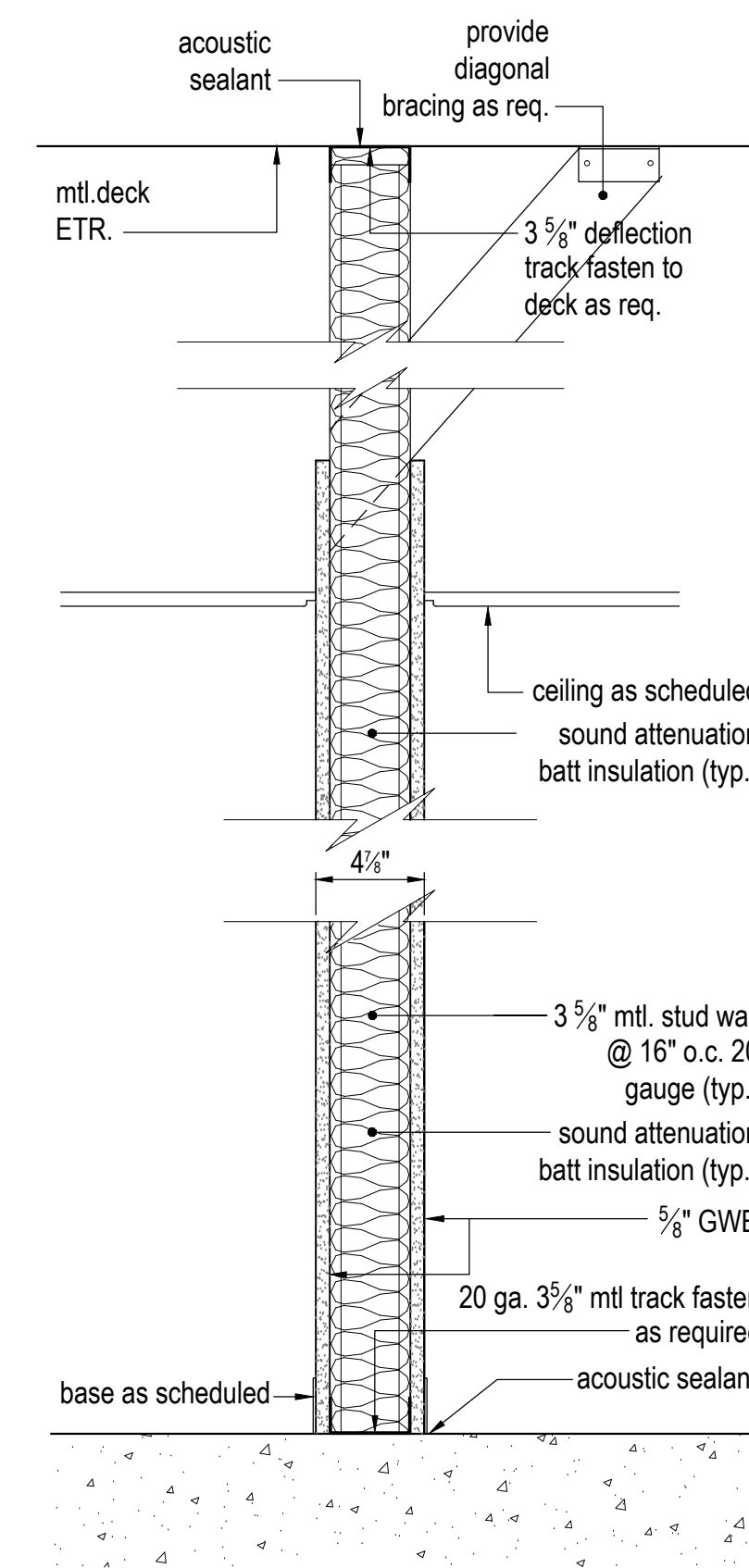


Type 3



Note:
1. Provide water resistant gwb on bathroom side of wall

Type 2

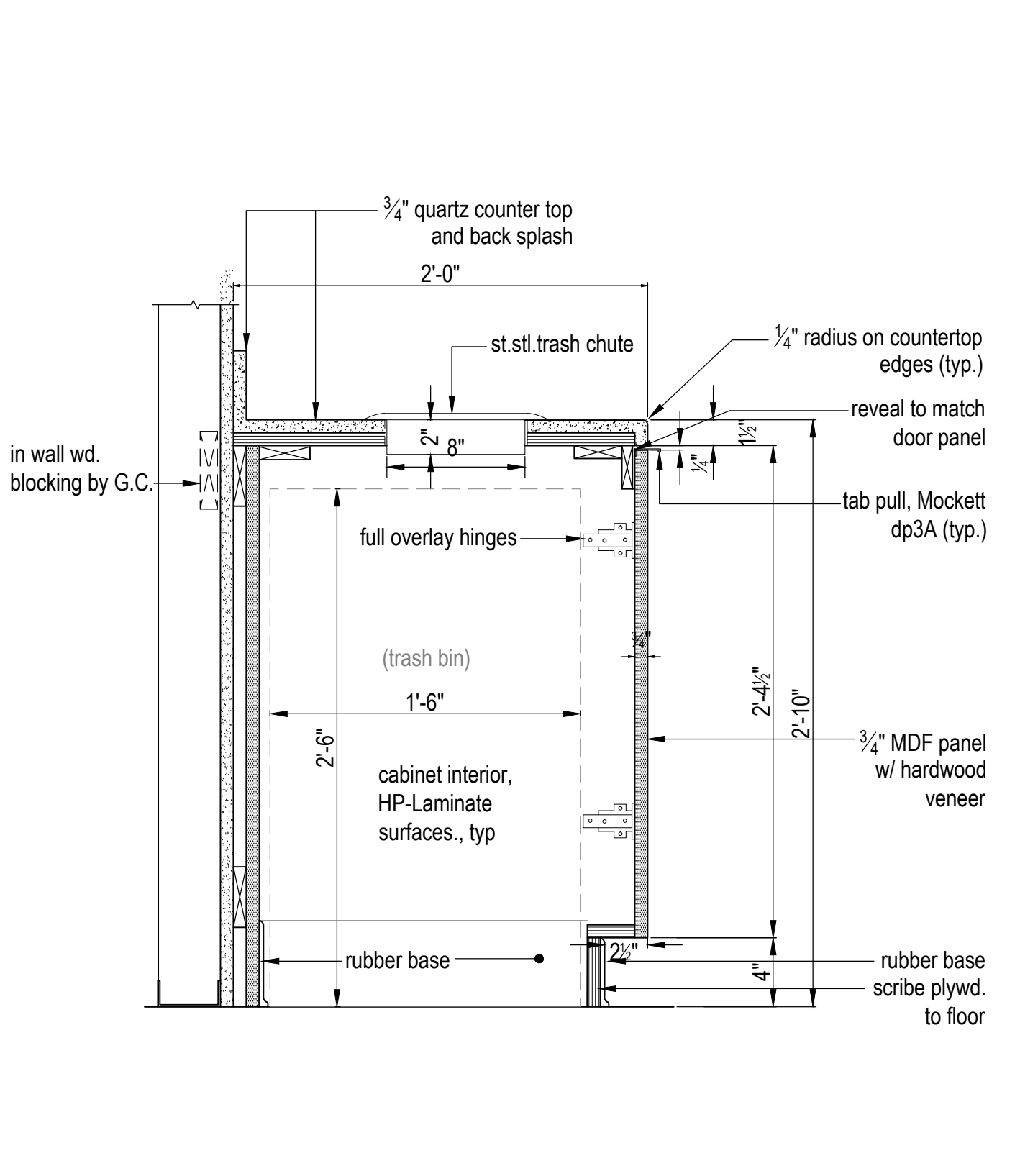
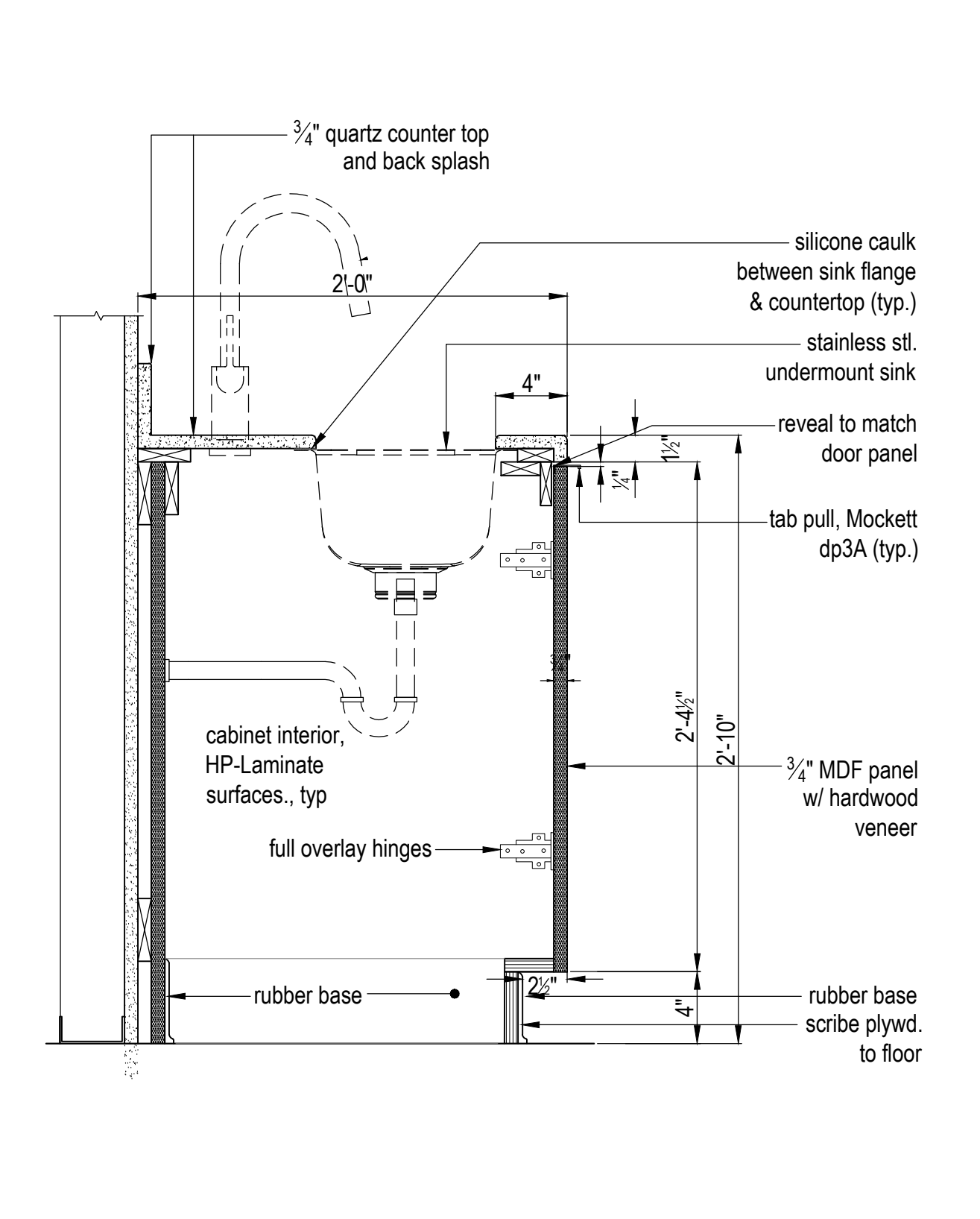
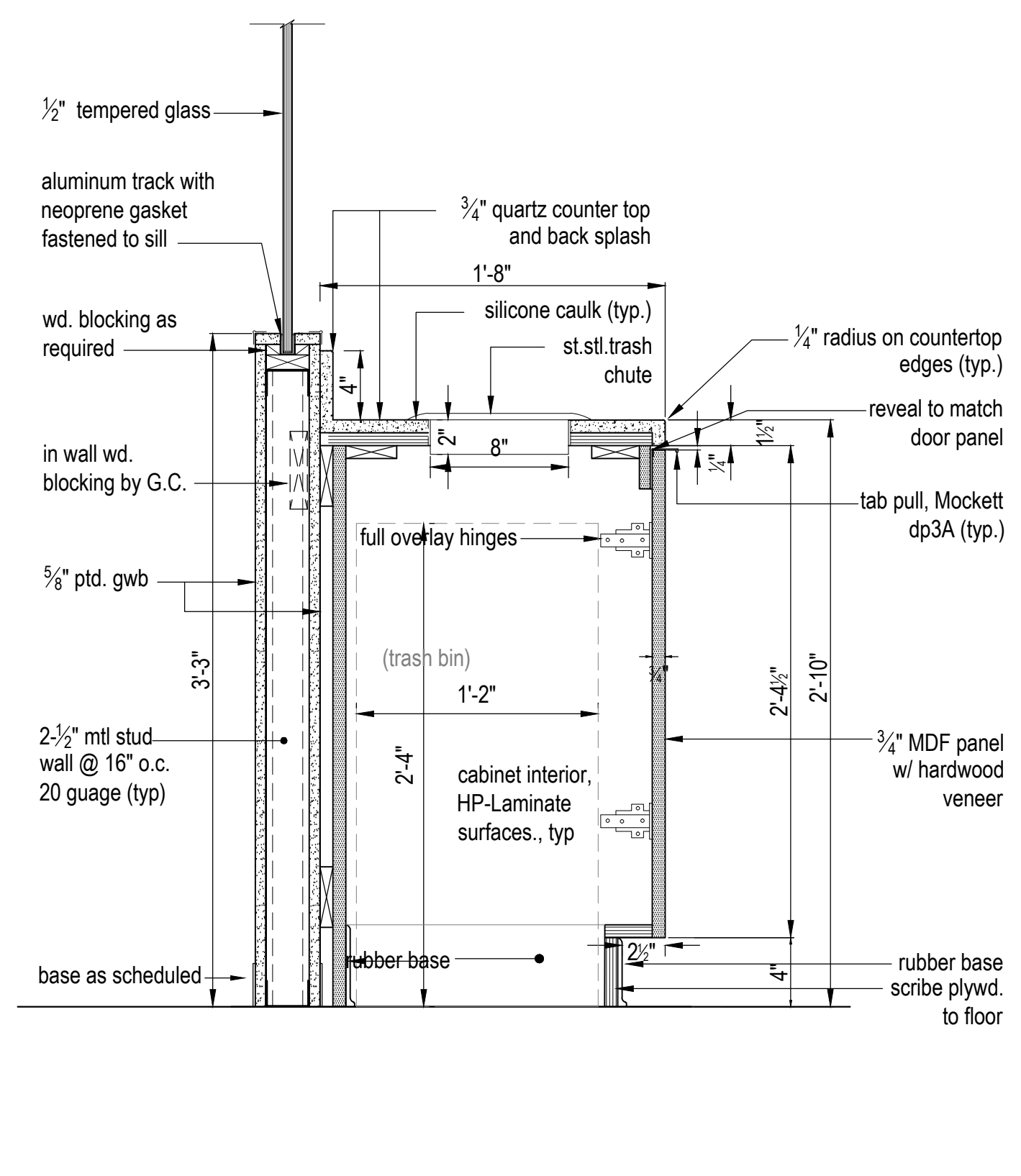
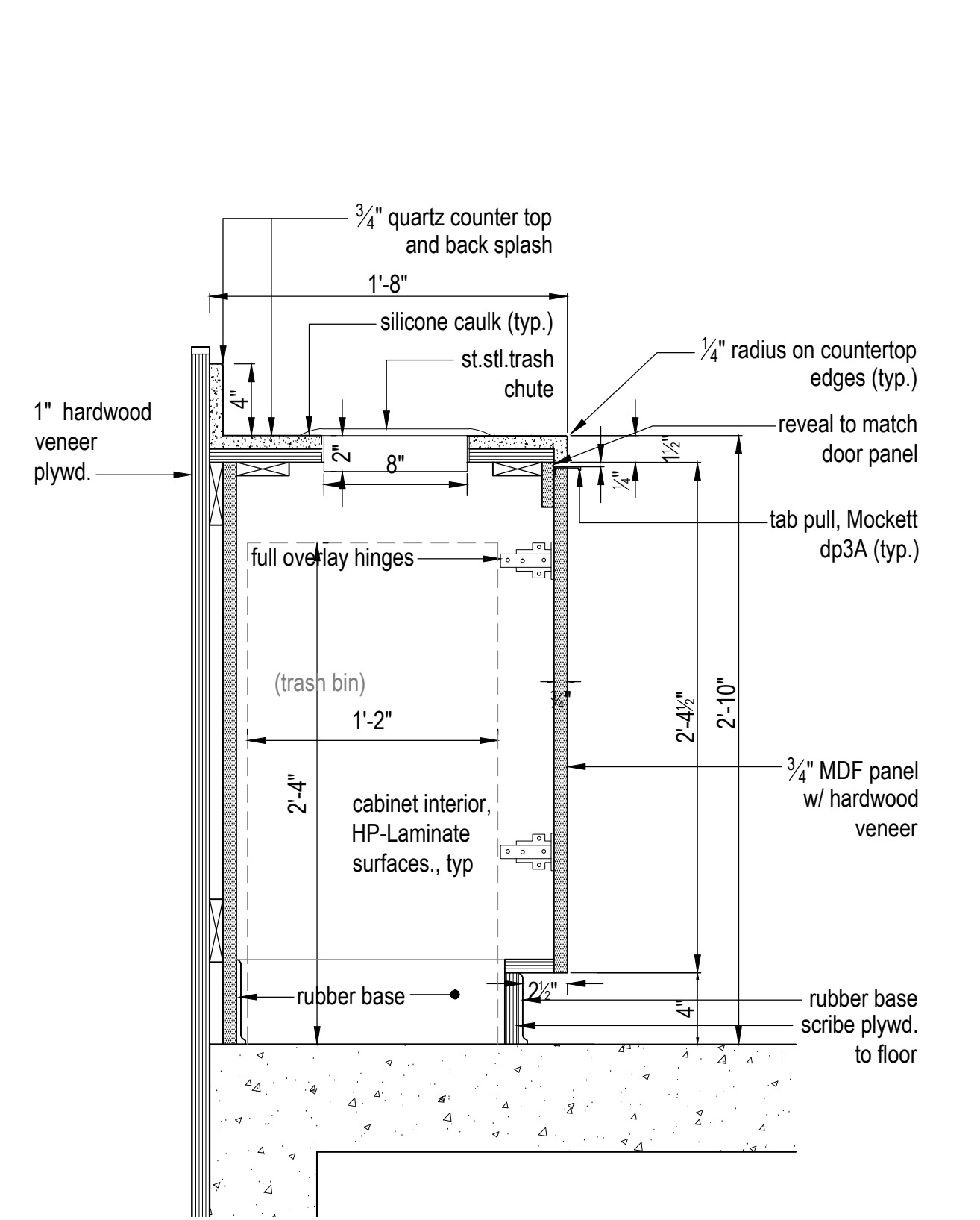
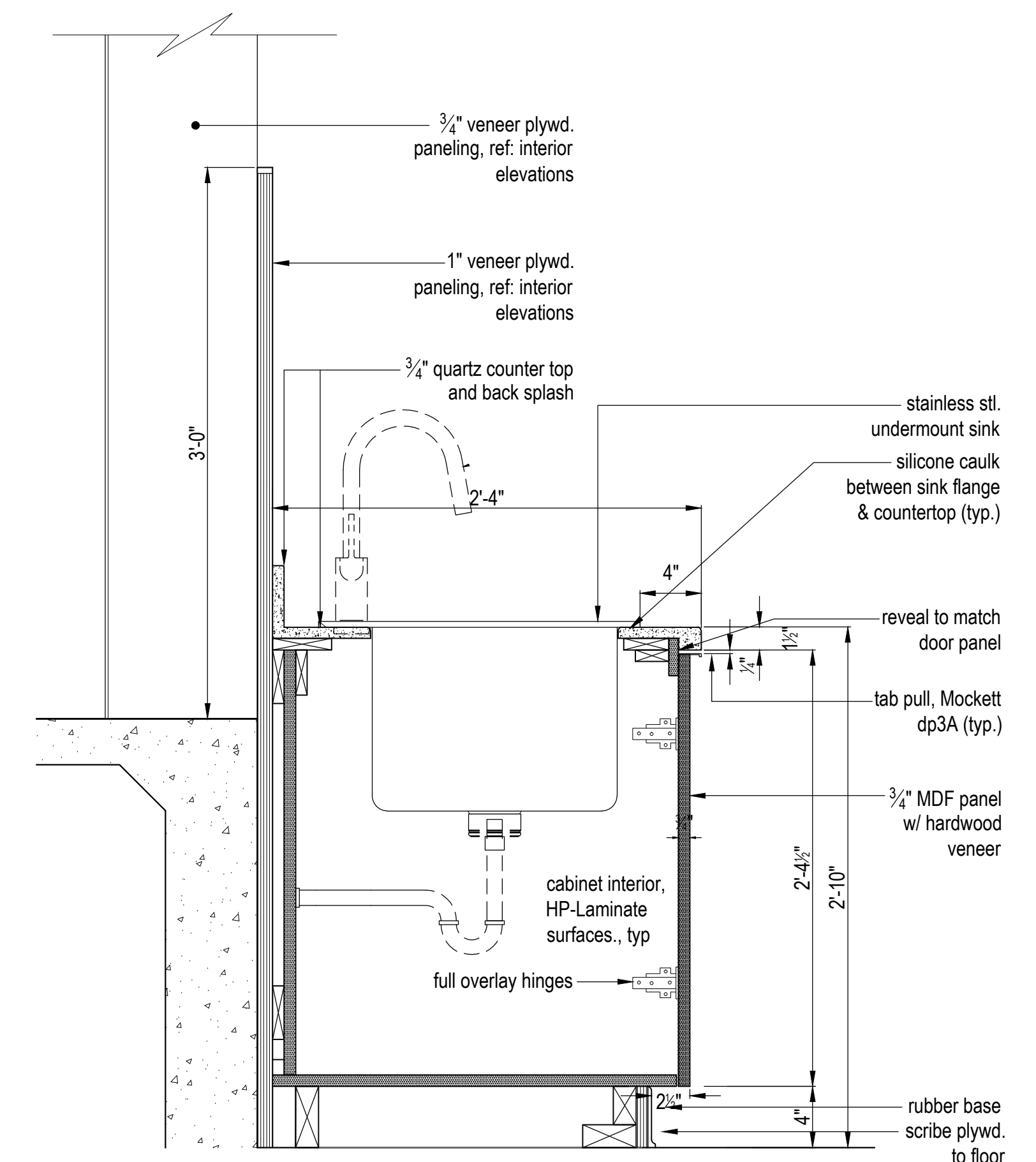
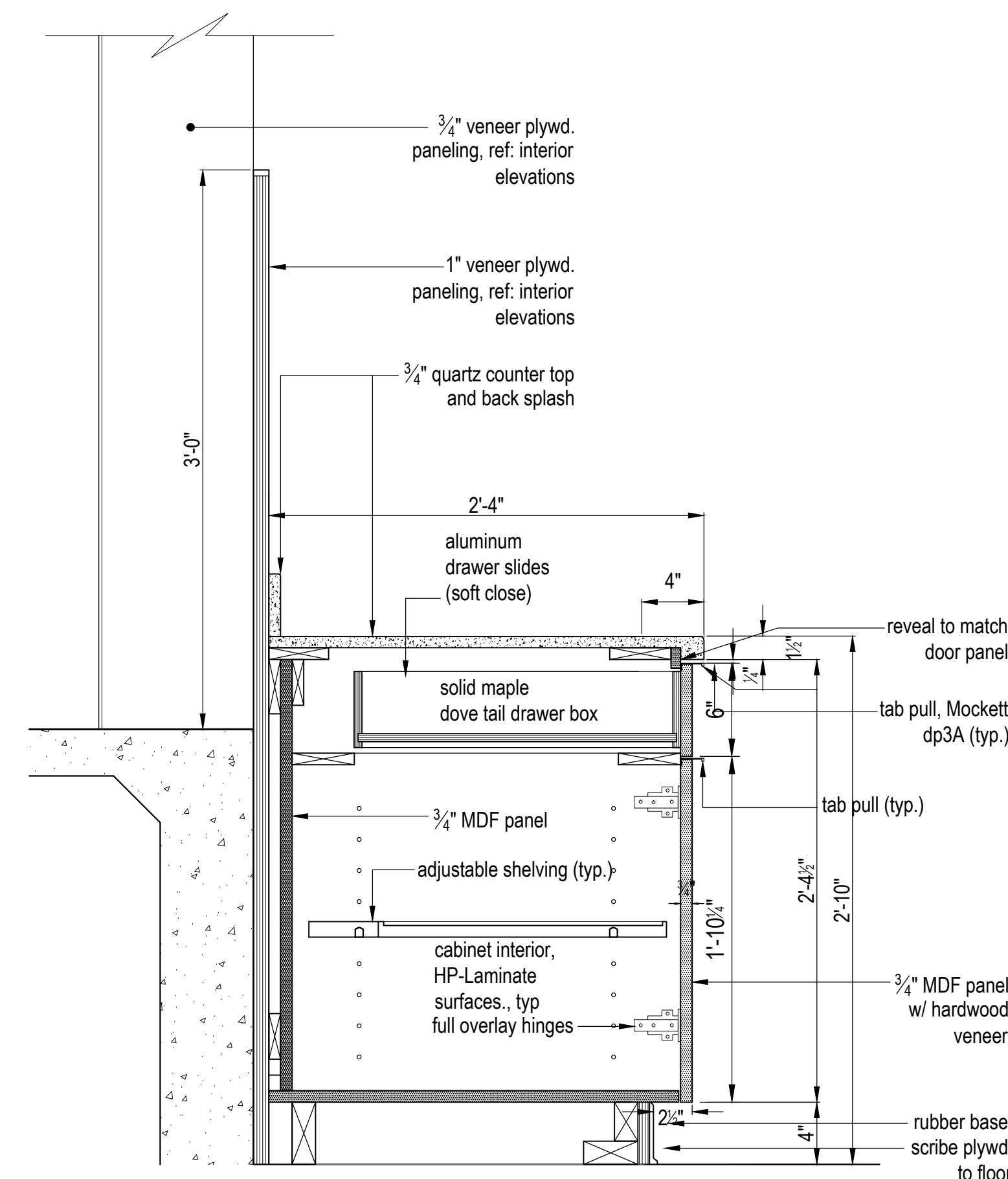
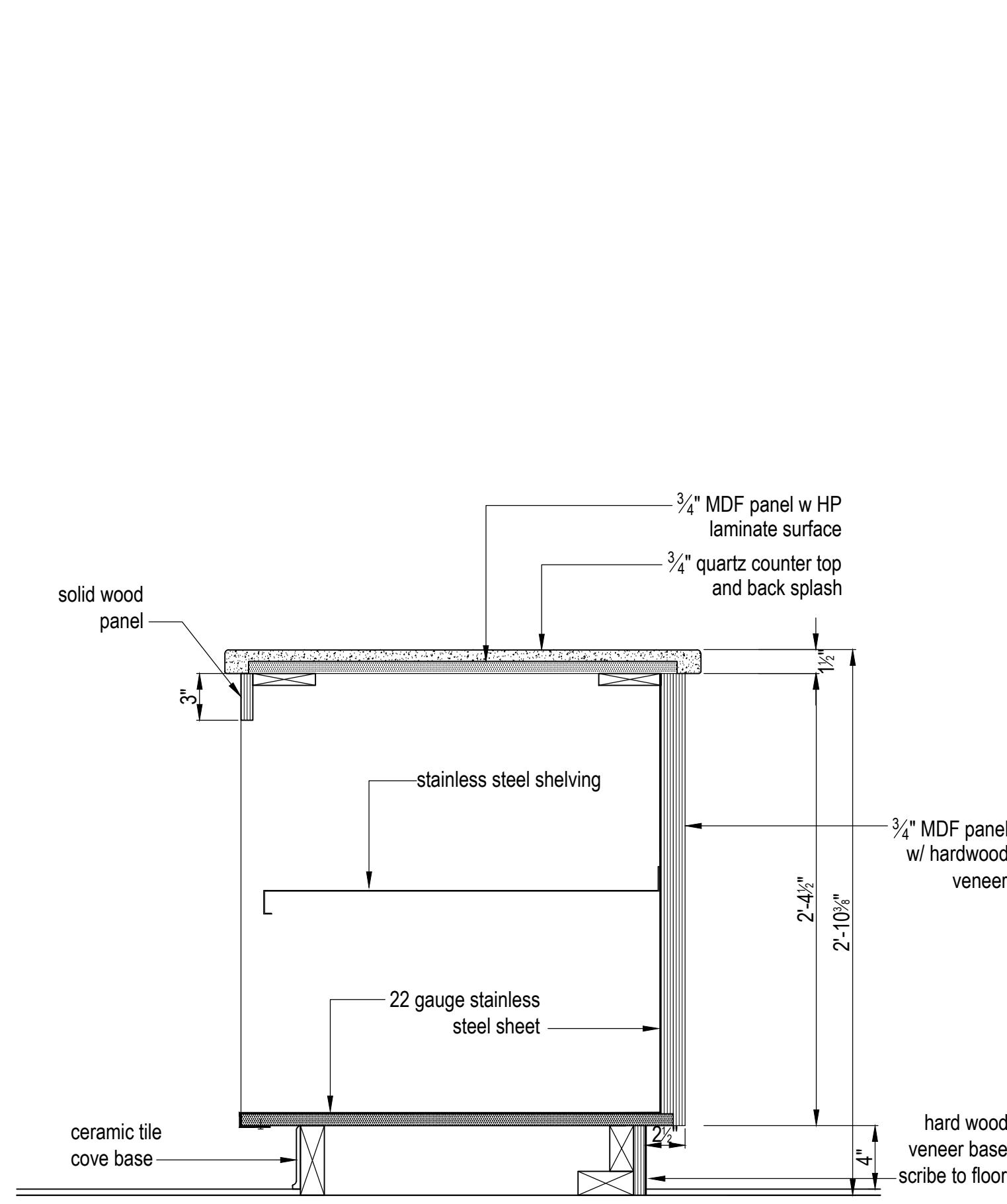


Type 1

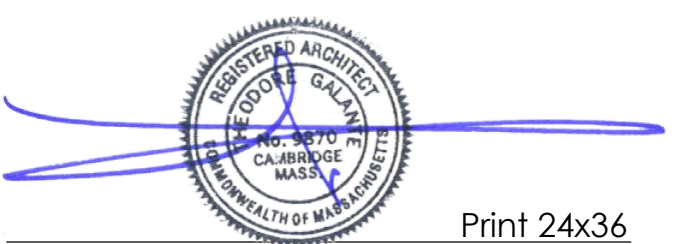
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Project Number
1720
Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Millwork Details 1



Date/Issued For

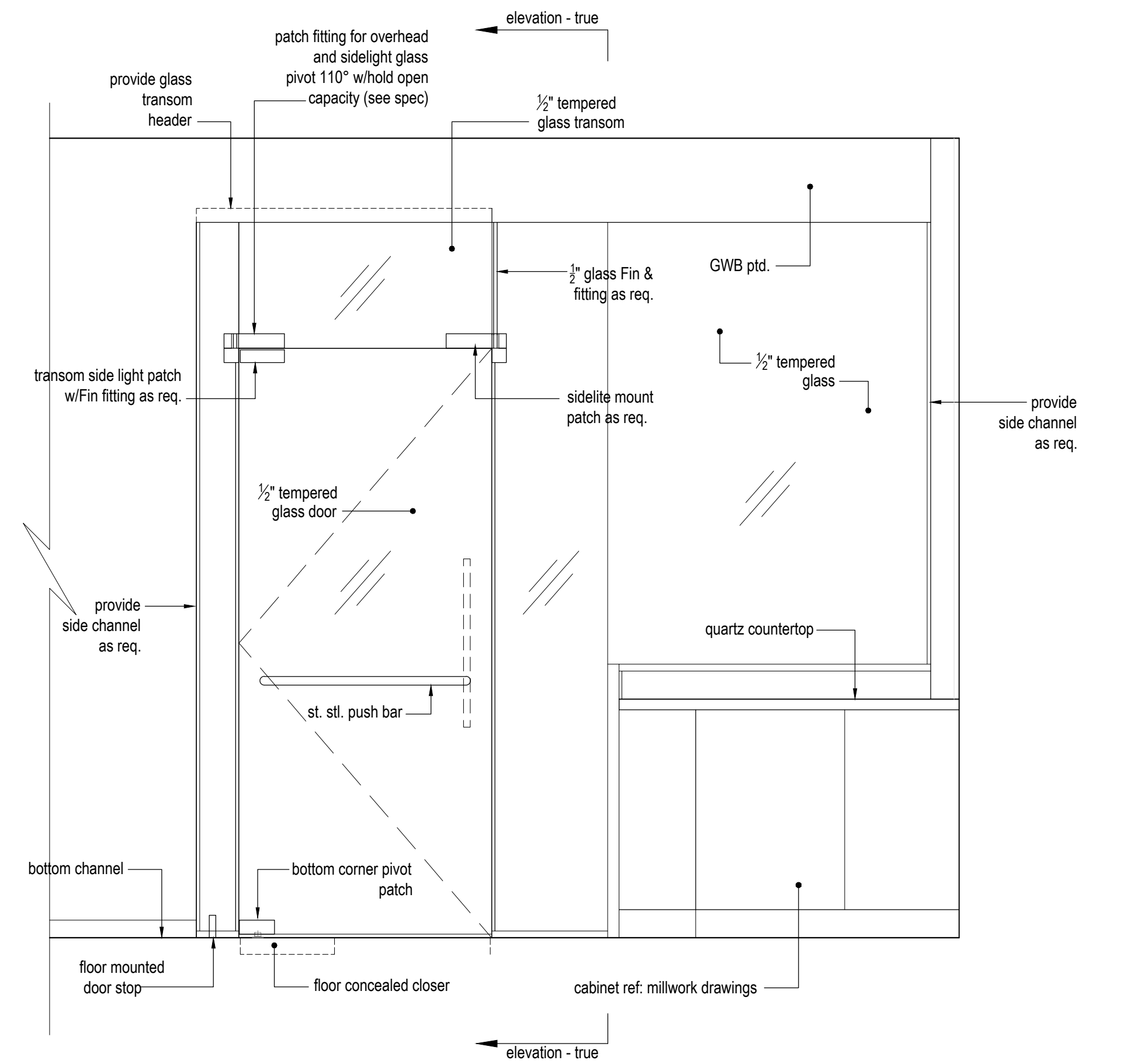


Scale
As Noted

Drawn By
YL

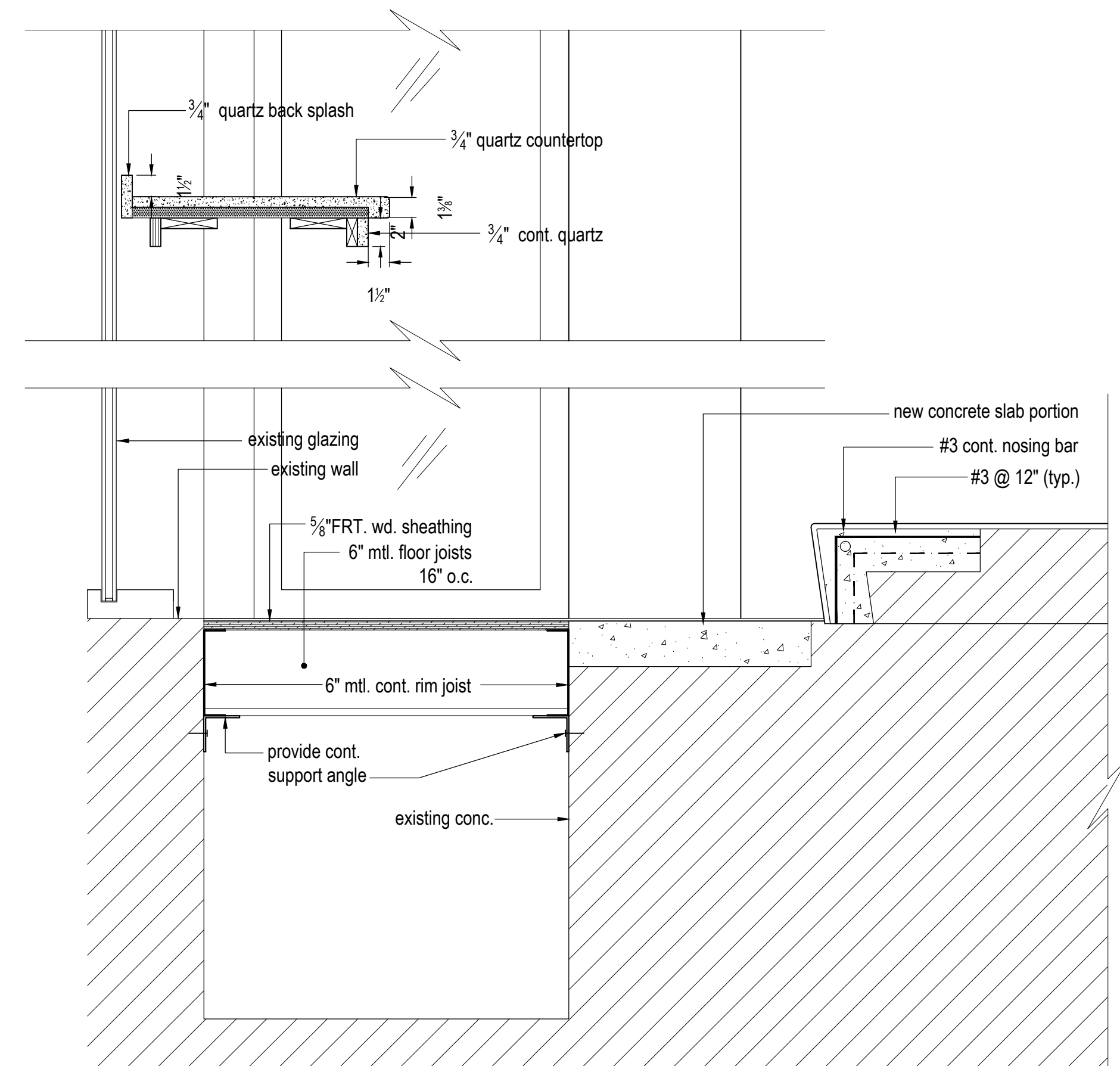
Drawing Number

A-503



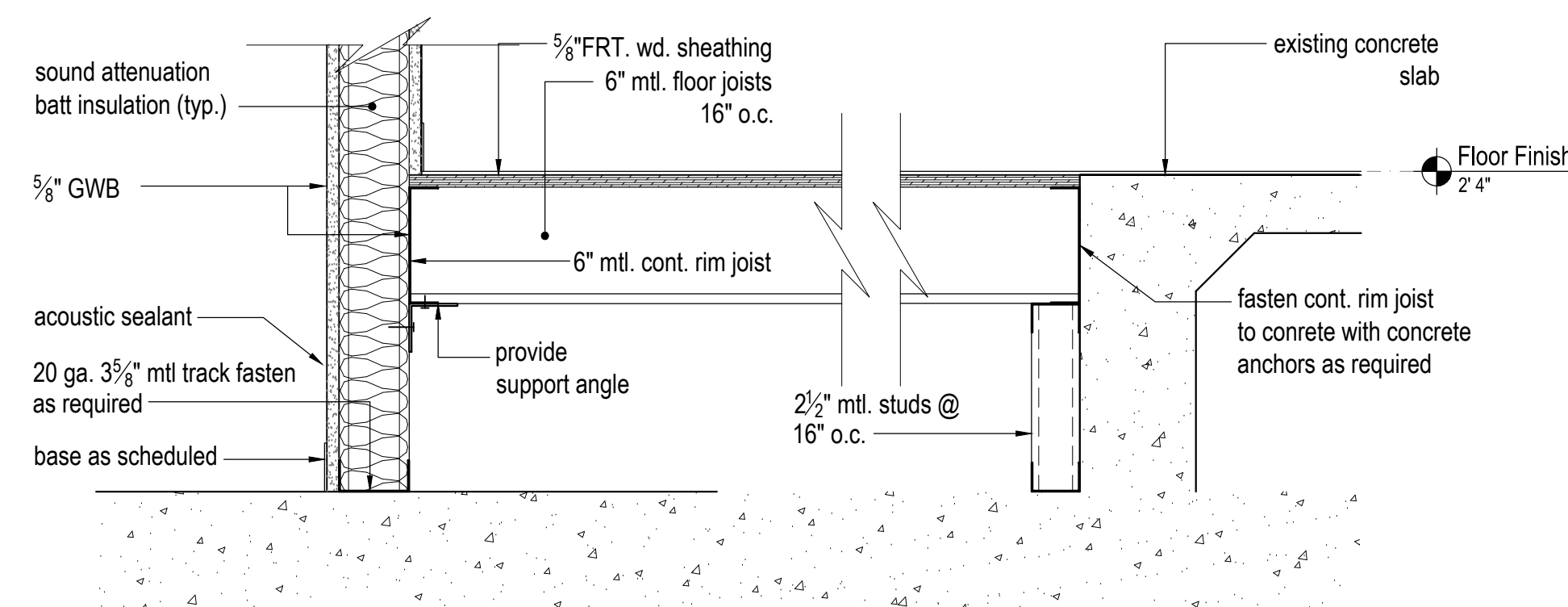
5 All Glass Entrance

Scale: 1-1/2" = 1'-0"



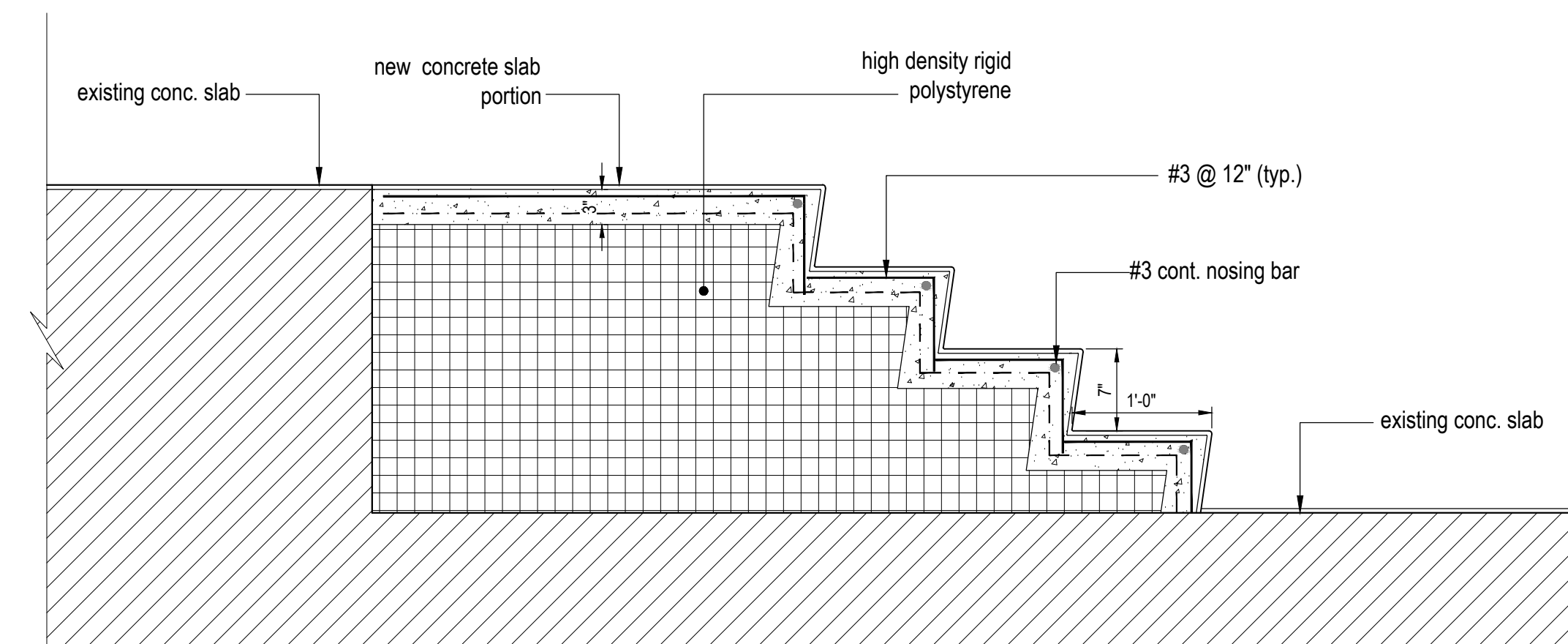
3 Floor & Countertop Section Detail

Scale: 1-1/2" = 1'-0"



2 New Raised Floor Typical Section Detail

Scale: 1-1/2" = 1'-0"



1 Stair Section Detail

Scale: 1" = 1'-0"

Project Number
1720
Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Miscellaneous
Details

Date/Issued For



Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number

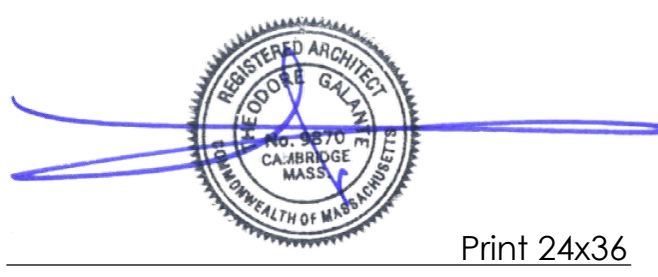
A-505

Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

Drawing Title
Millwork Details 2

Date/Issued For



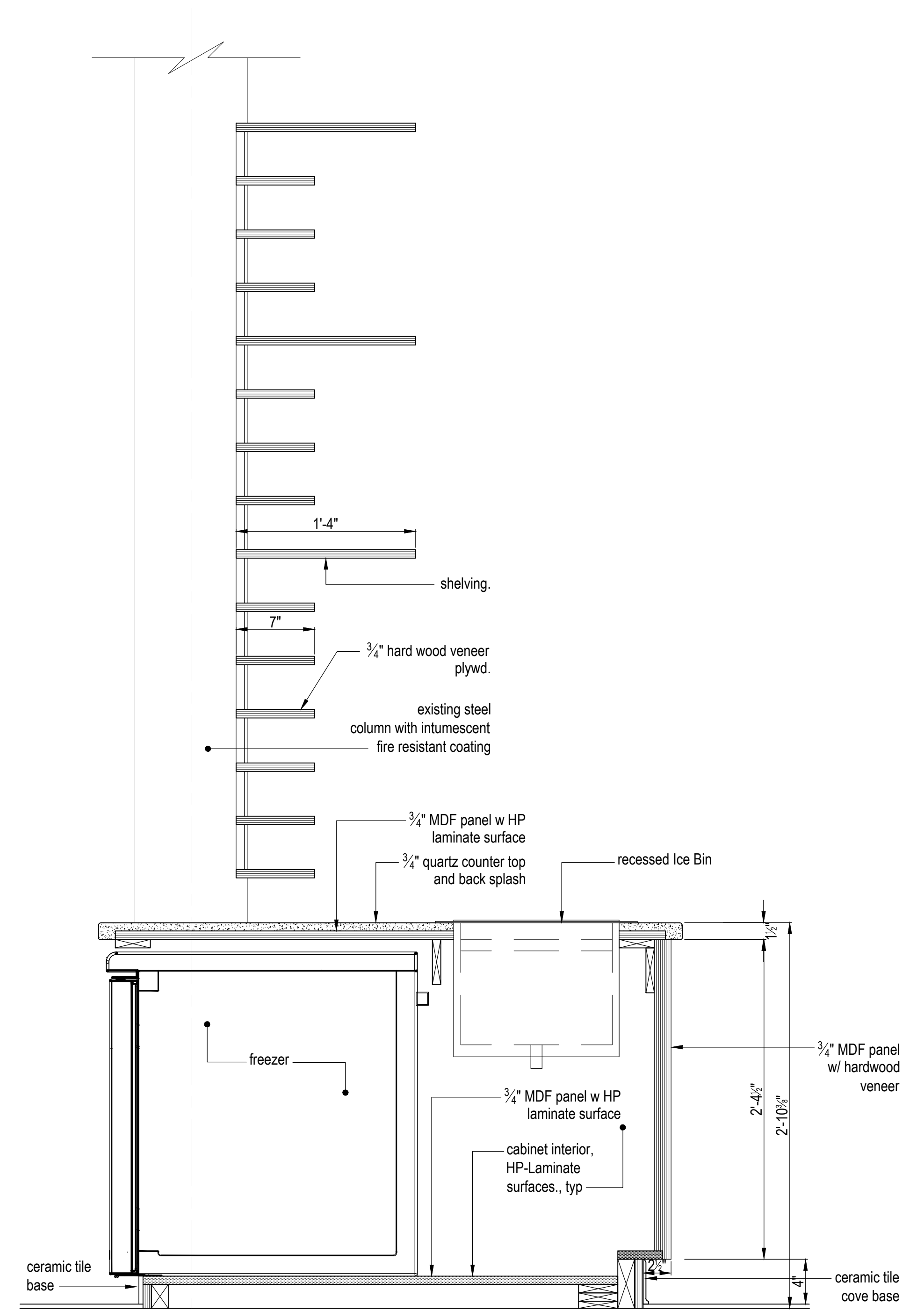
Print 24x36

Scale
As Noted

Drawn By
YL

Drawing Number

A-504



1 Cabinet & Trash Chute Section Detail

Scale: 1-1/2" = 1'

Door Schedule										
No.	Location	Width	Height	Door Type	Finish	Frame Type	Frame Finish	Description	Hardware (see spec)	Comments
100	Entrance	6'-0"	7'-0"	N/A	N/A	N/A	N/A	Existing Double Door to Remain	X	
101	Entry Vestibule	3'-0"	7'-0"	1	Glass	Frameless	N/A	All Glass Door	001	
102	Cafe 102	3'-0"	7'-0"	2	Clear Coat Wood	1	Steel; Painted	Hollow Metal Door	002	
103	Storage 103	3'-0"	7'-0"	OH Door	Clear Coat Wood	1	Steel; Painted	Hollow Metal Door	003	
104	Bathroom 104	3'-0"	7'-0"	OH Door	Clear Coat Wood	1	Steel;Painted	Hollow Metal Door	004	
105	Bathroom 105	3'-0"	7'-0"	OH Door	Clear Coat Wood	1	Steel;Painted	Hollow Metal Door	004	
106	Office 105	3'-0"	7'-0"	2A	Clear Coat Wood	1	Steel; Painted	Hollow Metal Door	005	

Note:

- Field verify all dimensions and swings. All colors shall be confirmed by Architect prior to ordering.
- See Spec for door hardware

Project Number
1720

Project Title
Shiru Cafe
One Brattle Street,
Cambridge, MA 02138

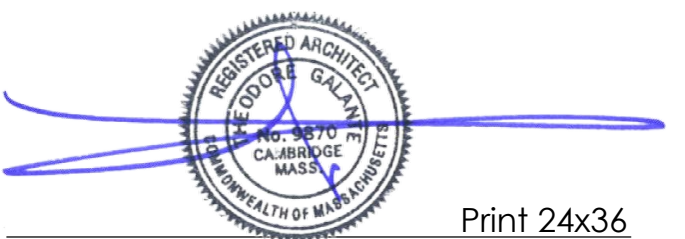
Drawing Title
Finish Schedule &
Door Schedule

Finish Schedule										
No.	Room Name	Floor	Base	Walls				Color	Ceiling	Comments
				North	West	South	East			
100	Entrance	LVT Flooring	Rubber	Painted GWB	Painted GWB	Existing Glass Door	Painted GWB	T.B.D.	Wood Slat	See Comment 1 & 2
101	Kitchen	Ceramic Tile	Rubber	Millwork	Millwork	GWB,painted	Millwork	T.B.D.	Wood Slat	See Comment 1 & 2
102	Cafe	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	T.B.D.	Wood Slat	See Comment 1 & 2
103	Storage Room	Ceramic Tile	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	T.B.D.	Acoustic Tile	See Comment 2
104	Women's Bathroom	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	TBD	Acoustic Tile	See Comment 2
105	Men's Bathroom	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	TBD	Acoustic Tile	See Comment 2
106	Office	LVT Flooring	Rubber	GWB, painted	GWB, painted	GWB, painted	GWB, painted	TBD	Acoustic Tile	See Comment 2

1) Paint metal deck, exposed duct work, electrical conduit, sprinkler piping, gas piping and other exposed elements above Wood Slat ceiling to conceal.

2) Paint Structural Steel members with fire resistant intumescent coating.

Date/Issued For



Scale
As Noted

Drawn By
TGAS

Drawing Number

SHIRU CAFE HARVARD SQUARE
ONE BRATTLE STREET
CAMBRIDGE, MA

02.08.18

Existing Conditions

























Delivery



Trash / Recycling



February 5, 2018

Kei Nishimoto

RE: Agreement between Enrission Company and Allen & Burke Construction, LLC

To whom it may concern,

The Shiru Café project located at Harvard University has authorized John Burke of Allen & Burke Construction, LLC to act as their agent to pull the building permit and any other related permits for interior renovations. The property is located at One Brattle Square in Cambridge, MA.

ENRISSION COMPANY

By:

OWNER

(Signature)

Kei Nishimoto

Kei Nishimoto

ALLEN & BURKE CONSTRUCTION, LLC

By:

CONTRACTOR (Signature)

John Burke

37 Warehouse Street * Springfield, MA 01118

(413) 733-8233 * (888) 792-5688 * Fax (413) 733-7153

www.allenandburke.com



Cambridge GIS maps available online at <http://www.cambridge.gov/GIS>

FY 2018



**City of Cambridge
Assessing Department**

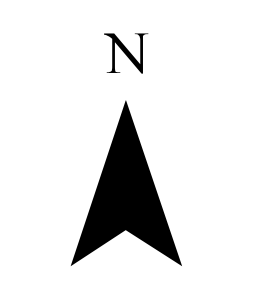
795 Massachusetts Ave.
Cambridge, MA 02139

- Buildings
- Water
- Lot Line
- Sub-Parcel Line
- Block Line
- Easement
- City Boundary
- Railway

- 10 Lot Number
- 100 Parcel size in Sq. Ft.
- 168 Block Number
- 44.0LC Land Court Dimension
- 10 Cam Street Number
- 65.0 Survey Dimensions
- (125.0) Deed Dimension

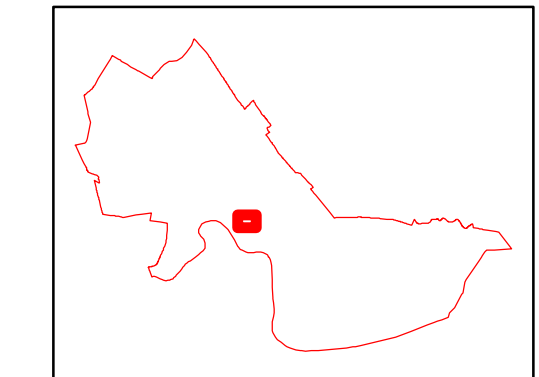
DISCLAIMER:
All Real Property shown on this map was compiled from existing Assessor's Tax Maps dated 1920 to 2017 and maintained by the City Assessor's Office and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). Parcels have not been created from survey, and map is suitable for assessing purposes only.

The City of Cambridge assumes no legal responsibility for information shown on this map.



0 15 30 60 Feet

1 inch = 33 feet



Parcel Block Map
168