



CITY OF CAMBRIDGE  
 MASSACHUSETTS  
 BOARD OF ZONING APPEAL  
 831 MASSACHUSETTS AVENUE  
 CAMBRIDGE, MA 02139  
 617 349-6100

2020 JUL 21 PM 2:35  
 OFFICE OF THE CITY CLERK  
 CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-017286-2020

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit :   V   Variance :            Appeal :           

PETITIONER :   Spyce Food Co. - C/O Adam R. Barnosky, Esq.  

PETITIONER'S ADDRESS :   RIW, 255 State Street, 7th Floor Boston, MA 02109  

LOCATION OF PROPERTY :   1 Brattle Sq Cambridge, MA  

TYPE OF OCCUPANCY :   General Business   ZONING DISTRICT :   Business B Zone / HSQ Overlay  

REASON FOR PETITION :  
  Parking  

DESCRIPTION OF PETITIONER'S PROPOSAL :  
  Relief requested in reduction of required parking by two (2) spaces.  

SECTIONS OF ZONING ORDINANCE CITED :  
 Article   6.000   Section   6.35.1   (Reduction of Parking).

Original Signature(s) :   Adam R. Barnosky    
 (Petitioner(s) / Owner)

  Adam R. Barnosky, Esq., Attorney for Applicant    
 (Print Name)

Address :   c/o Adam R. Barnosky, Ruberto Israel & Weiner, P.C.    
  255 State Street, 7th Floor, Boston, MA 02109  

Tel. No. :   617-570-3519  

E-Mail Address :   arb@riw.com  

Date :   July 15, 2020

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Piedmont - One Brattle Square I, LLC, a Delaware limited liability company,  
(OWNER)

Address: 5565 Glenridge Connector, Suite 450, Atlanta, GA 30342

State that I/We own the property located at One Brattle Square, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Piedmont - One Brattle Square I, LLC (f/k/a Wills REIT - One Brattle Square I, LLC)

\*Pursuant to a deed of duly recorded in the date March 2, 2004, Middlesex South County Registry of Deeds at Book 42156, Page 500; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_

**George M. Wells**  
**Executive Vice President**

George Wells  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

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State of Georgia  
~~Commonwealth of Massachusetts~~, County of Cherokee

The above-name George Wells personally appeared before me, this 11<sup>th</sup> of March, 2020, and made oath that the above statement is true.

[Signature] Notary

My commission expires July 25, 2023 (Notary Seal).



If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**Piedmont - One Brattle Square I, LLC,**  
a Delaware limited liability company  
By: Piedmont Operating Partnership, LP,  
a Delaware limited partnership, as sole member  
By: Piedmont Office Realty Trust, Inc.,  
a Maryland corporation, its sole General Partner

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 1 Brattle Sq Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- The parking requirements cannot be met because the proposed restaurant is to be located in an existing structure, with such structure occupying nearly the entirety of the lot. In order to provide the required parking on site, portions of the existing building would need to be demolished or retrofitted to provide adequate space for parking, which is not tenable or practical.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- The proposed restaurant is well served by a wide range of transportation options. There is metered vehicular parking along Mt. Auburn Street and no less than four (4) public parking garages within 750 feet of the proposed restaurant. The Harvard MBTA station is approximately one-tenth (1/10th) of a mile away. The following thirteen (13) bus lines are also located within a one thousand (1,000) foot radius of the proposed restaurant: 1, 66, 68, 69, 71, 72, 73, 74, 75, 77, 78, 86, 96.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- The BB district is intended for a diverse range of commercial uses, including the proposed restaurant use, which would help contribute to the diversity of food options in the area. The proposed restaurant would be fit the character of the neighborhood, attract local residents, as well as students, faculty, and employees from Harvard, and provide a quality dining option for people who live and/ or work in the area. Further, in consideration of the varied parking alternatives, there will be no adverse effect on the neighborhood.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- As stated above, there is an abundance of transportation options in the area. The area is well served by the MBTA redline train and numerous bus lines. There is ample metered street parking in the area and a public parking lot less than a quarter (1/4) mile away.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- The proposed restaurant fits the character of the neighborhood. The relief requested is de minimis and the granting of said relief will not impair the neighborhood or interfere/exacerbate parking and/or traffic in the area.

**BZA APPLICATION FORM**

**DIMENSIONAL INFORMATION**

**APPLICANT:** Ruberto, Israel @ Weiner, P.C.      **PRESENT USE/OCCUPANCY:** Vacant  
**LOCATION:** 1 Brattle Sq Cambridge, MA      **ZONE:** Business B Zone / HSQ Overl  
**PHONE:** \_\_\_\_\_      **REQUESTED USE/OCCUPANCY:** Restaurant

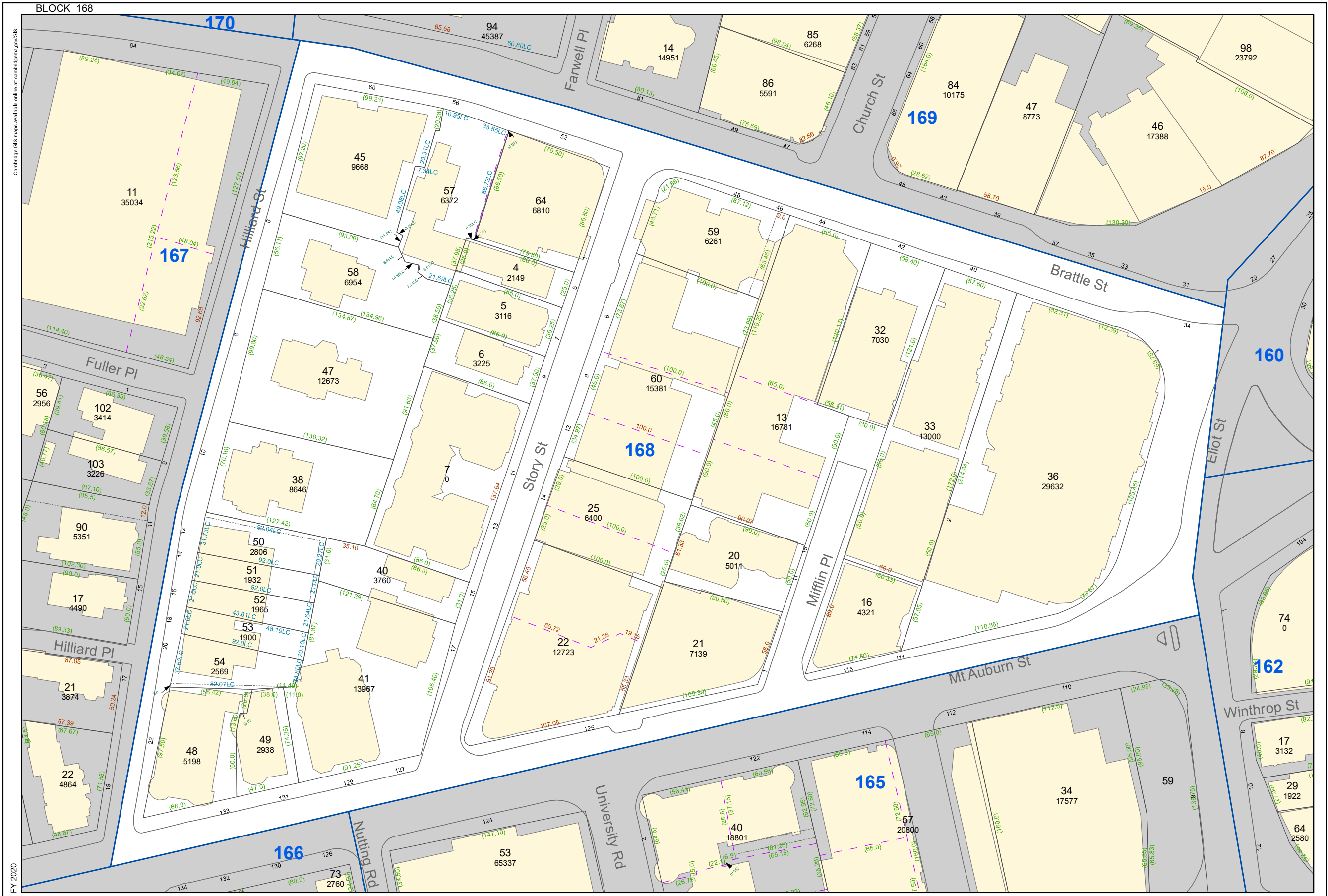
	<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> <sup>1</sup>	
<u>TOTAL GROSS FLOOR AREA:</u>	112901	112901	N/A	(max.)
<u>LOT AREA:</u>	29632	29632	None	(min.)
<u>RATIO OF GROSS FLOOR AREA</u> <u>TO LOT AREA:</u> <sup>2</sup>	3.81	3.81	2.75/3.0	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	N/A	N/A	300	(min.)
<u>SIZE OF LOT:</u>	WIDTH	225'-0"	225'-0"	(min.)
	DEPTH	130'-0"	130'-0"	(min.)
<u>SETBACKS IN FEET:</u>	FRONT	10'-0"	10'-0"	(min.)
	REAR	0'-0"	0'-0"	(min.)
	LEFT SIDE	5'-0"	5'-0"	(min.)
	RIGHT SIDE	5'-0"	5'-0"	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	114'-8"	114'-8"	(max.)
	LENGTH	120'-0"	120'-0"	(min.)
	WIDTH	215'-0"	215'-0"	(min.)
<u>RATIO OF USABLE OPEN SPACE</u> <u>TO LOT AREA:</u>	0	0	None	(min.)
<u>NO. OF DWELLING UNITS:</u>	0	0	N/A	(max.)
<u>NO. OF PARKING SPACES:</u>	52	52	6*	(min./max)
<u>NO. OF LOADING AREAS:</u>	1	1	0 (Spyce)	(min.)
<u>DISTANCE TO NEAREST BLDG.</u> <u>ON SAME LOT:</u>	N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

The numbers provided above are for the entire building (112,901 square feet) at One Brattle Square, except parking spaces and loading areas, which are specifically for the applicant's premises.

\*Spyce's proposed use will only occupy 3,100 square feet and offer 88 seats (66 indoor, 22 outdoor). Pursuant to §6.12(c) of the Cambridge Zoning Ordinance, the first four (4) spaces required need not be provided, thus Spyce seeks relief for two (2) spaces.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



FY 2020

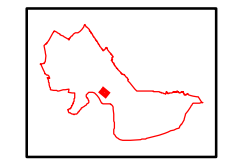
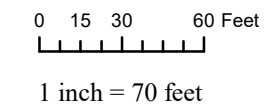


**City of Cambridge  
Assessing Department**  
795 Massachusetts Ave.  
Cambridge, MA 02139

- Buildings
- Lot Line
- Block Line
- City Boundary
- Water
- Sub-Parcel Line
- Easement
- Railway

- 10 Lot Number
- 168** Block Number
- 10 Street Number
- (125.0) Deed Dimension
- 100 Parcel size in Sq. Ft.
- 44.0LC** Land Court Dimension
- 65.0** Survey Dimensions

DISCLAIMER:  
All Real Property shown on this map was compiled from existing Assessor's Tax Maps dated 1910 to 2019 and maintained by the City Assessor's Office and the Department of Public Works. Subsequent maintenance has been completed using the City of Cambridge Geographic Information System (GIS). Parcels have not been created from survey, and map is suitable for assessing purposes only.  
The City of Cambridge assumes no legal responsibility for information shown on this map.



Parcel Block Map  
**168**

# SPYCE FOOD CO.

ISSUED FOR FILING  
 One Brattle Square  
 Cambridge, MA 02138

## BUILDING CODE ANALYSIS

<b>OCCUPANCY GROUP:</b>	A-2 (ASSEMBLY) 1ST LEVEL	<b>TOTAL OCCUPANT LOAD TO BE POSTED:</b> 119 OCC. (MAX OCCUPANCY) THE CALCULATED OCCUPANT LOAD IS LESS THAN THE PROPOSED POSTED OCCUPANT LOAD. ALL LIFE SAFETY AND RESTROOM CALCULATIONS ARE BASED ON THE POSTED OCCUPANT LOAD.		
<b>OCCUPANCY SEPARATION REQUIRED:</b>	1-HOUR			
<b>OCCUPANCY SEPARATION PROVIDED:</b>	ASSUMED 1-HR (EXISTING TO REMAIN)			
<b>TYPE OF CONSTRUCTION:</b>	1B (EXISTING TO REMAIN)	<b>MEANS OF EGRESS REQ'D:</b> 4 <b>MEANS OF EGRESS PROV'D:</b> 1 PUBLIC MEANS OF EGRESS (NON-ACCESSIBLE) 2 PUBLIC MEANS OF EGRESS (ACCESSIBLE) +1 EMPLOYEE ONLY EGRESS (NON-ACCESSIBLE)		
<b>ALLOWABLE AREA:</b>	UL			
<b>TENANT LEASE AREA:</b>	3,100 S.F.			
<b>ALLOWABLE NO. OF STORIES:</b>	12			
<b>ACTUAL NO. OF STORIES:</b>	6 ABOVE GRADE (TENANT SPACE FIRST FLOOR ONLY)	<b>FIRE SPRINKLERS:</b> RESTAURANT FULLY SPRINKLER		
<b>ALLOWABLE BUILDING HEIGHT:</b>	187'-0"			
<b>ACTUAL BUILDING HEIGHT:</b>	114'-6" (EXISTING TO REMAIN)			
<b>OCCUPANT LOAD:</b>		<b>PLUMBING FIXTURES:</b>		
DINING ROOM - SEAT COUNT:	49 OCC.	WATER CLOSETS REQ'D	LAVORATORIES REQ'D	URINALS REQ'D
DINING ROOM - BOOTH COUNT:	28 OCC.	PROV'D	PROV'D	PROV'D
KITCHEN & BACK OF HOUSE:	1190 / 200 S.F. = 6 OCC.			
<b>TOTAL</b>	<b>61 OCCUPANTS</b>			
		MENS: 1/80 1 1 0 0		
		WOMENS: 1/30 2 2 2 0 0		
		(1) GENDER NEUTRAL ACCESSIBLE RESTROOM PROVIDED		
		(2) GENDER NEUTRAL NON ACCESSIBLE RESTROOMS PROVIDED		

## CODE AUTHORITIES

<b>BUILDING CODE:</b>	2015 MASS STATE BUILDING CODE 780 CMR - 9TH EDITION
<b>EXISTING BUILDING CODE:</b>	2015 INTERNATIONAL EXISTING BUILDING CODE
<b>MECHANICAL CODE:</b>	2015 INTERNATIONAL MECHANICAL CODE
<b>PLUMBING CODE:</b>	284 CMR - 2.00: MASS UNIFORM STATE PLUMBING CODE
<b>ENERGY CODE:</b>	780 CMR: 2015 IECC W/ MASS AMENDMENTS
<b>FUEL GAS CODE:</b>	284 CMR - 4.00: MASS FUEL GAS CODE
<b>ELECTRICAL CODE:</b>	527 CMR 12.00: MASS ELECTRICAL CODE; NFPA-70 (2014) W/ MASS AMENDMENTS
<b>FIRE CODE:</b>	527 CMR 1.00: MASS COMPREHENSIVE FIRE SAFETY CODE; NFPA 2012 FIRE CODE
<b>ACCESSIBILITY CODE:</b>	521 CMR: MASS ARCHITECTURAL ACCESS BOARD

NOTE:  
 FIRE EXTINGUISHERS (NOT SHOWN) ARE TO BE PLACED IN LOCATIONS AS DIRECTED BY THE FIRE CHIEF OR A.H.J. ALL FIRE EXTINGUISHERS ARE TO BE MOUNTED WITHIN THE ZONE OF REACH OF ACCESSIBILITY. FIRE EXTINGUISHERS ARE TO BE ON SITE AT ALL TIMES DURING CONSTRUCTION. ALL FIRE EXTINGUISHERS ARE TO BE PLACED, MOUNTED AND OF THE TYPE SET FORTH IN NFPA 10. NO TWO EXTINGUISHERS SHOULD BE MORE THAN 75FT APART

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY OWNER OR OWNERS AUTHORIZED AGENT (8029-1004.3).

## Drawing Index

		11/18/2019	1/2/2020	1/22/2020	1/27/2020	2/2/2020		
S = Issued								
R = Issued & Revised								
Architectural	G-001	Cover Sheet, General Notes & Site Plan	S	S	R	R	R	
	G-100	MAAB Diagram	S	S	S	S	S	
	G-101	Egress Plan	S	R	R	S	S	
	A-100	Construction Plan	S	R	S	R	S	
	A-101	Finish Plan	S	R	S	S	S	
	A-102	Reflected Ceiling Plan	S	R	S	S	S	
	A-200	Interior Elevations		S	S	S	S	
	A-201	Interior Elevations		S	R	R	R	
	A-202	Exterior Elevation & Details		S	S	S	S	
	A-300	Typical Details	S	S	S	S	S	
	A-400	Enlarged Bathrooms	S	S	S	R	R	
	A-500	Millwork; Service Counter					R	
	A-600	Door & Window Schedule	S	S	S	S	S	
	A-601	Finish Schedule	S	R	S	S	S	
Mechanical	H-001	Legend, Notes & Specifications	S	S	S	S	S	
	H-002	Schedules	S	S	S	S	S	
	H-003	Mechanical Details	S	S	S	S	S	
	H-004	Sequence of Controls	S	S	S	S	S	
Plumbing	H-100	Mechanical Floor Plan	S	R	S	S	S	
	P-001	Plumbing Notes & Schedules	S	S	S	S	S	
	P-002	Plumbing Details	S	S	S	S	S	
	P-003	Plumbing Details	S	S	S	S	S	
	P-004	Plumbing Specifications	S	S	S	S	S	
	P-101A	Plumbing Sanitary & Vent Plan	S	R	S	S	S	
	P-101B	Plumbing Domestic and Gas Plan	S	R	S	S	S	
Fire Alarm	FA-001	Risers Diagrams	S	S	R	R	R	
	FA-102	Fire Alarm Plan	S	S	R	R	R	
Electrical	E-001	Electrical Notes & Schedules	S	S	S	S	S	
	E-002	Electrical Diagram and Schedules	S	S	S	S	S	
	E-003	Electrical Details	S	S	S	S	S	
	E-004	Electrical Details	S	S	S	S	S	
	E-100	Electrical Lighting Plan	S	R	S	S	S	
	E-200	Electrical Power Plan	S	R	S	S	S	
	E-201	Electrical Kitchen Plan	S	R	S	S	S	
	FA-001	FA Riser Diagrams	S	R	S	S	S	
	FA-100	FA Plans	S	R	S	S	S	
	Fire Protection	F-001	Fire Protection Legend	S	R	S	S	S
F-002		Sprinkler Plans	S	R	S	S	S	

## ISSUES:

NO	DATE	DESCRIPTION
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO DATE DESCRIPTION

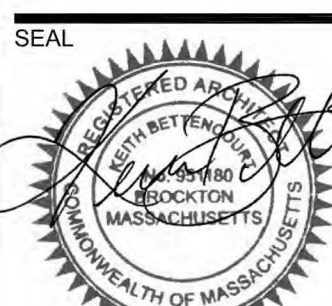
PLOT PLAN (NTS)

## PROJECT

**SPYCE HARVARD SQUARE**  
 One Brattle Square  
 Cambridge, MA 02138

DRAWING TITLE:

TITLE PAGE

SEAL	PROJECT NO.: 19-07
	SCALE: As-Noted
	SHEET SIZE: 24 x 36
DRAWING NO:	G-001.00

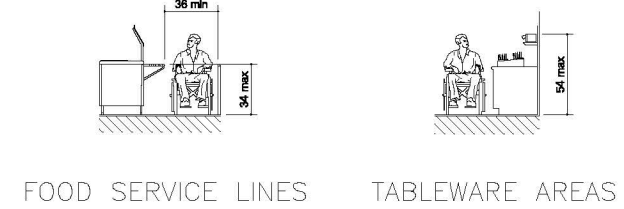
MASSACHUSETTS 521 CMR ARCHITECTURAL ACCESS BOARD – INTERIOR ACCESSIBILITY COMPONENTS

THIS TENANT SPACE IS REQUIRED TO BE ACCESSIBLE AS SET FORTH IN THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND AMERICANS WITH DISABILITIES ACT OF 1994. MAINTAIN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF THE ACT AND ITS ACCESSIBILITY GUIDELINES (521 CMR), (A.D.A.A.G.).

**TABLEWARE AREAS**

1. FOOD SERVICE LINES SHALL HAVE A MINIMUM CLEAR WIDTH OF 36" WITH A PREFERRED CLEAR WIDTH OF 42" TO ALLOW PASSAGE BY OTHER CUSTOMERS AROUND A PERSON USING A WHEELCHAIR (17.6.1) TRAY SLIDES SHALL BE MOUNTED NO HIGHER THAN 34" ABOVE THE FLOOR. (17.6.2)

IF SELF-SERVICE SHELVES ARE PROVIDED, AT LEAST 50% OF EACH TYPE MUST BE WITHIN REACH RANGES SPECIFIED IN 521 CMR SECTIONS 6.5, 6.6, (17.6.3)



FOOD SERVICE LINES TABLEWARE AREAS

2. SELF-SERVICE SHELVES AND DISPENSING DEVICES FOR DISHWARE, CONDIMENTS, FOOD AND BEVERAGES SHALL BE INSTALLED TO COMPLY WITH 521 CMR SECTIONS 6.5, 6.6, (17.7)

3. WHERE PAYMENT IS MADE AT CASH REGISTER, THE COUNTER SHALL BE NO HIGHER THAN 36" FROM THE FLOOR TO THE TOP OF THE COUNTER (17.10)

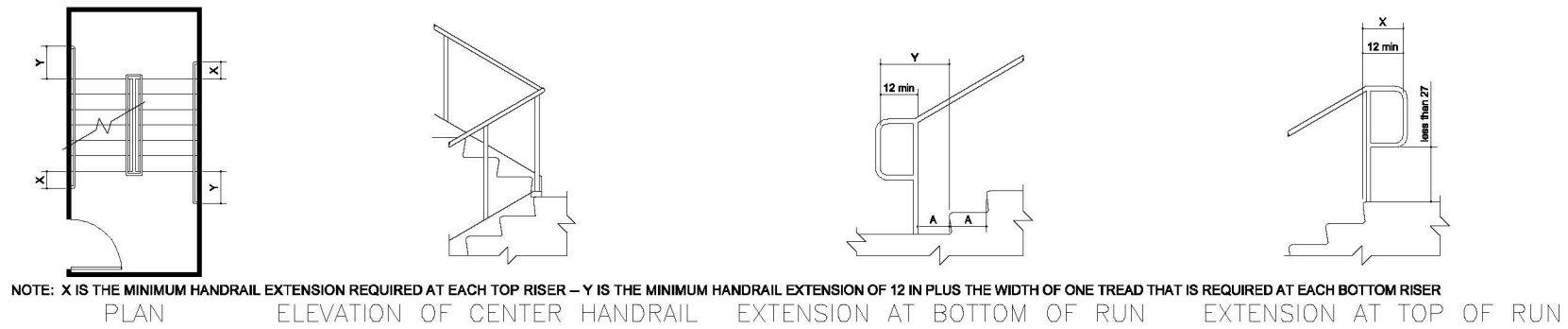
**STAIRS**

1. ACCESSIBLE STAIRS SHALL COMPLY WITH 521 CMR SECTION 27.00

2. ACCESSIBLE STAIRS SHALL HAVE UNIFORM RISER HEIGHTS, UNIFORM TREAD WIDTHS, OPEN RISERS ARE NOT PERMITTED (27.2)

3. STAIRWAYS SHALL HAVE CONTINUOUS HANDRAILS AT BOTH SIDES OF ALL STAIRS. THE INSIDE HANDRAIL ON SWITCHBACK OR DOGLEG STAIRS SHALL ALWAYS BE CONTINUOUS (27.4.1)

4. TOP OF HANDRAIL GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 34 INCHES AND 38 INCHES ABOVE STAIR NOSING. HANDRAILS SHALL BE MEASURED VERTICALLY FROM THE TOP OF THE GRIPPING SURFACE OF THE HANDRAILS TO THE STAIR NOSING (27.4.2)



NOTE: X IS THE MINIMUM HANDRAIL EXTENSION REQUIRED AT EACH TOP RISER - Y IS THE MINIMUM HANDRAIL EXTENSION OF 12 IN PLUS THE WIDTH OF ONE TREAD THAT IS REQUIRED AT EACH BOTTOM RISER  
PLAN ELEVATION OF CENTER HANDRAIL EXTENSION AT BOTTOM OF RUN EXTENSION AT TOP OF RUN

**RESTROOMS**

1. ELEMENTS OF ACCESSIBLE RESTROOMS SHALL COMPLY WITH 521 CMR SECTION 30.00

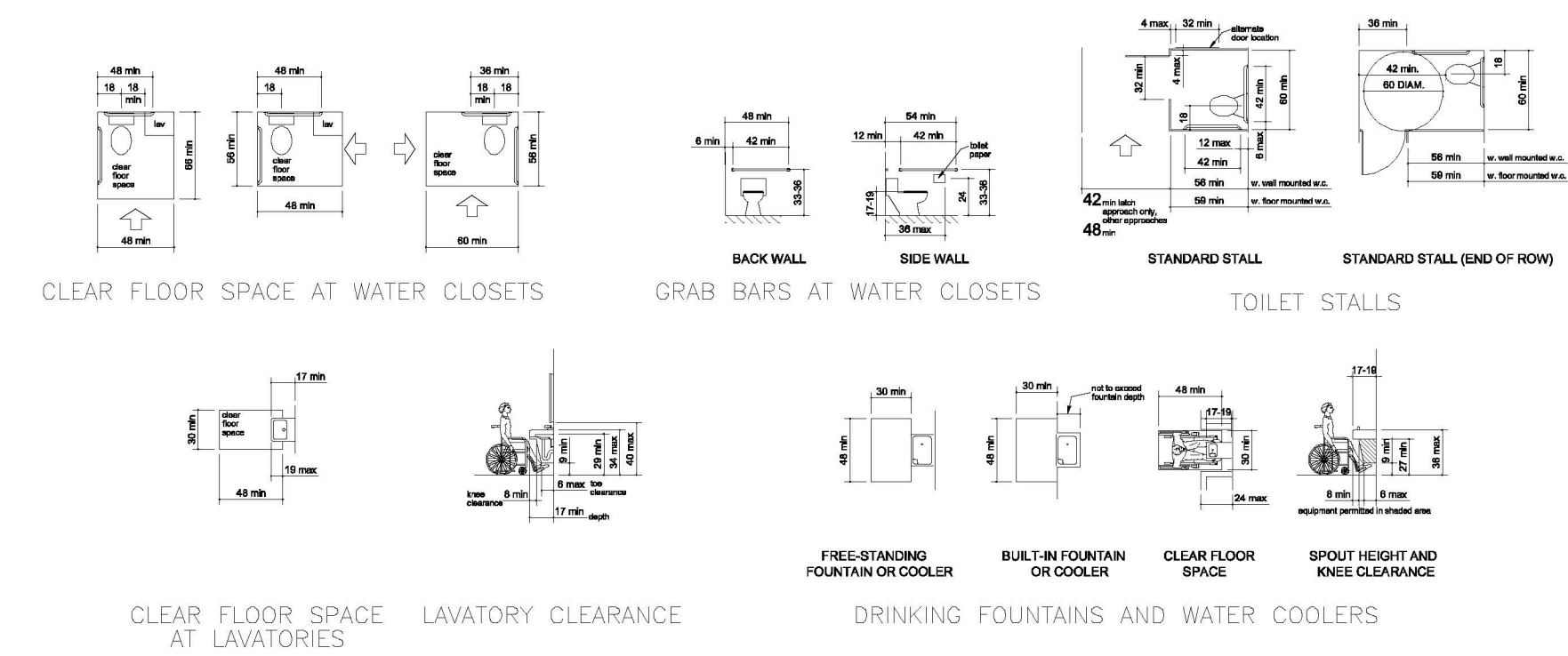
2. ACCESSIBLE URINALS SHALL BE STALL-TYPE OR WALL-HUNG WITH AN ELONGATED RIM AT A MAXIMUM OF 17" ABOVE FINISH FLOOR. URINALS SHALL HAVE A 30" x 48" CLEAR FLOOR SPACE TO ALLOW A FRONT APPROACH AND THE FLUSH CONTROLS SHALL BE HAND-OPERATED WITH THE CONTROLS INSTALLED NO HIGHER THAN 44" ABOVE FINISH FLOOR. (30.10)

3. HOT WATER LINES AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES. (30.9.5)

4. EXAMPLES OF ACCESSIBLE FAUCETS INCLUDE: LEVER OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED. IF SELF-CLOSING VALVES ARE USED, THE FAUCET SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS. (30.9.6)

5. THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1-1/4" TO 1-1/2" IN OUTSIDE DIAMETER. THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1-1/2". THE GRAB BAR ASSEMBLY SHALL BE CAPABLE OF WITHSTANDING BENDING STRESSES, SHEAR STRESSES, SHEAR FORCES, AND TENSILE FORCES OF UP TO 250 LBF.. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. (30.8.3)

6. MOUNTING HEIGHTS TO OPERATING CONTROLS FOR RESTROOM ACCESSORIES SHALL COMPLY WITH 521 CMR 39.00 CONTROLS



CLEAR FLOOR SPACE AT WATER CLOSETS GRAB BARS AT WATER CLOSETS TOILET STALLS  
CLEAR FLOOR SPACE AT LAVATORIES LAVATORY CLEARANCE DRINKING FOUNTAINS AND WATER COOLERS  
FREE-STANDING FOUNTAIN OR COOLER BUILT-IN FOUNTAIN OR COOLER CLEAR FLOOR SPACE SPOUT HEIGHT AND KNEE CLEARANCE

**DOORS**

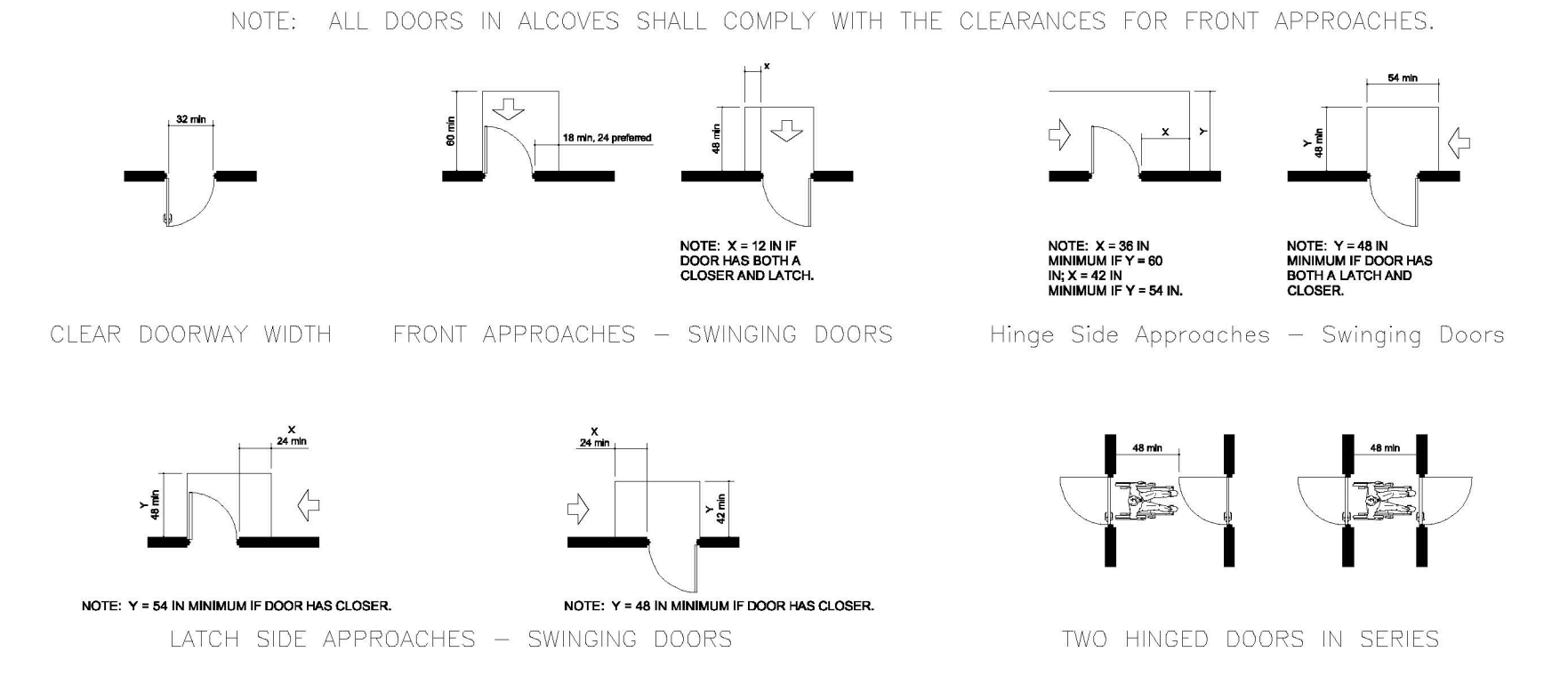
1. ACCESSIBLE DOORS SHALL COMPLY WITH 521 CMR 26.00 DOORS AND DOORWAYS

2. THRESHOLDS SHALL NOT EXCEED 1/2" INCH IN HEIGHT AND SHALL BE BEVELED ON BOTH SIDES WITH A SLOPE NO GREATER THAN ONE-IN-TWO (26.10.1)

3. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO OPERATE WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS, AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED 36" TO 48" ABOVE FINISHED FLOOR. (26.11.1, 26.11.2)

4. IF A DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90°, THE DOOR WILL TAKE AT LEAST 6 SECONDS TO CLOSE. (26.9)

5. THESE FORCES APPLY ONLY TO OPENING THE DOOR, NOT TO THE EFFORT REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT MAY HOLD THE DOOR IN A CLOSED POSITION.  
c. EXTERIOR HINGED DOORS: 15LBS  
c. INTERIOR HINGED DOORS: 5LBS  
c. SLIDING OR FOLDING DOORS: 5LBS (26.8.1)



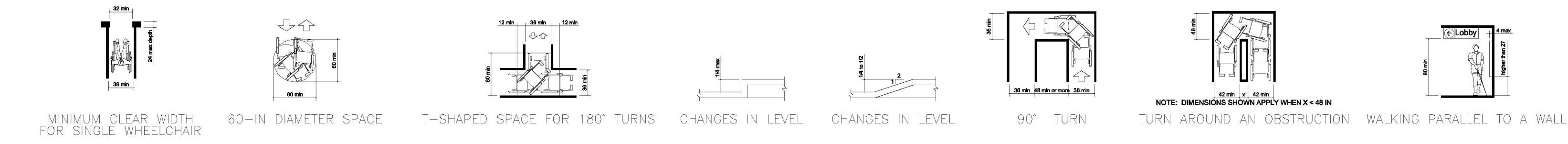
NOTE: ALL DOORS IN ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES.  
CLEAR DOORWAY WIDTH FRONT APPROACHES - SWINGING DOORS Hinge Side Approaches - Swinging Doors  
NOTE: X = 12 IN IF DOOR HAS BOTH A CLOSER AND LATCH NOTE: X = 36 IN MINIMUM IF Y = 40 IN X = 42 IN MINIMUM IF Y = 48 IN  
NOTE: Y = 54 IN MINIMUM IF DOOR HAS CLOSER NOTE: Y = 48 IN MINIMUM IF DOOR HAS CLOSER  
LATCH SIDE APPROACHES - SWINGING DOORS TWO HINGED DOORS IN SERIES

**PATH OF TRAVEL**

1. ALL WALKS, HALLS, CORRIDORS, AISLES, SKYWALKS, TUNNELS, AND OTHER SPACES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH 521 CMR 20.00 ACCESSIBLE ROUTE

2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, FACILITIES, ELEMENTS AND SPACES THAT ARE ON THE SAME SITE (20.2.1)

3. CHANGES IN LEVEL GREATER THAN 1/2" INCH ARE NOT ALLOWED UNLESS A RAMP WALKWAY OR MEANS OF VERTICAL ACCESS COMPLYING WITH 521CMR IS PROVIDED.

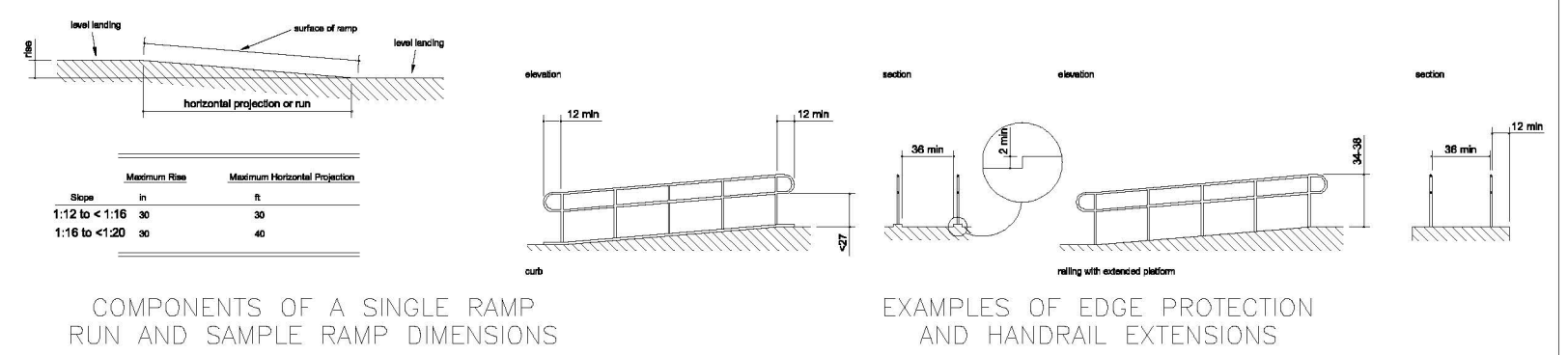


MINIMUM CLEAR WIDTH FOR SINGLE WHEELCHAIR 60-IN DIAMETER SPACE T-SHAPED SPACE FOR 180° TURNS CHANGES IN LEVEL CHANGES IN LEVEL 90° TURN TURN AROUND AN OBSTRUCTION WALKING PARALLEL TO A WALL  
NOTE: DIMENSIONS SHALL APPLY WHEN X < 48 IN

**RAMP**

1. ACCESSIBLE RAMPS SHALL COMPLY WITH 521 CMR 24.00 RAMPS

2. ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP. THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS SHALL BE CONTINUOUS WITHOUT INTERRUPTION, EXCEPT BY DOORWAYS AND OPENINGS, SO THAT A HAND CAN MOVE FROM END TO END WITHOUT INTERRUPTION

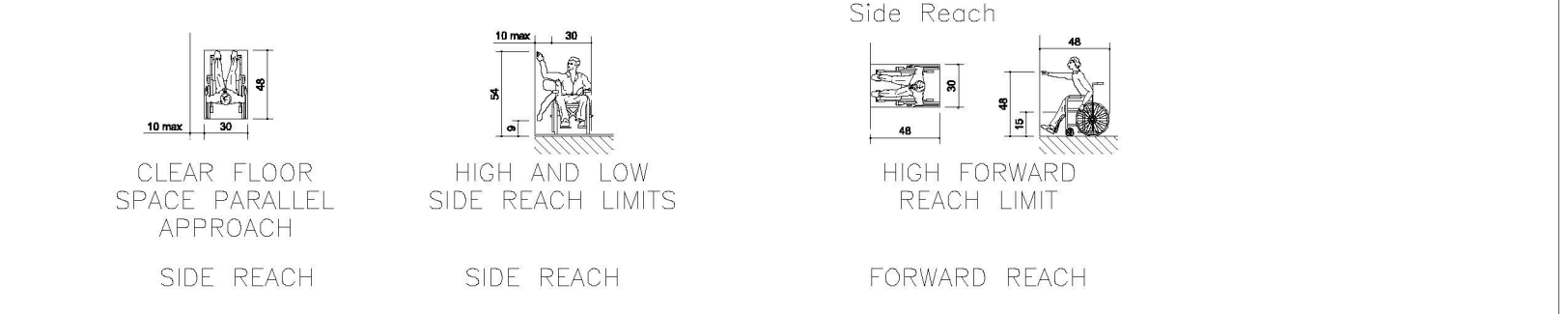


COMPONENTS OF A SINGLE RAMP RUN AND SAMPLE RAMP DIMENSIONS EXAMPLES OF EDGE PROTECTION AND HANDRAIL EXTENSIONS

**CONTROLS**

1. CONTROLS & OPERATING MECHANISMS SHALL COMPLY WITH 521 CMR 39.00 CONTROLS

2. CONTROLS AND OPERATING MECHANISMS IN ACCESSIBLE SPACES, ALONG ACCESSIBLE ROUTES OR AS PARTS OF ACCESSIBLE ELEMENTS SHALL BE ACCESSIBLE AND SHALL COMPLY WITH 521 CMR39



CLEAR FLOOR SPACE PARALLEL APPROACH SIDE REACH SIDE REACH HIGH AND LOW SIDE REACH LIMITS HIGH FORWARD REACH LIMIT FORWARD REACH

**SIGNAGE**

1. ACCESSIBLE SIGNAGE SHALL COMPLY WITH 521 CMR 41.00 SIGNAGE

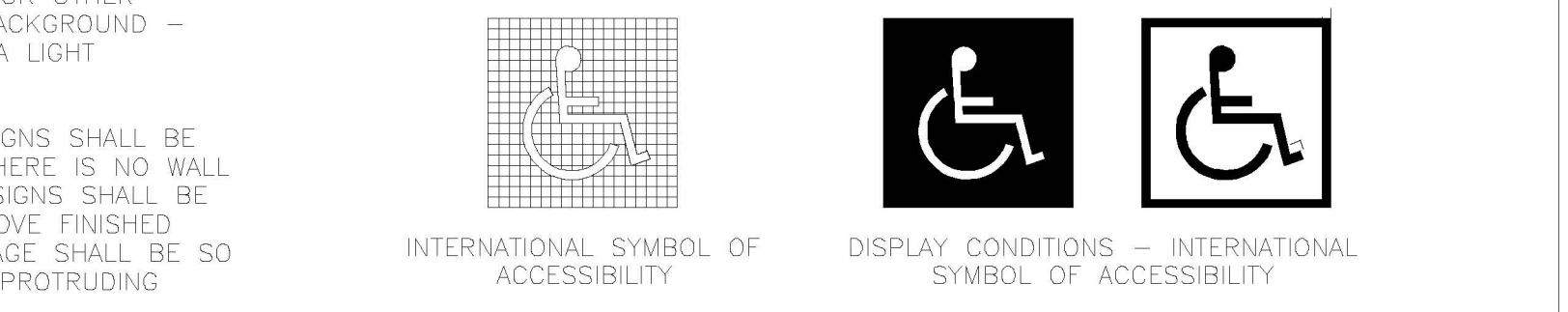
2. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 AND 1:1 AND A STROKE-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. (41.3)

3. CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT OF SUSPENDED OR OVERHEAD CHARACTERS IS THREE INCHES AND IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED (41.4)

4. LETTERS AND NUMERALS SHALL BE RAISED 1/32", UPPER-CASE SANS SERIF OR SIMPLE SERIF TYPE, AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2" PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MINIMUM IN HEIGHT. (41.5)

5. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND. (41.6)

6. WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" ABOVE FINISHED FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR. (41.2)



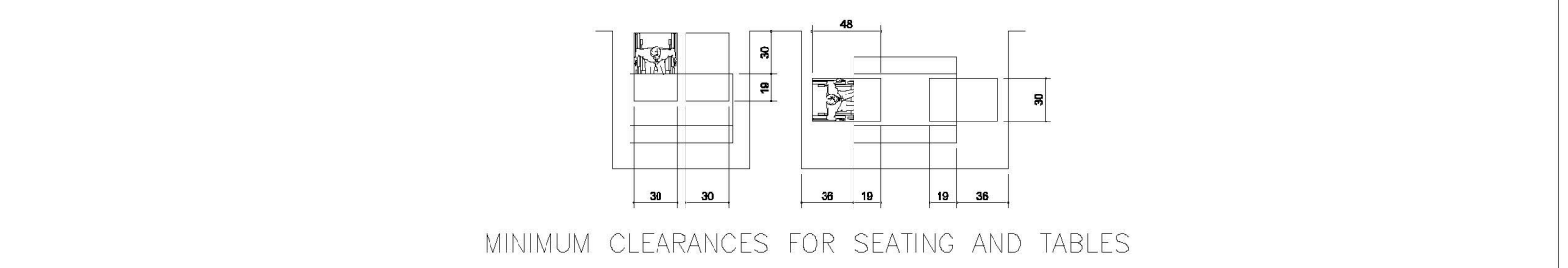
INTERNATIONAL SYMBOL OF ACCESSIBILITY DISPLAY CONDITIONS - INTERNATIONAL SYMBOL OF ACCESSIBILITY

**TABLE SEATING**

1. AT LEAST 5% BUT NOT LESS THAN ONE OF THE TABLES SHALL BE ACCESSIBLE, BE ON AN ACCESSIBLE ROUTE AND IN COMPLIANCE WITH 17.2

2. WHERE FOOD OR DRINK IS SERVED AT COUNTERS EXCEEDING 34" IN HEIGHT FOR CONSUMPTION BY CUSTOMERS SEATED ON STOOLS OR STANDING AT THE COUNTER, A PORTION OF THE MAIN COUNTER WHICH IS 60" IN LENGTH MINIMUM SHALL BE PROVIDED IN COMPLIANCE WITH SECTION 521 CMR 17.2.4 AND 17.2.5 OR SERVICE SHALL BE AVAILABLE AT ACCESSIBLE TABLES WITHIN THE SAME AREA.

3. ACCESSIBLE SEATING AT TABLES AND/OR COUNTERS SHALL CONSIST OF THE FOLLOWING DIMENSIONAL CRITERIA: KNEE CLEARANCE SHALL BE 27" HIGH, 30" WIDE, AND 19" DEEP; TABLE HEIGHT SHALL BE 28" TO 34" (17.2.4 AND 17.2.5)



MINIMUM CLEARANCES FOR SEATING AND TABLES

**BKA ARCHITECTS**

Boston + Brockton  
142 Crescent Street  
Brockton, MA 02302  
508.583.5603  
bkaarchitects.com

ISSUES:

01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
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04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO	DATE	DESCRIPTION
PLOT PLAN [NTS]		






PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

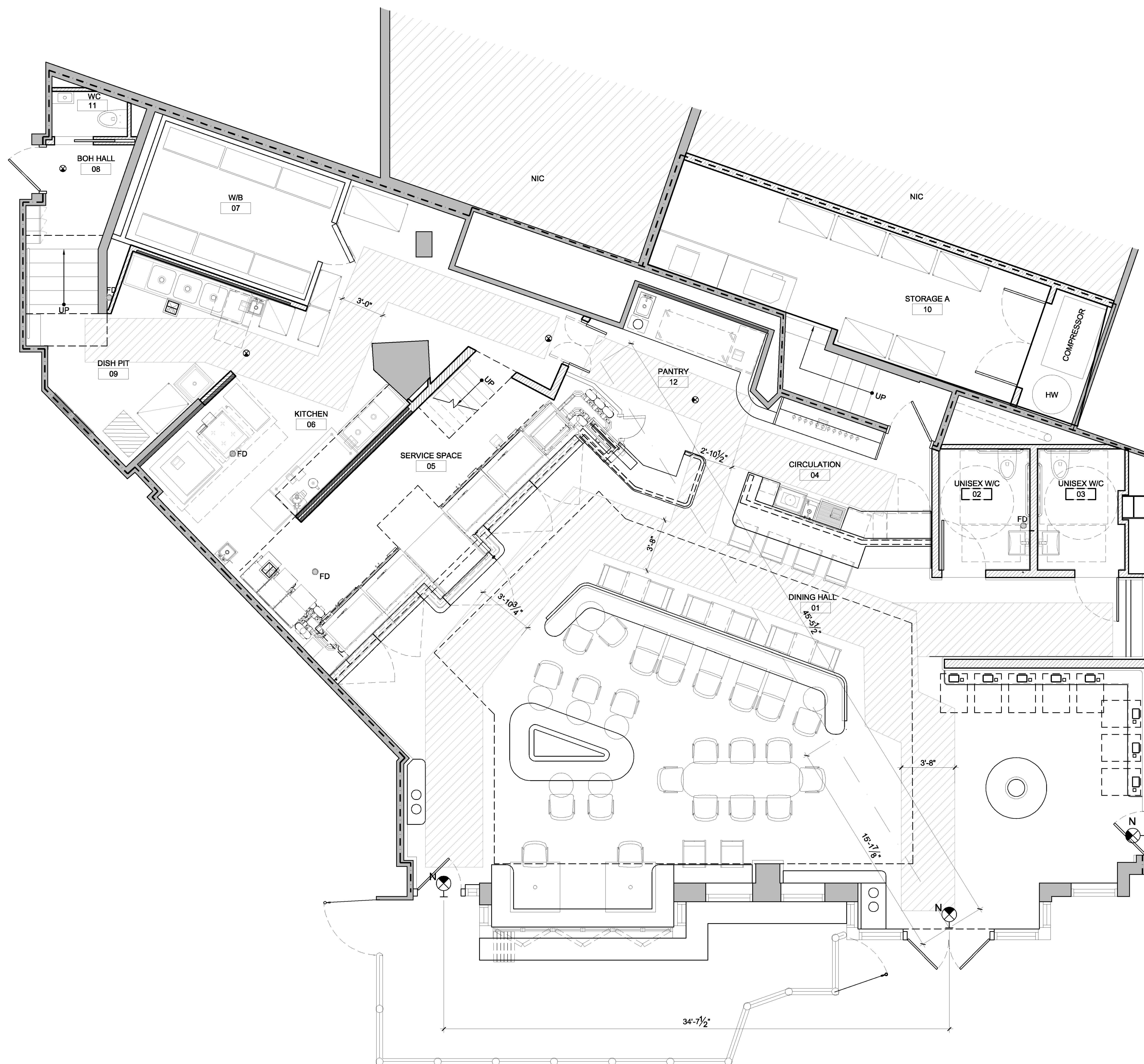
DRAWING TITLE:  
**MAAB ANALYSIS**

REGISTERED ARCHITECT  
No. 95118  
BROCKTON  
MASSACHUSETTS

PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWINGS NO.:  
**G-100.00**

**LEGEND**

-  NEW FIRE EXTINGUISHER
-  EXISTING EXIT SIGN TO REMAIN
-  NEW EXIT SIGN
-  MIN. 44" WIDE EGRESS PATH (DIAGRAMMATICAL ONLY)  
MIN 36" WIDE EGRESS PATH (KITCHEN)
-  PAINTED CLEARANCE STRIPING AT BOH DOORS & ELECTRICAL PANELS (REFER TO A140)



ISSUES:

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NO DATE DESCRIPTION

PLOT PLAN (NTS)

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

**EGRESS PLAN**

SEAL:  PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.: **G-101.00**



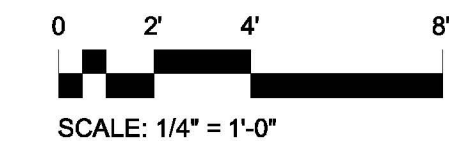
MILLWORK SCHEDULE												
ID	ROOM ID	ROOM #	SCOPE OF WORK		DESCRIPTION	DRAWING	MATERIAL	FINISH	PULL/ KNOB		HINGE	REMARKS
			GC	OWNER					MODEL #	FINISH		
MW-01	PANTRY	12	*		BASE CABINET W/ DOORS W/ SINK. FIXED SHELVES ABOVE	A.500	-	-				
MW-02	CIRCULATION	07	*		BACK BAR BASE CABINET W/ BEER TAP. FIXED SHELVES ABOVE	A.500	-	-				
MW-03	DINING HALL	01	*		BAR COUNTER	A.500	-	-				
MW-04	DINING HALL	01	*		QUEUE LINE / ORDERING TABLE	A.502	-	-				
MW-05	DINING HALL	01	*		TRASH / UTENSILS CABINET	A.503	-	-				
MW-06	DINING HALL	01	*		WAINSCOT PANEL	A.504	-	-				
MW-07	DINING HALL	01	*		TRASH STATION	A.503	-	-				
MW-08	DINING HALL	01	*		ROBOT SOFFIT	A.504	-	-				
MW-09	DINING HALL	01	*		ROBOT BASE	A.505	-	-				GC TO COORDINATE INSTALL

NOTE:  
BANQUETTES, TABLES AND ROBOT MILLWORK PROVIDED BY OWNER

**CONSTRUCTION NOTES:**

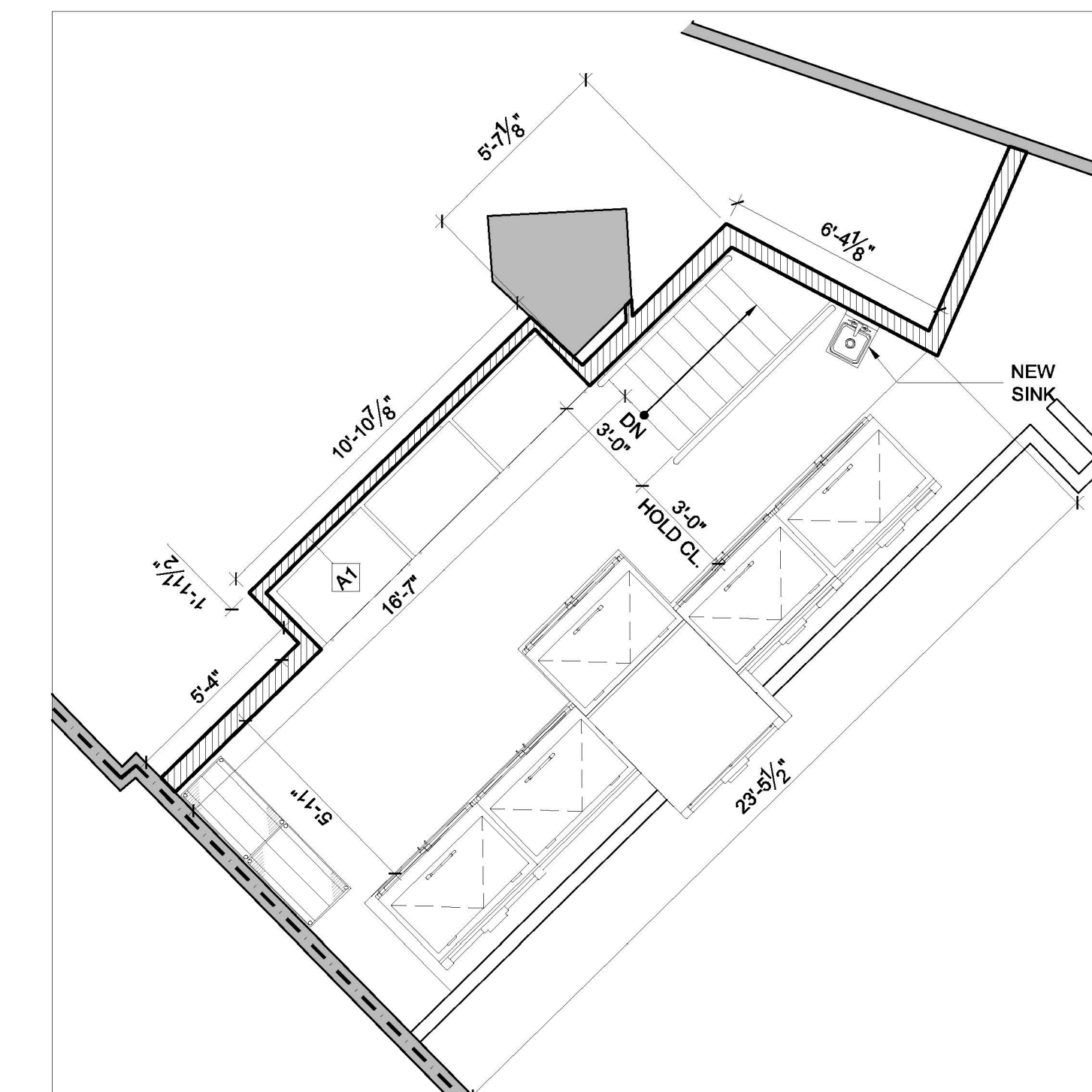
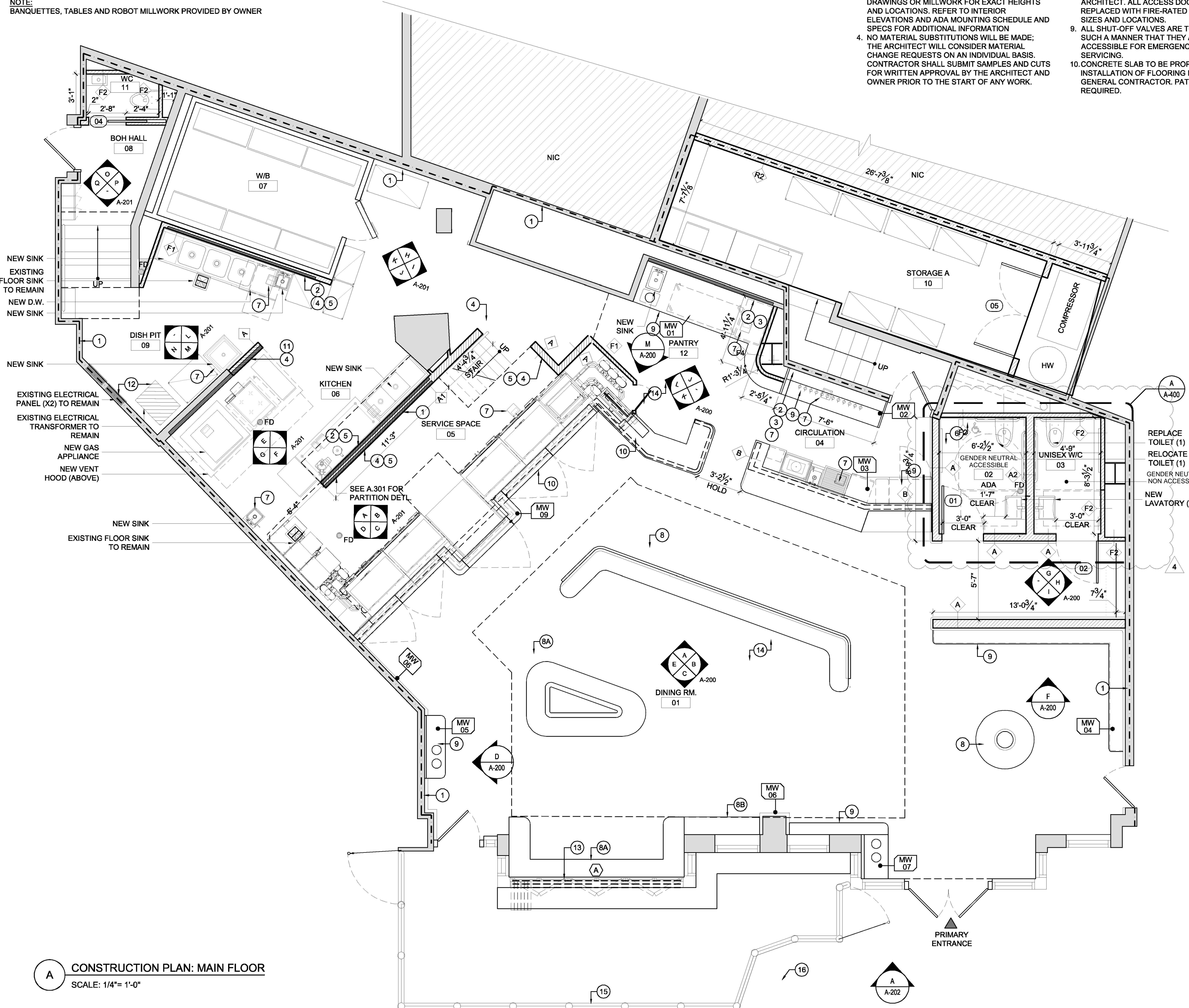
- NO RELOCATION OF ANY UTILITY, PIPING OR CONDUIT SERVING ANOTHER TENANT SHALL BE PERMITTED. CONTRACTOR TO VERIFY ALL UTILITIES AND WIRING PRIOR TO DEMOLITION AND CONSTRUCTION.
- THE CONTRACTOR WILL BE REQUIRED TO MAKE SHUTDOWN REQUESTS OF BUILDING SYSTEMS WITH SIGNIFICANT LEAD TIME AND SCHEDULING ANY SUCH EVENTS WILL BE AT THE DISCRETION OF THE BUILDING MANAGEMENT COMPANY AND BUILDING OWNERSHIP.
- CONTRACTOR TO PROVIDE IN-WALL BLOCKING FOR ALL WALL MOUNTED ACCESSORIES AND FITTINGS. WALL BLOCKING TO BE 3/4" THICK FIRE RETARDANT PLYWOOD. ALL WALL BLOCKING SHALL BE CONCEALED AND SECURELY ATTACHED TO WALL FRAMING WITH-IN WALLS, BEHIND GWB AND/OR FINISHES. BLOCKING LENGTHS SHOWN AT A MINIMUM, ALWAYS EXTEND PAST TO THE NEAREST STUD IN EACH DIRECTION. COORDINATE W/ FOOD SERVICE DRAWINGS OR MILLWORK FOR EXACT HEIGHTS AND LOCATIONS. REFER TO INTERIOR ELEVATIONS AND ADA MOUNTING SCHEDULE AND SPECS FOR ADDITIONAL INFORMATION.
- NO MATERIAL SUBSTITUTIONS WILL BE MADE; THE ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY THE ARCHITECT AND OWNER PRIOR TO THE START OF ANY WORK.
- EACH SUBTRADE IS RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING HIS WORK AS APPLICABLE. WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE INCLUDED IN THE SUBCONTRACTOR'S COSTS.
- THE CONTRACTOR SHALL CAP ALL EXISTING PIPING NOT BEING USED BEHIND FINISHED SURFACE.
- ALL BRANCH LINES, INCLUDING HOT AND COLD WATER SHUT-OFF VALVES, ARE REQUIRED TO BE REPLACED WITH NEW PIPING BACK TO THE BUILDING RISERS. THIS INCLUDES DRAINS AND WATER CLOSET WASTE CONNECTIONS. ALL REPLACED WATER SUPPLY LINES MUST BE COPPER. THE REPLACEMENT OF THE SHUT-OFF VALVES SHALL BE PERFORMED BY THE BUILDING'S PLUMBER AT THE BUILDING OWNER'S COST.
- THE CONTRACTOR SHALL PROVIDE ACCESS DOORS AS REQUIRED FOR PLUMBING, ELECTRICAL AND ETC. AS REQUIRED BY CODE. LOCATION SHALL BE APPROVED BY THE ARCHITECT. ALL ACCESS DOORS SHALL BE REPLACED WITH FIRE-RATED TYPE AT EXISTING SIZES AND LOCATIONS.
- ALL SHUT-OFF VALVES ARE TO BE INSTALLED IN SUCH A MANNER THAT THEY ARE EASILY ACCESSIBLE FOR EMERGENCY USE AND SERVICING.
- CONCRETE SLAB TO BE PROPERLY LEVELLED FOR INSTALLATION OF FLOORING MATERIALS BY GENERAL CONTRACTOR. PATCH SLAB AS REQUIRED.

- THE CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT'S OFFICE FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL A SIGNED PROPOSAL IS RETURNED TO THE CONTRACTOR.
- THE CONTRACTOR SHALL IN ALL RESPECTS COMPLY WITH ALL REGULATIONS OF THE BUILDING OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SUCH REGULATIONS FROM THE BUILDING OWNER. IN THE EVENT OF CONFLICT BETWEEN BUILDING REGULATIONS AND OTHER CONTRACT DOCUMENTS, THE ARCHITECT AND OWNER SHALL BE CONSULTED PRIOR TO PROCEEDING.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD.
- ALL NEW PARTITIONS EXTEND FROM TOP OF FLOOR SLAB TO UNDERSIDE OF CEILING.
- GENERAL CONTRACTOR TO PROVIDE SUBMITTALS/SHOP DRAWINGS INCLUDING, BUT NOT LIMITED TO, MILLWORK, ARCHITECTURAL GRILLS, HARDWARE, DOORS, STONE AND TILE (INCLUDING JOINT LAYOUT).
- ALL BATHROOM AND KITCHEN FLOORS SHALL BE WATERPROOFED WITH LATIACRETE 9235 LIQUID MEMBRANE SYSTEM WITH REINFORCEMENT FLEECE.
- AT ALL BATHROOMS, WATERPROOF MEMBRANE WILL TURN UP 6" MIN. AT WALLS AND WILL FORM AND EDGE DAM AT DOORS AND CASING OPENING.
- ALL BATHROOM DOORS SHALL HAVE SADDLES HIGHER THAN FINISH FLOOR.



**LEGEND:**

- EXISTING WALL TO REMAIN
- NEW PARTITION
- FR PLYWOOD BLOCKING
- 2HR RATED WALL
- EXISTING FLOOR DRAIN TO REMAIN
- FD
- EXISTING DOOR TO REMAIN
- NEW DOOR
- DOOR TAG
- WINDOW TAG
- WALL TAG
- BUILT-IN MILLWORK TAG



**B CONSTRUCTION PLAN: MEZZANINE FLOOR**  
SCALE: 1/4" = 1'-0"

**KEY NOTES:**

- EXISTING DEMISING/PARTY WALL TO REMAIN. PATCH AND REPAIR AS REQD.
- WALL BLOCKING TO BE 3/4" THICK FIRE RETARDANT PLYWOOD. ALL WALL BLOCKING SHALL BE CONCEALED AND SECURELY ATTACHED TO WALL FRAMING WITH-IN WALLS, BEHIND GWB AND/OR FINISHES. BLOCKING LENGTHS SHOWN AT A MINIMUM, ALWAYS EXTEND PAST TO THE NEAREST STUD IN EACH DIRECTION. COORDINATE W/ FOOD SERVICE DRAWINGS OR MILLWORK FOR EXACT HEIGHTS AND LOCATIONS. REFER TO INTERIOR ELEVATIONS AND ADA MOUNTING SCHEDULE AND SPECS FOR ADDITIONAL INFORMATION.
- REMOVE PORTION OF SHEETROCK TO INTALL FIRE STOOPING AT WALL PENETRATIONS. RE-INTALL SHEET ROCK TO MAINTAIN THE EXISTING FIRE RATED WALL ASSEMBLY.
- PROVIDE CONTINUOUS 12" HIGH 5/8" DUROCK SHEET @ BASE OF WALL. AT EXISTING WALLS ATTACH DUROCK DIRECTLY TO WALL SEE DTL H & IA-300.
- FULL HEIGHT MOISTURE AND MOLD RESISTANT BOARD. USG SHEET ROCK BRAND MOLD TOUGH GYPSUM PANEL 5/8" THICK PURPLE BOARD. PROVIDE FULL WALL DEPTH & HT BATT INSULATION
- NEW PENETRATION FOR PLUMBING PIPING. INSTALL FIRE STOPPING. SEE DTL 03/A-302
- BANQUETTE PROVIDED BY OWNER, INSTALLED BY MILLWORKER.
- COUNTERTOP BY OWNER.
- SHELVING PROVIDED BY OWNER.
- ROBOT MILLWORK AND CLADDING PROVIDED BY MILLWORKER. INSTALLED BY MILLWORKER.
- WALL BLOCKING BEHIND COOKING EQUIPMENT TO BE 3/4" THICK DUROCK CEMENT BOARD. ALL WALL BLOCKING SHALL BE CONCEALED AND SECURELY ATTACHED TO WALL FRAMING WITH-IN WALLS BEHIND GWB AND/OR FINISHES. BLOCKING LENGTH SHOWN AT A MINIMUM, ALWAYS EXTEND PAST THE NEAREST STUD.
- EXISTING ELECTRICAL PANEL AND TRANSFORMER TO REMAIN, SEE PLANS.
- CONSTRUCT AND INSTALL NEW EXTERIOR WINDOW. INSTALL TEMPORARY CONSTRUCTION BARRICADE TO COVER REMOVED WINDOWS DURING CONSTRUCTION
- NEW FLOOR FINISH
- EXISTING EXTERIOR RAILING TO REMAIN, PAINT PT-4 AND REPLACE SCREEN PANELS.
- EXISTING RAILING DOOR TO REMAIN.

**A CONSTRUCTION PLAN: MAIN FLOOR**  
SCALE: 1/4" = 1'-0"

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NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:  
**CONSTRUCTION PLAN**

SEAL: PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.: **A-100.00**

0 2' 4' 8'

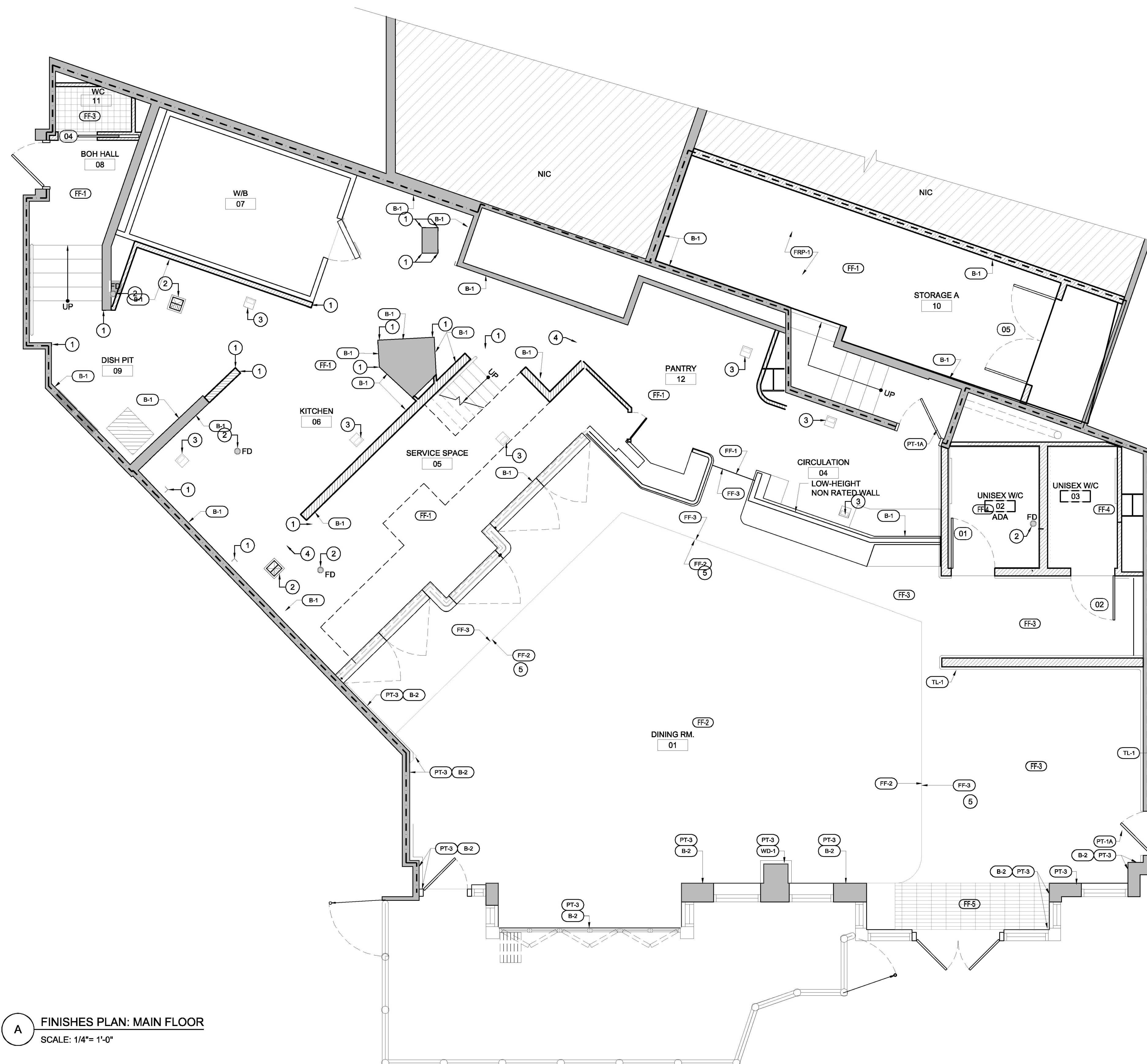
SCALE: 1/4" = 1'-0"

**LEGEND:**

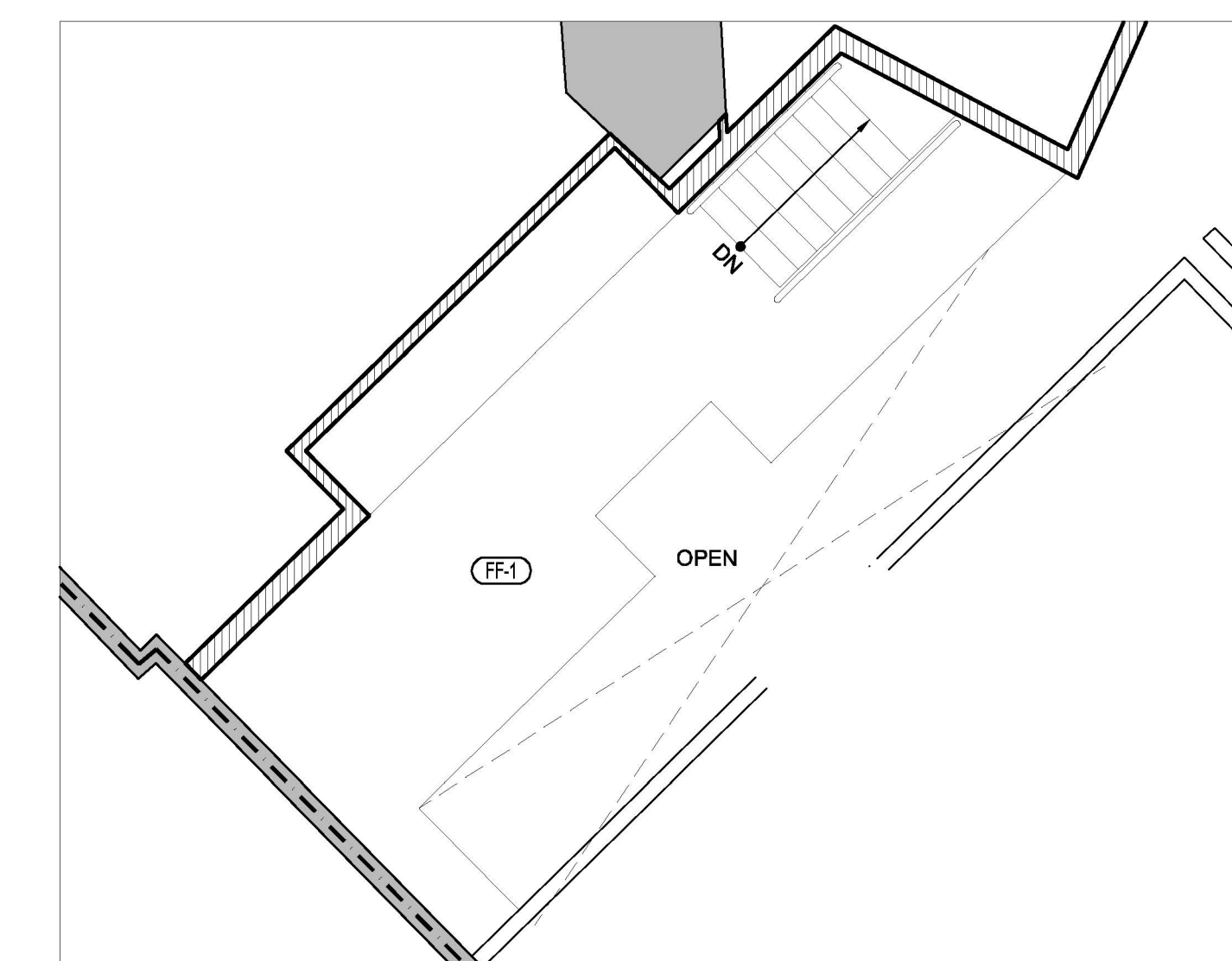
- EXISTING WALL TO REMAIN
- NEW PARTITION
- 2HR RATED WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR

**FINISHES PLAN GENERAL NOTES:**

1. FINISH SCHEDULE TO BE COORDINATED WITH FINISH PLANS AND ELEVATIONS. SHOULD DISCREPANCY OCCUR CONTRACTOR TO ISSUE THE MORE EXPENSIVE OPTION.
2. PRIOR TO PURCHASING AND PREPARATION OF WORK CONTRACTOR TO BRING TO ARCHITECTS ATTENTION DISCREPANCY OF MATERIALS



**A FINISHES PLAN: MAIN FLOOR**  
SCALE: 1/4" = 1'-0"



**B FINISHES PLAN: MEZZANINE FLOOR**  
SCALE: 1/4" = 1'-0"

**KEY NOTES:**

- 1 8'-0" HIGH, TYP. 16 GA 3" SS CORNER GUARD
- 2 FLOOR DRAIN LOCATION.
- 3 FLOOR SINK LOCATION
- 4 INSTALL NEW FLOOR TRANSITION METAL TRIM
- 5 FLOOR TRANSITION W/ BRASS SCHLUTER STRIP

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PLOT PLAN (NTS)

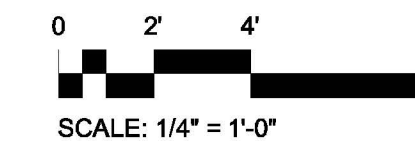
**PROJECT**

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One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

**FINISH PLAN**

SEAL: PROJECT NO.: 19-07  
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@ SHEET SIZE: 24 x 36  
DRAWING NO.: **A-101.00**



SCALE: 1/4" = 1'-0"

**LEGEND:**

EXISTING WALL TO REMAIN

NEW PARTITION

**LIGHTING LEGEND:**

A-5 2'X4' MOUNTED FLUORESCENT LIGHT

A-5/NL 2'X4' MOUNTED FLUORESCENT LIGHT W/ NIGHT LIGHT

A-1 PENDANT LIGHTING

A-2 RECESSED LIGHTING

A-3 RECESSED DIRECTIONAL LIGHTING

A-4 SURFACE MOUNTED MONO POINT

D-1 WALL SCONCE

D-2 WALL SCONCE

D-3 WALL SCONCE

A-6 1'X4' SURFACE MOUNTED

A-7 PENDANT

A-8 PENDANT

A-9 PENDANT

A-10 PENDANT

S POWER SWITCH

S<sup>D</sup> POWER SWITCH ON DIMMER

S<sup>3</sup> THREE-WAY POWER SWITCH

**CEILING LEGEND:**

SPRINKLER

RECESSED SPRINKLER

SPEAKER

SMOKE DETECTOR

EX-1 WALL MOUNT EXIT SIGN - BACK OF HOUSE

EX-2 WALL MOUNT EXIT SIGN - FRONT OF HOUSE

EX-3 WALL MOUNT DIRECTIONAL EXIT SIGN - FRONT OF HOUSE

EM-1 WALL MOUNTED EMERGENCY LIGHT - BACK OF HOUSE

EM-2 WALL MOUNTED EMERGENCY LIGHT - FRONT OF HOUSE

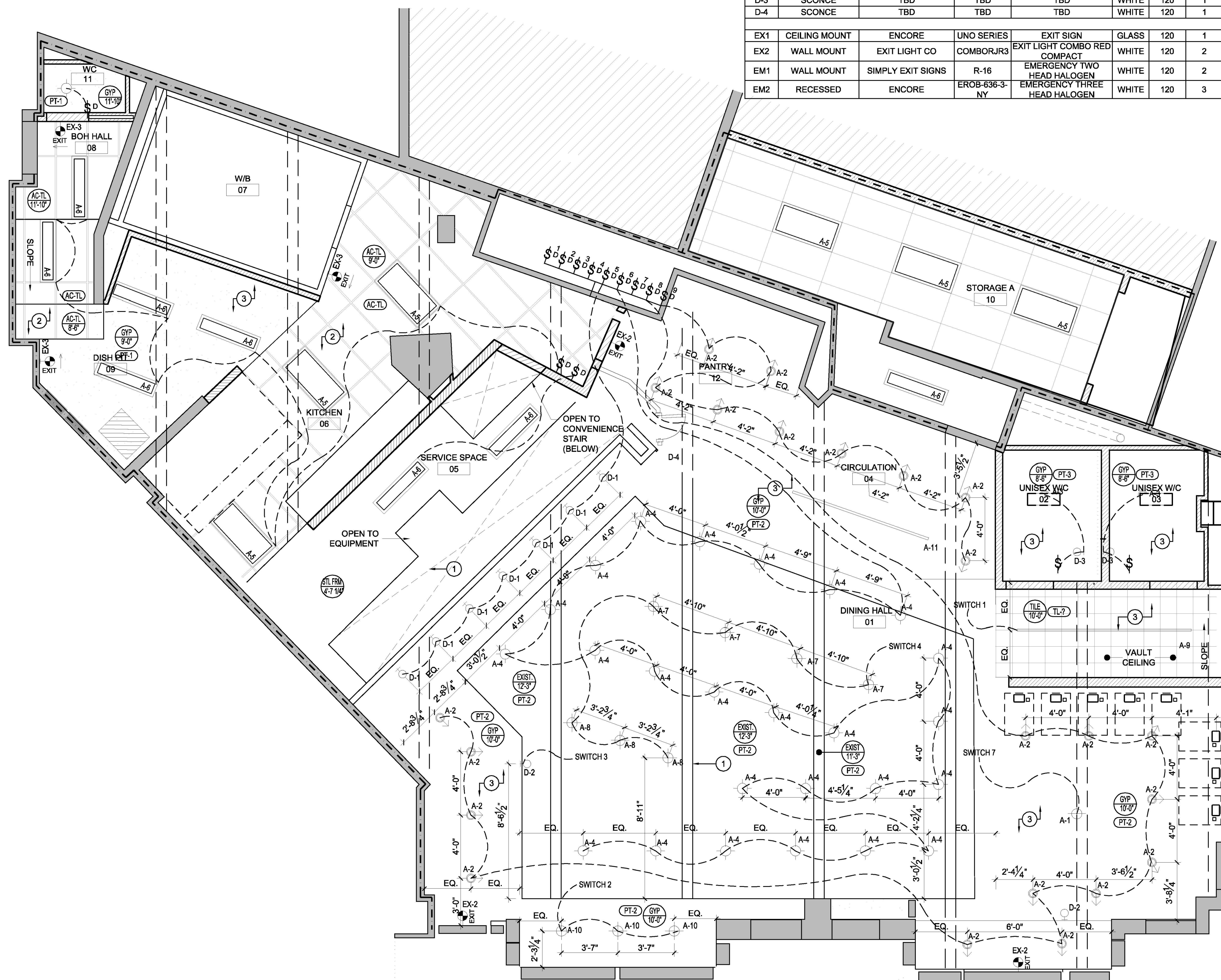
**KEY NOTES:**

1 EXISTING STRUCTURAL BEAM TO REMAIN

2 NEW ACOUSTIC TILE CEILING

3 NEW GYB CEILING. PAINT IN SELECTED COLORS. SEE FINISH SCHEDULE

LIGHTING SCHEDULE														
TYPE	MOUNTING	MANUFACTURER	MODEL NO.	DESCRIPTION	FINISH	VOLT	LAMP			REMARKS	FIXTURE/ LINEAR FEET TOTAL	BULBS TOTAL	TOTAL WATTS	PROVIDED BY
							NO.	WATTS	TYPE/SPEC					
A-1	PENDANT	TBD	TBD	CUSTOM	TBD	120	1	40	INCANDESCENT	CUSTOM STEM TO FINISH FIXTURE AT 7'-6" AFF.	1	1	40	OWNER
A-2	RECESSED DOWNLIGHT	USAI LIGHTING	B3RA	COMPLETE ROUND ADJUSTABLE	WHITE	120	1	20	LED		22	22	440	GC
A-3	RECESSED DOWNLIGHT	USAI LIGHTING	B3RA	COMPLETE ROUND ADJUSTABLE	WHITE	120	1	20	LED		2	2	40	GC
A-4	SURFACE MOUNT DOWNLIGHT	USAI LIGHTING	CMRD 10	BEVELED MINI CYLINDER DOWNLIGHT	WHITE	120	1	20	LED DIMMABLE	CONDUIT MOUNT	17	17	340	GC
A-5 & A-5/NL	DROP IN	TOPAZ	F-L14/32/850/ D/HP-75	1' X 4' LED PANEL	WHITE	120	1	32	LED		6	6	192	GC
A-6	DROP IN	TOPAZ	F-L14/32/850/ D/HP-75	1' X 4' LED PANEL	WHITE	120	1	32	LED		6	6	192	GC
A-7	PENDANT	TBD	TBD	TBD	TBD	120	1	40	INCANDESCENT	CUSTOM STEM TO FINISH FIXTURE AT 7'-6" AFF.	4	4	160	OWNER
A-8	PENDANT	TBD	TBD	TBD	TBD	120	1	40	INCANDESCENT	CUSTOM STEM TO FINISH FIXTURE AT 7'-6" AFF.	3	3	120	OWNER
A-9	PENDANT	TBD	TBD	TBD	TBD	120	1	40	INCANDESCENT		1	1	40	OWNER
A-10	PENDANT	TBD	TBD	TBD	TBD	120	1	40	INCANDESCENT	CUSTOM STEM TO FINISH FIXTURE AT 7'-6" AFF.	3	3	120	OWNER
A-11	PENDANT	TBD	TBD	TBD	TBD	120	1	40	INCANDESCENT		1	5	120	OWNER
D-1	SCONCE	TBD	TBD	TBD	WHITE	120	1	32	INCANDESCENT		7	7	224	GC
D-2	SCONCE	TBD	TBD	TBD	WHITE	120	1	32	LED		2	2	64	GC
D-3	SCONCE	TBD	TBD	TBD	WHITE	120	1	32	INCANDESCENT		2	2	64	GC
D-4	SCONCE	TBD	TBD	TBD	WHITE	120	1	32	INCANDESCENT		2	2	64	OWNER
EX1	CEILING MOUNT	ENCORE	UNO SERIES	EXIT SIGN	GLASS	120	1	36	LED		3	3	108	GC
EX2	WALL MOUNT	EXIT LIGHT CO	COMBORJR3	EXIT LIGHT COMBO RED COMPACT	WHITE	120	2	36	LED		3	6	108	GC
EM1	WALL MOUNT	SIMPLY EXIT SIGNS	R-16	EMERGENCY TWO HEAD HALOGEN	WHITE	120	2	36	LED		0	0	0	GC
EM2	RECESSED	ENCORE	EROB-536-3-NY	EMERGENCY THREE HEAD HALOGEN	WHITE	120	3	36	LED		1	3	36	GC



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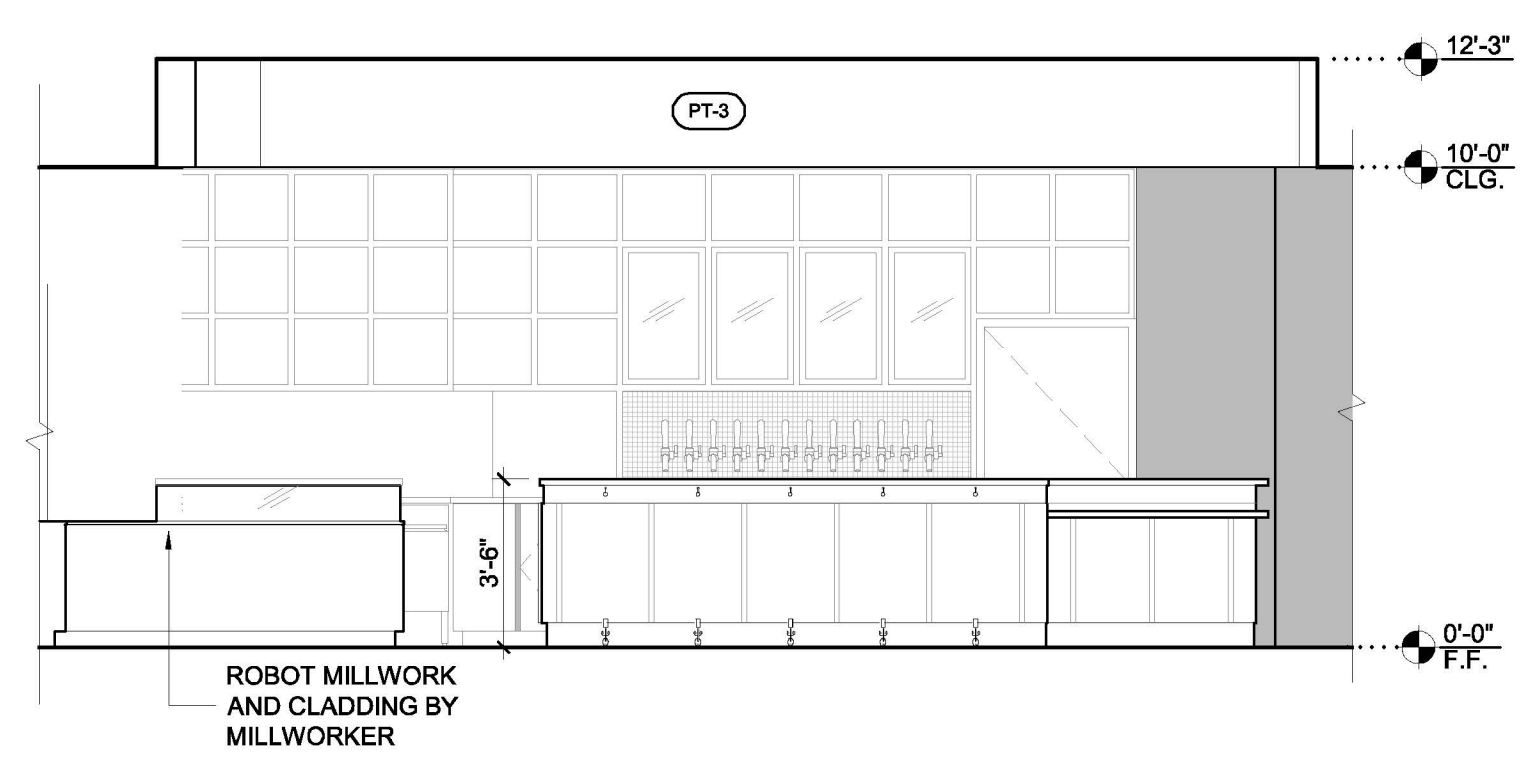
DRAWING TITLE:

**REFLECTED CEILING PLAN**

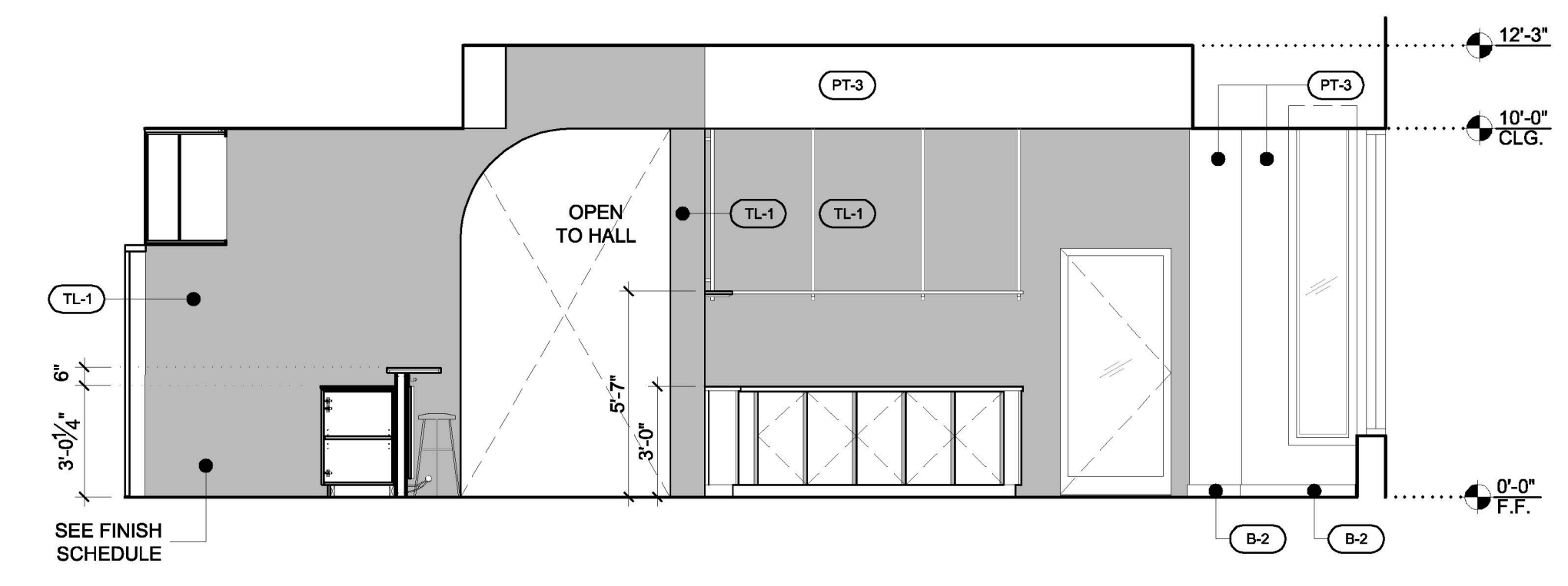
SEAL

PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 38  
DRAWING NO.:  
**A-102.00**

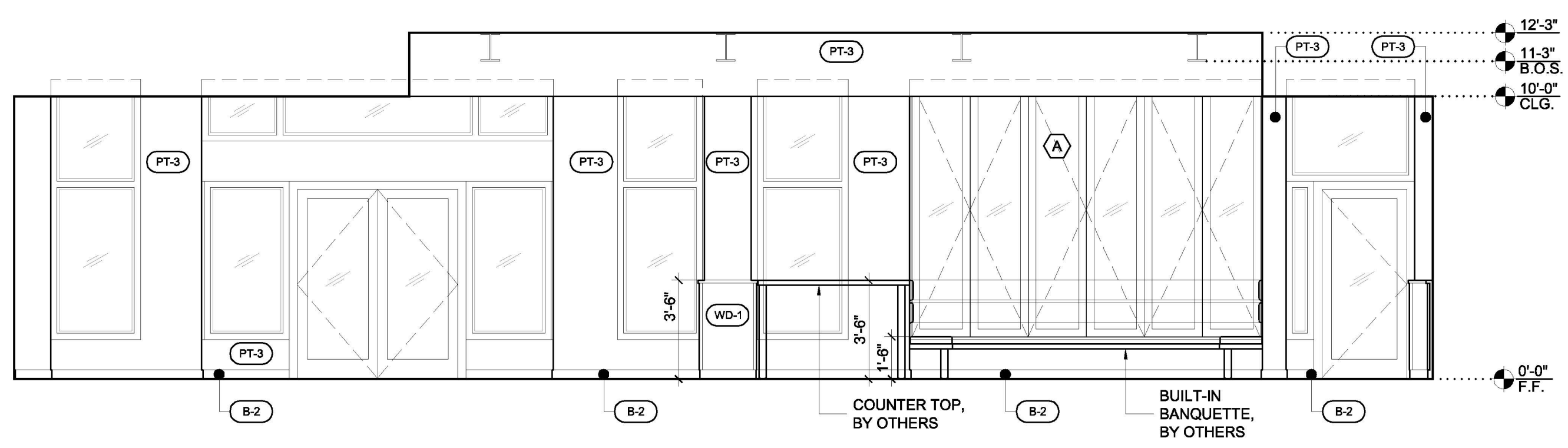
**A REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



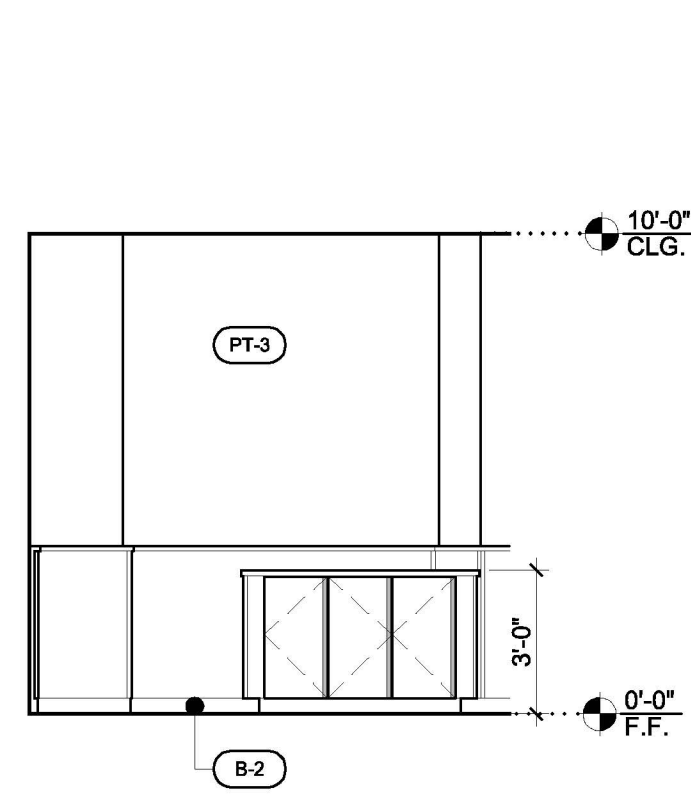
**A** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



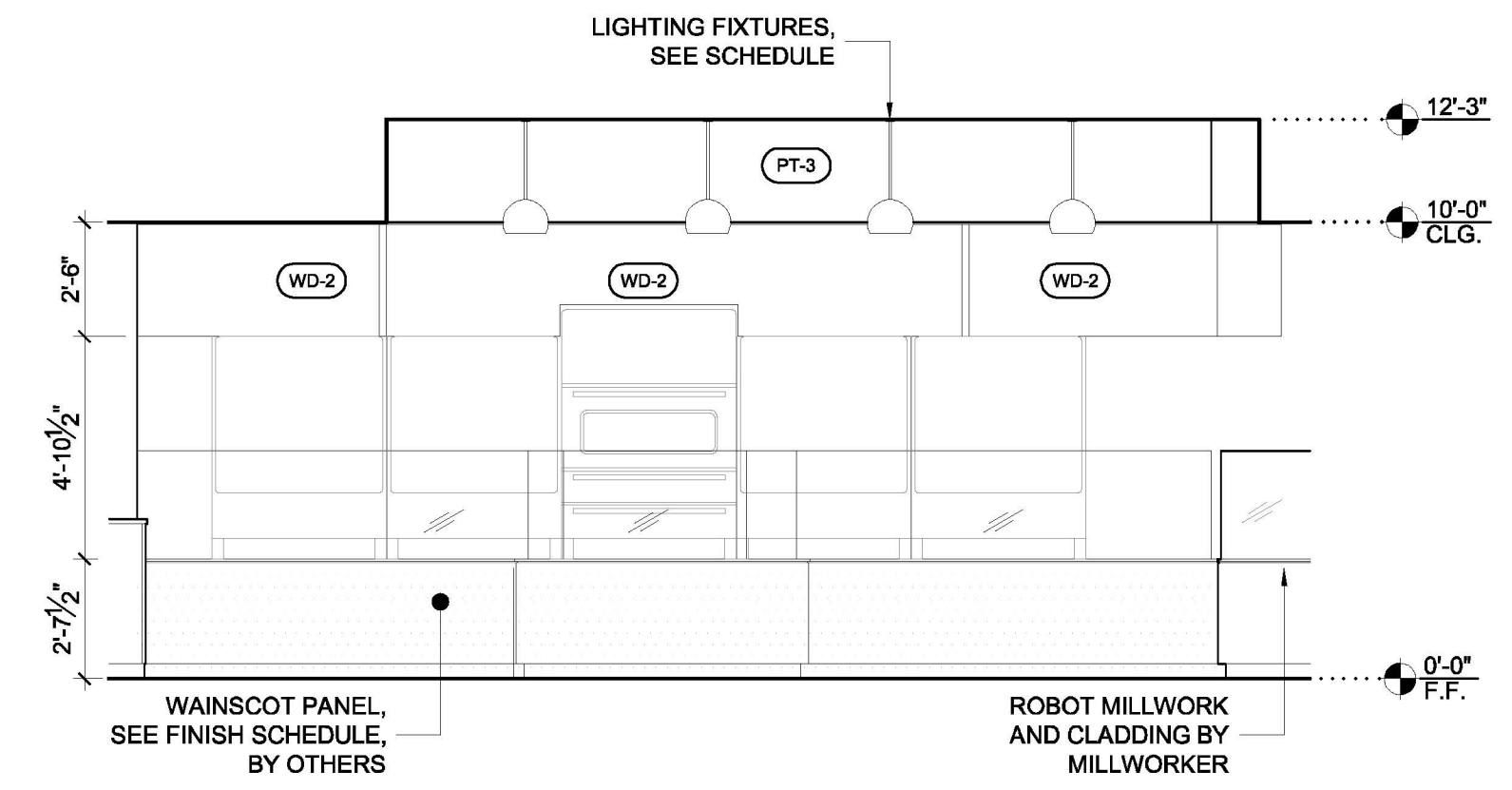
**B** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



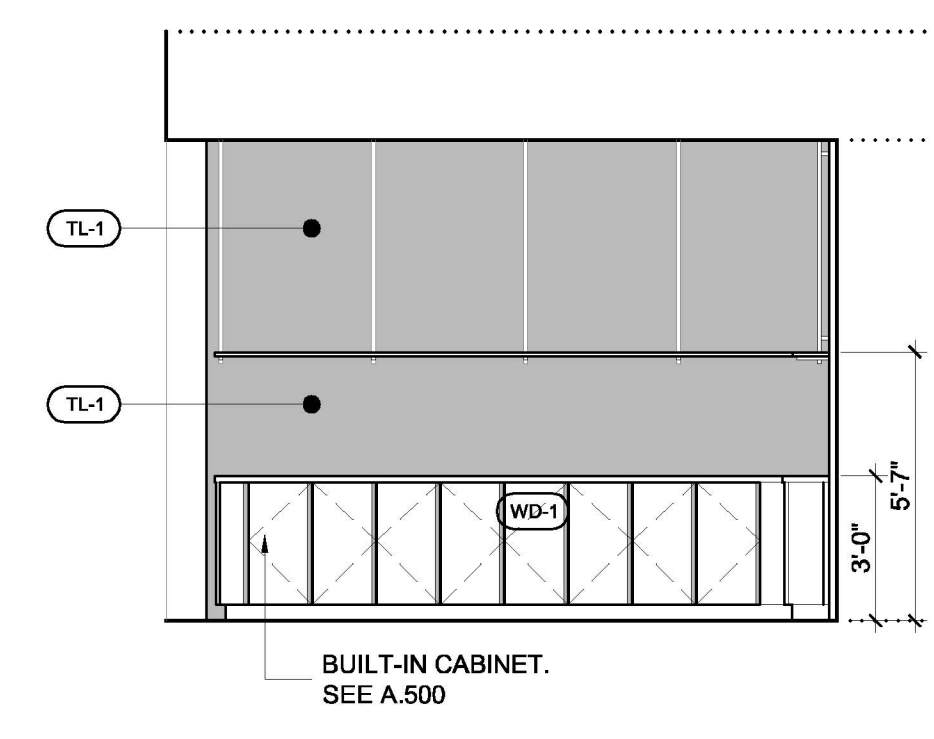
**C** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



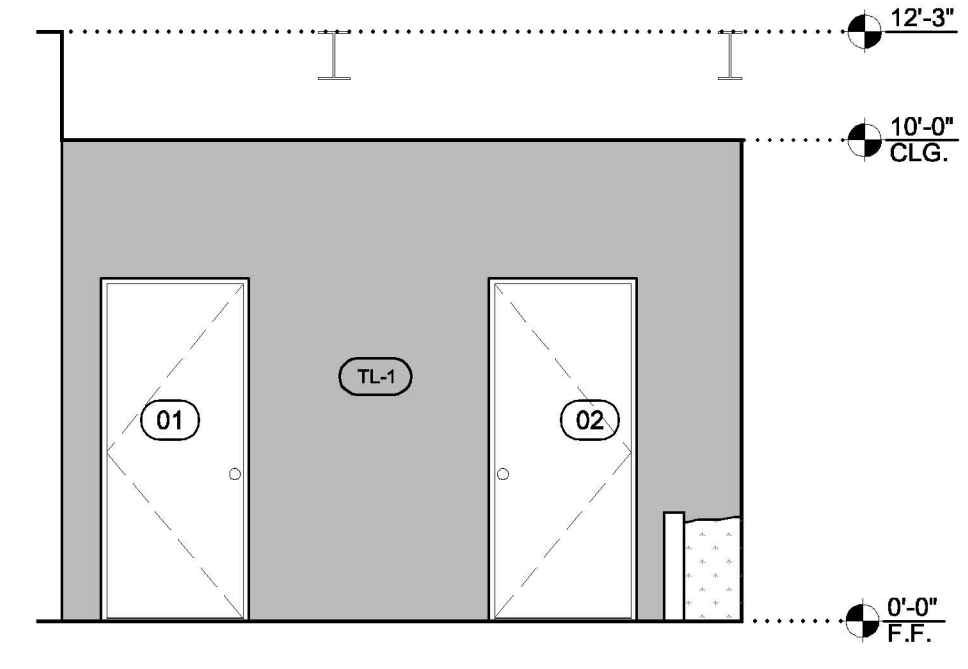
**D** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



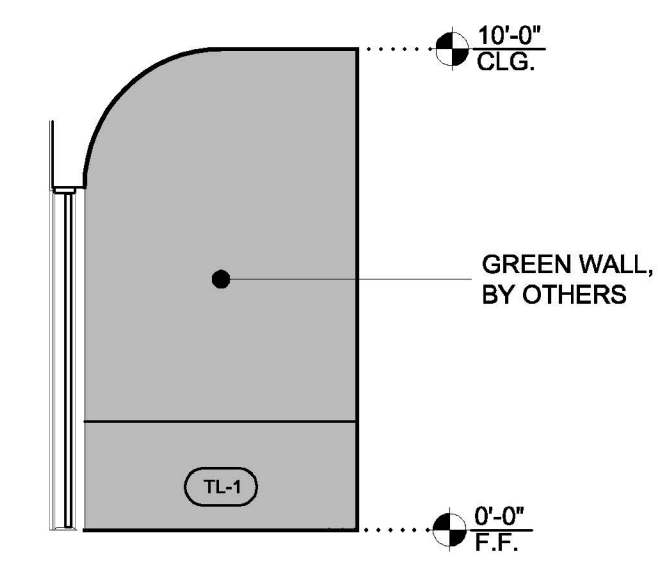
**E** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



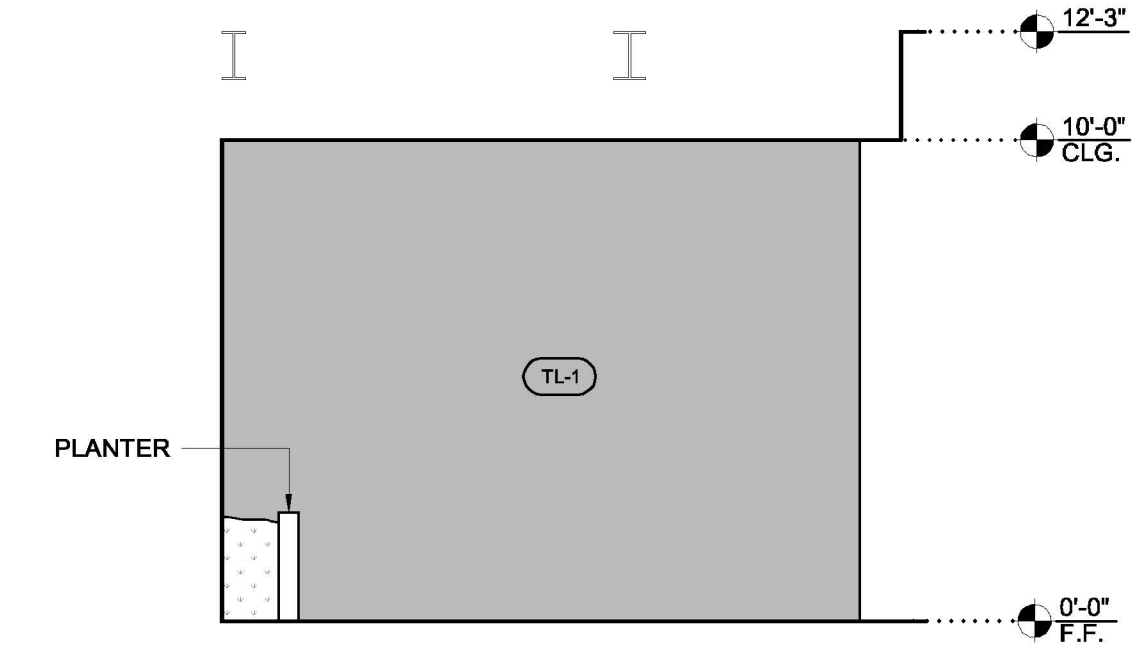
**F** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



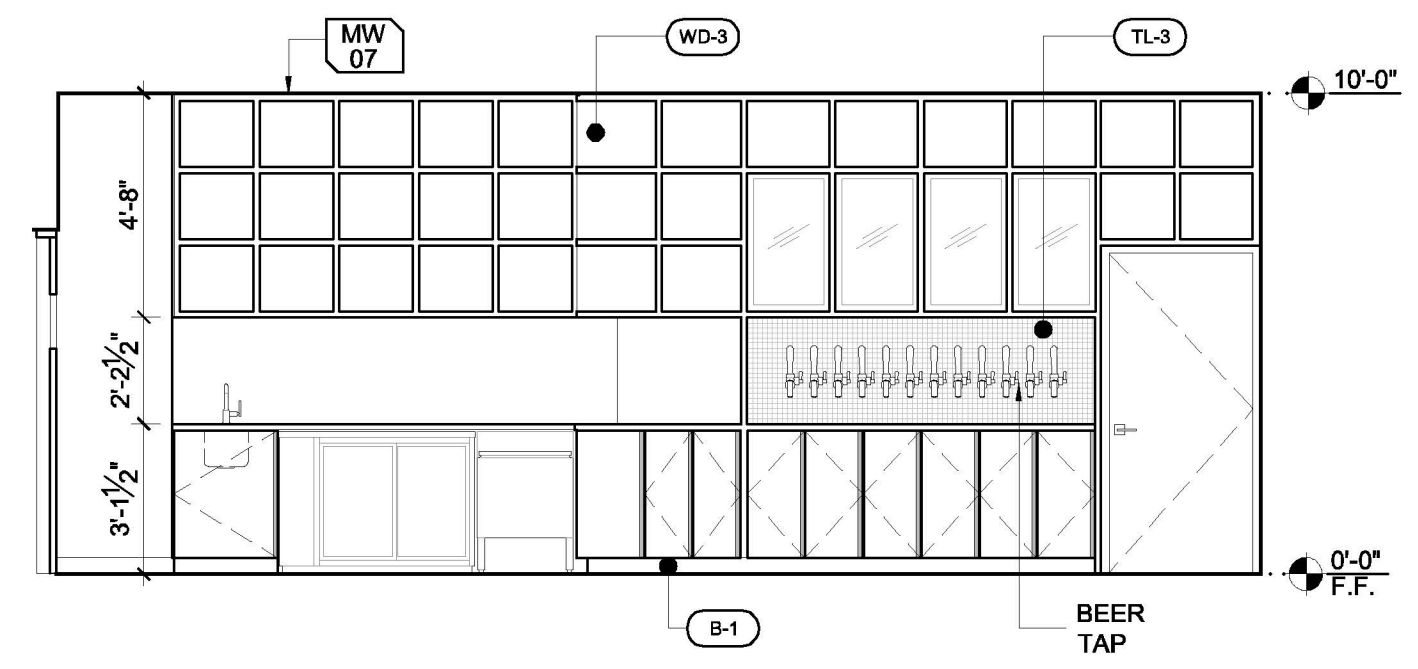
**G** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



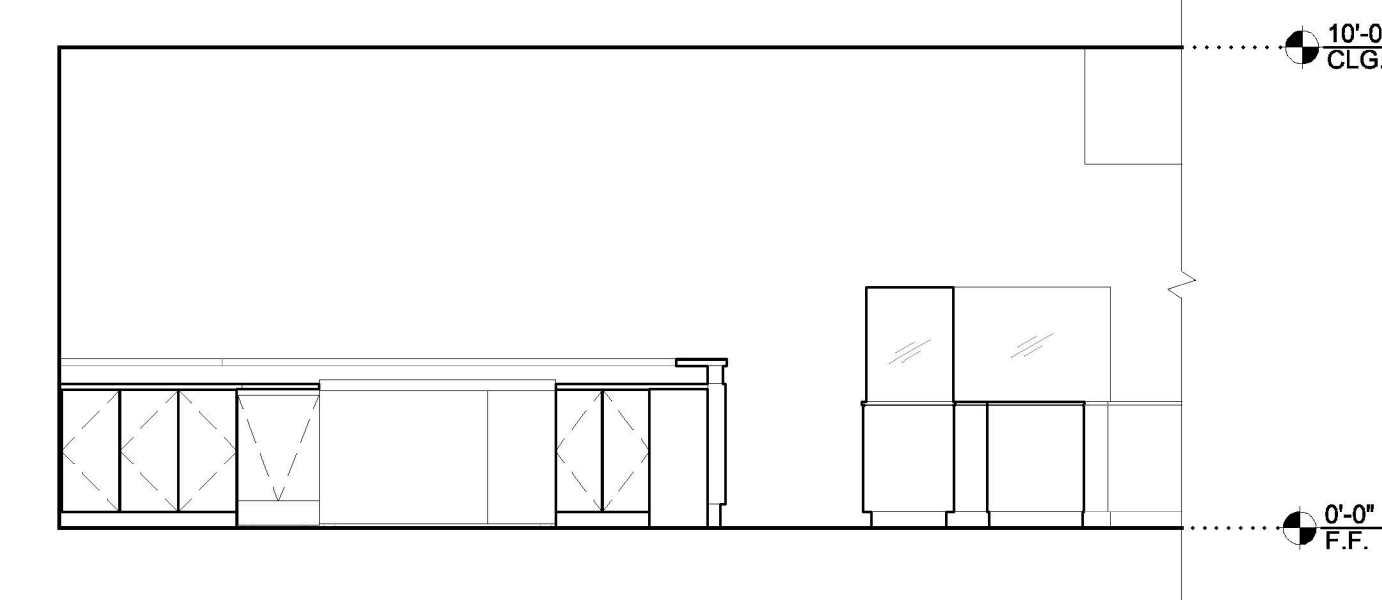
**H** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



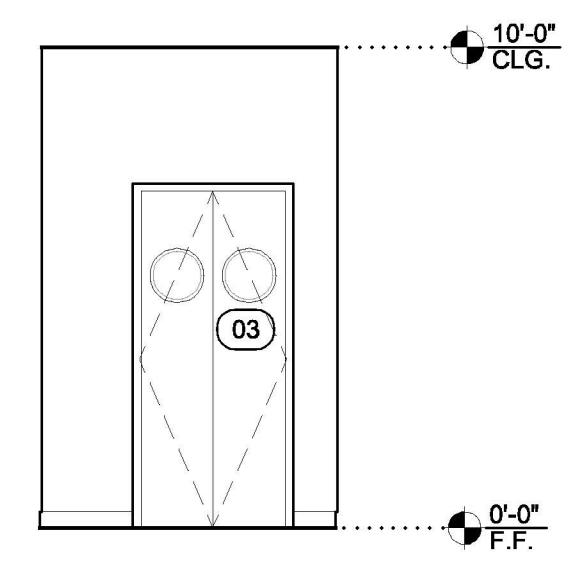
**I** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



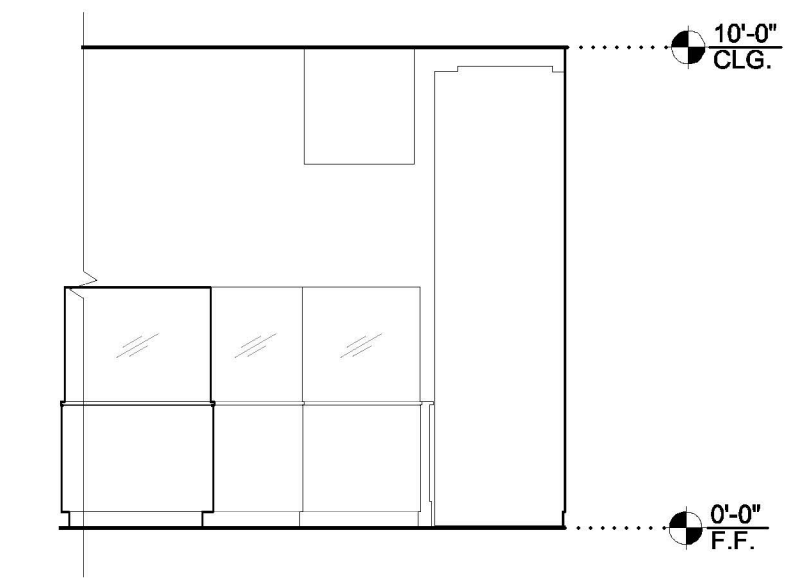
**J** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



**K** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



**L** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"



**M** INTERIOR ELEVATION  
SCALE: 1/4"= 1'-0"

ISSUES:

01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04

NO	DATE	DESCRIPTION

PLOT PLAN (NTS)

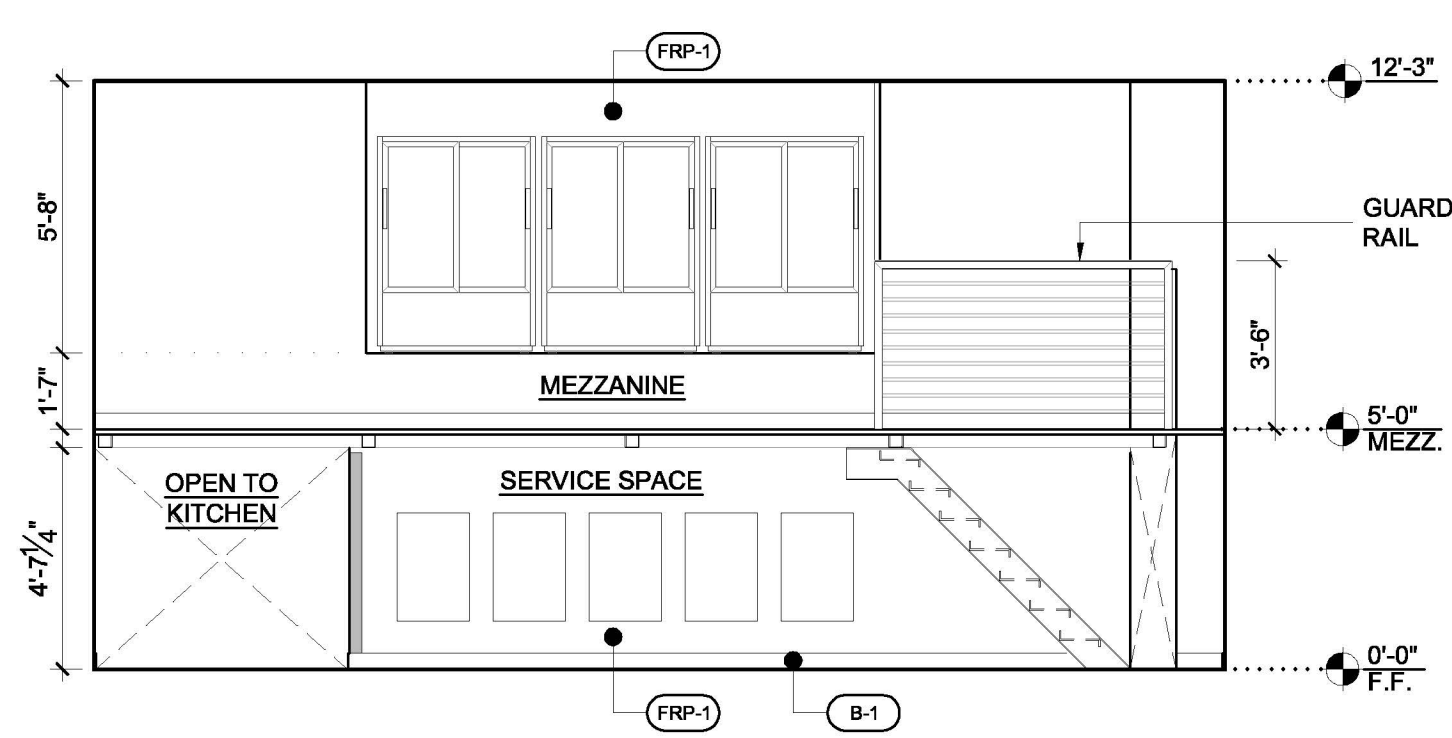
PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

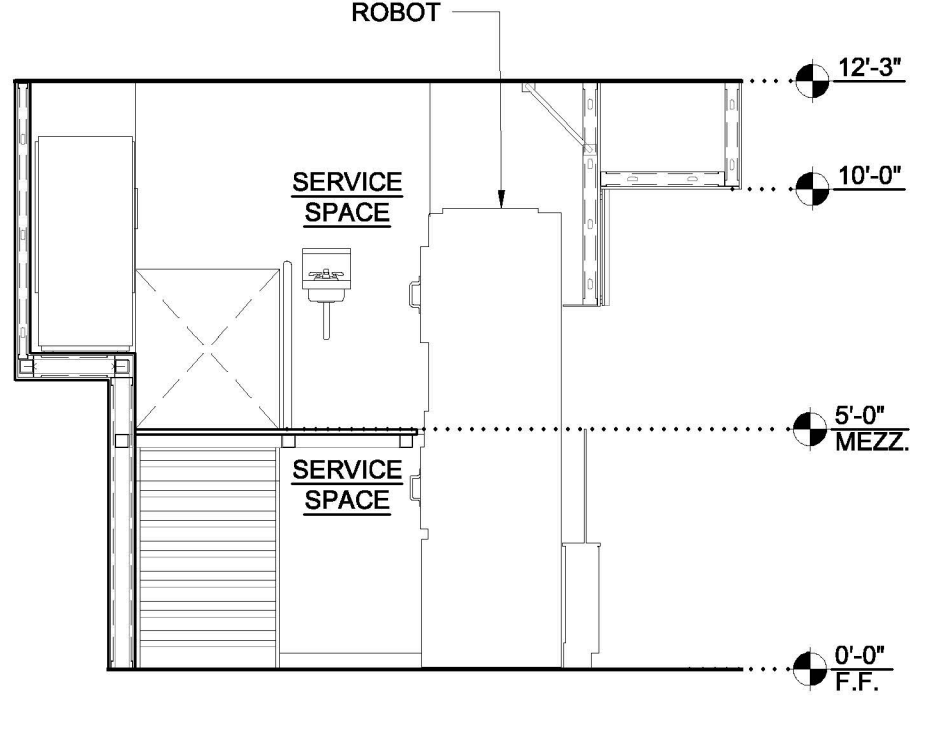
**INTERIOR ELEVATIONS:  
FRONT OF HOUSE**

SEAL

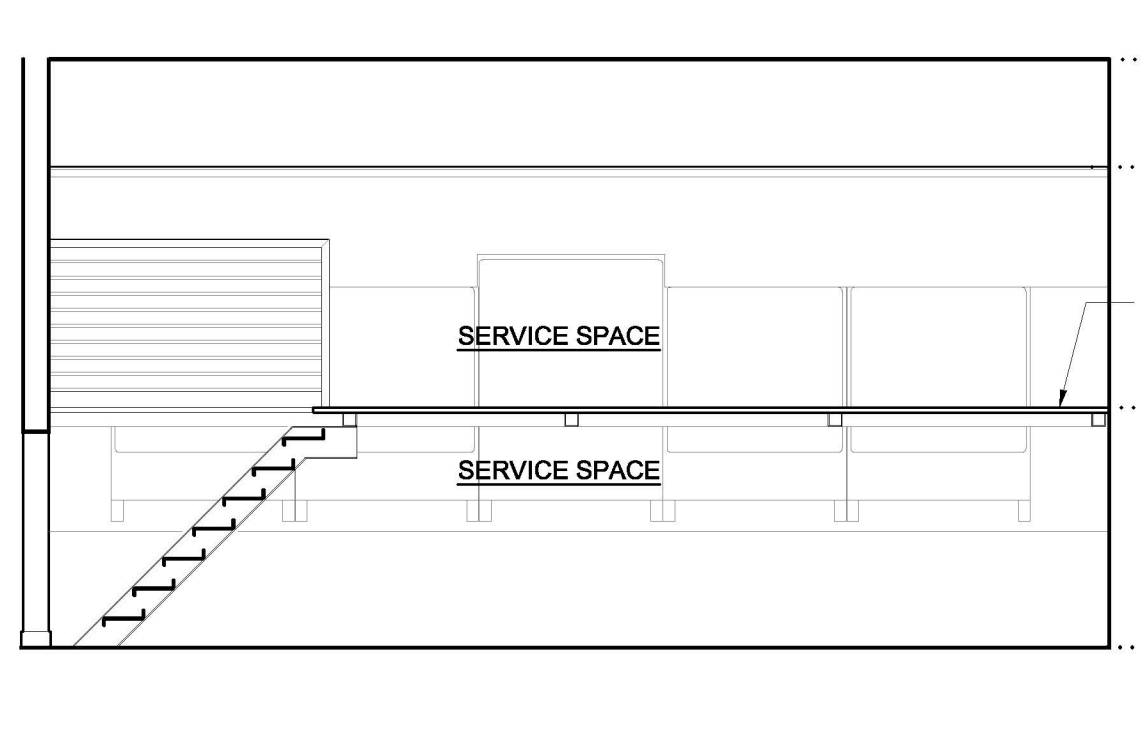
PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.:  
**A-200.00**



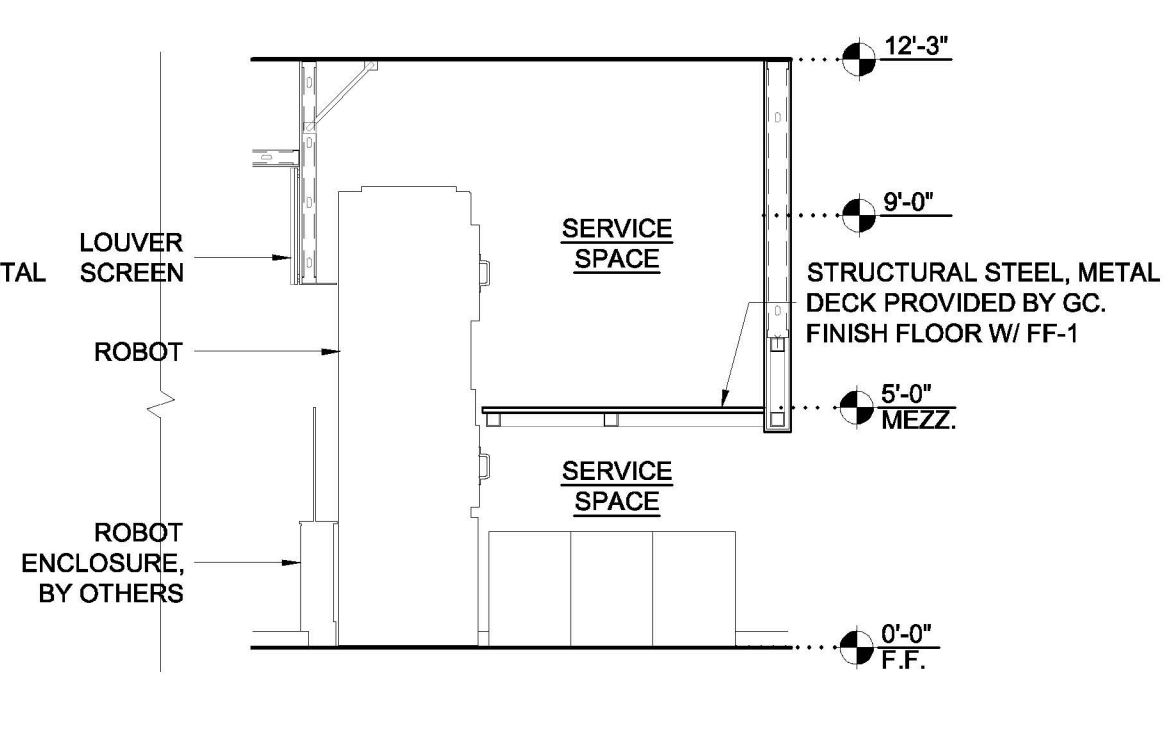
**A** ELEVATION: SERVICE SPACE & MEZZANINE  
SCALE: 1/4"= 1'-0"



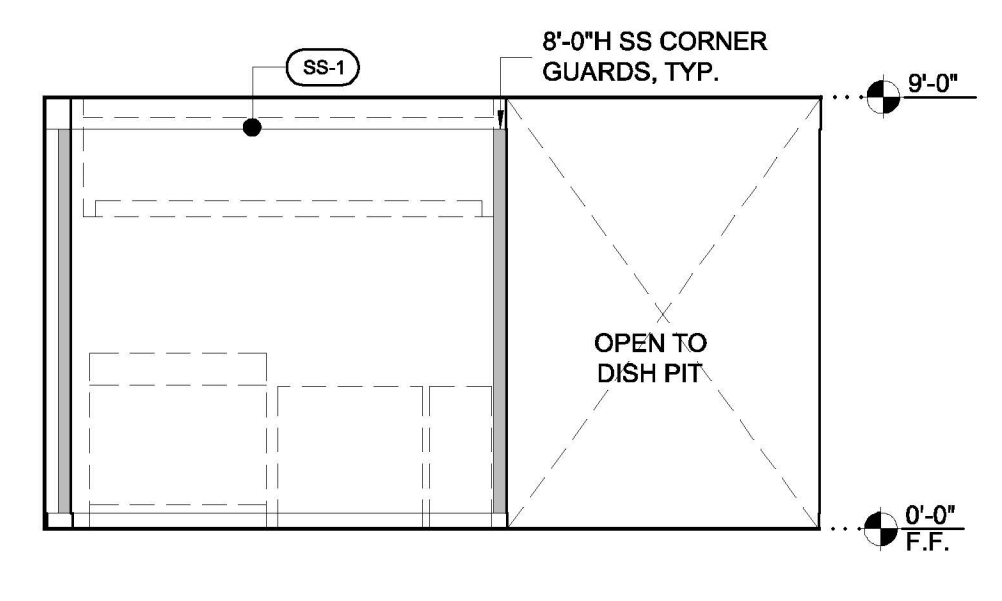
**B** ELEVATION: SERVICE SPACE & MEZZ  
SCALE: 1/4"= 1'-0"



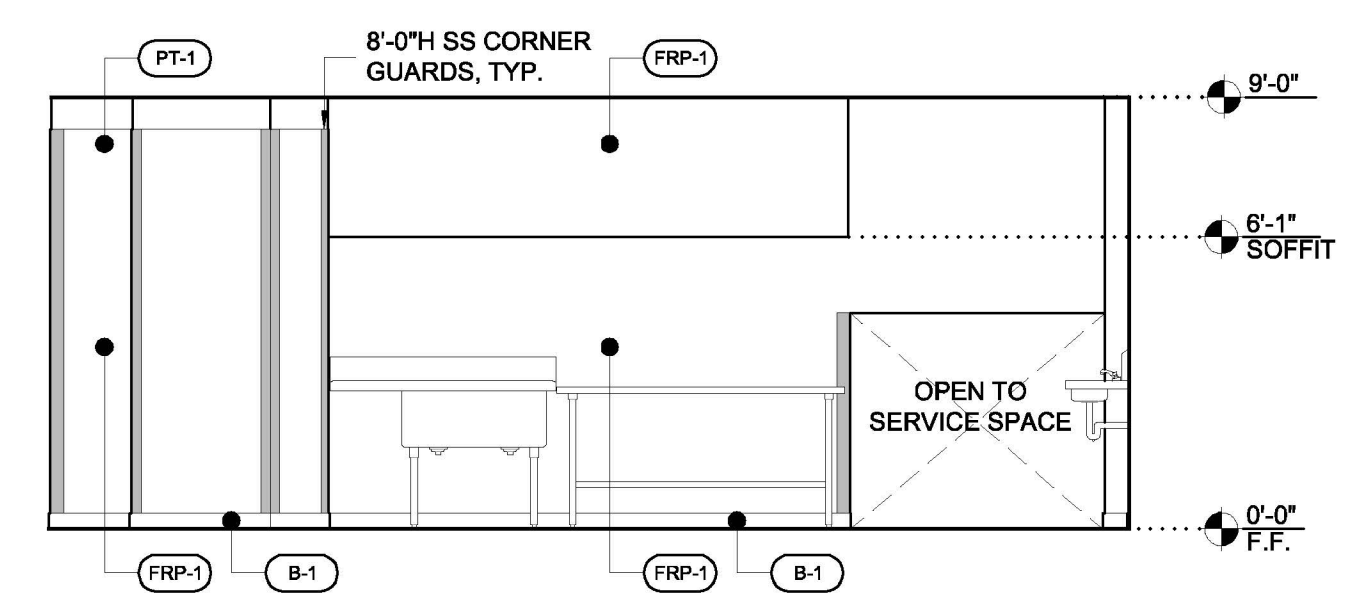
**C** ELEVATION: SERVICE SPACE & MEZZANINE  
SCALE: 1/4"= 1'-0"



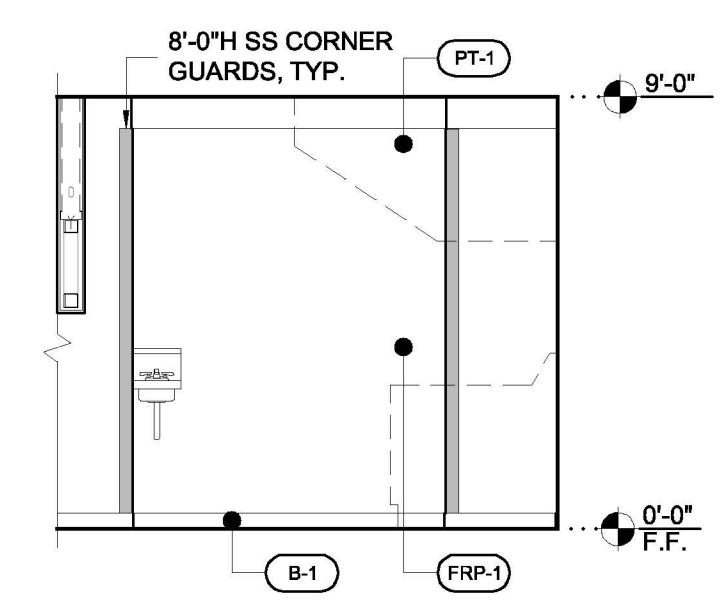
**D** ELEVATION: SERVICE SPACE & MEZZANINE  
SCALE: 1/4"= 1'-0"



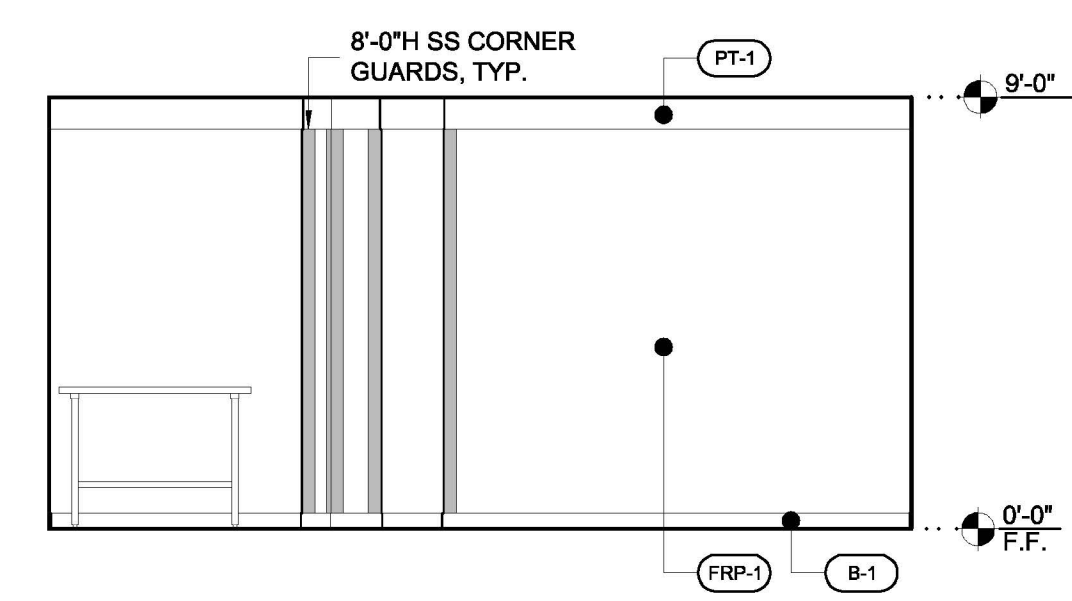
**E** ELEVATION: KITCHEN  
SCALE: 1/4"= 1'-0"



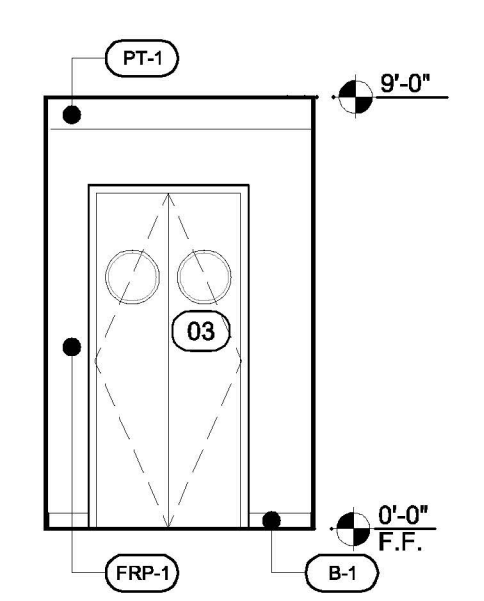
**F** ELEVATION: KITCHEN  
SCALE: 1/4"= 1'-0"



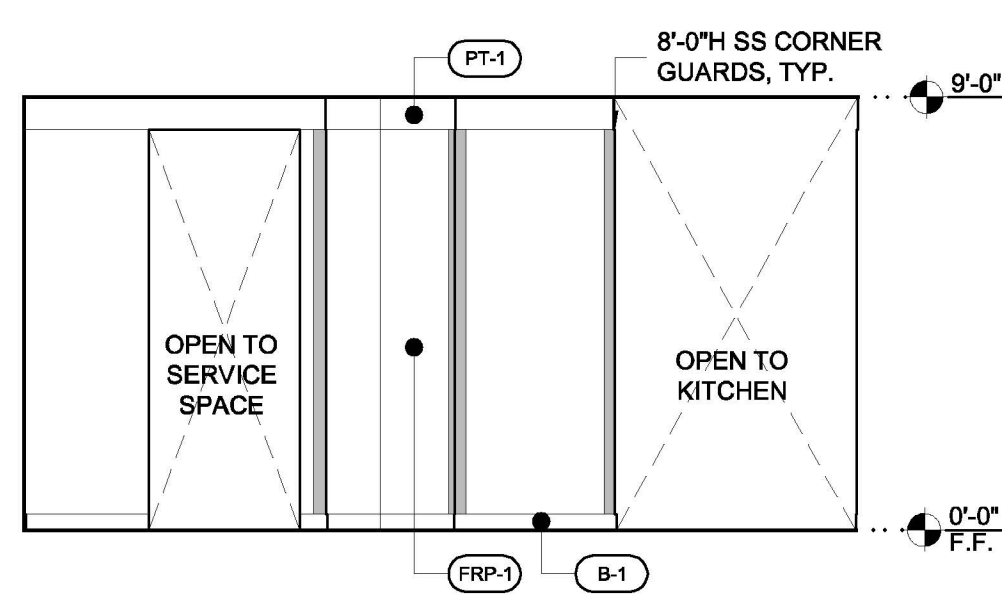
**G** ELEVATION: KITCHEN  
SCALE: 1/4"= 1'-0"



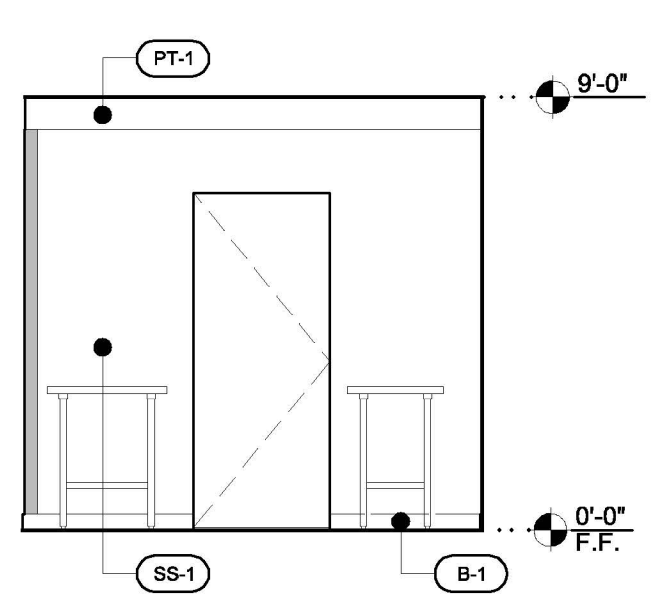
**H** ELEVATION: SERVICE HALL  
SCALE: 1/4"= 1'-0"



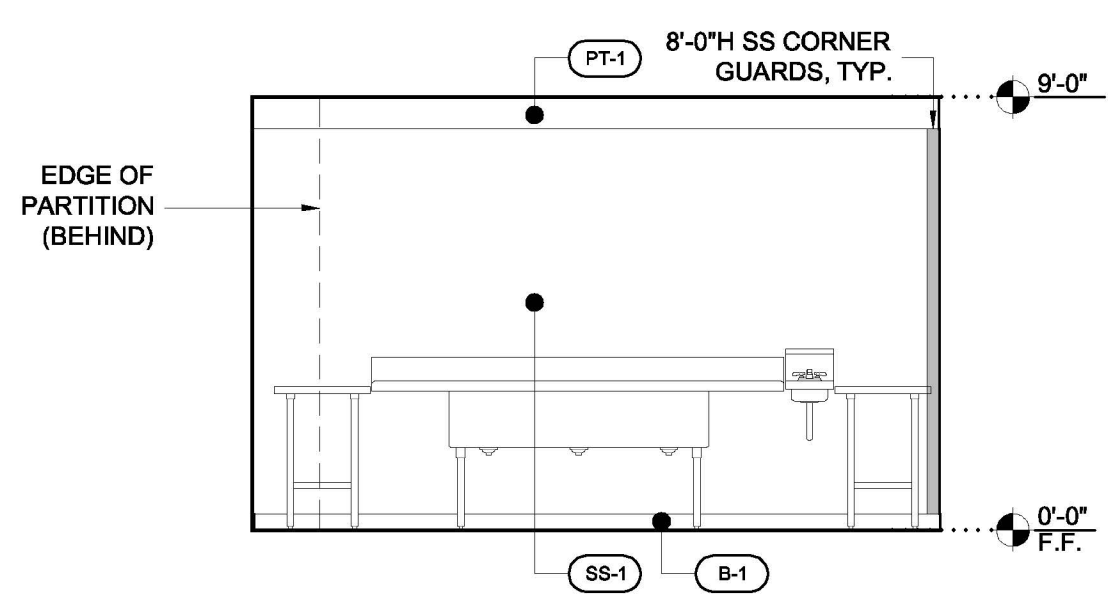
**I** ELEVATION: SERVICE HALL  
SCALE: 1/4"= 1'-0"



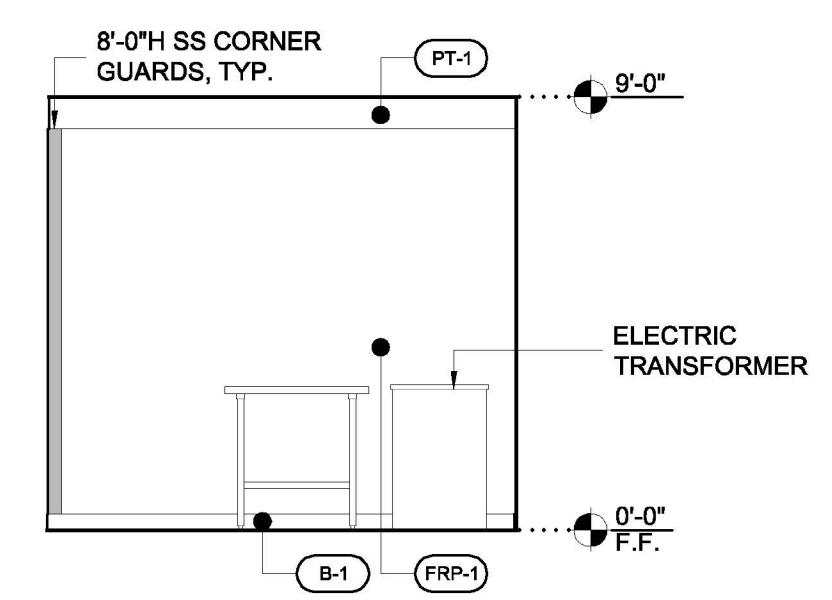
**J** ELEVATION: SERVICE HALL  
SCALE: 1/4"= 1'-0"



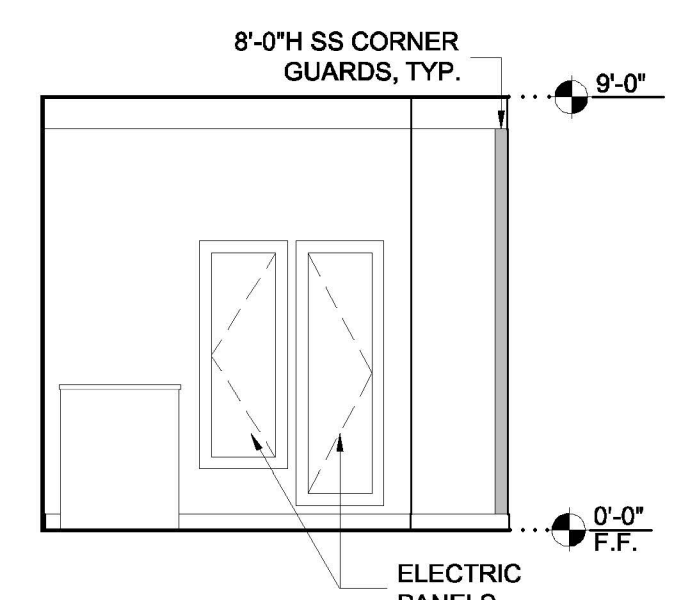
**K** ELEVATION: SERVICE HALL  
SCALE: 1/4"= 1'-0"



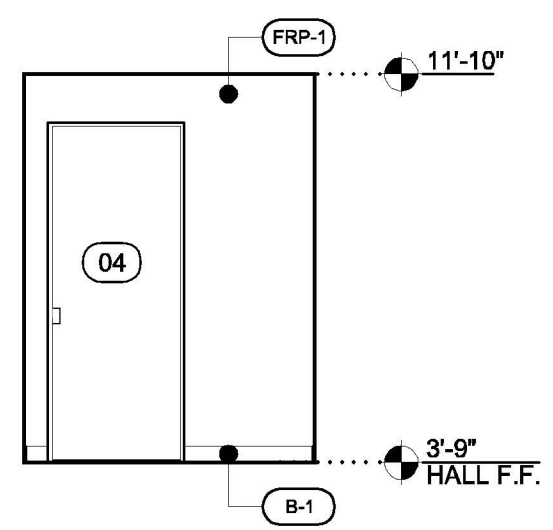
**L** ELEVATION: DISH PIT  
SCALE: 1/4"= 1'-0"



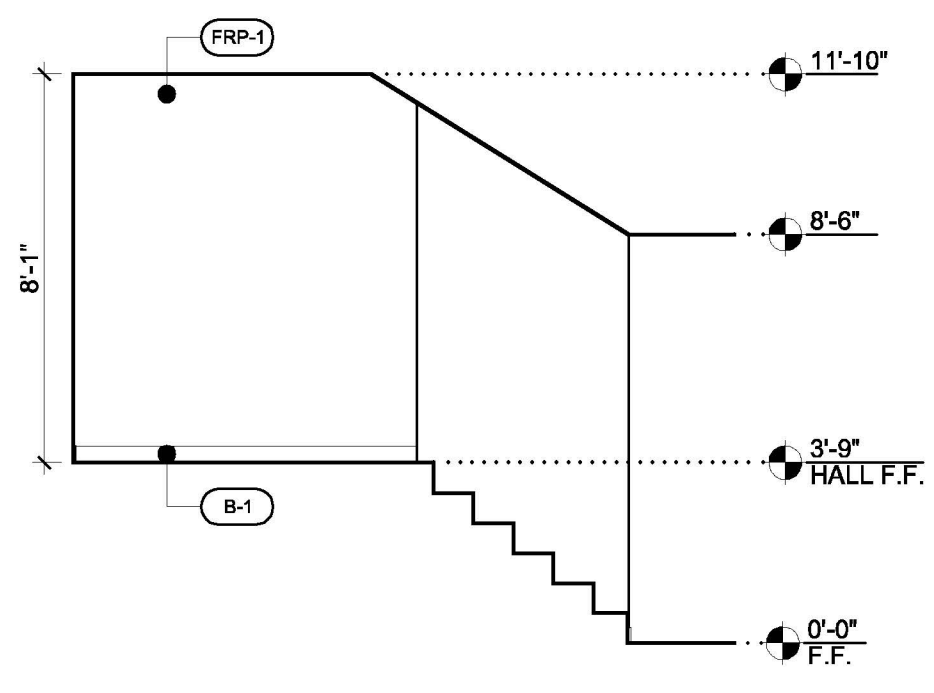
**M** ELEVATION: DISH PIT  
SCALE: 1/4"= 1'-0"



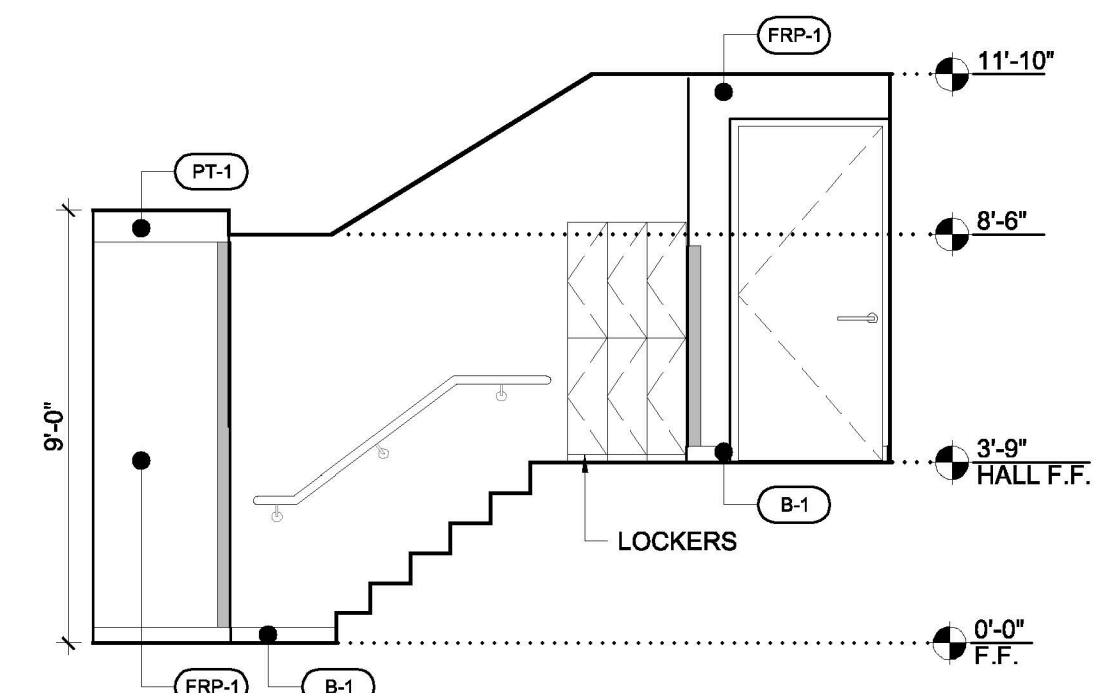
**N** ELEVATION: DISH PIT  
SCALE: 1/4"= 1'-0"



**O** ELEVATION: B.O. HALL  
SCALE: 1/4"= 1'-0"



**P** ELEVATION: B.O. HALL  
SCALE: 1/4"= 1'-0"



**Q** ELEVATION: B.O. HALL  
SCALE: 1/4"= 1'-0"

ISSUES:

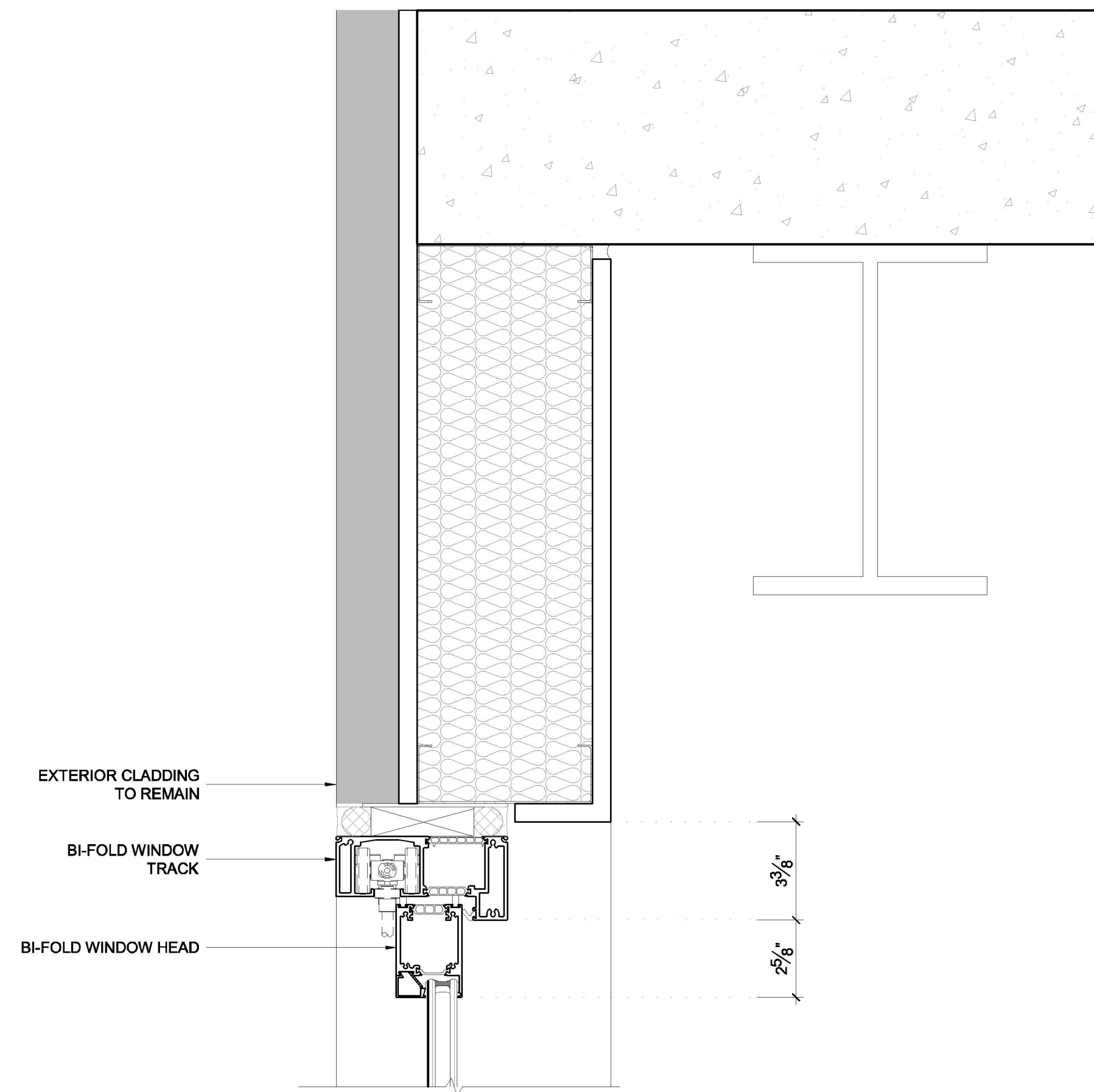
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04

NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

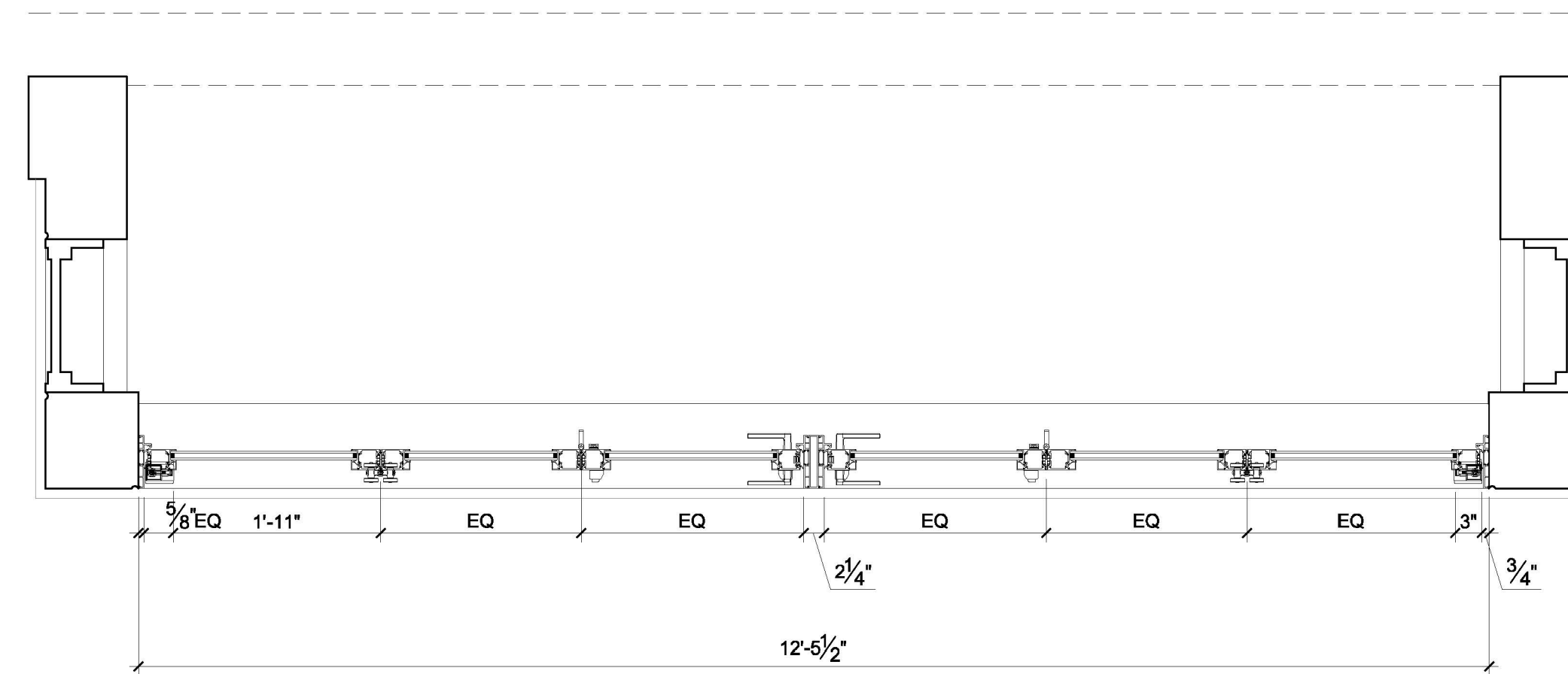
PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:  
**INTERIOR ELEVATIONS:  
BACK OF HOUSE**

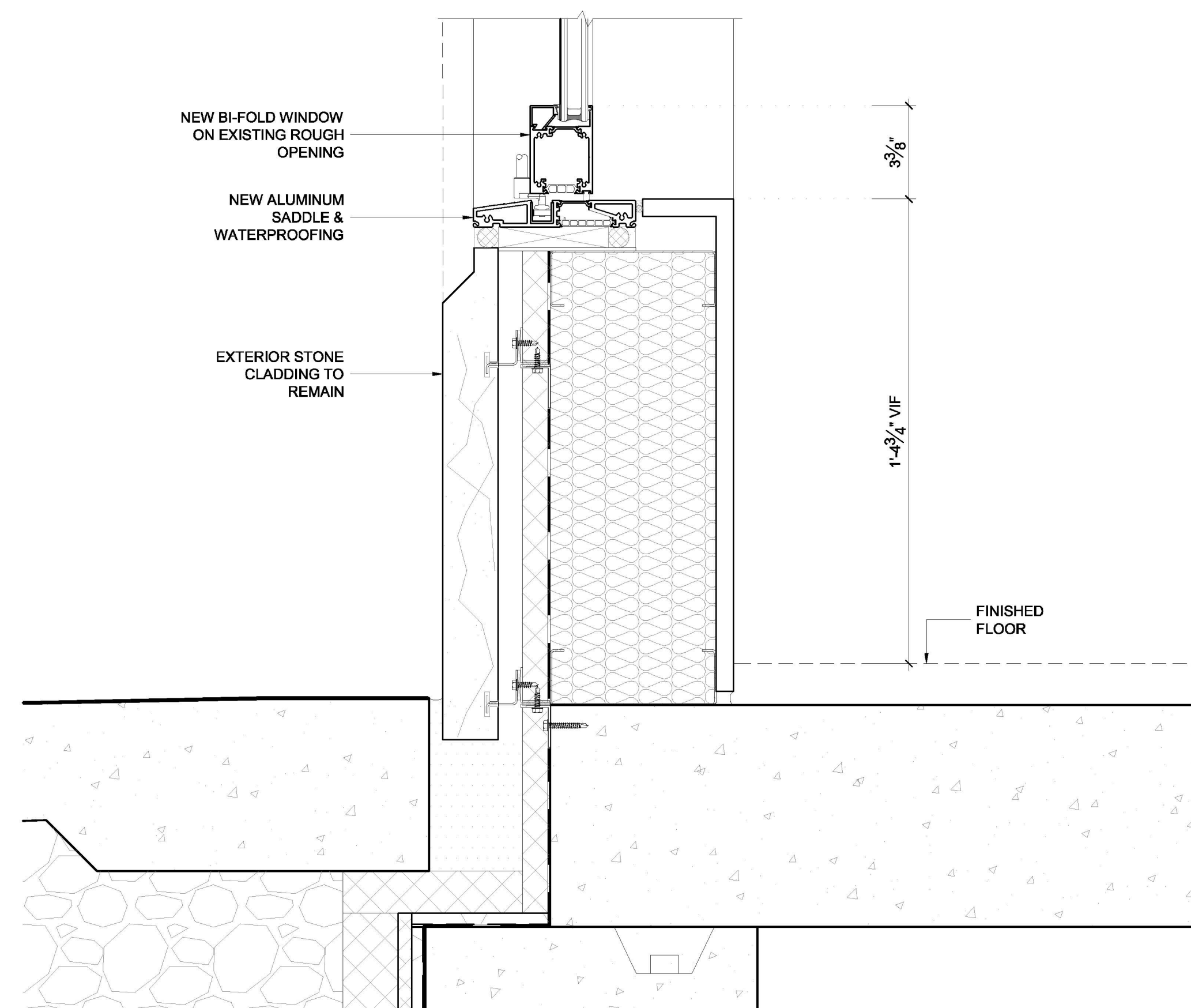
SEAL  
PROJECT NO.: 19-07  
SCALE: As Noted  
SHEET SIZE: 24 x 36  
DRAWING NO.:  
**A-201.00**



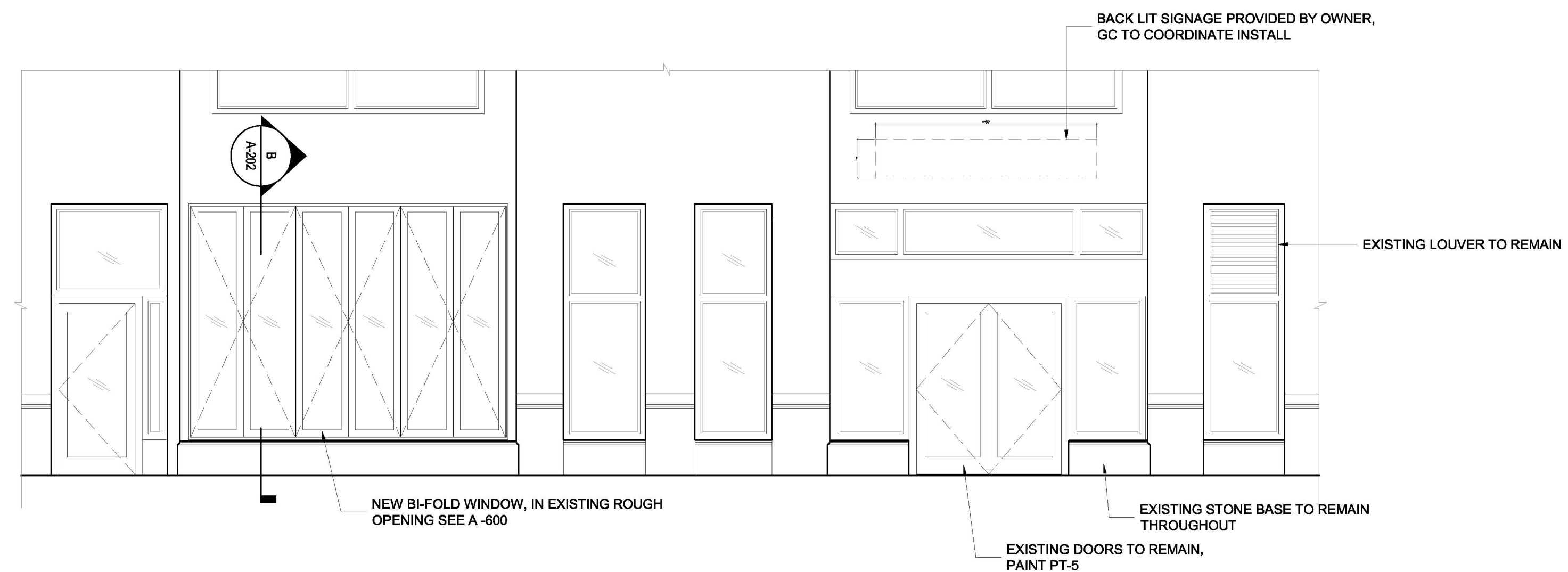
**C** SECTION: WINDOW HEAD DETAIL  
SCALE: 3"= 1'-0"



**D** ENLARGED PLAN: WINDOW  
SCALE: 3/4"= 1'-0"



**B** SECTION: WINDOW SILL DETAIL  
SCALE: 3"= 1'-0"



**A** ELEVATION: EXTERIOR  
SCALE: 1/4"= 1'-0"

ISSUES:

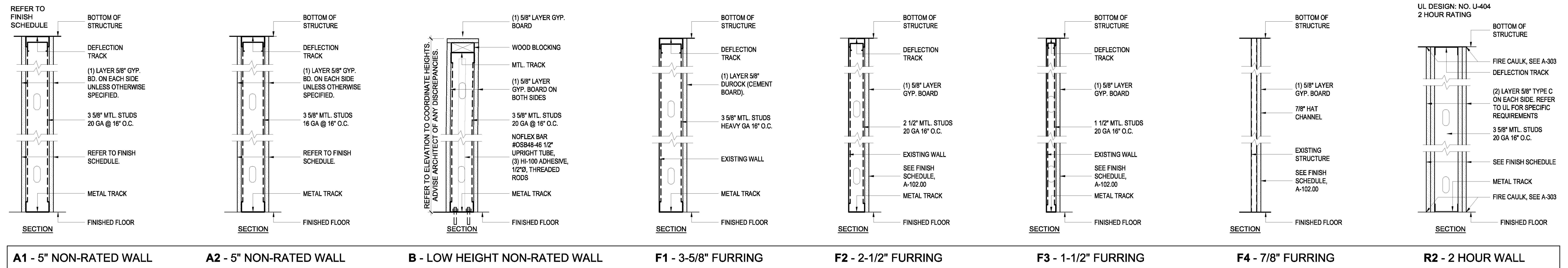
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04

NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

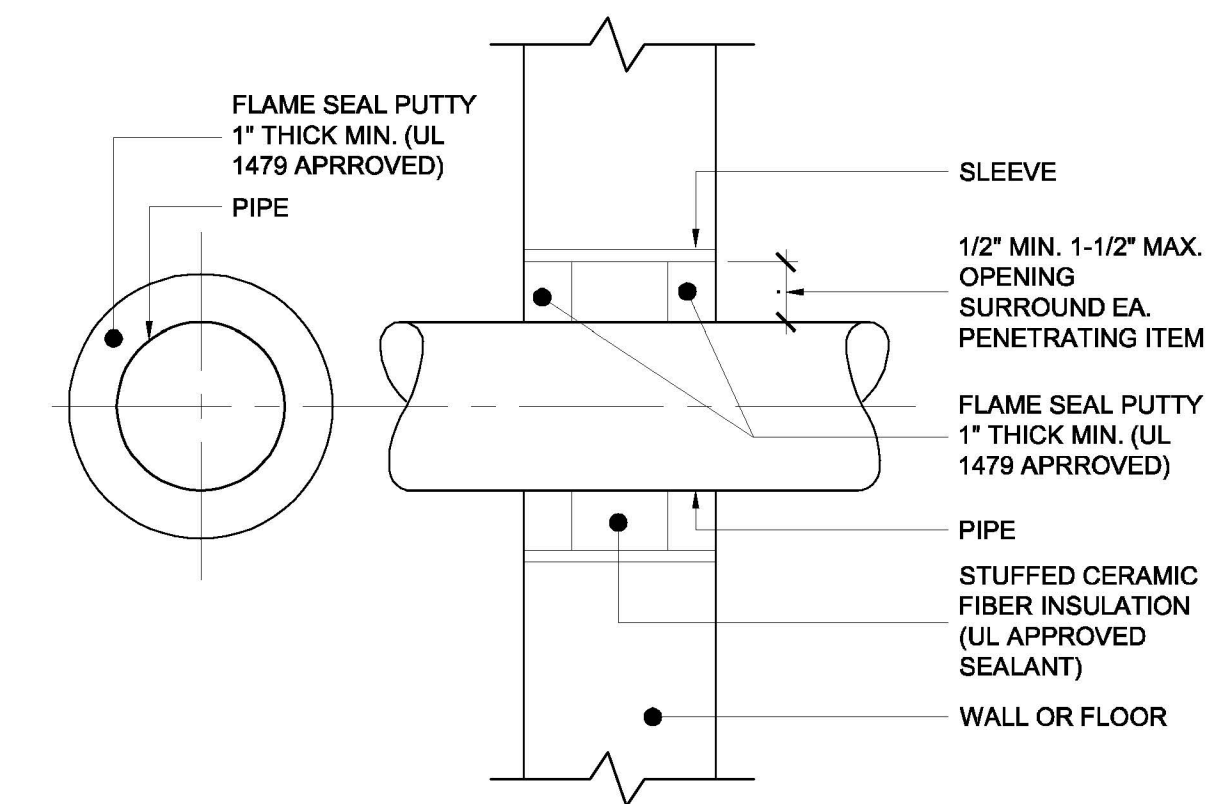
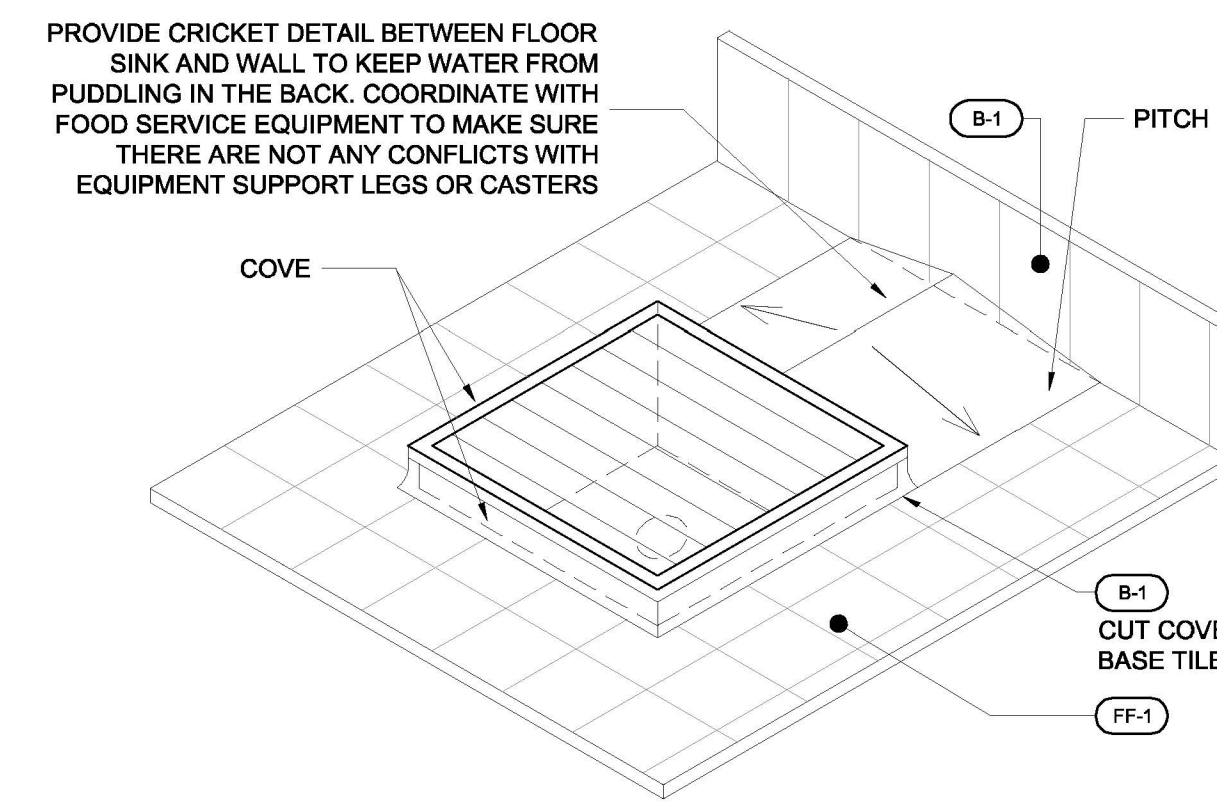
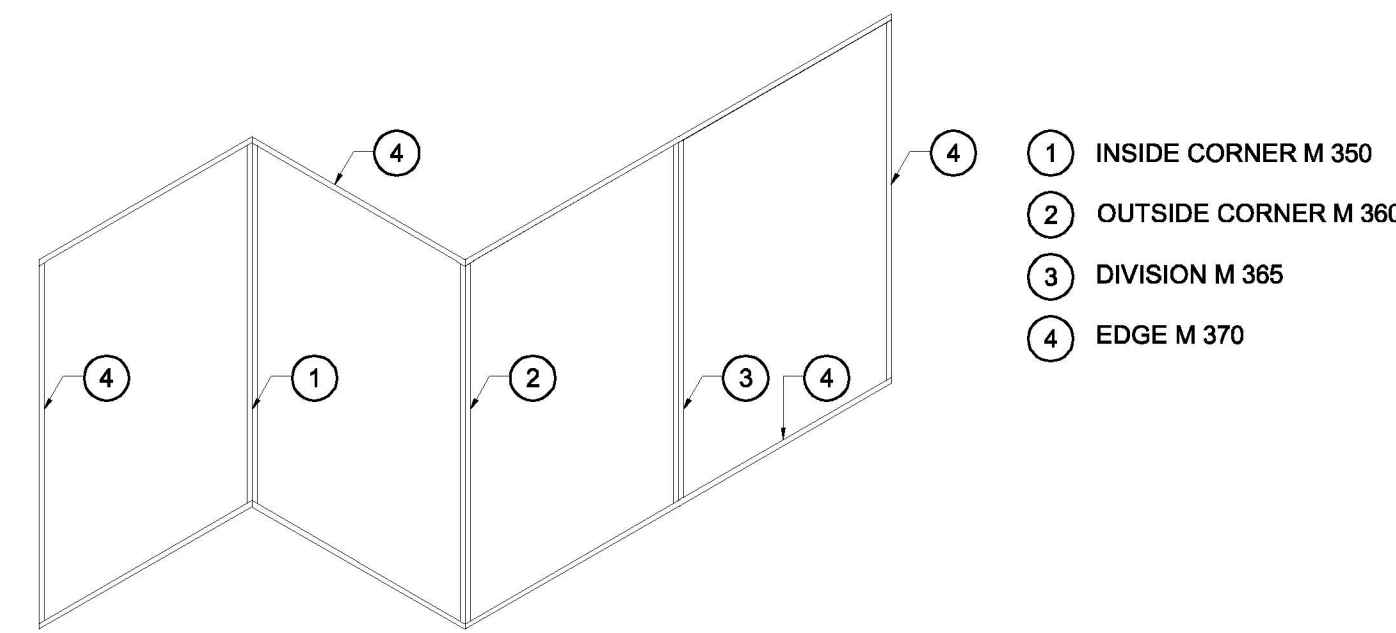
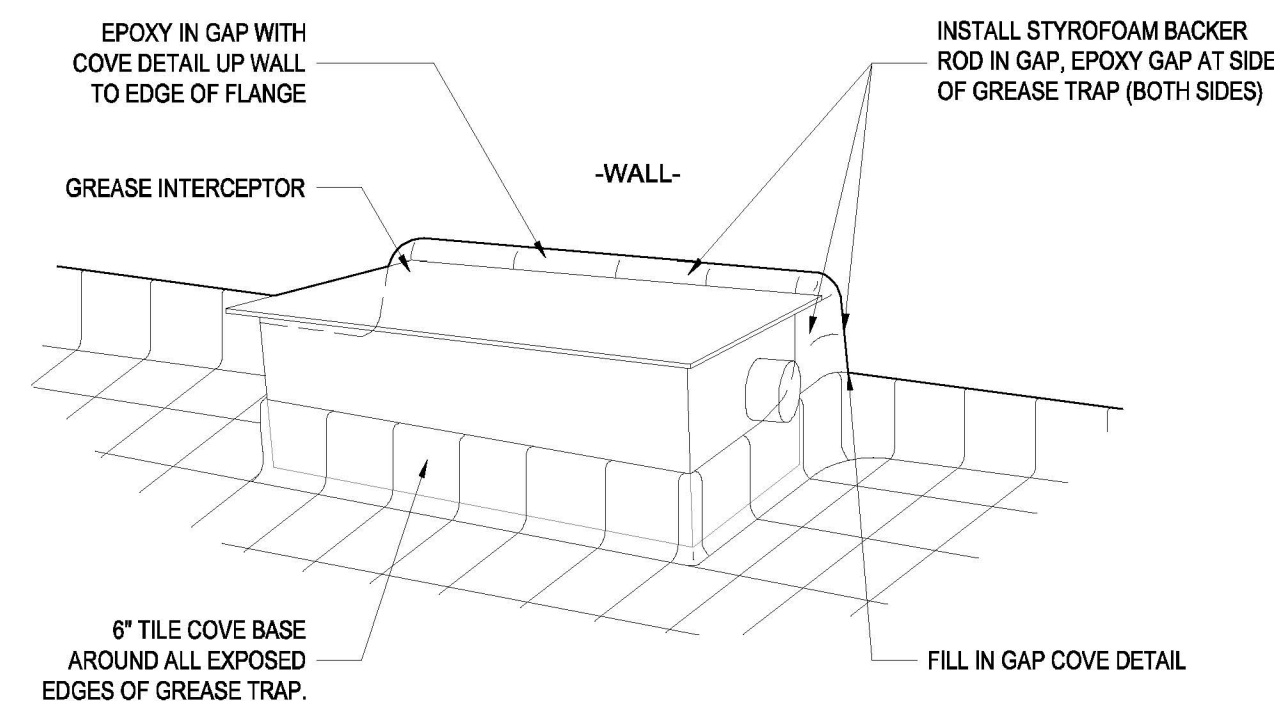
PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:  
**EXTERIOR ELEVATIONS:  
& DETAILS**

SEAL: [Professional Seal]  
PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.: **A-202.00**



**A** INTERIOR PARTITION DETAILS  
SCALE: 1-1/2" = 1'-0"

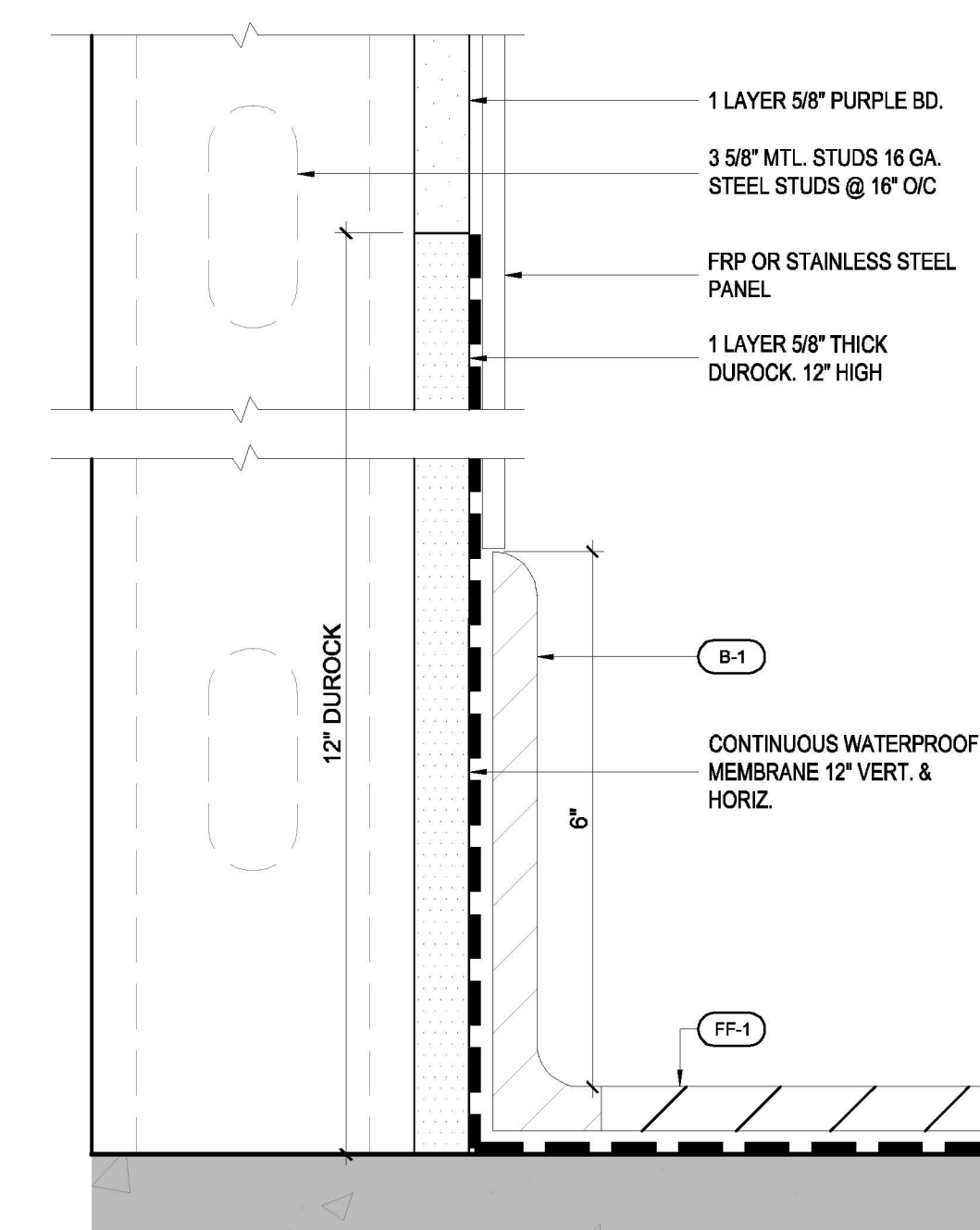
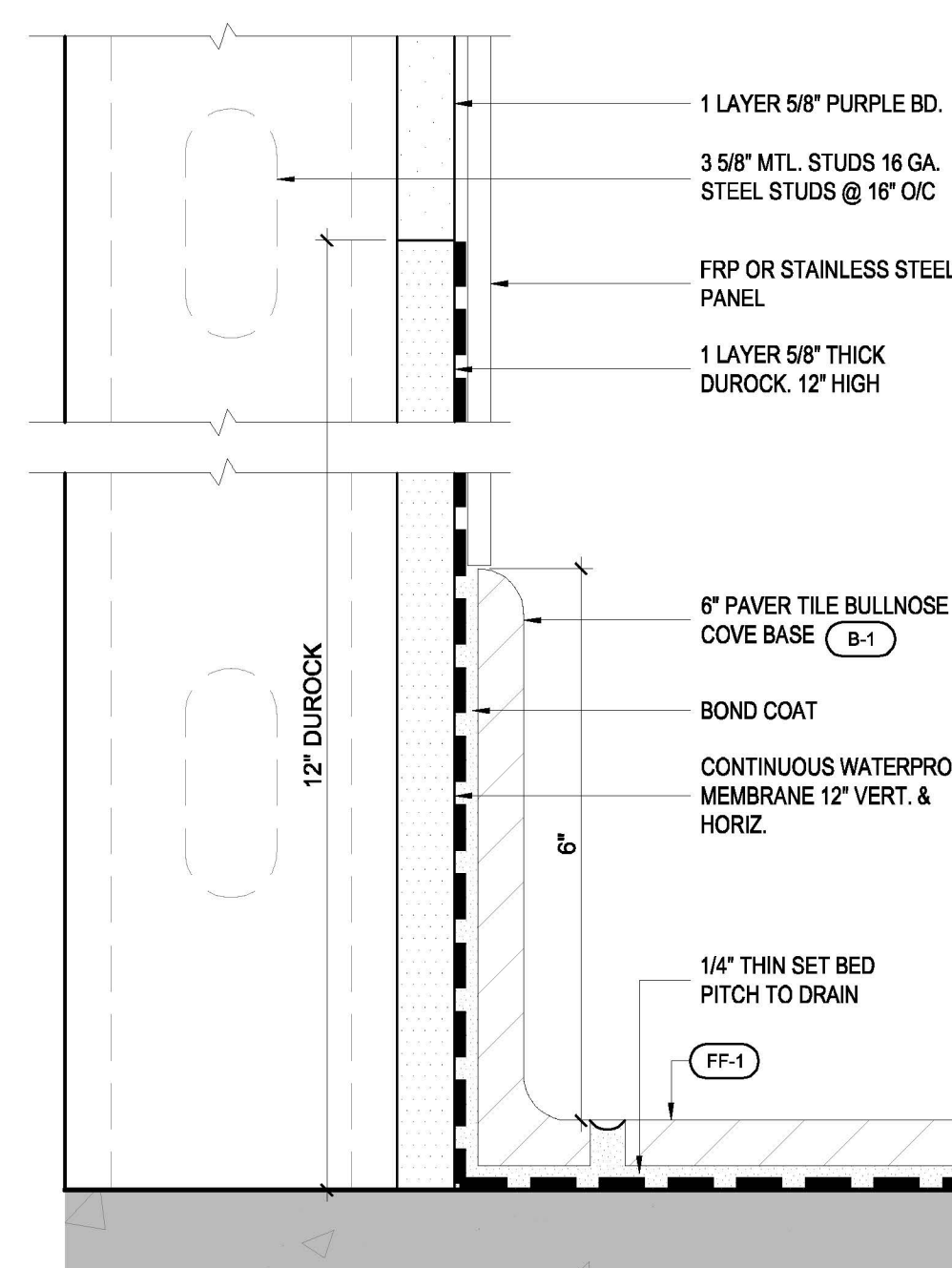
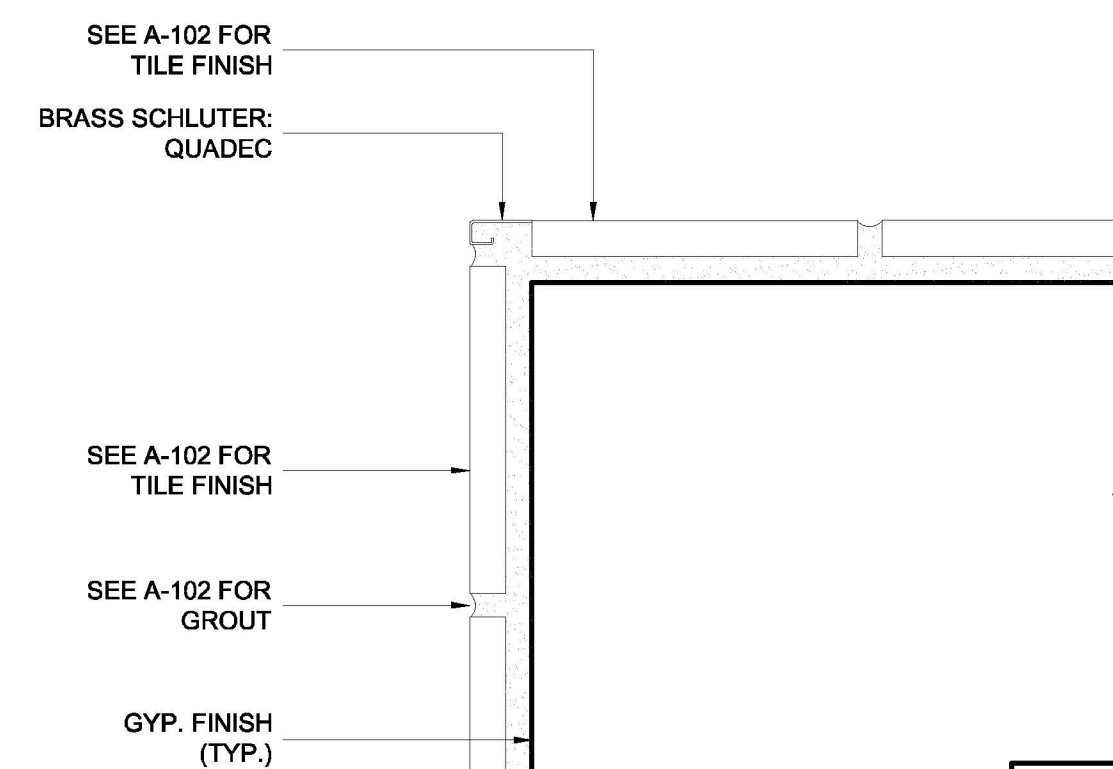
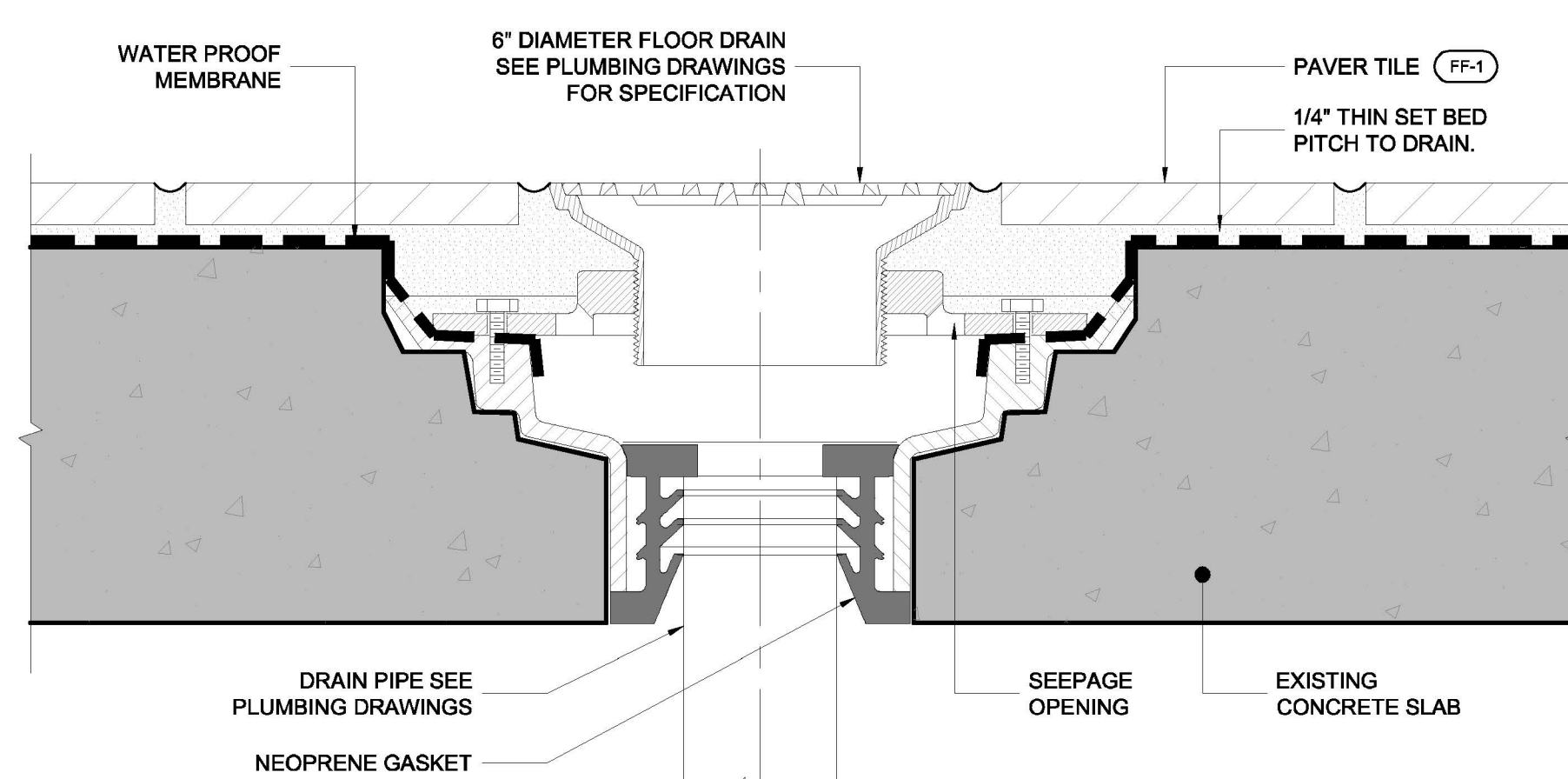


**B** TRAP COVE DETAIL  
NOT TO SCALE

**C** F.R.P. COMPONENTS & CONDITIONS @ 1"  
NOT TO SCALE

**D** AXON: SANITARY CONDITION  
NOT TO SCALE

**E** FIRE STOP DETAIL  
SCALE: 3" = 1'-0"



**F** FLOOR DRAIN INSTALLATION & WATERPROOFING  
SCALE: 6" = 1'-0"

**G** TILE DETAIL  
SCALE: 6" = 1'-0"

**H** TILE DETAIL  
SCALE: 6" = 1'-0"

**I** TILE DETAIL  
SCALE: 6" = 1'-0"

ISSUES:

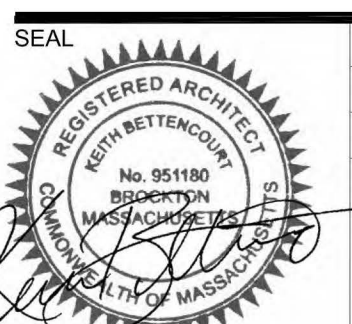
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

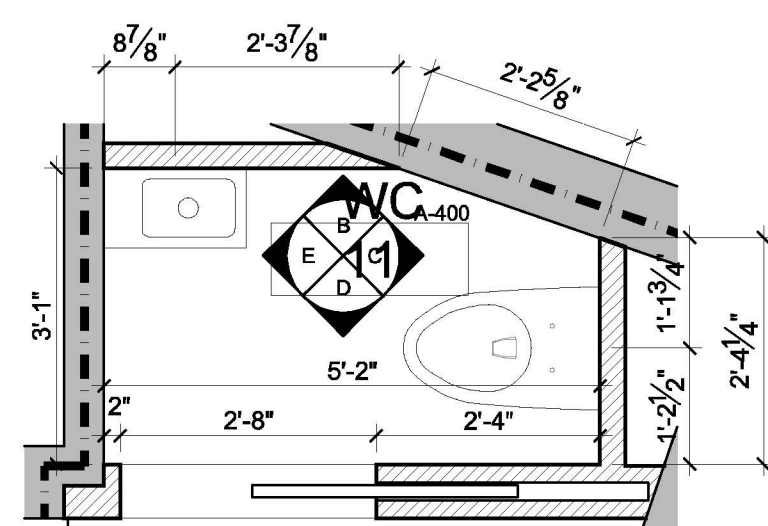
DRAWING TITLE:

**DETAILS**

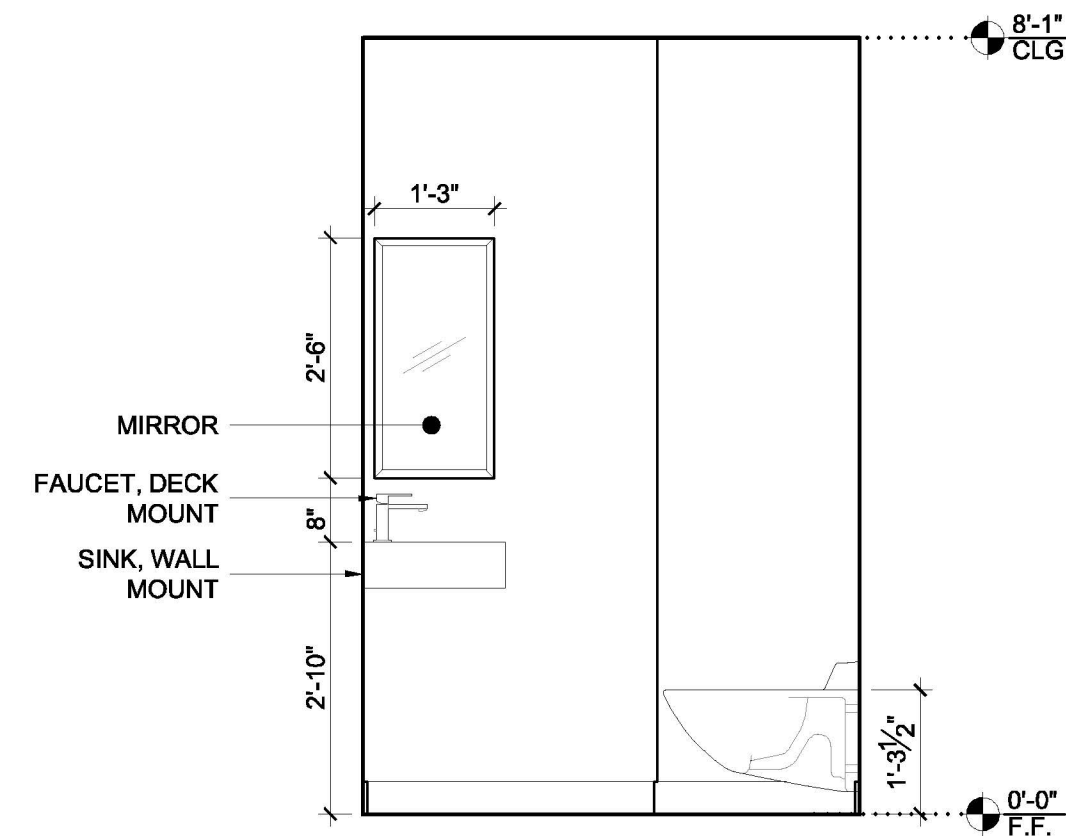


PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.:

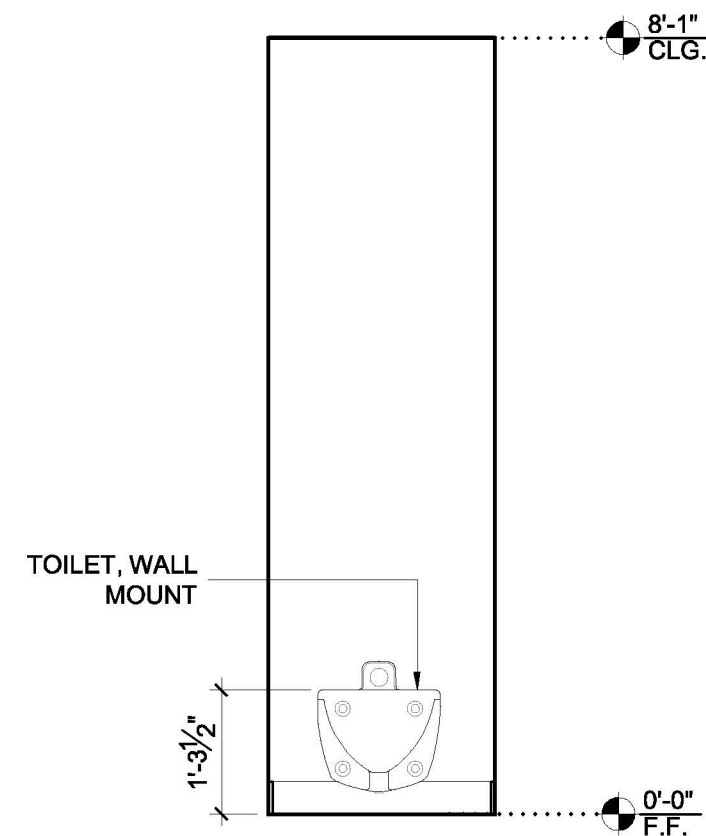
**A-300.00**



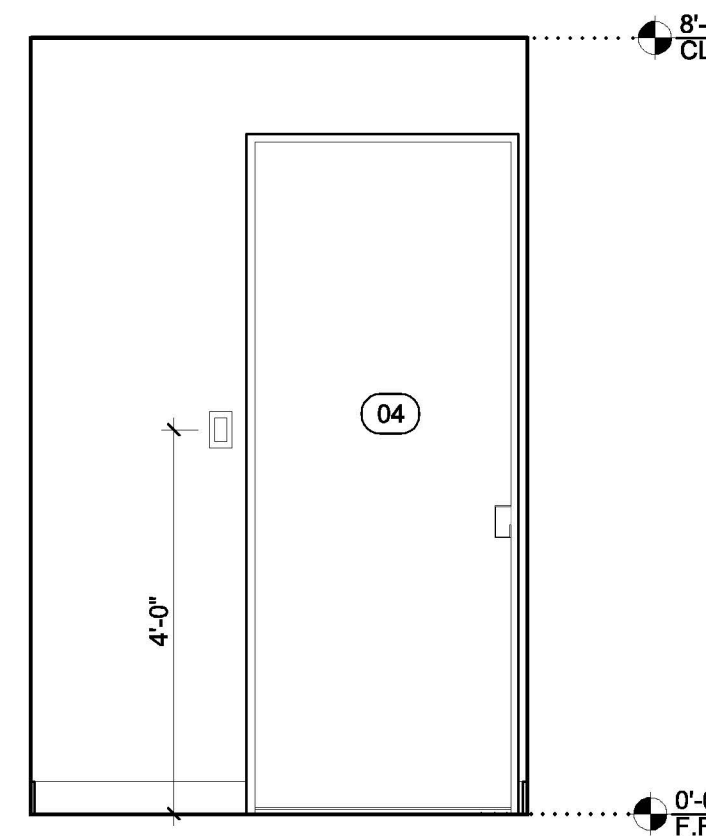
**A** ENLARGED PLAN: BOH W/C  
SCALE: 1/2" = 1'-0"



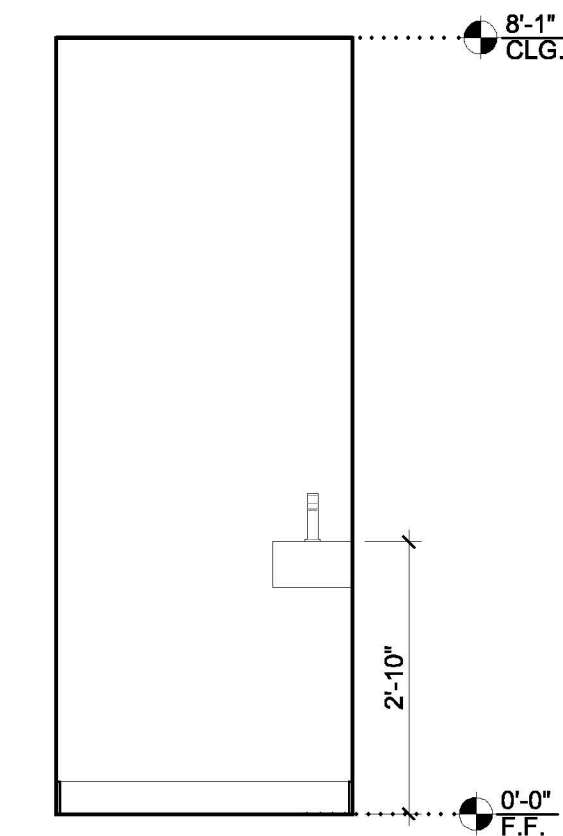
**B** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



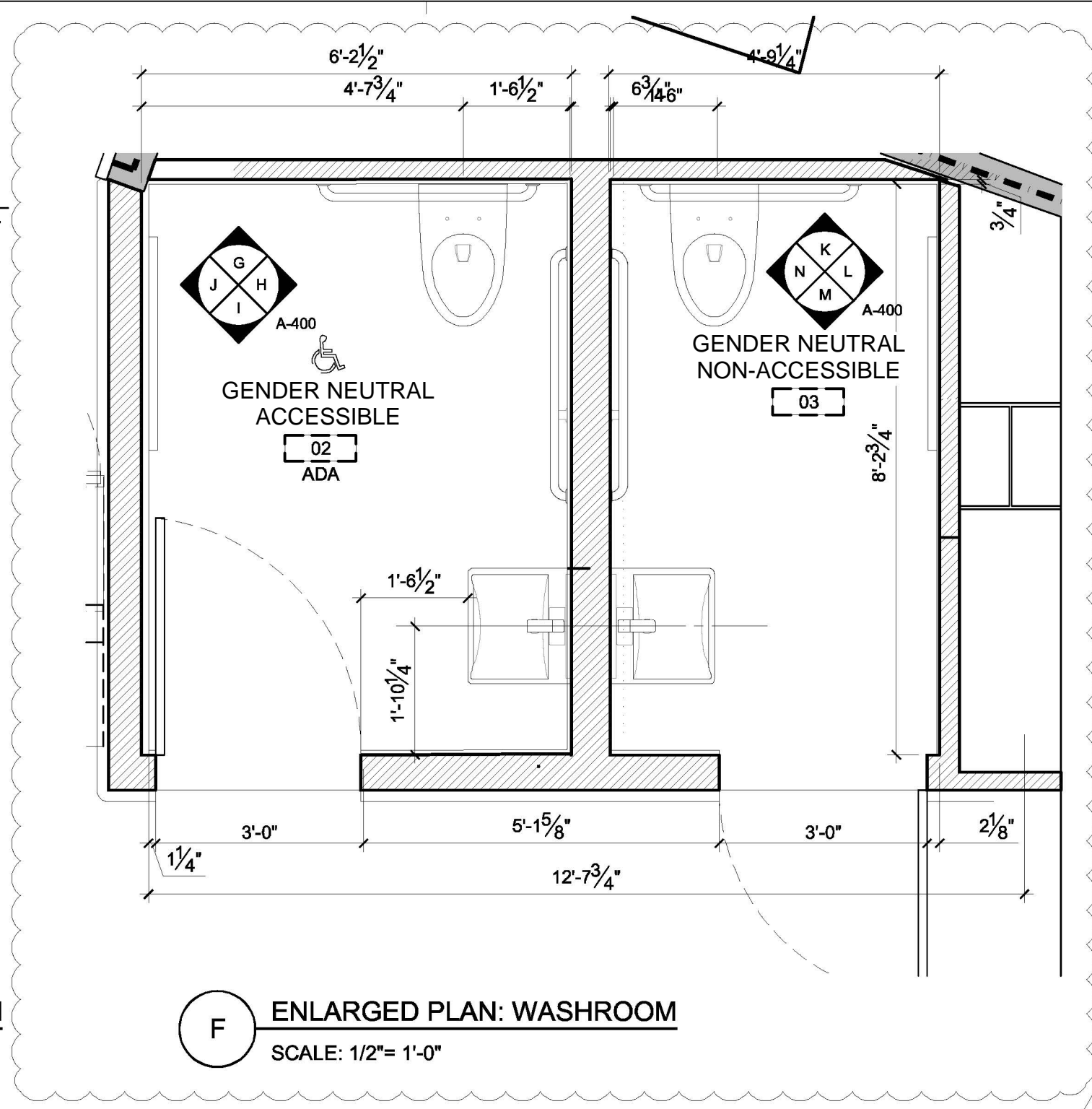
**C** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



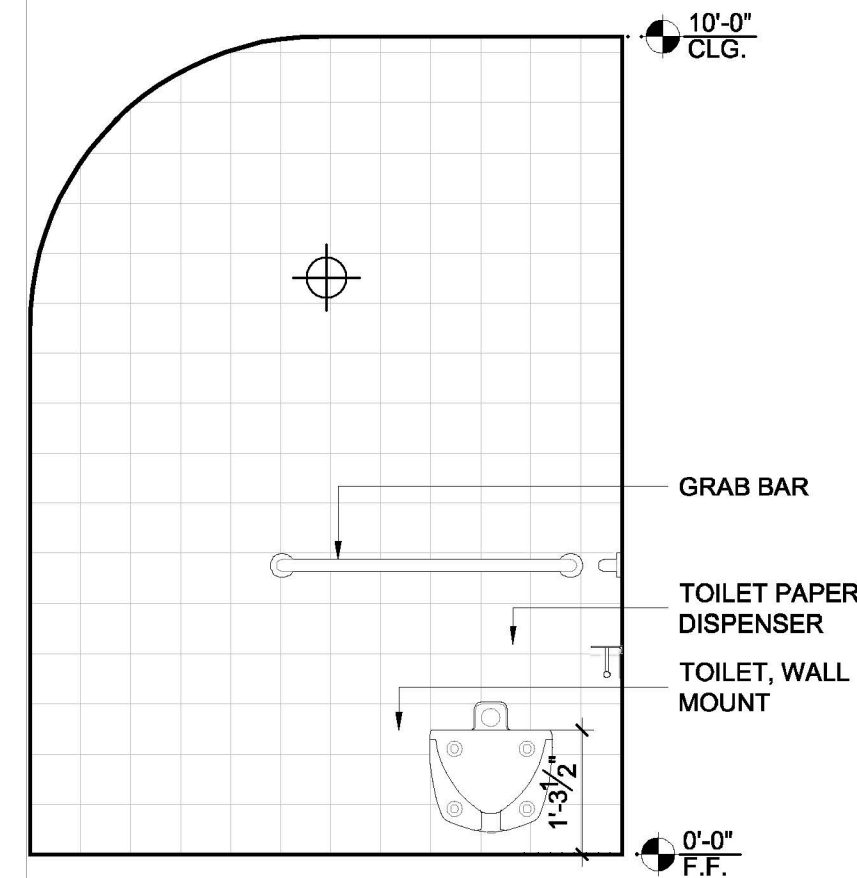
**D** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



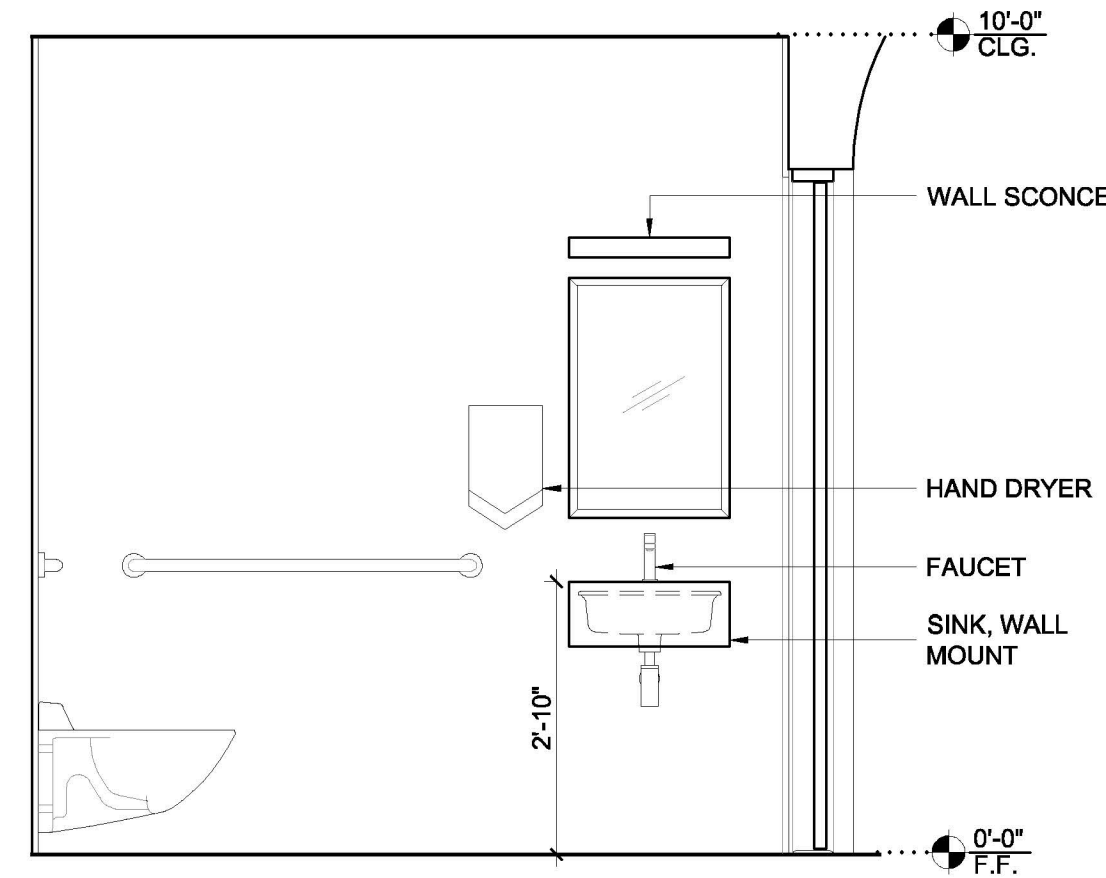
**E** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



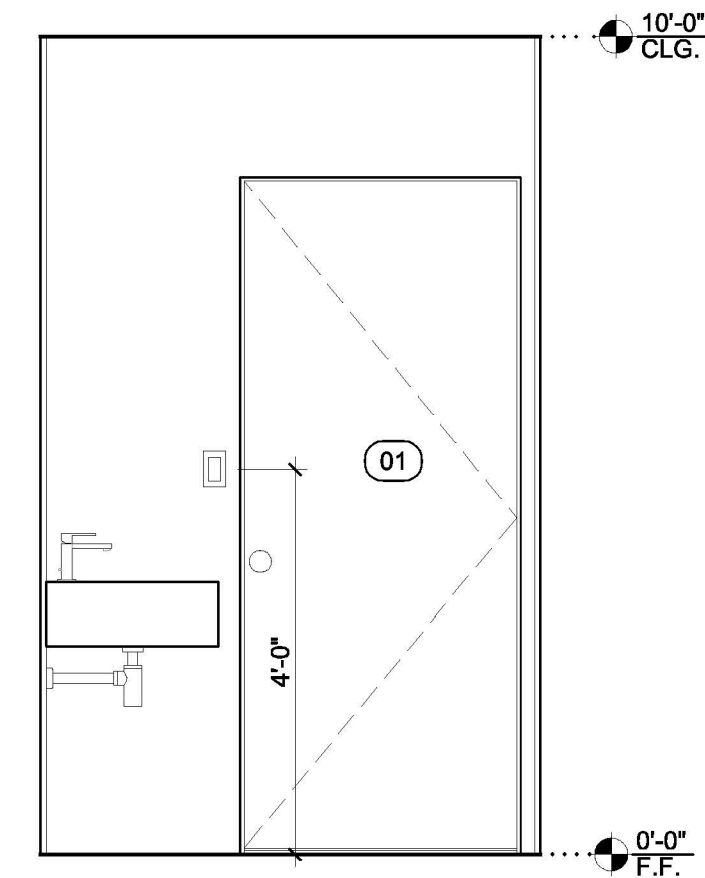
**F** ENLARGED PLAN: WASHROOM  
SCALE: 1/2" = 1'-0"



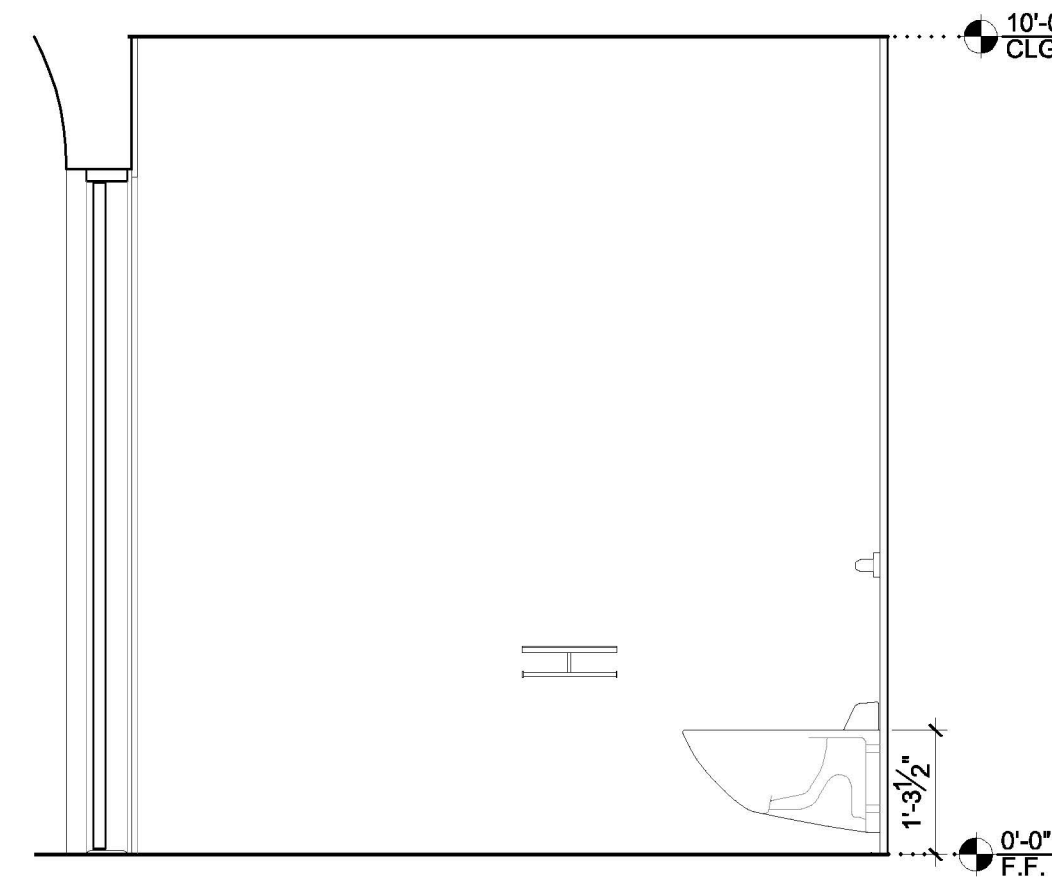
**G** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



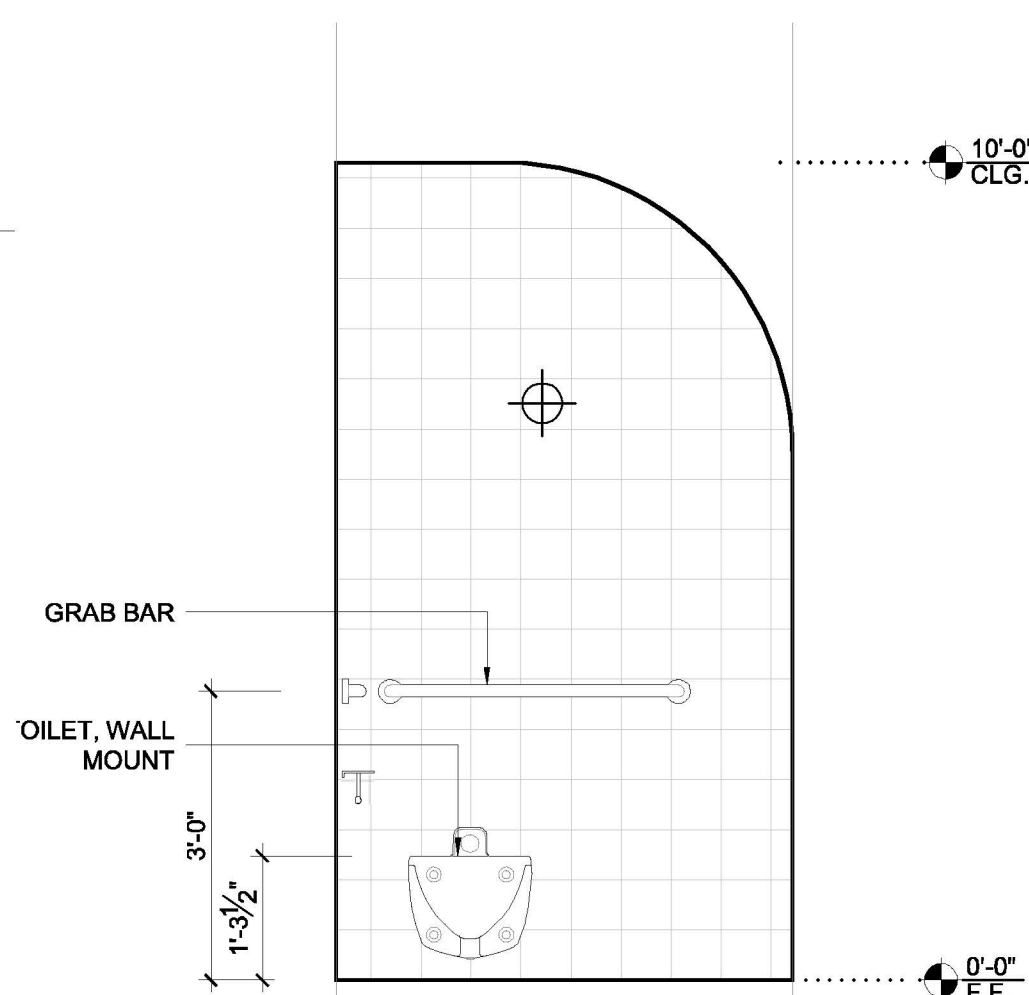
**H** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



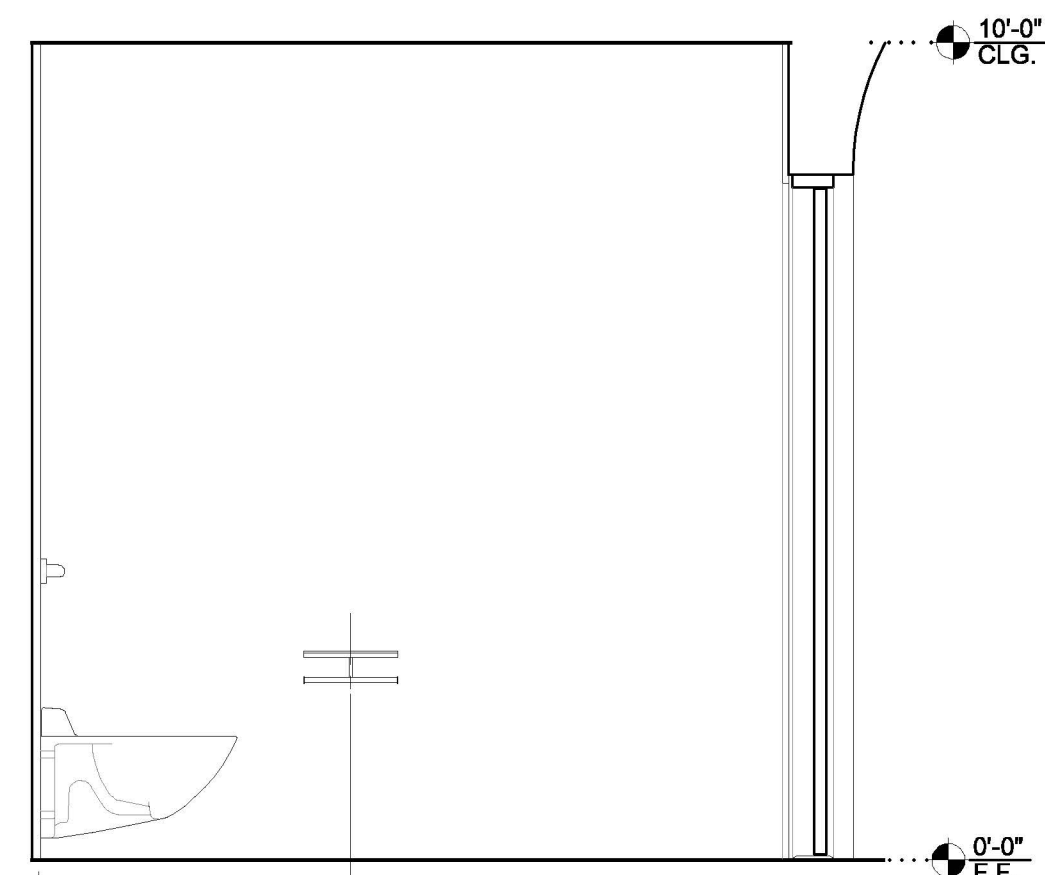
**I** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



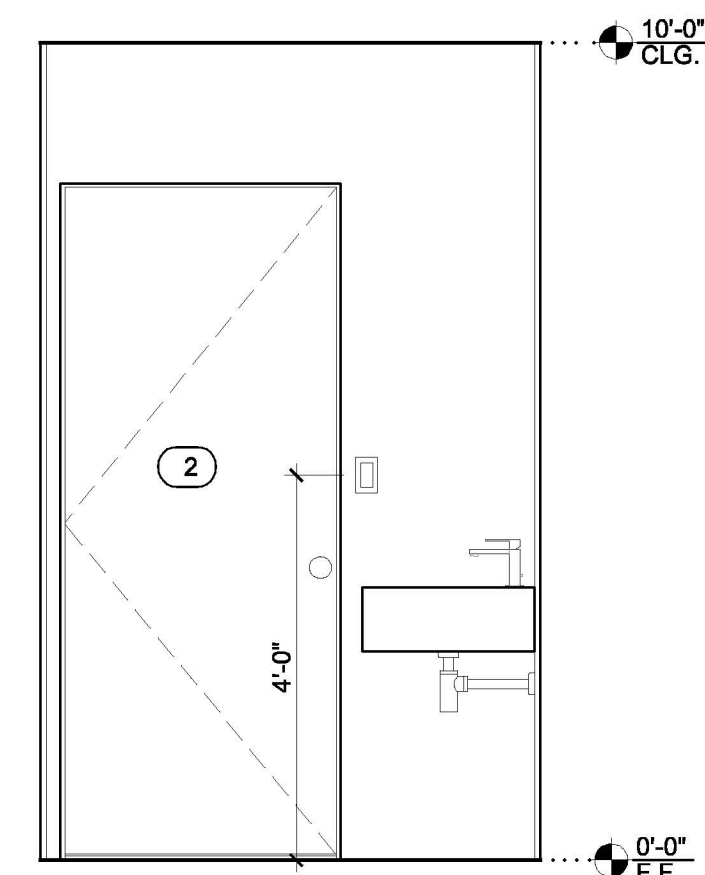
**J** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



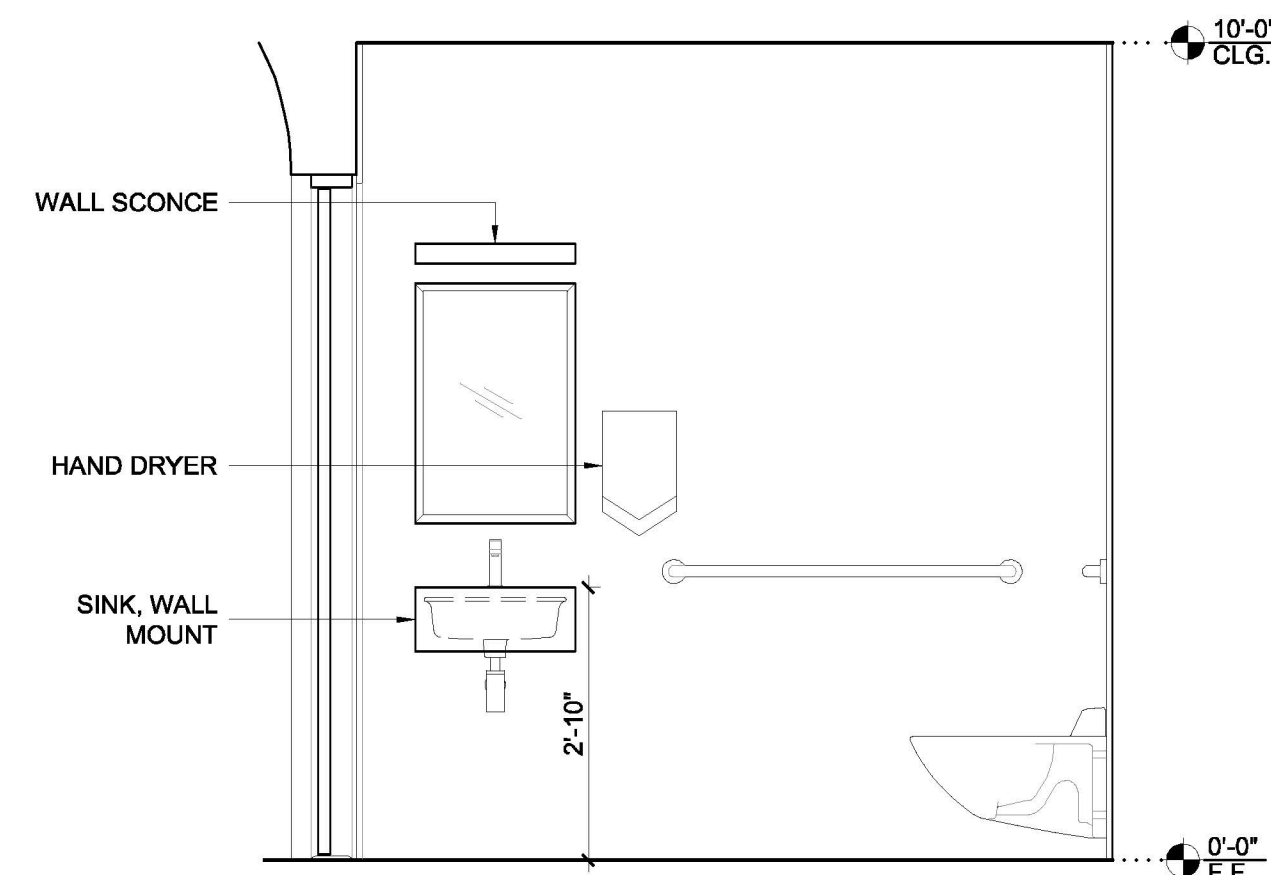
**K** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



**L** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



**M** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"



**N** ENLARGED ELEVATION  
SCALE: 1/2" = 1'-0"

ISSUES:

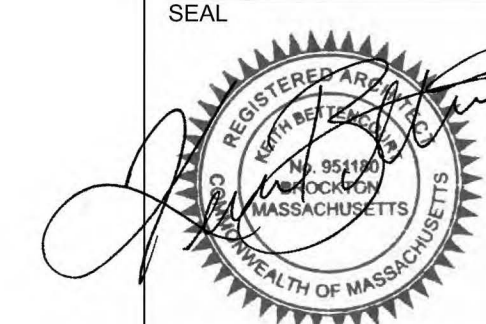
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

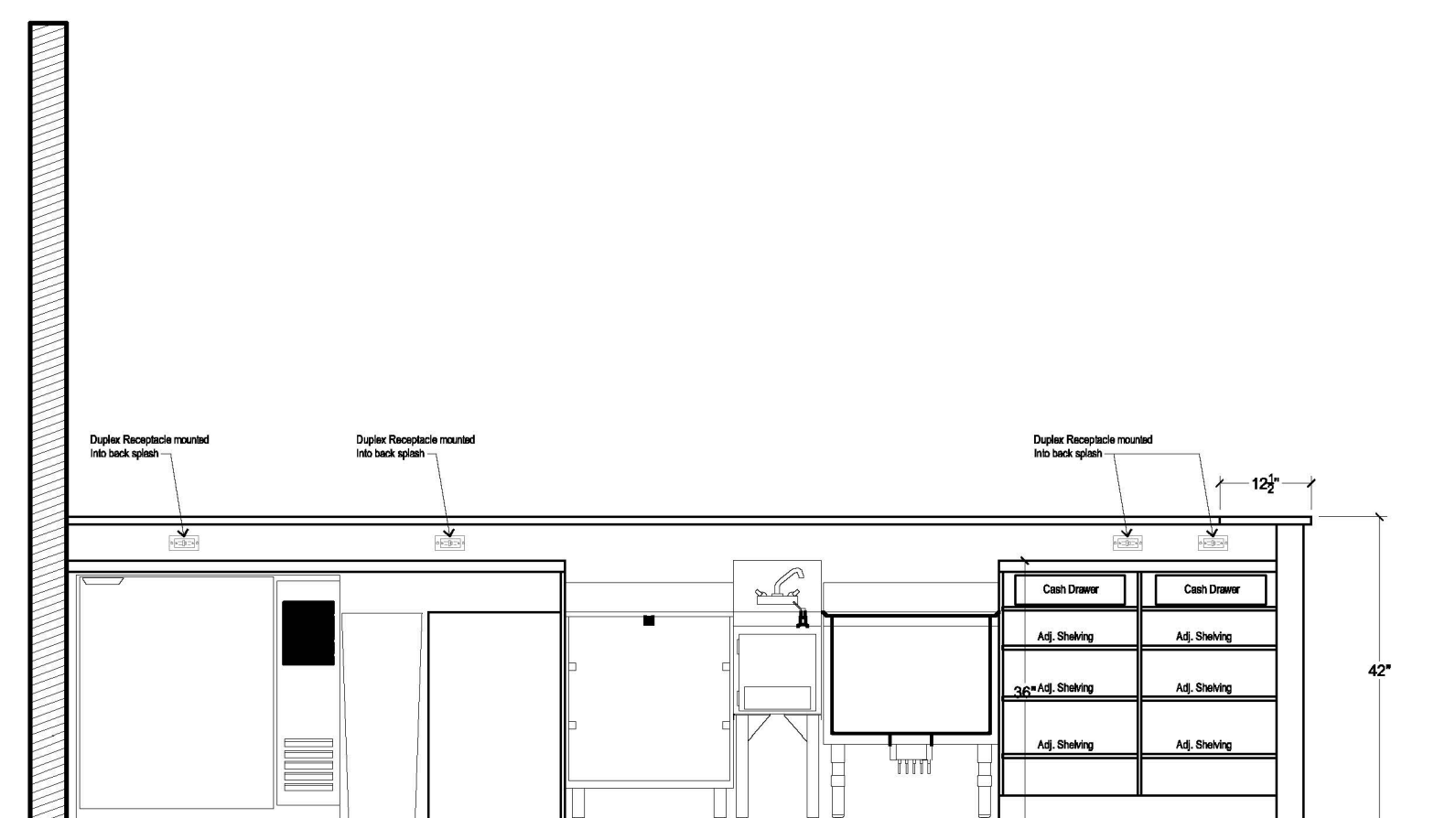
DRAWING TITLE:  
**ENLARGED INTERIOR ELEVATIONS**

SEAL PROJECT NO. 19-07  
SCALE: As Noted  
SHEET SIZE: 24 x 36  
DRAWING NO.:

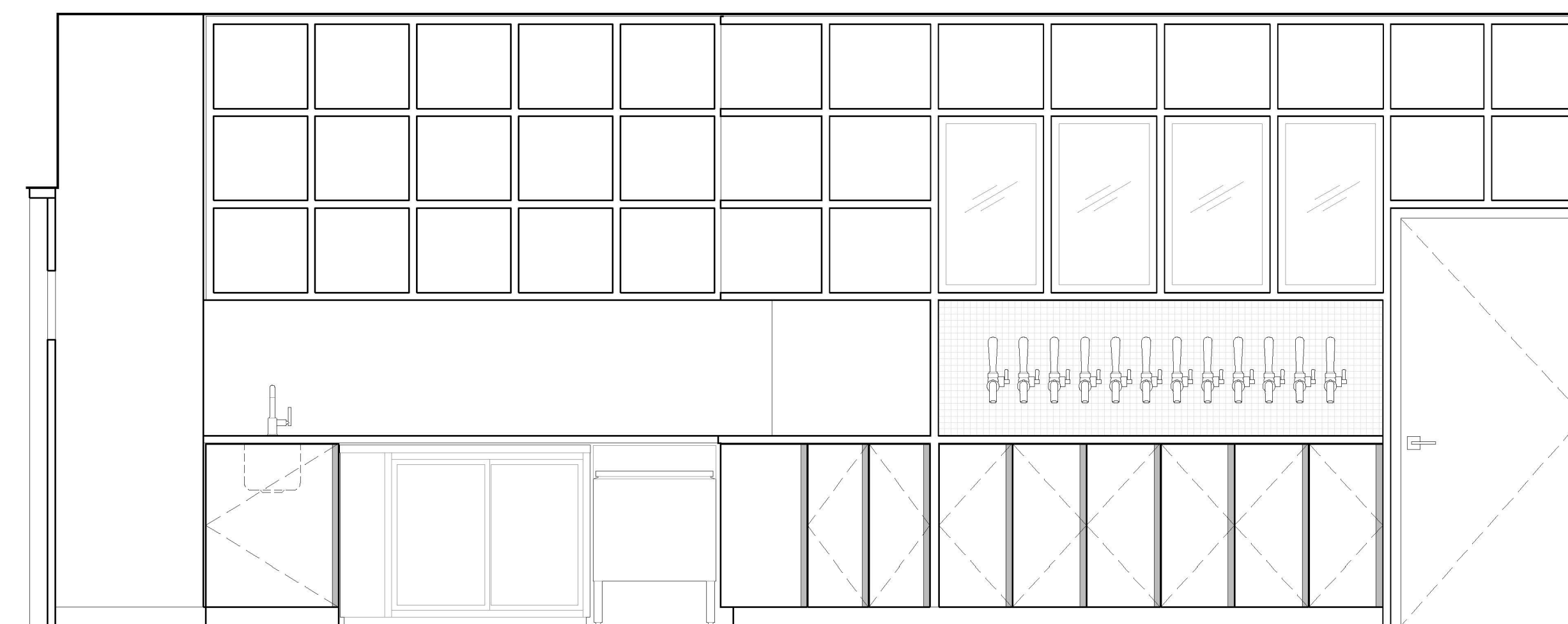


**A-400.00**

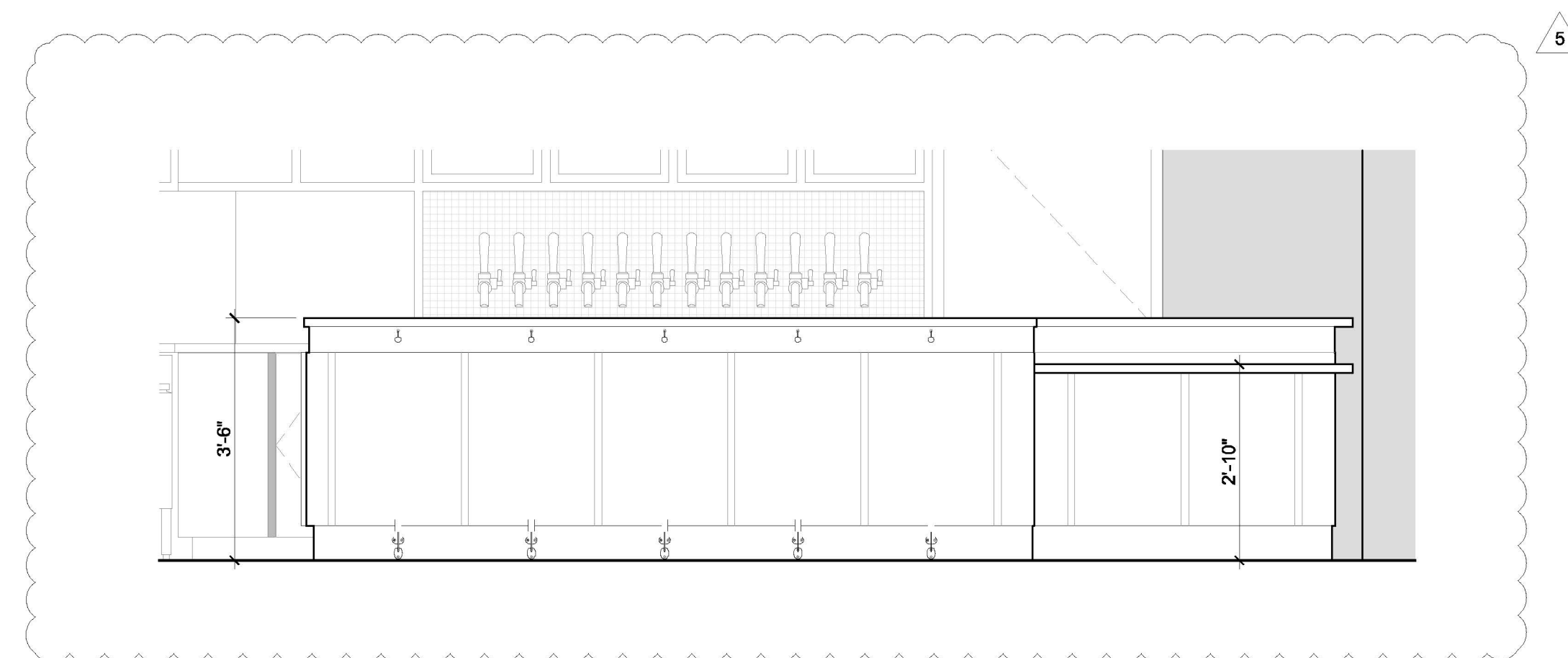




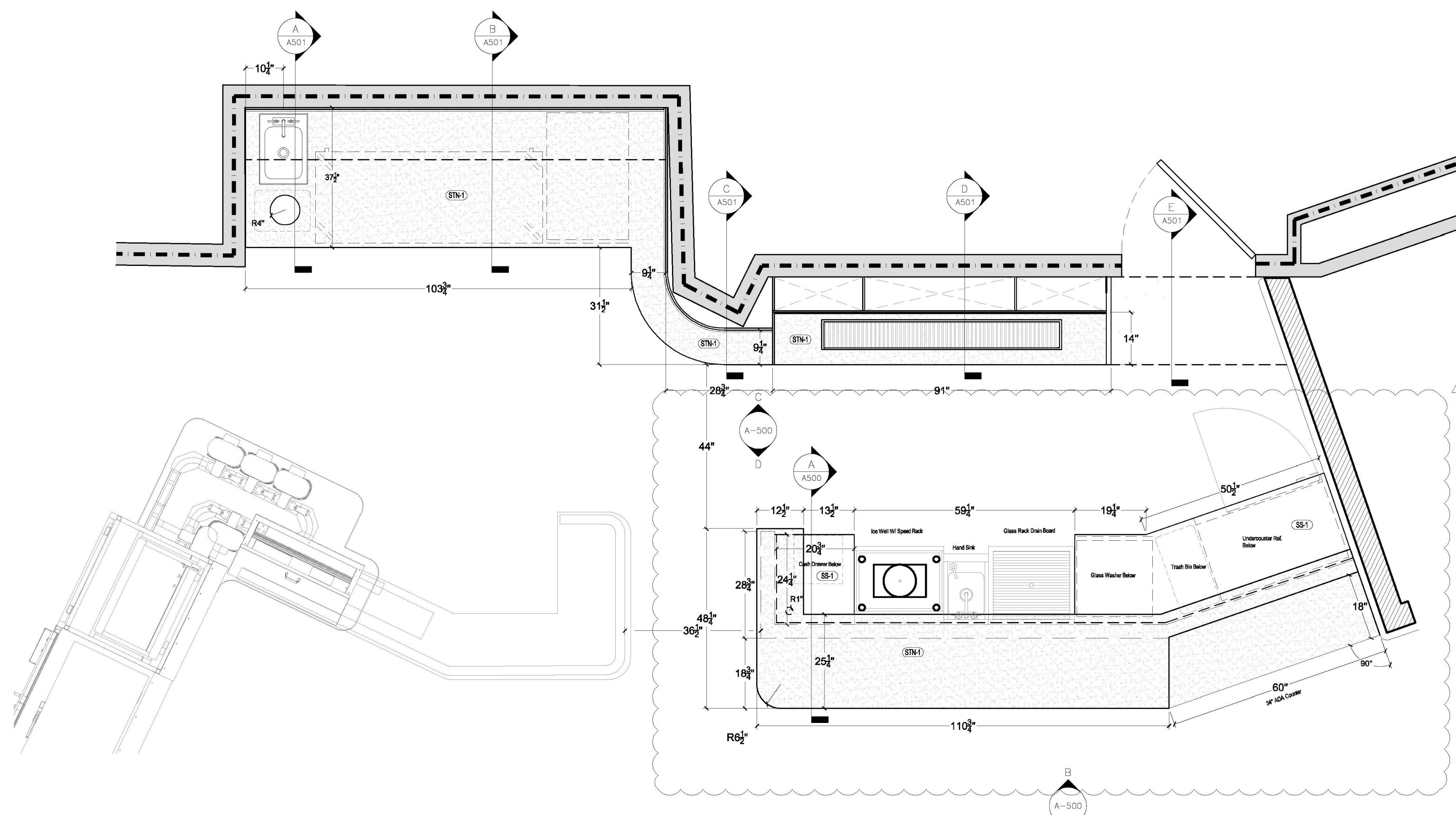
**D** BAR ELEVATION  
PANTRY (MW-03)  
SCALE: 1/2" = 1'-0"



**C** BACK BAR ELEVATION  
PANTRY (MW-01/02)  
SCALE: 1/2" = 1'-0"



**B** BAR COUNTER: ELEVATION  
PANTRY (MW-03)  
SCALE: 1/2" = 1'-0"



**A** ENLARGED BAR MILLWORK PLAN  
PANTRY (MW-00)  
SCALE: 1/2" = 1'-0"

ISSUES:

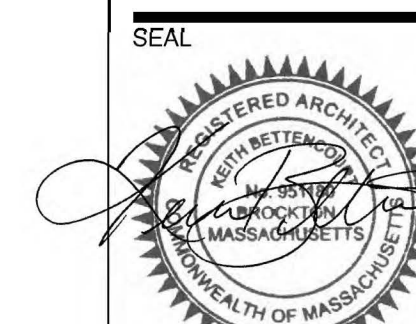
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:  
**MILLWORK PLAN**

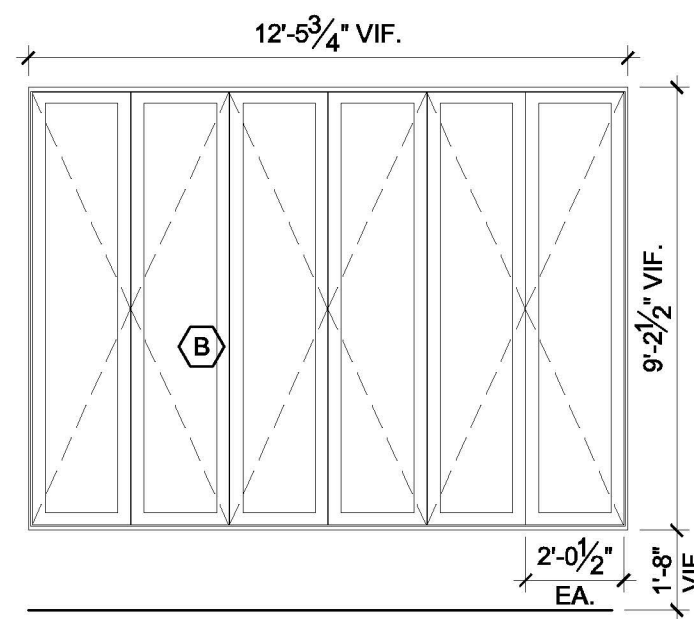
PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.:  
**A-500.00**



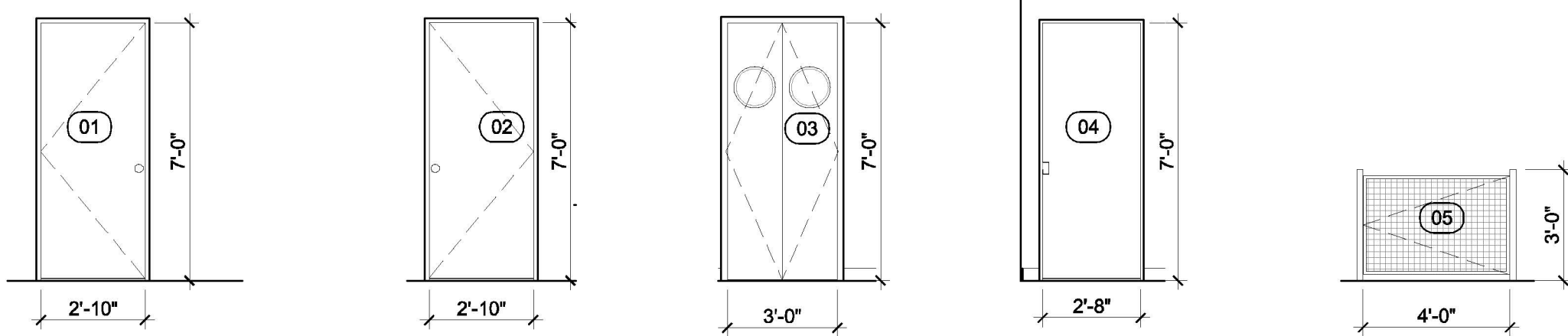
DOOR SCHEDULE																				
DOOR #	ROOM ID	ROOM #	DOOR					FRAME		SADDLE	HARDWARE						REMARKS			
			SIZE			TYPE	LOCATION	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	PULL/ KNOB			HINGE				
			WIDTH	HEIGHT	THICK.								MODEL #	FINISH	APPLICATION	MODEL #		TYPE	FINISH	
01	UNISEX ADA W/C	03	2' - 10"	7'-0"	1-3/4"	SWING	INTERIOR	-	-	-	-	-	-	-	-	-	-	-	-	NEW DOOR
02	UNISEX ADA W/C	02	2' - 10"	7'-0"	1-3/4"	SWING	INTERIOR	-	-	-	-	-	-	-	-	-	-	-	-	NEW DOOR
03	CIRCULATION	04	1' - 6" EA.	7'-0"	1-3/4"	DOUBLE / IMPACT SWING	INTERIOR	-	-	-	-	-	-	-	-	-	-	-	-	NEW DOOR
04	UNISEX W/C (BOH)	11	2' - 8"	7'-0"	1-3/4"	POCKET	INTERIOR	-	-	-	-	-	-	-	-	-	-	-	-	NEW DOOR
05	OUTDOOR SEATING	10	4'-0"	3'-0"	TBD	GATE	EXTERIOR	-	-	-	-	-	-	-	-	-	-	-	-	

DOOR HARDWARE NOTE:  
1. ALL DOORS CLOSERS, SILENCERS AND PRIVACY LOCKSET TO BE REPAIRED OR REPLACED AS NEEDED

FENESTRATION SCHEDULE												
#	ROOM ID	ROOM #	TYPE	ROUGH OPENING SIZE		U-VALUE		SHGC FACTOR		PRODUCT INFORMATION		NOTES
				WIDTH	HEIGHT	PROPOSED	PER CODE	PROPOSED	PER CODE	MANUFACTURER	PRODUCT	
A	DINING HALL	01	6-PANEL FOLDING WINDOW, OUT-FOLD	12'-5-3/4" OPENING	9'-2-1/2"	0.37		0.30		WESTERN WINDOW SYSTEMS	SERIES 7950 MULTI BI FOLD	NEW WINDOW



**A** WINDOW ELEVATIONS  
SCALE: 1/4" = 1'-0"



**B** DOOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

ISSUES:		
NO	DATE	DESCRIPTION
01	11/18/19	Landlord Review Submission
02	1/6/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO	DATE	DESCRIPTION
PLOT PLAN (NTS)		

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

**DOOR & WINDOW SCHEDULES**

	PROJECT NO.: 19-07
	SCALE: As Noted
	@ SHEET SIZE: 24 x 36
	DRAWING NO: <b>A-600.00</b>

Finish Schedule						
Item	Description	Manufacturer	Specification	Remarks	Finish Class	Contact
B-1	Cove Base	Dur-A-Flex (or Similar)		Cove base shall be installed flush with floor finish		
B-2	Wood Base Moulding	Dykes Lumber (or Similar)	6" x 3/4" square profile	Painted PT-2		
FF-1	Epoxy	Dur-A-Flex (or Similar)				
FF-2	Concrete with Bomanite Micro Top	Bomanite	TBD	TBD		Justin Renaud, justin@bomanitene.com
FF-3	Stone Terrazzo Floor	DePaoli Mosaic Company	Custom	Sample to be approved by Designer		Leslie Carrio, lcarrio@depaolimosaic.com
FF-4						
FRP-1	Fiberglass reinforced plastic wall covering	Marlite	Standard FRP, P100 White	See axon for all required trim pieces, no exceptions allowed for trim components. Applied to all BOH walls, unless noted.	Class A	
PT-1	Paint	Benjamin Moore	Super White	Semi-Gloss		
PT-1A	Paint	Benjamin Moore, DTM	Super White	Semi-Gloss		
PT-2	Paint	Benjamin Moore	Flat - White, 54701	Eggshell Finish		
PT-2A	Paint	Benjamin Moore, DTM	Low Lustre - White, P2301	Low Lustre Finish		
PT-3	Smoothed Lime Paint	Ressource	RMDV06	Sample to be approved by Designer		Ana Leche, a.leche@ressource-decoration.com
PT-4	Paint Wash	TBD	TBD	Tumeric Wash on Terra Cotta. Sample to be approved by Designer		
PT-4	Powder Coat	Tiger Drylac	TBD			
PT-5	Exterior Paint	Benjamin Moore, DTM	TBD	Hot Cinnamon Doors		
STN-1	Stone Countertop	Caesarstone	5131 Calcatta Nuvo			Robot counters and bar
STN-2	Stone Countertop	Caesarstone	7141 Quartz Reflections	Sample to be approved by Designer		Tabletops
SS-1	Stainless Steel	Supplied By GC				
TL-1	Terra Cotta Tile	Cle Tile	Cotto Rosato	w/ GRT-1		katieo@cletile.com
TL-2	Tile	Fire Clay Tile	Venetian Green	w/ GRT-2		
TL-3	Tile	Fire Clay Tile	TBD	Bathroom Tile		
GRT-1	Grout	Laticrete	TBD	Purple Grout		
GRT-2	Grout	Laticrete	TBD			
WD-1	Wood Veneer	Danzer	European Birch	Light Wood		
WD-2	Wood Veneer	Danzer	Cherry Classic	Dark Wood		
WD-3	Stained Wood	TBD	White Oak w/ Green Stain	Stained with green. Sample to be approved by designer.		Pantone or Ben Moore?
WD-4	Black Melamine	By GC				
MTL-1	Metal Frame	TBD	Flat Black	Planter Framing		
MTL-2	Metal Frame	TBD	TBD - Copper	To Match Robot Fabrication Copper		
FB-1	Faux Leather	Maharam	029 Bloom	Cream Banquette Canvas Leather		
FB-3	Faux Leather	Maharam	021 Conifer	Green Banquette Leather		
FB-4	Canvas	Maharam	974	Green Banquette Canvas		
GL-1	Mirror	Spancraft Glass	22 Gold Antique	Menu Board		
GL-2	Ribbed Glass	TBD	TBD	Expo Station		

ISSUES:

NO	DATE	DESCRIPTION
01	11/18/19	Landlord Review Submission
02	1/6/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO DATE DESCRIPTION

PLOT PLAN (NTS)

PROJECT

**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

**FINISH  
SCHEDULE**

SEAL



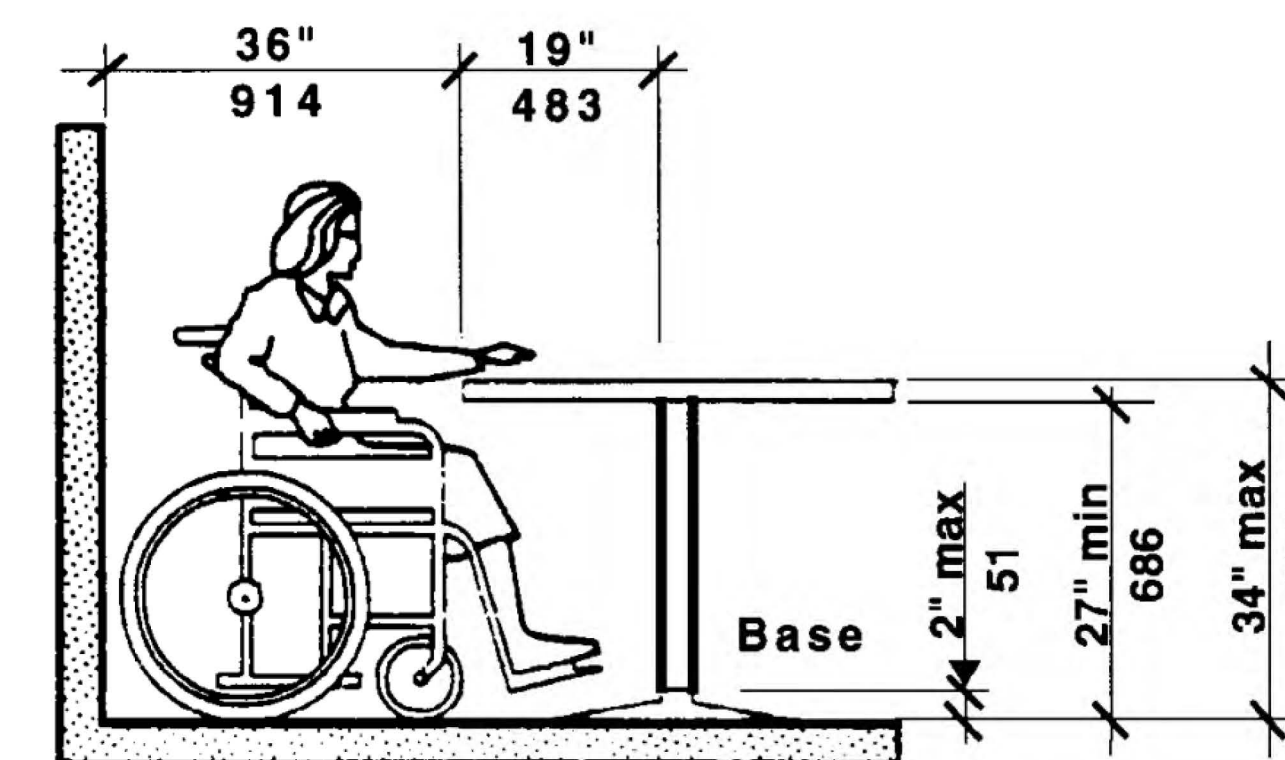
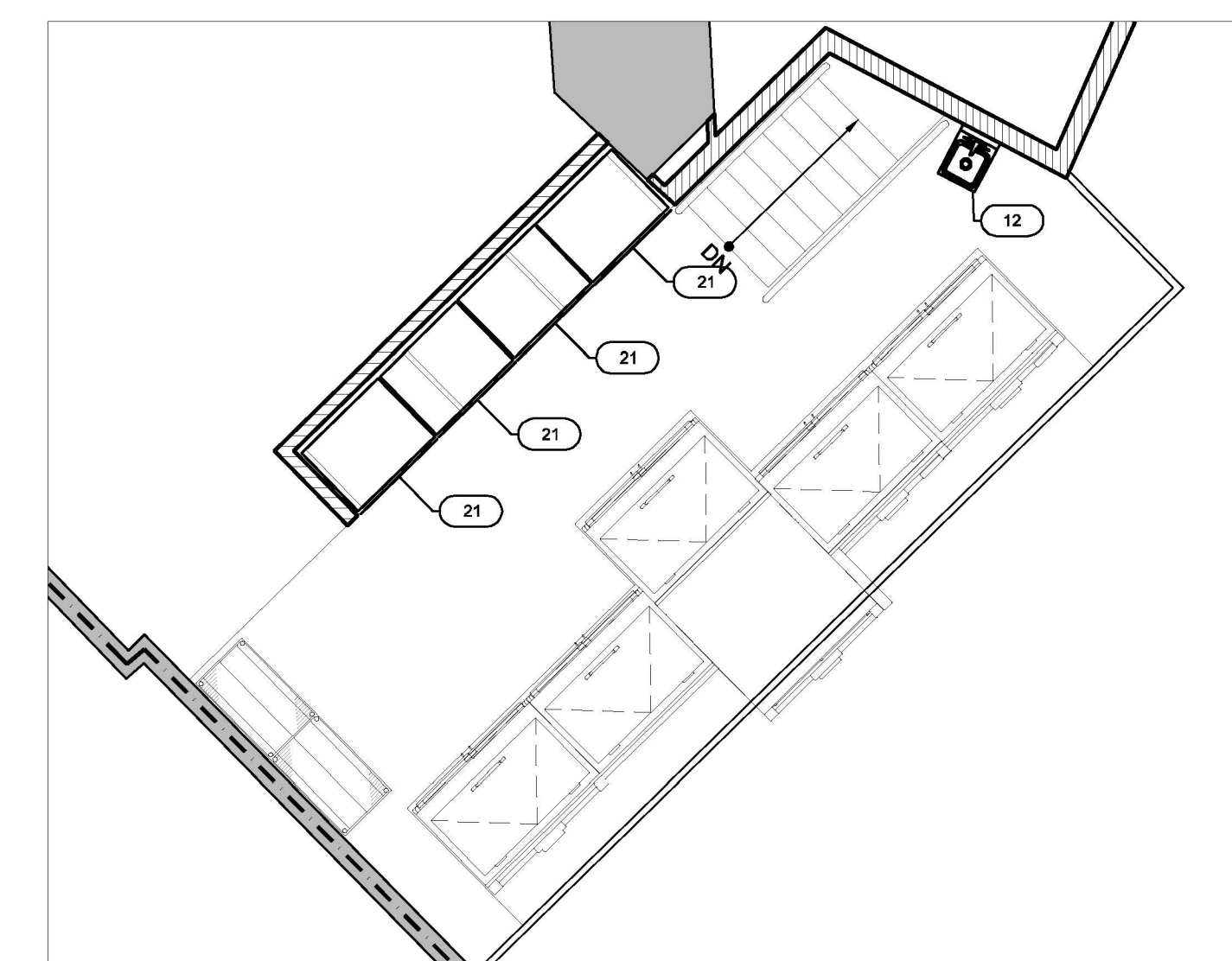
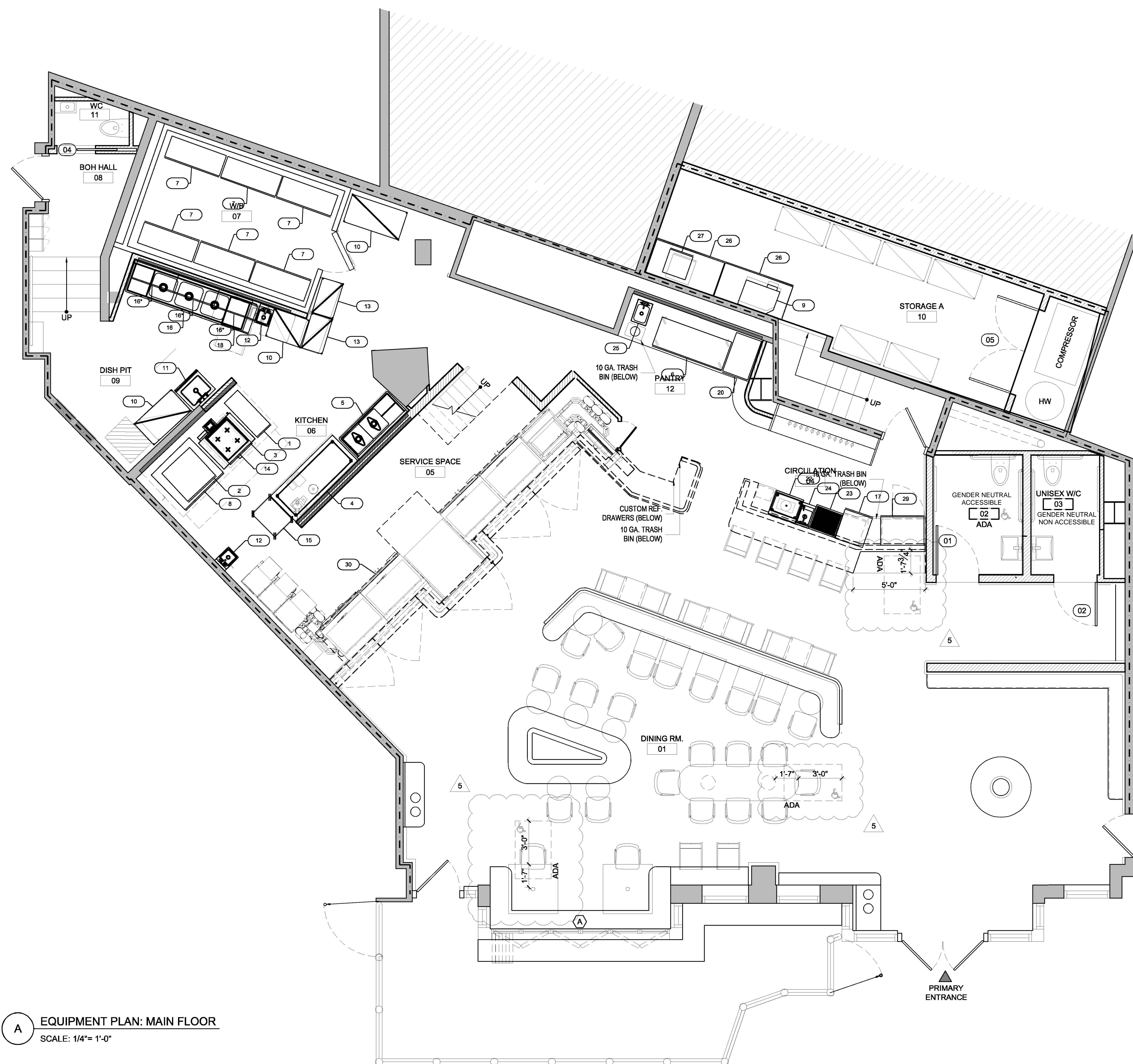
PROJECT NO.: 19-07

SCALE: As Noted

@ SHEET SIZE: 24 x 36

DRAWING NO:

**A-601.00**



ISSUES:

01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

NO DATE DESCRIPTION

PLOT PLAN (NTS)

PROJECT  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

**KITCHEN EQUIPMENT PLAN**

PROJECT NO.: 19-07  
SCALE: As Noted  
@ SHEET SIZE: 24 x 36  
DRAWING NO.:



**A-701.00**

EQUIPMENT SCHEDULE																		
ItemNo	Quantity	Category	Mfr	Model	ELECTRICAL							PLUMBING						
					Voltage	Phase	Amps	Cycle	Hp	Kw	ConnectionType	NEMA	Cold Water (in)	Hot Water (in)	Indirect Waste Size	Direct Waste Size	Gas Size(in)	Gas MBTU
1	1	Pasta Cooker, Gas	Pitco	SSPG14														
2	1	Blast Chiller Freezer, Undercounter	Desmon	GBF-5P+ETL	115	1		60		.721								60.0
3	1	Induction Range, Countertop	CookTek	645100	208	3	38.9	50/60		14.0								
4	1	Work Table, Stainless Steel Top	Advance Tabco	AG-245														
5	1	Two (2) Compartment Sink	Advance Tabco	FC-2-1818-18L-X									(2) 1-1/2"					
6	1	Back Bar Cabinet, Refrigerated	True	TBB-24-60G-SD-HC-LD	115	1	2.7	60	1/4		Cord & Plug	5-15P						
7	6	Shelving Unit, with Metal Post	Metro	5AQ357G3														
8	1	Combi Oven, Gas	Blodgett Combi	BLCT-62G	115	1	9.0	60			Direct			2"		3/4"	81.8	
9	1	Ice Machine, Nugget Compressed	Follett	HCC1410WHS	208-230	1		60						3/4"				
10	3	Wire Shelving Unit	Metro	5A557K3												2"		
11	1	Mop Sink Cabinet	Advance Tabco	9-OPC-84-X														
12	1	Service Faucet	Advance Tabco	K-240-X									1/2"	1/2"				
13	3	Hand Sink	Advance Tabco	7-PS-22												1-1/2"		
14	2	Wire Shelving Unit	Metro	5A337K3														
15	1	Convection Oven, Gas	Southbend	TVGS128C	120	1	7.9	60	1/2		Cord & Plug	5-15P				1"	52.0	
16	1	Bun / Sheet Pan Rack	Advance Tabco	PR7-4KT														
17	1	Three (3) Compartment Sink	Advance Tabco	94-23-60-18RL									(3) 1-1/2"					
18	3	Dishwasher, Undercounter	Advance Tabco	DT-6R-36														
19	1	Glasswasher	Hobart	LXGEPR-2	120	1		60						3/4"		5/8"		
20	1	Dishwasher, Undercounter	Hobart	LXEC-3	120	1		60						3/4"		5/8"		
21	1	Back Bar Cabinet, Refrigerated	True	TBB-1-S-HC	115	1	1.4	60	1/10		Cord & Plug	5-15P						
22	1	Ice Bin for Ice Machines	Manitowoc	D320												3/4"		
23	1	Leg	Manitowoc	K00153														
24	4	Refrigerated Merchandiser	True	GDM-30-HC-LD	115	1	3.8	60	1/4		Cord & Plug	5-15P						
25	1	Ice Bin	Advance Tabco	CRI-16-24												1"		
26	1	Speed Rail / Rack	Advance Tabco	BK-2														
27	1	Glass Rack	Advance Tabco	CRCR-24-CT									(2) 1"					
28	1	Hand Sink	Advance Tabco	PRHSST-19-12									1/2"	1/2"		1-1/2"		
29	1	Drain, Sink Basket / Strainer	Advance Tabco	A-17A														
30	1	Underbar Equipment Splash	Advance Tabco	SU-20RL												1-1/2"		
31	1	Drop-In Sink	Advance Tabco	DI-1-10SP														
32	2	Back Bar Cabinet, Refrigerated	Micro Matic	MB858DT-E	115	1	6.5	60	1/3		Cord & Plug	5-15P						
33	1	Vin Service Glycol Chillers	Taprite	SUPER-FLAT-3183	115	1		60	1/3									
34	1	Wire Shelving Unit	Metro	5A447K3														
35	1	Back Bar Cabinet, Refrigerated	Advance Tabco	BBR-36	115	1	8	60	1/5		Cord & Plug	5-15P						
36	1	Robotic Cooking	Custom	CUSTOM														

**ISSUES:**

NO	DATE	DESCRIPTION
01	11/18/19	Landlord Review Submission
02	1/8/20	Issue for Filing
03	1/22/20	Issue for Filing
04	1/27/20	Rev. 04
05	2/2/20	Rev. 05

**NO DATE DESCRIPTION**

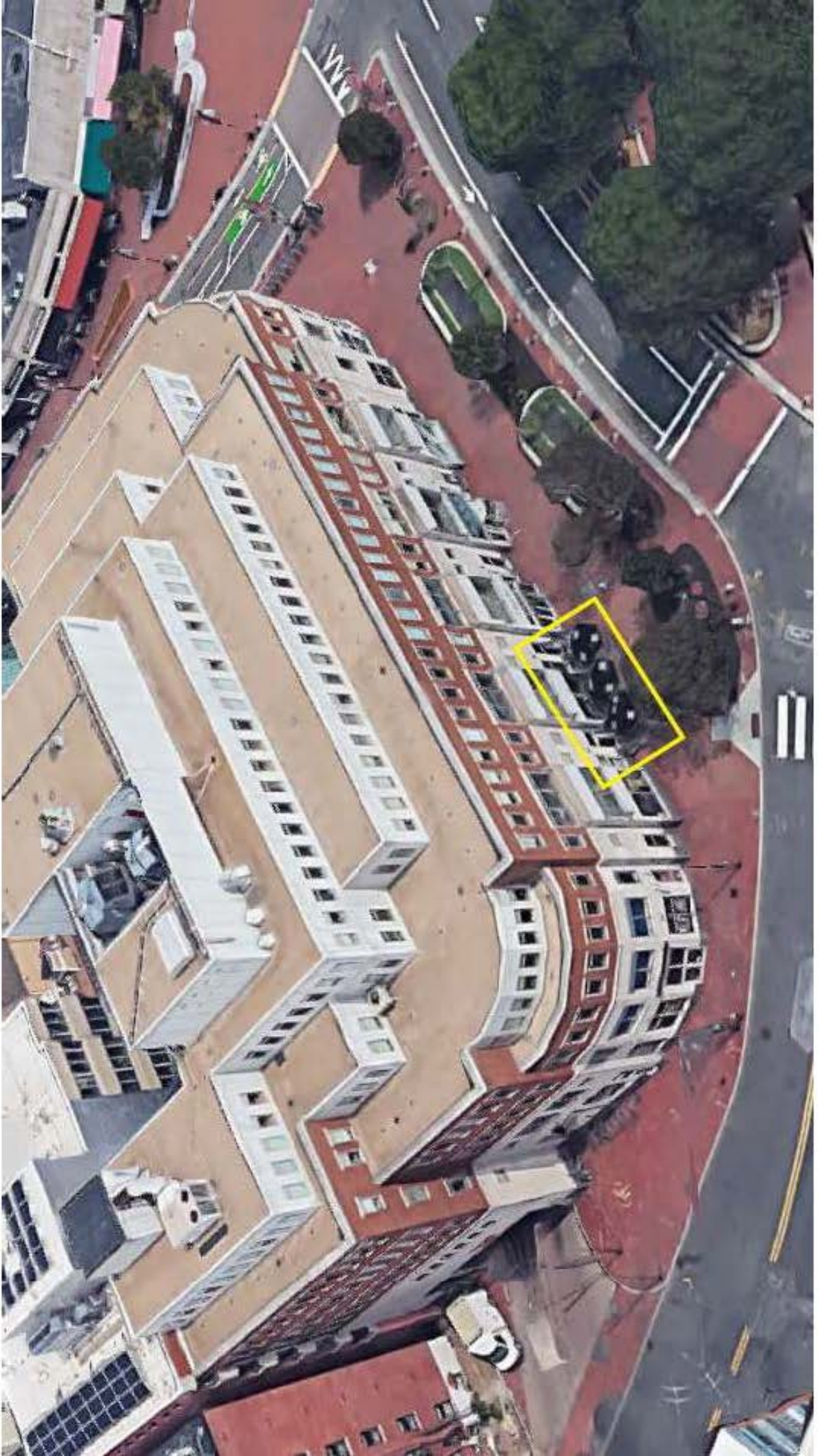
PLOT PLAN [NTS]

**PROJECT**  
**SPYCE HARVARD SQUARE**  
One Brattle Square  
Cambridge, MA 02138

DRAWING TITLE:

**EQUIPMENT SCHEDULE**

	PROJECT NO.:	19-07
	SCALE:	As Noted
	@ SHEET SIZE:	24 x 36
	DRAWING NO.:	<b>A-702.00</b>



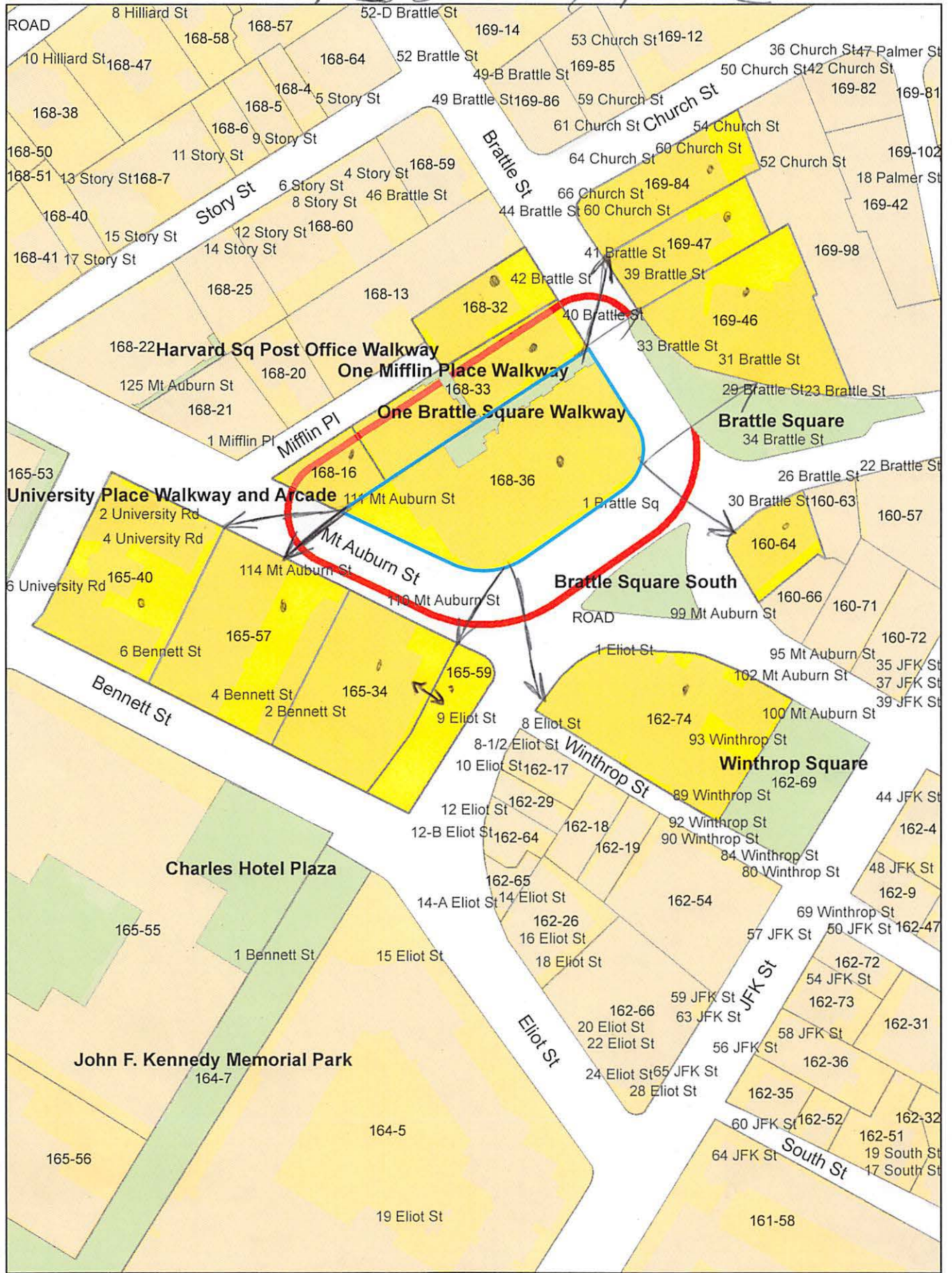








# 1 Brattle Square



ROAD

8 Hilliard St 168-57 52-D Brattle St 169-14 53 Church St 169-12 36 Church St 47 Palmer St  
10 Hilliard St 168-47 168-58 168-64 52 Brattle St 169-85 50 Church St 42 Church St  
168-38 168-4 5 Story St 49 Brattle St 169-86 59 Church St 169-82 169-81  
168-50 11 Story St 9 Story St 61 Church St Church St 54 Church St  
168-51 13 Story St 168-7 6 Story St 4 Story St 168-59 64 Church St 60 Church St 52 Church St 169-102  
168-40 15 Story St 12 Story St 168-60 44 Brattle St 60 Church St 18 Palmer St  
168-41 17 Story St 14 Story St 41 Brattle St 169-47 169-98  
168-25 168-13 42 Brattle St 39 Brattle St 169-46  
168-22 Harvard Sq Post Office Walkway 40 Brattle St 31 Brattle St  
125 Mt Auburn St 168-20 One Mifflin Place Walkway 29 Brattle St 23 Brattle St  
168-21 1 Mifflin Pl One Brattle Square Walkway 34 Brattle St  
165-53 168-16 168-36 1 Brattle Sq 26 Brattle St 22 Brattle St  
University Place Walkway and Arcade 111 Mt Auburn St 30 Brattle St 160-63 160-57  
2 University Rd 4 University Rd 160-64  
6 University Rd 114 Mt Auburn St 99 Mt Auburn St 160-66 160-71  
6 Bennett St 165-57 165-59 1 Eliot St 95 Mt Auburn St 160-72  
4 Bennett St 2 Bennett St 102 Mt Auburn St 35 JFK St 37 JFK St 39 JFK St  
Bennett St 9 Eliot St 8 Eliot St 162-74 93 Winthrop St 100 Mt Auburn St  
Charles Hotel Plaza 8-1/2 Eliot St 10 Eliot St 162-17 Winthrop Square 162-69 44 JFK St  
12 Eliot St 162-29 162-18 162-19 92 Winthrop St 90 Winthrop St 162-4  
12-B Eliot St 162-64 84 Winthrop St 80 Winthrop St 48 JFK St  
14-A Eliot St 14 Eliot St 162-54 57 JFK St 50 JFK St 162-47  
165-55 1 Bennett St 15 Eliot St 162-26 16 Eliot St 18 Eliot St 69 Winthrop St 162-72 54 JFK St 162-73  
John F. Kennedy Memorial Park 164-7 162-65 162-66 20 Eliot St 22 Eliot St 59 JFK St 63 JFK St 58 JFK St 162-31  
165-56 19 Eliot St 24 Eliot St 65 JFK St 28 Eliot St 56 JFK St 162-36  
64 JFK St 60 JFK St 162-52 162-35 162-35 162-52 162-32  
161-58 64 JFK St South St 19 South St 17 South St

# 1 Brattle Square

*Petitioner*

RUBERTO, ISRAEL @ WEINER, P.C  
C/O ADAM R. BARNOSKY, ESQ.  
255 STATE STREET - 7<sup>TH</sup> FLOOR  
BOSTON, MA 02109

168-16  
TARRAGON, LLC  
1188 CENTRE STREET  
NEWTON, MA 02459

168-33  
B & J BRATTLE REALTY, LLC.  
2 BRATTLE SQ  
CAMBRIDGE, MA 02138

169-46-47  
AP BRATTLE SQUARE, LP  
C/O ASANA PARTNERS,LP  
1616 CAMDEN RD. SUITE #210  
CHARLOTTE, NC 28203

168-33  
UNION OF CONCERNED SCIENTISTS, INC.  
40C BRATTLE STREET, #1/4  
CAMBRIDGE, MA 02138

168-33  
UNION OF CONCERNED SCIENTISTS, INC.  
2 BRATTLE SQUARE  
CAMBRIDGE, MA 02138

165-40  
PRESIDENT & FELLOWS OF HARVARD COLLEGE  
C/O CHAPMAN ARMS LLC  
280 FRANKLIN STREET  
CAMBRIDGE, MA 02139

169-84  
DIGIOVANNI, JOHN P.  
TR. OF 45 BRATTLE STREET REALTY TR.  
P.O. BOX 380212  
CAMBRIDGE, MA 02238

168-33  
BRATTLE SQUARE ASSOCIATES  
C/O BRATTLE SQUARE MANAGEMENT CORP  
P.O. BOX 380828  
CAMBRIDGE, MA 02238

168-33  
COHEN, SAUL B. & MARC E. GOLDBERG  
TRS. OF HARVARD YEARBOOK REALTY TRUST  
2 BRATTLE SQUARE  
CAMBRIDGE, MA 02138

168-33  
CRESS, WILLIAM E.,  
TR OF TWO BRATTLE SQUARE TR. C/O BRATTLE  
WALK INC HAMMOND PRP MGMT INC  
TWO BRATTLE SQUARE  
CAMBRIDGE, MA 02138

162-74  
ELIOT SQUARE ENTERPRISES INC.,  
TR. ELIOT SQUARE ENTERPRISES TRUST  
1270 SOLDIERS FIELD RD  
BRIGHTON, MA 02135

162-74  
THOMPSON, JANE McC,  
TR. OF WINTHROP STREET 93 REALTY TR.  
44 MASSASOIT ST  
NORTHAMPTON, MA 01060

162-74  
BORDEN, PHILIP A. & CATHERINE J. TURCO  
95 WINTHROP ST., #WSR7  
CAMBRIDGE, MA 02138

162-74  
OSMENA, MARIA VICTORIA R.  
465 PARK AVE. APT 33W  
NEW YORK, NY 10022

165-34/165-59  
PRESIDENT & FELLOWS OF HARVARD COLLEGE  
C/O HARVARD REAL ESTATE INC.  
HOLYOKE CENTER - ROOM #1017  
1350 MASS AVE  
CAMBRIDGE, MA 02138-3895

160-64  
HADLEY, LILLIAN H.,  
HARRY LEBARON SAMPSON, TR.  
C/O THOMAS HADLEY TRUST  
59 HUNTER LANE  
LANCASTER, MA 01523

162-74  
JUNIPER ENTERPRISES LIMITED PARTNERSHIP  
1270 SOLDIERS FIELD RD  
BRIGHTON, MA 02135

162-74  
LAURELWOOD, LLC  
1188 CENTRE ST.  
NEWTON, MA 02458

165-57  
CONDUCTOR'S BUILDING LLC  
20 UNIVERSITY RD.  
CAMBRIDGE, MA 02138

162-74  
BORDEN, PHILIP A. CATHERINE J. TURCO  
93 WINTHROP STREET, UNIT WSR 5C  
CAMBRIDGE, MA 02138

162-74  
DF CAMBRIDGE HOLDINGS, LLC  
55 HUDSON YARDS FL 29  
NEW YORK, NY 10001

162-74  
HUEBNER, ALEXANDRA  
93 WINTHROP ST. UNIT#5A  
CAMBRIDGE, MA 02138

168-33  
UNION OF CONCERNED SCIENTISTS, INC.  
40C BRATTLE STREET, #1/4  
CAMBRIDGE, MA 02138

168-32  
CAMBRIDGE CENTER FOR ADULT EDUCATION  
P.O. BOX 9113  
CAMBRIDGE, MA 02238-9113

168-36  
WELLS REIT ONE BRATTLE SQUARE I,LLC  
C/O THOMPSON PROPERTY TAX SERVICES  
P.O. BOX 56607  
ATLANTA, GA 30343

July 16, 2020

**Via Federal Express**

Maria Pacheco  
Secretary  
Board of Zoning Appeals  
831 Massachusetts Avenue  
Cambridge MA 02139

**Re: BZA Application Plan No. BZA-017286-2020**  
**Property Address: 1 Brattle Square, Cambridge, MA 02138**  
**Applicant: Spyce Food Co.**

Dear Ms. Pacheco:

I write on behalf of Spyce Food Co. (the "**Applicant**"), relative to its submission of an Application for Special Permit to the City of Cambridge Board of Zoning Appeals for a waiver of parking pursuant to §6.35.1 of the Cambridge Zoning Ordinance relating to the Applicant's restaurant at One Brattle Square, Cambridge, Massachusetts 02138 (the "**Property**"), which has been assigned BZA Application Plan No. BZA-017286-2020 (the "**Application**").

Per the instructions provided by the City of Cambridge via automated email correspondence relative to the above referenced Application, enclosed please find the following Application documents, including:

1. Application Form (x3).
2. Ownership Certificate, Notarized.
3. Hardcopies of all scanned documents, including:
  - a. Assessor's GIS Block Map,
  - b. Floor Plans;
  - c. Elevations; and
  - d. Photographs of the Property.

Also enclosed is a check in the amount of Four Hundred and 00/100 (\$400.00) Dollars made payable to City of Cambridge representing the Applicant's "ISD – Parking Fee" relative to the Application, together with a copy of the invoice for same.

Please be in touch at your earliest convenience regarding a public hearing date for the Application.

Thank you for your consideration with respect to this matter.

Maria Pacheco  
Secretary  
Board of Zoning Appeals  
July 16, 2020  
Page Two

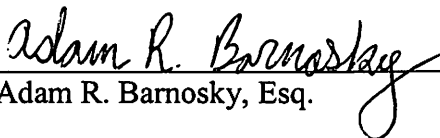
If any further information is needed relevant to the Application, please do not hesitate to be in touch.

Respectfully yours,

**ANALETTO BROTHERS, INC.**

By its Attorneys,

RUBERTO, ISRAEL & WEINER, P.C.

By:   
Adam R. Barnosky, Esq.

Enclosures

cc: Spyce Food Co. (*via email*)  
28 Dane Street  
Somerville, MA 02143  
[kale@spyce.com](mailto:kale@spyce.com)