

# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 FEB 24 PM 12:37  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

**BZA Number: 162489**

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X                        Variance:                             Appeal:       

**PETITIONER:** Hao Wang

**PETITIONER'S ADDRESS:** 1-3 Longfellow Road, Cambridge, MA 02138

**LOCATION OF PROPERTY:** 1 Longfellow Rd., Cambridge, MA

**TYPE OF OCCUPANCY:** Residential

**ZONING DISTRICT:** Residence B Zone

#### **REASON FOR PETITION:**

/1. Create window wells and relocate basement entrance door for safety which will lower the mean grade around the building but not creating a height violation. 2. Apply for Accessory Use of the legalized basement living area. /

#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Create window wells and lower the existing door for safety in dwelling areas and also excavate basement for habitable height. Obtain a permit for accessory unit in the basement.

#### **SECTIONS OF ZONING ORDINANCE CITED:**

- Article: 5.000            Section: 5.31 (Table of Dimensional Requirements)
- Article: 8.000            Section: 8.22.2.C (Non-Conforming Structure)
- Article: 10.000          Section: 10.40 (Special Permit)
- Article: 4.000            Section: 4.21 (Accessory Uses) & Sec. 4.22 (Accessory Unit).

Original  
Signature(s):

(Petitioner (s) / Owner)

HAO WANG

(Print Name)

Address:

1-3 Longfellow Rd, Cambridge, MA

Tel. No.

6178991199

E-Mail Address:

dr.hao.wang@gmail.com

Date: 2/17/2022

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Hao Wang  
(OWNER)

Address: 1-3 Longfellow Rd, Cambridge, MA 02138

State that I/We own the property located at 1-3 Longfellow Rd, Unit 1, Cambridge, MA 02138 which is the subject of this zoning application.

The record title of this property is in the name of Hao Wang

\*Pursuant to a deed of duly recorded in the date September 14, 2020, Middlesex South County Registry of Deeds at Book 75600, Page 40; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.



SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

-----  
State of New York  
Commonwealth of Massachusetts, County of Kings

The above-name Hao Wang personally appeared before me, this 17<sup>th</sup> of February, 2022, and made oath that the above statement is true.

Yelena Pasternak Notary

My commission expires 01/17/2025 (Notary Seal).

YELENA PASTERNAK  
NOTARY PUBLIC - STATE OF NEW YORK  
No. 01PA6353170  
Qualified in Kings County  
Commission Expires 01/17/2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Hao Wang  
(OWNER)

Address: 1-3 Longfellow Rd, Cambridge, MA 02138

State that I/We own the property located at 1-3 Longfellow Rd, Unit 1, Cambridge, MA 02138 which is the subject of this zoning application.

The record title of this property is in the name of Hao Wang

\*Pursuant to a deed of duly recorded in the date September 14, 2020, Middlesex South County Registry of Deeds at Book 75600, Page 40; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.

  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

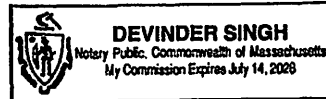
\*Written evidence of Agent's standing to represent petitioner may be requested.

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Hao Wang personally appeared before me, this 29<sup>th</sup> of Nov, 2021, and made oath that the above statement is true.

 Notary

My commission expires 07-14-2028 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 1 Longfellow Rd., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

The proposed change will not increase the FAR or the building height violation, or any other requirements of the ordinance.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The proposed change will only reduce the traffic to one existing basement entry. Therefore, it will not cause any congestion hazard, nor will it affect the neighborhood character.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

The proposed change will not deteriorate any setbacks for the abutter properties therefore it will not adversely affect the continued operation or the development of adjacent uses.

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

The lowering of the floor by the modest amount of 4", and adding safe and code-compliant window wells and doors will not introduce any noise pollution, light pollution, adverse setbacks, or congestion. It will not increase traffics or introduce any elements to negatively affect the health, safety, and welfare of the citizens of the City including the petitioner/occupant of the proposed use.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

The lowering of the right-side entrance to the basement does not derogate the intent or purpose of the ordinance.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

## BZA Application Form

### DIMENSIONAL INFORMATION

**Applicant:** Hao Wang

**Present Use/Occupancy:** Residential

**Location:** 1 Longfellow Rd., Cambridge, MA

**Zone:** Residence B Zone

**Phone:** 6178991199

**Requested Use/Occupancy:** Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3423	4161	2500	(max.)
<u>LOT AREA:</u>		4607	4607	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>		0.715	0.715	0.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2500	2500	2500	
<u>SIZE OF LOT:</u>	WIDTH	53.6	53.6	50	
	DEPTH	90	90	50	
<u>SETBACKS IN FEET:</u>	FRONT	17'	17'	15'	
	REAR	26'5"	26'5"	25'	
	LEFT SIDE	15'	15'	7'6"	
	RIGHT SIDE	8'6"	8'6"	7'6"	
<u>SIZE OF BUILDING:</u>	HEIGHT	33'	33'52"	35'	
	WIDTH	45'	45'	na	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		55.4%	55.4%	40%	
<u>NO. OF DWELLING UNITS:</u>		2	2	2	
<u>NO. OF PARKING SPACES:</u>		4	4	2	
<u>NO. OF LOADING AREAS:</u>		na	na	na	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		na	nan	na	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

na

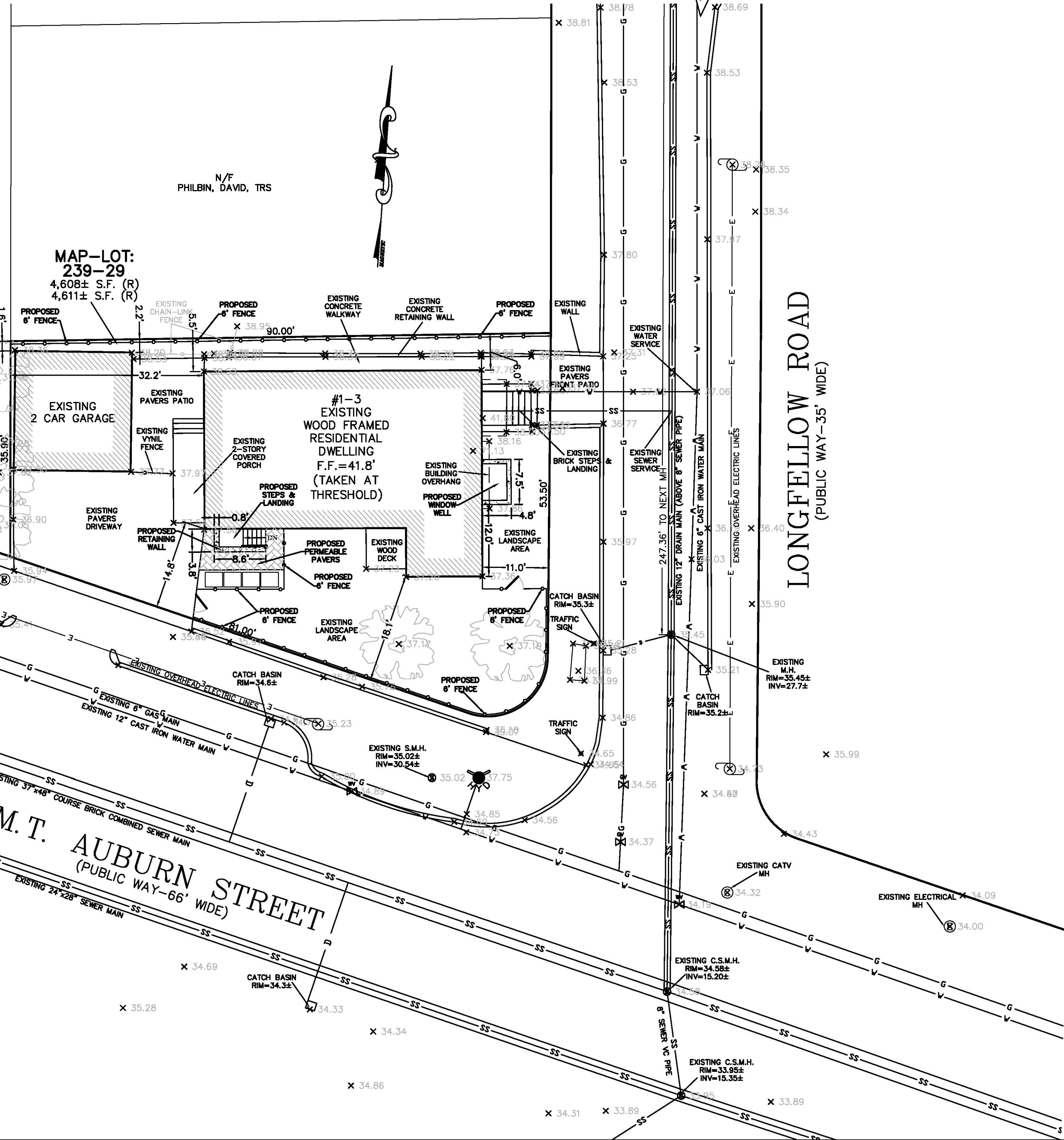
1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

**EXISTING LEGEND**

SS	SEWER LINE
⊙	SEWER MANHOLE
V	WATER LINE
G	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
⊕	WATER VALVE
□	CATCH BASIN
○	FENCE
-205-	CONTOUR LINE (MJR)
-195-	CONTOUR LINE (MNR)
X	SPOT GRADE
⊕	DRAIN MANHOLE
⊕	HYDRANT
⊕	TREE

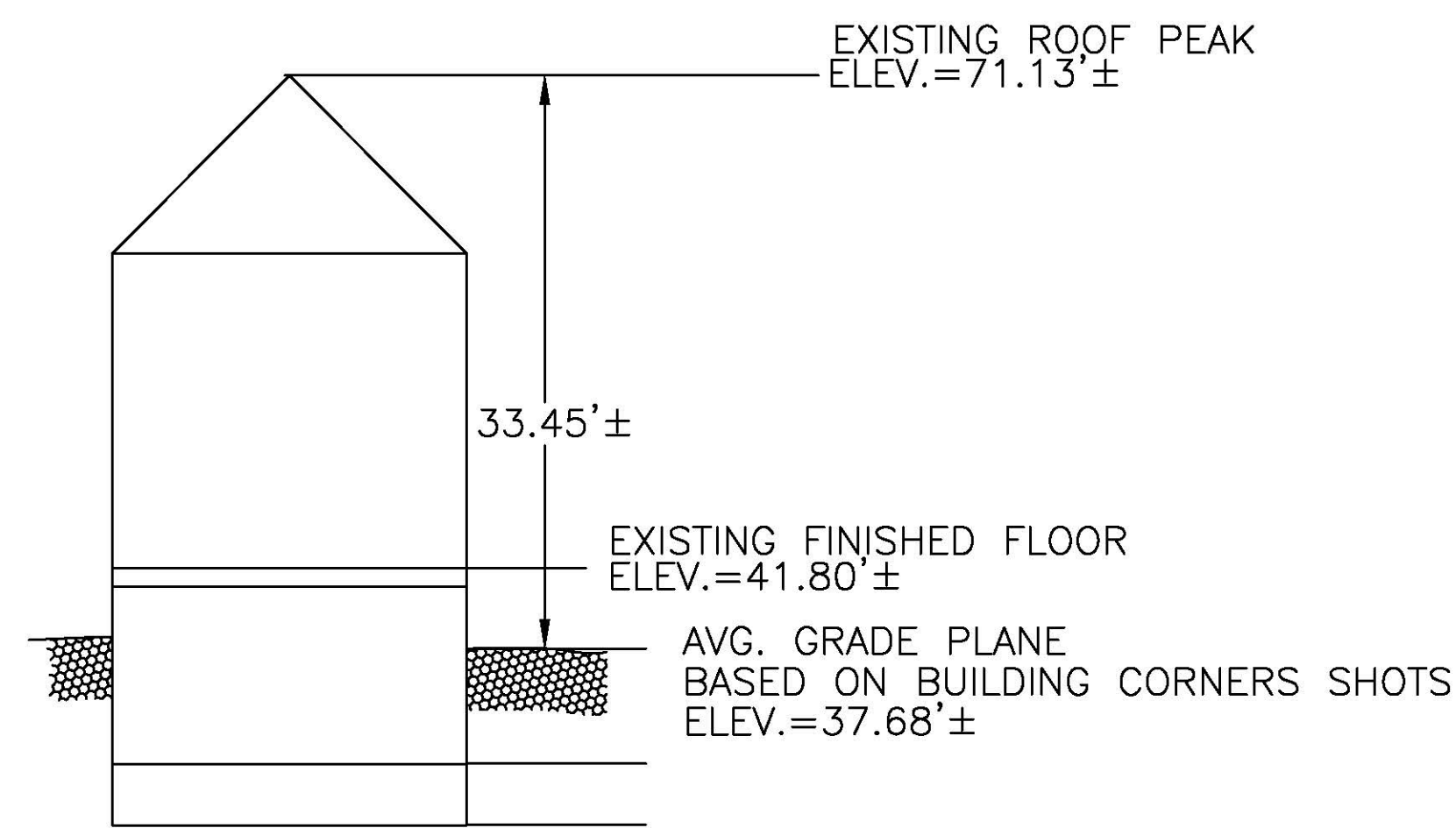
N/F  
SALEHI-ISFAHANI, DJAVAD &  
ANDREA L. KAVANAUGH;  
NOLLMAN, JORDAN & LARISSA BOUTIQUE

MAP-LOT:  
239-29  
4,608± S.F. (R)  
4,611± S.F. (R)

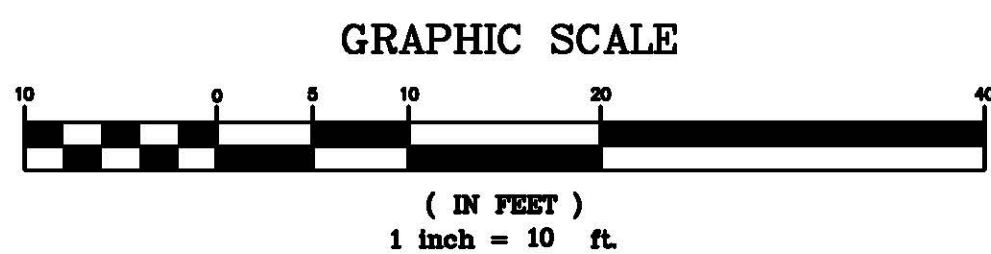


NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 02-22-2020.
2. LOCUS DEED BOOK 322172 PAGE 565  
REFERENCE PLAN NO. 649 OF 1989: BOOK 20059, PAGE 473  
REFERENCE PLAN: BOOK 19887, PAGE 473  
REFERENCE PLAN: BOOK 13150, PAGE 413  
SOUTH MIDDLESEX COUNTY DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, PANEL NUMBER 0419E, COMMUNITY NUMBER: 250186, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. ELEVATION SHOWN BASED ON CITY OF CAMBRIDGE DATUM.
9. ZONE DISTRICT= RESIDENCE B.

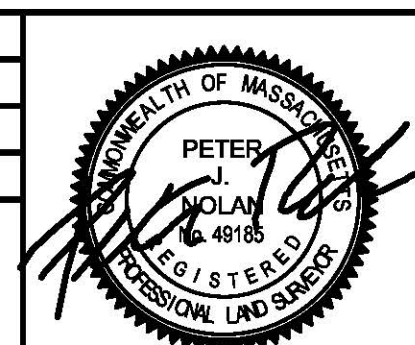


EXISTING PROFILE  
NOT TO SCALE



PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDING WITH THE CONTRACT DOCUMENTS.  
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.  
COPYRIGHT 2021 PETER NOLAN & ASSOCIATES LLC  
All Rights Reserved  
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC ANY VIOLATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL BE PENALIZED AS UNLAWFUL.

SCALE	1"=10'
DATE	03/25/2021
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	1 LONGFELLOW ROAD CAMBRIDGE MASSACHUSETTS
DRAWN BY	AU
CHKD BY	PJN
APPD BY	PJN
REV	4/6/22
REV	DATE
REVISION	REVISED PER CLIENT COMMENT
BY	DK
BY	
PROPOSED SITE PLAN	
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT ST, SUITE 1, NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 EMAIL: pnolan@pnasurveyors.com	



SHEET NO.  
**1**

## **Pacheco, Maria**

---

**From:** Jan Dillon Schaub <jandillon1@gmail.com>  
**Sent:** Monday, April 11, 2022 11:29 AM  
**To:** Pacheco, Maria  
**Cc:** Thomas Schaub; Jan Dillon  
**Subject:** 1-3 Longfellow Rd - hearing on Thursday

Hi - re 1-3 Longfellow Rd requested changes, we don't want any access of Dr Hester's land. Hao told us in person he wouldn't be moving the existing fencing, and as far as know Dr Hester's lawyer has not completed a survey of her lot.

In addition, we would object to a second rental unit in the basement. If he is authorized for an 'accessory' unit already we can't object to that.

We'd like him to clean up the outside of his house/garage since it is an eye sore. I assume that might be more than you can enforce but we'll mention this during the hearing. Everyone else on the street does repeated maintenance/painting/etc and Hao's lack of concern for his house/renters/neighbors is disconcerting.

Thanks very much!  
Jan Dillon Schaub  
914 720-9043



Case # 162489  
1-3 Longfellow Road  
Hao Wang, owner

We are writing as neighbors in regard to Hao Wang's special permit request for an Accessory Unit at 1 - 3 Longfellow Road (case #162489). We have lived at 14 Longfellow Road since 1970.

While we appreciate Dr. Wang's efforts to respond to concerns we have raised we have the following observations to make at this time:

1. We agree Dr. Wang is entitled to one Accessory Unit in his property which is the subject of this special permit request. Please note, the 4/5/22 drawings refer to Unit 2 and Unit 1 in the basement. Neither is labeled as Accessory Unit.

2. Consistent with our responses from the outset, we object to a second rental unit in the basement if it is rented or sublet separately from the 1st floor apartment. Dr. Wang has said the portion of the basement separate from the Accessory Unit will **be an extension of the first-floor apartment and will not be rented or sublet separately**. However, the presence of a second kitchenette in the basement design for Unit 1 shows the capacity/provision for a separate rental unit.

3. In reviewing the drawings most recently filed with the BZA by Dr. Wang (SKA Architect 4/5 Building Set and the Nolan 4/6 Proposed Site Plan [aka Plot plan]), we note the following inconsistencies between the drawings and email communication from Dr. Wang. The emails (see below) have stated there will be no changes to the Hester side (north side) of the house, i.e., the existing curb and door will remain. However, in the drawings we see the following:

–The 4/5/22 SKA Architect Building set shows the following on the Hester side: 2 new window wells (not showing grates over the sidewalk as stated

in his email of 4/5) and egress windows and lowered new sidewalk. The plan does not show the new walkway/wall that is shown in detail 5 on drawing A-901. This walkway/wall is located in (disputed) Hester property.

–The updated 4/6/22 Proposed Site Plan by Peter Nolan (originally dated 3/25/21) shows the existing curb but does not show the 2 new window wells. However, it does show a proposed 6-foot high fence along the entire property from the street to the back property line located within the (disputed) Hester property.

The lack of consistency between what the emails say and what the drawings show is of concern because we do not know what the final design will be and what we are being asked to support.

4. Dr. Wang has indicated a desire to improve the exterior of 1 - 3 Longfellow Road which we welcome.

Sincerely yours,  
Carlos and Judi Neu  
14 Longfellow Road  
617 680-8801  
[carlosneu1942@gmail.com](mailto:carlosneu1942@gmail.com)  
[judineu@comcast.net](mailto:judineu@comcast.net)

**Hao Wang emails:**

Email from Hao Wang on 4/7/22 regarding the proposed "updated site plot by Peter Nolan & Associates.

On Thu, Apr 7, 2022 at 8:45 AM Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

The updated site plot by Peter Nolan & Associates is dated April 6, 2022. There is no retention wall or stairs facing 7 Longfellow Rd. This renovation project does not alter the current curb line or the Hester fence. The drawings have been submitted to BZA.

Thank you for working with me on this.

Best,

Hao

Email from Hao Wang on 4/5/22 regarding the SKA proposed architectural plan.

> On Apr 5, 2022, at 4:01 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

>

> Good afternoon, Weldon,

>

> I want to share the updated drawing based on our last communications.

>

> 1. the dimensions of the window wells facing 7 Longfellow Rd are on the drawing;

> 2. we use metal grates for the window wells to continue the walkway from the front to the rear of my property;

> 3. now that the design is near-final, my architect will work with Peter Nolan & Associates to update the site plot, remove the double-staircase door well and retention walls, and mark the site plot with the two small windows.

>

> I believe this version of the drawings satisfies our requirements. Please review and let me know if I have missed anything. Otherwise, I will submit it to BZA by EOD this Friday



Case # 162489  
1-3 Longfellow Road  
Hao Wang, owner

We are writing as an abutter-to-abutter in regard to to Hao Wang's special permit request for an Accessory Unit at 1 – 3 Longfellow Road (case #162489). We have lived at 10 Longfellow Road since 1973.

Our concern with Hao Wang's special permit request is twofold—1) the possibility that the design perpetuates the possibility of a second basement rental/sublet unit (we support only one Accessory Unit) and 2) the inconsistency and lack of clarity about proposed changes to the 7 Longfellow Road side of the house (aka Hester side).

We appreciate Dr. Wang's efforts to respond to concerns we have raised and have the following observations to make at this time:

1. We agree Dr. Wang is entitled to one Accessory Unit in his property which is the subject of this special permit request. Please note, the 4/5/22 drawings refer to Unit 2 and Unit 1 in the basement. Neither is labeled as Accessory Unit.

2. Consistent with our responses from the outset, we object to a second rental unit in the basement if it is rented or sublet separately from the 1st floor apartment. Dr. Wang has said the portion of the basement separate from the Accessory Unit will **be an extension of the first-floor apartment and will not be rented or sublet separately**. However, the presence of a second kitchenette in the basement design for Unit 1 shows the capacity/provision for a separate rental unit.

3. In reviewing the drawings most recently filed with the BZA by Dr. Wang (SKA Architect 4/5 Building Set and the Nolan 4/6 Proposed Site Plan [aka Plot plan]), we note the following inconsistencies between the drawings and email communication from Dr; Wang. The emails (see below) have stated there will be no changes to the Hester side (north side) of the house, i.e., the existing curb and door will remain. However, in the drawings we see the following:

—The 4/5/22 SKA Architect Building set shows the following on the Hester side: 2 new window wells (not showing grates over the sidewalk as stated in his email of 4/5) and egress windows and lowered new sidewalk. The plan does not show the new walkway/wall that is shown in detail 5 on drawing A-901. This walkway/wall is located in (disputed) Hester property.

—The updated 4/6/22 Proposed Site Plan by Peter Nolan (originally dated 3/25/21) shows the existing curb but does not show the 2 new window wells. However, it does show a proposed 6-foot high fence along the entire property from the street to the back property line located within the (disputed) Hester property.

The lack of consistency between what the emails say and what the drawings show is of concern because we do not know what the final design will be and what we are being asked to support.

4. Dr. Wang has indicated a desire to improve the exterior of 1 - 3 Longfellow Road which we welcome.

Sincerely yours,

Weldon and Rebecca Pries  
10 Longfellow Road  
Cambridge, MA 02138  
617-223-7883

**Hao Wang emails:**

Email from Hao Wang on 4/7/22 regarding the proposed “updated site plot by Peter Nolan & Associates.

On Thu, Apr 7, 2022 at 8:45 AM Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:  
The updated site plot by Peter Nolan & Associates is dated April 6, 2022. There is no retention wall or stairs facing 7 Longfellow Rd. This renovation project does not alter the current curb line or the Hester fence.  
The drawings have been submitted to BZA.  
Thank you for working with me on this.  
Best,  
Hao

Email from Hao Wang on 4/5/22 regarding the SKA proposed architectural plan.

> On Apr 5, 2022, at 4:01 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:  
>  
> Good afternoon, Weldon,  
>  
> I want to share the updated drawing based on our last communications.  
>  
> 1. the dimensions of the window wells facing 7 Longfellow Rd are on the drawing;  
> 2. we use metal grates for the window wells to continue the walkway from the front to the rear of my property;  
> 3. now that the design is near-final, my architect will work with Peter Nolan & Associates to update the site plot, remove the double-staircase door well and retention walls, and mark the site plot with the two small windows.  
>  
> I believe this version of the drawings satisfies our requirements. Please review and let me know if I have missed anything. Otherwise, I will submit it to BZA by EOD this Friday.

## Pacheco, Maria

---

**From:** Fleet Hill <fleethill@gmail.com>  
**Sent:** Monday, April 11, 2022 1:36 PM  
**To:** Pacheco, Maria  
**Cc:** Walter Popper  
**Subject:** Case # 162489, Hao Wang 1-3 Longfellow Rd.

To the Zoning Board,

We are longtime owners and residents at 22-24 Longfellow Road and are writing to support the application of Hao Wang (Case # 162489) for a special permit for basement renovations and one accessory unit. As 1-3 Longfellow is prominent at the entrance to Longfellow Road and in need of exterior upgrading, we encourage the ZBA to require additional improvements, including replacement of the brick stairs, and repainting or replacement of the siding.

Thank you.

D. Fleet Hill  
Walter J. Popper  
22 Longfellow Road  
Cambridge, MA 02138

--

[fleethill@gmail.com](mailto:fleethill@gmail.com)  
22 Longfellow Road  
Cambridge, MA 02138  
617 388-4587 m

## **Pacheco, Maria**

---

**From:** John Giunta <junta1@comcast.net>  
**Sent:** Monday, April 11, 2022 2:17 PM  
**To:** Pacheco, Maria  
**Subject:** Case # 162489

Case# 162489  
1-3 Longfellow Road  
Hao Wang, owner

11 April 2022

To: Cambridge Board of Zoning Appeal

We, Jocelyn and John Giunta, reside at 15-17 Longfellow Road. Jocelyn was born at this address in 1939 and has a long history of the parameters of this road. She remembers that this neighborhood was one of two family houses only, not rented out to four separate individuals as Dr. Wang has done. His spaces in the current basement have been occupied despite what he alleges. Moreover, some of his "tenants" have been a young crowd having loud parties with beer cans left on the street. She also remembers having played in the yard of the Hester's house when she was a kid and that the property line is exactly the same today as it was then.

Also, Dr. Wang appears to be an absent landlord since we see his car with New York plates only occasionally on a weekend. And we understand he works for the state of New York.

John has lived here since 1962 and also agrees with Jocelyn's observations.

We have seen the new response by our neighbors Rebecca and Weldon Pries and wholeheartedly agree with their detailed response, choosing not to repeat the same things here.

We think it is important that the City do an official inside inspection of 1-3 Longfellow Road.

Thus we also strongly oppose Dr. Hao Wang's variance and special permit request.

Jocelyn and John Giunta  
15-17 Longfellow Road  
Cambridge, MA 02138

Case # 162489  
1-3 Longfellow Road  
Hao Wang, owner

I am writing as an abutter in regard to Hao Wang's special permit request for an Accessory Unit at 1 – 3 Longfellow Road (case #162489).

We moved to 6-8 Longfellow Road in July 2021. What attracted us to the neighborhood is the quiet and safe environment, as well as the beautiful design of a dead-end street with all 2-unit houses mostly occupied by long term residents. I am concerned with this special permit request, and in particular, with the possibility that the design creates a second basement rental/sublet unit. Given my observations in the past year, Dr. Wang rarely stayed at the house, and he rented his current units to multiple tenants. I am very concerned that Dr. Wang would use the second basement unit as a rental unit. I strongly object to a second rental unit in the basement if it is rented or sublet separately from the 1st floor apartment.

Sincerely yours,

Ying Tian  
8 Longfellow Road  
Cambridge, MA 02138

## **Pacheco, Maria**

---

**From:** Tom Schaub <schaub.t@gmail.com>  
**Sent:** Monday, April 11, 2022 3:46 PM  
**To:** Pacheco, Maria  
**Cc:** David Philbin; Hill Fleet; Giunta John; Dillon Jan  
**Subject:** Longfellow 1-3 hearing for Mr. Hao

Thanks Maria,

We live at 11 - 13 Longfellow, which is one home away from Mr. Hao's 1-3 Longfellow on the same street.

Our impression is that Mr. Hao is not in fact a resident, that the Longfellow 1-3 property clearly is the least well maintained on the street, and that his intended expansion is to increase his already out of ordinance rentals on our residential street.

Mr. Hao is also making an as yet undocumented land claim on his abutting neighbor, Mary Hester, who is in her 90's and unable to defend herself personally. He is also requesting a right of first refusal on her property. Mary Hester lives between us and Mr. Hao. I am copying Mary's lawyer David Philbin here.

I've spoken with neighbors on the street. I believe that they share these perceptions.

So, my wife and I do not support the expansion of 1-3 Longfellow.

Moreover, we would appreciate it if the city actually enforced its ordinances on the existing property.

Best,

Tom and Jan Schaub



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

BZA

## POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: \_\_\_\_\_

(Print)

Date: \_\_\_\_\_

3/25/2022

Address: \_\_\_\_\_

1 Longfellow Rd.

Case No. \_\_\_\_\_

BZA-162489

Hearing Date: \_\_\_\_\_

4/14/22

Thank you,  
Bza Members



**SAM KACHMAR ARCHITECTS**

357 Huron Ave Cambridge MA 02138  
617.800.6223 sam@kachmardesign.com

April 6, 2022

Cambridge Board of Zoning Appeals  
Cambridge, MA 02138

Dear Chairman Sullivan and Members of the Zoning Board,

I am writing on behalf of our client Hao Wang, owner of the property at 1 Longfellow Road, Cambridge, MA, 02138. Hao has retained the services of SKA to reduce the impact on his neighbors of the renovations that he has planned for the property at 1 Longfellow Road. SKA has worked with Hao to keep the walkway along the side of the property flush with the grade and not excavate the area and create a further disturbance for the neighbors.

SKA circulated plans to Hao and to his neighbors over the weekend of April 2, 2022, and we made multiple revisions throughout the week of April 6 in response to neighbor feedback. While we are unable to attend tonight's hearing, we hope that the drawings submitted, along with this letter, will help the board reach a decision to approve this design. This home is an aged house in significant need of upgrades to allow it to be beneficial to the Cambridge housing stock.

Since 2008, our firm has been committed to designing enduring and functional spaces that are reflective of the values and characters of our clients and enhance the neighborhoods in which they are located. An integral part of our process involves communicating with the neighbors to reduce the impact of renovations and construction.

We hope that by citing Article 5, section 5.31 (table of dimensional requirements) and Article 8, section 8.22.3 (Non-Conforming Structure), this special permit can be granted, and the project can proceed. Previously, this was a variance request, and it has now been reduced in both its impact and by request to be converted to a special permit.

SKA is happy to answer any questions and review the project as needed before or after the hearing on Thursday April 14, 2022. Thank you for your time and for reviewing this letter of professional opinion.

Sincerely,

A handwritten signature in black ink, appearing to read 'SKA'.

Samuel Jacob Kachmar  
Principal  
MA Architect License #31229



From: Hao Wang, 1-3 Longfellow Rd, Cambridge, MA 02138  
To: Board of Zoning Appeal, City of Cambridge  
Date: April 7, 2022

Subject: Request for Continuation of Application #162489

Dear Board of Zoning Appeal,

Dear Board of Zoning Appeal,

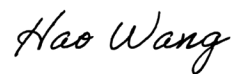
Since submitting my special permit application #162489, I have engaged all my direct abutters and neighbors on Longfellow Road and in Channing Circle. Per requests by my neighbors, I decided not to lower my existing basement entrance facing 7 Longfellow Road. Instead, I am only proposing to use grated window wells to enlarge two existing windows for safety exits. By further reducing the scope of change, I have satisfied all architectural requirements of my neighbors to date.

As the trustee of 7 Longfellow Rd and I are working on our dispute about our property line, I have decided not to alter the current curb line or the existing fence in this basement renovation project. I kept my promise not to alter the existing line through this project. If I am not changing the existing line in this project, Mr. David Philbin has given me conditional approval or no objection to my special permit application. Mr. Philbin has ordered his independent land survey, and we will work out our differences then, unrelated to this special permit application.

I had to change my Architect for the final modification during the reconciliation process. Given the short notice, my new Architect of record, SKA, will not be available to present my case on April 14, 2022. Instead, SKA has wrote you a letter and offered to address any questions that I cannot answer before or after the hearing. Given the significantly reduced scope of change, I feel confident to present my case on April 14, 2022.

Please give me your suggestions, comments, and support for this simplified and modest renovation project.

Best



Hao Wang



Hao Wang &lt;dr.hao.wang@gmail.com&gt;

---

**1 Longfellow Rd, Cambridge, MA**

---

**Hao Wang** <dr.hao.wang@gmail.com>  
To: David Philbin <philbindap@yahoo.com>  
Cc: Andrea Duggan <aduggan@philbin-oneil.com>

Thu, Apr 7, 2022 at 8:50 AM

David,  
While I am waiting for your survey results, I want you to have mine.  
I asked Peter Nolan to remove the staircases and the retention walls facing 7 Longfellow Rd.  
As shown in the updated survey, my current project does not alter the side entrance facing 7 Longfellow Rd, neither does it alter the current curb line or Hester fence.  
Please send me your survey results when you get it.  
Best,

Hao

On Apr 5, 2022, at 5:52 PM, Hao Wang <dr.hao.wang@gmail.com> wrote:

I will replace the broken curb but no retention wall necessary.

Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199  
| <http://www.linkedin.com/in/hw168>

On Apr 5, 2022, at 5:34 PM, David Philbin <philbindap@yahoo.com> wrote:

thank you. I will review with counsel. So no changes proposed to current doorway on Hester side? Is there a new retaining wall since it does not seem to show on the plan.

Have not heard from surveyor as yet.

Regards.

David A. Philbin

On Tuesday, April 5, 2022, 04:18:24 PM EDT, Hao Wang <dr.hao.wang@gmail.com> wrote:

Good afternoon, David and Andrea,

Attached are the updated drawings ready to be submitted to the BZA.

The design keeps the dimensions and continuity of the sidewalk from the front to the rear of my property. This design does not add new windows, nor does it relocate the existing door facing Hester property.

This design does not disturb the Hester fence, which we should address outside the project.

I look forward to your survey result.

Best,

Hao  
6178991199

On Apr 1, 2022, at 7:21 PM, David Philbin <[philbindap@yahoo.com](mailto:philbindap@yahoo.com)> wrote:

Survey has been ordered.

Sent from Yahoo Mail for iPhone

On Friday, April 1, 2022, 6:54 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

Good evening, David and Andrea,

I hope this note finds you well. Have you ordered another survey yet? Could you please share with me the result of your survey?

Attached, please review the complete set of the new drawings reflecting our design on the right side facing Dr. Hester's house. As you can see, we preserved the right side walkway and kept the door in its original place.

Thank you.

Hao

On Mar 10, 2022, at 11:41 AM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

Andrea,

Thanks for the update.

Once Atty. Philbin receives the result of another survey, please share it with me.

My revised plan is in the work, as soon as it is available, I will share it with Atty. Philbin.

Let us plan on a conference call to discuss once both tasks are completed.

Hao

Hao Wang, Ph.D.  
| [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199  
| <http://www.linkedin.com/in/hw168>

On Tue, Mar 8, 2022 at 11:04 AM Andrea Duggan <[aduggan@philbin-oneil.com](mailto:aduggan@philbin-oneil.com)> wrote:

Dr. Wang

I was just able to reach Atty. Philbin, but he is not going to be available this afternoon for a telephone call. He asked me to relay the following information to you.

Atty. Philbin has ordered another survey to determine the location of the fence.

He would like to review your revised plan showing a sunken doorway and removing the retaining wall. Please forward when available.

After you have your revised plans and Atty. Philbin has the new survey, he would like to discuss the land court issue at that time.

Andrea

***Andrea J. Duggan, Paralegal***

Philbin & O'Neil, LLC

43 High Street

Clinton, MA 01510

Direct: 978-639-4181

Office: 978-365-4587

Fax: 978-368-8411


Email: [aduggan@philbin-oneil.com](mailto:aduggan@philbin-oneil.com)

-

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. Any unauthorized dissemination or copying of this email or its attachments, and any use or disclosure of any information contained in them, is strictly prohibited and may be illegal. If you have received this email in error, please notify 978-365-4587 and delete it from your system.

Please note that Philbin & O'Neil, LLC has completed a WISP and has created and implemented policies and procedures to protect client's, individual's, and employee's personal information pursuant to our interpretation of the regulation (201 CMR 17.00) requiring a Written Information Security Program (WISP). If you have any questions please contact our Data Security Coordinator at 978-365-4587.

---

 **1 Longfellow Rd, Cambridge, MA - Proposed Plan REV D DK4.6.22.pdf**  
168K



Hao Wang &lt;dr.hao.wang@gmail.com&gt;

---

## Updated drawings for 1 Longfellow Rd

---

**Hao Wang** <dr.hao.wang@gmail.com>

Thu, Apr 7, 2022 at 8:45 AM

To: Weldon Pries &lt;pries.weldon@gmail.com&gt;

Cc: Carlos Neu &lt;carlosneu1942@gmail.com&gt;, Judi Neu &lt;judineu@comcast.net&gt;, Rebecca Pries &lt;rebeccapries@gmail.com&gt;, Fleet Hill &lt;fleethill@gmail.com&gt;

The updated site plot by Peter Nolan & Associates is dated April 6, 2022. There is no retention wall or stairs facing 7 Longfellow Rd. This renovation project does not alter the current curb line or the Hester fence.

The drawings have been submitted to BZA.

Thank you for working with me on this.

Best,

Hao

> On Apr 5, 2022, at 4:01 PM, Hao Wang <dr.hao.wang@gmail.com> wrote:

>

> Good afternoon, Weldon,

>

> I want to share the updated drawing based on our last communications.

>

> 1. the dimensions of the window wells facing 7 Longfellow Rd are on the drawing;

> 2. we use metal grates for the window wells to continue the walkway from the front to the rear of my property;

> 3. now that the design is near-final, my architect will work with Peter Nolan & Associates to update the site plot, remove the double-staircase door well and retention walls, and mark the site plot with the two small windows.

>

> I believe this version of the drawings satisfies our requirements. Please review and let me know if I have missed anything. Otherwise, I will submit it to BZA by EOD this Friday.

>

> Thank you again for working with me on the design.

>

> Hao

>

>

> <1LongfellowRd\_SKA-PermittingSet\_04.05.22.pdf>

**1 Longfellow Rd, Cambridge, MA - Proposed Plan REV D DK4.6.22.pdf**

168K



Hao Wang &lt;dr.hao.wang@gmail.com&gt;

---

**1-3 Longfellow Road Basement Entrance**

2 messages

**Weldon Pries** <pries.weldon@gmail.com>

Sun, Mar 6, 2022 at 10:36 PM

To: dr.hao.wang@gmail.com

Cc: Carlos Neu &lt;carlosneu1942@gmail.com&gt;, Judi Neu &lt;judineu@comcast.net&gt;, Rebecca Pries &lt;rebeccakpries@gmail.com&gt;, Fleet Hill &lt;fleethill@gmail.com&gt;, Walter Popper &lt;wjpopper@gmail.com&gt;, eelfman@gmail.com, belfman@gmail.com, jandillon1@gmail.com, schaub.t@gmail.com, mglenmullen.dublon@gmail.com, junta1@comcast.net, philbindap@yahoo.com, DrSmocz@aol.com, paltekruse@aol.com, ytian01@gmail.com

Dear Hao,

Thank you for your email to Rebecca in response to my comments on your drawings of 1/21. I appreciate your offer to ask your architect to provide a revised solution to the basement entrance. In this revised solution, the entrance will occur directly from the sidewalk, without a lowered door, without a sunken entry area, without ramps, extensive retaining walls, railings and guardrails. The stairs to the basement will need to be redesigned to remain within the interior of the house. This is what I suggested when we met on January 14.

The boundary with the Hester property needs to be resolved with David Philbin, Trustee for Mary Hester.

Best, Weldon

---

**Hao Wang** <dr.hao.wang@gmail.com>

Tue, Mar 8, 2022 at 8:03 AM

To: Weldon Pries &lt;pries.weldon@gmail.com&gt;

Cc: Carlos Neu &lt;carlosneu1942@gmail.com&gt;, Judi Neu &lt;judineu@comcast.net&gt;, Rebecca Pries &lt;rebeccakpries@gmail.com&gt;, Fleet Hill &lt;fleethill@gmail.com&gt;, Walter Popper &lt;wjpopper@gmail.com&gt;, Eric Elfman &lt;eelfman@gmail.com&gt;, Barbara &lt;belfman@gmail.com&gt;, Jan Dillon &lt;jandillon1@gmail.com&gt;, Tom Schaub &lt;schaub.t@gmail.com&gt;, Muireann Glenmullen &lt;mglenmullen.dublon@gmail.com&gt;, jocelyn giunta &lt;junta1@comcast.net&gt;, David Philbin &lt;philbindap@yahoo.com&gt;, Eva Smoczkiwicz &lt;DrSmocz@aol.com&gt;, Phil Altekruse &lt;paltekruse@aol.com&gt;, Ying Tian &lt;ytian01@gmail.com&gt;

Dear Weldon and our neighbors,

Yesterday, the City of Cambridge scheduled my hearing for April 14, 2022. Please mark the date. As soon as a poster is ready, I will pick it up from the city and post it in my front yard.

Thank you for a clear and concise final recommendation. I will inform my architect to design accordingly. I hope he can find a way to either enlarge the existing windows or add a new one for safety. If he needs any final tweaks, I will let you know. Our goal is to submit the final drawing by the first week of April.

Thank you for allowing David Philbin and me to work offline to sort out our difference. I trust we can have a graceful arrangement.

Best

Hao

[Quoted text hidden]



# WANG RESIDENCE RENOVATION

DR. HAO WANG

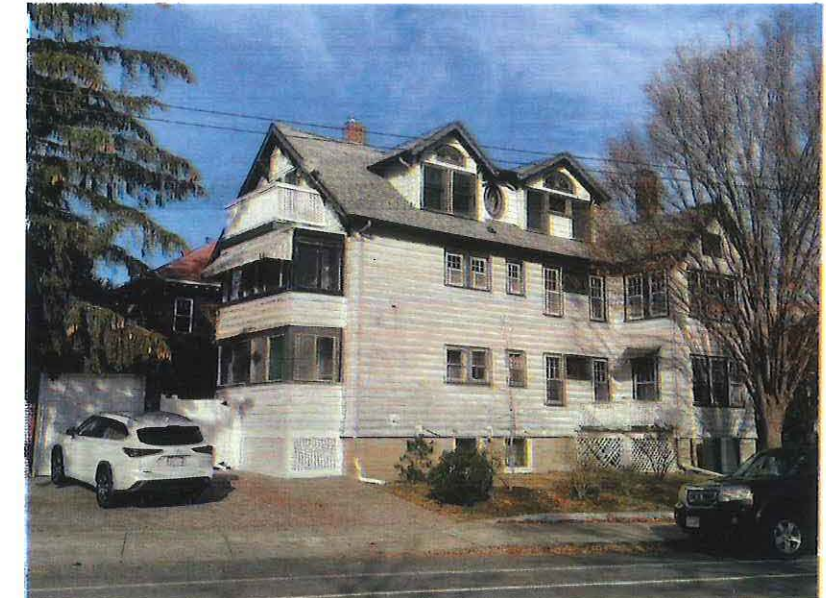
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138



CITY OF CAMBRIDGE  
INSPECTIONAL SERVICES  
2022 APR 25 A 10:16

PERMITTING SET

APRIL 25, 2022



ARCHITECT:

**SKA INC.**  
357 HURON AVE  
CAMBRIDGE, MA



SURVEYOR / CIVIL ENGINEER:

**PETER NOLAN & ASSOCIATES LLC**  
80 JEWETT ST #2  
NEWTON, MA

## CONTENTS

A-000	COVER SHEET
A-001	GENERAL NOTES
A-101	EXISTING FLOOR PLANS (LEVEL 0 & LEVEL 1)
A-102	EXISTING FLOOR PLANS (LEVEL 2 & LEVEL 3)
A-103	EXISTING ELEVATIONS (EAST & SOUTH)
A-104	EXISTING ELEVATIONS (WEST & NORTH)
A-105	PROPOSED FLOOR PLANS (LEVEL 0 & LEVEL 1)
A-106	PROPOSED FLOOR PLANS (LEVEL 2 & LEVEL 3)
A-107	PROPOSED ELEVATIONS (EAST & SOUTH)
A-108	PROPOSED ELEVATIONS (WEST & NORTH)
A-901	CONSTRUCTION DETAILS



# A-001 GENERAL NOTES

## UNDERPINNING GENERAL NOTES

- AREAS TO BE UNDERPINNED HAVE BEEN NOTED ON THE DRAWINGS. EXCAVATION ADJACENT TO AN EXISTING STRUCTURE SHALL NOT EXTEND BELOW THE BOTTOM OF AN EXISTING STRUCTURE BY MORE THAN 1 UNIT VERTICALLY FOR EVERY TWO UNITS OF HORIZONTAL DISTANCE FROM THE EXISTING STRUCTURE.
- IF IT BECOMES NECESSARY FOR THE DEPTH OF THE EXCAVATION TO EXCEED THESE RESTRICTIONS IN AREAS WHERE UNDERPINNING IS NOT INDICATED, CONTRACTOR SHALL CEASE WORK IN THE IMMEDIATE AREA BEFORE EXTENDING DEEPER THAN THE RESTRICTIONS ALLOW AND NOTIFY ARCHITECT. WORK IN THE AFFECTED AREA SHALL NOT RECOMMENCE UNTIL CONTRACTOR HAS OBTAINED WRITTEN DIRECTION FROM THE ARCHITECT.
- AREAS TO BE UNDERPINNED SHALL BE PROTECTED FROM THE WEATHER AT ALL TIMES DURING UNDERPINNING OPERATIONS. PERIMETERS OF EXCAVATIONS SHALL BE TEMPORARILY BERMED TO PREVENT SURFACE WATER RUNOFF FROM ENTERING EXCAVATION. GROUNDWATER SHALL BE REMOVED.
- UNDERPINNING SHALL BE DONE IN SHORT SEGMENTS WITH LENGTHS NOT TO EXCEED 4 FEET.
- WORK ON EACH SEGMENT SHALL BE COMPLETED PRIOR TO MOVING ON TO THE ADJACENT SEGMENTS. WHERE MORE THAN ONE SEGMENT IS TO BE WORKED ON AT THE SAME TIME, SEGMENTS SHALL BE SEPARATED BY AT LEAST TWO TIMES THE LENGTH OF THE LONGER SEGMENT.
- CONCRETE PORTIONS OF UNDERPINNING SHALL BE KEPT 3 INCHES BELOW THE BOTTOM OF THE EXISTING STRUCTURE TO ALLOW FOR THE INSTALLATION OF DRYPACKED NON-SHRINK GROUT.
- CONCRETE PORTION OF THE UNDERPINNING SHALL BE ALLOWED TO CURE AT LEAST SEVEN DAYS PRIOR TO THE INSTALLATION OF THE DRYPACKED NONSHRINK GROUT BETWEEN THE TOP OF THE TOP OF THE CONCRETE PORTION AND THE BOTTOM OF THE EXISTING STRUCTURE.
- WORK ON AN ADJACENT SEGMENT SHALL NOT BEGIN UNTIL THE CONCRETE PORTION OF THE SEGMENT HAS BEEN ALLOWED TO CURE FOR AT LEAST 3 DAYS AND THE NON-SHRINK GROUT HAS BEEN ALLOWED TO CURE FOR AT LEAST 24 HOURS. COMPRESSIVE STRENGTH OF ALL MATERIALS SHALL HAVE ATTAINED A MINIMUM OF 1800 PSI.
- DURING ALL UNDERPINNING WORK, CARE SHALL BE TAKEN NOT TO DISPLACE THE BACK FACE OF EXCAVATION. IF BACK FACE OF EXCAVATION IS EXTENDED BEYOND THE BACK OF THE EXISTING FOOTING, WHERE PRESENT, EXISTING SLAB-ON-GRADE ABOVE THE AFFECTED AREA SHALL BE ASSUMED TO BE UNDERMINED AND SHALL BE REMOVED AND REPLACED AFTER NEW COMPACTED STRUCTURAL FILL HAS BEEN PLACED FROM THE TOP OF THE UNDERPINNING TO THE BOTTOM OF THE SLAB, AT CONTRACTOR'S COST.
- IF EXISTING SOIL CONDITIONS ARE NOT SUITABLE TO ALLOW FOR THE INSTALLATION OF THE FULL HEIGHT OF THE UNDERPINNING IN A SINGLE PIECE, SEGMENT SHALL BE DIVIDED INTO VERTICAL SECTIONS AND INSTALLED IN SEVERAL LIFTS OF UNDERPINNING.

## GENERAL NOTES:

### CONTRACTOR RESPONSIBILITY- CONTRACTOR IS SOLELY RESPONSIBLE FOR:

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

### REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

### SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

### CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

### REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

### GENERAL NOTES:

- PROVIDE R-30 INSULATION IN ALL EXPOSED FLOOR JOIST CAVITIES.
- PROVIDE R-21 INSULATION IN ALL EXPOSED EXTERIOR STUD WALL CAVITIES.
- PROVIDE R-49 INSULATION IN ALL EXPOSED ROOF JOIST CAVITIES, TYPICAL.
- PROVIDE R-19 INSULATION IN ALL EXPOSED BASEMENT STUD WALL CAVITIES. INSULATION MUST BE NON-WATER SENSITIVE.
- REFER TO THE FRAMING PLANS PRIOR TO DEMOLITION. CONTACT THE ARCHITECT IMMEDIATELY IF THERE ARE CONFLICTS OR OMISSIONS.

## WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:  
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

## WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

## DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT  
- FLOORS  
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217  
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb=875 PSI, Fv=135 PSI.

### CONTRACTOR NOTE:

PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD-VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY MADE KNOWN TO THE ENGINEER IN WRITING. THE USE OF (V.I.F.) OR (+/-) OR OTHER SIMILAR NOTES AT CERTAIN LOCATIONS ON THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR VERIFYING ALL CONDITIONS DESCRIBED ABOVE.

## FOUNDATION NOTES:

- ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
- ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
- NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 5 DAYS AFTER THEY WERE POURED.
- THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
- LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
- ALL REINFORCEMENT: ASTM A615-60, WWF A185.

## CONCRETE NOTES:

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:  
- 3000 PSI FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
- MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

## REINFORCING NOTES:

- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:  
A. FOOTINGS 3 INCHES  
B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES  
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES  
D. TOP STEEL OF INTERIOR SLABS 1 INCHES  
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

### NOTE:ENERGY CODE COMPLIANCE

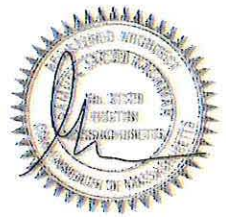
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERs RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



GENERAL NOTES

DR. HAO WANG

WANG RESIDENCE RENOVATION

1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

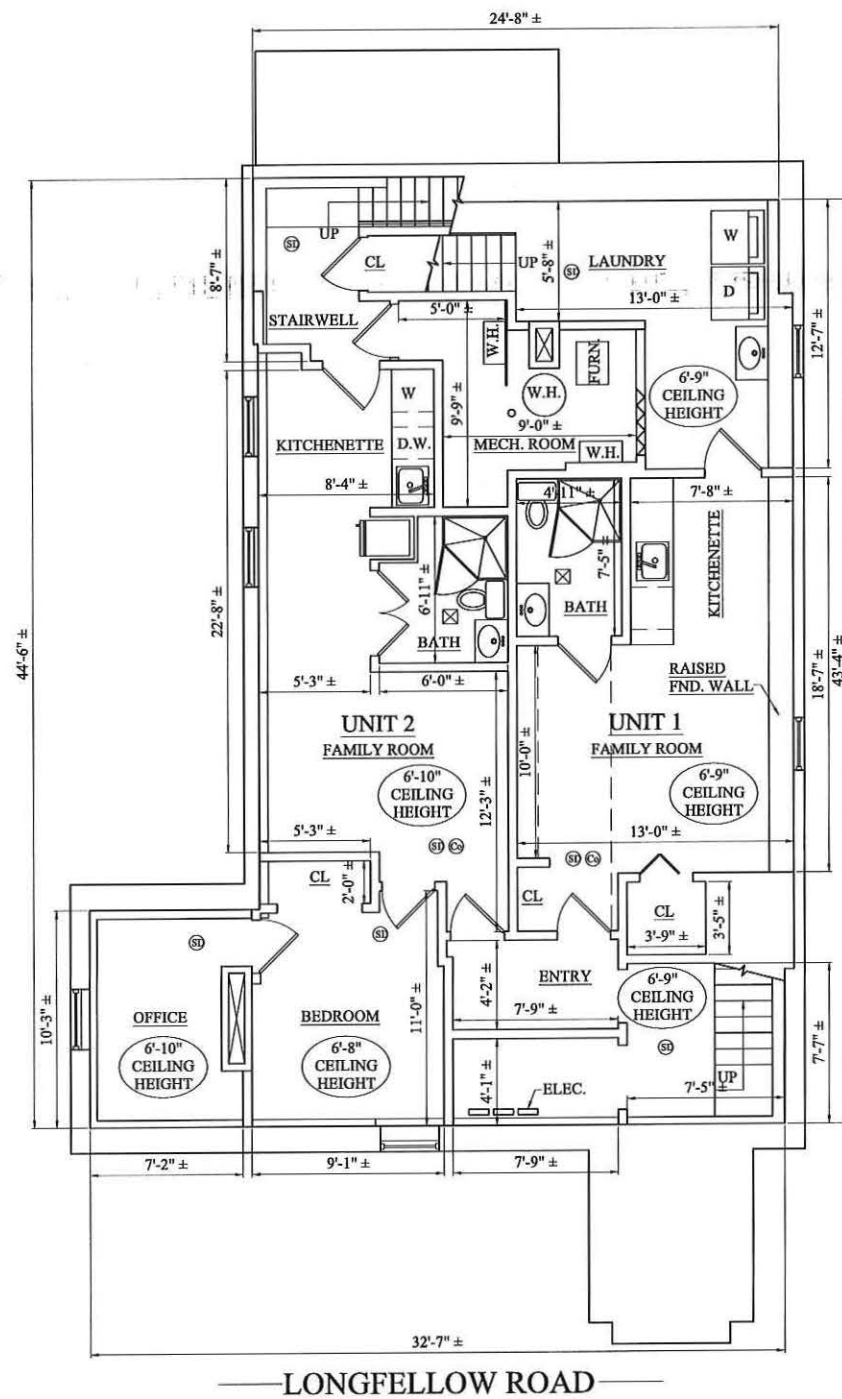
Project Status PERMITTING SET  
Project number 2203.001  
Date APRIL 25, 2022  
Drawn by SKA  
Checked by SKA

**A-001**

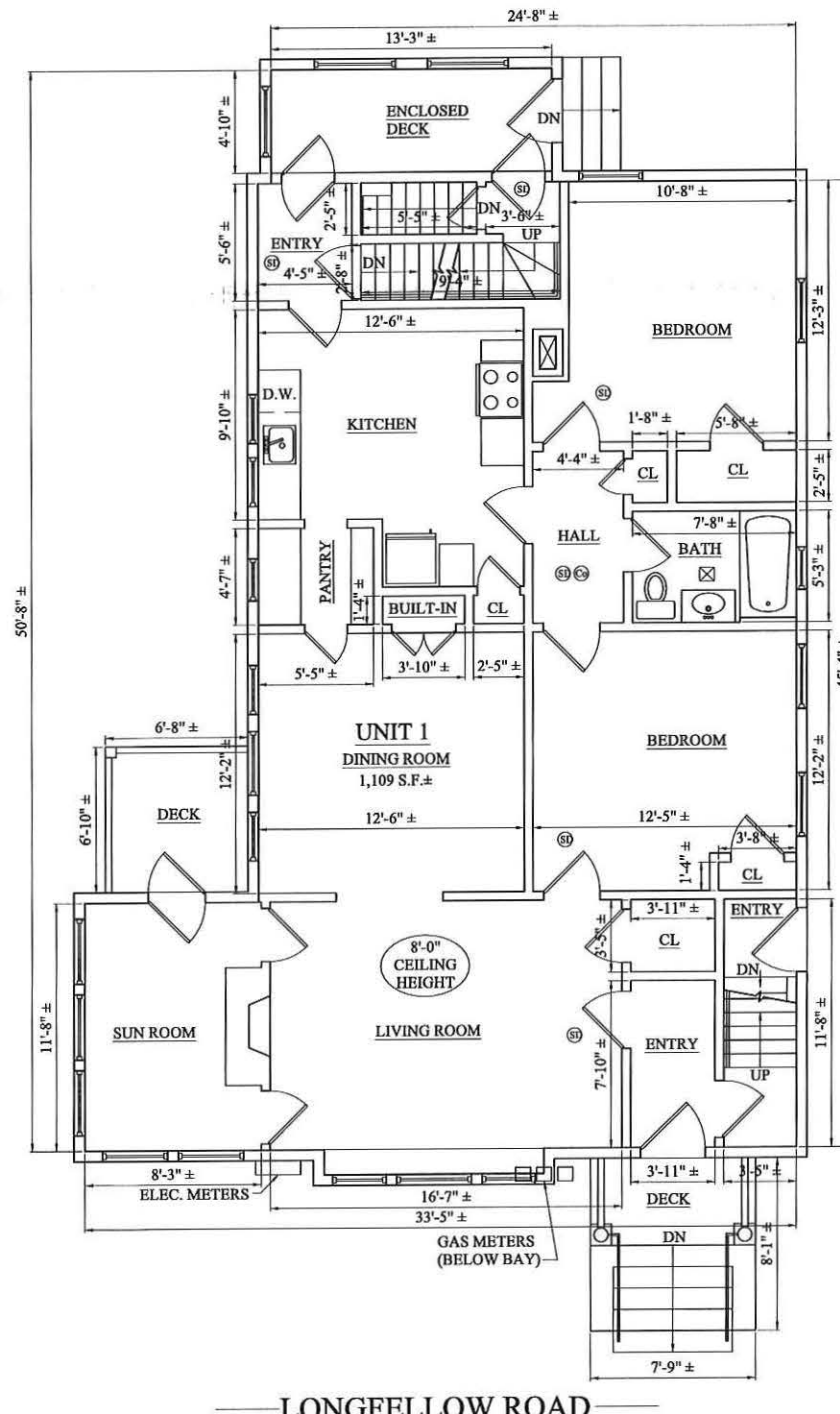
Scale



A-101 EXISTING FLOOR PLANS (LEVEL 0 & LEVEL 1)



1 EXISTING BASEMENT FLOOR PLAN  
1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN  
1/4" = 1'-0"



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



EXISTING FLOOR PLANS  
(LEVEL 0 & LEVEL 1)

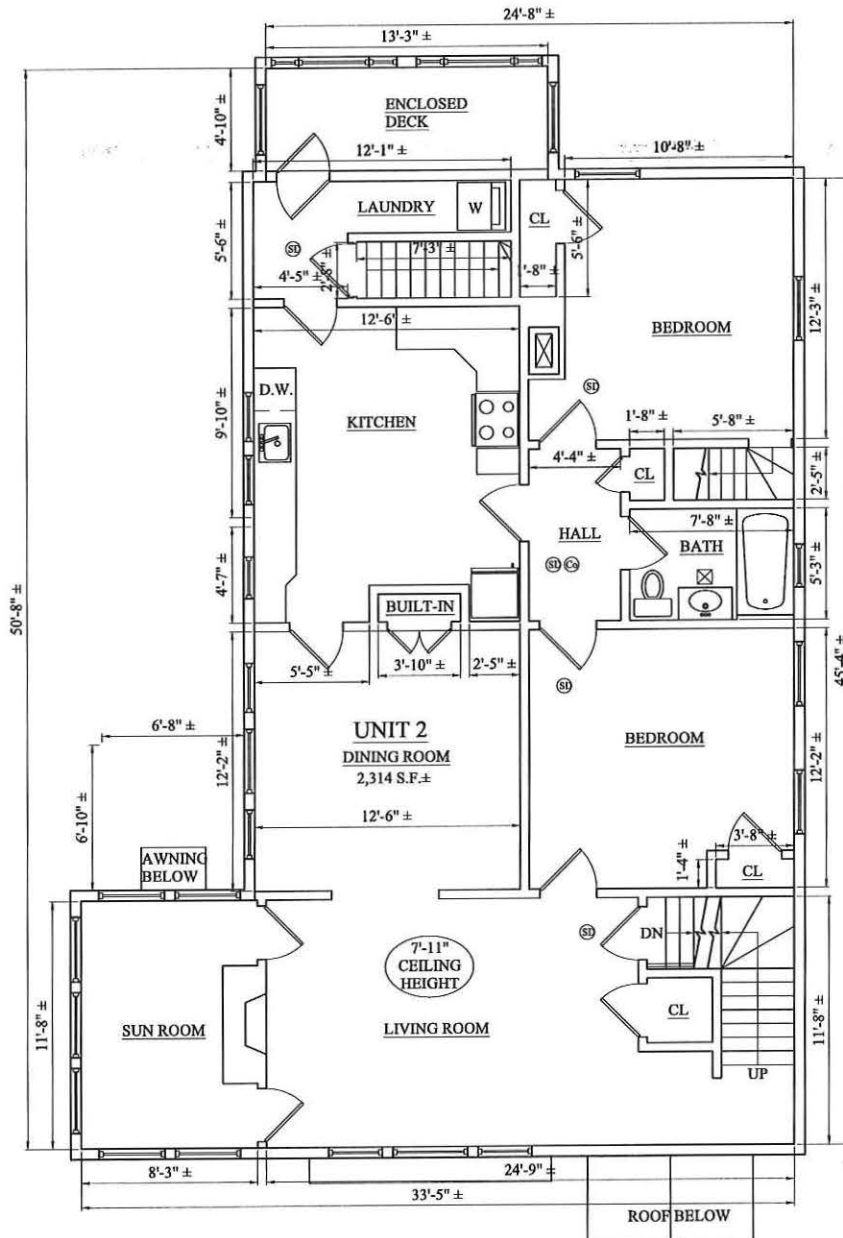
DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status PERMITTING SET  
Project number 2203.001  
Date APRIL 25, 2022  
Drawn by SKA  
Checked by SKA

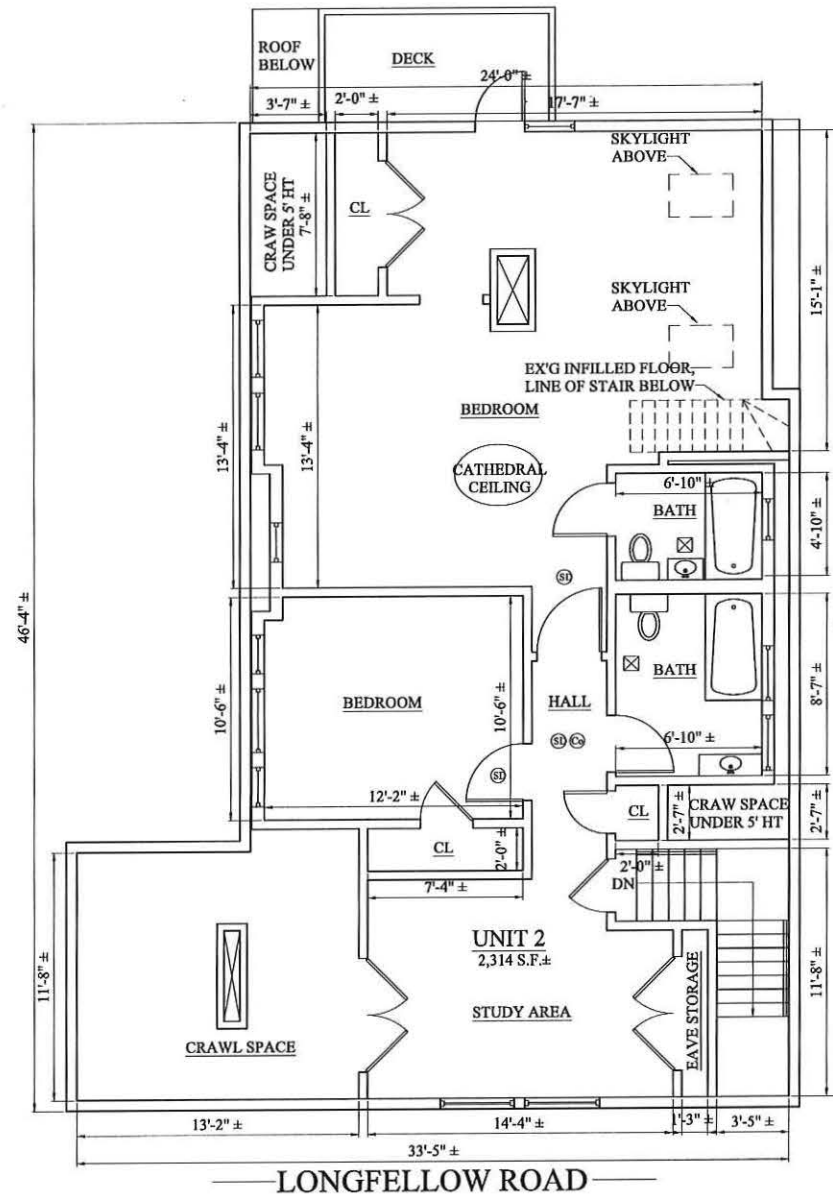
A-101

Scale

A-102 EXISTING FLOOR PLANS (LEVEL 2 & LEVEL 3)



1 EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"



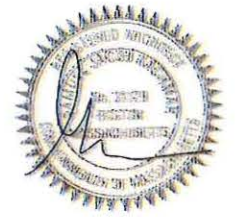
2 EXISTING THIRD FLOOR PLAN  
1/4" = 1'-0"



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



EXISTING FLOOR PLANS  
(LEVEL 2 & LEVEL 3)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status	PERMITTING SET
Project number	2203.001
Date	APRIL 25, 2022
Drawn by	SKA
Checked by	SKA

**A-102**

Scale



A-103 EXISTING ELEVATIONS (EAST & SOUTH)



1 EXISTING FRONT ELEVATION (LONGFELLOW ROAD)  
SCALE: 1/4"=1'-0"

2 EXISTING LEFT SIDE ELEVATION (MT. AUBURN ST)  
SCALE: 1/4"=1'-0"



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



EXISTING ELEVATIONS  
(EAST & SOUTH)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status PERMITTING SET  
Project number 2203.001  
Date APRIL 25, 2022  
Drawn by SKA  
Checked by SKA

**A-103**

Scale

A-104 EXISTING ELEVATIONS (WEST & NORTH)



1 EXISTING REAR ELEVATION  
SCALE: 1/4"=1'-0"

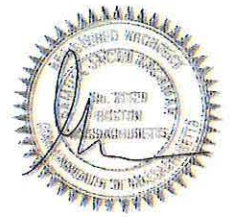
2 EXISTING RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



EXISTING ELEVATIONS  
(WEST & NORTH)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status PERMITTING SET  
Project number 2203.001  
Date APRIL 25, 2022  
Drawn by SKA  
Checked by SKA

**A-104**

Scale



A-105 PROPOSED FLOOR PLANS (LEVEL 0 & LEVEL 1)

NOTE: UNIT 2 TO BE ACCESSORY DWELLING UNIT

BASEMENT HABITABLE AREA NATURAL LIGHT & VENTILATION CALCULATIONS

UNIT 1 KITCHENETTE/LIVING AREA  
TOTAL AREA = 193 ± SQ.FT.

(R303.1) REQUIRED 8% NATURAL LIGHT = 15.44 ± SQ.FT.

PROPOSED WINDOWS =  
(1) 2'-8" X 4'-1/2" = 10.70 ± SQ.FT.

EX'G WINDOWS =  
(1) 2'-6" X 2'-2" = 5.40 ± SQ.FT.

TOTAL GLASS = 16.1 ± SQ.FT.  
16.1 ± SQ.FT. > 15.44 ± SQ.FT. = OK

(R303.1) REQUIRED 4% NATURAL VENTILATION = 7.72 ± SQ.FT.

PROPOSED WINDOWS =  
(1) 2'-8" X 4'-1/2" = 10.70 ± SQ.FT.

EX'G WINDOWS =  
(1) 2'-6" X 2'-2" = 5.40 ± SQ.FT.

TOTAL GLASS = 16.1 ± SQ.FT.  
16.1 ± SQ.FT. > 7.72 ± SQ.FT. = OK

UNIT 2 KITCHENETTE/FAMILY ROOM  
TOTAL AREA = 190 ± SQ.FT.

(R303.1) REQUIRED 8% NATURAL LIGHT = 15.20 ± SQ.FT.

PROPOSED WINDOWS =  
(3) 2'-8" X 2'-4 3/8" = 18.90 ± SQ.FT.

TOTAL GLASS = 18.90 ± SQ.FT.  
18.90 ± SQ.FT. > 15.20 ± SQ.FT. = NOT OK

(R303.1) REQUIRED 4% NATURAL VENTILATION = 7.6 ± SQ.FT.

PROPOSED WINDOWS =  
(3) 2'-8" X 2'-4 3/8" = 18.90 ± SQ.FT.

TOTAL GLASS = 18.90 ± SQ.FT.  
18.90 ± SQ.FT. > 7.6 ± SQ.FT. = OK

UNIT 2 BEDROOM  
TOTAL AREA = 81 ± SQ.FT.

(R303.1) REQUIRED 8% NATURAL LIGHT = 6.48 ± SQ.FT.

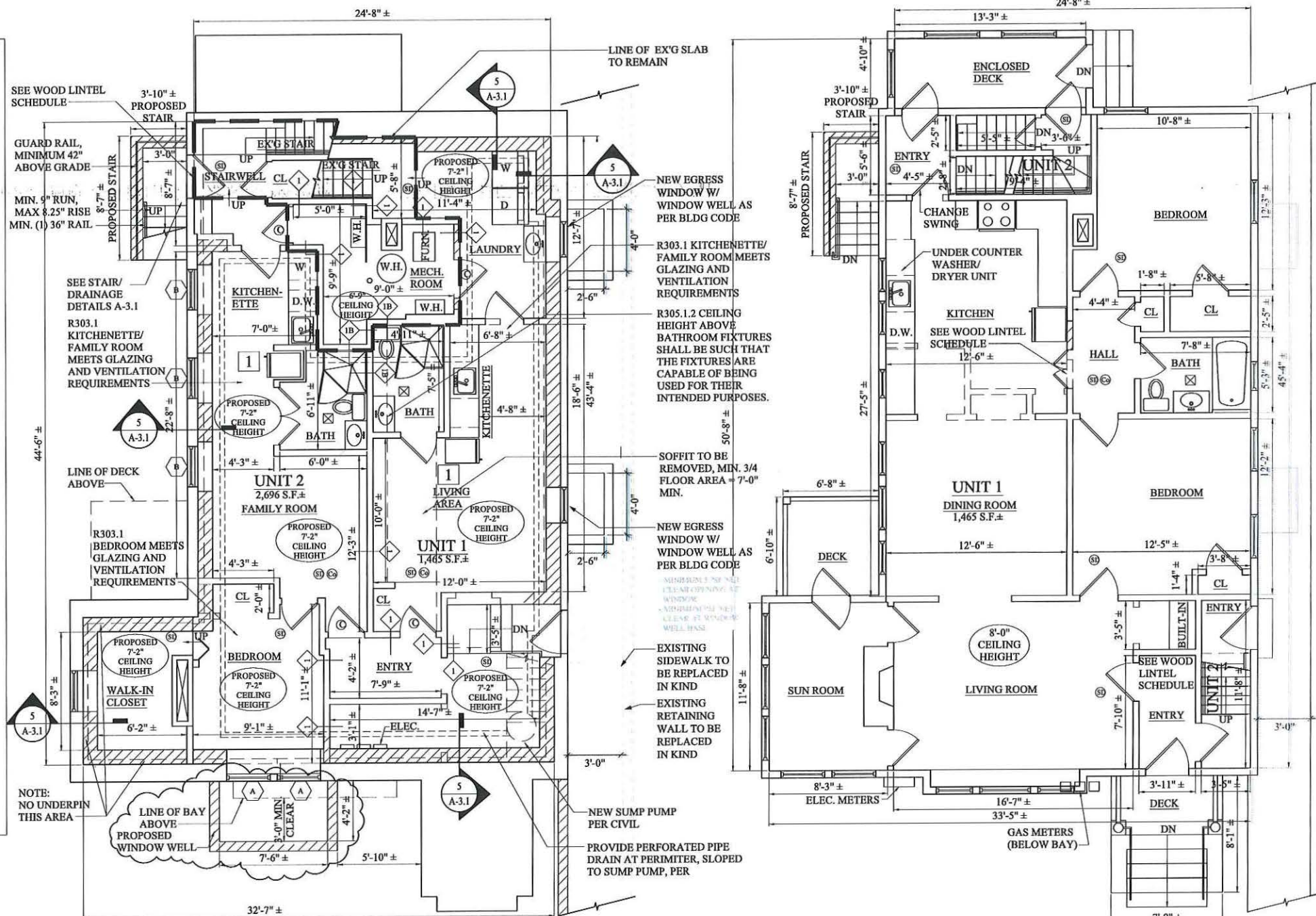
PROPOSED WINDOWS  
(2) 2'-8" X 4'-1/2" = 21.40 ± SQ.FT.

TOTAL GLASS = 21.40 ± SQ.FT.  
21.40 ± SQ.FT. > 6.48 ± SQ.FT. = OK

(R303.1) REQUIRED 4% NATURAL VENTILATION = 3.24 ± SQ.FT.

PROPOSED WINDOWS  
(2) 2'-8" X 4'-1/2" = 21.40 ± SQ.FT.

TOTAL GLASS = 21.40 ± SQ.FT.  
21.40 ± SQ.FT. > 3.24 ± SQ.FT. = OK



1 PROPOSED BASEMENT FLOOR PLAN  
1/4" = 1'-0"

2 PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



PROPOSED FLOOR PLANS  
(LEVEL 0 & LEVEL 1)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status	PERMITTING SET
Project number	2203.001
Date	APRIL 25, 2022
Drawn by	SKA
Checked by	SKA

A-105

Scale

3/11/2022 2:59:34 PM





SAM KACHMAR ARCHITECTS

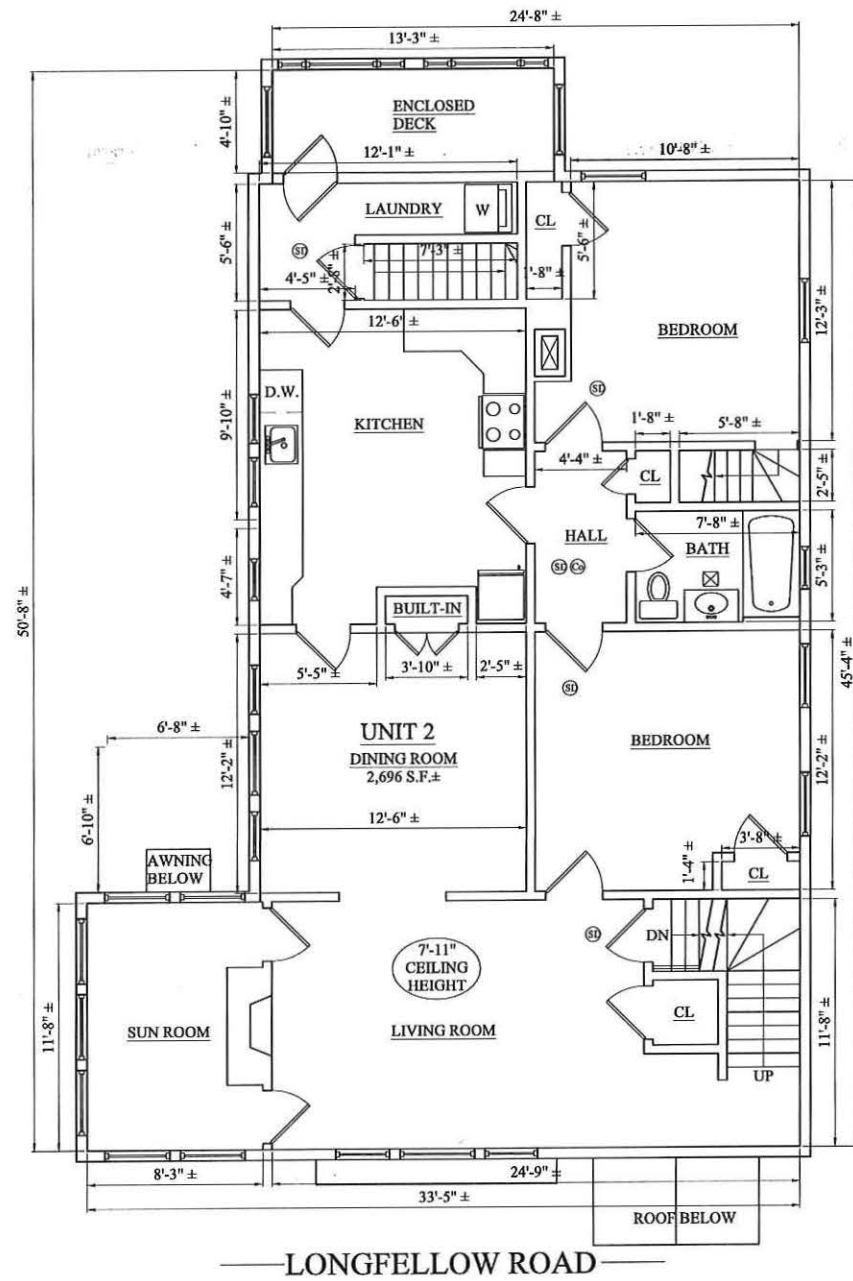
© 2022 SKA, INC

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138

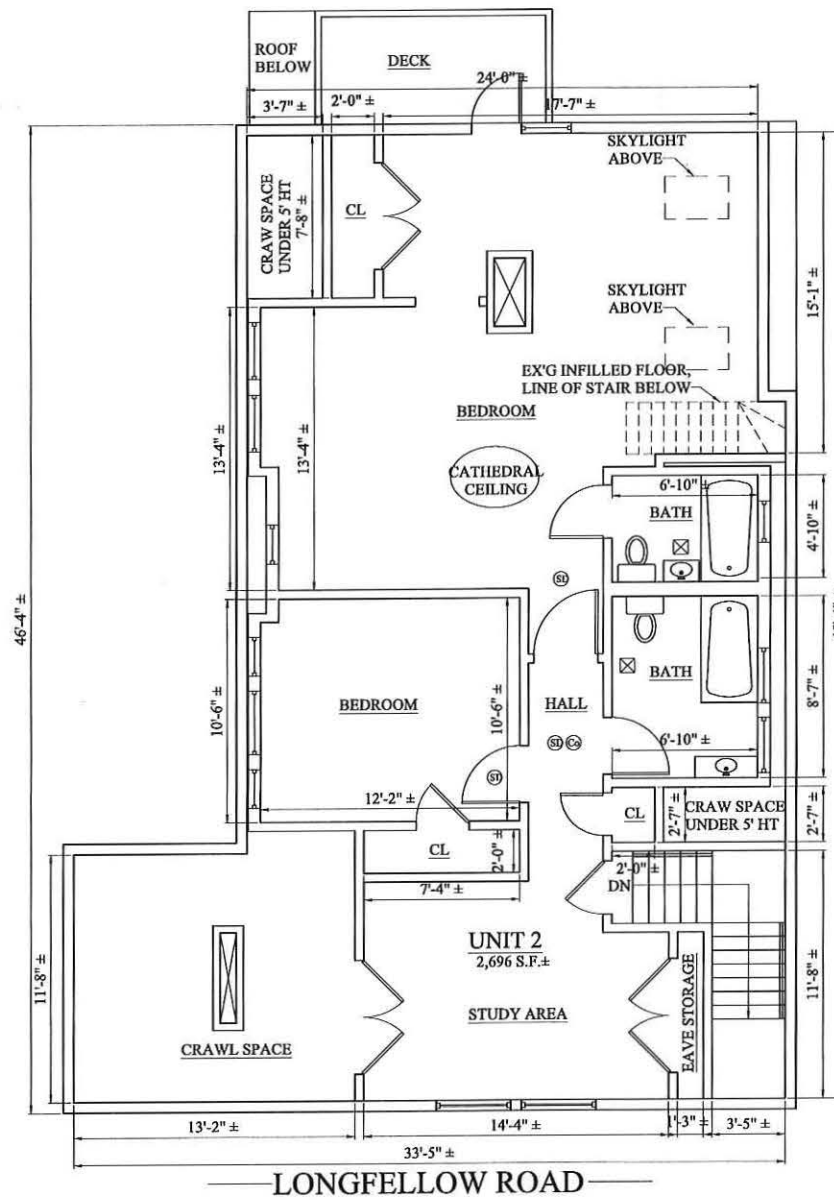


PROPOSED FLOOR PLANS  
(LEVEL 2 & LEVEL 3)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138



1 PROPOSED SECOND FLOOR PLAN (NO CHANGES)  
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN (NO CHANGES)  
1/4" = 1'-0"

Project Status	PERMITTING SET
Project number	2203.001
Date	APRIL 25, 2022
Drawn by	SKA
Checked by	SKA

**A-106**

Scale



A-107 PROPOSED ELEVATIONS (EAST & SOUTH)



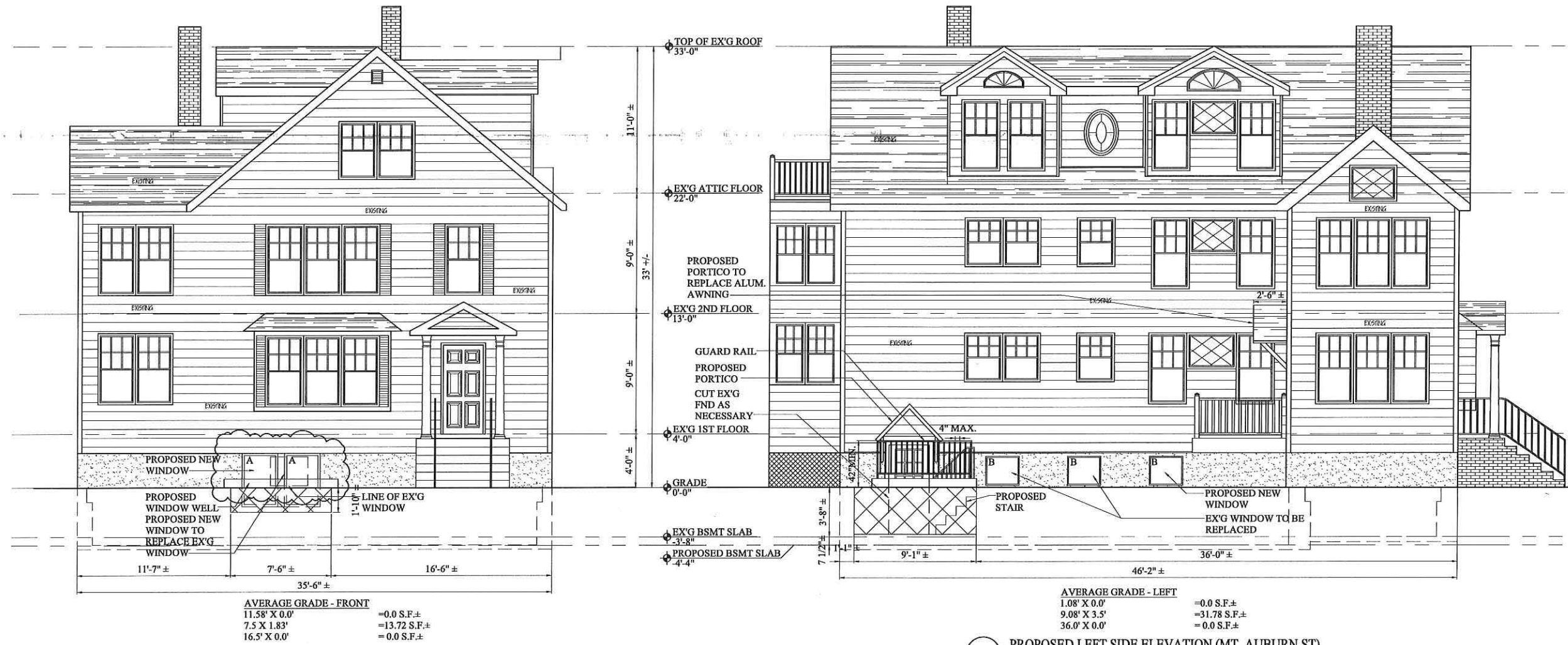
SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



PROPOSED ELEVATIONS  
(EAST & SOUTH)



1 PROPOSED FRONT ELEVATION (LONGFELLOW ROAD)  
SCALE: 1/4"=1'-0"

2 PROPOSED LEFT SIDE ELEVATION (MT. AUBURN ST)  
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE CONTRACTOR TO VERIFY SIZE AND QUANTITY PRIOR TO ORDERING					
NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CX14	2	2'-8" X 4'-1/2"	MEETS EGRESS WINDOW REQUIREMENTS
B	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CX125	3	2'-8" X 2'-4 3/8"	INQUIRE WITH MANUFACTURER FOR CUSTOM SIZE TO MAXIMIZE USE OF R.O.
C	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CXW135	1	3'-1/2" X 3'-5 3/8"	MEETS EGRESS WINDOW REQUIREMENTS

NOTE: ANY WINDOWS WITH SILLS LESS THAN 3" ABOVE THE FLOOR & MORE THAN 6" UP FROM THE ADJACENT GRADE SHALL HAVE OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090

AVERAGE GRADE - FRONT  
11.58' X 0.0' = 0.0 S.F.±  
7.5 X 1.83' = 13.72 S.F.±  
16.5' X 0.0' = 0.0 S.F.±  
AVERAGE GRADE - LEFT  
1.08' X 0.0' = 0.0 S.F.±  
9.08' X 3.5' = 31.78 S.F.±  
36.0' X 0.0' = 0.0 S.F.±  
AVERAGE GRADE - REAR  
35.5' X 0.0' = 0.0 S.F.±  
AVERAGE GRADE - RIGHT  
21.50' X 1.83' = 39.34 S.F.±  
24.75' X 0.0' = 0.0'±  
TOTAL 84.84 S.F.±

BUILDING PERIMETER = 163.5'  
PROPOSED BELOW GRADE STAIRS & WINDOW WELL  
84.84 S.F.± / 163.5' = 0.52' LOWER THAN AVERAGE GRADE  
EXISTING BUILDING HEIGHT = 33.0'±

ZONE B-1 MAX. BUILDING HEIGHT = 35'-0"  
PROPOSED BUILDING HEIGHT = 33.0'± + 0.52' = 33.52'± < 35'-0" = OKAY

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status PERMITTING SET  
Project number 2203.001  
Date APRIL 25, 2022  
Drawn by SKA  
Checked by SKA

A-107  
Scale



A-108 PROPOSED ELEVATIONS (WEST & NORTH)



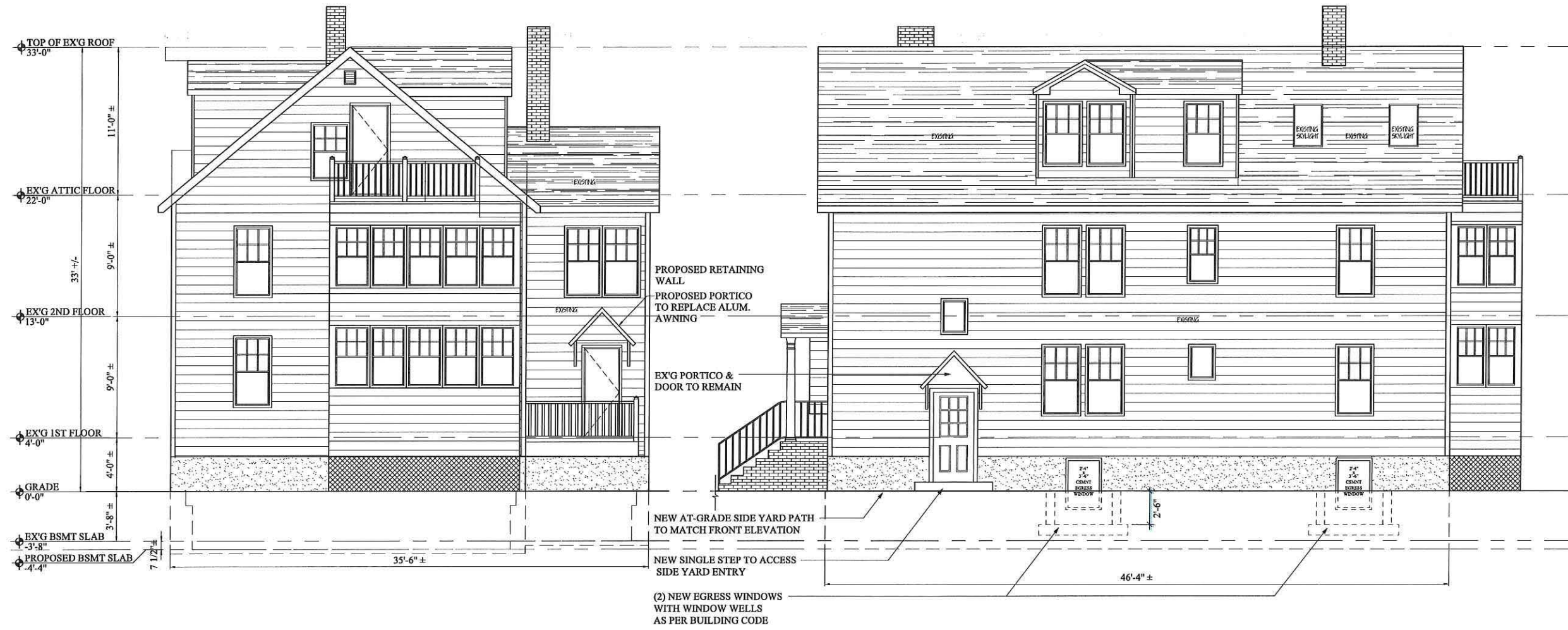
SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
www.SKA-MA.com  
357 HURON AVE  
CAMBRIDGE MA, 02138



PROPOSED ELEVATIONS  
(WEST & NORTH)



1 PROPOSED REAR ELEVATION  
SCALE: 1/4"=1'-0"

2 PROPOSED RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

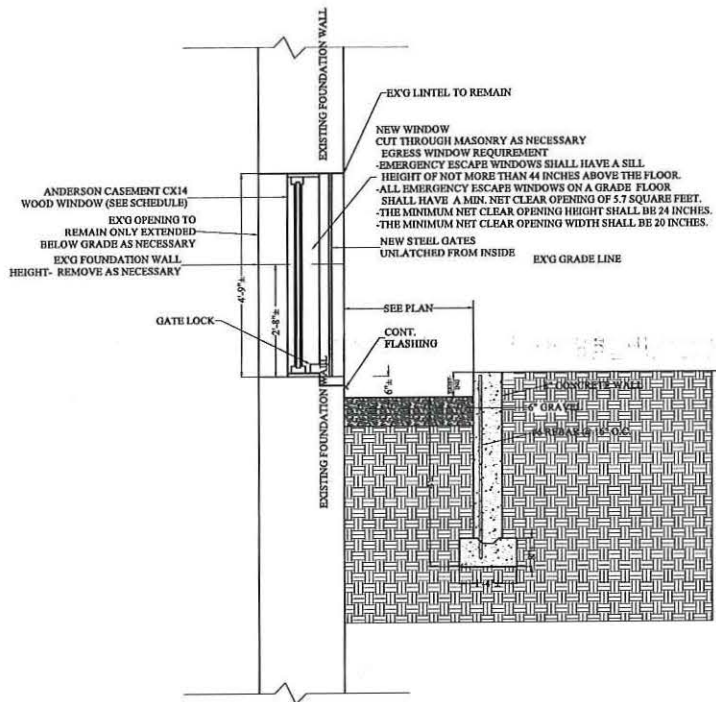
DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Status	PERMITTING SET
Project number	2203.001
Date	APRIL 25, 2022
Drawn by	SKA
Checked by	SKA

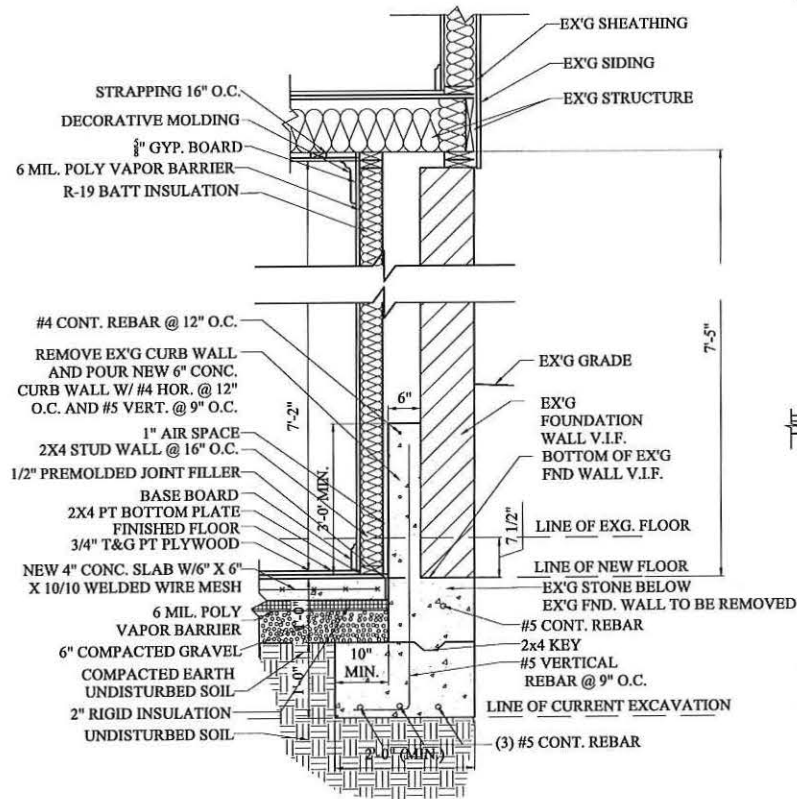
**A-108**

Scale

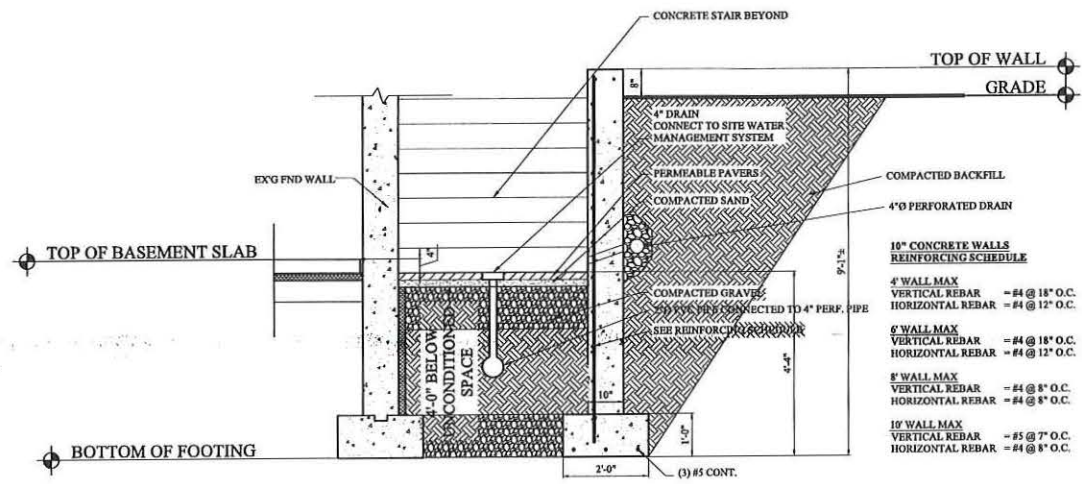




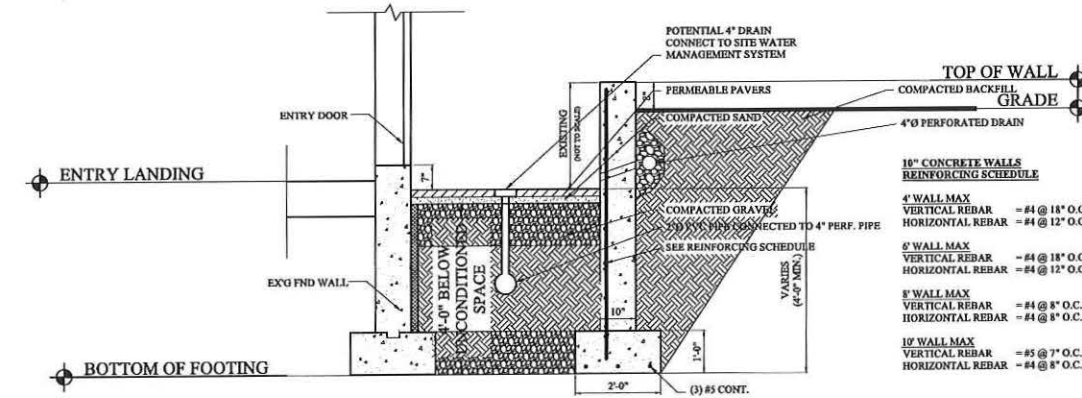
1 WINDOW WELL DETAIL  
1/2" = 1'-0"



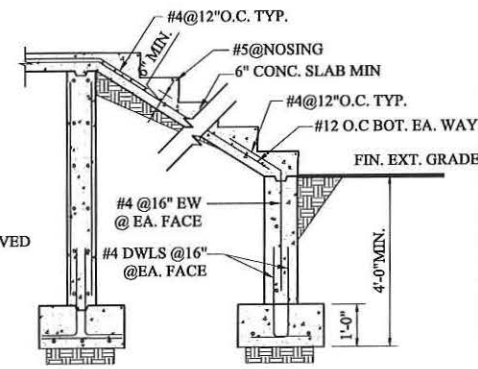
5 BASEMENT UNDERPIN DETAIL  
3/4" = 1'-0"



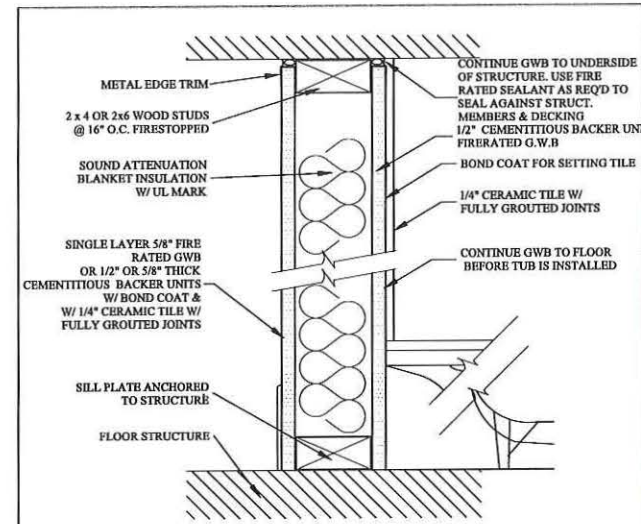
3 EXTERIOR STAIR/WALL DETAIL  
1/2" = 1'-0"



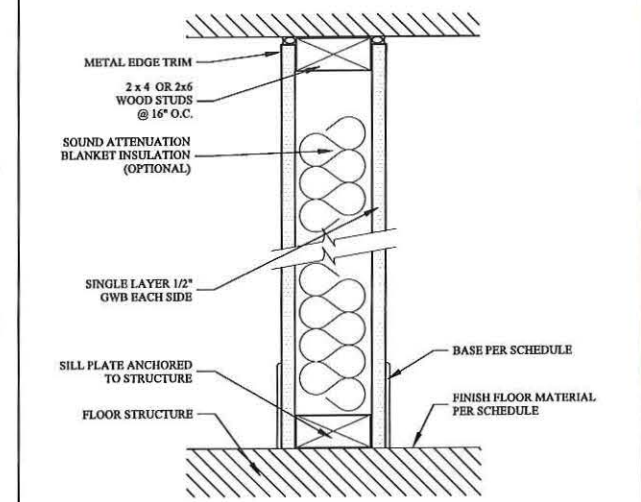
5 EXTERIOR WALKWAY/WALL DETAIL  
1/2" = 1'-0"



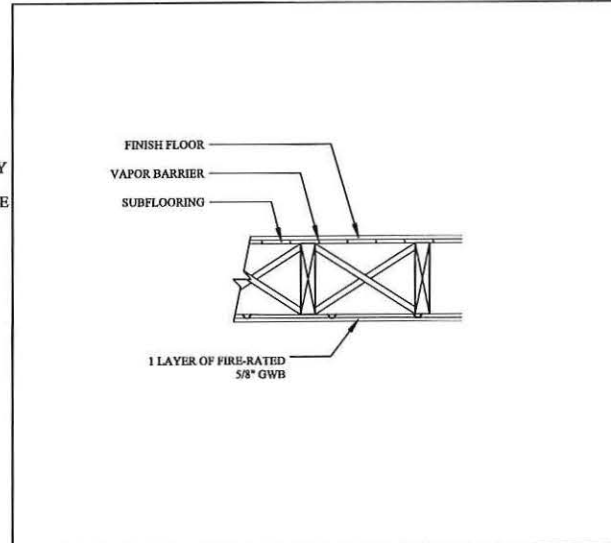
4 PROPOSED CONC. STAIR DETAIL  
1/2" = 1'-0"



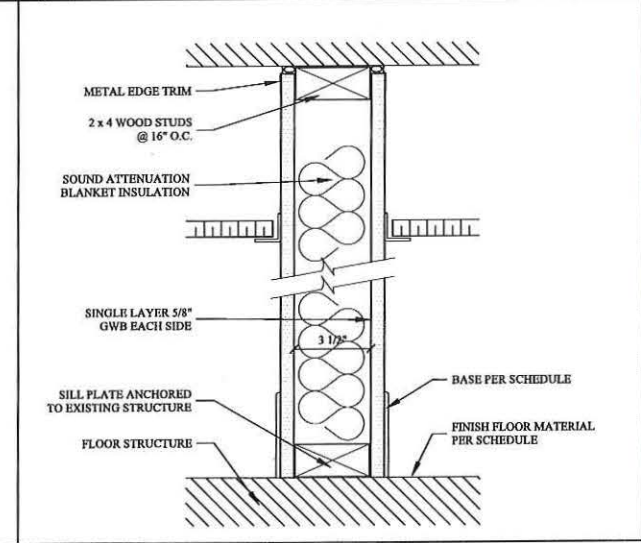
IB 1 HOUR PARTITION - WOOD STUD DESIGN # U329  
SCALE: 3/4" = 1'-0"



0 TYPICAL PARTITION - WOOD STUD  
SCALE: 3/4" = 1'-0"



1 1 HOUR CLG TYPE (#L535)  
SCALE: 1" = 1'-0"



1 1 HOUR PARTITION - WOOD STUD DESIGN # U304 (STC=34)  
SCALE: 3/4" = 1'-0"



SAM KACHMAR ARCHITECTS

© 2022 SKA, INC.

(p) 617-800-6223  
 www.SKA-MA.com  
 357 HURON AVE  
 CAMBRIDGE, MA 02138



CONSTRUCTION DETAILS

DR. HAO WANG  
 WANG RESIDENCE RENOVATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA 02138

Project Status PERMITTING SET  
 Project number 2203.001  
 Date APRIL 25, 2022  
 Drawn by SKA  
 Checked by SKA

A-901

Scale

## Pacheco, Maria

---

**From:** Judi <judineu@comcast.net>  
**Sent:** Monday, April 25, 2022 1:28 PM  
**To:** Pacheco, Maria  
**Cc:** Carlos Neu  
**Subject:** Hao Wang Special Permit

Case # 162489  
1-3 Longfellow Road  
Hao Wang, owner

April 25, 2022

We are writing as a neighbor in regard to Hao Wang's special permit request for an Accessory Unit at 1 – 3 Longfellow Road (case #162489). We have lived at 14 Longfellow Road since 1970.

We are writing following a 4/21 meeting with SKA Architects and without seeing their updated drawings submitted to the BZA for the 4/28 hearing.

Our concern with Hao Wang's special permit request is twofold—1) the possibility that the design perpetuates the possibility of a second basement rental/sublet unit (we support only one Accessory Unit) and 2) the lack of design clarity about proposed changes to the 7 Longfellow Road side of the house (aka Hester side).

We **support** Hao Wang's request for a Special Permit for one **Accessory Unit** with the following **conditions**:

1. The **Accessory Unit should have its primary access/entrance on the Mt. Auburn side of the property** to minimize the additional impact on Longfellow Road. SKA Architects informed us they have labeled Unit 2 as the proposed Accessory Unit. The door on the Hester side should not be used as a primary entrance to the Accessory Unit.
2. The area of the basement which is not part of the Accessory Unit (Unit 1 on the drawings) **may not be rented separately or sublet.**
3. There will be **no new fence** added between the two properties. Instead there should be privacy shrubs on the property line (once defined).
4. If the walkway on the Hester side is lowered and a retaining wall is built, because of the impact on Longfellow Road, we ask to see the architectural design for this (height, length, and materials) and that there be no guard rails along the retaining wall on the walkway.
5. The property needs improvement. We especially support painting the house, repairing the front stairs, and landscaping.

In an email on 4/19/22, Hao Wang wrote, "Though I am happy to generally satisfy your conditions to support my Accessory Use, especially conditions #1, #2, and #5, I would instead work with David about #3 and #4 because of the land dispute between David and me outside this BZA application."

Sincerely yours,  
Judi and Carlos Neu  
14 Longfellow Road



Cambridge, MA 02138  
617-680-8801

**Hao Wang emails:**

Email from Hao Wang on 4/7/22 regarding the proposed “updated site plot by Peter Nolan & Associates.”

On Thu, Apr 7, 2022 at 8:45 AM Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

The updated site plot by Peter Nolan & Associates is dated April 6, 2022. There is no retention wall or stairs facing 7 Longfellow Rd. This renovation project does not alter the current curb line or the Hester fence.

The drawings have been submitted to BZA.

Thank you for working with me on this.

Best,

Hao

Email from Hao Wang on 4/5/22 regarding the SKA proposed architectural plan.

> On Apr 5, 2022, at 4:01 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

>

> Good afternoon, Weldon,

>

> I want to share the updated drawing based on our last communications.

>

> 1. the dimensions of the window wells facing 7 Longfellow Rd are on the drawing;

> 2. we use metal grates for the window wells to continue the walkway from the front to the rear of my property;

> 3. now that the design is near-final, my architect will work with Peter Nolan & Associates to update the site plot, remove the double-staircase door well and retention walls, and mark the site plot with the two small windows.

>

> I believe this version of the drawings satisfies our requirements. Please review and let me know if I have missed anything. Otherwise, I will submit it to BZA by EOD this Friday.

Sent from my iPhone

## **Pacheco, Maria**

---

**From:** John Giunta <junta1@comcast.net>  
**Sent:** Monday, April 25, 2022 2:16 PM  
**To:** Pacheco, Maria  
**Subject:** Case # 162489

Case# 162489  
1-3 Longfellow Road  
Hao Wang, owner

25 April 2022

We, Jocelyn and John Giunta, reside at 15-17 Longfellow Road. Jocelyn was born at this address in 1939 and has a long history of the parameters of this road. She remembers that this neighborhood was one of two family houses only, not rented out to four separate individuals as Dr. Wang has done. His spaces in the current basement have been occupied despite what he alleges. Moreover, some of his "tenants" have been a young crowd having loud parties with beer cans left on the street. She also remembers having played in the yard of the Hester's house when she was a kid and that the property line is exactly the same today as it was then.

Also, Dr. Wang appears to be an absent landlord since we see his car with New York plates only occasionally on a weekend. And we understand he works for the state of New York.

John has lived here since 1962 and also agrees with Jocelyn's observations.

We have seen the new response by our neighbors Rebecca and Weldon Pries and wholeheartedly agree with their detailed response, choosing not to repeat the same things here.

We think it is important that the City do an official inside inspection of 1-3 Longfellow Road.

Thus we also strongly oppose Dr. Hao Wang's variance and special permit request.

Jocelyn and John Giunta  
15-17 Longfellow Road  
Cambridge, MA 02138



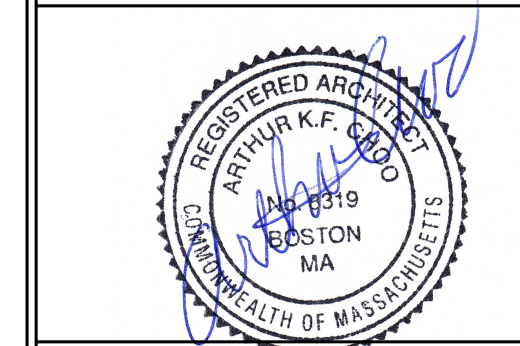
# RENOVATION/ BASEMENT LEGALIZATION

## 1 LONGFELLOW ROAD, CAMBRIDGE, MASSACHUSETTS

RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA

**Choo & Company, Inc.**

One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

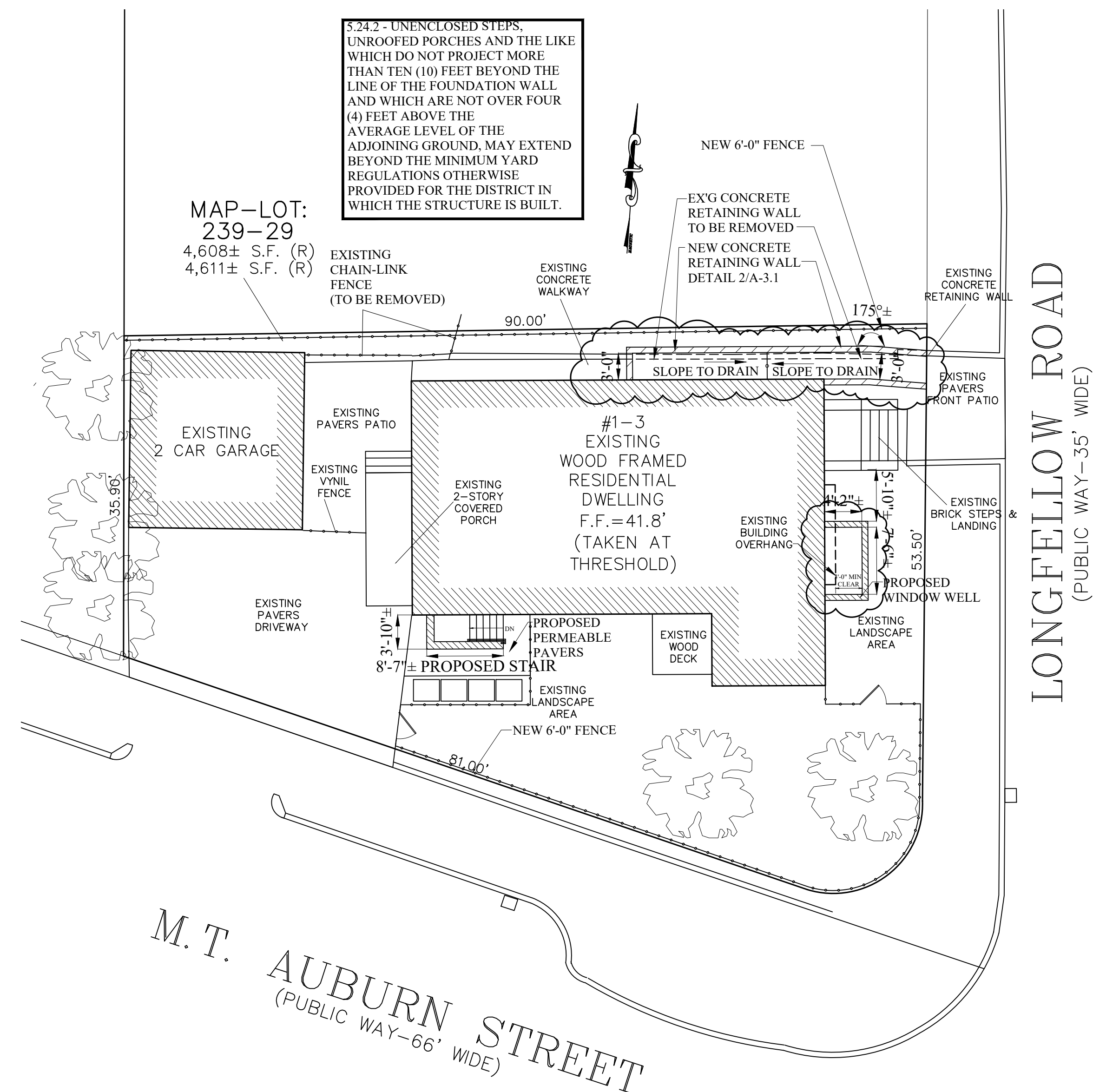


No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 02-17-21  
 Drawn By: ST

Drawing Name:  
**COVER SHEET**

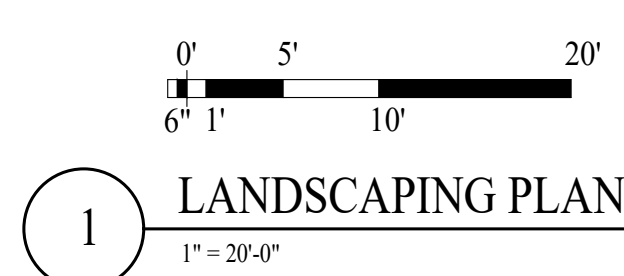
Sheet No.:  
**A-0**



§24.2 - UNENCLOSED STEPS, UNROOFED PORCHES AND THE LIKE WHICH DO NOT PROJECT MORE THAN TEN (10) FEET BEYOND THE LINE OF THE FOUNDATION WALL AND WHICH ARE NOT OVER FOUR (4) FEET ABOVE THE AVERAGE LEVEL OF THE ADJOINING GROUND, MAY EXTEND BEYOND THE MINIMUM YARD REGULATIONS OTHERWISE PROVIDED FOR THE DISTRICT IN WHICH THE STRUCTURE IS BUILT.

MAP-LOT:  
 239-29  
 4,608± S.F. (R)  
 4,611± S.F. (R)

YARD AREA (1,998 S.F.±) + DECK AREA (45 S.F.±) =  
 2,043 S.F.± / 4,611 S.F.± =  
 44% PRIVATE OPEN SPACE TO LOT AREA



**1 LANDSCAPING PLAN**  
 1" = 20'-0"

DRAWING NOT TAKEN FROM INSTRUMENTAL SURVEY. INFORMATION TAKEN FROM PROPOSED PLOT PLAN BY PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/ CIVIL ENGINEERING CONSULTANTS NEWTON, MA (MARCH 25, 2021)

KEY	EXISTING AND/OR PROPOSED APPLIANCES
Ⓢ	SMOKE DETECTOR
Ⓜ	HEAT DETECTOR
Ⓢ	CARBON MONOXIDE DETECTOR
ⓧ	FAN
Ⓢ	45 MIN. DOOR
Ⓢ	FIRE EXTINGUISHER
◇	1 HOUR WALL (SEE W.T.1/A-3.1)
1	1 HOUR CLG. ABOVE (SEE C.T.1/A-3.1)
▨	NEW WALL
▬	EX'G WALL TO REMAIN
▬	WALL TO BE REMOVED

**CODE SUMMARY**  
 EX'G TYPE 5B CONSTRUCTION  
 EX'G R-3 USE GROUP (2 FAMILY)  
 ZONE RES. B



**UNDERPINNING GENERAL NOTES**

- AREAS TO BE UNDERPINNED HAVE BEEN NOTED ON THE DRAWINGS. EXCAVATION ADJACENT TO AN EXISTING STRUCTURE SHALL NOT EXTEND BELOW THE BOTTOM OF AN EXISTING STRUCTURE BY MORE THAN 1 UNIT VERTICALLY FOR EVERY TWO UNITS OF HORIZONTAL DISTANCE FROM THE EXISTING STRUCTURE.
- IF IT BECOMES NECESSARY FOR THE DEPTH OF THE EXCAVATION TO EXCEED THESE RESTRICTIONS IN AREAS WHERE UNDERPINNING IS NOT INDICATED, CONTRACTOR SHALL CEASE WORK IN THE IMMEDIATE AREA BEFORE EXTENDING DEEPER THAN THE RESTRICTIONS ALLOW AND NOTIFY ARCHITECT. WORK IN THE AFFECTED AREA SHALL NOT RECOMMENCE UNTIL CONTRACTOR HAS OBTAINED WRITTEN DIRECTION FROM THE ARCHITECT.
- AREAS TO BE UNDERPINNED SHALL BE PROTECTED FROM THE WEATHER AT ALL TIMES DURING UNDERPINNING OPERATIONS. PERIMETERS OF EXCAVATIONS SHALL BE TEMPORARILY BERMED TO PREVENT SURFACE WATER RUNOFF FROM ENTERING EXCAVATION. GROUNDWATER SHALL BE REMOVED.
- UNDERPINNING SHALL BE DONE IN SHORT SEGMENTS WITH LENGTHS NOT TO EXCEED 4 FEET.
- WORK ON EACH SEGMENT SHALL BE COMPLETED PRIOR TO MOVING ON TO THE ADJACENT SEGMENTS. WHERE MORE THAN ONE SEGMENT IS TO BE WORKED ON AT THE SAME TIME, SEGMENTS SHALL BE SEPARATED BY AT LEAST TWO TIMES THE LENGTH OF THE LONGER SEGMENT.
- CONCRETE PORTIONS OF UNDERPINNING SHALL BE KEPT 3 INCHES BELOW THE BOTTOM OF THE EXISTING STRUCTURE TO ALLOW FOR THE INSTALLATION OF DRYPACKED NON-SHRINK GROUT.
- CONCRETE PORTION OF THE UNDERPINNING SHALL BE ALLOWED TO CURE AT LEAST SEVEN DAYS PRIOR TO THE INSTALLATION OF THE DRYPACKED NONSHRINK GROUT BETWEEN THE TOP OF THE TOP OF THE CONCRETE PORTION AND THE BOTTOM OF THE EXISTING STRUCTURE.
- WORK ON AN ADJACENT SEGMENT SHALL NOT BEGIN UNTIL THE CONCRETE PORTION OF THE SEGMENT HAS BEEN ALLOWED TO CURE FOR AT LEAST 3 DAYS AND THE NON-SHRINK GROUT HAS BEEN ALLOWED TO CURE FOR AT LEAST 24 HOURS. COMPRESSIVE STRENGTH OF ALL MATERIALS SHALL HAVE ATTAINED A MINIMUM OF 1800 PSI.
- DURING ALL UNDERPINNING WORK, CARE SHALL BE TAKEN NOT TO DISPLACE THE BACK FACE OF EXCAVATION. IF BACK FACE OF EXCAVATION IS EXTENDED BEYOND THE BACK OF THE EXISTING FOOTING, WHERE PRESENT, EXISTING SLAB-ON-GRADE ABOVE THE AFFECTED AREA SHALL BE ASSUMED TO BE UNDERMINED AND SHALL BE REMOVED AND REPLACED AFTER NEW COMPACTED STRUCTURAL FILL HAS BEEN PLACED FROM THE TOP OF THE UNDERPINNING TO THE BOTTOM OF THE SLAB, AT CONTRACTOR'S COST.
- IF EXISTING SOIL CONDITIONS ARE NOT SUITABLE TO ALLOW FOR THE INSTALLATION OF THE FULL HEIGHT OF THE UNDERPINNING IN A SINGLE PIECE, SEGMENT SHALL BE DIVIDED INTO VERTICAL SECTIONS AND INSTALLED IN SEVERAL LIFTS OF UNDERPINNING.

**GENERAL NOTES:**

**CONTRACTOR RESPONSIBILITY- CONTRACTOR IS SOLELY RESPONSIBLE FOR:**

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

**REVIEW OF WORK BY DESIGNERS-**

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

**SHOP DRAWINGS-**

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

**CHANGE ORDERS-**

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

**REQUISITIONS-**

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECTED SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

**WOOD NOTES:**

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM:  
FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

**WOOD LINTEL SCHEDULE:**

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

**DESIGN CRITERIA:**

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT  
- FLOORS  
- PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT  
WITH SNOW DRIFT  
WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR  
SEISMIC: Ss = 0.217  
S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

CONTRACTOR NOTE:  
PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY IN THE FIELD ALL CONDITIONS, DIMENSIONS, AND ELEVATIONS OF THE EXISTING CONSTRUCTION. ALL DISCREPANCIES BETWEEN FIELD-VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS AND THOSE INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY MADE KNOWN TO THE ENGINEER IN WRITING. THE USE OF (V.I.F.) OR (+/-) OR OTHER SIMILAR NOTES AT CERTAIN LOCATIONS ON THE DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR VERIFYING ALL CONDITIONS DESCRIBED ABOVE.

**FOUNDATION NOTES:**

- ALL FOUNDATION FOOTINGS SHALL BE CARRIED DOWN TO A MINIMUM OF 4'-0" BELOW FINISH GRADE, OR DEEPER, IF NECESSARY, TO OBTAIN A SAFE SOIL BEARING PRESSURE OF 2 TONS PER SQUARE FOOT, FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 2 TONS PER SQUARE FOOT.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL; OR, ON ENGINEERED BANK RUN GRAVEL FILL MATERIAL WITH A MINIMUM DRY DENSITY OF 95%.
- ALL FOOTING SHALL BE POURED IN THE DRY ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.
- NO FOOTING SHALL BE POURED ON FROZEN GROUND. FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 5 DAYS AFTER THEY WERE POURED.
- THE MINIMUM REINFORCING FOR ALL FOUNDATION WALLS SHALL BE 2-#6 BARS AT THE TOP AND BOTTOM, CONTINUOUS; OR, AS SHOWN ON DRAWINGS.
- LAP ALL BARS 40 DIAMETERS AND PROVIDE CORNER BARS.
- ALL REINFORCEMENT: ASTM A615-60, WWF A185.

**CONCRETE NOTES:**

- ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:  
- **3000 PSI** FOR FOUNDATION WALL, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE SURFACES EXPOSED TO THE WEATHER.
- MAXIMUM SLUMP SHALL NOT EXCEED 3"; AND MAXIMUM; COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" IN DIAMETER.

**REINFORCING NOTES:**

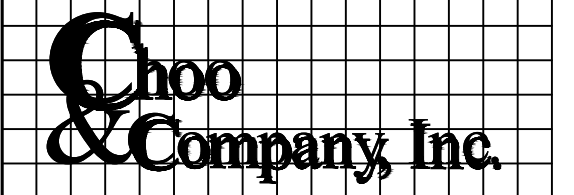
- ALL REINFORCEMENT, EXCEPT FOR TIES AND STIRRUPS, SHALL CONFORM TO ASTM 615-60.
- ALL REINFORCEMENT FOR TIES AND STIRRUPS SHALL CONFORM TO ASTM 615-40.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-70 SPECIFICATIONS.
- ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT OR HIS ENGINEER PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- THE CONTRACTOR SHALL SUBMIT FOUR PRINTS OF SHOP DRAWINGS: SHOWING ALL REINFORCING DETAILS, CHAIR BARS, HIGH CHAIRS, SLAB BOLSTERS, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVED SHOP DRAWINGS FROM THE ARCHITECT OR HIS ENGINEER PRIOR TO THE FABRICATION OF REINFORCEMENT.
- CLEARANCES OF MAIN REINFORCING FROM ADJACENT CONCRETE SURFACES SHALL BE AS FOLLOWS:  
A. FOOTINGS 3 INCHES  
B. SIDES OF FOUNDATIONS WALLS, EXPOSED FACES OF FOUNDATIONS, SIDES OF COLUMNS/PIERS, SLABS ON GRADE FROM TOP SURFACE 2 INCHES  
C. INTERIOR FACES OF FOUNDATIONS, TOP REINFORCING IN SLABS EXPOSED TO THE WEATHER 1-1/2 INCHES  
D. TOP STEEL OF INTERIOR SLABS 1 INCHES  
7. MAXIMUM DEVIATION FROM THESE REQUIREMENTS SHALL BE 1/4" OF SECTIONS 10" OR LESS, 1/2" FOR SECTIONS GREATER THAN 10".

NOTE: THERE HAS BEEN NO SOIL TESTING PROVIDED TO THIS OFFICE FOR THIS PROJECT. THE DESIGNING ARCHITECT OR STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR EXISTING SOIL CONDITIONS. ANY SOIL BEARING CAPACITY OF THIS FOUNDATION SYSTEM IS DESIGNED BASED ON A 2 TON MINIMUM SOIL BEARING CAPACITY. IT SHALL BE THE CONTRACTORS OR OWNERS' RESPONSIBILITY TO DETERMINE SUITABLE SOIL CONDITIONS AND VERIFY THE BEARING PRESSURE. IF A SUITABLE SOIL THAT CAN WITHSTAND A 2 TON BEARING CAPACITY IS NOT AVAILABLE, THIS OFFICE SHOULD BE CONTACTED BY THE CONTRACTOR OR OWNER FOR A FOUNDATION REDESIGN.

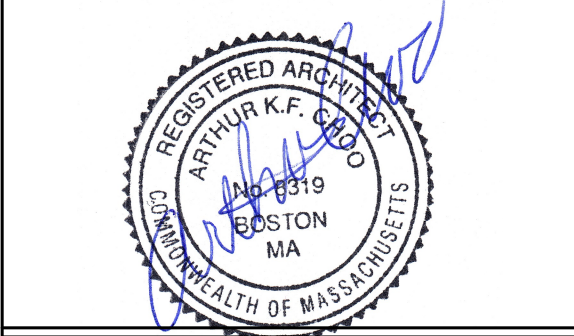
NOTE: ENERGY CODE COMPLIANCE  
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING STRETCH/ ENERGY CODE COMPLIANCE PRIOR TO CLOSING OF WALLS. THE PROPER ENERGY CONSULTANT, HERS RATER, OR OTHER ALLOWED PROFESSIONAL SHALL PERFORM THE FINAL INSPECTIONS ASSOCIATED WITH THE CONSTRUCTION REQUIREMENTS AT THE DIRECTION OF THE CONTRACTOR.

Location

**RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA**



One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
Scale: AS NOTED  
Date: 02-17-21  
Drawn By: ST

Drawing Name

**NOTES**

Sheet No.

A-0.1

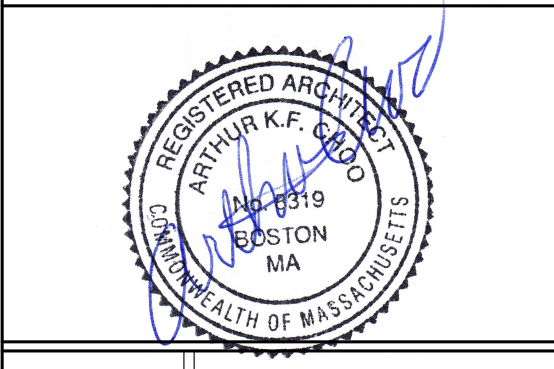






RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

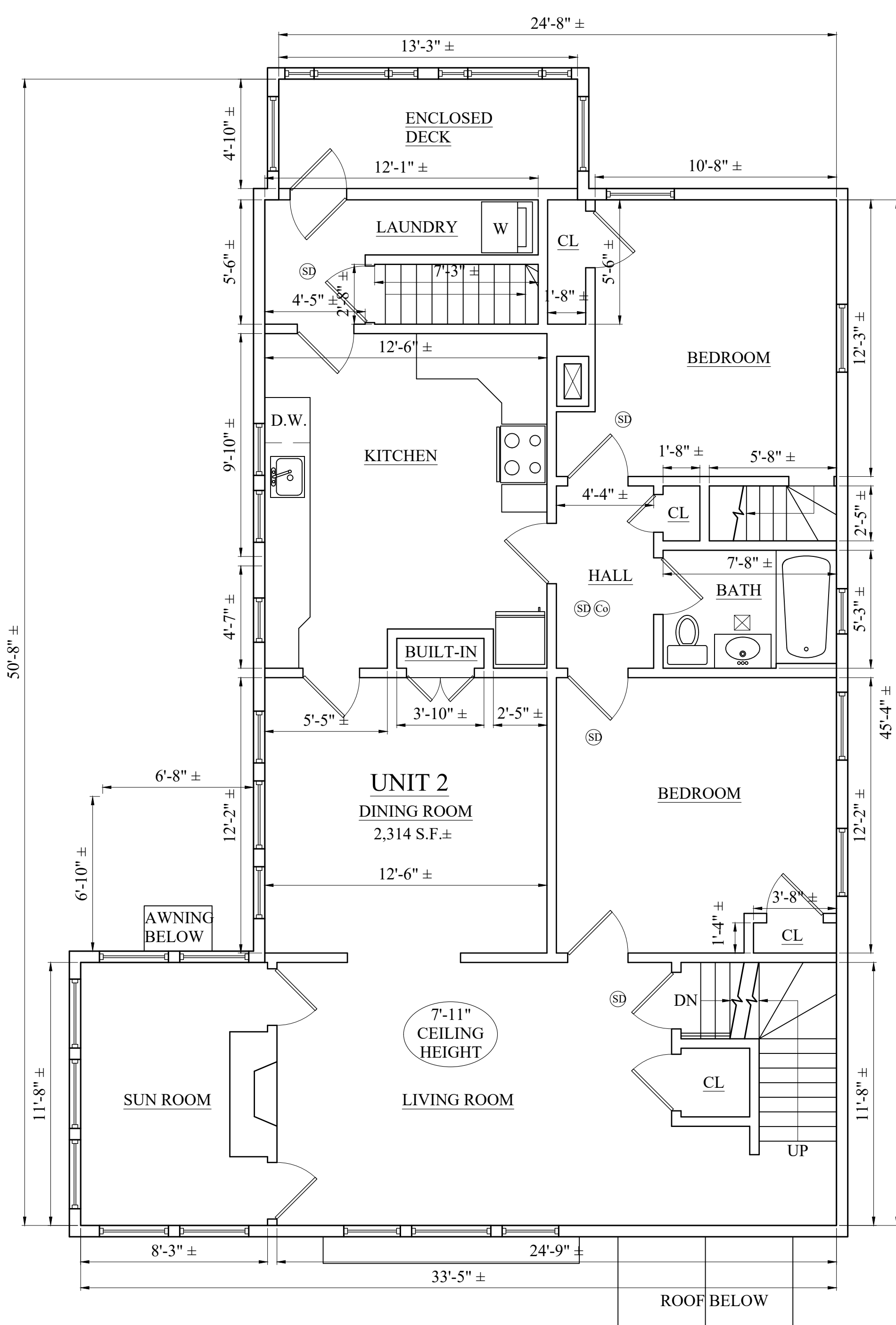


No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

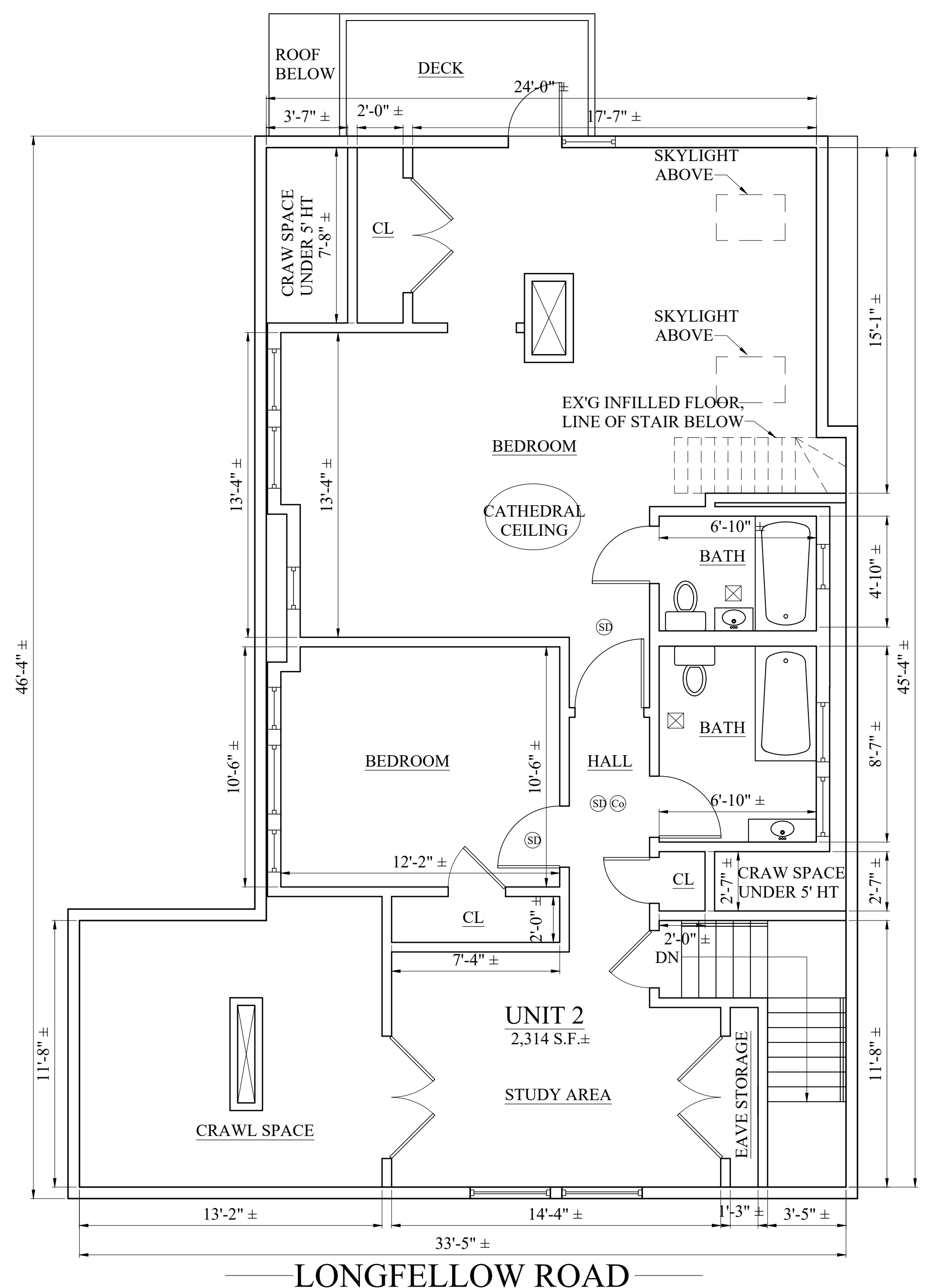
Project No: 2021042  
Scale: AS NOTED  
Date: 02-17-21  
Drawn By: ST

Drawing Name  
**EXISTING FLOOR PLANS**

Sheet No.  
**D-1.2**



**1** EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"



**2** EXISTING THIRD FLOOR PLAN  
1/4" = 1'-0"

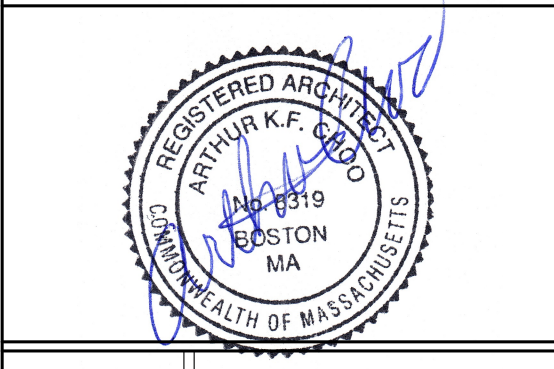


1 EXISTING FRONT ELEVATION (LONGFELLOW ROAD)  
SCALE: 1/4"=1'-0"

2 EXISTING LEFT SIDE ELEVATION (MT. AUBURN ST)  
SCALE: 1/4"=1'-0"

Location  
**RENOVATION/  
 BASEMENT LEGALIZATION**  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA

**Choo  
 & Company, Inc.**  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 09-17-21  
 Drawn By: ST

Drawing Name  
**EXISTING  
 ELEVATIONS**

Sheet No.  
 D-2.1

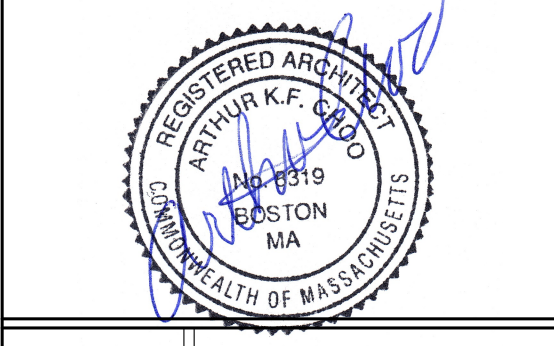


1 EXISTING REAR ELEVATION  
SCALE: 1/4"=1'-0"

2 EXISTING RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

Location  
**RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA**

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
Scale: AS NOTED  
Date: 09-17-21  
Drawn By: ST

Drawing Name  
**EXISTING  
ELEVATIONS**

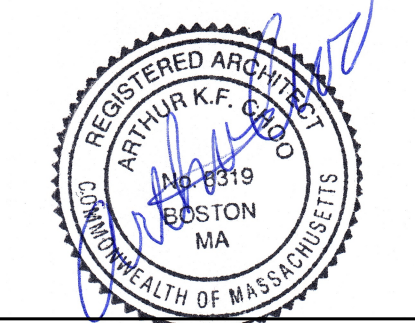
Sheet No.  
**D-2.2**



Location

# RENOVATION/ BASEMENT LEGALIZATION 1 LONGFELLOW ROAD CAMBRIDGE, MA

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 02-17-21  
 Drawn By: ST

## PROPOSED FLOOR PLANS

Sheet No.  
**A-1.1**

### BASEMENT HABITABLE AREA NATURAL LIGHT & VENTILATION CALCULATIONS

**UNIT 1 KITCHENETTE/ LIVING AREA**  
 TOTAL AREA = 193 ± SQ.FT.  
 (R303.1) REQUIRED 8% NATURAL LIGHT = 15.44 ± SQ.FT.  
 PROPOSED WINDOWS =  
 (1) 2'-8" X 4'-1/2" = 10.70 ± SQ.FT.  
 EX'G WINDOWS =  
 (1) 2'-6" X 2'-2" = 5.40 ± SQ.FT.  
 TOTAL GLASS = 16.1 ± SQ.FT.  
 16.1 ± SQ.FT. > 15.44 ± SQ.FT. = OK

(R303.1) REQUIRED 4% NATURAL VENTILATION = 7.72 ± SQ.FT.  
 PROPOSED WINDOWS =  
 (1) 2'-8" X 4'-1/2" = 10.70 ± SQ.FT.  
 EX'G WINDOWS =  
 (1) 2'-6" X 2'-2" = 5.40 ± SQ.FT.  
 TOTAL GLASS = 16.1 ± SQ.FT.  
 16.1 ± SQ.FT. > 7.72 ± SQ.FT. = OK

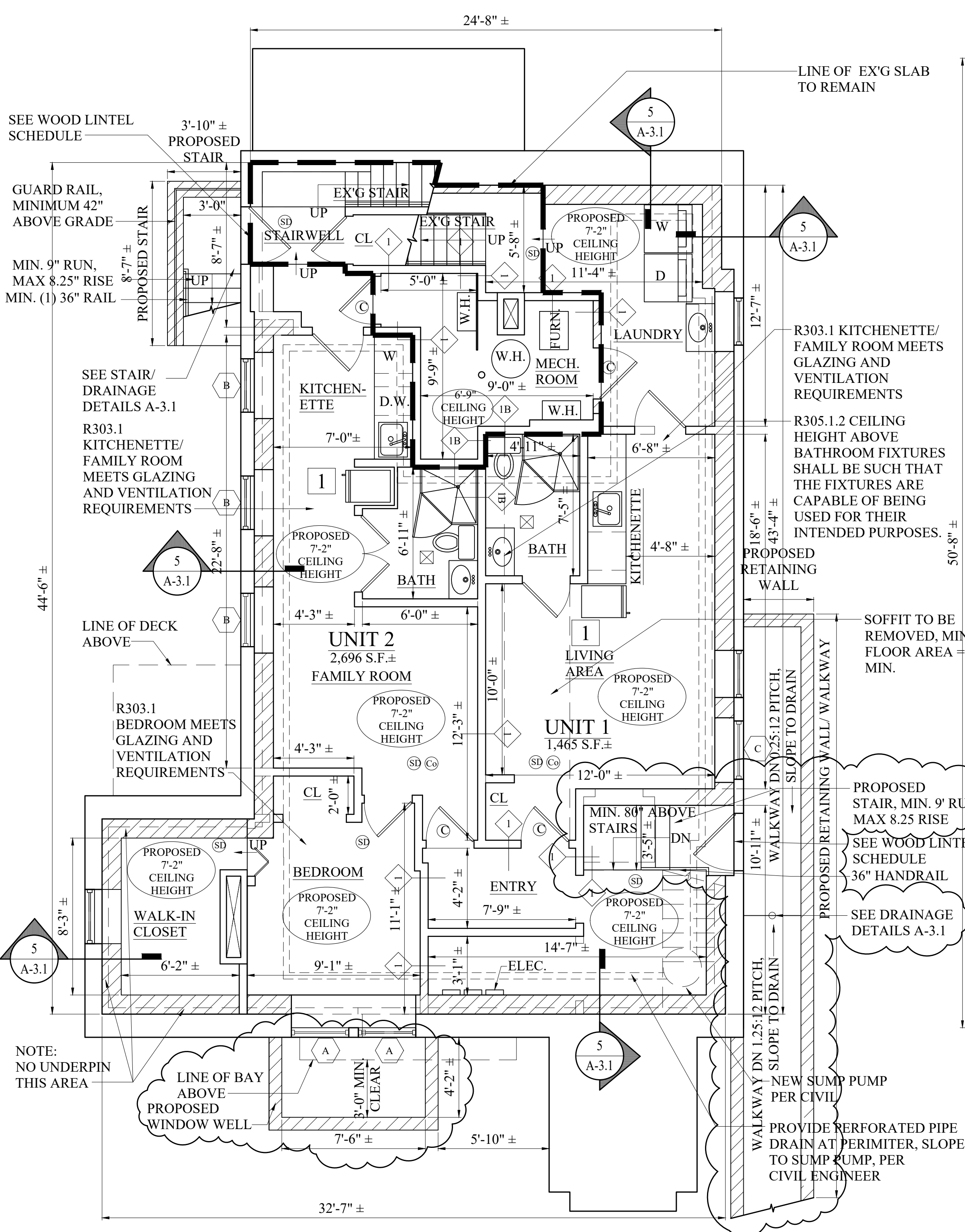
**UNIT 2 KITCHENETTE/ FAMILY ROOM**  
 TOTAL AREA = 190 ± SQ.FT.  
 (R303.1) REQUIRED 8% NATURAL LIGHT = 15.20 ± SQ.FT.  
 PROPOSED WINDOWS =  
 (3) 2'-8" X 2'-4 3/8" = 18.90 ± SQ.FT.  
 TOTAL GLASS = 18.90 ± SQ.FT.  
 18.90 ± SQ.FT. > 15.20 ± SQ.FT. = NOT OK

(R303.1) REQUIRED 4% NATURAL VENTILATION = 7.6 ± SQ.FT.  
 PROPOSED WINDOWS =  
 (3) 2'-8" X 2'-4 3/8" = 18.90 ± SQ.FT.  
 TOTAL GLASS = 18.90 ± SQ.FT.  
 18.90 ± SQ.FT. > 7.6 ± SQ.FT. = OK

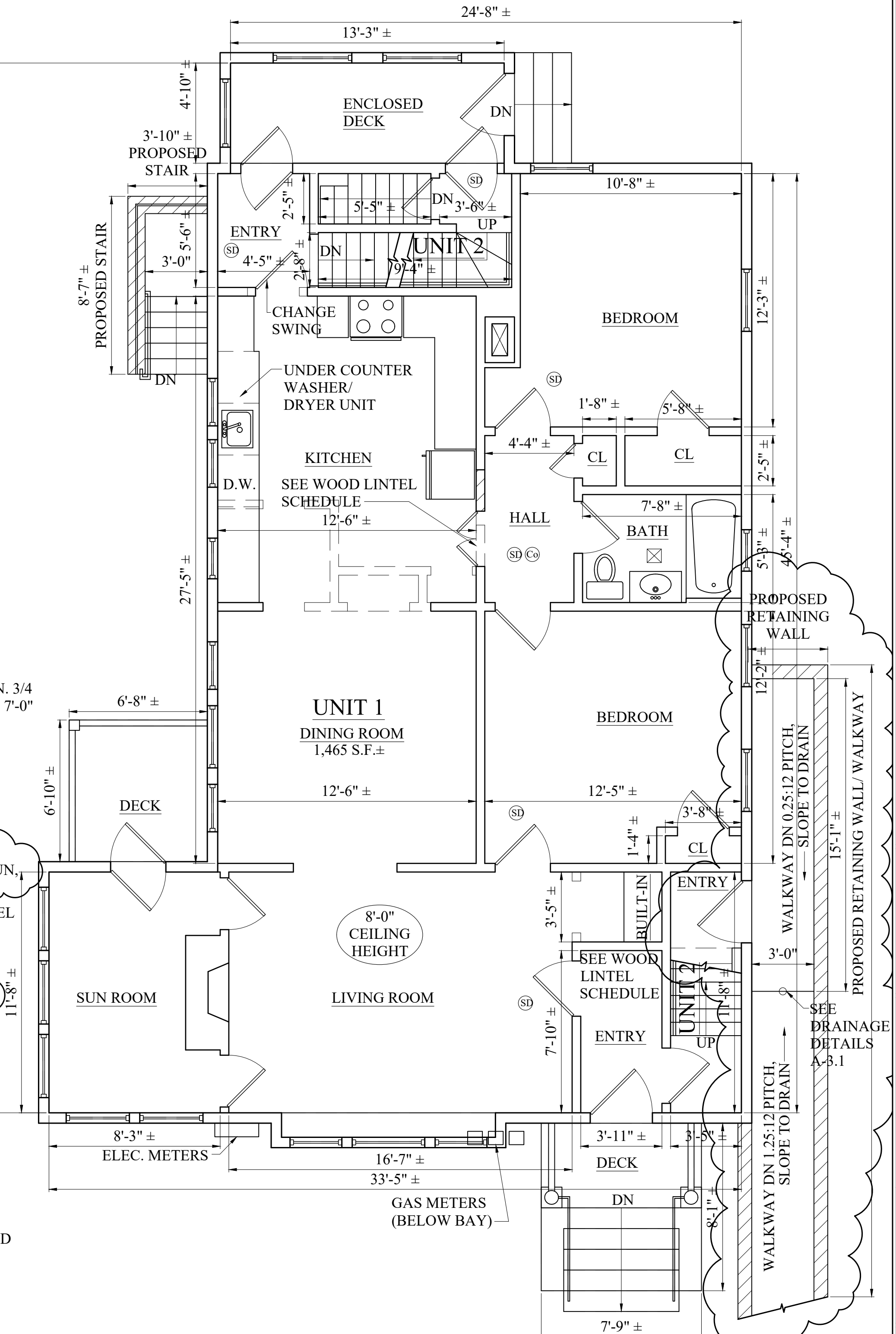
**UNIT 2 BEDROOM**  
 TOTAL AREA = 81 ± SQ.FT.  
 (R303.1) REQUIRED 8% NATURAL LIGHT = 6.48 ± SQ.FT.  
 PROPOSED WINDOWS =  
 (2) 2'-8" X 4'-1/2" = 21.40 ± SQ.FT.  
 TOTAL GLASS = 21.40 ± SQ.FT.  
 21.40 ± SQ.FT. > 6.48 ± SQ.FT. = OK

(R303.1) REQUIRED 4% NATURAL VENTILATION = 3.24 ± SQ.FT.  
 PROPOSED WINDOWS =  
 (2) 2'-8" X 4'-1/2" = 21.40 ± SQ.FT.  
 TOTAL GLASS = 21.40 ± SQ.FT.  
 21.40 ± SQ.FT. > 3.24 ± SQ.FT. = OK

NOTE:  
 NO UNDERPIN THIS AREA

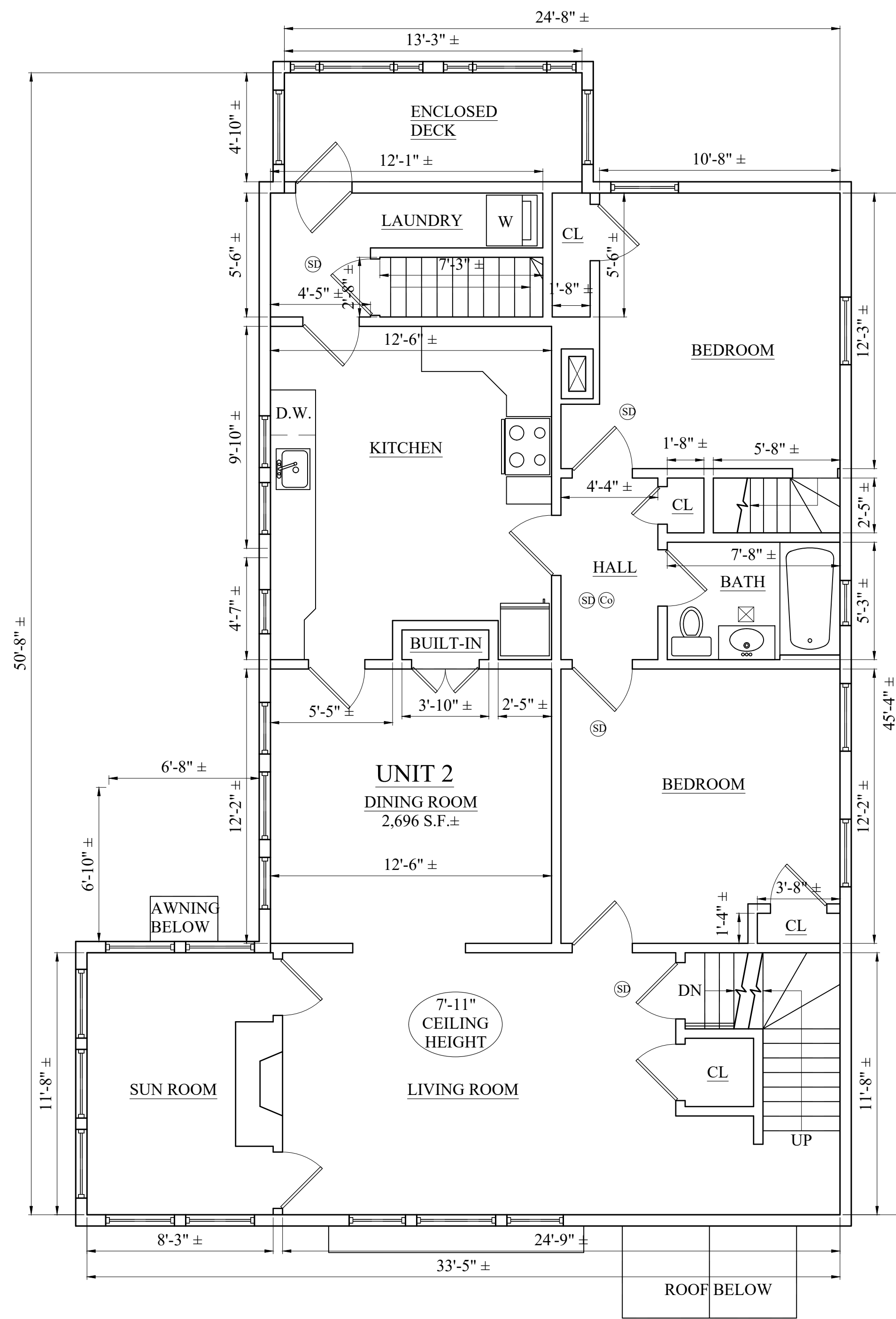


LONGFELLOW ROAD  
**1** PROPOSED BASEMENT FLOOR PLAN  
 1/4" = 1'-0"

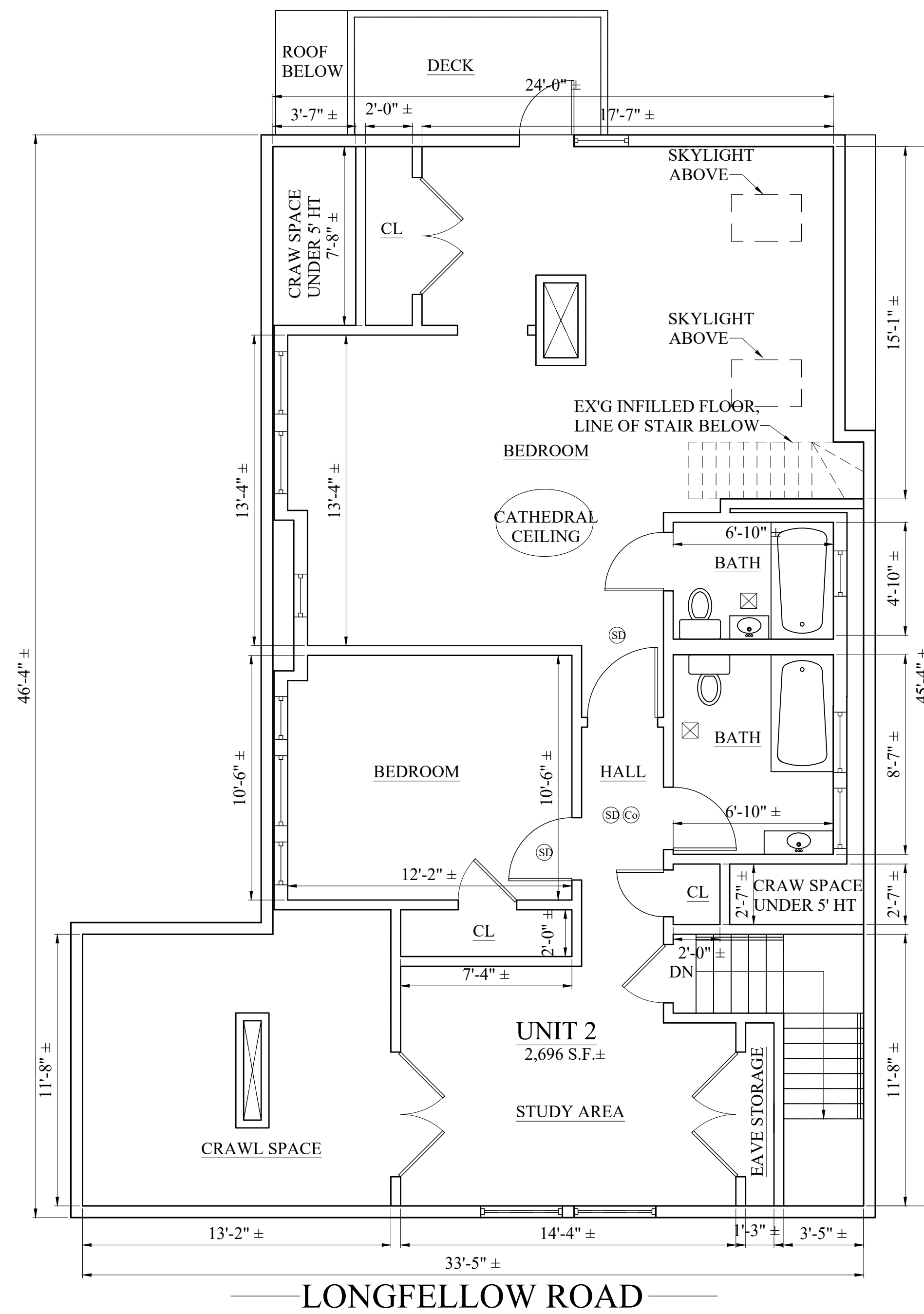


LONGFELLOW ROAD  
**2** PROPOSED FIRST FLOOR PLAN  
 1/4" = 1'-0"





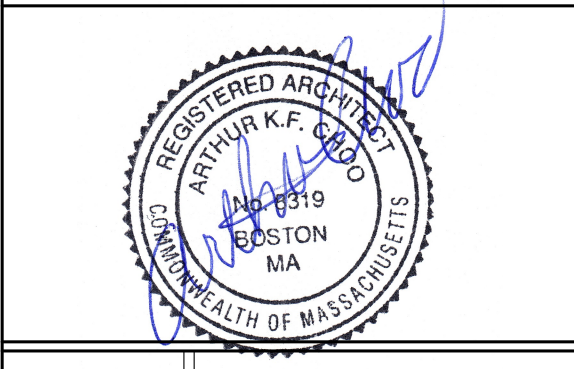
1 PROPOSED SECOND FLOOR PLAN (NO CHANGES)  
1/4" = 1'-0"



2 PROPOSED THIRD FLOOR PLAN (NO CHANGES)  
1/4" = 1'-0"

RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
Scale: AS NOTED  
Date: 02-17-21  
Drawn By: ST

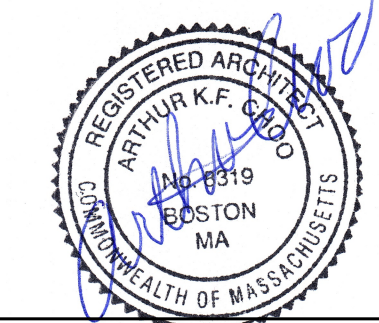
Drawing Name  
**PROPOSED FLOOR PLANS**

Sheet No.  
**A-1.2**

Location  
**RENOVATION/  
 BASEMENT LEGALIZATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA**

**Choo  
 & Company, Inc.**

One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 09-17-21  
 Drawn By: ST

Drawing Name  
**PROPOSED  
 ELEVATIONS**

Sheet No.  
**A-2.1**



**1** PROPOSED FRONT ELEVATION (LONGFELLOW ROAD)  
 SCALE: 1/4"=1'-0"

**2** PROPOSED LEFT SIDE ELEVATION (MT. AUBURN ST)  
 SCALE: 1/4"=1'-0"

WINDOW SCHEDULE CONTRACTOR TO VERIFY SIZE AND QUANTITY PRIOR TO ORDERING					
NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CX14	2	2'-8" X 4'-1/2"	MEETS EGRESS WINDOW REQUIREMENTS
B	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CX125	3	2'-8" X 2'-4 3/8"	INQUIRE WITH MANUFACTURER FOR CUSTOM SIZE TO MAXIMIZE USE OF R.O.
C	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CXW135	1	3'-1/2" X 3'-5 3/8"	MEETS EGRESS WINDOW REQUIREMENTS

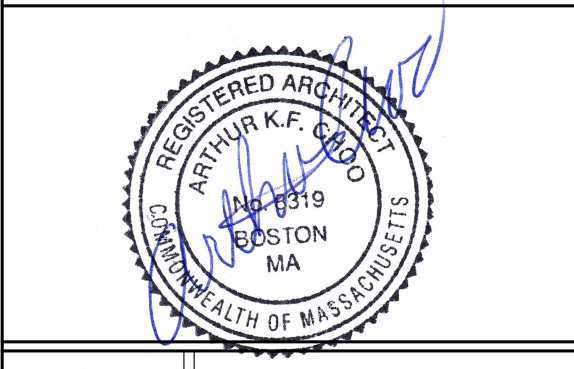
NOTE: ANY WINDOWS WITH SILLS LESS THAN 3" ABOVE THE FLOOR & MORE THAN 6" UP FROM THE ADJACENT GRADE SHALL HAVE OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090

**AVERAGE GRADE - FRONT**  
 11.58' X 0.0' = 0.0 S.F.±  
 7.5 X 1.83' = 13.72 S.F.±  
 16.5' X 0.0' = 0.0 S.F.±  
**AVERAGE GRADE - LEFT**  
 1.08' X 0.0' = 0.0 S.F.±  
 9.08' X 3.5' = 31.78 S.F.±  
 36.0' X 0.0' = 0.0 S.F.±  
**AVERAGE GRADE - REAR**  
 35.5' X 0.0' = 0.0 S.F.±  
**AVERAGE GRADE - RIGHT**  
 21.50' X 1.83' = 39.34 S.F.±  
 24.75' X 0.0' = 0.0'  
**TOTAL** 84.84 S.F.±  
**BUILDING PERIMETER** = 163.5'  
**PROPOSED BELOW GRADE STAIRS & WINDOW WELL**  
 84.84 S.F.± / 163.5' = 0.52' LOWER THAN AVERAGE GRADE  
**EXISTING BUILDING HEIGHT** = 33.0' ±  
**ZONE B-1 MAX. BUILDING HEIGHT** = 35'-0"  
**PROPOSED BUILDING HEIGHT** = 33.0' + 0.52' = 33.52' ± < 35'-0" = OKAY



Location  
**RENOVATION/  
 BASEMENT LEGALIZATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA**

**Choo  
 & Company, Inc.**  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

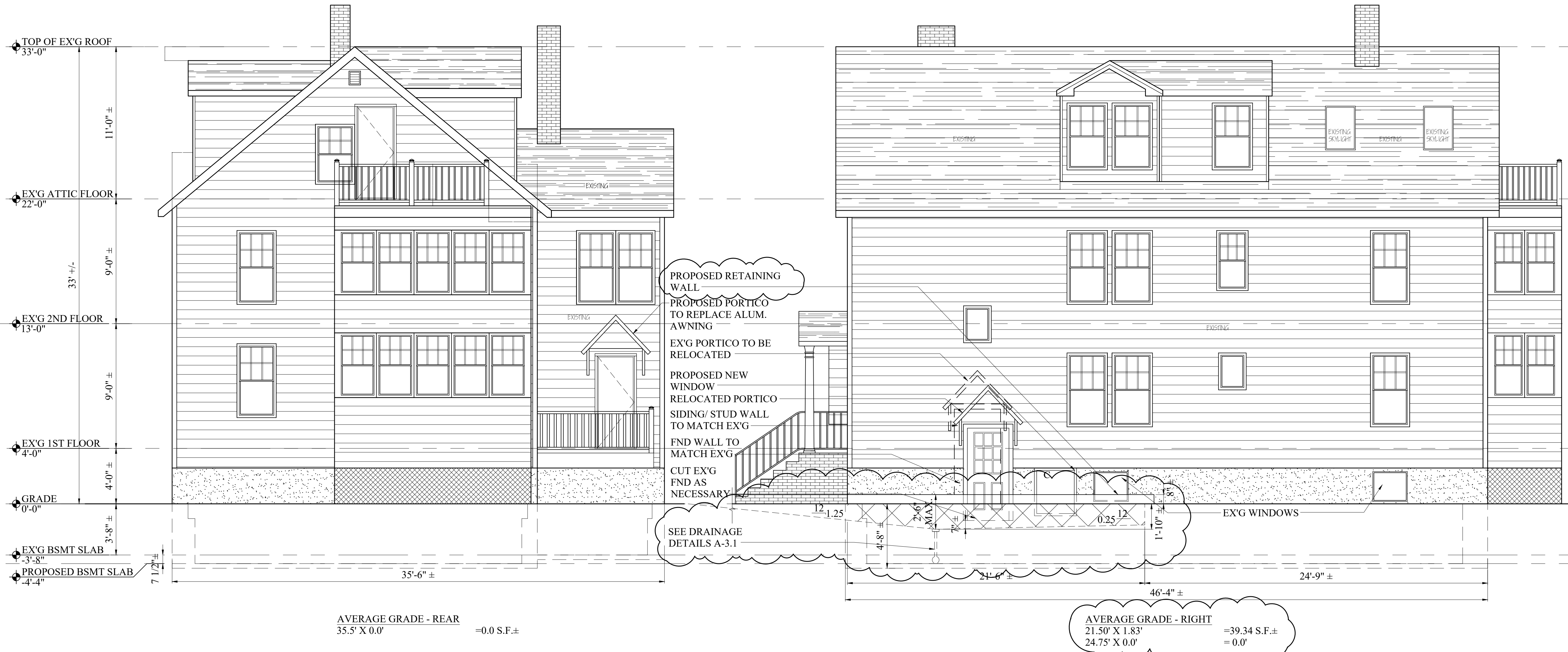


No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 09-17-21  
 Drawn By: ST

Drawing Name  
**PROPOSED  
 ELEVATIONS**

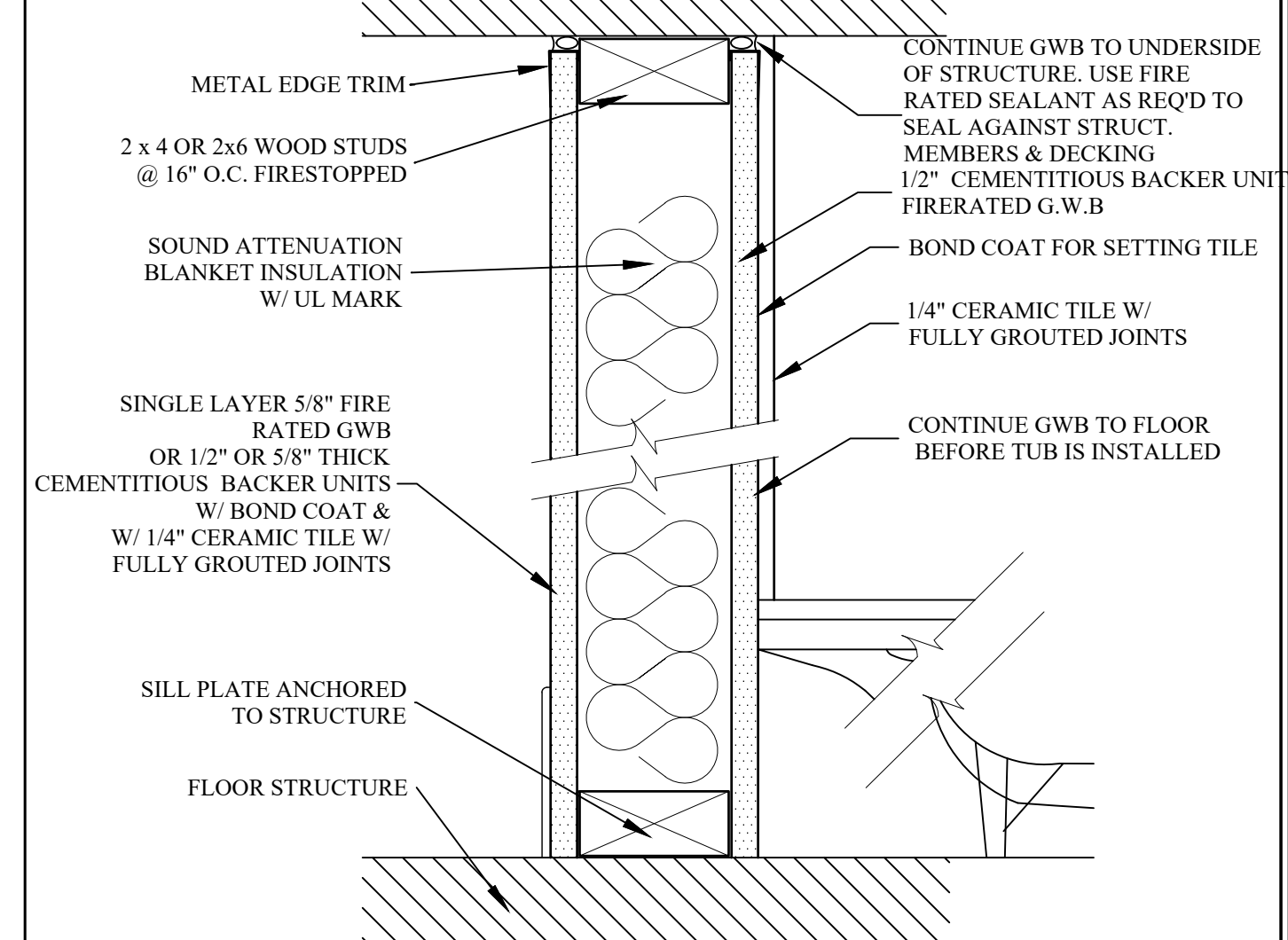
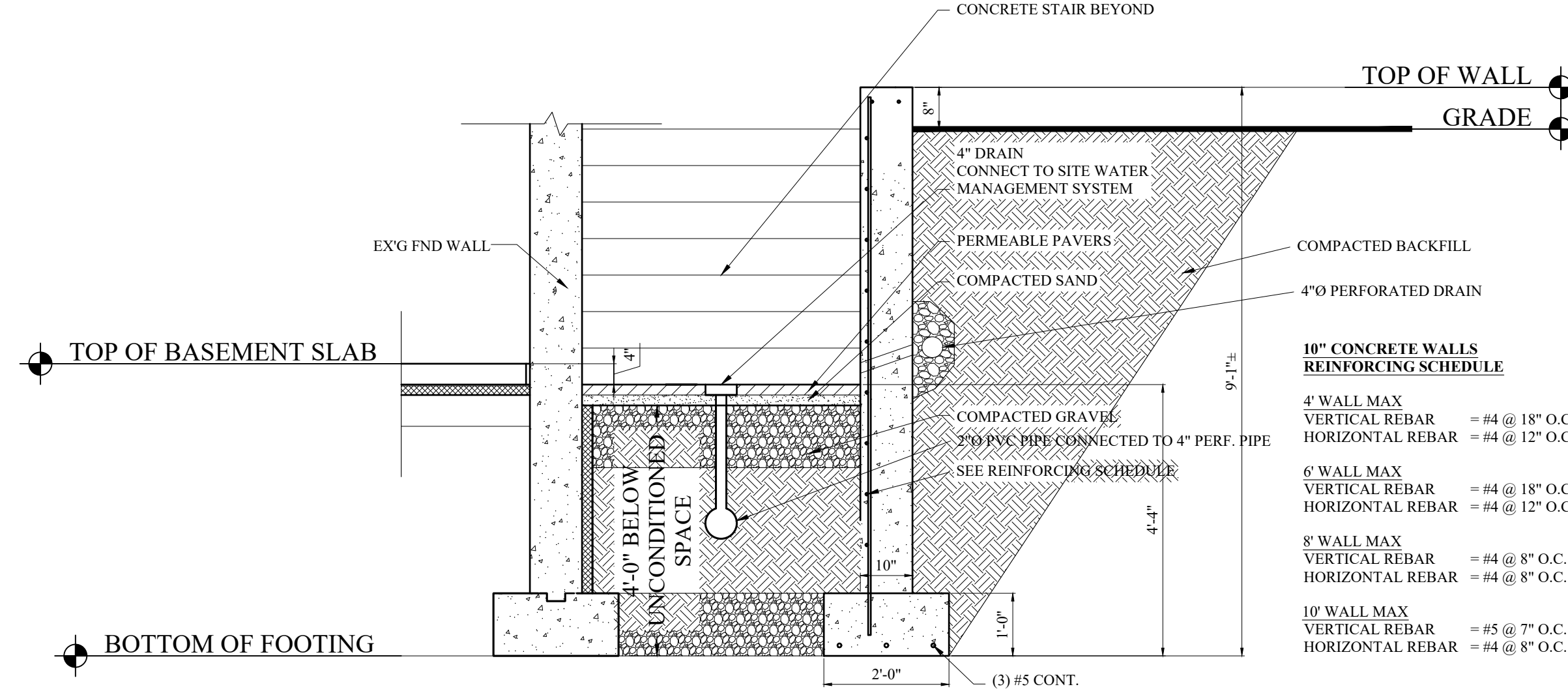
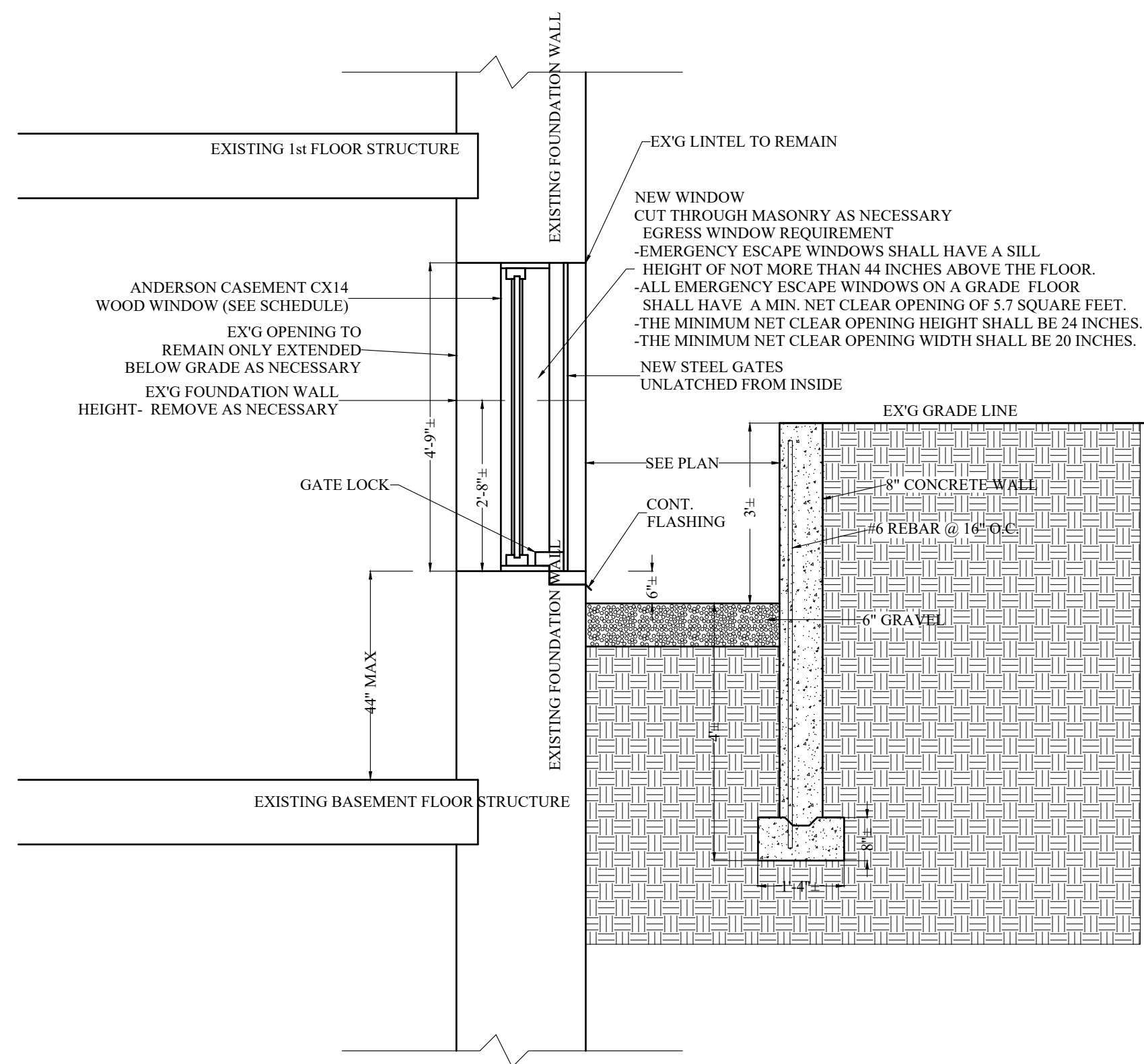
Sheet No.  
**A-2.2**



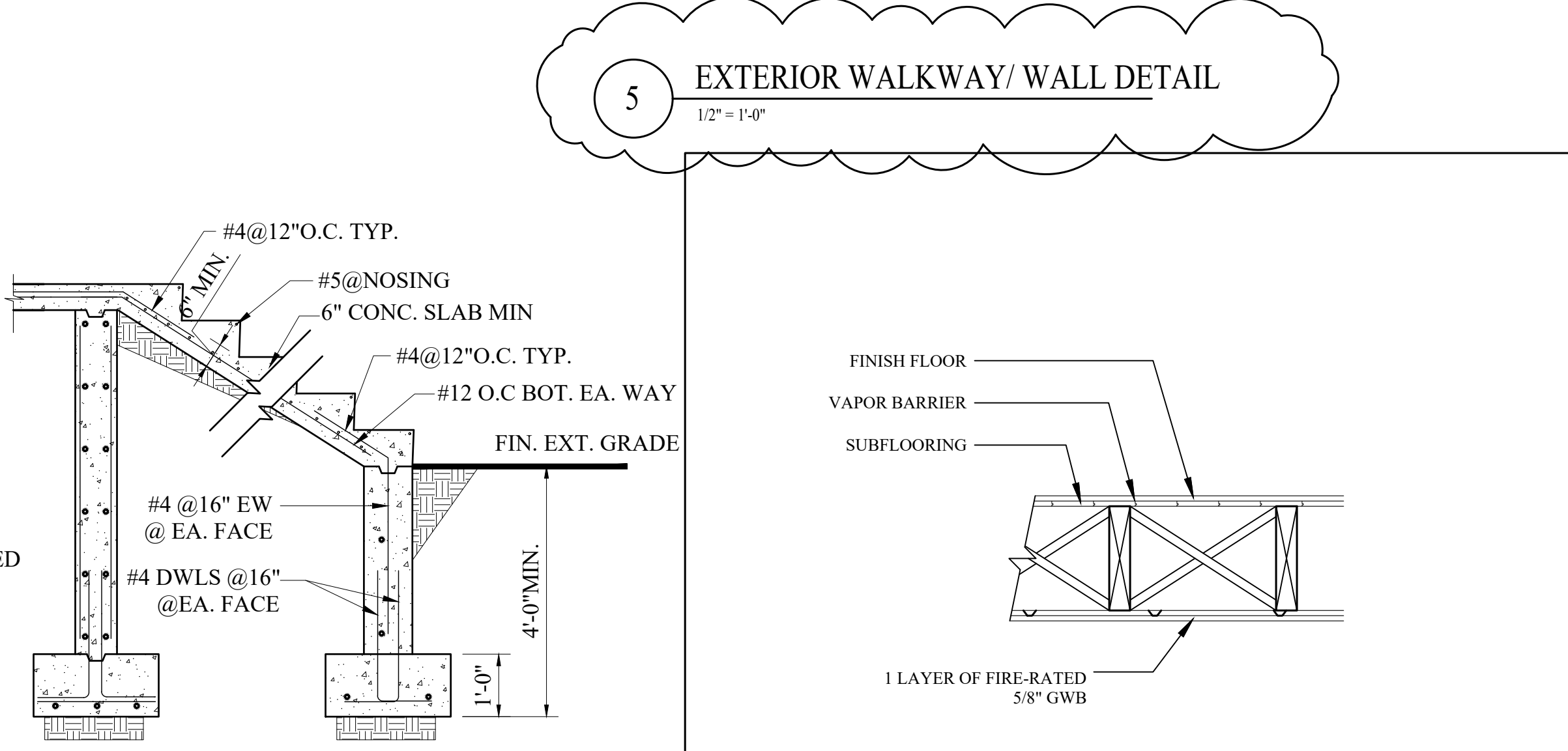
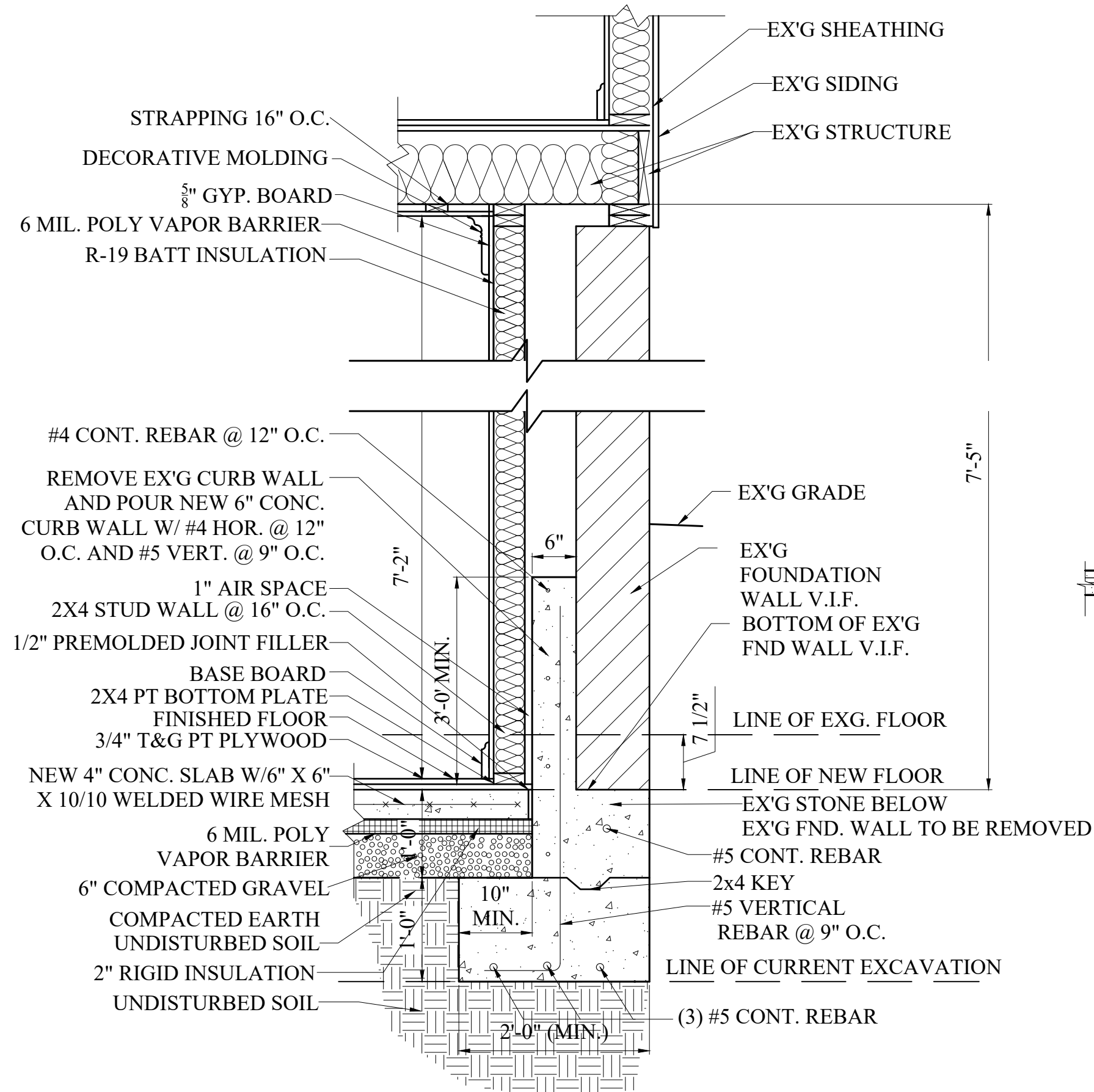
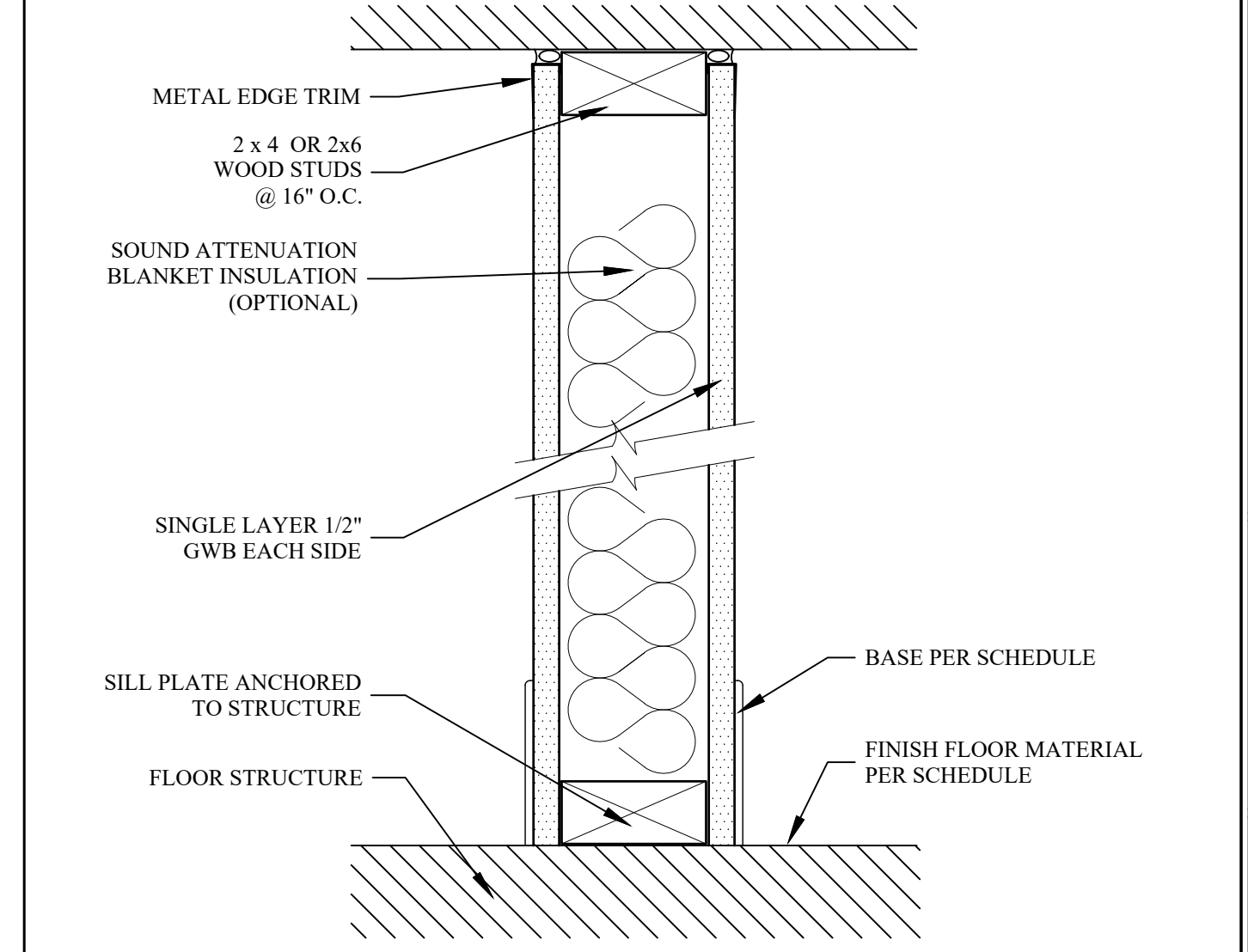
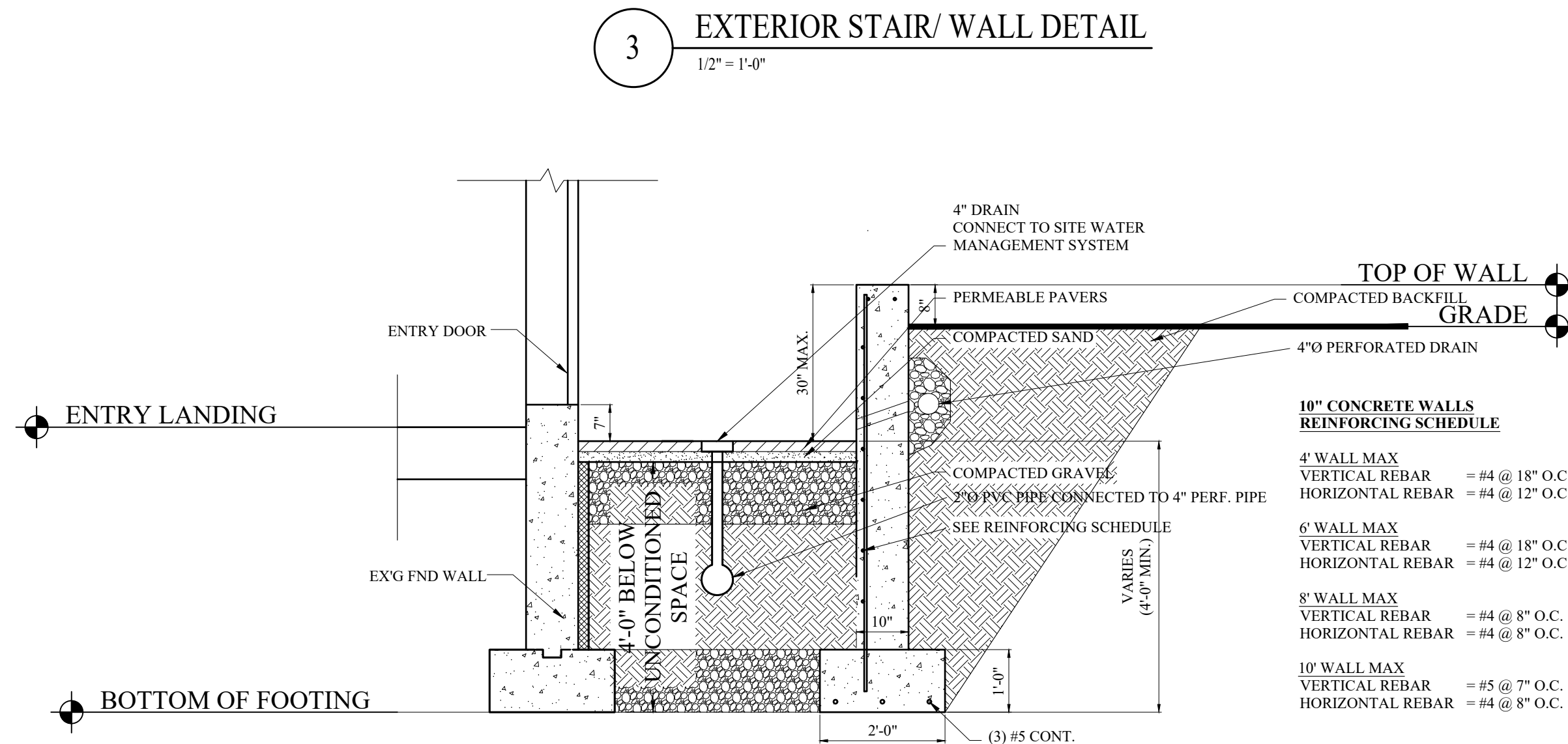
**1** PROPOSED REAR ELEVATION  
 SCALE: 1/4"=1'-0"

**2** PROPOSED RIGHT ELEVATION  
 SCALE: 1/4"=1'-0"



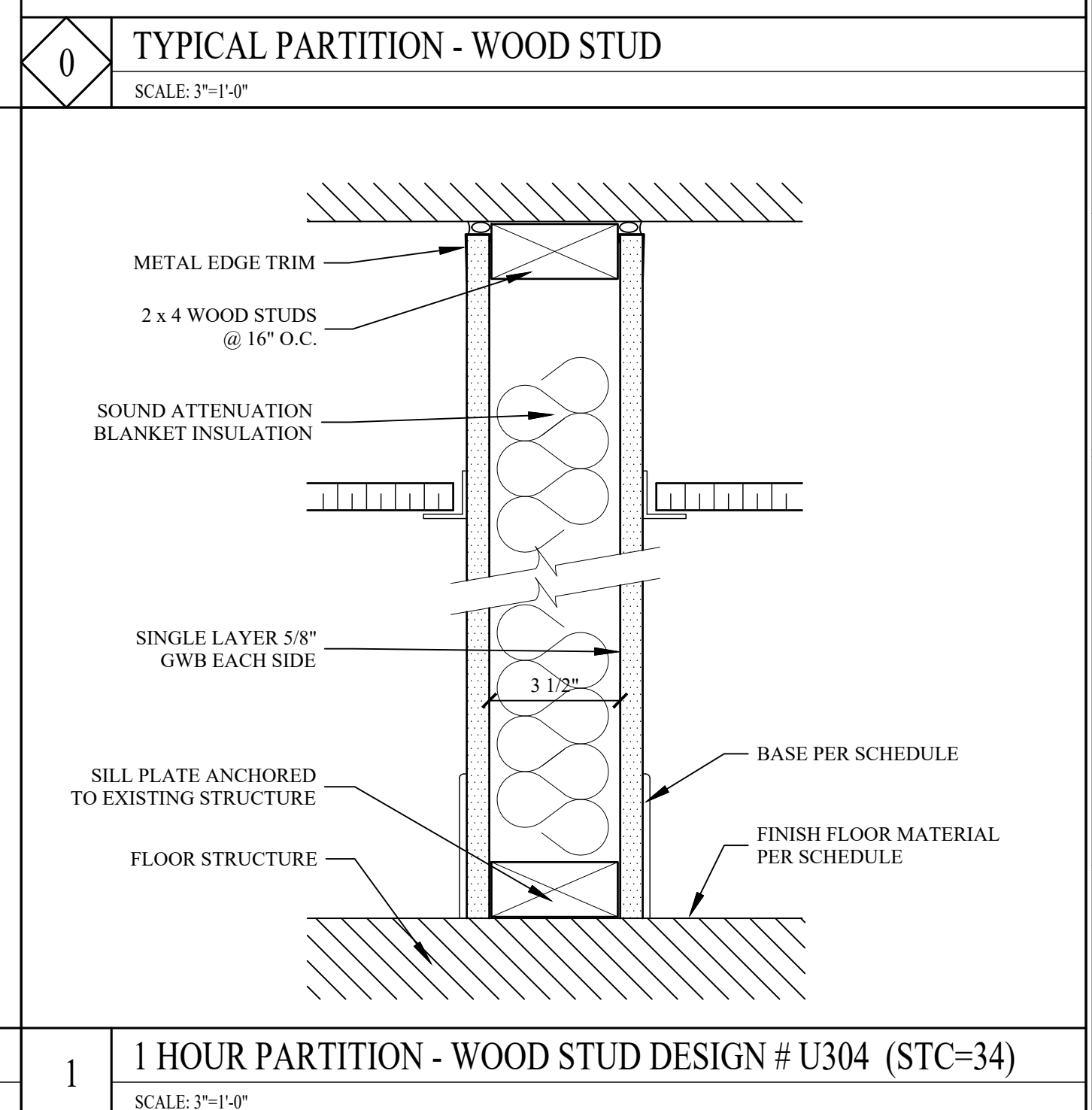
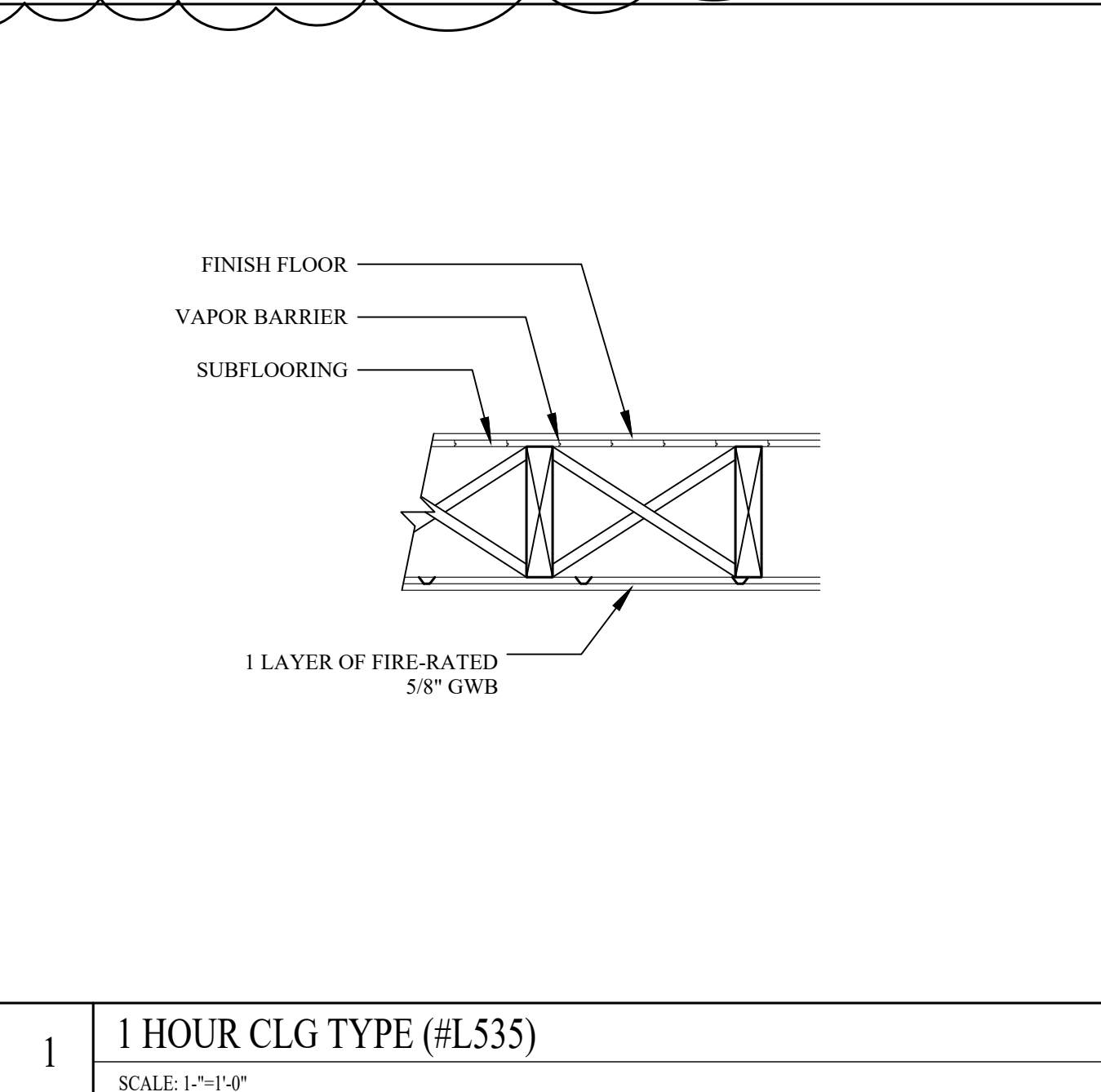


**1 WINDOW WELL DETAIL**  
1/2" = 1'-0"



**5 EXTERIOR WALKWAY/ WALL DETAIL**  
1/2" = 1'-0"

**4 PROPOSED CONC. STAIR DETAIL**  
1/2" = 1'-0"



Location

**RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA**

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT  
ARTHUR K.F. CHOO  
No. 9319  
BOSTON  
MA  
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
Scale: AS NOTED  
Date: 02-17-21  
Drawn By: ST

Drawing Name  
**DETAILS**

Sheet No.  
**A-3.1**



Case # 162489  
1-3 Longfellow Road  
Hao Wang, owner

I am writing as an abutter in regard to Hao Wang's special permit request for an Accessory Unit at 1 – 3 Longfellow Road (case #162489).

We moved to 6-8 Longfellow Road in July 2021. What attracted us to the neighborhood is the quiet and safe environment, the beautiful design of a dead-end street with all 2-unit houses mostly occupied by long term residents (and owners). I am concerned with this special permit request, and in particular that the design perpetuates the possibility of a second basement rental/sublet unit. I strongly object to a second rental unit in the basement if it is rented or sublet separately from the 1st floor apartment. I also strongly object to having the doors on the side of Longfellow Road (including on the Hester side) as the primary access/entrance to the accessory unit. I live right across the street from the house, so the added unit would have a major impact on my home if there are multiple tenants entering from the doors on the Longfellow side (including on the Hester side).

I do not support Hao Wang's request for a Special Permit unless the following conditions are met.

1. The **Accessory Unit should have its primary access/entrance on the Mt. Auburn side of the property** to minimize the additional impact on Longfellow Road. SKA Architects informed us they have labeled Unit 2 as the proposed Accessory Unit. The door on the Hester side should not be used as a primary entrance to the Accessory Unit.
2. The area of the basement which is not part of the Accessory Unit (Unit 1 on the drawings) **may not be rented separately or sublet.**
3. There should be **no new fence** added between the two properties. Instead there should be privacy shrubs on the property line (once defined).
4. If the walkway on the Hester side is lowered and a retaining wall is built, because of the impact on Longfellow Road, we ask to see the architectural design for this (height, length, and materials) and make sure that there be no guard rails along the retaining wall on the walkway.
5. The property needs improvement. We especially support painting the house, repairing the front stairs, and landscaping.

Sincerely yours,

Ying Tian  
8 Longfellow Road  
Cambridge, MA 02138

## **Pacheco, Maria**

---

**From:** Rebecca Pries <rebeccakpries@gmail.com>  
**Sent:** Monday, April 25, 2022 3:18 PM  
**To:** Pacheco, Maria  
**Subject:** Response letter for 4/28 hearing on case #162489  
**Attachments:** 2022 4.25 letter to BZA.docx

Good afternoon, Maria.

Please find attached our letter in response to case #162489, the 1 Longfellow Road application by petitioner Hao Wang. This case had been posted for 4/14, but was postponed to 4/28. I hope this is in time for the 4/28 Hearing at 6.

Thank you for your assistance.

Yours Sincerely,

Rebecca and Weldon Pries  
10 Longfellow Rd, Cambridge, MA 02138  
617-223-7883

Case # 162489  
1-3 Longfellow Road  
Hao Wang, owner

April 25, 2022

We are writing as an abutter-to-abutter in regard to Hao Wang's special permit request for an Accessory Unit at 1 – 3 Longfellow Road (case #162489). We have lived at 10 Longfellow Road since 1973.

We are writing following a 4/21 meeting of Weldon Pries and Carlos Neu with SKA Architects but without seeing the architect's updated drawings submitted to the BZA for the 4/28 hearing.

Our concern with Hao Wang's special permit request is twofold—1) the possibility that the design perpetuates the possibility of a second basement rental/sublet unit (we support only one Accessory Unit) and 2) the lack of design clarity about proposed changes to the 7 Longfellow Road side of the house (aka Hester side).

**We support Hao Wang's request for a Special Permit for one Accessory Unit with the following conditions:**

1. **The Accessory Unit should have its primary access/entrance on the Mt. Auburn side of the property** to minimize the additional impact on Longfellow Road. SKA Architects informed us they have labeled Unit 2 as the proposed Accessory Unit. The door on the Hester side should not be used as a primary entrance to the Accessory Unit.
2. The area of the basement which is not part of the Accessory Unit (Unit 1 on the drawings) **may not be rented separately or sublet.**
3. There will be **no new fence** added between the two properties. Instead there should be privacy shrubs on the property line (once defined).
4. If the walkway on the Hester side is lowered and a retaining wall is built, because of the impact on Longfellow Road, we ask to see the architectural design for this (height, length, and materials) and that there be no guard rails along the retaining wall on the walkway.
5. The property needs improvement. We especially support painting the house, repairing the front stairs, and landscaping.

In an email on 4/19/22, Hao Wang wrote, "Though I am happy to generally satisfy your conditions to support my Accessory Use, especially conditions #1, #2, and #5, I would instead work with David about #3 and #4 because of the land dispute between David and me outside this BZA application."

We appreciate your attention to these conditions in regard to Hao Wang's special permit request for 1 – 3 Longfellow Road.

Sincerely yours,  
Weldon and Rebecca Pries  
10 Longfellow Road  
Cambridge, MA 02138

**Hao Wang emails:**

Email from Hao Wang on 4/7/22 regarding the proposed “updated site plot by Peter Nolan & Associates.”

On Thu, Apr 7, 2022 at 8:45 AM Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:  
The updated site plot by Peter Nolan & Associates is dated April 6, 2022. There is no retention wall or stairs facing 7 Longfellow Rd. This renovation project does not alter the current curb line or the Hester fence.  
The drawings have been submitted to BZA.  
Thank you for working with me on this.  
Best,  
Hao

Email from Hao Wang on 4/5/22 regarding the SKA proposed architectural plan.

> On Apr 5, 2022, at 4:01 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:  
>  
> Good afternoon, Weldon,  
>  
> I want to share the updated drawing based on our last communications.  
>  
> 1. the dimensions of the window wells facing 7 Longfellow Rd are on the drawing;  
> 2. we use metal grates for the window wells to continue the walkway from the front to the rear of my property;  
> 3. now that the design is near-final, my architect will work with Peter Nolan & Associates to update the site plot, remove the double-staircase door well and retention walls, and mark the site plot with the two small windows.  
>  
> I believe this version of the drawings satisfies our requirements. Please review and let me know if I have missed anything. Otherwise, I will submit it to BZA by EOD this Friday.

## Pacheco, Maria

---

**From:** Samuel Kachmar <sam@kachmardesign.com>  
**Sent:** Thursday, April 14, 2022 2:51 PM  
**To:** Pacheco, Maria  
**Cc:** Hao Wang; Rafferty Jim  
**Subject:** 1 Longfellow Rd. Cambridge MA Special Permit CASE NO. BZA-162489

Maria,

May I please request Continuing the case of 1 Longfellow Rd to April 28th, 2022 on behalf of my Clint Hao Wang.

**CASE NO. BZA-162489**

Thank you

-Sam

Sam Kachmar (he/him/ his)  
Principal, SKA  
Phone (978) 270-8441  
Web [kachmardesign.com](http://kachmardesign.com)  
357 Huron Ave, Cambridge MA 02138





# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

2022 APR 19 PM 3:06  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal  
831 Mass Avenue  
Cambridge, MA 02139

RE: Case # BZA-162489

Address: 1 Longfellow Road

Owner,  Petitioner, or  Representative: Hao Wang  
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The  Owner,  Petitioner, or  Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 4/19/22

Hao Wang  
Signature

1 \* \* \* \* \*

2 (7:30 p.m.)

3 Sitting Members: Constantine Alexander, Brendan Sullivan,  
4 Jim Monteverde, Laura Wernick and Jason  
5 Marshall

6 BRENDAN SULLIVAN: Okay. We're back in operation  
7 again. The Board will now hear Case No. 162489 -- 1  
8 Longfellow Road. Is there anybody here representing the  
9 petitioner who would like to speak?

10 There appears to be none. We are in communication  
11 from Sam Kachmar. Correspondence states,

12 "May I please request continuing the case of 1  
13 Longfellow Road to April 28, 2022, on behalf of my client,  
14 Hao Wang?"

15 I will entertain, then, the request for a  
16 continuance. Mr. Alexander, on the motion to continue this  
17 matter?

18 CONSTANTINE ALEXANDER: I would support a motion  
19 to continue this matter until 6:00 p.m. on the twenty-eighth  
20 of April.

21 BRENDAN SULLIVAN: Mr. Monteverde?

22 JIM MONTEVERDE: I agree to the continuance.



1 BRENDAN SULLIVAN: Laura Wernick?

2 LAURA WERNICK: I agree to the continuance.

3 BRENDAN SULLIVAN: And Jason Marshall on the  
4 continuance?

5 JASON MARSHALL: Yes.

6 BRENDAN SULLIVAN: And Brendan Sullivan will make  
7 five affirmative votes to continue this matter until April  
8 28, 2022, at 6:00 p.m. on the condition that the petitioner  
9 change the posting sign to reflect the new date of April 28,  
10 2022, and the new time of 6:00 p.m.; that the petitioner  
11 sign a waiver to the statutory requirement for a hearing and  
12 a decision to be rendered thereof.

13 [All five vote YES]

14 BRENDAN SULLIVAN: Such waiver must be in the file  
15 by 5:00 p.m. on a week from Monday.

16 That any new submittals regarding the application,  
17 supporting statements, dimensional form or drawings be in  
18 the file by 5:00 p.m. on the Monday prior to April 28, 2022.

19 Anything else to add?

20 On the motion, then, all five Members of the Board  
21 have voted in favor. The matter is continued until April  
22 28.

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22

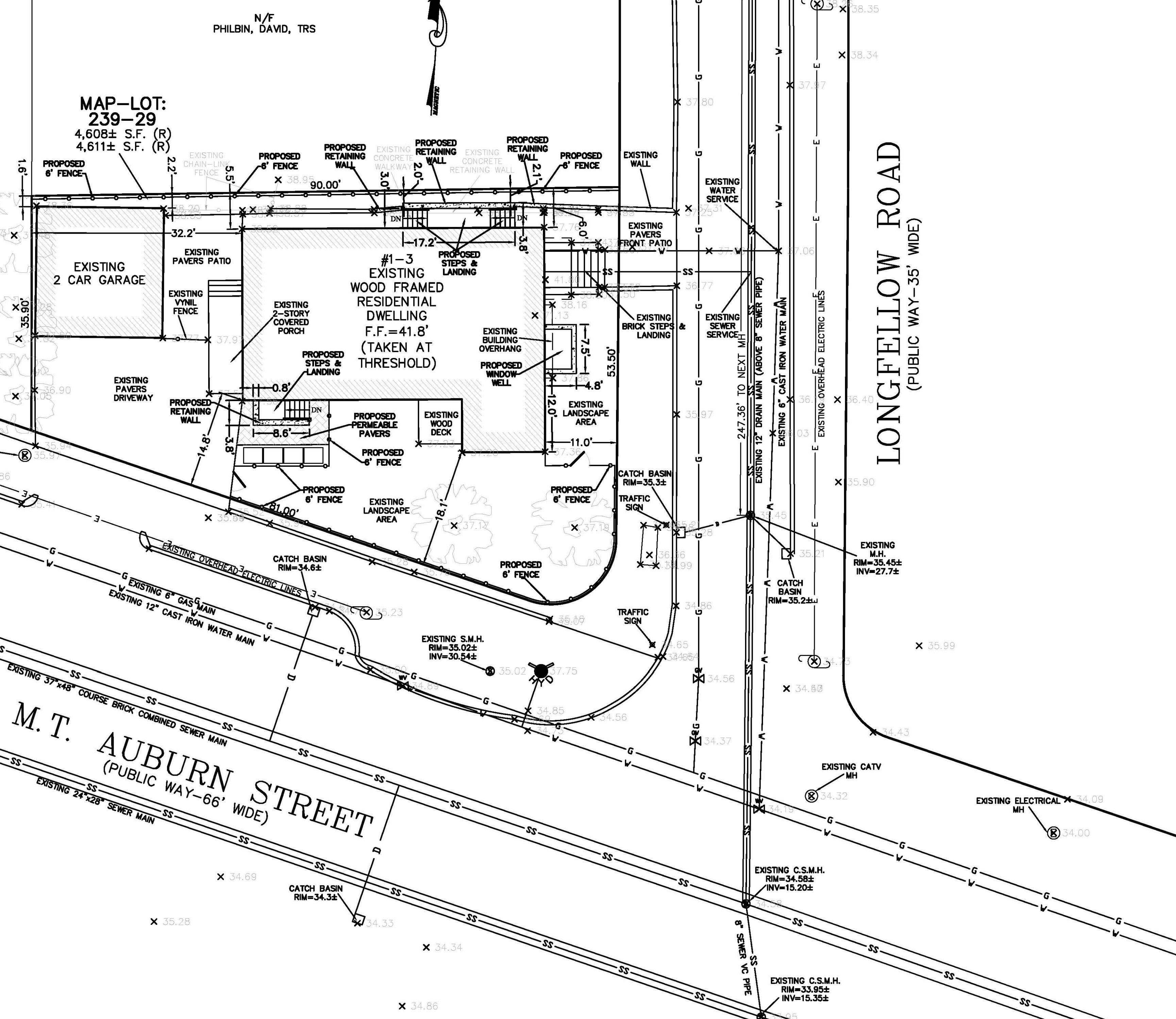
Now we have 12 minutes before the next case of  
Number 124 Dudley.

**EXISTING LEGEND**

SS	SEWER LINE
⊙	SEWER MANHOLE
V	WATER LINE
G	GAS LINE
⊕	UTILITY POLE
⊗	GAS VALVE
E	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
○	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊕	TREE

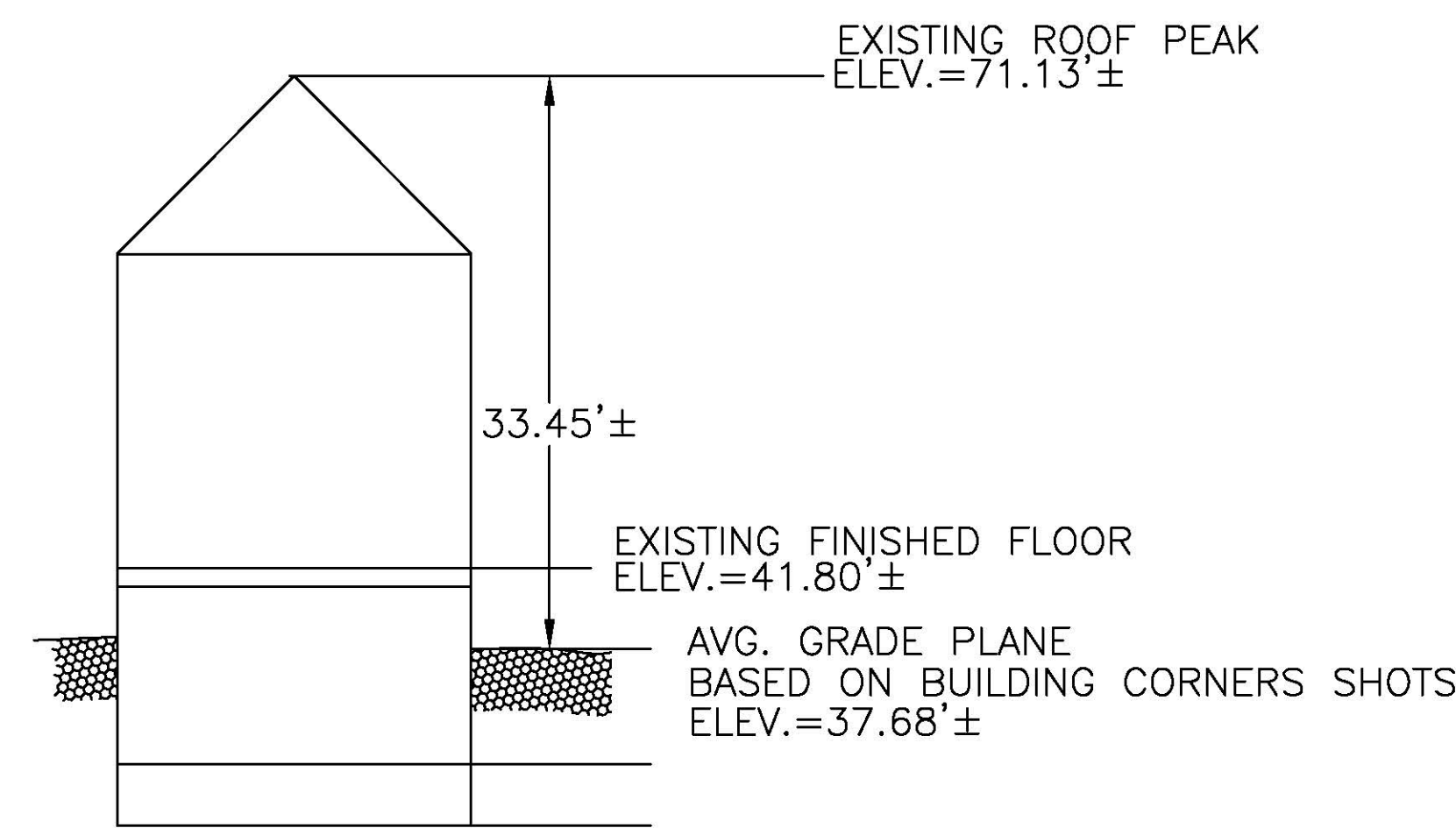
N/F  
SALEHI-ISFAHANI, DJAVAD &  
ANDREA L. KAVANAUGH;  
NOLLMAN, JORDAN & LARISSA BOUTIQUE

MAP-LOT:  
239-29  
4,608± S.F. (R)  
4,611± S.F. (R)

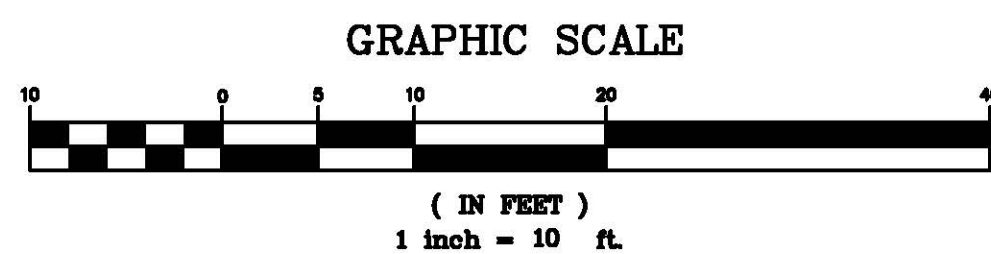


**NOTES:**

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 02-22-2020.
2. LOCUS DEED BOOK 322172 PAGE 565  
REFERENCE PLAN NO. 649 OF 1989; BOOK 20059, PAGE 473  
REFERENCE PLAN: BOOK 19887, PAGE 473  
REFERENCE PLAN: BOOK 13150, PAGE 413  
SOUTH MIDDLESEX COUNTY DISTRICT REGISTRY OF DEEDS.
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, PANEL NUMBER 0419E, COMMUNITY NUMBER: 250186, DATED 06/04/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. ELEVATION SHOWN BASED ON CITY OF CAMBRIDGE DATUM.
9. ZONE DISTRICT= RESIDENCE B.



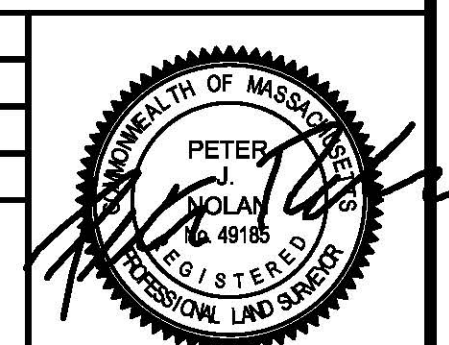
**EXISTING PROFILE**  
NOT TO SCALE



**M. T. AUBURN STREET**  
(PUBLIC WAY-66' WIDE)

**LONGFELLOW ROAD**  
(PUBLIC WAY-35' WIDE)

SCALE	1"=10'
DATE	03/25/2021
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	1 LONGFELLOW ROAD CAMBRIDGE MASSACHUSETTS
DRAWN BY	AU
CHKD BY	PJN
APPD BY	PJN
REVISION	
BY	
PROPOSED SITE PLAN	
<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT ST, SUITE 1, NEWTON, MA 02458 PHONE: 857 891 7478/617 782 1533 EMAIL: pnolan@pnasurveyors.com	



SHEET NO.  
**1**

PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR FOR THE SHEETS OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.  
COPYRIGHT 2021 PETER NOLAN & ASSOCIATES LLC  
All Rights Reserved





1 EXISTING FRONT ELEVATION (LONGFELLOW ROAD)  
SCALE: 1/4"=1'-0"

2 EXISTING LEFT SIDE ELEVATION (MT. AUBURN ST)  
SCALE: 1/4"=1'-0"

Location

**RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA**

**Choo  
& Company, Inc.**

One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715

REGISTERED ARCHITECT  
ARTHUR K.F. CHOO  
No. 8319  
BOSTON  
MA  
COMMONWEALTH OF MASSACHUSETTS

No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
Scale: AS NOTED  
Date: 09-17-21  
Drawn By: ST

Drawing Name

**EXISTING  
ELEVATIONS**

Sheet No.

D-2.1



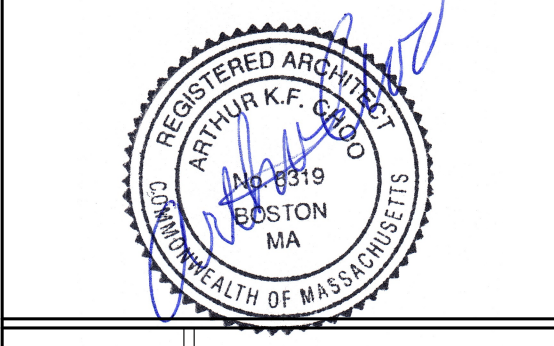


1 EXISTING REAR ELEVATION  
SCALE: 1/4"=1'-0"

2 EXISTING RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

Location  
**RENOVATION/  
BASEMENT LEGALIZATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA**

**Choo & Company, Inc.**  
One Billings Road Quincy, MA 02171  
617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
Scale: AS NOTED  
Date: 09-17-21  
Drawn By: ST

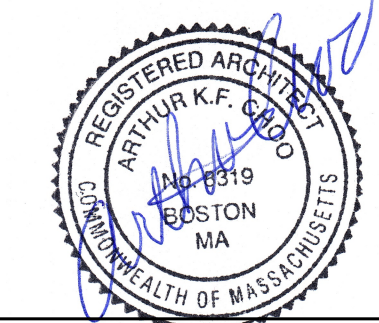
Drawing Name  
**EXISTING ELEVATIONS**

Sheet No.  
**D-2.2**

Location  
**RENOVATION/  
 BASEMENT LEGALIZATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA**

**Choo  
 & Company, Inc.**

One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715



No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 09-17-21  
 Drawn By: ST

Drawing Name  
**PROPOSED  
 ELEVATIONS**

Sheet No.  
**A-2.1**



**1** PROPOSED FRONT ELEVATION (LONGFELLOW ROAD)  
 SCALE: 1/4"=1'-0"

**2** PROPOSED LEFT SIDE ELEVATION (MT. AUBURN ST)  
 SCALE: 1/4"=1'-0"

WINDOW SCHEDULE CONTRACTOR TO VERIFY SIZE AND QUANTITY PRIOR TO ORDERING					
NO.	MANUFACTURER	MODEL	# NEEDED	R.O.	REMARKS
A	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CX14	2	2'-8" X 4'-1/2"	MEETS EGRESS WINDOW REQUIREMENTS
B	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CX125	3	2'-8" X 2'-4 3/8"	INQUIRE WITH MANUFACTURER FOR CUSTOM SIZE TO MAXIMIZE USE OF R.O.
C	ANDERSON 400 SERIES CASEMENT (OR EQUAL)	CXW135	1	3'-1/2" X 3'-5 3/8"	MEETS EGRESS WINDOW REQUIREMENTS

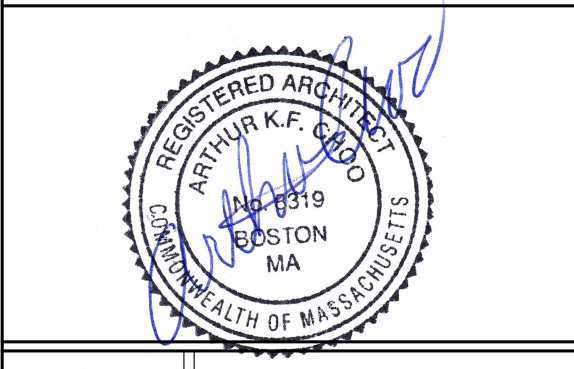
NOTE: ANY WINDOWS WITH SILLS LESS THAN 3" ABOVE THE FLOOR & MORE THAN 6" UP FROM THE ADJACENT GRADE SHALL HAVE OPENING CONTROL DEVICES THAT COMPLY WITH ASTM F2090

**AVERAGE GRADE - FRONT**  
 11.58' X 0.0' = 0.0 S.F.±  
 7.5 X 1.83' = 13.72 S.F.±  
 16.5' X 0.0' = 0.0 S.F.±  
**AVERAGE GRADE - LEFT**  
 1.08' X 0.0' = 0.0 S.F.±  
 9.08' X 3.5' = 31.78 S.F.±  
 36.0' X 0.0' = 0.0 S.F.±  
**AVERAGE GRADE - REAR**  
 35.5' X 0.0' = 0.0 S.F.±  
**AVERAGE GRADE - RIGHT**  
 21.50' X 1.83' = 39.34 S.F.±  
 24.75' X 0.0' = 0.0'±  
**TOTAL** 84.84 S.F.±  
**BUILDING PERIMETER** = 163.5'  
**PROPOSED BELOW GRADE STAIRS & WINDOW WELL**  
 84.84 S.F.± / 163.5' = 0.52' LOWER THAN AVERAGE GRADE  
**EXISTING BUILDING HEIGHT** = 33.0'±  
**ZONE B-1 MAX. BUILDING HEIGHT** = 35'-0"  
**PROPOSED BUILDING HEIGHT** = 33.0" + 0.52" = 33.52" < 35'-0" = OKAY



Location  
**RENOVATION/  
 BASEMENT LEGALIZATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA**

**Choo  
 & Company, Inc.**  
 One Billings Road Quincy, MA 02171  
 617-786-7727 fax 617-786-7715

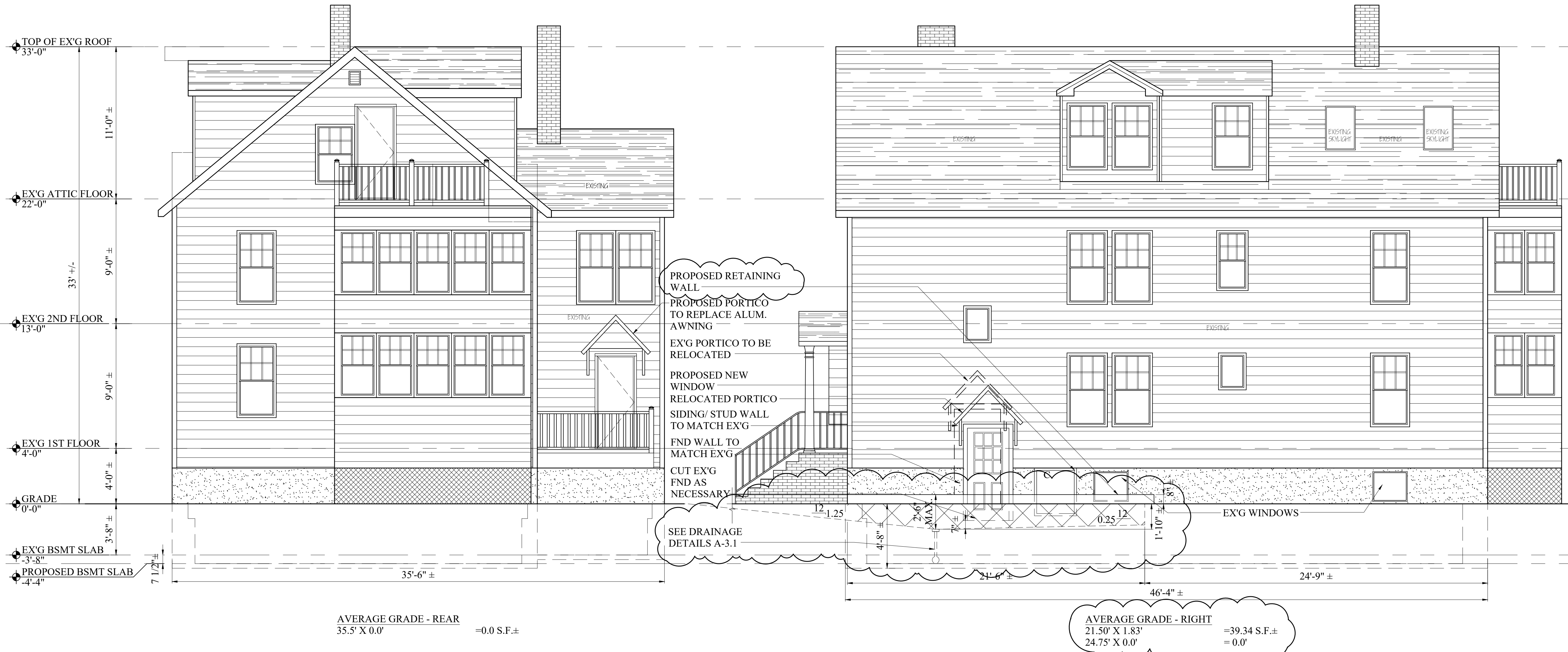


No.	Revision Date
	09-29-21
	10-06-21
	11-01-21
	11-29-21
	12-15-21
	01-21-22

Project No: 2021042  
 Scale: AS NOTED  
 Date: 09-17-21  
 Drawn By: ST

Drawing Name  
**PROPOSED  
 ELEVATIONS**

Sheet No.  
**A-2.2**



**1 PROPOSED REAR ELEVATION**  
 SCALE: 1/4"=1'-0"

**2 PROPOSED RIGHT ELEVATION**  
 SCALE: 1/4"=1'-0"













The building is a three-story house with white horizontal siding and a grey shingled roof. It features a prominent front porch with a white railing and a white lattice base. The house has several windows, including a large bay window on the second floor and a circular window on the third floor. A white balcony is visible on the second floor. The house is surrounded by trees and a clear blue sky.

A white Toyota SUV is parked in a driveway on the left side of the house. The license plate is 4KFJ69.

A dark red SUV is parked on the street on the right side of the house. The license plate is 152 DP.











**From:** Larissa Boutique larissa.boutique@gmail.com  
**Subject:** Re: 1-3 Longfellow Road basement renovation plan  
**Date:** November 24, 2021 at 8:05 PM  
**To:** Hao Wang dr.hao.wang@gmail.com  
**Cc:** Jordan Nollman jordan@sprout.cc

LB

Hi Hao,  
We reviewed the architectural drawings and we have no objections!  
Good luck and happy Thanksgiving  
Larissa

Sent from my iPhone

On Nov 12, 2021, at 9:21 PM, Hao Wang <dr.hao.wang@gmail.com> wrote:

Dear Larissa and Jordan,

How are you lately?

I want to share my near-final design for my 1-3 Longfellow Road basement renovation plan for your feedback and support.

Late Professor Sevchenko and I co-owned 1-3 Longfellow Road in the past. He owned the first floor and part of the basement. I owned the second and third floors and the other part of the basement. In the early 2000s, we both finished our basements with a bathroom and living/storage areas. Our basement spaces were counted as living space in our deeds and condo documents but about 2 inches short of the required headroom. In 2011, I purchased Professor's Unit and became the 100% owner of 1-3 Longfellow Road.

According to the City, my two bathrooms in the basement are legal, with a floor-to-ceiling height of about 6'10". However, the rest of the finished basement is roughly 2 inches lower than the required 7' clearance. Therefore, I plan to file a petition to our Board of Zoning Appeal (BZA) soon to lower my basement slab to create a headroom of 7'2".

Attached, please review my near-final floor plan and elevation plan. The notable changes include:

1. Lowering my existing basement door on the right side to create enough headroom.
2. Creating a window well in the front of the house for proper egress for a habitable bedroom.
3. Making a new entrance on the right side of my house for safer access to the Unit 2 basement.

The petition will NOT create a new unit. It will NOT include a new kitchen. It simply makes my existing spaces conform to the requirements for habitable spaces and help me recuperate the investment made over the years.

Would you mind reviewing the plan and letting me know your advice and suggestions? I very much need your support to legalize the finished basement space.

Thank you and best regards,

Hao

Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199

| <http://www.linkedin.com/in/hw168>

<1 longfellow rd bsmt legalization 11-02-21 neighbors.pdf>



**From:** David Philbin philbindap@yahoo.com  
**Subject:** Re: Renovation project at 1 Longfellow Rd, Cambridge, MA and abutting property line with Ms. Mary Hester  
**Date:** November 22, 2021 at 1:06 PM  
**To:** Hao Wang dr.hao.wang@gmail.com, Barbara Prinos bprinos@philbin-oneil.com, aduggan@philbin-oneil.com, David philbindap@yahoo.com

DP

Thank you for your prompt response.

Part of my concern was based on your original letter which indicated a new entrance as follows :

**Attached, please review my near-final floor plan and elevation plan. The notable changes include:**

- 1. Lowering my existing basement door on the right side to create enough headroom.**
- 2. Creating a window well in the front of the house for proper egress for a habitable bedroom.**
- 3. Making a new entrance on the right side of my house for safer access to the Unit 2 basement.**

Is there an entrance now on the Hester side? Perhaps you can send me a picture of the existing

entryway and its proximity to the Hester property. Is that entrance currently used by the occupants for primary access and how frequently?"

As for the second survey, it is highly unlikely that we could obtain one by the end of the year.

Now that I have had the opportunity to review the plan, another survey would not satisfy my objection. If the fence has been in place for fifty years or more, then it is quite obvious that the property owners all assumed that land in dispute was presumed to be owned by the Hesters. Under Mass law , if one has open, adverse, notorious and actual uninterrupted continuous use of a piece of land for twenty years, then Mass Land Court is likely to approve a petition to establish title via a claim by adverse possession regardless of the current survey results..

If there will be no change in the existing entryway on the Hester side other than its height, ( assuming there is an entrance there ne currently}, I would be willing to withdraw any objection provided to your permit request, if the fence stays where it is . We establish a boundary line agreement to set the boundary where the parties agree. I cannot now agree to give up land that has been part of the Hester property for sixty plus years.

I will await to hear from you.

David A. Philbin

On Monday, November 22, 2021, 07:59:10 AM EST, Hao Wang <dr.hao.wang@gmail.com> wrote:

I agreed **for you** to obtain a second survey by a reputable firm by the end of this calendar year.

On Nov 22, 2021, at 7:53 AM, Hao Wang <dr.hao.wang@gmail.com> wrote:

Good morning, Attorney Philbin



Good morning, Attorney Philbin,

Our emails have crossed. I have just sent you my response to your earlier email.

I look forward to our meeting.

We are not creating a new entrance facing Mary's house. We are simply lowering the existing entry without enlarging it.

The survey result surprised me too; however, it was an engineering result that was received early this year and communicated to you quickly. We have to protect our property rights. However, I agreed to obtain a second survey by a reputable firm by the end of this calendar year.

Let us discuss more and reach an agreement soon.

Best

Hao

On Nov 22, 2021, at 7:41 AM, David Philbin <[philbindap@yahoo.com](mailto:philbindap@yahoo.com)> wrote:

Good day Dr. Hang.

I had an opportunity over the weekend to review your proposal as it affects the Hester property at 7-9 Longfellow Rd in Cambridge . Please note since I am retired and thus never saw your email from last March.

As indicated, I will be visiting Mary some time over the last two weeks of December and would be happy to meet to discuss your plan..

I have been the Hesters attorney for over fifty years and am trustee of the trust that holds title to the Hester property.

The Hesters have lived at the Longfellow property for over sixty years. While Mrs. Hester is not well, her deceased husband Dr. James Hester would want me to protect his wife and their property as is and I am inclined to do so.

Having that in mind, my initial reaction is that I must object to several of your proposals.

1. I would be opposed to a new entrance being installed at the side of your home. It would be disruptive to the Hester property. Mrs. Hester's bedroom ( as well as all bedrooms ) are located on the side of the house facing your building. A new entrance would produce a significant change to that area, with the ensuing pedestrian traffic, noise, and attached lighting. It will adversely change the area. Furthermore, a new entrance is unnecessary. You indicated that your are not creating any new units, so there already is access to the units as is.
2. The survey result troubles me. The existing fence has been in place for many years, well before your ownership. All parties have recognized the boundary as being the fenced area. This has been the case for your entire ownership period and well before you. The Hesters have occupied and maintained the land on their side of the fence openly , notoriously, and adversely for many more than the twenty years required under Mass law for adverse possession. I would like the fence to remain in its current location. I would suggest we enter into a boundary line agreement that recognizes the current location of the fence as the boundary line to avoid the cost of litigation. I must put you on notice, that if you do relocate the fence on to the land in dispute, you do so at your peril. In my opinion it is highly likely that the Massachusetts Land Court would approve a claim for adverse possession of the land in dispute which has for so long been recognized by all to belong to the Hesters.. This is especially true in an urban environment where the acts of possession are so obvious to most.



obviously met.

I expect to solicit the opinion of other neighbors as well as to the intended structural changes,

I will be retaining counsel to review this matter in further detail .I will have representation at any public hearing on the proposal, if we do not reach an agreement . I would be happy to not object at the hearing if we can have an agreement on your petition for zoning relief However please note, I am prepared to file a complaint in the Land Court to establish an adverse possession claim of title to that area to substantiate the rightful legal claim of the Hesters to that area.

I regret that I have to take this position but I have a fiduciary duty to Mrs. Hester and the Trust of Dr. Hester and to protect their investment of sixty plus years.

Please acknowledge receipt of this email by replaying to all.

David A. Philbin

On Tuesday, November 16, 2021, 08:23:29 AM EST, Barbara Prinos <[bprinos@philbin-oneil.com](mailto:bprinos@philbin-oneil.com)> wrote:

**From:** Hao Wang [<mailto:dr.hao.wang@gmail.com>]

**Sent:** Friday, November 12, 2021 9:36 PM

**To:** Barbara Prinos <[bprinos@philbin-oneil.com](mailto:bprinos@philbin-oneil.com)>

**Subject:** Re: Renovation project at 1 Longfellow Rd, Cambridge, MA and abutting property line with Ms. Mary Hester

Good evening, Barbara,

How are you lately?

About seven months ago, I informed you of my plan to legalize my basement and install fences around my property, abutting Ms. Mary Hester's property at 7 Longfellow Rd, Cambridge, MA. I have not heard from you.

I want to share my near-final design for my 1-3 Longfellow Road basement renovation plan for your feedback and support.

Late Professor Sevchenko and I co-owned 1-3 Longfellow Road in the past. He owned the first floor and part of the basement. I owned the second and third floors and the other part of the basement. In the early 2000s, we both finished our basements with a bathroom and living/storage areas. Our basement spaces were counted as living space in our deeds and condo documents but about 2 inches short of the required headroom. In 2011, I purchased Professor's Unit and became the 100% owner of 1-3 Longfellow Road.

According to the City, my two bathrooms in the basement are legal, with a floor-to-ceiling height of about 6'10". However, the rest of the finished basement is roughly 2 inches lower than the required 7' clearance. Therefore, I plan to file a petition to our Board of Zoning Appeal (BZA) soon to lower my basement slab to create a headroom of 7'2".



Attached, please review my near-final floor plan and elevation plan. The notable changes include:

1. Lowering my existing basement door on the right side to create enough headroom.
2. Creating a window well in the front of the house for proper egress for a habitable bedroom.
3. Making a new entrance on the right side of my house for safer access to the Unit 2 basement.

The petition will NOT create a new unit. It will NOT include a new kitchen. It simply makes my existing spaces conform to the requirements for habitable spaces and help me recuperate the investment made over the years.

Peter Nolan and Associates, when they did the instrument survey for the plot plan, discovered that my property line is 6 feet from my wall on the right side, about 2 feet inside the existing garden of 7 Longfellow Rd. I will install a fence along my property line. The fence does not require a permit by the city. I am willing to take your advice on behalf of Ms. Mary Hester on the fence dividing our property.

Would you mind reviewing the plan and letting me know your advice and suggestions? I very much need your support to legalize the finished basement space.

Thank you and best regards,

Hao

Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199  
| <http://www.linkedin.com/in/hw168>

On Wed, Mar 31, 2021 at 2:00 PM Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

Good afternoon, Barbara and Attorney Philbin,

I am Hao Wang. I am the owner of 1-3 Longfellow Road, Cambridge, MA 02138. My property directly abuts that of Ms. Mary Hester's. Mary and my family are good neighbors; please let Mary know that I am saying hi and wish her well.

I plan on a basement legalization project that will involve building a stairwell along the property line abutting Mary's. My land surveyor, Peter Nolan & Associates, performed the land survey and site plot. He delivered to me the final drawing as attached.

It became apparent to me that our property line is, in fact, inside Mary's yard. Please review the drawing, which depicts the dimensions for us. I want to inform you and Mary that I'd like to improve the walkway and fences along our natural property line as part of my basement project. The retaining wall I put in the front of the house is slanted, and I'd like to redo it as well.

Please let me know your thoughts. I want to improve our abutting space to be more appealing to both sides. I seek your and Mary's input.

Best

..



Hao

Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199 | <http://www.linkedin.com/in/hw168>

<1 longfellow rd bsmt legalization 11-02-21 neighbors.pdf>



Cambridge Board of Zoning Appeals  
Lombardi Building  
831 Massachusetts Avenue  
Cambridge, MA 02139

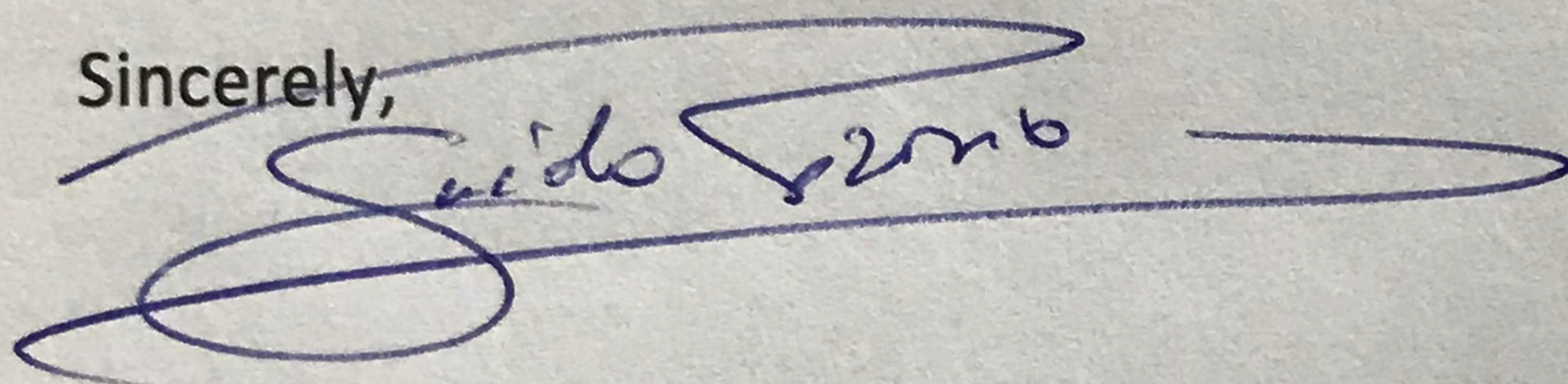
Re: Petition by Hao Wang for variance at 1-3 Longfellow Road for basement renovation and legalization

Dear Board of Zoning Appeal:

Dr. Hao Wang has shared his plans for renovations to his house at 1-3 Longfellow Road. We have no objections and believe this work will contribute to the neighborhood.

Thank you for your considerations.

Sincerely,

A handwritten signature in blue ink that reads "Guido Brosio". The signature is stylized with a large, sweeping underline that loops back under the name.

---

Guido Brosio  
14 Channing Street/Circle  
Cambridge, MA 02138  
Date: November 27, 2021



**From:** Carlos Neu carlosneu1942@gmail.com

**Subject:** proposed changes to your property

**Date:** December 4, 2021 at 10:49 AM

**To:** Hao Wang dr.hao.wang@gmail.com

**Cc:** Rebecca Pries rebeccapries@gmail.com, Judi Neu judineu@comcast.net, Barbara Elfman belfman@gmail.com, Jan Dillon jandillon1@gmail.com, Fleet Hill fleethill@gmail.com, Weldon Pries pries.weldon@gmail.com, Walter Popper wjpopper@gmail.com, Eric Elfman eelfman@gmail.com

CN

Good day Hao,

A group of neighbors met yesterday to discuss the changes you are proposing to your property on Longfellow Road. In reviewing the materials you have provided for us we appreciate receiving further explanation and clarification on the following items:

- a. **to review drawings of the existing plan and proposed plan:** the drawings you submitted to us earlier were not clear to us as we examined them as they combined both existing and proposed plans. We would appreciate receiving separate copies of existing and proposed floor plans for each floor, and existing and proposed elevations for the building.
- b. **to see the visual impact of the proposed fences from both Mt. Auburn Street and Longfellow Road:** we would appreciate receiving a picture (photo or drawings), showing the proposed design of both fences including height(s). We would also appreciate knowing the location of these fences in relation to the road/sidewalk
- c. **to see the visual impact of the stairway adjacent to Dr. Hester's property:** in addition to seeing the visual impact from the elevation drawings, we are also interested in understanding how the front and the back of the stairway can be accessed. A scaled drawing of the proposed site plan along the right side of the building would be appreciated.
- d. **to review the stamped instrument survey showing the property site plan:** since you informed us that your property boundaries are different from the current measurements, we request a copy of the stamped survey.
- e. **to review the number of total units in the building:** please furnish



~~in order to review the number of total units in the building,~~ please furnish us with the current total number of legal units in the building - including yours and those currently rented or for rent, and any proposed changes to this number .

Thank you very much for allowing us to comment on your proposed plan. We look forward to meeting with you after we receive the above requested information and have had a chance to review.

In the meantime we wish you an enjoyable holiday season,

Carlos and Judi Neu

Weldon and Rebecca Pries

Eric and Barbara Elfman

Walter Popper and Fleet Hill

Jan Dillon Schaub



From: Hao Wang dr.hao.wang@gmail.com  
Subject: Re: Mt. Auburn noise  
Date: November 23, 2021 at 8:24 AM  
To: Muireann Glenmullen mglennullen.dublon@gmail.com



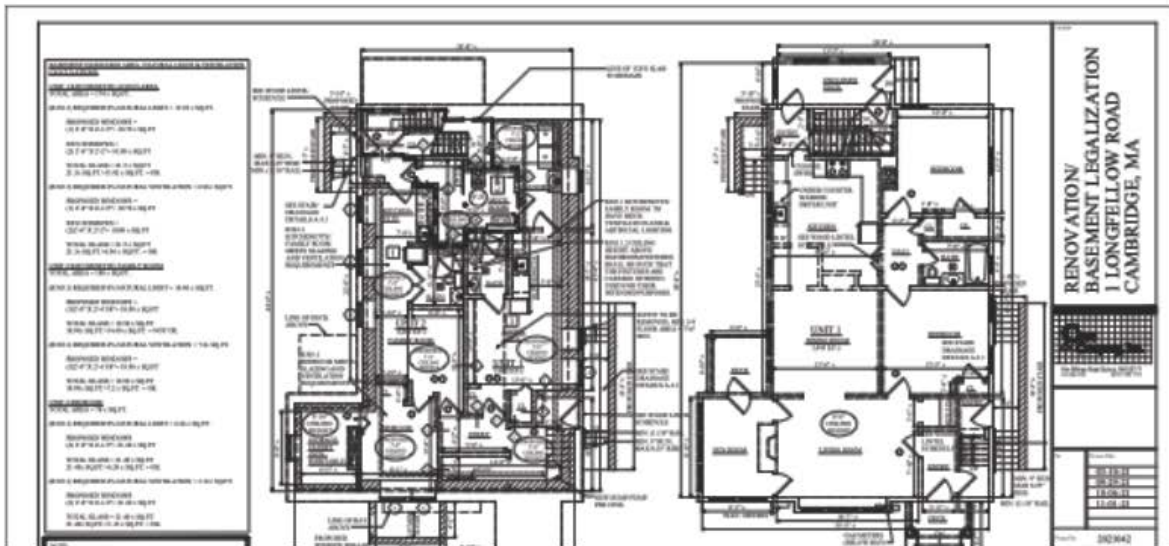
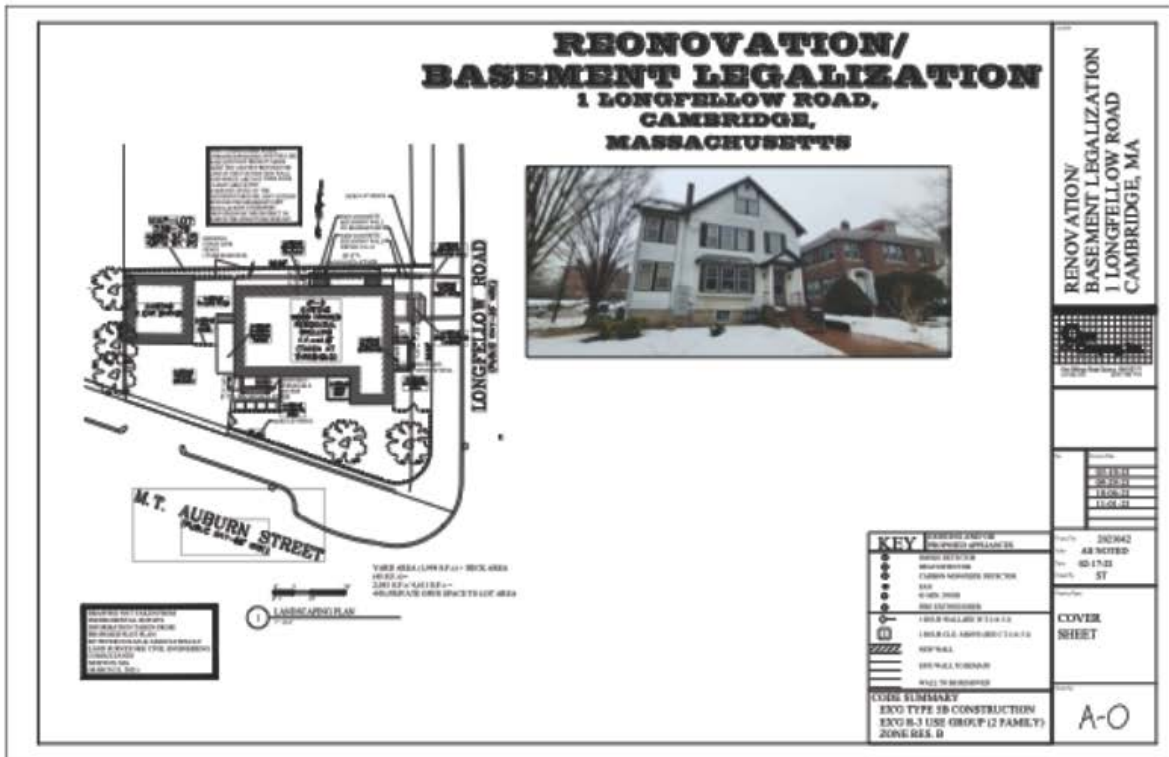
Good morning, Muireann,

Attached, please find five single-page PDFs that I prepared for your ease to review.

Thank you for providing me the contacts of our interested neighbor. I will send them the information plus some updated discussion to all.

Best

Hao

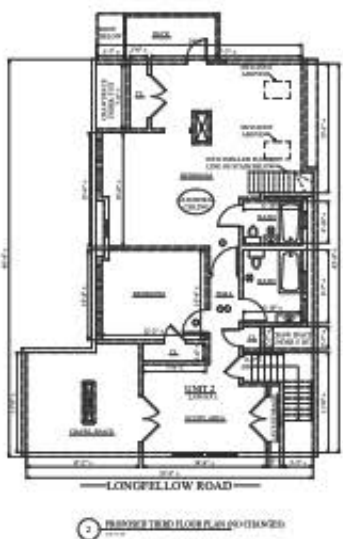
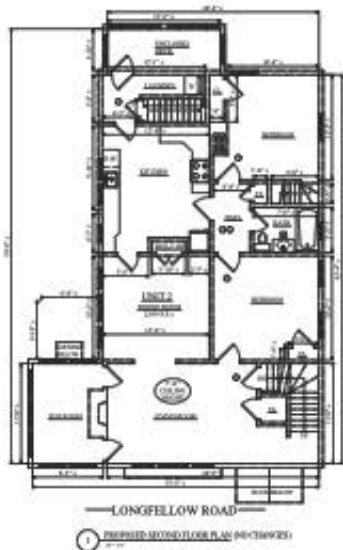




NOT TO SCALE  
 ALL NECESSARY CONCRETE RETAINING WALLS TO BE PERMITTED BY THE CITY OF CAMBRIDGE. SEE THE CITY OF CAMBRIDGE PERMITS DEPARTMENT FOR ALL CONCRETE.



Project No. 202042  
 Date: 08.17.21  
 Sheet: 01  
 PROPOSED FLOOR PLANS  
 A-1.1



RENOVATION/  
 BASEMENT LEGALIZATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA  
 Project No. 202042  
 Date: 08.17.21  
 Sheet: 01  
 PROPOSED FLOOR PLANS  
 A-1.2



**WINDOW SCHEDULE** CONSULT FOR VERIFY ALL DIMENSIONS SHALL BE SHOWN

NO.	DESCRIPTION	DEPTH	SPACING	S.G.	CON. REQ.
A	ADDITIONAL WINDOW FRAMEWORK	200	1	1'-0" x 4'-0"	WEST WINDOW WINDOW EQUIVALENCY
B	PROPOSED WINDOW FRAMEWORK	200	1	2'-0" x 4'-0"	WEST WINDOW WINDOW EQUIVALENCY

NOTE: ALL WINDOWS WITH HEIGHTS LESS THAN 4 FEET AND WIDTHS LESS THAN 4 FEET SHALL BE SECURED AGAINST SWELLING AND COLLAPSE. VERIFY THAT COMPANY WITH THE MANUFACTURER.

**PROPOSED LEFT SIDE ELEVATION (NO CHANGES)**

NO.	DESCRIPTION	DEPTH	SPACING	S.G.	CON. REQ.
A	ADDITIONAL WINDOW FRAMEWORK	200	1	1'-0" x 4'-0"	WEST WINDOW WINDOW EQUIVALENCY
B	PROPOSED WINDOW FRAMEWORK	200	1	2'-0" x 4'-0"	WEST WINDOW WINDOW EQUIVALENCY

RENOVATION/  
 BASEMENT LEGALIZATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA  
 Project No. 202042  
 Date: 08.17.21  
 Sheet: 01  
 PROPOSED ELEVATIONS  
 A-2.1





1 longfellow rd  
bsmt le...f 5.pdf

On Nov 19, 2021, at 4:11 PM, Muireann Glenmullen <[mglenmullen.dublon@gmail.com](mailto:mglenmullen.dublon@gmail.com)> wrote:

Thank you.

My neighbours are:

Pilar Iglesias, 16 Channing Street/Circle

Gardiner Brown, 5 Channing Circle

Tony & Lenore Martin, 3 Channing Circle

Guido Brosio, 14 Channing Street/Circle

Guido and Pilar are interested. Their emails:

[guido.brosio@mac.com](mailto:guido.brosio@mac.com)

[mpiglesias@gmail.com](mailto:mpiglesias@gmail.com)

If the others express interest I'll let you know. There has been some illness etc. and they may prefer not to be involved.

Best,

Muireann

Sent from my iPhone

On Nov 18, 2021, at 6:39 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

Ok. Let me attempt to do this over the weekend.

In the meantime, could you please introduce me to other neighbors in Channing Circle? I do not know them and would like to share my details with them too.

Best

Hao

**Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199 | <http://www.linkedin.com/in/hw168>**

On Nov 18, 2021, at 5:16 PM, Muireann Glenmullen <[mglenmullen.dublon@gmail.com](mailto:mglenmullen.dublon@gmail.com)> wrote:

Hi Hao,

I am finding the drawings hard to read. For legibility purposes can you send each page, including the survey, in its own PDF?

Thanks,

Muireann

Sent from my iPhone

On Nov 17, 2021, at 8:37 PM, Hao Wang <[dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com)> wrote:

As shown in the elevation plan, a new door is added to the left side of the house. A window well is added in the front of the house.



Additionally we lowered the existing door on the right for better headroom.

Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199 |  
<http://www.linkedin.com/in/hw168>

On Nov 17, 2021, at 8:32 PM, Muireann Glenmullen <[mglenmullen.dublon@gmail.com](mailto:mglenmullen.dublon@gmail.com)> wrote:

So proposed is the same as existing except for egresses? Which egresses are being added or changed?

Sent from my iPhone





Hao Wang &lt;dr.hao.wang@gmail.com&gt;

---

**Site visit on Friday January 14**

---

Hao Wang &lt;dr.hao.wang@gmail.com&gt;

Fri, Jan 21, 2022 at 3:31 PM

To: Carlos Neu &lt;carlosneu1942@gmail.com&gt;

Cc: Fleet Hill <fleethill@gmail.com>, David Philbin <philbindap@yahoo.com>, Eric Elfman <elfman@gmail.com>, Jan Dillon Schaub <jandillon1@gmail.com>, Judi Neu <judineu@comcast.net>, Muireann Glennmullen <mglennmullen.dublon@gmail.com>, Rebecca Pries <rebeccakpries@gmail.com>, Walter Popper <wjpopper@gmail.com>, Barbara Elfman <belfman@gmail.com>, Weldon Pries <pries.weldon@gmail.com>, John/Jocelyn Giunta <junta1@comcast.net>, Tom Schaub <schaub.t@gmail.com>

Dear Neighbors,

Per our last communication, I informed the city BZA that I had removed the variance portion of my application #156304. As promised, I will not build the double staircase areaway with the guardrail on the right side of my house.

Attached, please review the updated architectural design that requires a special permit to modify the right-side basement entrance as suggested by our neighbors.

My architect still added a small window to meet the light and air requirements per IBC, and it also acts as an emergency and escape window if that area is used for sleeping.

A stamped copy will replace the design I submitted to BZA last month.

Additionally, I informed BZA that I want to apply for a special permit for Accessory Use for the basement living space(s) due to this project. The Accessory Use will clarify the purpose of the newly renovated basement space(s). This special permit will require me to live in my house as the owner.

Given contemporary lifestyles, housing needs, and energy and maintenance costs, it is beneficial to the City of Cambridge to allow greater flexibility in this type of accessory use without substantially altering their surrounding neighborhoods' environmental quality. My basement space(s) happen to qualify for such a special permit.

Following Monday, I will file a continuation for application #156304.

I will file a new application that only contains a special permit for:

- a. Front window well without guardrail;
- b. Side entrance basement and a small window without the double-staircase areaway;
- c. Accessory Use for my basement space(s).

Please give me your suggestions, comments, and support for this simplified and moderate renovation project.

Best

Hao

Hao Wang, Ph.D. | dr.hao.wang@gmail.com | 617-899-1199 | <http://www.linkedin.com/in/hw168>



On Jan 16, 2022, at 1:04 PM, Hao Wang <dr.hao.wang@gmail.com> wrote:

Dear Carlos,

Thank you, Fleet, and Weldon for taking your time to visit me. We had the necessary exchanges. Thank you personally for being the moderator in writing our communications on behalf of our neighborhood. I am glad we both are straight-shooters.

Hearing from you about the neighbors' concerns about the double stairway side entrance, especially from Weldon, about its esthetic impact on our neighborhood, **I want to inform everyone that I will abandon the variance application for the areaway. I will not install the double staircase side entrance anymore.**

Instead, I will adopt your advice to lower/replace the existing door, remove the step up from the sidewalk, and slightly enlarge the current window next to the door for safety. I believe relocating/changing an existing opening there may involve a special permit. If necessary, I want to count on your support to obtain the special permit.

Secondly, I communicated that **the purpose of the basement is to be a code-compliant habitable space** that is for potential, legally allowed use as bedrooms, living rooms, playrooms. The City permits this purpose as of right for most of my basement. In the past, the professor allowed her daughter to live in one part of the basement, and I allowed my niece to live in another part. Neither case was safe enough. My renovation will remove any safety and sanitation concerns for my basement space.

However, I want to pledge to the neighbors that I will also take Weldon's advice **not to install guardrails for the front window well**. I want to copy the window well design from 24 Longfellow Road or 25 Longfellow Road and not create a third kind in our street. I want you and the neighbors to offer me the fairness of supporting a window well that is already allowed by other neighbors. I will work with you to hide the window well, install plants to make it more appealing than the current condition. The City already permits me to install a window well with a grate without a special permit. However, I think a window well like one of those our neighbors already have is more aesthetically appealing.

Lastly, I hear some of our neighbors' concerns about potentially renting/subletting part of my Unit 2 or Unit 1 out. I understand your concerns. I want you to know that I will not use any of my spaces, including my new basement, for any usage not allowed by MA law and City of Cambridge regulations.

For example, as long as I live in our street, I will not apply for rooming or boarding house licenses to house more than four individuals in any one of my units that we not related to the second kinship. In the past, when I was away, I was very transparent with our neighbors about my rental arrangement. I had strictly disallowed any commercial activities such as Airbnb or VRBO. I had primarily leased my space out to Harvard graduate students, which I had stopped advertising by May 2021 and discontinued after September 2021.

I hope you support my special permit for the window well in the front and lower the existing right-side entrance. I will not build the new window in the double-staircase design.

I certainly want to meet with you more in person or via zoom in the next few days to address additional questions or concerns.

Best

Hao  
617.899.1199

On Jan 16, 2022, at 12:24 PM, Carlos Neu <carlosneu1942@gmail.com> wrote:

Dear Hao,

We thank you for your time Friday, showing us the interior spaces in your basement, as well as your personal living unit space on floors 2 and 3.  
We applaud your efforts to improve your property. Your desire to bring the basement areas into code compliance is a worthy project.



We are very concerned with the exterior side entrance double stairway. It appears that you may be able to find alternate methods of changing the basement access on the Hester property side that do not require a zoning variance or an outside stairwell. Weldon made several suggestions that are worth exploring, in our view. These involve lowering/replacing the existing door, lowering the basement floor where those steps land, and sloping the headspace corner to avoid the current low clearance.

We have additional concerns about the overall purpose of the project and the possibility that once improved, the basement areas will become accessory rental units. We observed that both basement areas have lockable egress doors, kitchenettes and washer dryers, as well as the upstairs units 1 and 2, which suggests potential for those areas to be inhabited, not just storage. In fact, seeking a special permit for additional window wells is only necessary if the rooms involved are intended for bedroom use.

You stated that your purpose is to increase the value of your property. If the basement areas are used for storage, not living spaces, it seems that the value gained may not equal the expense. Possibly putting resources into the needed exterior improvements (painting, step repair, fencing) is a stronger value proposition.

We are delighted to hear your intentions to continue as our neighbor. We hope to continue this dialog as you seek to finalize your plans. At this time we cannot offer our support for the variance and special permit that you seek.

Sincerely,  
Weldon Pries  
Fleet Hill  
Carlos Neu  
Sent from my iPad

---

 2021042 reno and bsmt legalization 01-21-22.pdf  
2188K





Hao Wang &lt;dr.hao.wang@gmail.com&gt;

---

**Regarding 1-3 Longfellow Road proposal**

---

Hao Wang &lt;dr.hao.wang@gmail.com&gt;

Sun, Jan 2, 2022 at 6:01 PM

To: Carlos Neu &lt;carlosneu1942@gmail.com&gt;

Cc: Rebecca Pries &lt;rebeccakpries@gmail.com&gt;, Eric Elfman &lt;elfman@gmail.com&gt;, Fleet Hill &lt;fleethill@gmail.com&gt;, Jan Dillon Schaub &lt;jandillon1@gmail.com&gt;, Judi Neu &lt;judineu@comcast.net&gt;, Walter Popper &lt;wjpopper@gmail.com&gt;, Barbara Elfman &lt;belfman@gmail.com&gt;, Weldon Pries &lt;pries.weldon@gmail.com&gt;, Tom Schaub &lt;schaub.t@gmail.com&gt;, David Philbin &lt;philbindap@yahoo.com&gt;

Good afternoon, Carlos, Rebecca, and the neighbors,

Thanks for your continued interest in my project.

As stated in my email to you on December 4, 2021, attached herein for your reference. Also attached are my detailed emails dated December 12 and 18, 2021.

**All floor plans are existing and current.** My project will not change the floor plans. The architectural drawing that I shared with you depicts the existing floor plan.

**The number of units in my house is two (2).** It will remain a two-family house. My project does not add any new units. It is simply to bring the existing finished basement to be code-compliant.

I had answered all your questions promptly. I also offered to walk you through the floors on December 5, 2021. However, none of our neighbors took up my offer. I also provided the opportunity for Mr. David Philbin to walk it through on December 19; he did not take my offer either. I can again offer to walk you through the floor plans in mid-January 2022 if you still have questions.

Your email today did ask a new question about the rent. Please remind me when you asked me several times about the rent. Unit 1 is currently rented out to a gentleman for a monthly rent of \$3,200. Unit 2 is occupied by me now. In the past, I have been transparent to the neighbors as I usually rent the Unit 2 to four Harvard students. I still plan to do so in the future should I not reside in Unit 2 myself.

Please call me and let me know if any of your questions are not answered. I look forward to your support at the hearing.

Hao  
6178991199



On Jan 2, 2022, at 5:04 PM, Carlos Neu <carlosneu1942@gmail.com> wrote:

Good afternoon Hao,

As you know a group of us on Longfellow Road are very interested in having a clear understanding about your proposed renovation plans at your property on 1-3 Longfellow Road. We request that you answer our questions, which we have requested several times before about the number of individual units you are currently renting, offering for rent or occupying personally. When the renovation is complete we need to know how many units can or could be occupied by separate parties. Additionally we need to see an existing floor plan for each floor: basement, first, second and third floors. Unless and until these questions are answered to our satisfaction we are opposed to your proposed plan and we will voice that at the hearing on January 27th.

Sincerely,

Carlos Neu

Rebecca Pries

Sent from my iPad

---

**3 attachments**

 **December 4 2021 Answers to Neighbors.pdf**  
118K

 **December 12 2021 Answers to Neighbors.pdf**  
120K

 **December 18 2021 Updates to Neighbors.pdf**  
129K





Hao Wang &lt;dr.hao.wang@gmail.com&gt;

---

## Questions about your proposed renovation

---

Hao Wang <dr.hao.wang@gmail.com>  
To: Rebecca Pries <rebeccakpries@gmail.com>  
Cc: Carlos Neu <carlosneu1942@gmail.com>

Tue, Jan 4, 2022 at 7:50 PM

Thanks Rebecca,

My answers are below.

Hao

**Hao Wang, Ph.D. | [dr.hao.wang@gmail.com](mailto:dr.hao.wang@gmail.com) | 617-899-1199**  
**| <http://www.linkedin.com/in/hw168>**

On Jan 4, 2022, at 7:35 PM, Rebecca Pries <rebeccakpries@gmail.com> wrote:

Good Evening, Hao.

Thank you for your emails. We continue to have many unanswered questions about your proposed renovation. Here are four of the most critical ones among them:

1. How many units are there now in the building?

Two

2. How many units do you hope to have after the renovations?

Two

3. Which unit do you occupy now?

Unit 2

4. Which unit do you intend to occupy post renovation?

Unit 2

[Quoted text hidden]







1 Longfellow Rd

Retitioner

239-48  
NOLLMAN, JORDAN & LARISSA BOUTIQUE  
321 MT AUBURN ST. UNIT#2  
CAMBRIDGE, MA 02138

239-50  
GLENMULLEN, MUIREANN  
4 CHANNING CIRCLE  
CAMBRIDGE, MA 02138

239-29  
WANG, HAO  
1-3 LONGFELLOW RD.  
CAMBRIDGE, MA 02138

239-40  
STILES, KATHERINE M.  
2 LONGFELLOW RD. UNIT#1  
CAMBRIDGE, MA 02138

241-14  
MT. AUBURN HOSPITAL  
C/O NICHOLAS DILESCO, CHIEF OPER OFFICER  
300 MT AUBURN ST  
CAMBRIDGE, MA 02138-5502

239-19  
SAFIZADEH, FERAYDOUN & ARLENE DALLALFAR  
18 CHANNING STREET  
CAMBRIDGE, MA 02138

239-39  
WANG YONG & YING TIAN  
6-8 LONGFELLOW RD  
CAMBRIDGE, MA 02138

239-38  
PRIES WELDON D & REBECCA E PRIES  
10-12 LONGFELLOW RD  
CAMBRIDGE, MA 02138

239-40  
TORRA, MICHAEL  
4 LONGFELLOW RD UNIT 2  
CAMBRIDGE, MA 02138

239-31  
SCHAUB THOMAS F  
TRS THOMAS F SCHAUB TRUST - 2016 TR  
11 LONGFELLOW RD  
CAMBRIDGE, MA 02138

239-30  
PHILBIN, DAVID,  
TRS THE MARY Y. HESTER REV TRUST  
43 HIGH ST  
CLINTON, MA 01510



# WANG RESIDENCE RENOVATION

PERMITTING SET

DR. HAO WANG

APRIL 5, 2022

1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138



ARCHITECT:

SURVEYOR / CIVIL ENGINEER:

**SKA INC.**  
357 HURON AVE  
CAMBRIDGE, MA

**PETER NOLAN & ASSOCIATES LLC**  
80 JEWETT ST #2  
NEWTON, MA



## CONTENTS

A-000	COVER SHEET
A-001	GENERAL NOTES
A-101	EXISTING FLOOR PLANS (LEVEL 0 & LEVEL 1)
A-102	EXISTING FLOOR PLANS (LEVEL 2 & LEVEL 3)
A-103	EXISTING ELEVATIONS (EAST & SOUTH)
A-104	EXISTING ELEVATIONS (WEST & NORTH)
A-105	PROPOSED FLOOR PLANS (LEVEL 0 & LEVEL 1)
A-106	PROPOSED FLOOR PLANS (LEVEL 2 & LEVEL 3)
A-107	PROPOSED ELEVATIONS (EAST & SOUTH)
A-108	PROPOSED ELEVATIONS (WEST & NORTH)
A-901	CONSTRUCTION DETAILS



## UNDERPINNING GENERAL NOTES

- AREAS TO BE UNDERPINNED HAVE BEEN NOTED ON THE DRAWING. EXCAVATION ADJACENT TO AN EXISTING STRUCTURE SHALL NOT EXTEND BELOW THE BOTTOM OF AN EXISTING STRUCTURE BY MORE THAN 1 UNIT VERTICALLY FOR EVERY TWO UNITS OF HORIZONTAL DISTANCE FROM THE EXISTING STRUCTURE.
- IF NOT OTHERWISE NECESSARY FOR THE DEPTH OF THE EXCAVATION TO EXCEED THESE RESTRICTIONS IN AREAS WHERE UNDERPINNING IS NOT INDICATED, CONTRACTOR SHALL CREAM WORK IN THE IMMEDIATE AREA BEFORE EXTENDING DEEPER THAN THE RESTRICTIONS ALLOW AND NOTIFY ARCHITECT. WORK IN THE AFFECTED AREA SHALL NOT BE COMPLETED UNTIL CONTRACTOR HAS OBTAINED WRITTEN DIRECTIVE FROM THE ARCHITECT.
- AREAS TO BE UNDERPINNED SHALL BE PROTECTED FROM THE WEATHER AT ALL TIMES DURING UNDERPINNING OPERATIONS. PERMITS OF EXCAVATIONS SHALL BE TEMPORARILY SUSPENDED TO PREVENT SURFACE WATER RUNOFF FROM ENTERING EXCAVATION. GROUNDWATER SHALL BE REMOVED.
- UNDERPINNING SHALL BE DONE IN SHORT SEGMENTS WITH LENGTH NOT TO EXCEED 4 FEET.
- WORK ON EACH SEGMENT SHALL BE COMPLETED PRIOR TO MOVING ON TO THE ADJACENT SEGMENTS. WHERE MORE THAN ONE SEGMENT IS TO BE WORKED ON AT THE SAME TIME, SEGMENTS SHALL BE SEPARATED BY AT LEAST TWO FEET THE LENGTH OF THE LONGER SEGMENT.
- CONCRETE PORTIONS OF UNDERPINNING SHALL BE KEPT 1 INCHES BELOW THE BOTTOM OF THE EXISTING STRUCTURE TO ALLOW FOR THE INSTALLATION OF STEELBACKED NON-SHEDDING CRACK.
- CONCRETE PORTIONS OF THE UNDERPINNING SHALL BE ALLOWED TO CURE AT LEAST SEVEN DAYS PRIOR TO THE INSTALLATION OF THE STEELBACKED NON-SHEDDING CRACK BETWEEN THE TOP OF THE TOP OF THE CONCRETE PORTION AND THE BOTTOM OF THE EXISTING STRUCTURE.
- WORK ON AN ADJACENT SEGMENT SHALL NOT BEGIN UNTIL THE CONCRETE PORTION OF THE SEGMENT HAS BEEN ALLOWED TO CURE FOR AT LEAST 7 DAYS AND THE NON-SHEDDING CRACK HAS BEEN ALLOWED TO CURE FOR AT LEAST 14 DAYS. COMPRESSIVE STRENGTH OF ALL MATERIALS SHALL HAVE ATTAINED A MINIMUM OF 70%.
- DURING ALL UNDERPINNING WORK, CARE SHALL BE TAKEN NOT TO DISPLACE THE BACK FACE OF EXCAVATION. IF BACK FACE OF EXCAVATION IS EXTENDED BEYOND THE BACK FACE OF THE EXISTING FOOTING, WHERE PRESENT, EXISTING SLAB ON GRADE ABOVE THE AFFECTED AREA SHALL BE ARMED TO NEW UNDERPINNED AND SHALL BE REMOVED AND REPLACED AFTER NEW COMPACTED STRUCTURAL FILL HAS BEEN PLACED FROM THE TOP OF THE UNDERPINNING TO THE BOTTOM OF THE SLAB. AT CONTRACTOR'S COST.
- IF EXISTING SOLE CONDITIONS ARE NOT SUITABLE TO ALLOW FOR THE INSTALLATION OF THE FULL HEIGHT OF THE UNDERPINNING IN A SINGLE PILE, SEGMENT SHALL BE OBTAINED BY VERTICAL SECTIONS AND BUILT UP IN SEVERAL LIFTS OF UNDERPINNING.

## GENERAL NOTES:

## CONTRACTOR RESPONSIBILITY:

## CONTRACTOR SHALL BE RESPONSIBLE FOR:

- VERIFYING SIZE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PROTECT THE WORK AND ADJACENT STRUCTURES.
- DETERMINING THE DEPTH OF THE EXISTING FOUNDATION.
- ORIGINATING AND PROVIDING ALL PERMITS.
- PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND ALL VERTICALS, HORIZONTALS AND FINISHES.
- CONTRACTOR SHALL DESIGN, DETAIL AND CONSTRUCT ALL NECESSARY BRACING, SHORING AND PARTS ON SITE.
- REMOVE EXISTING MATERIALS, BRACING, AND SHORING.
- PROVIDE ACCESSIBLE TO OWNER AND ARCHITECT.
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARILY RELIEVE AND UNDERPINNING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BE RESPONSIBLE FOR LEASING AND CONFORMANCE TO ALL LOCAL REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY THE WORK WHILE PERFORMING THIS WORK.
- ISSUE WARRANTY FOR THE WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

## REVIEW OF WORK BY ENGINEERS:

CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO EACH TEST.

CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER PRIOR TO:

- POURING CONCRETE
- INSTALLATION
- INSTALLING CRACKS
- FINAL PROTECTION

## SHOP DRAWINGS:

ALL SHOP DRAWINGS SHALL BE SUBMITTED SEVENTY DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON-EXEMPTION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXEMPTION THEREOF DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWING.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR RESPONSE BETWEEN TIME:

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE A CHANGE.

SHOP DRAWINGS ARE NOT CONSIDERATION OR DESIGN.

DESIGNER IS NOT RESPONSIBLE FOR DIMENSIONS.

## CHANGE ORDERS:

CONTRACTOR SHALL VERIFY TO THE BEST OF HIS KNOWLEDGE ACCURACY WITH THE PROJECT PRIOR TO THE SETTING AND PRICE. ADDITIONAL WORK WILL NOT BE CHARGED FOR WORK NOT CLAIMED PRIOR TO BEING DONE.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, DIMENSIONS, FIELD CONDITIONS OR DIMENSIONS PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGE SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OF A METHOD FOR VERIFYING WORK.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK. CHANGE ORDERS SHALL BE PRICED TO REFLECT THE FULL COST OF THE WORK AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS ADVISED TO:

ANY CHANGE SHALL STATE THE CHANGE OR COST AND WHETHER ANY CHANGE TO THE PRICE.

## REQUIREMENTS:

ANY REVISION REQUIRED TO BE MADE BY THE ARCHITECT SHALL BE SUBMITTED IN WRITING OF THE WORK PRIOR TO BEING SUBMITTED TO THE OWNER FOR APPROVAL.

CONTRACTOR SHALL PROVIDE RECEIPTS AND GUARANTEE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNTESTED MATERIALS.

## GENERAL NOTES:

- PROVIDE 2" INSULATION IN ALL EXPOSED FLOOR JOIST CAVITIES.
- PROVIDE 2" INSULATION IN ALL EXPOSED EXTERIOR WALL CAVITIES.
- PROVIDE 2" INSULATION IN ALL EXPOSED ROOF JOIST CAVITIES, TYPICAL.
- PROVIDE 1" INSULATION IN ALL EXPOSED BATHY OVER CEILING WALLS.
- CEILING JOIST AREAS MUST BE FULLY WATER RESISTANT.
- REFER TO THE DRAWING PLAN FOR THE LOCATION OF CONTACT WITH ARCHITECT'S JURISDICTION OF THESE AREAS COMPLETE OR OTHERWISE.

## WOOD NOTES:

1. ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.

2. ALL FRAMING LUMBER SHALL BE AT LEAST 10% BETTER RATING A MINIMUM.

3. ALL JOIST SPACING SHALL HAVE ONE BAY OF 2' X 3' CROSS BRACING AT EACH END AND NOT MORE THAN 8' ON CENTER.

4. ALL CEILING BRACING WALLS SHALL HAVE ONE BAY OF 2' X 6' HORIZONTAL BRACING AT 12' INTERVALS, AND NOT MORE THAN 8' ON CENTER MAXIMUM.

5. PROVIDE AND DETAIL ALL NECESSARY TRUSS CONNECTIONS WITH APPROPRIATE CONNECTIONS.

6. PROVIDE DOUBLE END BEAM PARTITIONS PERPENDICULAR TO JOIST FRAMING.

7. PROVIDE HEAD BRACING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.

8. PROVIDE HEAD BRACING BETWEEN ADJ. FRAMING MEMBERS WHERE BRACING IS NOT PARTITION OR BEAM.

9. PROVIDE A CONTINUOUS BOARD ROOF AT EXTERIOR GABLE WALLS.

10. PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL CORNER TRIMS, AT THE EXTERIOR FACE OF JOIST, FROM TOP PLATE TO LOWER PLATE AT A 45 DEGREE ANGLE WITH A MINIMUM TYPE "W" STRAP ON EQUAL.

11. ALL ROOF TO BE BRACED SHALL BE DETAIL WITH 2" X 12" BENTS, MITERING AS NECESSARY, OR AS NOTED ON DRAWING.

## WOOD LINTEL SCHEDULE:

Lintel end openings to be hung with full 2" x 4" in excess of end on design.

Width of opening	Min. 2nd studs	Min. 2nd studs
1'-0" to 1'-6"	2-2x4	2-2x4
1'-6" to 2'-0"	3-2x4	3-2x4
2'-0" to 2'-6"	3-2x4	3-2x4
2'-6" to 3'-0"	4-2x4	4-2x4

## DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE SPECIFICATIONS OF THE MANUFACTURER'S BUILDING CODE.

DESIGN LIFE LOAD = 40 POUNDS PER SQUARE FOOT (PSF) - MINIMUM DEAD LOAD.

DESIGN SNOW LOAD = AS PROVIDED BY REQUIREMENT WITH ONE HOUR DRY WEATHER APPLICABLE.

WIND LOAD = AS PROVIDED BY REQUIREMENT.

SEISMIC = AS PROVIDED BY REQUIREMENT.

ALL LUMBER SHALL BE AT LEAST 10% BETTER RATING A MINIMUM.

## CONCRETE NOTES:

1. ALL CONCRETE SHALL BE 3000 PSI OR FURTHER AS NOTED ON DRAWING.

2. ALL CONCRETE SHALL BE PLACED AND FINISHED WITHIN THE SPECIFIED TIME FRAME.

3. ALL CONCRETE SHALL BE CURED FOR A MINIMUM OF 7 DAYS.

4. ALL CONCRETE SHALL BE PROTECTED FROM WEATHER AT ALL TIMES DURING UNDERPINNING OPERATIONS.

5. ALL CONCRETE SHALL BE PROTECTED FROM WEATHER AT ALL TIMES DURING UNDERPINNING OPERATIONS.

6. ALL CONCRETE SHALL BE PROTECTED FROM WEATHER AT ALL TIMES DURING UNDERPINNING OPERATIONS.

## FOUNDATION NOTES:

1. ALL FOUNDATION EXISTING SHALL BE CHECKED PRIOR TO A MINIMUM OF 14 DAYS BEFORE COMMENCEMENT OF WORK. IF NECESSARY TO OBTAIN A SAFE WORK BEING PROGRESS OF 7 DAYS FOR SQUARE FOOT FOUNDATION DESIGN BASED ON ASSUMED SOIL BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT.

2. ALL FOUNDATION SHALL BE PLACED ON UNDISTURBED SOIL OR ON ENGINEERED BARS. REINFORCING BARS SHALL HAVE A MINIMUM NET WEIGHT OF 100 LBS.

3. ALL FOOTING SHALL BE BUILT TO THE DEPT. ONLY. WATER SHALL NOT BE ALLOWED TO FLOW THROUGH THE DEPOSITED CONCRETE.

4. FOUNDATIONS SHALL BE PROTECTED FROM FREEZING FOUNDATIONS NEED TO BE PROTECTED FROM FREEZING FOR A MIN. OF 7 DAYS AFTER THEY WERE PLACED.

5. THE MINIMUM BRACING FOR ALL FOUNDATION WALLS SHALL BE 2x4 BARS AT THE TOP AND BOTTOM, CONTINUOUS OR, AS NOTED ON DRAWING.

6. LAP ALL BARS AT CORNERS AND PROVIDE CORNER BARS.

7. ALL REINFORCING: AFTER 10% NET WEIGHT.

## CONCRETE NOTES:

1. ALL CONCRETE SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF:

• 3000 PSI FOR FOUNDATION WALL, EXTERIOR WALLS AND INTERIOR VERTICAL CONCRETE SLAB WORK EXPOSED TO THE WEATHER.

2. MAXIMUM CURE SHALL NOT EXCEED 70% AND MAXIMUM CURSE AGGRAVATE SOIL SHALL NOT EXCEED 1% IN QUANTITY.

## REINFORCING NOTES:

1. ALL REINFORCING, EXCEPT FOR TIES AND CHAINS, SHALL CONFORM TO ASTM A618.

2. ALL REINFORCING FOR TIES AND CHAINS SHALL CONFORM TO ASTM A618.

3. ALL WELDED REINFORCING SHALL CONFORM TO ASTM A618.

4. ALL REINFORCING SHALL BE DETAIL AND APPROVED BY THE ARCHITECT FOR EACH MEMBER PRIOR TO THE PLACEMENT OF ANY CONCRETE.

5. THE CONTRACTOR SHALL SUBMIT FOUR PHOTOS OF REINFORCING BRACING ALL REINFORCING AT ALL CORNERS, BARS, AND CHAINS, BRACING, ETC. TO THE ARCHITECT FOR HIS APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REINFORCING FROM THE ARCHITECT IF NOT ENGINEERED PRIOR TO THE FABRICATION OF REINFORCING.

6. CLEARANCE OF BARS FROM REINFORCING FROM ADJACENT CONCRETE SURFACE SHALL BE AS FOLLOWS:

A. FOOTING 1-2 INCHES

B. EXTERIOR WALL 1-2 INCHES

C. INTERIOR WALL 1-2 INCHES

D. TOP OF FOOTING 1-2 INCHES

E. SLAB ON GRADE 1-2 INCHES

F. SLAB ON GRADE 1-2 INCHES

G. SLAB ON GRADE 1-2 INCHES

H. SLAB ON GRADE 1-2 INCHES

I. SLAB ON GRADE 1-2 INCHES

J. SLAB ON GRADE 1-2 INCHES

K. SLAB ON GRADE 1-2 INCHES

L. SLAB ON GRADE 1-2 INCHES



SAM KACHAR ARCHITECTS

301-851-4222  
www.ska-arch.com  
100 PARKWAY  
CAMBRIDGE, MA 02142



GENERAL NOTES

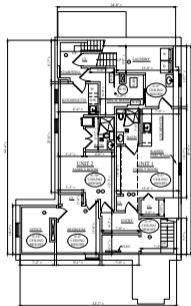
DR. HAO WANG  
WANG RESIDENCE RENOVATION1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project No. 1000000000000000  
Date: 10/1/2010  
Scale: 1/8" = 1'-0"  
Sheet: 10 of 10  
Author: SKA  
Checker: SKA  
Title: GENERAL NOTES

A-001

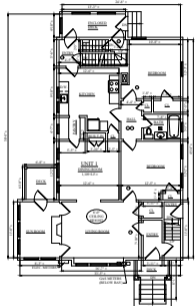
10/1/2010





—LONGFELLOW ROAD—

1 EXISTING BASEMENT FLOOR PLAN



—LONGFELLOW ROAD—

2 EXISTING FIRST FLOOR PLAN



**SKA**

SAM KACHWAR ARCHITECTS

300 STATE STREET  
CAMBRIDGE, MA 02142  
TEL: 617.452.4222  
WWW.SKA-ARCH.COM

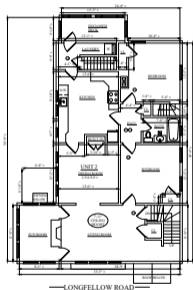


EXISTING FLOOR PLANS  
(LEVEL 0 & LEVEL 1)

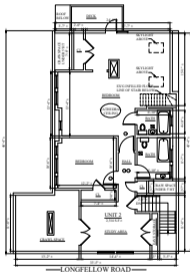
DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Date:	10/20/2010
Project:	WANG RESIDENCE RENOVATION
Sheet:	A-101
Scale:	AS SHOWN
Author:	SKA
Checker:	SKA
Approver:	SKA





1 EXISTING SECOND FLOOR PLAN  
12/12/12



2 EXISTING THIRD FLOOR PLAN  
12/12/12



**SKA**

SAM KACHAR ARCHITECTS

300 STATE STREET  
CAMBRIDGE, MA 02142



EXISTING FLOOR PLANS  
(LEVEL 2 & LEVEL 3)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Project Name: WANG RESIDENCE RENOVATION  
Project No.: 121212-001  
Date: 12/12/12  
Scale: AS SHOWN









**SKA**

SAM KACHWAR ARCHITECTS

300 STATE STREET  
CAMBRIDGE, MA 02142



EXISTING ELEVATIONS  
(WEST & NORTH)

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

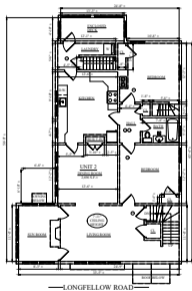
Project Name: WANG RESIDENCE RENOVATION  
Project Number: A-104  
Date: 08/07/2012  
Drawing Title: EXISTING ELEVATIONS (WEST & NORTH)  
Scale: AS SHOWN

**A-104**

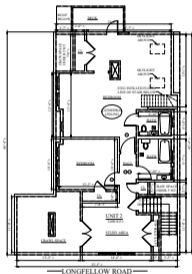








1 PROPOSED SECOND FLOOR PLAN (NO CHANGES)



2 PROPOSED THIRD FLOOR PLAN (NO CHANGES)



**SKA**

SAM KACHWAR ARCHITECTS

300 STATE STREET  
 3RD FLOOR  
 CAMBRIDGE, MA 02142



PROPOSED FLOOR PLANS  
 (LEVEL 2 & LEVEL 3)

DR. HAO WANG  
 WANG RESIDENCE RENOVATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA 02138

Project Name	WANG RESIDENCE RENOVATION
Client	DR. HAO WANG
Architect	SAM KACHWAR ARCHITECTS
Scale	AS SHOWN
Date	NOV 2011
Sheet No.	A-106

**A-106**









1 PROPOSED REAR ELEVATION  
DATE: 01/15/2014

2 PROPOSED RIGHT ELEVATION  
DATE: 01/15/2014



**SKA**

SAM KACHAR ARCHITECTS

30 STATE ST. 4TH FL.  
 CAMBRIDGE, MA 02142  
 TEL: 617.452.1234  
 WWW.SKA-ARCH.COM

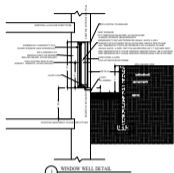


PROPOSED ELEVATIONS  
 (WEST & NORTH)

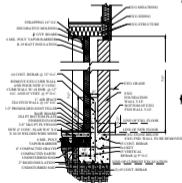
DR. HAO WANG  
 WANG RESIDENCE RENOVATION  
 1 LONGFELLOW ROAD  
 CAMBRIDGE, MA 02138

Project Name:	WANG RESIDENCE RENOVATION
Client:	DR. HAO WANG
Architect:	SAM KACHAR ARCHITECTS
Date:	01/15/2014
Scale:	AS SHOWN
Sheet:	A-108

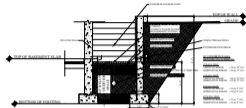




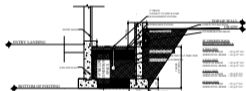
1 WINDOW WELL DETAIL



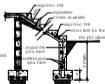
2 BASEMENT UNDERPIN DETAIL



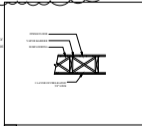
3 EXTERIOR STAIR WALL DETAIL



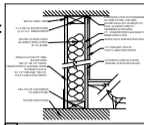
4 EXTERIOR RAILING WALL DETAIL



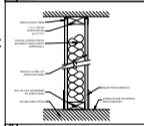
5 PROPOSED CONC. STAIR DETAIL



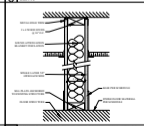
6 1 HOUR GIG TYPE (GLS) PARTITION



7 1 HOUR PARTITION - WOOD STUD DESIGN (GIG) PARTITION



8 TYPICAL PARTITION - WOOD STUD



9 1 HOUR PARTITION - WOOD STUD DESIGN (GIG) PARTITION



SKA  
SAN RAFAEL ARCHITECTS  
1001 16th AVE  
SAN RAFAEL, CA 94903  
415.456.1234



CONSTRUCTION DETAILS

DR. HAO WANG  
WANG RESIDENCE RENOVATION  
1 LONGFELLOW ROAD  
CAMBRIDGE, MA 02138

Client Name	PROJECT NO.
Project No.	DATE
Scale	DATE
Author	DATE
Checker	DATE
Approver	DATE