



CITY OF CAMBRIDGE  
 MASSACHUSETTS  
 BOARD OF ZONING APPEAL  
 831 MASSACHUSETTS AVENUE  
 CAMBRIDGE, MA 02139  
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-011756-2016

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : \_\_\_\_\_ Variance :  Appeal : \_\_\_\_\_

PETITIONER : Michael Kim, Architect on behalf of Neil Hayward, Owner

PETITIONER'S ADDRESS : 20 Traymore St. Cambridge, MA

LOCATION OF PROPERTY : 20 Traymore St Cambridge, MA

TYPE OF OCCUPANCY : Residential-2F ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :  
Dormer

DESCRIPTION OF PETITIONER'S PROPOSAL :

Variance: To construct a dormer in the existing 3rd floor master bedroom.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 8.22.2-c Special Permit - enlargement of a non-conforming structure

Original Signature(s) :

*(Petitioner(s) / Owner)*

Michael Kim

(Print Name)

Address : Michael Kim Associates

1 Holden St. #3, Brookline MA 02445

Tel. No. : (617) 739-6925

E-Mail Address : mkim@mkimarchitecture.com

Date : 11 November 2016

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/WE NEIL MARTIN HAYWARD  
(OWNER)

Address: 20 TRAYMORE ST, CAMBRIDGE, MA

State that I/We own the property located at 20 TRAYMORE ST., which is the subject of this zoning application.

The record title of this property is in the name of \_\_\_\_\_  
NEIL M. HAYWARD

\*Pursuant to a deed of duly recorded in the date 6/27/11, Middlesex South County Registry of Deeds at Book 57047, Page 286; or Middlesex Registry District of Land Court, Certificate No. N/A  
Book N/A Page N/A.

[Signature]  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

11/26/16

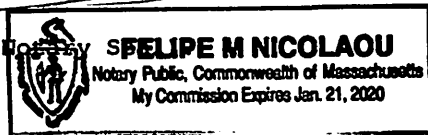
\*Written evidence of Agent's standing to represent petitioner may be requested.

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Neil Hayward personally appeared before me, this 26<sup>th</sup> of Nov, 2016, and made oath that the above statement is true.

[Signature] Notary

My commission expires 01/21/20



• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

**The existing building exceeds the allowable F.A.R.**

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

**The size and shape of the site limits the building size. The proposed dormer at the rear corner of the building is small, visually unobtrusive and will have little if any affect on the neighborhood. The proposed addition is not further in violation of the dimensional requirements of Article 5.000 or the off street parking and loading requirements in Article 6.000. The non-conforming structure will not be increased in area or volume by more than twenty-five (25) percent since it first began to be non-conforming. The total increase is 0.02 percent.**

- C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:***

- 1)** Substantial detriment to the public good for the following reasons:

**The proposed dormer will be barely visible from the street, is of modest size and designed to be a fluid extension of the existing structure.**

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

**The proposed dormer will only be adding on 56 SF of headroom space in floor area that already exists, i.e. it does not protrude beyond the existing wall below. It will not add occupancy to a dwelling unit, but will allow for a small ensuite master bath.**

- \* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 20 Traymore St Cambridge, MA (location) would not be a detriment to the public interest because:

**A)** Requirements of the Ordinance can or will be met for the following reasons:

The proposed dormer will be adding 56 Square Feet to the existing Master Bedroom. This will not add occupancy to the building, but rather, addition head room.

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

A 56 sf dormer will not increase the occupancy of the existing building.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The proposed dormer remains within the building footprint, is of modest size and minimal visual impact.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The design of the dormer will meet all requirements of the building code, and will be constructed by a licensed building contractor.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The proposed dormer of 56 sf is modest in size and designed to be a discreet addition to an attractive 1903 2-family home .

**BZA APPLICATION FORM**

**DIMENSIONAL INFORMATION**

**APPLICANT:** Michael Kim / Neil Hayward      **PRESENT USE/OCCUPANCY:** 2 Family  
**LOCATION:** 20 Traymore St Cambridge, MA      **ZONE:** Residence C-1 Zone  
**PHONE:** 617) 717-9969      **REQUESTED USE/OCCUPANCY:** 2 Family

	<b><u>EXISTING CONDITIONS</u></b>	<b><u>REQUESTED CONDITIONS</u></b>	<b><u>ORDINANCE REQUIREMENTS</u></b> <sup>1</sup>		
<b><u>TOTAL GROSS FLOOR AREA:</u></b>	2,520 SF	2,575 SF	1,888 SF	(max.)	
<b><u>LOT AREA:</u></b>	2,517 SF	2,517 SF	1,800 SF	(min.)	
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u></b> <sup>2</sup>	1.00	1.02	0.75	(max.)	
<b><u>LOT AREA FOR EACH DWELLING UNIT:</u></b>	n/a	n/a	n/a	(min.)	
<b><u>SIZE OF LOT:</u></b>	WIDTH	40	40	50	(min.)
	DEPTH	58	58	n/a	
<b><u>SETBACKS IN FEET:</u></b>	FRONT	4	4	10	(min.)
	REAR	10	10	10	(min.)
	LEFT SIDE	14.5	14.5	5	(min.)
	RIGHT SIDE	12	12	5	(min.)
<b><u>SIZE OF BLDG.:</u></b>	HEIGHT	33	33	35	(max.)
	LENGTH	40	40	n/a	
	WIDTH	25	25	n/a	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>	n/a	n/a	n/a	(min.)	
<b><u>NO. OF DWELLING UNITS:</u></b>	2	2	2	(max.)	
<b><u>NO. OF PARKING SPACES:</u></b>	2	2	2	(min./max)	
<b><u>NO. OF LOADING AREAS:</u></b>	n/a	n/a	n/a	(min.)	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u></b>	n/a	n/a	n/a	(min.)	

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

**There are no other buildings on this lot. The proposed dormer will be wood-frame construction.**

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

















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 MASSACHUSETTS  
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 617 349-6100

BZA APPLICATION FORM

GENERAL INFORMATION

2016 DEC -8 PM 3:16

Plan No: BZA-011756-2016  
 CITY OF THE CITY CLERK  
 CAMBRIDGE, MASSACHUSETTS

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 (Petitioner(s) / Owner)

Michael Kim  
 (Print Name)

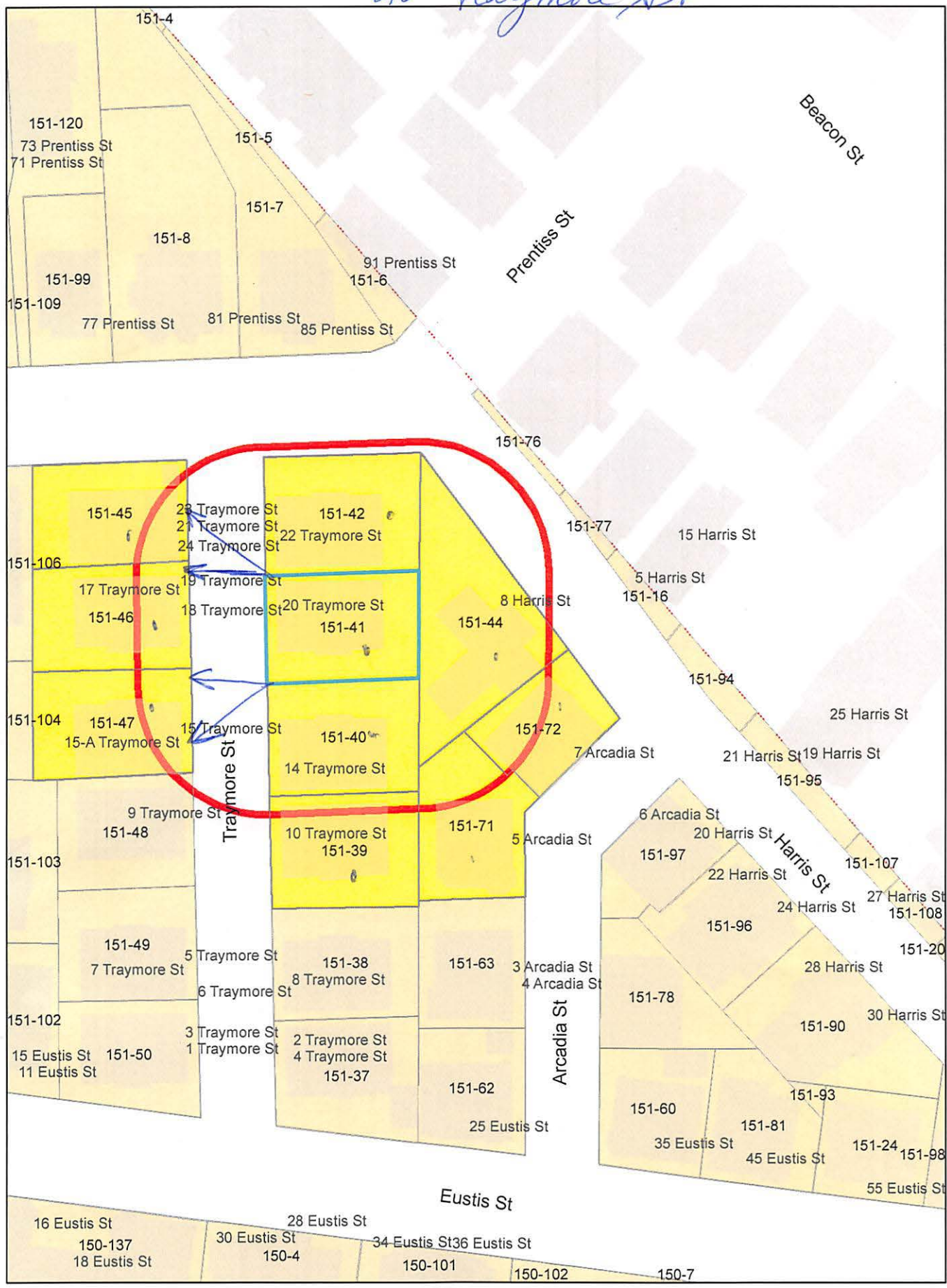
Address : Michael Kim Associates  
1 Holden St. #3, Brookline MA 02445

Tel. No. : (617) 739-6925

E-Mail Address : mkim@mkimarchitecture.com

Date : 11 November 2016

20 Traymore St.



20 Traymore St.

151-39  
DANBERG, SEYMOUR A.  
TR. OF 10-12 TRAYMORE ST. REALTY TR.  
12 TRAYMORE ST  
CAMBRIDGE, MA 02140

151-39  
DANBERG, SEMOUR A.  
TRUSTEE C/O SEYMOUR DANBERG  
10-12 TRAYMORE ST., UNIT #12  
CAMBRIDGE, MA 02140

Petitioner  
MICHAEL KIM, ARCHITECT  
1 HOLDEN STREET #3  
BROOKLINE, MA 02445

151-41  
HAYWARD, NEIL M.  
18-20 TRAYMORE ST  
CAMBRIDGE, MA 02139

151-42  
HAMMOND, THOMAS J. &  
NICOLE D. HAMMOND  
24 TRAYMORE ST  
CAMBRIDGE, MA 02140

151-44  
SMITH, KEITH A. & JACKIE C. HORNE  
8 HARRIS ST  
CAMBRIDGE, MA 02140

151-45  
O'NEILL, VINCENT J.  
21 TRAYMORE ST  
CAMBRIDGE, MA 02140

151-46  
RANSOM, KIMBERLY R.  
17 TRAYMORE ST  
CAMBRIDGE, MA 02140

151-47  
SLOCUM, MARTHA  
15 TRAYMORE ST  
CAMBRIDGE, MA 02140

151-71  
SAFIAN, ALEX  
5 ARCADIA ST., #5/1  
CAMBRIDGE, MA 02140

151-71  
BRUCE, MICHAEL D.,  
TR. THE MICHAEL BRUCE REV TRUST  
5 ARCADIA ST., #5/2  
CAMBRIDGE, MA 02140

151-71  
LYNCH, KATHRYN E  
5 ARCADIA ST., UNIT #3  
CAMBRIDGE, MA 02140

151-72  
TRAGER, NAOMI G.  
7 ARCADIA ST., #1  
CAMBRIDGE, MA 02140

151-72  
MCNAMARA, BRIAN & LINDSAY LUDWIG  
7 ARCADIA ST., #2  
CAMBRIDGE, MA 02140

151-40  
BOLAND, REED & CITY OF CAMBRIDGE TAX TITLE  
14-16 TRAYMORE ST  
CAMBRIDGE, MA 02140



# CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2<sup>nd</sup> Floor, Cambridge, Massachusetts 02139  
Telephone: 617 349 4683 TTY: 617 349 6112  
E-mail: histcomm@cambridgema.gov URL: http://www.cambridgema.gov/Historic

William B. King, *Chair*, Bruce A. Irving, *Vice Chair*, Charles M. Sullivan, *Executive Director*  
William G. Barry, Jr., Shary Page Berg, Robert G. Crocker, Chandra Harrington,  
Jo M. Solet, *Members*; Joseph V. Ferrara, Kyle Sheffield, Susannah Barton Tobin, *Alternates*

## Jurisdiction Advice

To the Owner of Property at 20 Traymore Street

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- Old Cambridge Historic District
- Fort Washington Historic District  
(M.G.L. Ch. 40C, City Code §2.78.050)
- Avon Hill Neighborhood Conservation District
- Half Crown – Marsh Neighborhood Conservation District
- Harvard Square Conservation District
- Mid Cambridge Neighborhood Conservation District
- Designated Landmark
- Property is being studied for designation: \_\_\_\_\_  
(City Code, Ch. 2.78., Article III, and various City Council Orders)
- Preservation Restriction or Easement (as recorded)
- Structure is fifty years or more old and therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). **See the back of this page for definition of demolition.**  
*No demolition permit request anticipated for proposed dormer.*
- No jurisdiction: not a designated historic property and the structure is less than fifty years old.
- No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.  
Staff comments: \_\_\_\_\_

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

**If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.**

CHC staff initials SLB

Date November 8, 2016

Received by Uploaded to Energov

Date November 8, 2016

Relationship to project BZA 11756-2016

cc: Applicant  
Inspectional Services Commissioner

## Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

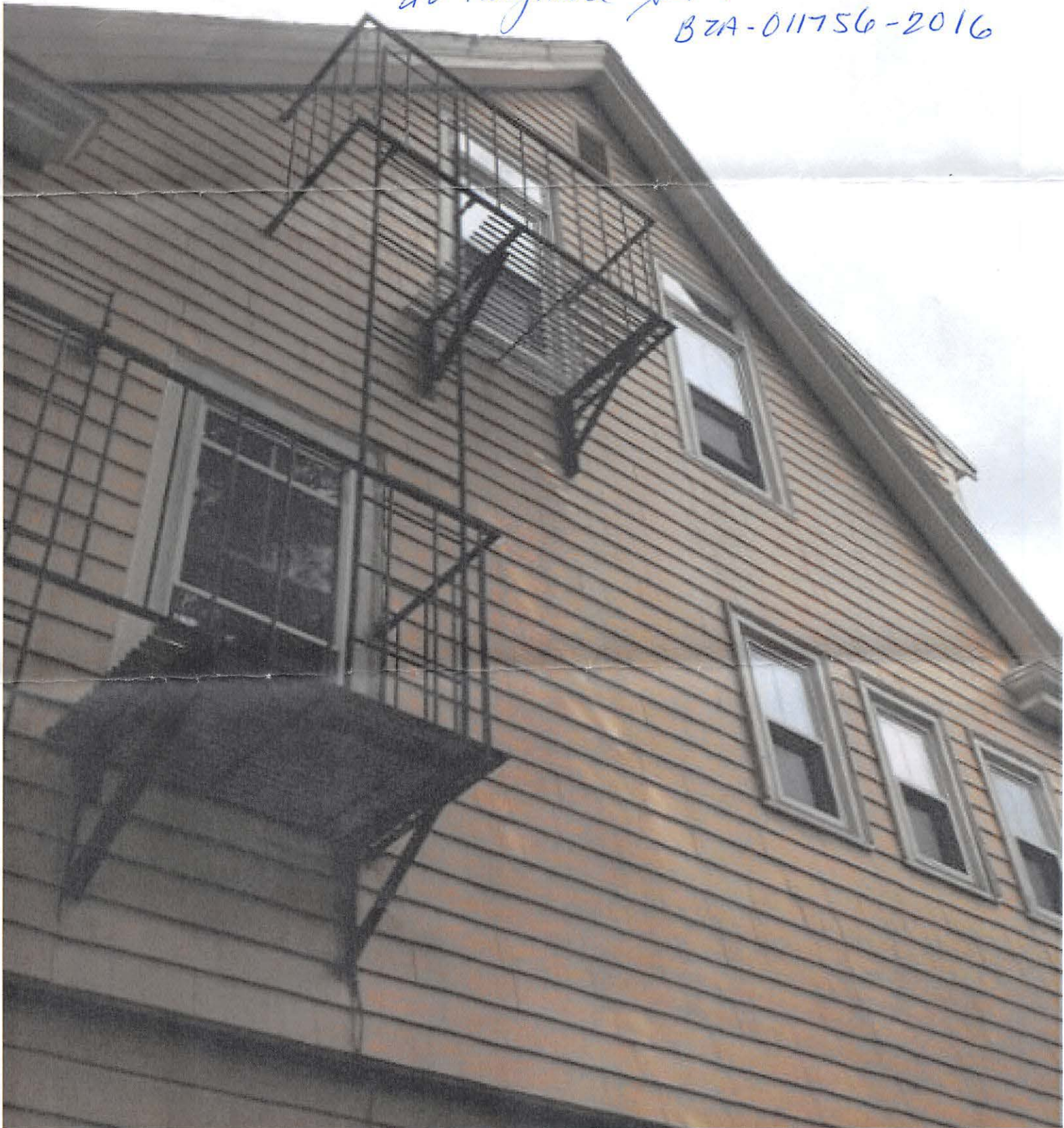
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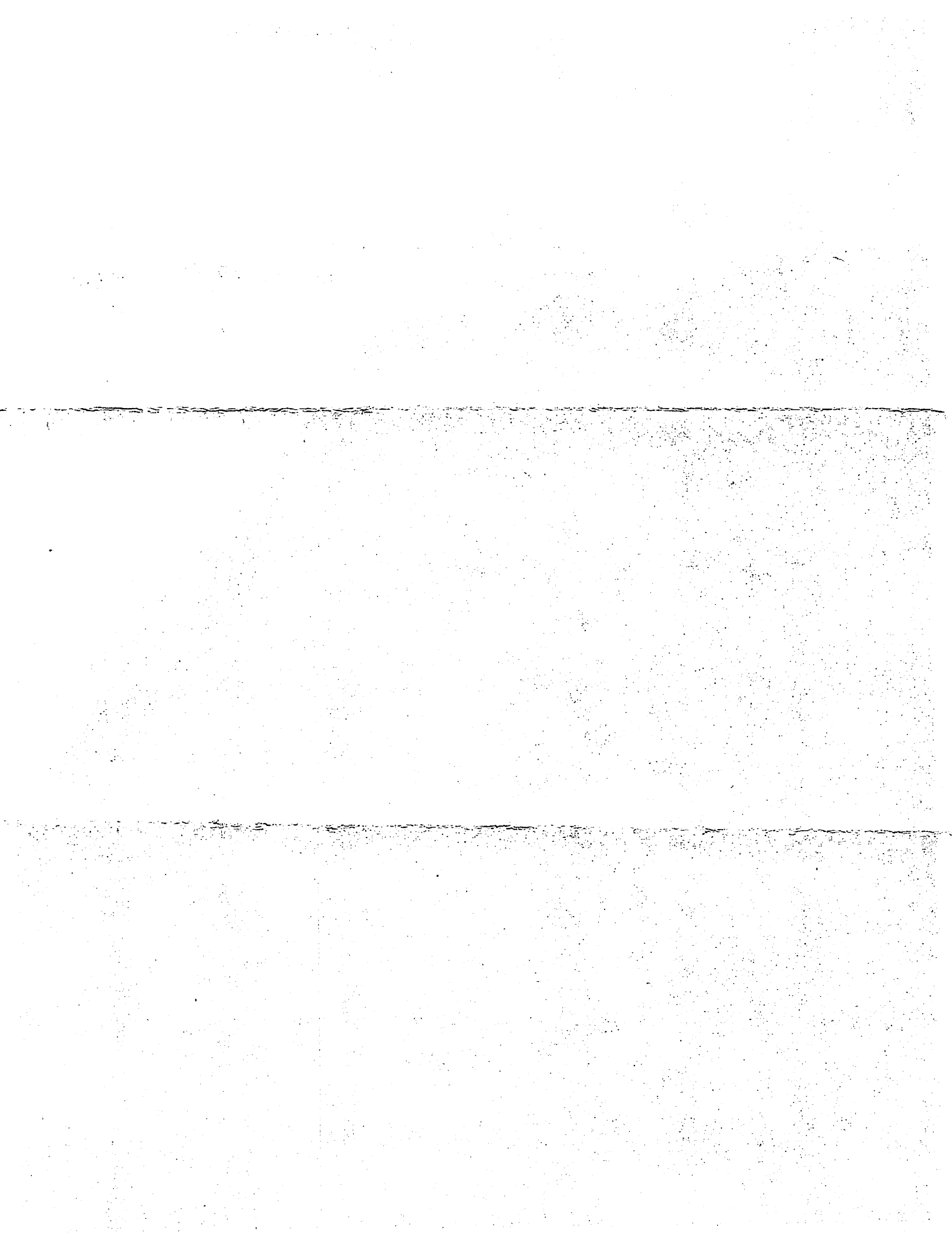
Cambridge Historical Commission  
831 Massachusetts Ave., 2<sup>nd</sup> Fl.  
Cambridge, MA 02139  
Ph: 617/349-4683 or TTY: 617/349-6112  
<http://www.cambridgema.gov/Historic>



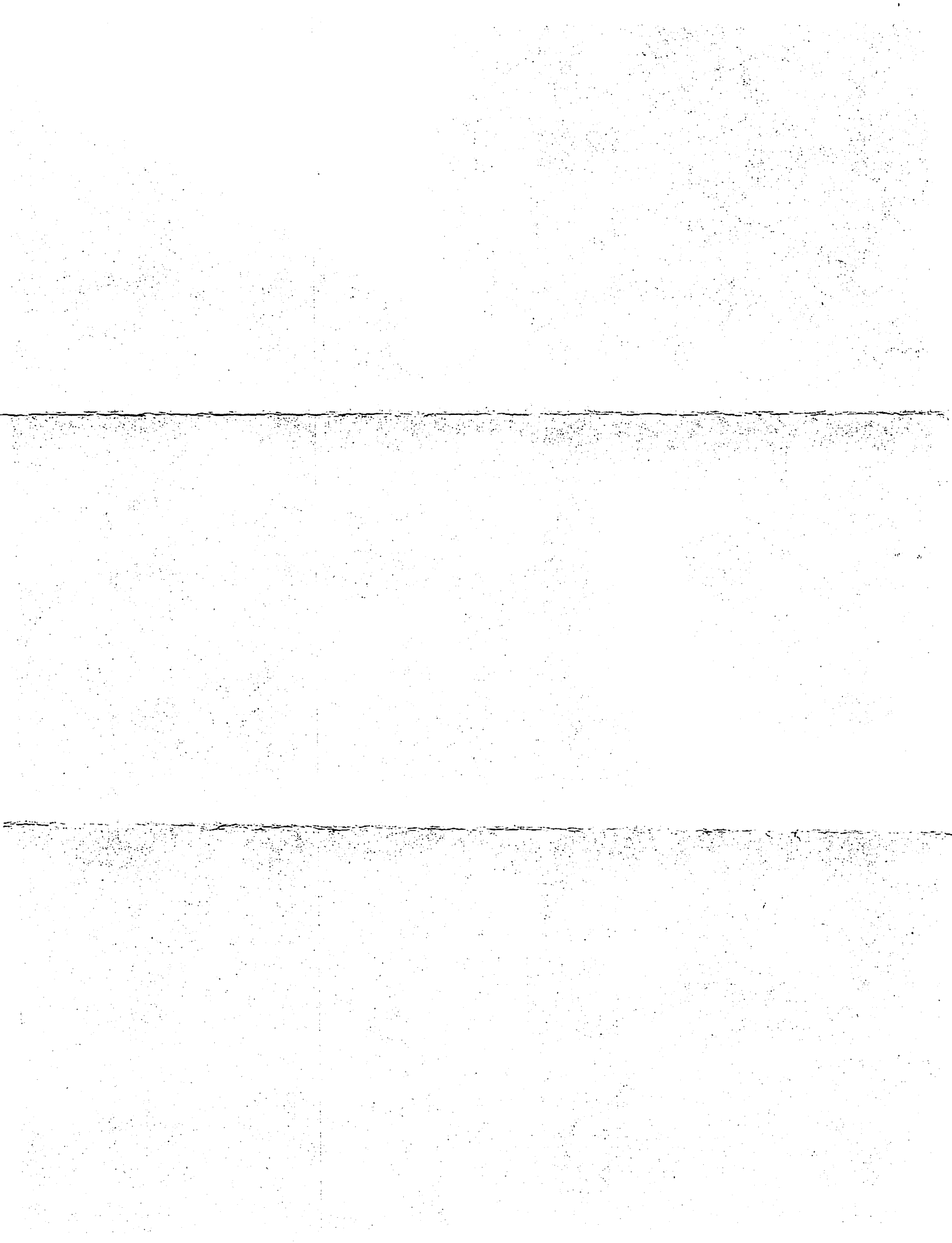
20 Haymore St.

BZA-011756-2016

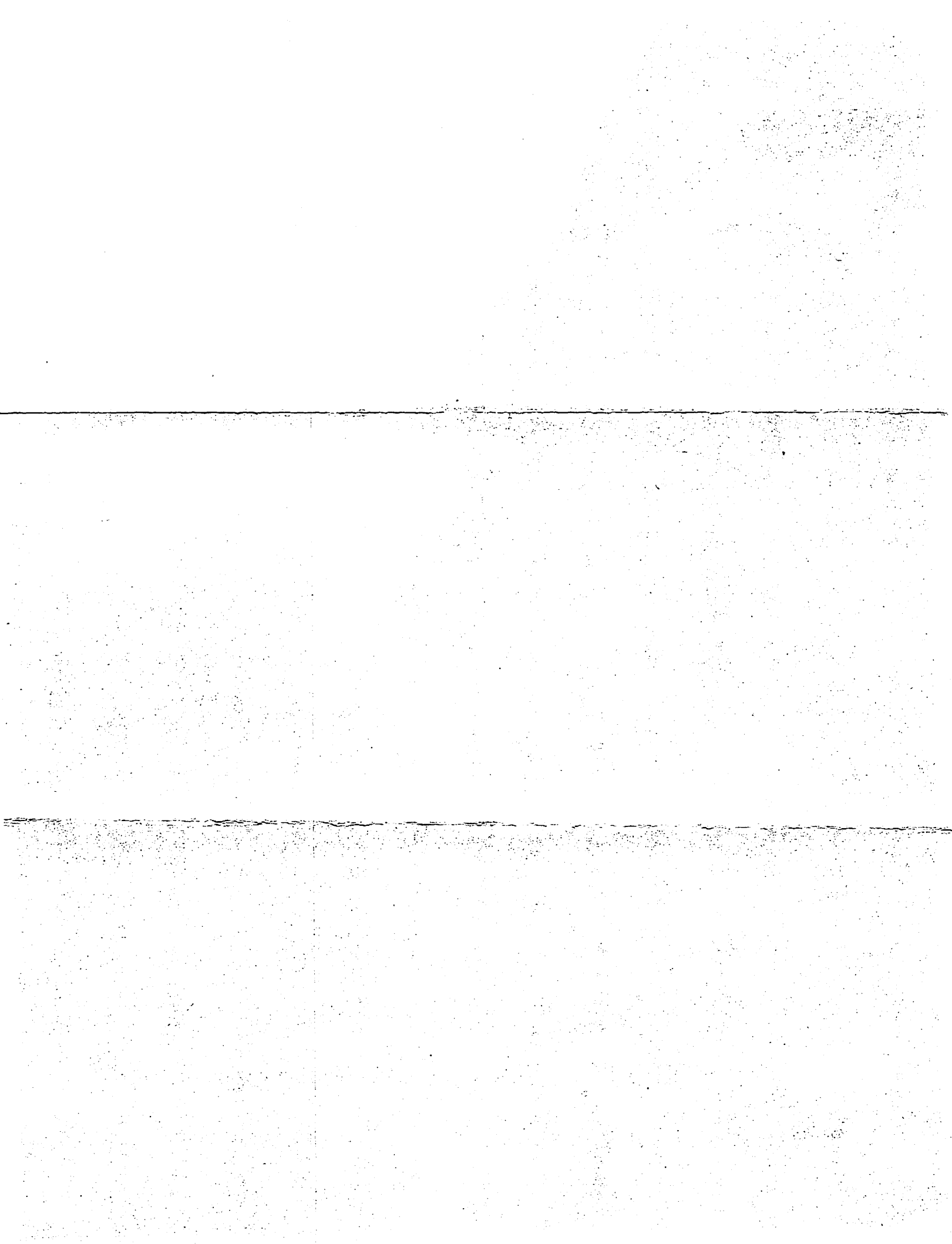


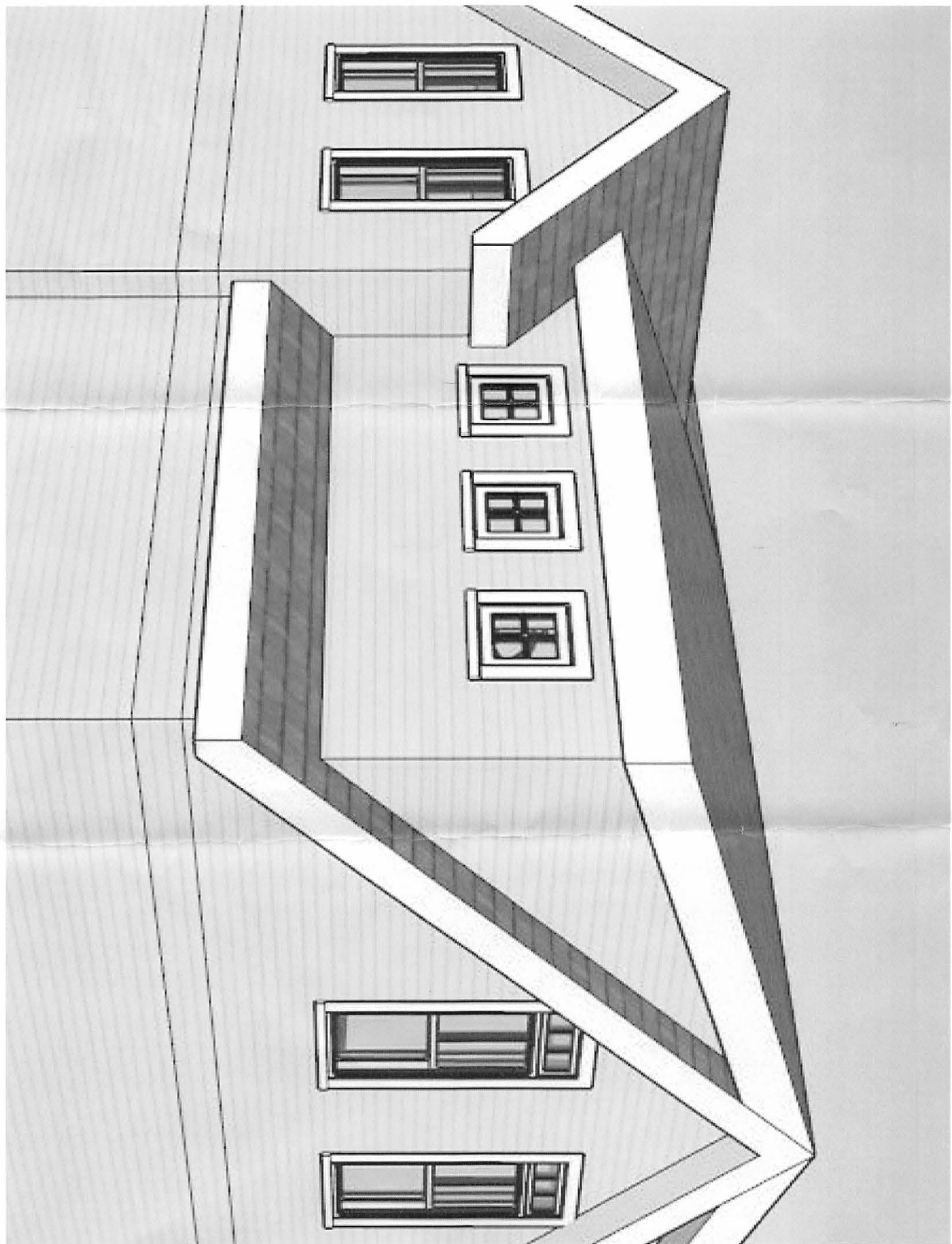












# Hayward Residence

20 Traymore Road - Cambridge, MA  
Permit Set - October 2016

**ARCHITECT:**  
MICHAEL KIM ASSOCIATES  
1 Holden Street  
Brookline, MA 02445  
Tel: (617) 739-6925  
CONTACT: Michael Kim

**CLIENT:**  
NEIL & GERRI HAYWARD  
20 Traymore Road  
Cambridge, MA 02467  
Tel: (617) 717-9969  
CONTACT: Neil Hayward

**DRAWING INDEX:**

A0.0	PROJECT INFORMATION
A0.1	DEMOLITION PLANS
A0.2	DEMOLITION ELEVATIONS
A1.0	PROPOSED SCHEDULE & PLAN
A2.0	PROPOSED ELEVATIONS
A3.0	LIGHTING PLAN

**ZONING ANALYSIS**

**PROPERTY DATA**

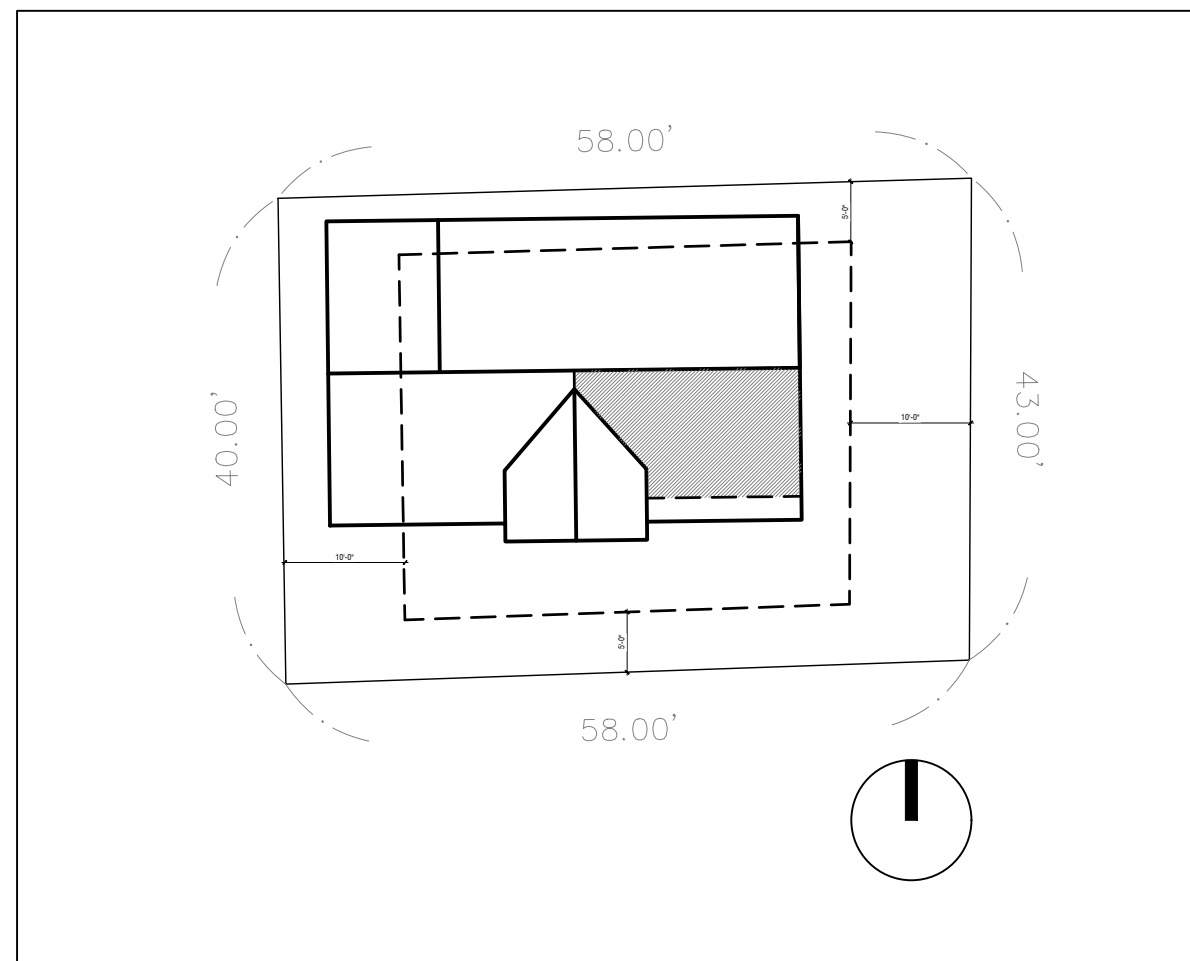
Address: 20 Traymore St.  
Parcel ID: 151-41  
Zoning District: C-1  
Occupancy: Multi Family Residence  
Year Built: 1903 (+/-)

**FLOOR AREA:**

Land Area:	2,517 sf	
F.A.R. - Maximum	.75	
Finished Area - Current:	2,520 sf	
F.A.R. - Current:	1.0	
Finished Area - Proposed	2,575 sf	[CONFORMING]
F.A.R. - Proposed	1.02	[CONFORMING]

**DIMENSIONAL REQUIREMENTS:**

Lot size - Minimum:	1,800 sf	
Lot size - Actual	2,517 sf	[CONFORMING]
Height - Maximum	35 ft.	
Height - Actual (prop. unchanged)	33 ft. +/-	[CONFORMING]
Frontage - Minimum	n/r	
Frontage - Actual (prop. unchanged)	40'-5 3/4" ft.	[CONFORMING]
Front Yard - Minimum	10 ft.	
Front Yard - Actual (prop. unchanged)	4 ft.	[CONFORMING]
Side Yard N. - Minimum	5 ft.	
Side Yard N. - Actual (prop. unchanged)	2.5 ft.	[CONFORMING]
Side Yard S. - Minimum	5 ft.	
Side Yard S. - Actual (prop. unchanged)	11 ft.	[CONFORMING]
Rear Yard - Minimum	10 ft.	
Rear Yard - Actual (prop. unchanged)	14 ft.	[CONFORMING]



1 Site Plan  
1/16" = 1'-0"

**GRAPHIC SYMBOLS**

- LEVEL LINE, CONTROL OR DATUM ELEVATION
- REVISION NUMBER
- PARTITION TYPE
- WINDOW TYPE
- DOOR TYPE
- BUILDING SECTION REFERENCE DRAWING NUMBER
- WALL SECTION REFERENCE DRAWING NUMBER
- SECTION DETAIL REFERENCE DRAWING NUMBER
- PLAN DETAIL REFERENCE DRAWING NUMBER
- ELEVATION KEY

**MATERIAL INDICATIONS**

- CONCRETE CONCRETE SAND MORTAR
- MASONRY BRICK CONCRETE MASONRY UNIT
- METAL STEEL/IRON ALUMINUM
- WOOD INTERMEDIATE BLOCKING CONTINUOUS BLOCKING
- PLYWOOD FINISH
- INSULATION BATT/ LOOSE FILL RIGID
- FIRE SAFING
- FINISHES GYPSUM WALL BOARD ACOUSTICAL TILE

**GENERAL NOTES:**

1. Contractor shall verify all dimensions and notify Architect of any discrepancies ambiguities, or inconsistencies prior to proceeding with the work.
2. Stairways
  - a.) Req'd stairways shall not be less than 3'-0" in clear width. Max rise shall be 8 1/4", min. run shall be 10" with nosing not exceeding 1 1/4", min. headroom shall be 6'-6."
  - b.) Handrails shall be located, in each stairway with more than 3 risers, at a height of 30" min. & 38" max. measured vertically from the nosing of the treads. Max clear opening between balusters/rails shall not exceed 4".
3. Window sizes shown within are based generically.
  - a.) Glazing closer than 18" to the floor and exceeding 6 square feet in area must be tempered.
  - b.) Glazing closer than 24" to a door must be tempered.
4. Bearing plates shall match or exceed the width of all beams that bear upon them.
5. Dimensions standards used within the documents are as follow, unless otherwise noted:
  - a.) Exterior dimensioning at building corners represent an outside of stud dimension.
  - b.) Interior dimensioning at stairs represent a dimension to the finished face of the stair.
6. Structural Headers & Beams shall bear on the following:
  - a.) Laminated Veneer Lumber (lvl) products specified within are sized for Micro=Lam Brand, LVLs shall be handled and installed in strict accordance with the manufacturers specifications,
7. All ductwork and hot water piping shall be insulated per state of Massachusetts's Building & Energy Codes



**HAYWARD RESIDENCE**  
20 Traymore Road  
Cambridge, MA 02445

michael kim | associates  
1 Holden Street #3, Brookline, MA 02445 T 617.739.6925  
mkim@mkimarchitecture.com www.mkimarchitecture.com

NO.	DATE	DESCRIPTION
2	10/19/16	Permit Set
1	09/28/16	Pricing Set

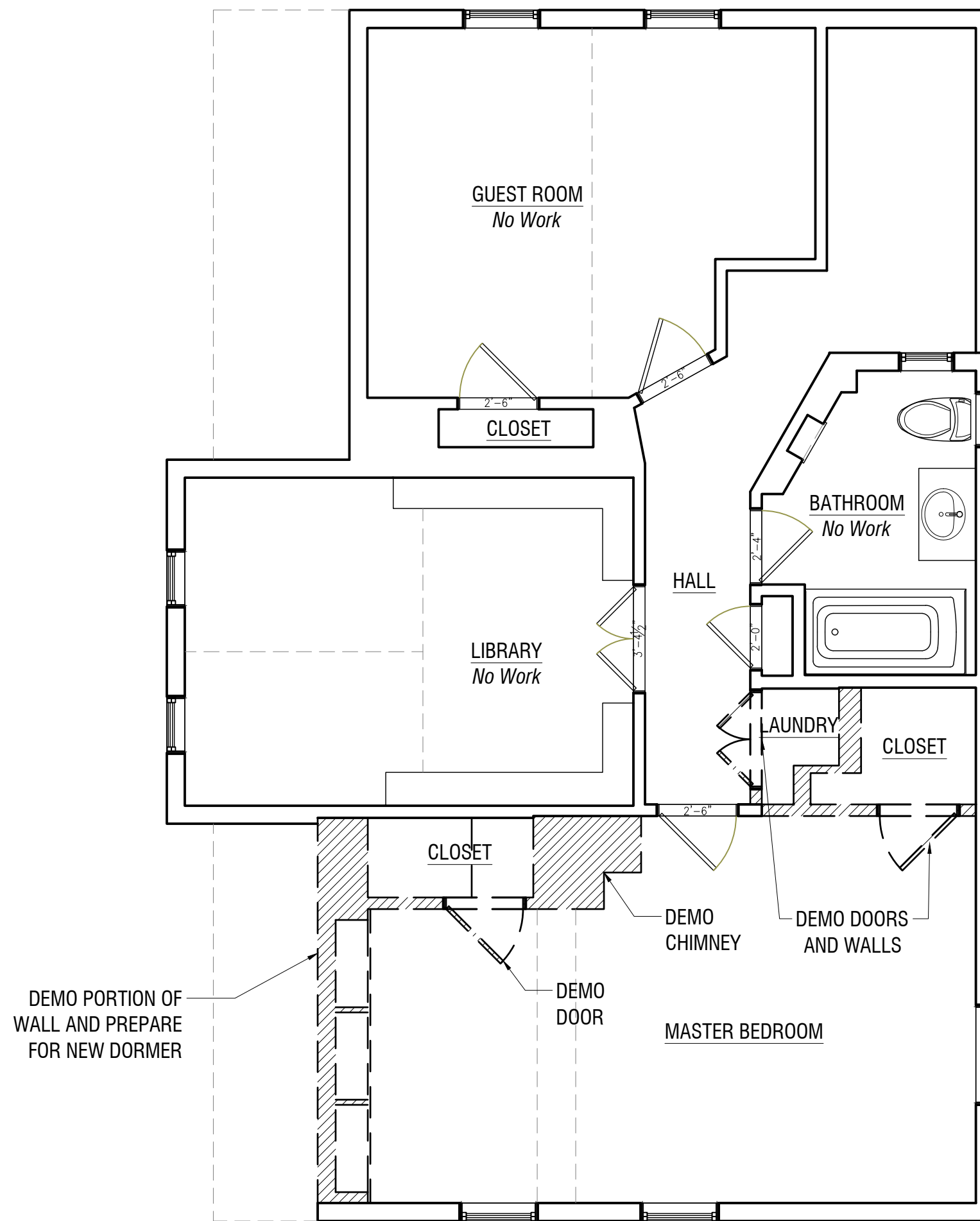
**REVISIONS**

Date Issued: August 26, 2016  
Drawing Scale: As Noted  
**COVER**

**A0.0**



1  
3"=1'  
SCALE  
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1-1/2"=1'  
SCALE  
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1/2"=1'  
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6'  
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3'  
SCALE  
2'  
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1/4"=1'  
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20  
1/8"=1'  
SCALE  
10  
5  
0



EXISTING TO REMAIN  
EXISTING TO DEMOLISHED

1 Attic Demo Plan  
1/4" = 1'-0"



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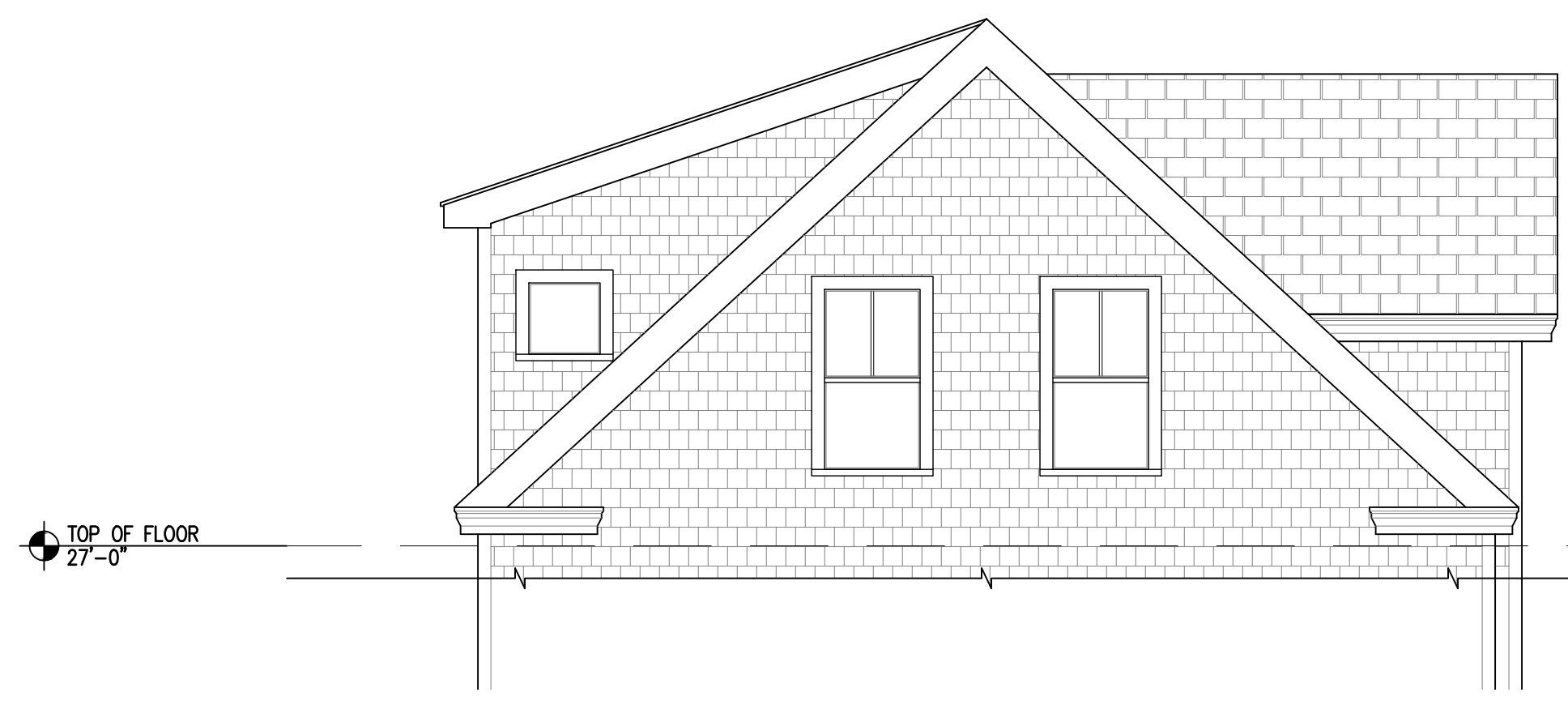
michaelkim | associates  
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mkim@mkimarchitecture.com www.mkimarchitecture.com

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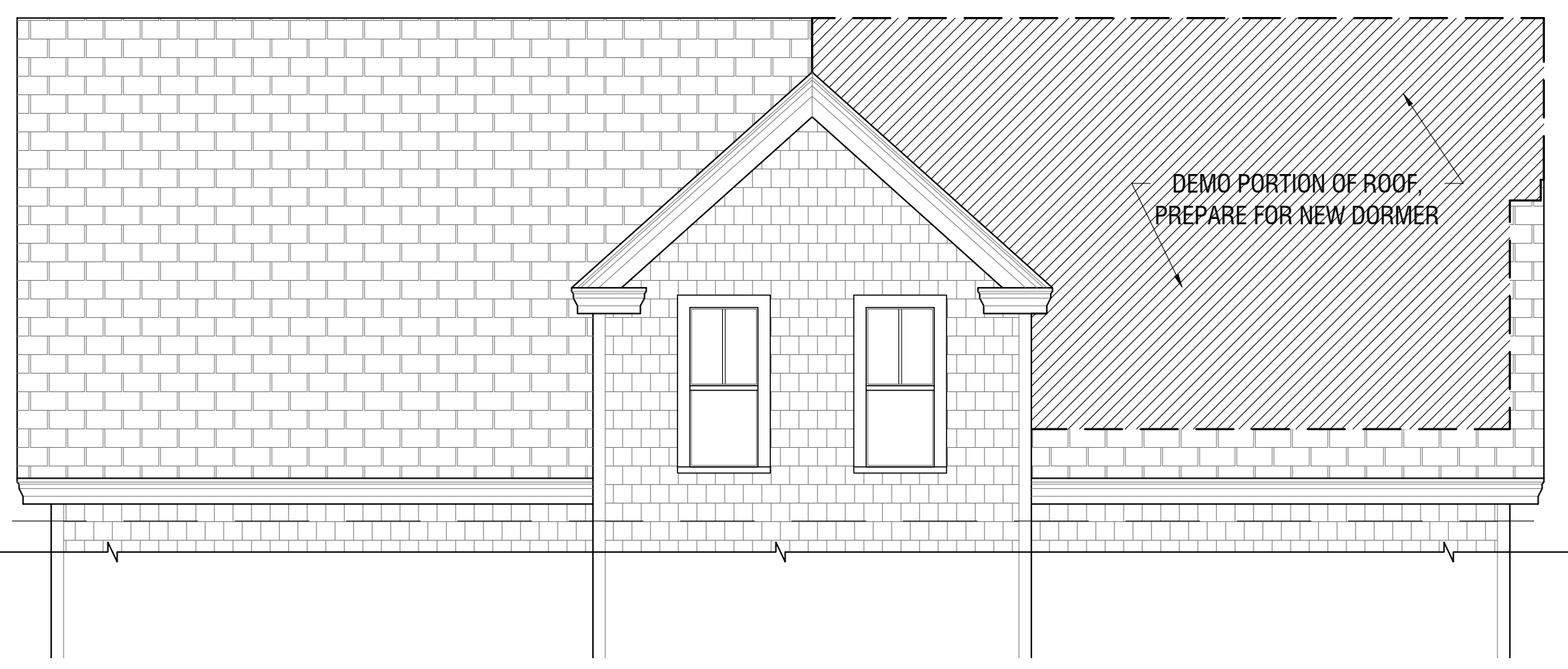
Date Issued: August 26, 2016
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<b>DEMOLITION PLAN</b>

A0.1

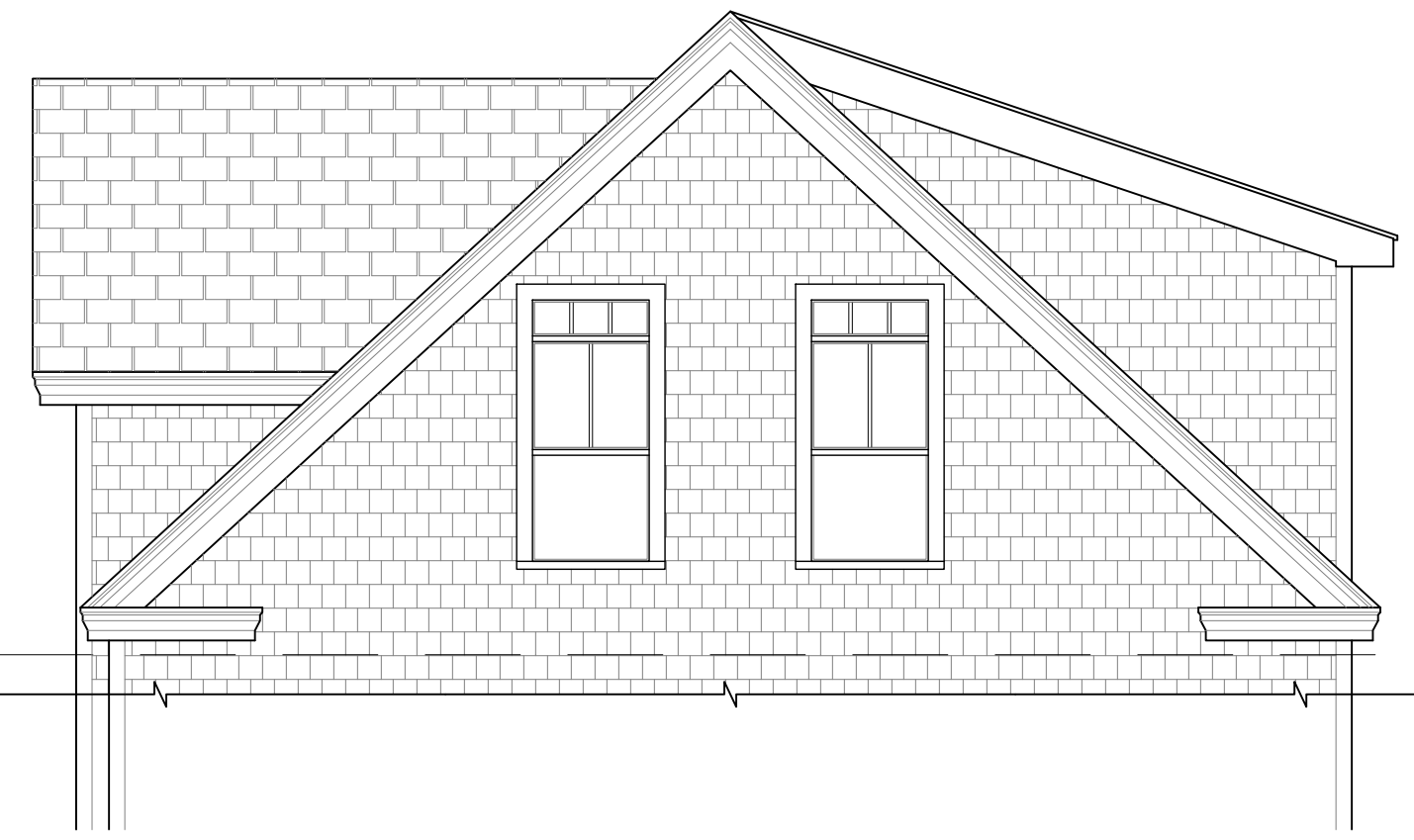
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1/2"=1'  
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12 0  
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SCALE  
20  
1/8"=1'  
SCALE  
10  
5  
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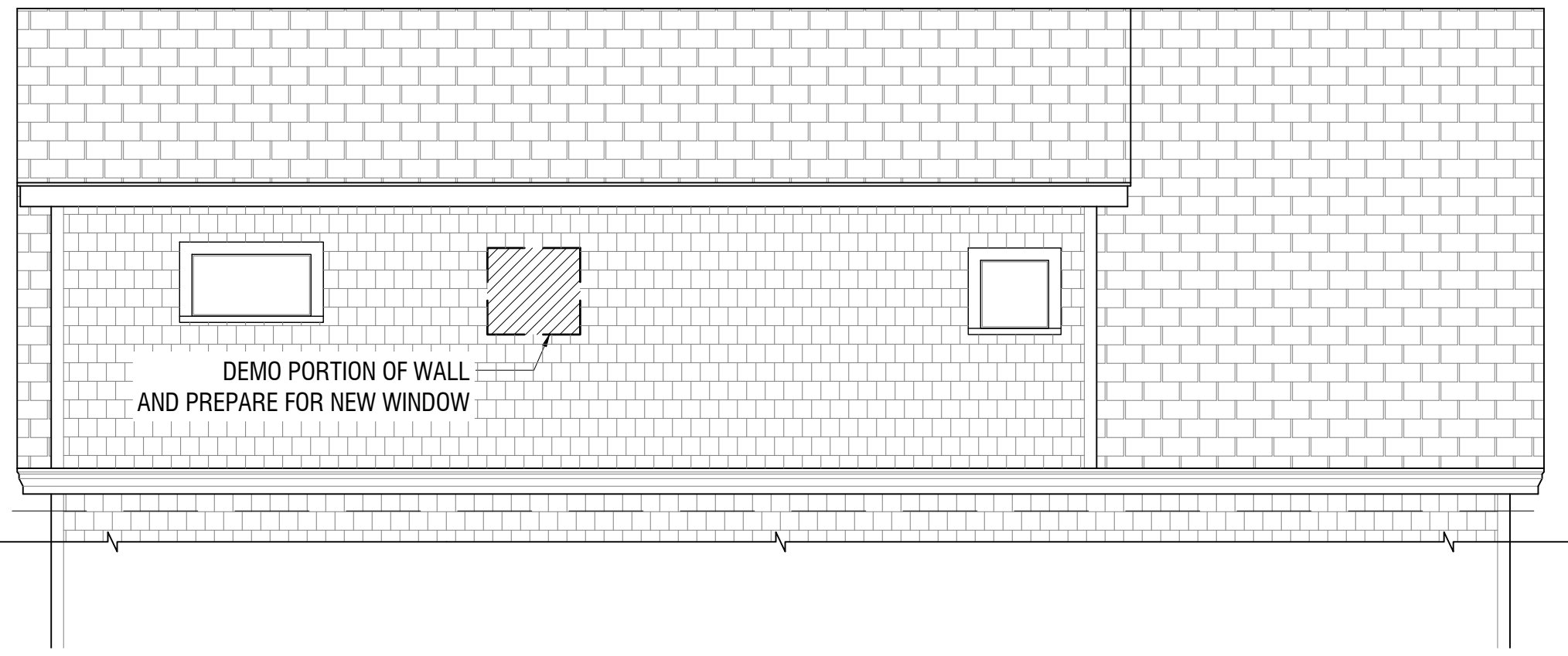
1 Front Demo Elevation  
1/4" = 1'-0"



2 Right Demo Elevation  
1/4" = 1'-0"



3 Rear Demo Elevation  
1/4" = 1'-0"



4 Left Demo Elevation  
1/4" = 1'-0"



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**DEMOLITION ELEVATIONS**

A0.2

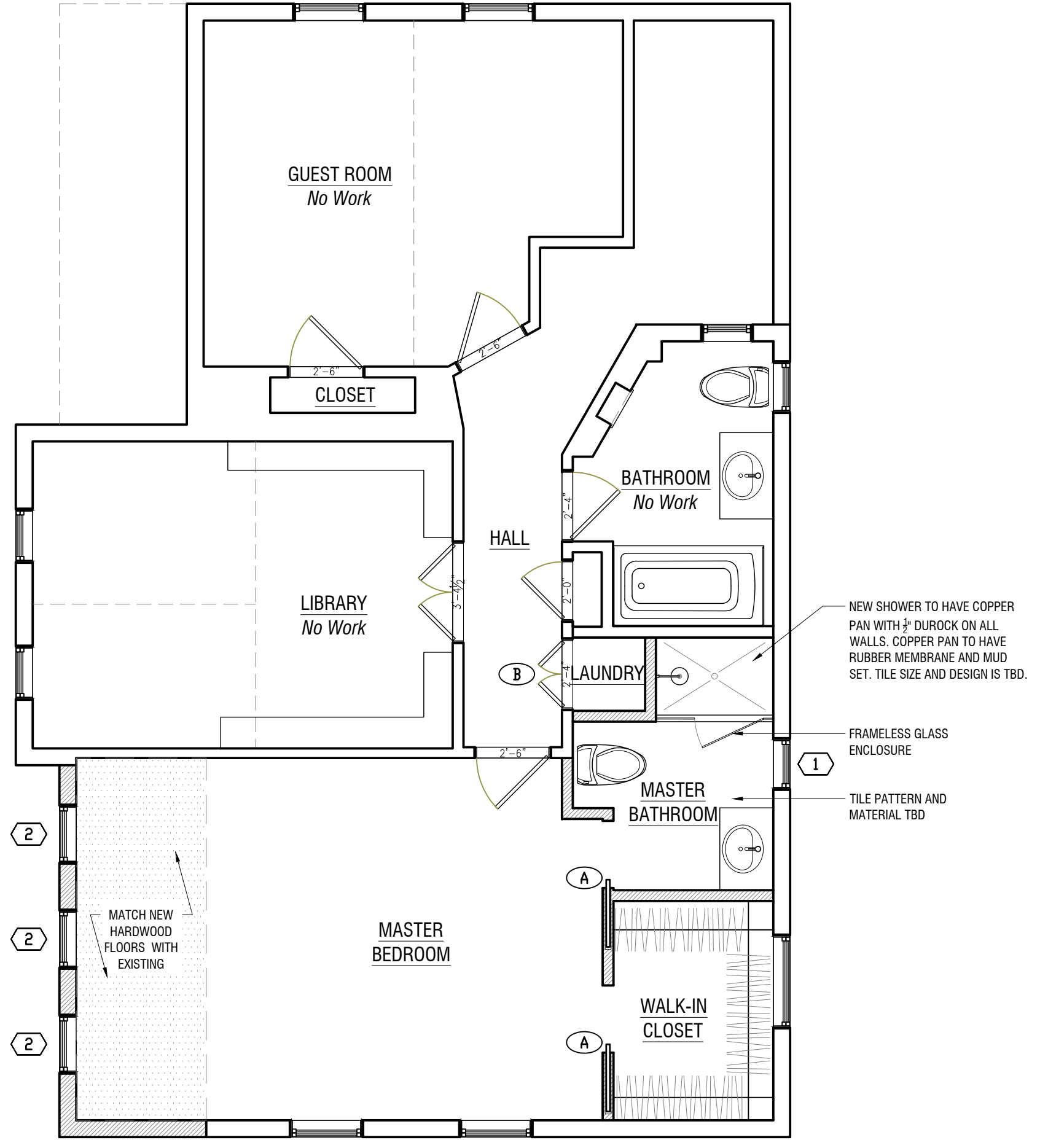
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3"=1'  
SCALE  
2 0  
1-1/2"=1'  
SCALE  
1  
6' 0  
1/2"=1'  
SCALE  
3'  
2'  
1'  
SCALE  
12 0  
1/4"=1'  
SCALE  
8  
4  
2  
SCALE  
20  
1/8"=1'  
SCALE  
10  
5  
0

DOOR SCHEDULE					
TAG:	MANUFACTURER/SERIES:	TYPE:	QTY:	SIZE:	NOTES:
(A)	Wood Door	Interior / Pocket	2	2'-4" x 6'-8"	Horizontal equal 6-panel, primed, to match existing
(B)	Wood French Door	Interior / Hinged	1	2'-4" x 6'-8"	Horizontal equal 6-panel, primed, to match existing

WINDOW SCHEDULE					
TAG:	MANUFACTURER/SERIES:	TYPE:	QTY:	UNIT SIZE:	NOTES:
(1)	TBD	Awning	1	1'-10" x 1'-10"	Model # TBD
(2)	TBD	Awning	3	2'-0" x 2'-0"	Model # TBD

**NOTE:**  
- Contractor to field verify all window measurements

**1** Proposed Door & Window Schedule  
1/4" = 1'-0"



**2** Proposed Attic Plan  
1/4" = 1'-0"

EXISTING WALL  
PROPOSED WALL



**HAYWARD RESIDENCE**  
20 Traymore Road  
Cambridge, MA 02445

michaelkim | associates  
1 Holden Street #3, Brookline, MA 02445 T 617.739.6925  
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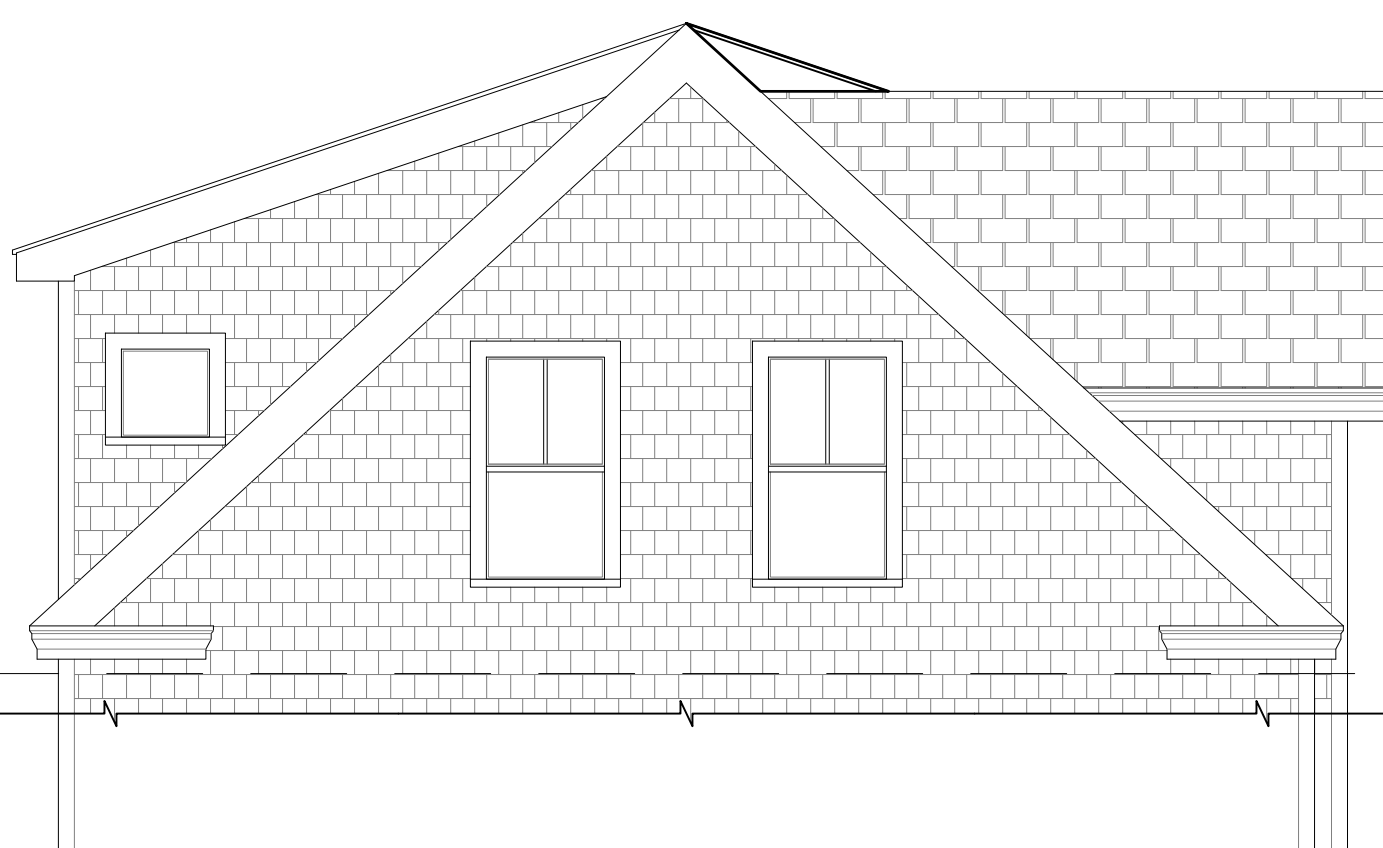
NO.	DATE	DESCRIPTION
2	10/19/16	Permit Set
1	09/28/16	Pricing Set

REVISIONS

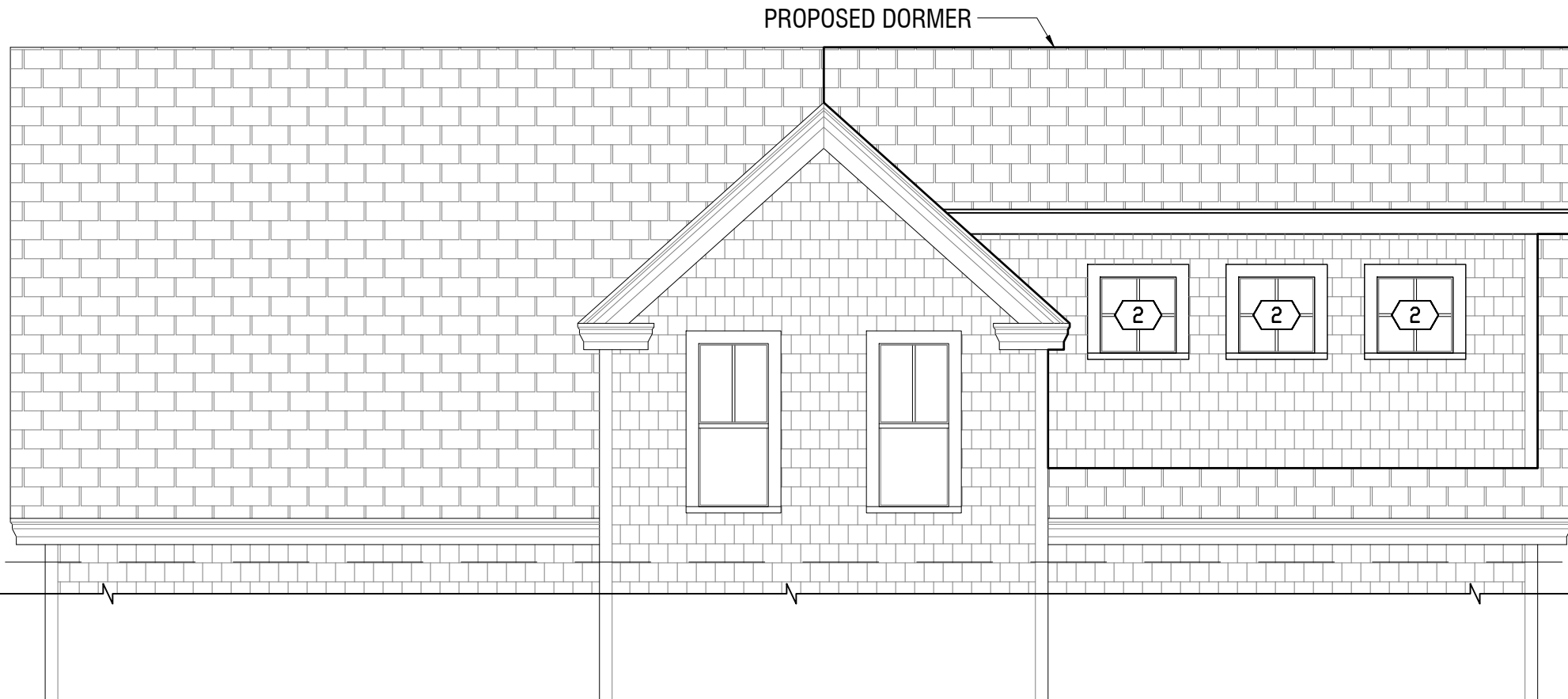
Date Issued: August 26, 2016  
Drawing Scale: As Noted  
**PROPOSED SCHEDULE & PLAN**

A1.0

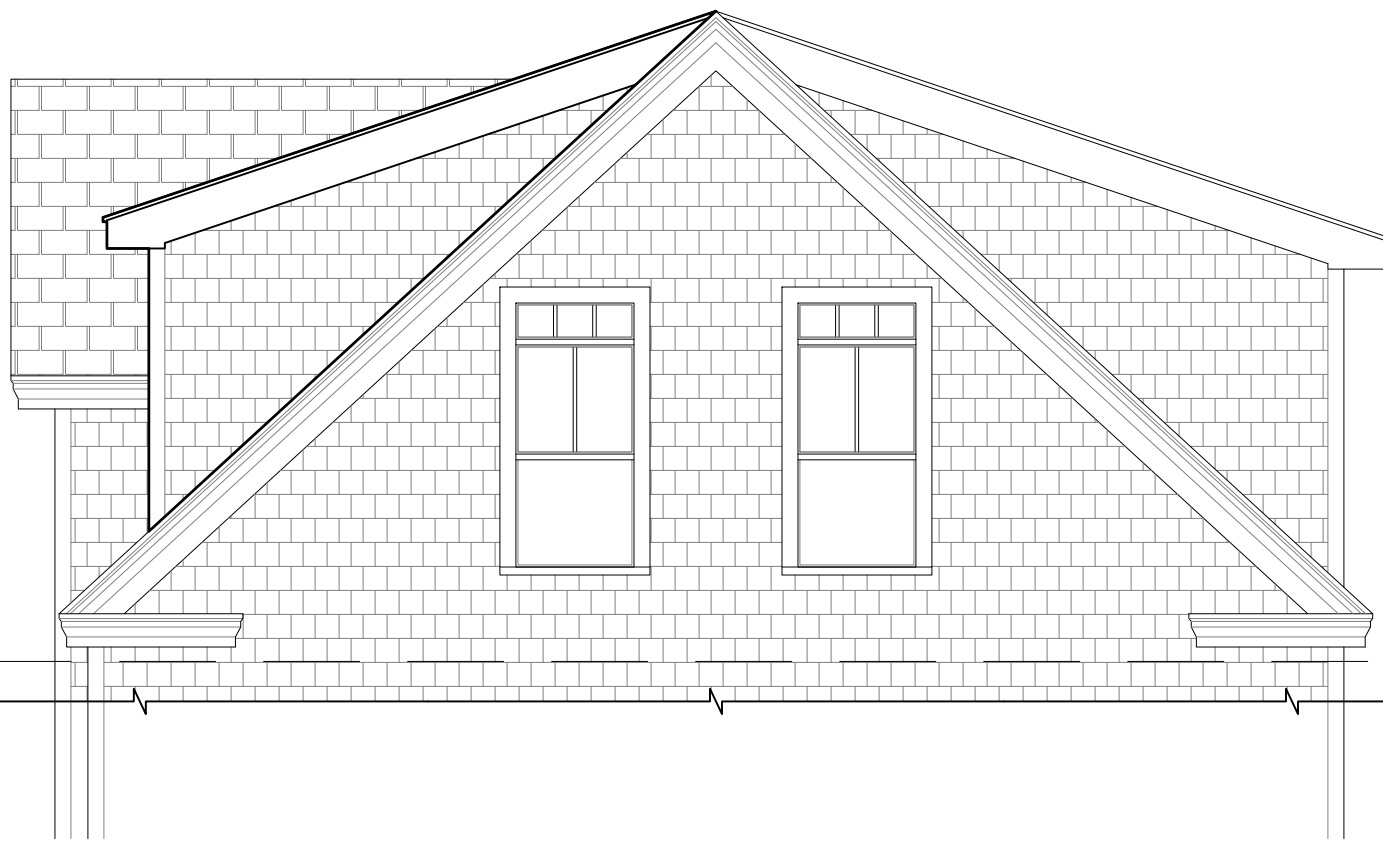
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3"=1"  
SCALE  
 2 0  
1-1/2"=1"  
SCALE  
 1  
6' 0  
1/2"=1"  
SCALE  
 3'  
2'  
1'  
12 0  
1/4"=1"  
SCALE  
 8  
4  
TOP OF FLOOR  
27'-0"  
SCALE  
 20  
1/8"=1"  
SCALE  
 10  
5  
0



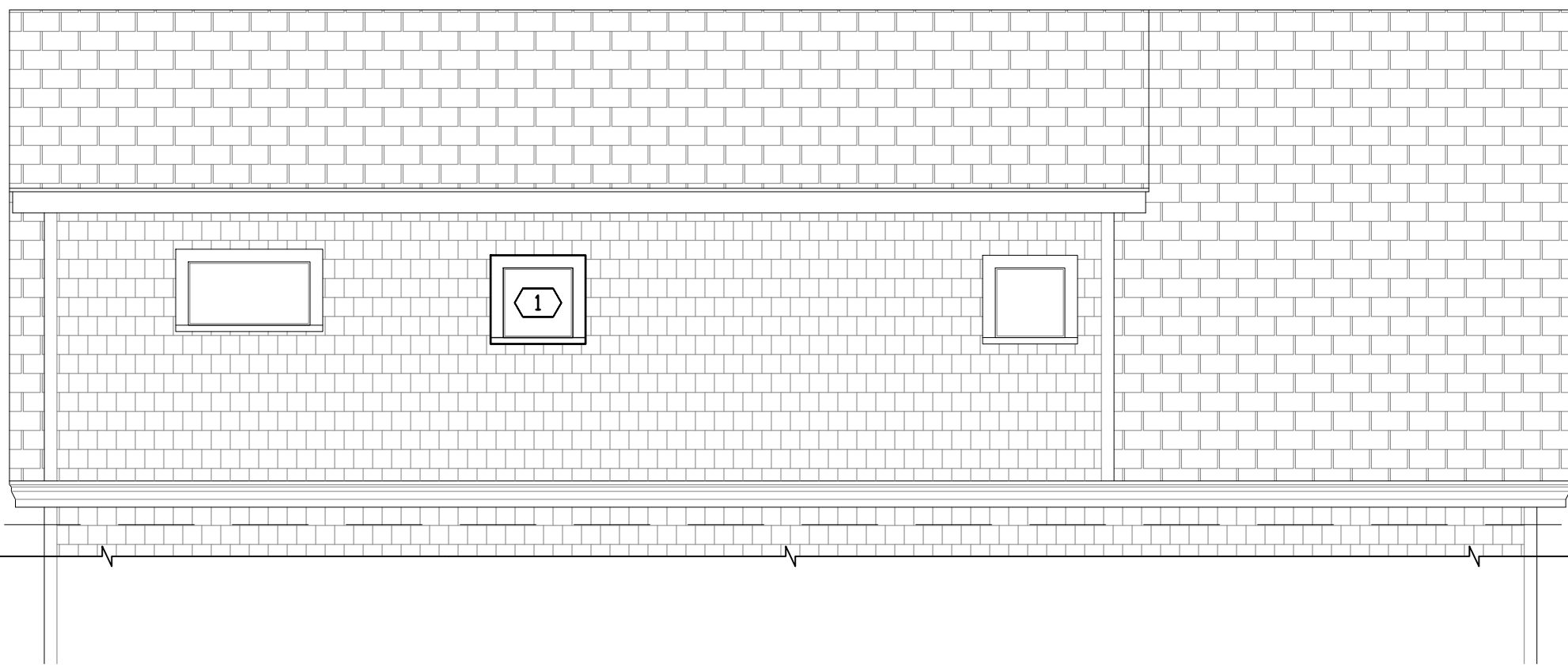
1 Front Proposed Elevation  
1/4" = 1'-0"



2 Right Proposed Elevation  
1/4" = 1'-0"



3 Rear Proposed Elevation  
1/4" = 1'-0"



4 Left Proposed Elevation  
1/4" = 1'-0"



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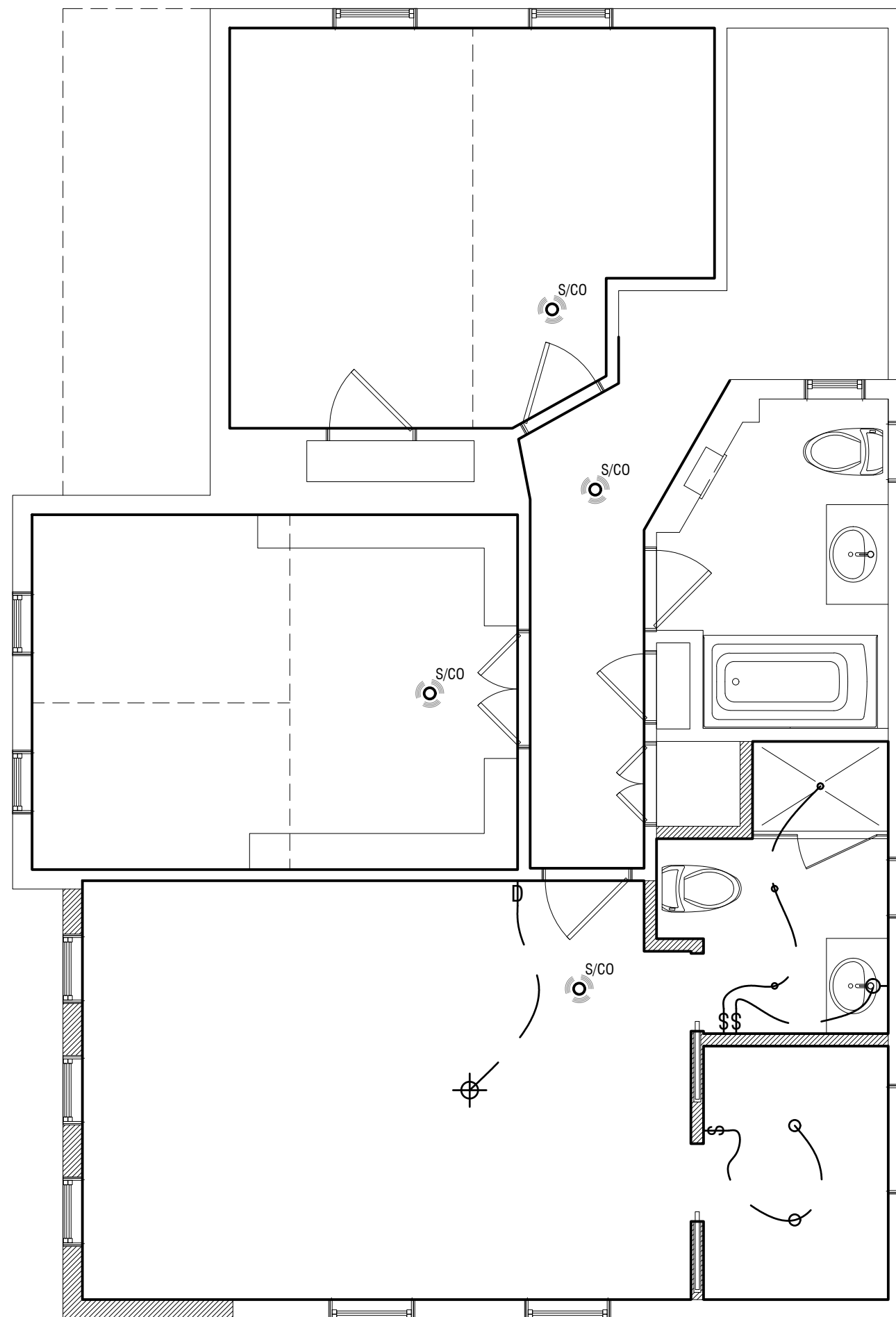
michaelkim | associates  
 1 Holden Street #3, Brookline, MA 02445 T 617.739.6925  
 mkim@mkimarchitecture.com www.mkimarchitecture.com

2	10/19/16	Permit Set
1	09/28/16	Pricing Set
REVISIONS		

Date Issued: August 26, 2016  
 Drawing Scale: As Noted  
**PROPOSED ELEVATIONS**

A2.0

NOTES:  
 - HARDWIRED SMOKES TO BE COMPLETED BY OTHERS



**1** Proposed Lighting Plan  
 1/4" = 1'-0"

**LIFE SAFETY KEY:**

HEAT DETECTOR  
 SMOKE AND CARBON MONOXIDE DETECTOR

NOTE: SMOKE/CO2/HEAT DETECTORS SHOWN ARE DESIGNED LOCATIONS ONLY. LICENSED PROFESSIONAL RESPONSIBLE FOR PROVIDING LAYOUT TO MEET CODE.

**RCP, POWER & LIGHTING PLAN KEY:**

LIGHT SWITCH  
 LIGHT SWITCH (DIMMER)

**LIGHTOLIER LYTECASTER W/ L.E.D. LAMPS TRIM, BAFFLE, CONE T.B.D.**

LT-1 ○ 5" RECESSED DOWNLIGHT  
 LT-1w ○ 5" RECESSED DOWNLIGHT (WET LOCATION)  
 LT-2 ◑ 5" RECESSED DOWNLIGHT (DIRECTIONAL)  
 ET-3 ○ 2" RECESSED MR-16 DOWNLIGHT  
 LT-3w ○ 2" RECESSED MR-16 DOWNLIGHT (WET LOCATION)  
 LT-4 ⊕ CEILING-MOUNTED PENDANT (FBO)  
 LT-5 ○ WALL-MOUNTED SCONCE (FBO)  
 LT-6 — FLUORESCENT LIGHT  
 LT-7 ⊙ EXT. WALL-MOUNTED SCONCE (FBO)

NOTE: OUTLETS SHOWN ARE DESIGNED LOCATIONS ONLY. ELECTRICIAN RESPONSIBLE FOR PROVIDING OUTLET LAYOUT TO MEET CODE.

1  
3"=1'  
SCALE  
2 0  
1-1/2"=1'  
SCALE  
1 0  
1/2"=1'  
SCALE  
6' 0  
3'  
SCALE  
2' 0  
1'  
SCALE  
12 0  
1/4"=1'  
SCALE  
8  
4  
SCALE  
2 0  
1/8"=1'  
SCALE  
20  
10  
5  
SCALE



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NO.	DATE	DESCRIPTION
2	10/19/16	Permit Set
1	09/28/16	Pricing Set

REVISIONS

Date Issued: August 26, 2016  
 Drawing Scale: As Noted

**PROPOSED LIGHTING PLANS**

A3.0





