



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

2020 JAN 23 PM 2:39

OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

Plan No: BZA-017242-2020

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : √ Appeal : _____

PETITIONER : Gregory Legault

PETITIONER'S ADDRESS : 242 Monsen Road Concord, MA 01742

LOCATION OF PROPERTY : 20 Craigie St Cambridge, MA

TYPE OF OCCUPANCY : Single Family Residential ZONING DISTRICT : Residence A-2 Zone

REASON FOR PETITION :
 Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

Addition of a residential elevator shaft to a conforming wall, that protrudes into the required rear yard setback by 0.5'.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 8.000 Section 8.22.3 (Enlargement of Non-Conforming Structure).

Original Signature(s) :


 (Petitioner(s) / Owner)

GREGORY LEGAULT
 (Print Name)

Address : 242 MONSEN RD
CONCORD, MA 01742

Tel. No. : 339 227 0237

E-Mail Address : GREG@LEGAULTDESIGN.COM

Date : 1/17/2020

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Proposed elevator is required for owner's health and accessibility reasons. Any other location for the proposed elevator would require compromising the architectural integrity of the existing historic structure.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The existing lot shape is irregular. The existing house is closer to the rear lot line than the proposed addition will be.

C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:*

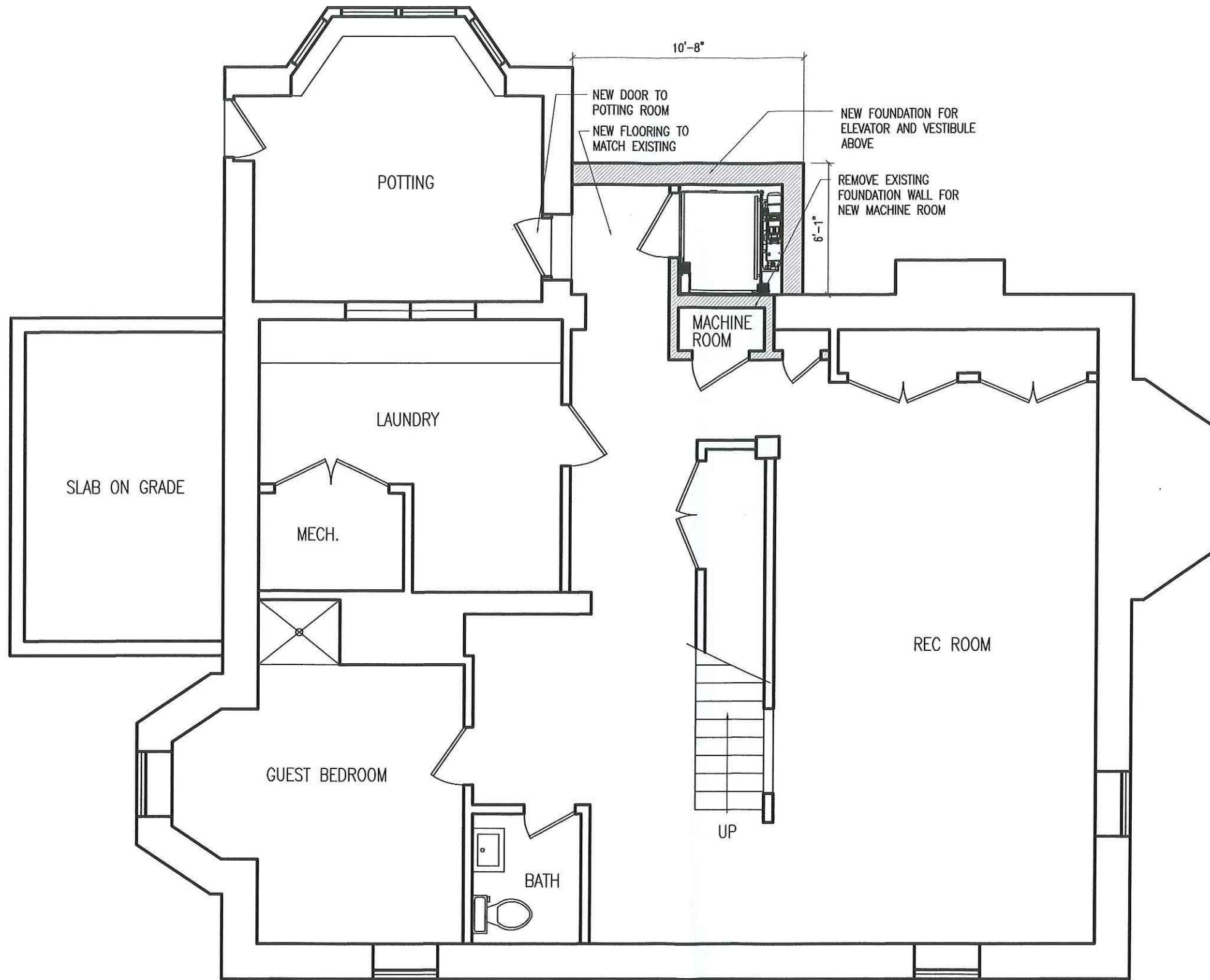
1) Substantial detriment to the public good for the following reasons:

The proposed addition is not visible from the street and is in keeping with the size and scale of the existing house and the abutting houses.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

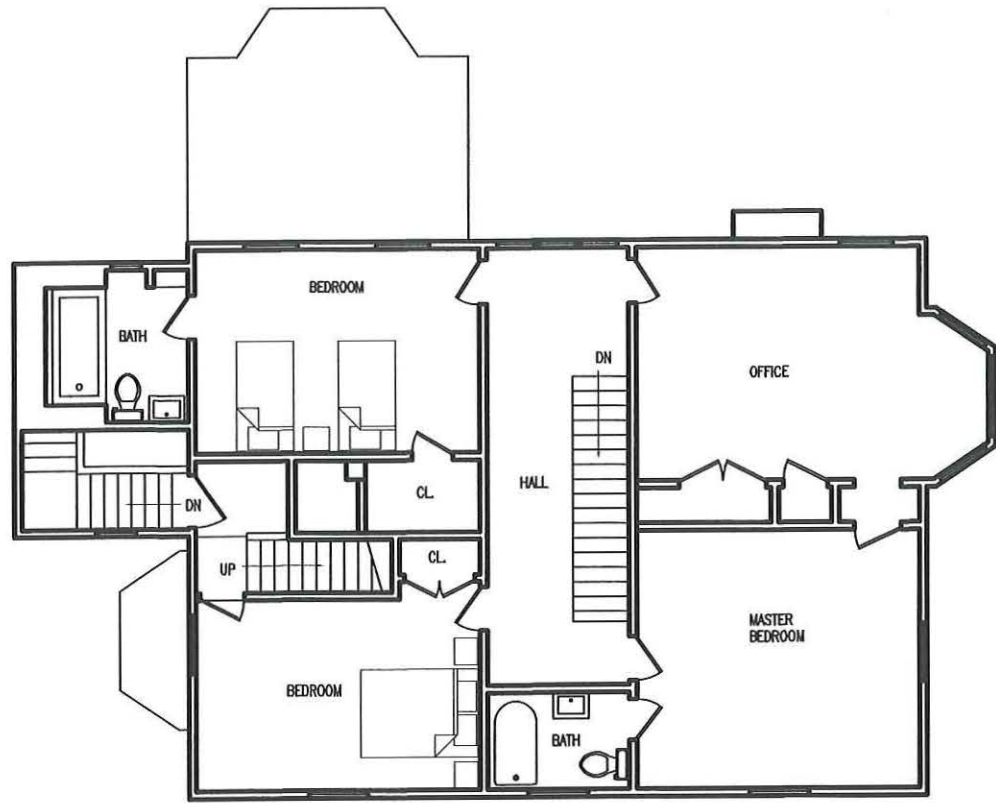
There is a clear hardship and the irregular lot lines create a unique condition.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

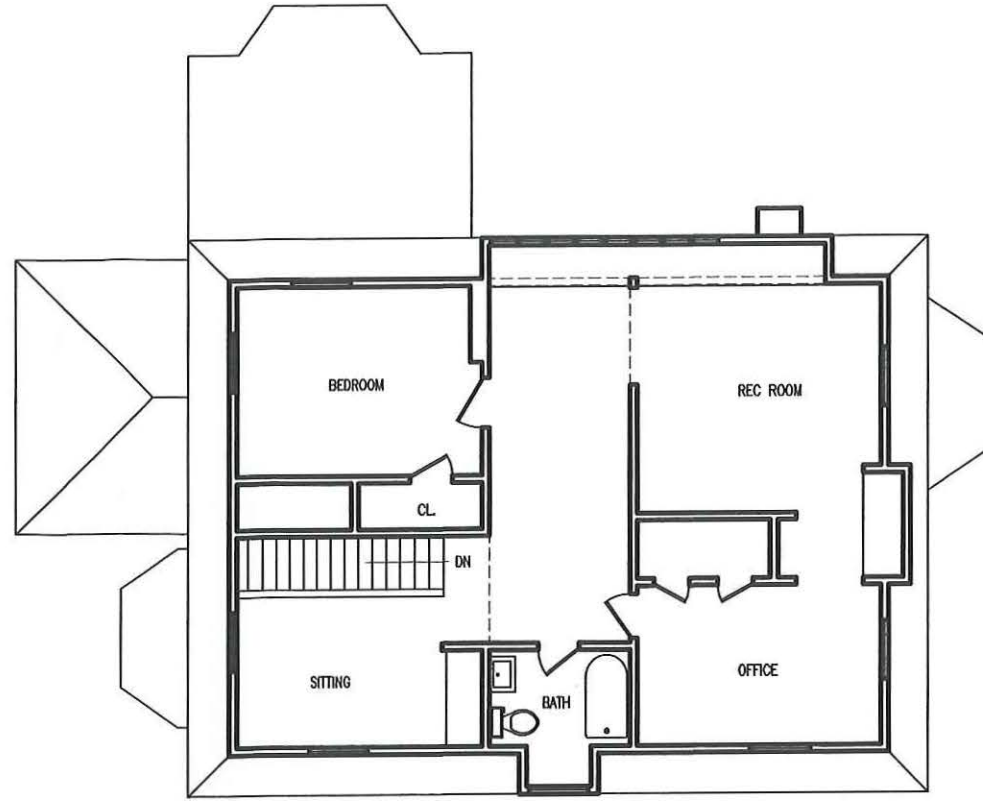


○ FIRST FLOOR PLAN

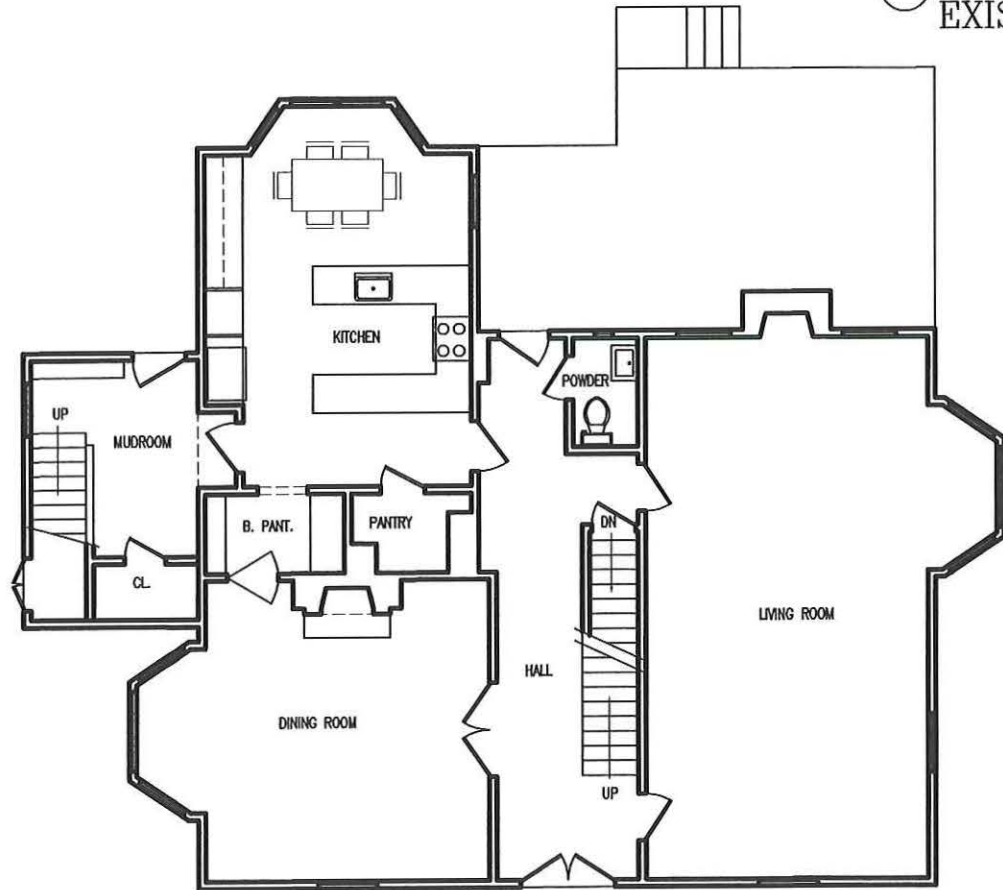
 PROPOSED



○ SECOND FLOOR PLAN
EXISTING



○ THIRD FLOOR PLAN
EXISTING

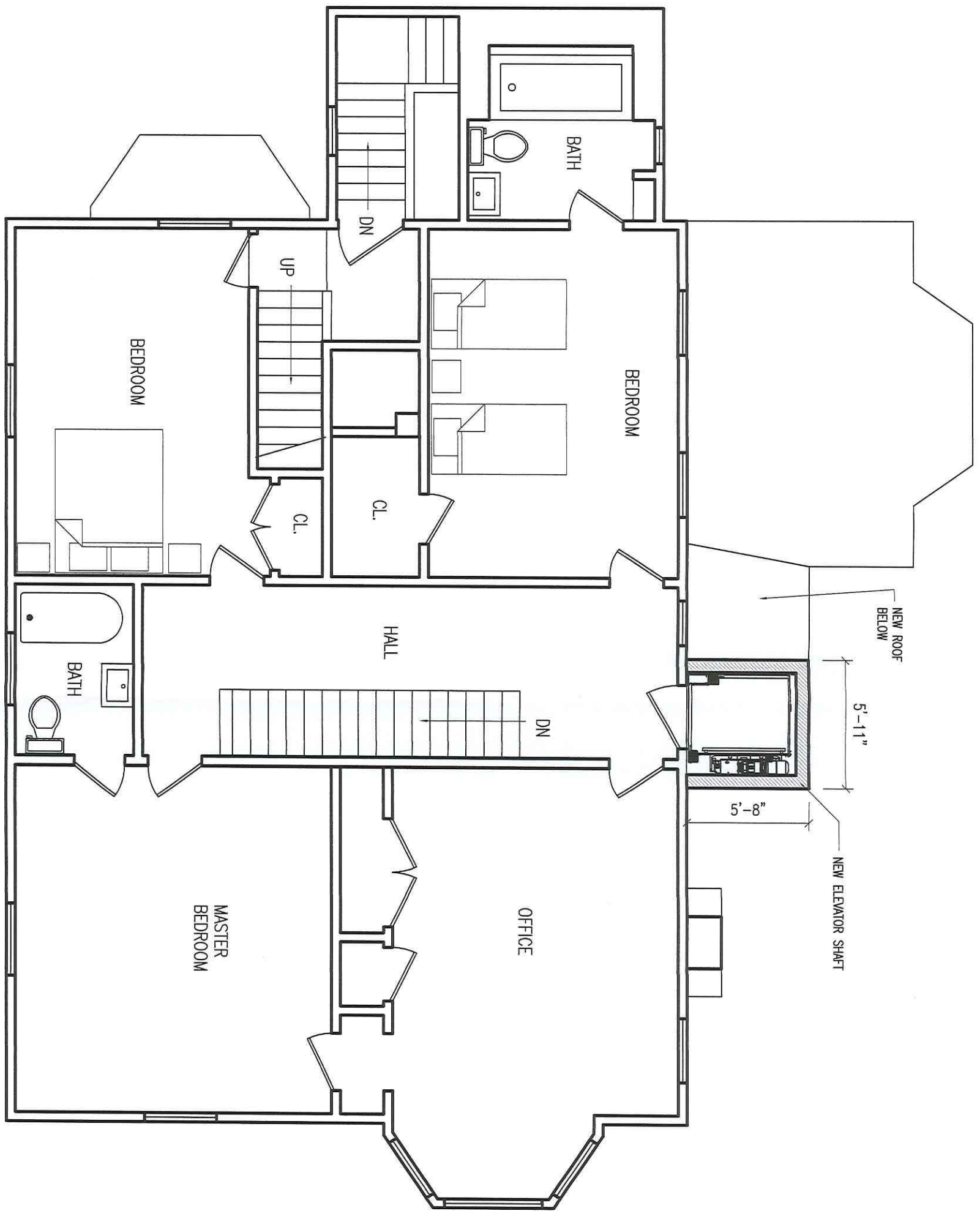


○ FIRST FLOOR PLAN
EXISTING



○ BASEMENT PLAN
EXISTING

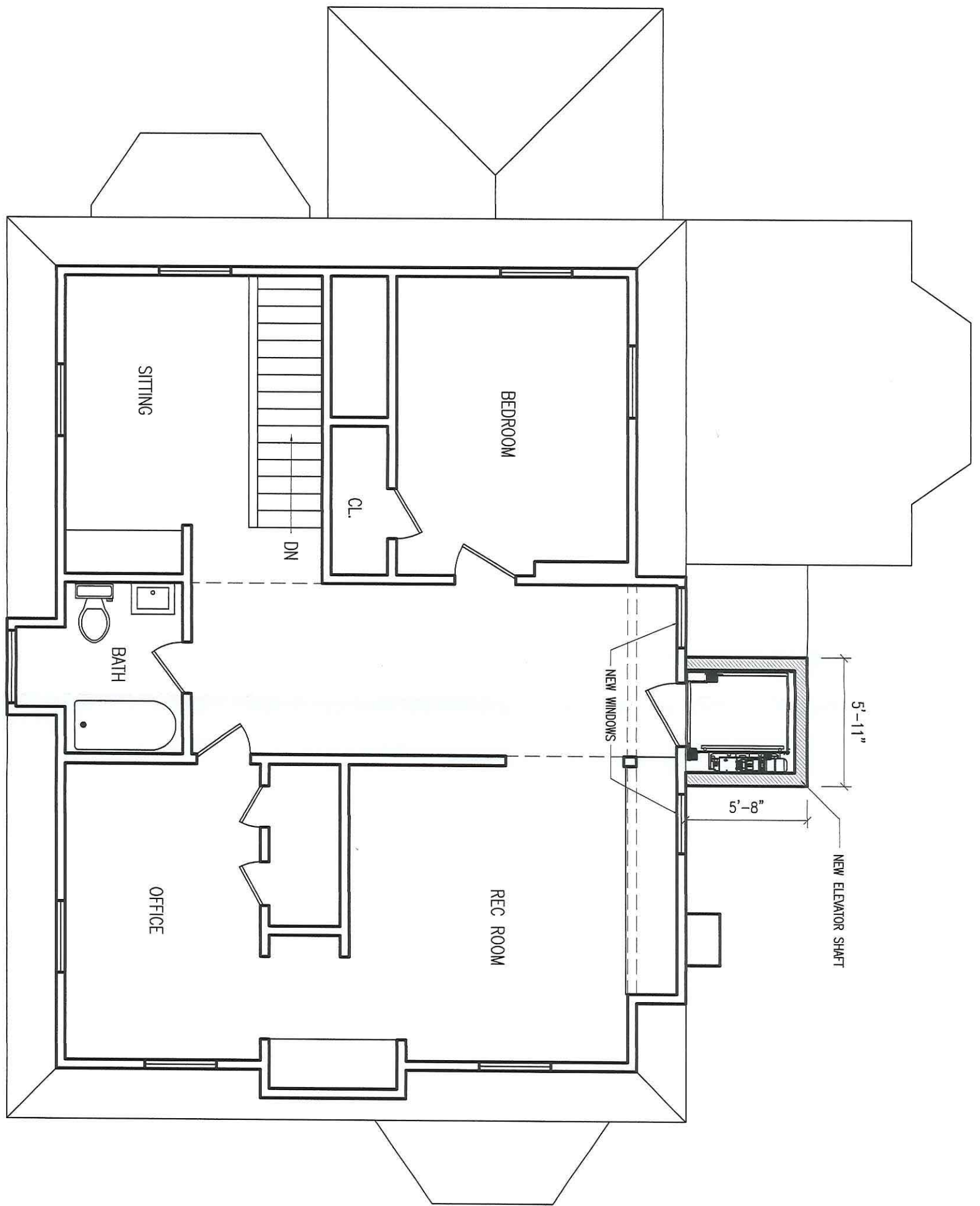
SECOND FLOOR PLAN
PROPOSED



20 CRAIGIE STREET

SCALE: 3/16"=1'-0" DATE: DECEMBER 19, 2019

LEGAULT DESIGN LLC
ARCHITECTURAL SOLUTIONS
242 Monsen Road, Concord, MA 01742
339.227.0237 www.legaultdesign.com



○ SECOND FLOOR PLAN
PROPOSED

20 CRAIGIE STREET

SCALE: 3/16"=1'-0" DATE: DECEMBER 19, 2019


LEGAULT DESIGN LLC
 ARCHITECTURAL SOLUTIONS
 242 Monsen Road, Concord, MA 01742
 339.227.0237 www.legaultdesign.com



○ SOUTH ELEVATION
PROPOSED

20 CRAIGIE STREET

SCALE: 3/16"=1'-0" DATE: DECEMBER 19, 2019


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○ EAST ELEVATION
PROPOSED

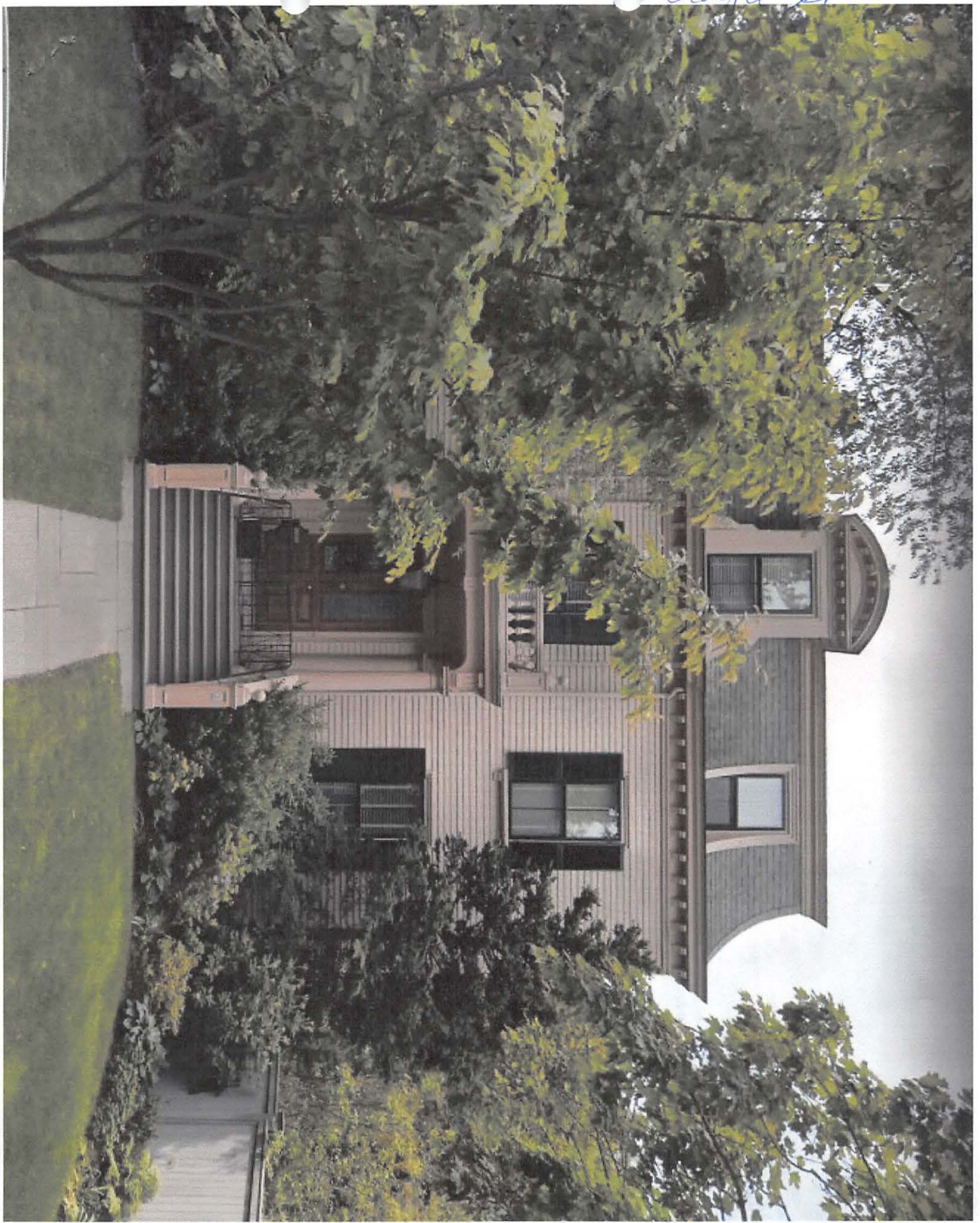


20 CRAIGIE STREET

SCALE: 3/16"=1'-0" DATE: DECEMBER 19, 2019


LEGAULT DESIGN LLC
ARCHITECTURAL SOLUTIONS
242 Monsen Road, Concord, MA 01742
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30 Craig St. ✓





20 Craigie St.

Petitioner

218-30
SUTHERLAND, MARY & JEREMY H. SILVERMAN
TRS. THE MARY SUTHERLAND 1989 FAM TR
8 BERKELEY PL
CAMBRIDGE, MA 02138

218-44
BLUMENREICH, MARGARET J.
123 BRATTLE ST
CAMBRIDGE, MA 02138

GREGORY LEGAULT
242 MONSEN ROAD
CONCORD, MA 01742

218-4
DEUEL, THOMAS F. &
INMACULADA SILOS-SANTIAGO
16 CRAIGIE ST
CAMBRIDGE, MA 02138

218-28
HIAM, PETER & HELEN HIAM
20 CRAIGIE ST
CAMBRIDGE, MA 02139

218-61
BAILIS, LAWRENCE N.
133 BRATTLE ST
CAMBRIDGE, MA 02138

218-2
DEMPZE, NANCY E.,
TRS THE 22 CRAIGIE REALTY TRUST
ATTN: JEFF CLEMENT & NANCY HESELTON
22 CRAIGIE ST
CAMBRIDGE, MA 02138

218-53
BULLITT, THOMAS & JUDITH O. BULLITT
TRS. THE TRUST
18 CRAIGIE ST
CAMBRIDGE, MA 02138

224-39
BUCKINGHAM BROWNE AND NICHOLS SCHOOL
80 GERRYS LANDING ROAD
CAMBRIDGE, MA 02138

224-18
KARGER, DAVID & ALLEGRA GOODMAN KARGER
21 CRAIGIE ST
CAMBRIDGE, MA 02138-3403

218-49
CUOMO, JUNE B.
TRUSTEE OF JUNE B. CUOMO 2006 QTIP TRUST
121A BRATTLE ST
CAMBRIDGE, MA 02138-3496

224-19
LEVITAN, SHARI A.
TRUSTEE 23 CRAIGIE STREET NOMINEE TRUST
C/O HOLLAND & KNIGHT LLP
10 SAINT JAMES AVE. 11FL
BOSTON, MA 02116

218-60
ROCKEFELLER, DIANA NEWELL ROWAN &
STANLEY SMITH WIRSIG, JR./SYLKIE BAY NOMINEE TR.
24 CRAIGIE ST
CAMBRIDGE, MA 02138