



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 JAN 29 PM 4: 01  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

BZA Number: 255839

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance:           

Appeal:           

**PETITIONER:** Robb W. Johnson and Richard J. Gosselin

**PETITIONER'S ADDRESS:** 20 Fairmont Ave, Cambridge, MA 02139

**LOCATION OF PROPERTY:** 20 Fairmont Ave., Cambridge, MA

**TYPE OF OCCUPANCY:** single family dwelling

**ZONING DISTRICT:** Residence C-1 Zone

**REASON FOR PETITION:**

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Demolish existing non-conforming front porch/stairs within the front-yard setback and replace them with a substantially smaller porch/stairs that will still be non-conforming.

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).  
Article: 8.000      Section: 8.22.2.d (Non-Conforming Structure).  
Article: 10.000     Section: 10.40 (Special Permit).

Original Signature(s): Robb W. Johnson    R J Gosselin  
(Petitioner (s) / Owner)

Robb W. Johnson    Richard J. Gosselin  
(Print Name)

Address: 20 FAIRMONT AV, CAMBRIDGE, MA 02139  
Tel. No. 6176993248  
E-Mail Address: rbbjhnsn@gmail.com

Date: 1/29/24

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We ROBB W. JOHNSON AND RICHARD J. GUSSELIN  
(OWNER)

Address: 20 FAIRMONT AVE, CAMBRIDGE, MA 02139

State that I/We own the property located at 20 FAIRMONT AVE, which is the subject of this zoning application.

The record title of this property is in the name of Robb W Johnson, Trustee of Robb W Johnson 2015 Living Trust; and Richard J. Gusselin, Trustee of Richard J. Gusselin 2015 Living Trust

\*Pursuant to a deed of duly recorded in the date 11/3/2015, Middlesex South County Registry of Deeds at Book 66326, Page 363; or

Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_

Book \_\_\_\_\_ Page \_\_\_\_\_.

Robb W Johnson RJ Gusselin

SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name \_\_\_\_\_ personally appeared before me, this 24 of January, 2024, and made oath that the above statement is true.

Sharon L Brown Notary

My commission expires October 31, 25 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 20 Fairmont Ave., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

The proposed alteration of this pre-existing non-conforming detached single-familing dwelling will not create a new dimensional nonconformity; it will actually significantly reduce the extent of dimensional non-conformity in the front-yard setback. The proposed change will enhance the neighborhood in that the smaller structure is more in keeping with the house's original front porch structure and with other porches on the block. There is no conflict with the criteria in Section 10.43.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The proposed porch will not adversely affect safe access to the home, and its design will enhance the neighborhood by being more consistent with others on the street and reducing the extent of encroachment in the front-yard setback.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

No impact on adjacent uses.

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

Besides noise and a minor sidewalk detour that may be required during a proposed one-week construction period, no nuisance or inconvenience to other residents is anticipated.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

The project will benefit our property and the neighborhood by increasing the amount of permeable open space in the front yard setback, allowing us to expand our front garden and increase the amount of groundwater recharge within the root zone of one of our narrow street's few remaining City street trees.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**DIMENSIONAL INFORMATION**

**Applicant:** Robb W. Johnson and Richard J. Gosselin  
**Location:** 20 Fairmont Ave., Cambridge, MA  
**Phone:** 6176993248

**Present Use/Occupancy:** single family dwelling  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** single family dwelling

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3,348	Same	2010	(max.)
<u>LOT AREA:</u>		2680	2680	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>		0.55	0.55	0.75	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2680	2680	1500	
<u>SIZE OF LOT:</u>	WIDTH	40	40	50	
	DEPTH	67	67	100	
<u>SETBACKS IN FEET:</u>	FRONT	0	0	10	
	REAR	24.14	24.14	20	
	LEFT SIDE	25.3	25.3	not germane to requested relief	
	RIGHT SIDE	0	0	not germane to requested relief	
<u>SIZE OF BUILDING:</u>	HEIGHT	26'	26'	35'	
	WIDTH	39'10"	39'10"	not germane to requested relief	
	LENGTH	24'3"	24'3"	not germane to requested relief	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		0.19 (all permeable)	0.20 (all permeable)	not sure, but an increase in open space is proposed	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	2	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

none

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

09/12/2023

MDJ INC

**OWNER:**  
ROB JOHNSON

**ARCHITECT & ENGINEER :**

MDJ INC  
16 WOODLAND ST.  
LAWRENCE, MA  
TEL: 978 685 3691

**LAND SURVEYOR :**

DANIEL MACISAAC  
18 FAIRVIEW ROAD,  
CAMDEN, MA  
TEL: 617 642 7065

JOHNSON'S

# RESIDENCE

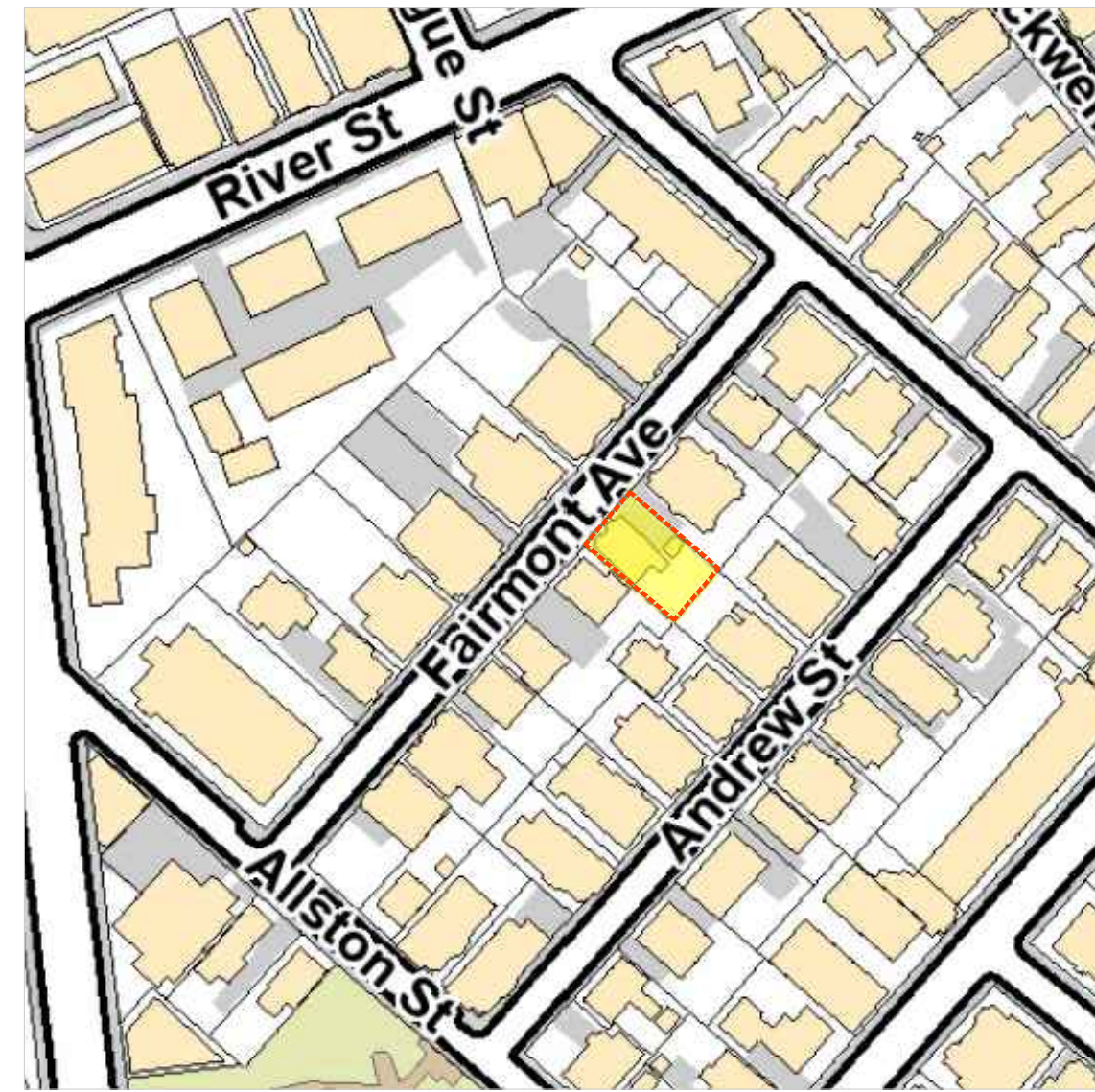
ALL RIGHTS RESERVE © 2023



# ABBREVIATIONS

ACT: ACOUSTICAL CEILING TILE	FIXT: FIXTURE	R: RADIUS OR RISER
ADD: ADDITIONAL	FR: FIRE-RATED	RA: RETURN AIR
ADJ: ADJUSTABLE	FT: FEET	RD: ROOF DRAIN
AFF: ABOVE FINISH FLOOR	FUB: FLOOR UTILITY BOX	REG: REGISTER
ALUM: ALUMINUM		RO: ROUGH OPENING
APPX: APPROXIMATELY		REINF: REINFORCING
		REQD: REQUIRED
BD: BOARD	GA: GAUGE	RM: ROOM
BIT: BITUMINOUS	GALV: GALVANIZED	REV: REVISION OR REVERSE
BLDG: BUILDING	GC: GENERAL CONTRACTOR	RSL: RESILIENT FLOORING
BLK: BLOCK	GL: GLASS	
BLKG: BLOCKING	GWB: GYPSUM WALLBOARD	
BM: BEAM	GYP: GYPSUM	
BOT: BOTTOM		SC: SOLID CORE
BC: BRICK COURSE	HC: HOLLOW CORE OR HANDICAP ACCESSIBLE	SECT: SECTION
BUR: BUILT-UP ROOFING	HDW: HARDWARE	SHT: SHEET
	HM: HOLLOW METAL	SIM: SIMIL
	HORIZ: HORIZONTAL	
CB: CATCH BASIN	HP: HIGH POINT	AR
CBD: CHALKBOARD	HGT: HEIGHT	SPEC: SPECIFICATIONS
CI: CAST IRON	HTR: HEATER	STD: STANDARD
CIP: CAST-IN-PLACE	HVAC: HEATING, VENTILATING, AND AIR CONDITIONING	SSTL: STAINLESS STEEL
CJ: CONTROL JOINT		STL: STEEL
CMU: CONCRETE MASONRY UNIT	IN: INCH	SUSP: SUSPENDED
CEM: CEMENT	INCL: INCANDESCENT	SO: SQUARE
CLG: CEILING	INCL: INCLUDING	STRUC: STRUCTURAL
CLR: CLEARANCE	INS: INSULATION	STOR: STORAGE
CLD: CLOSET	INT: INTERIOR	STA: STATION
COL: COLUMN		T: TREAD
COMP: COMPRESSIBLE	JAN: JANITOR	TBD: TACKBOARD
CONC: CONCRETE	JC: JANITOR'S CLOSET	TD: TRENCH DRAIN
CONST: CONSTRUCTION	JT: JOINT	THK: THICKNESS
CONT: CONTINUOUS		TEL: TELEPHONE
CPT: CARPET	LP: LOW POINT	TO: TOP OF
CRS: COURSES	LAM: LAMINATED	TOC: TOP OF CONCRETE
CT: CERAMIC TILE	LAV: LAVATORY	TOF: TOP OF FOOTING
CUB: COLUMN UTILITY BOX	LINO: LINOLEUM	TOR: TOP OF RAIL
	LIG: LIGHTING	TOS: TOP OF STEEL
		TRT: TREATED
DF: DRINKING FOUNTAIN	MAT: MATERIAL	TOW: TOP OF WALL
DET: DETAIL	MO: MASONRY OPENING	TYP: TYPICAL
DIA: DIAMETER	MAX: MAXIMUM	
DN: DOWN	MECH: MECHANICAL	UNO: UNLESS NOTED OTHERWISE
DR: DOOR	MEMB: MEMBER	
DWG: DRAWING	MFR: MANUFACTURER	VCT: VINYL COMPOSITION TILE
	MIN: MINIMUM	VERT: VERTICAL
EA: EACH	MISC: MISCELLANEOUS	VIF: VERIFY IN FIELD
ENC: ENCLOSURE	MTL: METAL	VP: VENEER PLASTER
EJ: EXPANSION JOINT		VWC: VINYL WALL COVERING
EL: ELEVATION OR ELECTRICAL	NIC: NOT IN CONTRACT	W/: WITH
ELEV: ELEVATOR	NTS: NOT TO SCALE	WD: WOOD
EQ: EQUAL	NO: NUMBER	WC: WATER CLOSET
EQUIP: EQUIPMENT		QHD: OVERHEAD DOOR
ERD: EMERGENCY ROOF DRAIN	OC: ON CENTER	QH: OVERHEAD GRILLE
EW: ELECTRIC	OD: OUTSIDE DIAMETER OR OVERFLOW DRAIN	OPNG: OPENING
WC: WATER COOLER		OPP: OPPOSITE
EXIST: EXISTING	PC: PRECAST	OPPH: OPPOSITE HAND
EXP: EXPANSION	PGL: PLATE GLASS	
EXT: EXTERIOR	PT: PARTITION	
	PL: PLATE	
FE: FIRE EXTINGUISHER	PLAM: PLASTIC LAMINATE	
FEC: FIRE EXTINGUISHER CABINET		PLUM: PLUMBER
FHC: FIRE HOSE CABINET		PTD: PAINTED
FD: FLOOR DRAIN		PT: PAINT
FDN: FOUNDATION		PVC: POLYVINYL CHLORIDE
FF: FINISHED		
FLOOR TRANSITION		QT: QUARRY TILE
FIN: FINISH		QTY: QUANTITY
FLR: FLOOR		
FLOOR: FLUORESCENT		
FOC: FACE OF CONCRETE		
FOF: FACE OF FINISH		
FOM: FACE OF MASONRY		
FIG: FOOTING		

# LOCUS PLAN



# ENERGY EFFICIENCY

1. GENERAL DESIGN REQUIREMENTS (PER IECC 2021 W/ MA AMENDMENTS)

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH
5A	0.30	0.55	0.40	60	30 or 20+5ch	30	15ci/19	10ci, 4FT

- Footnotes (Modified for Climate Zone 5 Only):
- R-values are minimums. U-Factors are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-Value is reduced by R-1 or more shall be marked with the compressed batt R-Value in addition to fill thickness R-Value.
  - \*10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
  - R-5 shall be added to the required slab edge-R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Zones 1 through 3 for heated slabs.
  - Or insulation sufficient to fill the framing cavity, R-19 minimum.
  - \*13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural covers 25 percent or less of the exterior insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
  - The second R-value applies when more than half the insulation is on the interior of the mass wall.
2. ALL DOORS SHALL CONFORM TO THE FOLLOWING U-VALUE MINIMUMS:
- |                              |      |
|------------------------------|------|
| A. GLASS DOORS.....          | 0.92 |
| B. OVERHEAD DOORS.....       | 1.45 |
| C. DOORS (<50% GLAZING)..... | 0.25 |
| D. ENTRANCE DOORS.....       | 0.80 |
3. ALL INSULATION SHALL CONFORM TO THE FOLLOWING MINIMUM R-VALUES:
- |                             |  |
|-----------------------------|--|
| A. BASEMENT WALLS.....      | 2" RIGID R-10 + 3 1/2" UNFACED R-15 BATT (R-25)  |
| B. EXTERIOR WALLS.....      | ZIP R-12 INSULATED EXTERIOR SHEATHING + 5 1/2" UNFACED R-21 BATT (R-33)  |
| C. ALL ROOF ASSEMBLIES..... | (FLASH AND BATT UNVENTED ASSEMBLY) 2" CLOSED CELL SPRAY FOAM APPLIED DIRECTLY TO UNDERSIDE OF ROOF DECK WITH R-38 HIGH DENSITY BATTS AND A SMART VAPOR BARRIER APPLIED TO THE INTERIOR SIDE (R-52) |
4. MINIMUM 55 HERS RATING (HOME ENERGY RATING SYSTEM)

NOTE: MDJ INCORPORATED MADE THESE PLANS TO COMPLY WITH OWNERS' AND BUILDERS' SPECIFICATIONS. ANY CHANGES MADE TO PRINTS WILL BE AT THE OWNERS' AND BUILDER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWINGS.

MDJ INCORPORATED IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN, WHILE MDJ INCORPORATED MADE EVERY EFFORT TO PREPARE THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTORS MUST CHECK ALL DIMENSIONS AND OTHER DETAILS BEFORE CONSTRUCTION AND BE SOLELY RESPONSIBLE AFTER THAT.

# GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- EACH CONTRACTOR AND SUBCONTRACTOR SHALL EXAMINE THE SITE AND WORK PERFORMED BEFORE THEIR WORK.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AT SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR POTENTIAL PROBLEMS OR CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO PROPERTY, SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SHALL DELIVER THE BUILDING BROOM, CLEAN TO THE OWNER, FREE OF DEFECTS.
- CONTRACTOR ASSUMES RESPONSIBILITY FOR GENERAL HEAT AND POWER DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN IN THE DRAWINGS AND REPORT ANY MODIFICATIONS TO THE DESIGNER OR THE STRUCTURAL ENGINEER.
- CONTRACTOR SHALL PROVIDE ALL PERMITS AND PAY ALL FEES REQUIRED FOR THE EXECUTION OF THE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE STRUCTURE DURING DEMOLITION. IF ANY NEEDED, CONTRACTOR SHALL REQUEST ASSISTANCE FROM A STRUCTURAL ENGINEER
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, TECHNICS, SEQUENCING, SCHEDULING, SAFETY, AND SECURITY PROCEDURES EMPLOYED ON THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING AND MAINTAIN IN GOOD CONDITION ALL MILLWORK, FIXTURES AND EQUIPMENT UP TO DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODE.
- DESIGNER AND STRUCTURAL ENGINEER ARE NOT RESPONSIBLE FOR ANY VIOLATION ACCORDING TO THE MASSACHUSETTS STATE BUILDING CODE.
- NOTIFY THE DESIGNER OR STRUCTURAL ENGINEER BY E-MAIL OR VIA US POSTAL SERVICE ANY MODIFICATIONS TO BE MADE IN THE ORIGINAL SET OF DRAWINGS
- CONTRACTOR IS ALLOWED TO MAKE MODIFICATIONS AND ADJUSTMENTS AS LONG AS IT MEETS THE MASSACHUSETTS STATE BUILDING CODE.
- PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT AND THOROUGHLY AQUATINTED WITH THE PROJECT.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK, CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECTION AND COORDINATE HIS WORK WITH THEIRS.
- CONTRACTOR SHALL HAVE AN APPLICABLE CONTRACTORS LICENCE AND ALL ELECTRICAL AND PLUMBING WORKS SHALL BE PERFORMED BY LICENCE ELECTRICIAN AND PLUMBER IN PERFORMANCE TO THE MASSACHUSETTS STATE BUILDING CODE.
- a) EACH SUBCONTRACTOR SHALL CLEAN HIS/HER WORK AND REMOVE ALL TRASH, DEBRIS, PACKING ETC RESULTING FROM THAT WORK.  
b) FINAL CLEANING SHALL BE DONE BY A PROFESSIONAL.

# PROJECT DATA

BUILDING AREA PER UNIT:

BASEMENT AREA:	664 SF
FIRST FLOOR AREA:	771 SF
SECOND FLOOR AREA:	640 SF

SITE AREA:

PARCEL AREA:	2,679 SF
BUILDING FOOT PRINT:	771 SF
DECKS UNCOVERED:	215 SF

BUILDING INFORMATION:

STYLE:	CONVENTIONAL
OCCUPANCY:	SNGL-FAM-RES
NUMBER OF STORIES:	1.75
ROOF TYPE / MATERIAL:	GABLE / ASPHALT SHINGLES

APPLICABLE CODES

- 2015 MASSACHUSETTS BUILDING CODE
- 2015 MASSACHUSETTS MECHANICAL CODE
- 2015 MASSACHUSETTS ELECTRIC CODE
- 2015 MASSACHUSETTS PLUMBING CODE
- 2021 MASSACHUSETTS ENERGY STRETCH CODE

JURISDICTION:

THE INSPECTION SERVICES DEPARTMENT  
795 MASSACHUSETTS AVE.  
CAMBRIDGE, MA 02139  
TEL: 617-349-4000

# SHEET INDEX

## ARCHITECTURAL DRAWINGS

### GENERAL

- A001 COVER
- A002 DATA SHEET
- A003 CODE REVIEW
- A004 PROPOSED CONDITIONS PERSPECTIVE 01
- A005 PROPOSED CONDITIONS PERSPECTIVE 02

### ARCHITECTURAL FLOOR PLANS

- RA101 EXISTING CONDITIONS FLOOR PLANS
- A101 PROPOSED CONDITIONS BASEMENT FLOOR
- A102 PROPOSED CONDITIONS FIRST FLOOR
- A103 PROPOSED CONDITIONS SECOND FLOOR
- A104 PROPOSED CONDITIONS ROOF PLAN

### ARCHITECTURAL ELEVATIONS

- A201 PROPOSED CONDITIONS FRONT ELEVATION
- A202 PROPOSED CONDITIONS RIGHT SIDE ELEVATION
- A203 PROPOSED CONDITIONS REAR ELEVATION
- A204 PROPOSED CONDITIONS LEFT SIDE ELEVATION

### ARCHITECTURAL SECTIONS

- A301 PROPOSED CONDITIONS SECTION A-A
- A302 PROPOSED CONDITIONS SECTION B-B
- A303 PROPOSED CONDITIONS SECTION C-C

### ARCHITECTURAL DETAILS

- A401 ARCHITECTURE DETAILS
- A402 DOOR, WINDOWS AND FASTENING SCHEDULE

### STRUCTURAL FLOOR PLANS

- S103 STRUCTURAL DETAILS FOUNDATION PLAN
- S109 STRUCTURAL DETAILS FIRST FRAMING PLAN
- S110 STRUCTURAL DETAILS SECOND FRAMING PLAN
- S104 STRUCTURAL DETAILS FIRST FLOOR JOIST PLAN
- S105 STRUCTURAL DETAILS SECOND FLOOR JOIST PLAN
- S107 STRUCTURAL DETAILS ROOF RAFTERS PLAN

# DESIGN TEAM

OWNER:

ROBB JOHNSON  
20 FAIRMOUNT AVE.  
CAMBRIDGE, MA 02131

ARCHITECT & ENGINEER :

MDJ INC  
16 WOODLAND ST.  
LAWRENCE, MA  
TEL: 978 685 5691

LAND SURVEYOR :

DANIEL MACCISAAC  
16 FAIRMOUNT ROAD  
CAMBRIDGE, MA  
TEL: 978 442 7065

# MDJ INC.

Engineers, Architects & Associates

MARCOS A DEVERS, P.E  
16 WOODLAND ST. LAWRENCE, MA 010841  
978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER	VERIFIED	DRAWN	NOTES
ROBB JOHNSON	MDJ INC.	MDJ INC.	1. N/A 2. N/A 3. N/A
PROJECT	APPROVED	ISSUED FOR	REV. NO. DATE
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023	A. N/A B. N/A
LOCATION	SIGNED	ISSUED DATE	
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023	

DRAWN NO. **A002**

DRAWN TITLE  
DATE SHEET



NORTH

SCALE  
**NOT SCALE**

PAGE  
**02 / 26**

NOTES  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.

## PROJECT DESCRIPTION

THE HOME IS LOCATED AT 20 FAIRMONT AVE. IT WAS BUILT IN 1886 AND IS LOCATED IN THE CITY OF CAMBRIDGE. THE SCOPE OF THE PROJECT CONSIST IN DEMOLISH AND REBUILT AN ORIGINAL PORTION OF THE HOUSE, A NEW STORY WILL BE ADDED, DEMOLISH AND REBUILT AN EXISTING PORTION OF THE HOUSE, AND REPLACE IT WITH A NEW TWO STORY ADDITION.. THE FOLLOWING WILL BE COMPLETELY REMOVED AND REPLACED :

1. FRAMING .
2. PLUMBING SUPPLY.
3. ELECTRICAL AND MECHANICAL DISTRIBUTION SYSTEMS AND EQUIPMENT
4. EXTERIOR SIDING
5. ROOFING
6. WINDOWS AND DOORS

THE ORIGINAL STRUCTURE IS LIKELY BALLOON FRAMING (TO BE VERIFIED) AND IF NEEDED WILL BE REINFORCED WITH NEW WOOD FRAMING SUPPORT MEMBERS TO STIFFEN THE STRUCTURE AND RESTORE THE FLOORS AND WALLS. THE NEW PORTION REMODELING, WILL INCLUDE A NEW THE FRONT ENTRANCE ORIENTATION, A NEW CABINET KITCHEN RELOCATED, HALF BATHROOM TO BE CONVERTED INTO A FULL BATHROOM AND EXISTING BEDROOM TO BE EXTENDED WITH A FOUR SEASON PORCH.



**1** PERSPECTIVE - RIVER STREET  
 REMOVE AND REBUILT

# MDJ INC.

Engineers, Architects & Associates

MARCOS A DEVERS, P.E  
 16 WOODLAND ST. LAWRENCE, MA 010841  
 978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

### APPLICANT/OWNER

ROBB JOHNSON

### PROJECT

JOHNSON'S RESIDENCE

### LOCATION

20 FAIRMOUNT AVE,  
 CAMBRIDGE, MA 02131

### VERIFIED

MDJ INC.

### APPROVED

MDJ INC.

### SIGNED

MARCOS DEVERS

### DRAWN

MDJ INC.

### ISSUED FOR

08.25.2023

### ISSUED DATE

09.12.2023

### NOTES

1. N/A
2. N/A
3. N/A

REV. NO.	DATE
A.	N/A
B.	N/A

### DRAWN NO.

**A004**

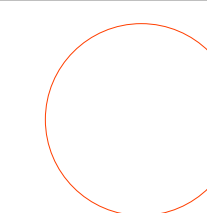
### DRAWN TITLE

PROJECT DESCRIPTION

### STAMP



### NORTH



### SCALE

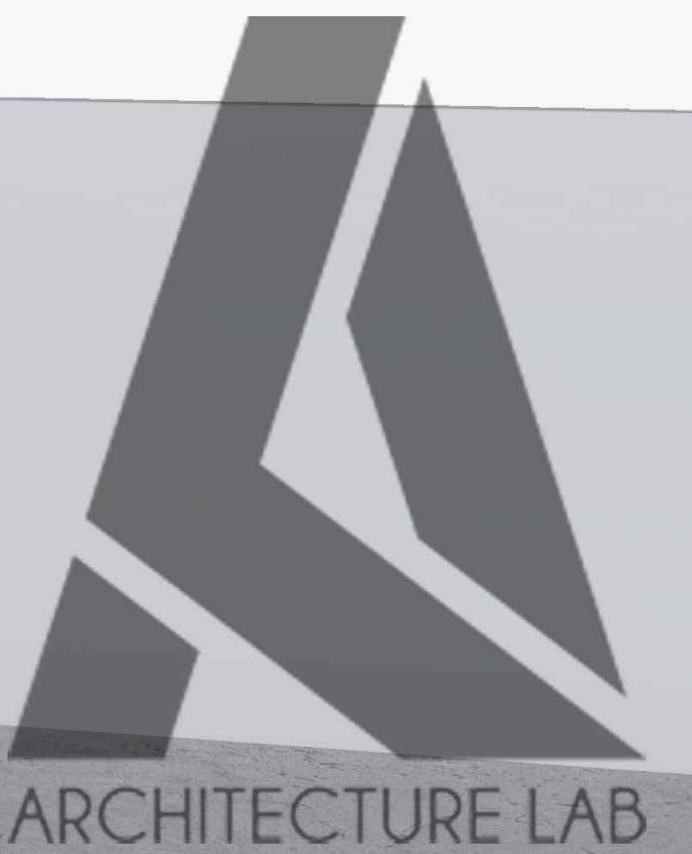
**NOT SCALE**

### PAGE

**04 / 26**

### NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.



# MDJ INC.

Engineers, Architects & Associates

MARCOS A. DEVERS, P.E.  
 16 WOODLAND ST. LAWRENCE, MA 010841  
 978 685 5691 / 978 804 7588    mdjincorporated@comcast.net

**APPLICANT/OWNER**

ROBB JOHNSON

**PROJECT**

JOHNSON'S RESIDENCE

**LOCATION**

20 FAIRMOUNT AVE,  
 CAMBRIDGE, MA 02131

**VERIFIED**

MDJ INC.

**APPROVED**

MDJ INC.

**SIGNED**

MARCOS DEVERS

**DRAWN**

MDJ INC.

**ISSUED FOR**

08.25.2023

**ISSUED DATE**

09.12.2023

**NOTES**

- 1. N/A
- 2. N/A
- 3. N/A

REV. NO.    DATE

A.            N/A

B.            N/A

**DRAWN NO.**

**A005**

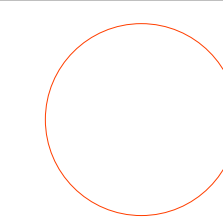
**DRAWN TITLE**

PROPOSED CONDITIONS  
 PERSPECTIVE 01

**STAMP**



**NORTH**



**SCALE**

**NOT SCALE**

**PAGE**

**05 / 26**

**NOTES**

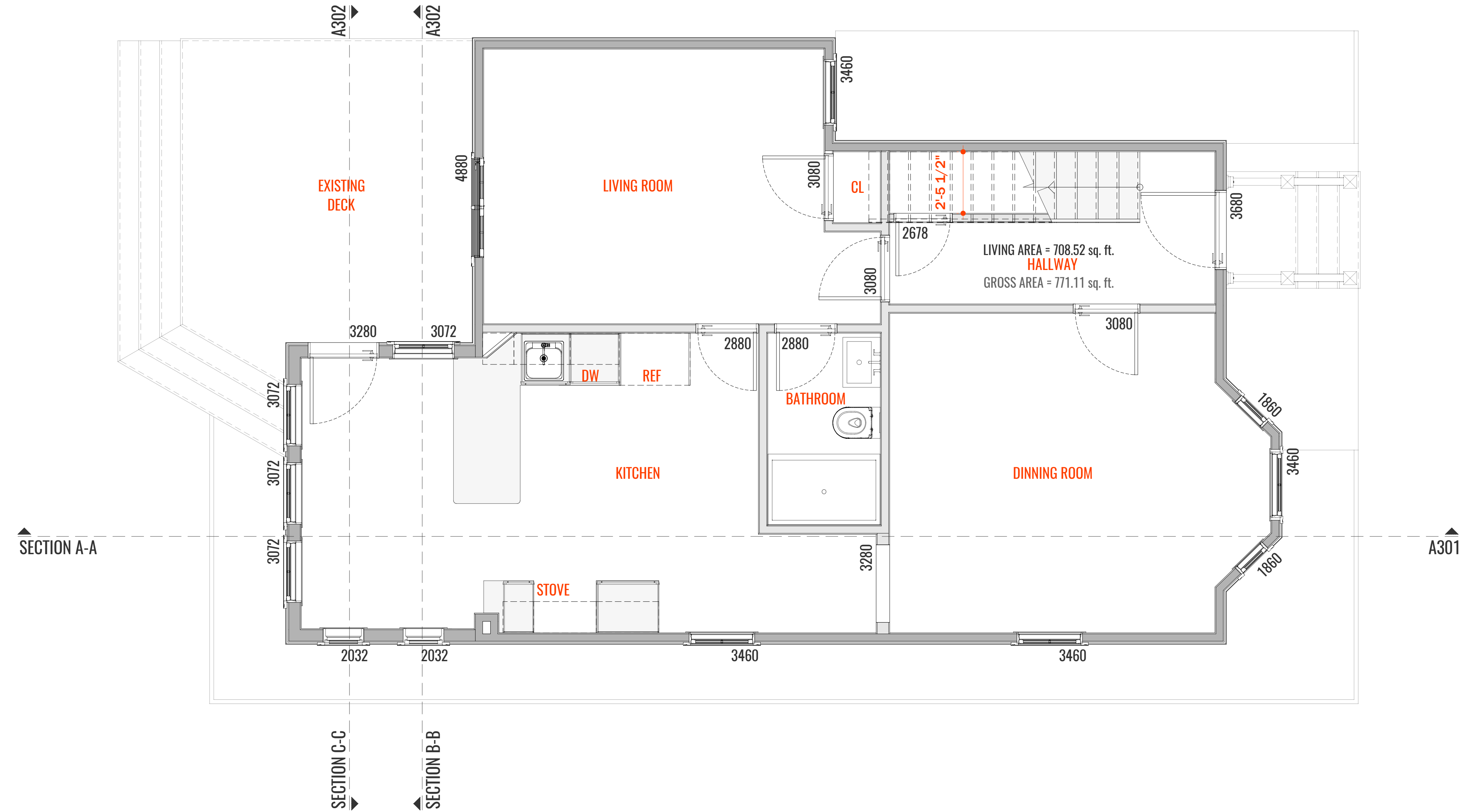
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.



# MDJ INC.

Engineers, Architects & Associates

MARCOS A. DEVERS, P.E.  
16 WOODLAND ST. LAWRENCE, MA 010841  
978 685 5691 / 978 804 7588 mdjincorporated@comcast.net



APPLICANT/OWNER  
ROBB JOHNSON

PROJECT  
JOHNSON'S RESIDENCE

LOCATION  
20 FAIRMOUNT AVE,  
CAMBRIDGE, MA 02131

VERIFIED  
MDJ INC.

APPROVED  
MDJ INC.

SIGNED  
MARCOS DEVERS

DRAWN  
MDJ INC.

ISSUED FOR  
08.25.2023

ISSUED DATE  
09.12.2023

NOTES

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

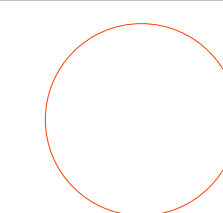
DRAWN NO.  
**A102**

DRAWN TITLE  
PROPOSED CONDITIONS  
FIRST FLOOR PLAN

STAMP



NORTH



SCALE  
**3/8" = 1'-0"**

PAGE

**09**  
**26**

NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.

# MDJ INC.

Engineers, Architects & Associates

MARCOS A DEVERS, P.E  
 16 WOODLAND ST. LAWRENCE, MA 010841  
 978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER  
 ROBB JOHNSON

PROJECT  
 JOHNSON'S RESIDENCE

LOCATION  
 20 FAIRMOUNT AVE,  
 CAMBRIDGE, MA 02131

VERIFIED  
 MDJ INC.

APPROVED  
 MDJ INC.

SIGNED  
 MARCOS DEVERS

DRAWN  
 MDJ INC.

ISSUED FOR  
 08.25.2023

ISSUED DATE  
 09.12.2023

**NOTES**

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

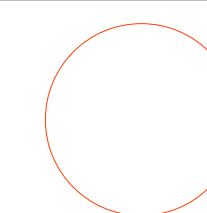
DRAWN NO.  
**A103**

DRAWN TITLE  
 PROPOSED CONDITIONS  
 SECOND FLOOR PLAN

STAMP



NORTH



SCALE

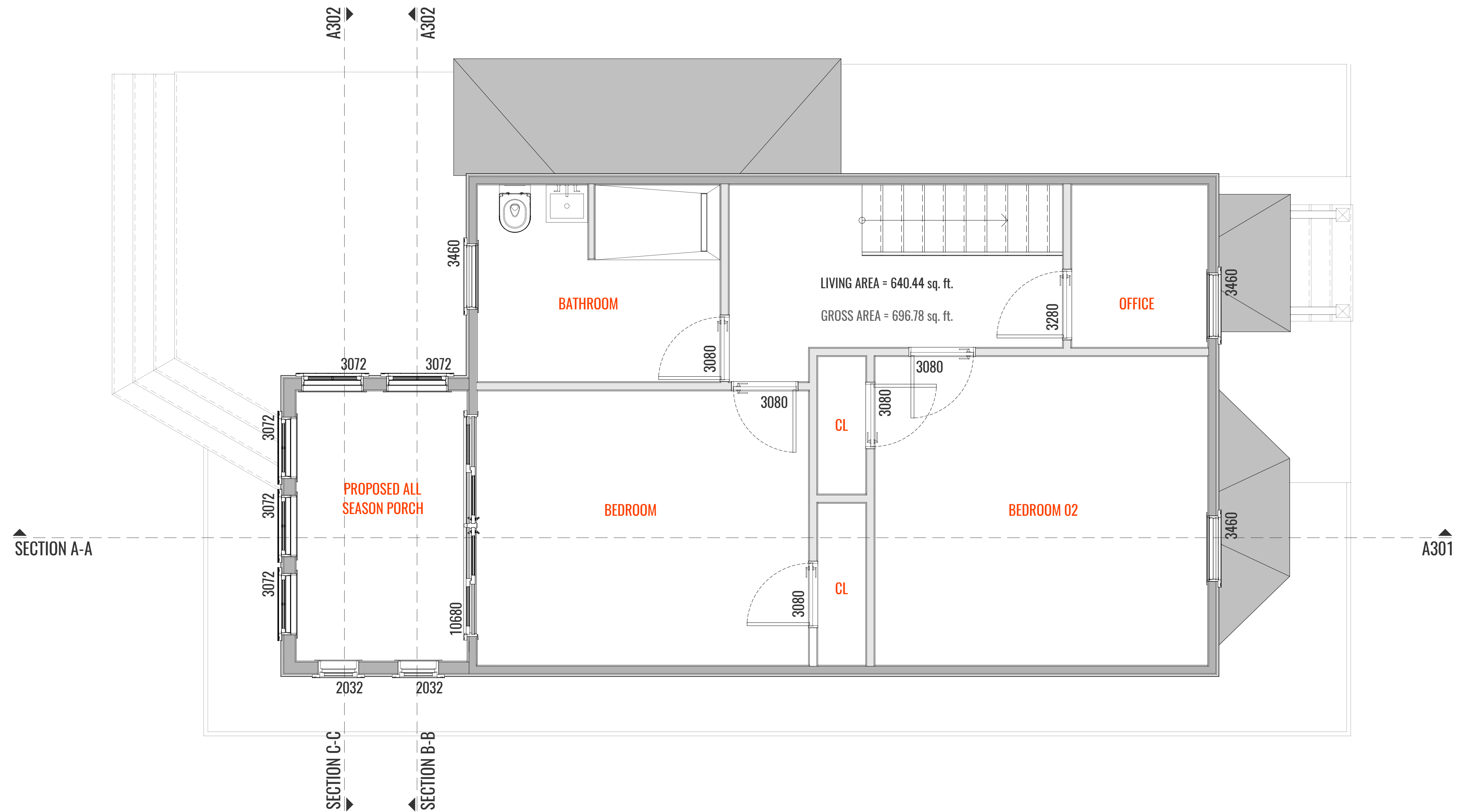
**3/8" = 1'-0"**

PAGE

**10 / 26**

NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.





# MDJ INC.

Engineers, Architects & Associates

MARCOS A DEVERS, P.E  
 16 WOODLAND ST. LAWRENCE, MA 010841  
 978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER  
 ROBB JOHNSON

PROJECT  
 JOHNSON'S RESIDENCE

LOCATION  
 20 FAIRMOUNT AVE,  
 CAMBRIDGE, MA 02131

VERIFIED  
 MDJ INC.

APPROVED  
 MDJ INC.

SIGNED  
 MARCOS DEVERS

DRAWN  
 MDJ INC.

ISSUED FOR  
 08.25.2023

ISSUED DATE  
 09.12.2023

NOTES

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

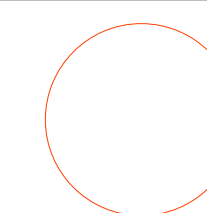
DRAWN NO.  
**A201**

DRAWN TITLE  
 PROPOSED CONDITIONS  
 FRONT ELEVATION

STAMP



NORTH



SCALE

3/8" = 1'-0"

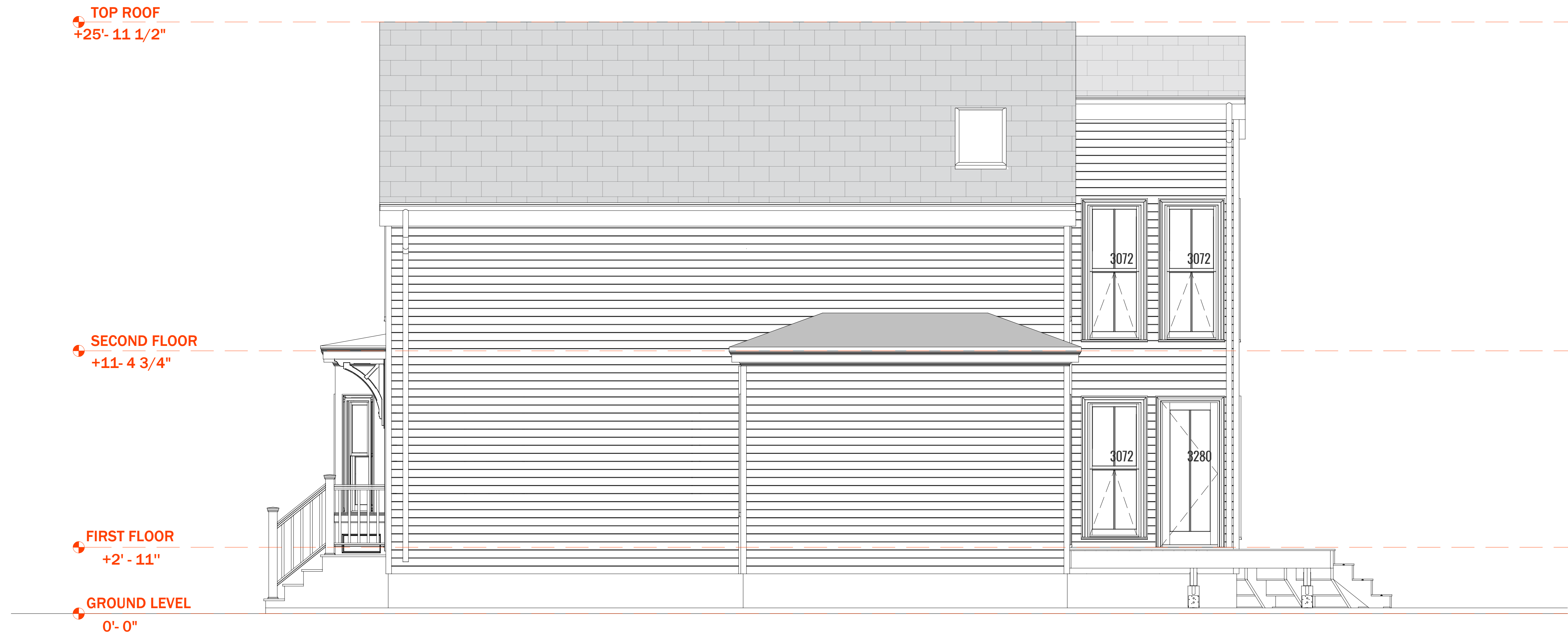
PAGE

12 / 26

NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.





# MDJ INC.

Engineers, Architects & Associates

MARCOS A DEVERS, P.E  
 16 WOODLAND ST. LAWRENCE, MA 010841  
 978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER	VERIFIED	DRAWN
ROBB JOHNSON	MDJ INC.	MDJ INC.
PROJECT	APPROVED	ISSUED FOR
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023
LOCATION	SIGNED	ISSUED DATE
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023

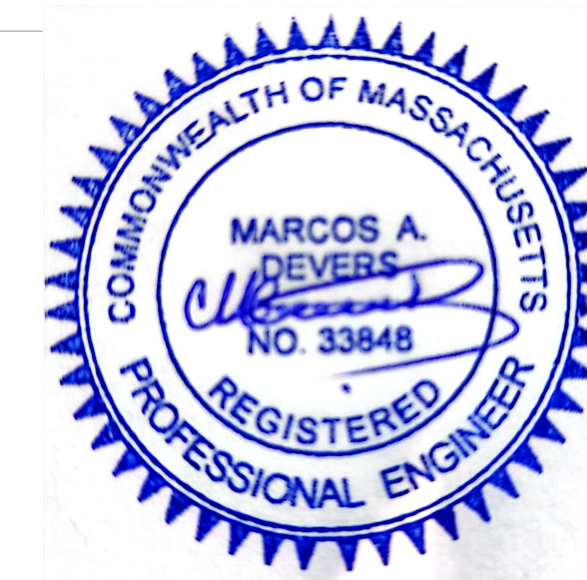
**NOTES**

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

DRAWN NO. **A202**  
 DRAWN TITLE  
 PROPOSED CONDITIONS  
 RIGHT SIDE ELEVATION

STAMP



NORTH



SCALE

**3/8" = 1'-0"**

PAGE

**13 / 26**

NOTES

CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.



# MDJ INC.

Engineers, Architects & Associates

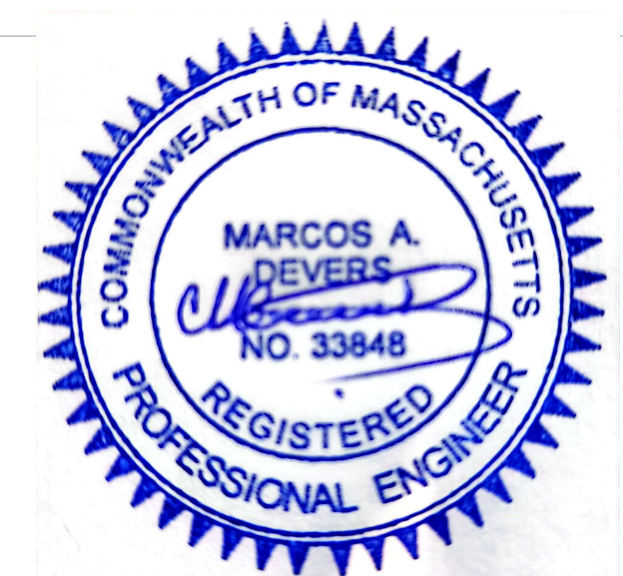
MARCOS A DEVERS, P.E  
16 WOODLAND ST. LAWRENCE, MA 010841  
978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER	VERIFIED	DRAWN
ROBB JOHNSON	MDJ INC.	MDJ INC.
PROJECT	APPROVED	ISSUED FOR
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023
LOCATION	SIGNED	ISSUED DATE
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023

**NOTES**

1.	N/A
2.	N/A
3.	N/A
REV. NO.	DATE
A.	N/A
B.	N/A

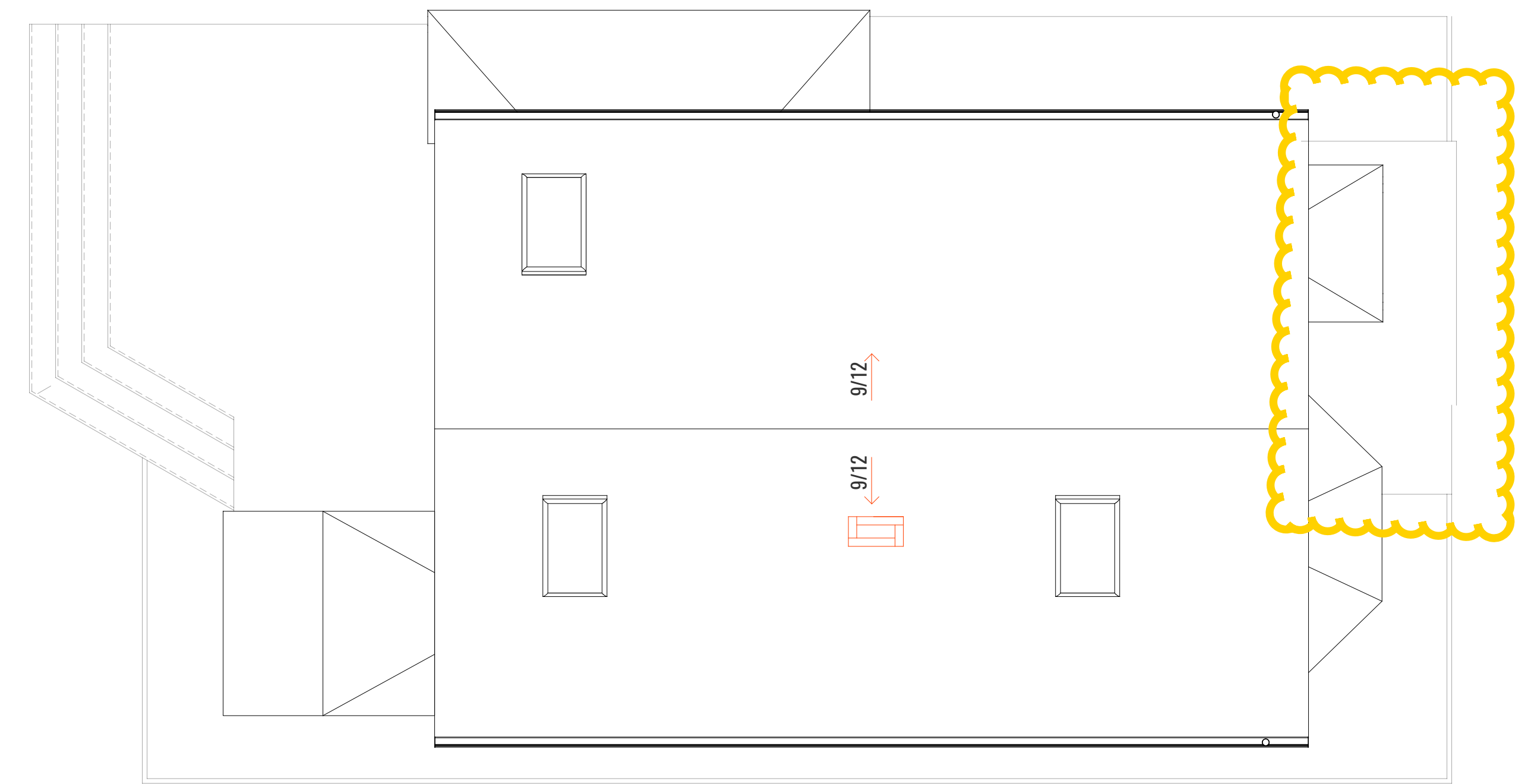
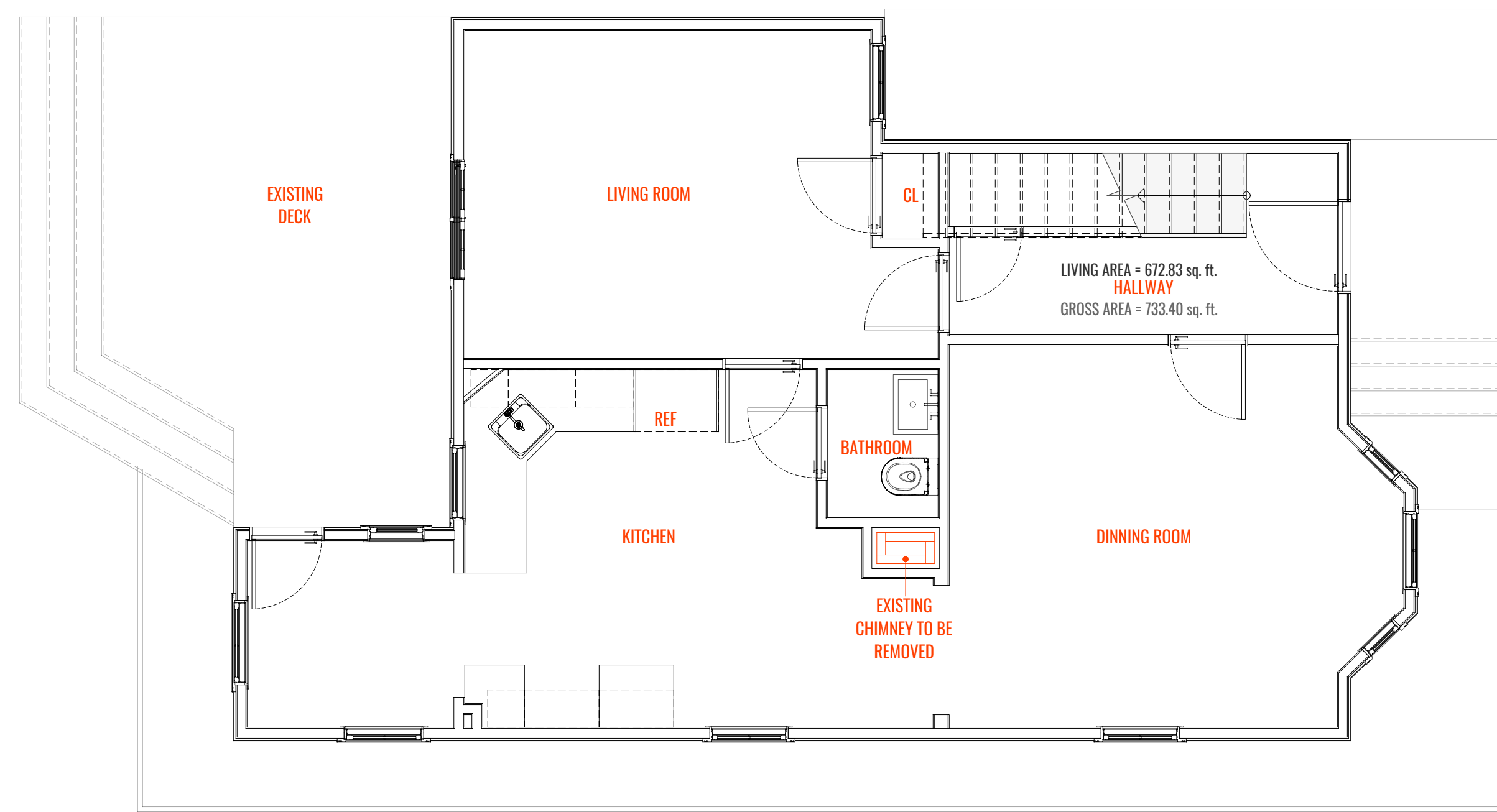
DRAWN NO. **A204**  
DRAWN TITLE  
PROPOSED CONDITIONS  
LEFT SIDE ELEVATION



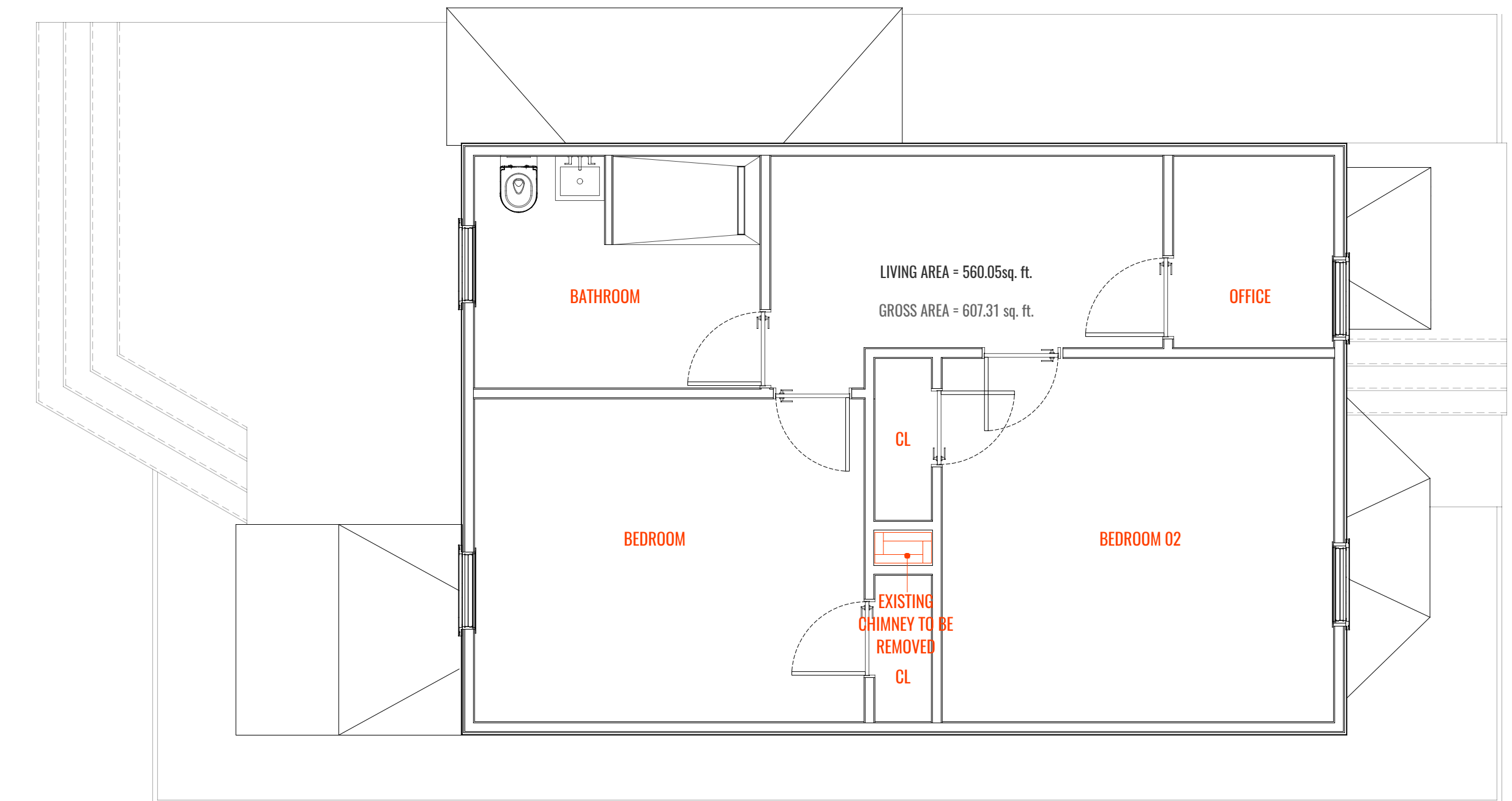
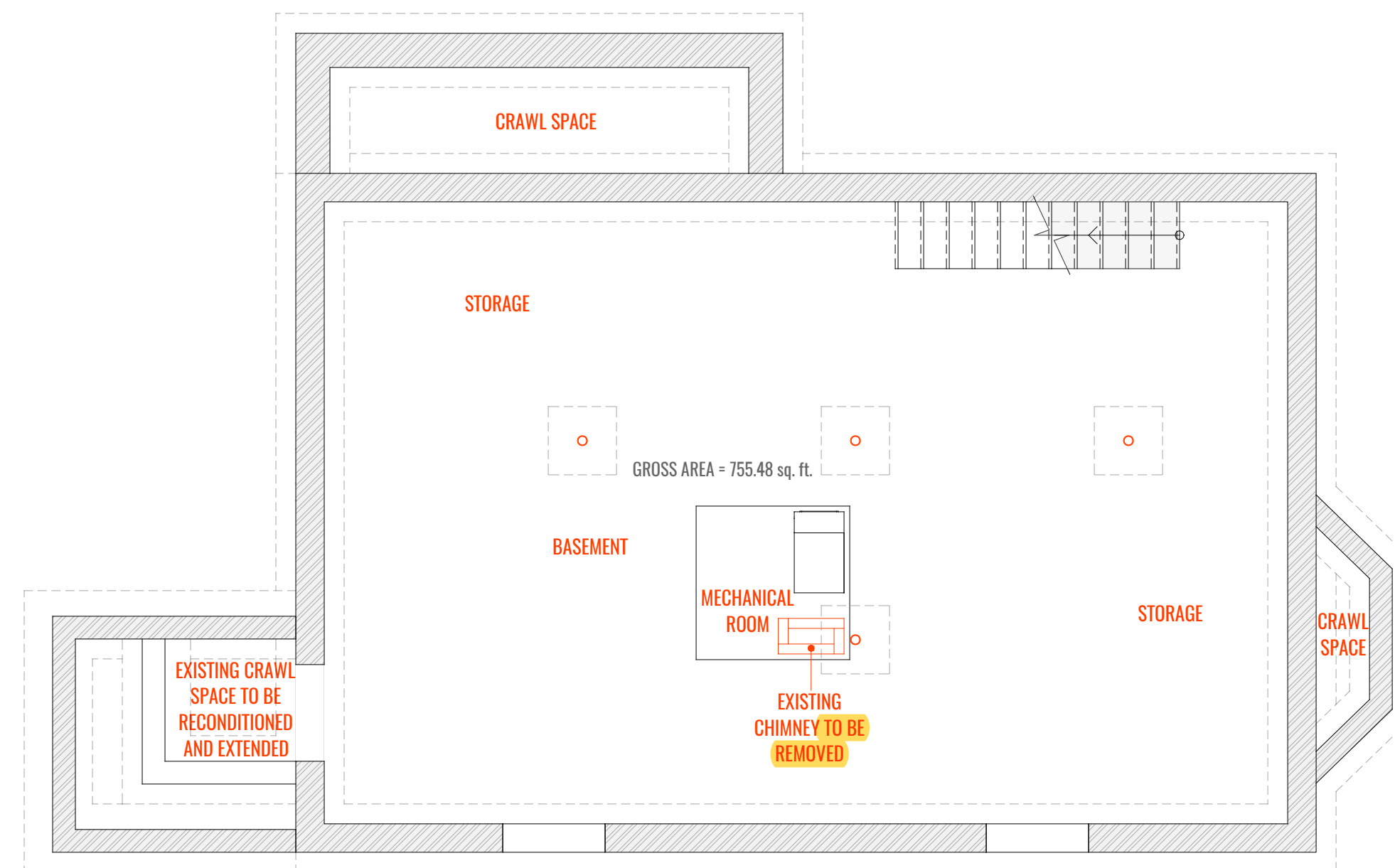
NORTH  
SCALE  
**3/8" = 1'-0"**

PAGE  
**15 / 26**

**NOTES**  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.



Footprint of existing porch and stairs



# MDJ INC.

Engineers, Architects & Associates

MARCOS A. DEVERS, P.E.  
16 WOODLAND ST. LAWRENCE, MA 010841  
978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER	VERIFIED	DRAWN
ROBB JOHNSON	MDJ INC.	MDJ INC.
PROJECT	APPROVED	ISSUED FOR
JOHNSON'S RESIDENCE	MDJ INC.	08.25.2023
LOCATION	SIGNED	ISSUED DATE
20 FAIRMOUNT AVE, CAMBRIDGE, MA 02131	MARCOS DEVERS	09.12.2023

**NOTES**

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

DRAWN NO. **RA101**  
DRAWN TITLE  
EXISTING CONDITIONS  
FLOOR PLANS



NORTH  
SCALE  
**1/4" = 1'-0"**

PAGE  
**07 / 26**



**NOTES**  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.

# MDJ INC.

Engineers, Architects & Associates

MARCOS A. DEVERS, P.E.  
16 WOODLAND ST. LAWRENCE, MA 010841  
978 685 5691 / 978 804 7588 mdjincorporated@comcast.net

APPLICANT/OWNER  
ROBB JOHNSON

PROJECT  
JOHNSON'S RESIDENCE

LOCATION  
20 FAIRMOUNT AVE,  
CAMBRIDGE, MA 02131

VERIFIED  
MDJ INC.

APPROVED  
MDJ INC.

SIGNED  
MARCOS DEVERS

DRAWN  
MDJ INC.

ISSUED FOR  
08.25.2023

ISSUED DATE  
09.12.2023

NOTES

- N/A
- N/A
- N/A

REV. NO.	DATE
A.	N/A
B.	N/A

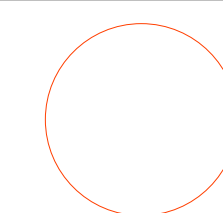
DRAWN NO.  
**S102**

DRAWN TITLE  
PROPOSED CONDITIONS  
FRAMING DETAILS - 1ST FLOOR

STAMP



NORTH



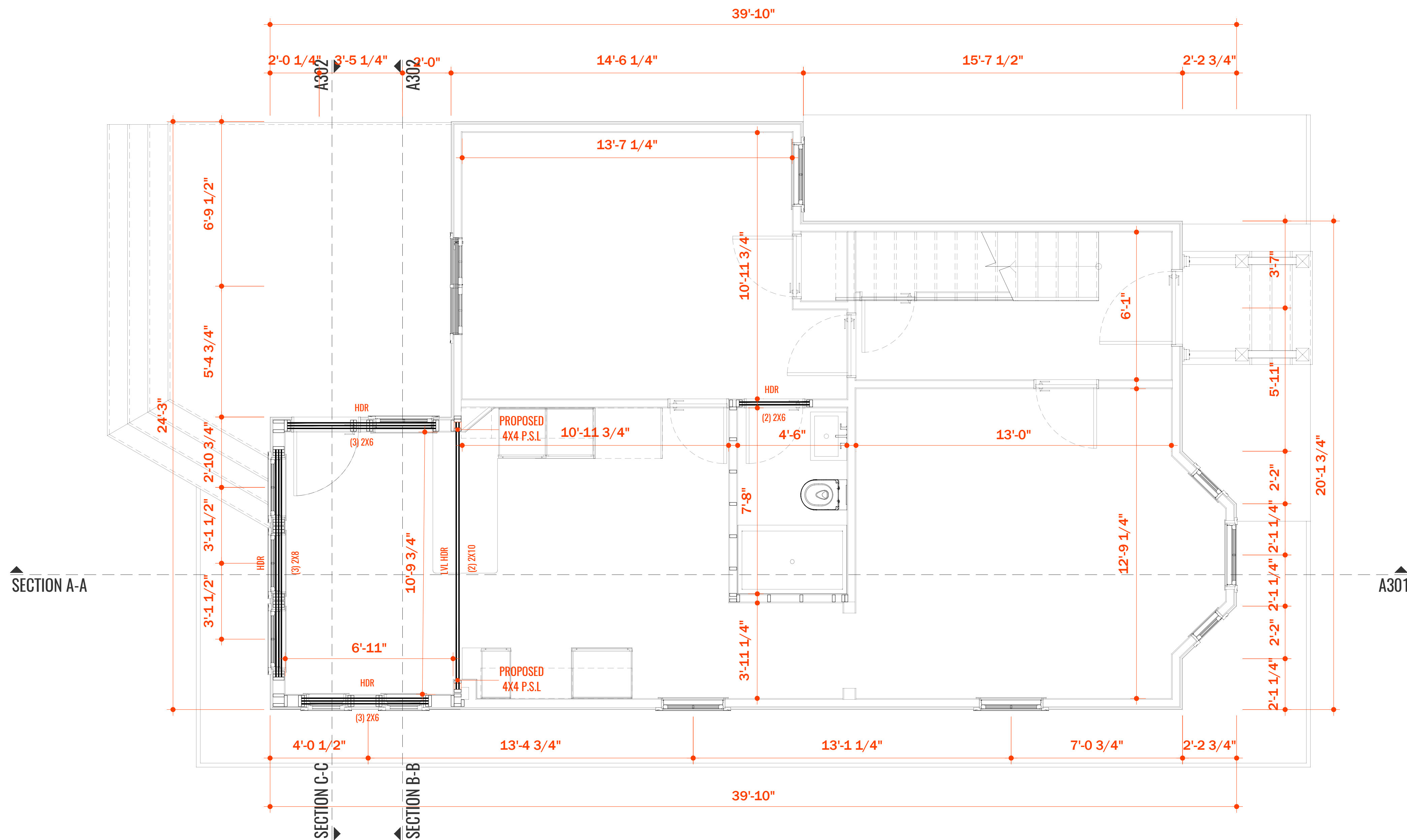
SCALE  
**3/8" = 1'-0"**



PAGE  
**22 / 26**

NOTES

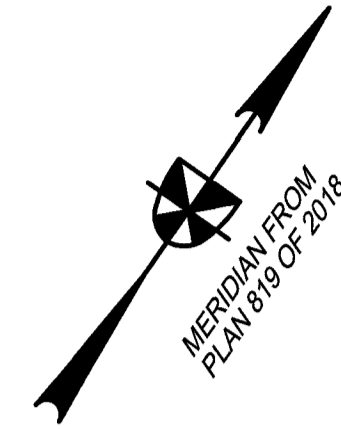
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF CAMBRIDGE MA.



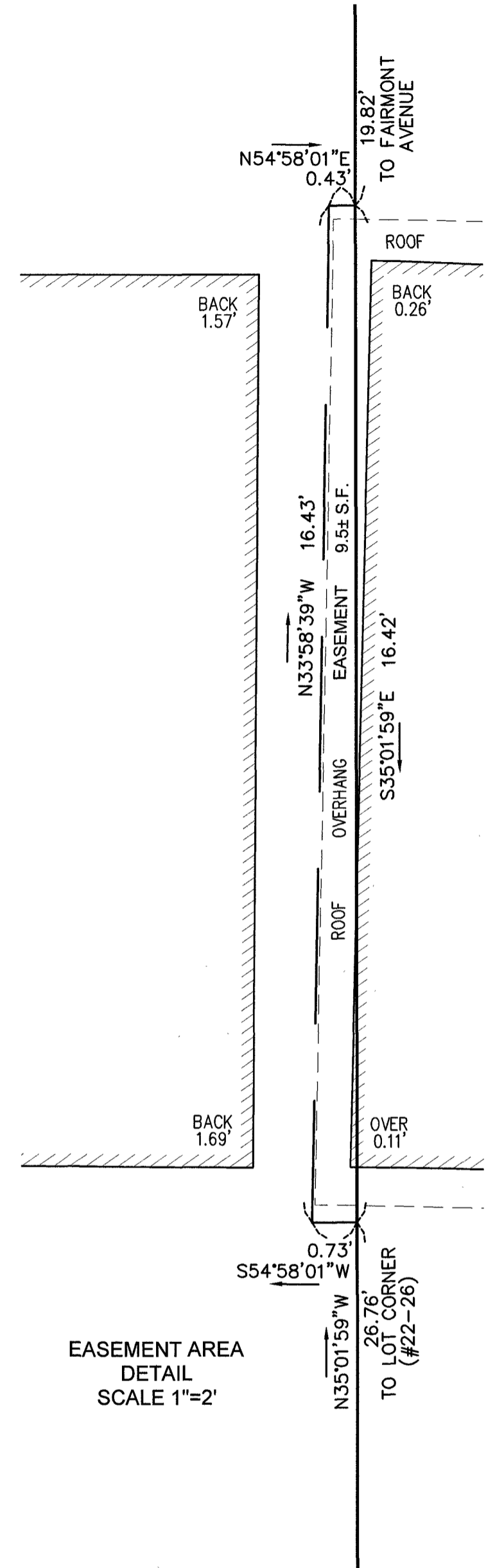
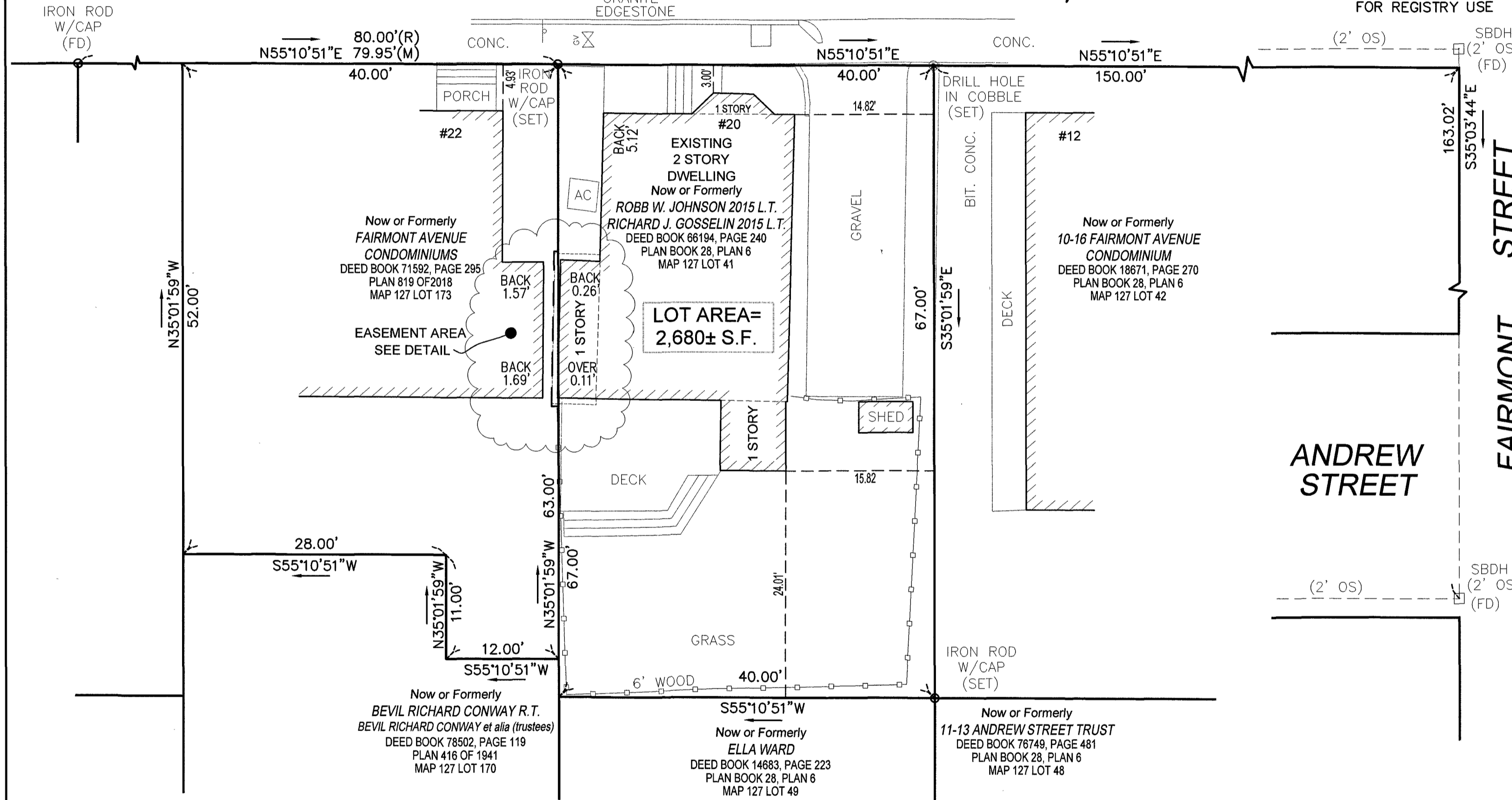
Middlesex Registry of Deeds,  
 Southern District  
 Cambridge, Massachusetts  
 Plan No. 720 of 2023  
 Rec'd 10-30 2023  
 at 9 H 52 M 4 M

Attest  
  
 Register

FOR REGISTRY USE



**FAIRMONT AVENUE** (PUBLIC - 30' WIDE)



I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

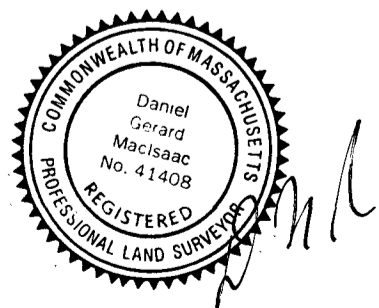
REFERENCES:

CITY OF CAMBRIDGE  
 SURVEY BOOK 112, PAGE 87  
 SURVEY BOOK 138, PAGE 105

PLAN 368 OF 2021

NOTES:

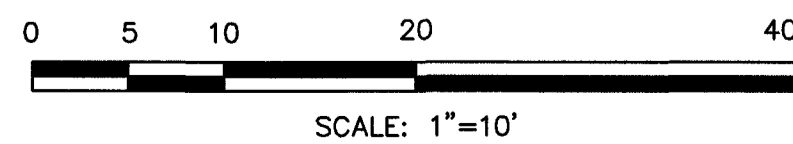
- 1) THE SURVEY IS BASED ON DEEDS AND PLANS OF RECORD.
- 2) THE PURPOSE OF THIS PLAN IS TO CREATE AN EASEMENT OVER #22 FAIRMONT AVENUE FOR THE ROOF OVERHANG OF #20 FAIRMONT AVENUE.



10.9.2023

DANIEL G. MacISAAC, PLS (#41408)

DATE



**EASEMENT PLAN**  
 #22 & #20 FAIRMONT AVENUE  
 CAMBRIDGE, MASSACHUSETTS  
 (MIDDLESEX COUNTY)

 DANIEL MACISAAC  
 PROFESSIONAL  
 LAND SURVEYOR  
 18 FAIRVIEW ROAD  
 CANTON, MA 02021  
 (617) 642-7065  
 PLS.MASS@GMAIL.COM

CALC BY: DGM      DATE: OCTOBER 9, 2023      SCALE: 1"=10'

2023 Pg: 720 Doc: PLAN  
 Page: 1 of 1 10/30/2023 09:52 AM

720 of 2023

MD





Figure 1: 20 Fairmont Ave Existing Porch



Figure 2: 20 Fairmont Ave, Existing concrete step to be removed



Figure 3: 22 Fairmont Ave - Existing porch resembling proposed new porch at 20 Fairmont Ave



Figure 4: 26 & 28 Fairmont Ave - Existing porches resembling proposed new porch at 20 Fairmont Ave



20 Fairmont Ave

Petitioner

127-42  
PORITZKY, SANDER, TR OF THE DEENA PORITZKY  
IRREVOCABLE TRUST OF FEBRUARY  
14 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-51  
JIANG, JINWEI & YIDING YAN  
270 SOUTH ST  
CHESTNUT HILL, MA 02467

127-41  
JOHNSON, ROBB W. &  
RICHARD J. GOSSELIN TRUSTEES  
20 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-38  
COTTER, MATTHEW & MICAELA ATKINS  
28 FAIRMONT AVE - UNIT 2  
CAMBRIDGE, MA 02139

127-42  
SHRIVER, MEGAN Q.  
TR. OF MEGAN Q. SHRIVER REVOC. TRUST  
21 MT. PLEASANT ST  
WINCHESTER, MA 01890

127-47  
DEMANET, LAURENT  
9 ANDREW ST  
CAMBRIDGE, MA 02139

127-52  
KANTOR, JOSHUA T. & MARY J. EATON  
27 ANDREW ST  
CAMBRIDGE, MA 02139

127-168  
LYNCH, STEPHEN J.  
23 FAIRMONT AVE UNIT 2  
CAMBRIDGE, MA 02139

127-30  
TSOKOS, CHRISTOS G. & EMMA A. LUBIN  
17 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-29  
VOLKOV, DARKO  
13-15 FAIRMONT AVE UNIT 15-2  
CAMBRIDGE, MA 02139

127-29  
UMANS, BENJAMIN JASON UMANS &  
SUSAN UMANS  
13-15 FAIRMONT AVE UNIT 15/1  
CAMBRIDGE, MA 02139

127-166  
CAUBLE DIANE LAM  
19 ANDREW ST - UNIT 19  
CAMBRIDGE, MA 02139

127-173  
PISKOROWSKI, JONATHAN J. &  
BETH J. PISKOROWSKI  
26 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-42  
FREEDMAN CASEY  
12 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-166  
ABATE NICOLA &  
MANISHA CHANDALIA ABATE  
21 ANDREW ST  
CAMBRIDGE, MA 02139

127-48  
11-13 ANDREW STREET TR  
1 QUAIL RD  
PEABODY, MA 01960

127-31  
WILNER, EMILY K THOMAS W WESTERLING  
19 FAIRMONT AVE - UNIT C  
CAMBRIDGE, MA 02139

127-29  
STEIMAN, HANNAH CLARK  
TRS THE HANNAH CLARK STEIMAN TR  
13 FAIRMONT ST  
CAMBRIDGE, MA 02139

127-49  
WARD, ELLA L.  
17 ANDREW ST  
CAMBRIDGE, MA 02139-4409

127-170  
CONWAY BEVIL RICHARD &  
ALEXANDER REHDING  
4915 LINNEAN AVE NW  
WASHINGTON, DC 20008

127-168  
SERNA, JUAN CARLOS  
29 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-43  
GOODMAN, JOHN GARY  
DEBORAH LERME GOODMAN TRS  
8 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-173  
QI, DANIELLE DANIEL BAUCH  
22 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-38  
DROST RICHARD W  
28 FAIRMONT AVE  
CAMBRIDGE, MA 02139

127-31  
HUCKABEE, JANET C  
245 ESCONDIDO COURT  
POLK COUNTY, FL 34759

127-31  
CANNATA, ROBERT J & FENGQIN MA  
19 FAIRMONT AVE - UNIT B  
CAMBRIDGE, MA 02139

**Pacheco, Maria**

---

**From:** Christos Tsokos <tsokos@gmail.com>  
**Sent:** Friday, March 1, 2024 8:56 PM  
**To:** Pacheco, Maria  
**Cc:** Emma Lubin  
**Subject:** Support for BZA-255839

To whom it may concern:

We live directly across the street from 20 Fairmont Ave and strongly support Mr. Johnson's and Mr. Gosselin's proposal for front porch stairs replacement/redesign. The new design matches most houses on the street.

Thank you for your consideration and time,  
Christos Tsokos and Emma Lubin  
17 Fairmont Ave



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

### BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Robb Johnson Date: 2/22/24  
(Print)

Address: 20 Fairmont Ave

Case No. BZA-255839

Hearing Date: 3/14/24

Thank you,  
Bza Members