



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 MAY 25 PM 3:01

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 120388

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: CPI/Brickman BSS Owner, LLC C/O Johanna Schneider, Esq.

PETITIONER'S ADDRESS: Hemenway & Barnes LLP, Boston, MA 02109

LOCATION OF PROPERTY: 237 Putnam Ave., Cambridge, MA

TYPE OF OCCUPANCY: Office / Lab / R&D

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Enclose existing bridge in between 2 buildings/

DESCRIPTION OF PETITIONER'S PROPOSAL:

The Applicant seeks to enclose an existing 10'x20' open pedestrian walkway that connects the third floor of 237 Putnam Avenue to the third floor of 21 Blackstone Street. The owner wishes to enclose the walkway for the convenience and safety of employee crossing between the buildings, particularly in inclement and winter weather.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).

Article: 4.000 Section: 4.34 (Office and Laboratory Use).

Article: 10.000 Section: 10.30 (Variance).

Original
Signature(s):

Johanna Schneider

(Petitioner (s) / Owner)

Johanna Schneider

(Print Name)

Address:

Tel. No. (617) 227-7940

E-Mail Address: jschneider@hembar.com

Date: 5/21/21

BZA APPLICATION FORM - OWNERSHIP INFORMATION

*To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.*

I/We CPI/Brickman BSS Owner, LLC
(OWNER)

Address: 280 Park Ave. New York, NY 10017


State that I/We own the property located at 237 Putnam Ave. Cambridge, MA,
which is the subject of this zoning application.

The record title of this property is in the name of _____

*Pursuant to a deed of duly recorded in the date 6/18/2019, Middlesex South
County Registry of Deeds at Book 72787, Page 192; or

Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____



SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Suffolk

The above-name Daniel Yaccarino personally appeared before me,
this 30th of April, 2021, and made oath that the above statement is true.


Sveta Y. Bartsch Notary

My commission expires 10/14/2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.



SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Currently, the owner is negotiating to lease the space on either side of the pedestrian walkway to a single tenant. Creation of the proposed 200 square foot enclosed area will allow employees of the tenant to travel more safely between their leased premises. Denial of the requested relief will create a practical hardship for employees seeking to move safely and comfortably in their space. It also will create a financial hardship for the owner, by limiting the types and sizes of tenants it is able to attract for the property.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The existing structures on the property have existed since the late 1800s/early 1900s and were rendered nonconforming with respect to use and dimensions as a product of rezoning in 1999. Additionally, the structures are subject to a City of Cambridge Landmark designation, which limits the owner's ability to make changes to the exterior of the buildings. These unique constraints make it impossible to provide any sort of enclosed pedestrian connection between tenanted space in 237 Putnam Avenue and 21 Blackstone Street without zoning relief.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The owner seeks to enclose an existing 10'x20' outdoor pedestrian walkway to enhance the safety, comfort, and convenience of building tenants. It will not be visible from any public way. The proposed enclosure will have no impact whatsoever on the public good, but will materially improve conditions for employees who work in the building.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

This modest proposal adds only 200 square feet to an approximately 83,180 square foot building by enclosing an outdoor pedestrian walkway that has been in use for decades. Consistent with the purposes articulated in Section 1.30 of the Ordinance, the proposed enclosure will promote the safety of building tenants and conserve the value of the buildings by making them more marketable to a variety of different tenants. The proposed relief is entirely in keeping with the purposes of the Ordinance and will neither nullify nor substantially derogate from its stated intent.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

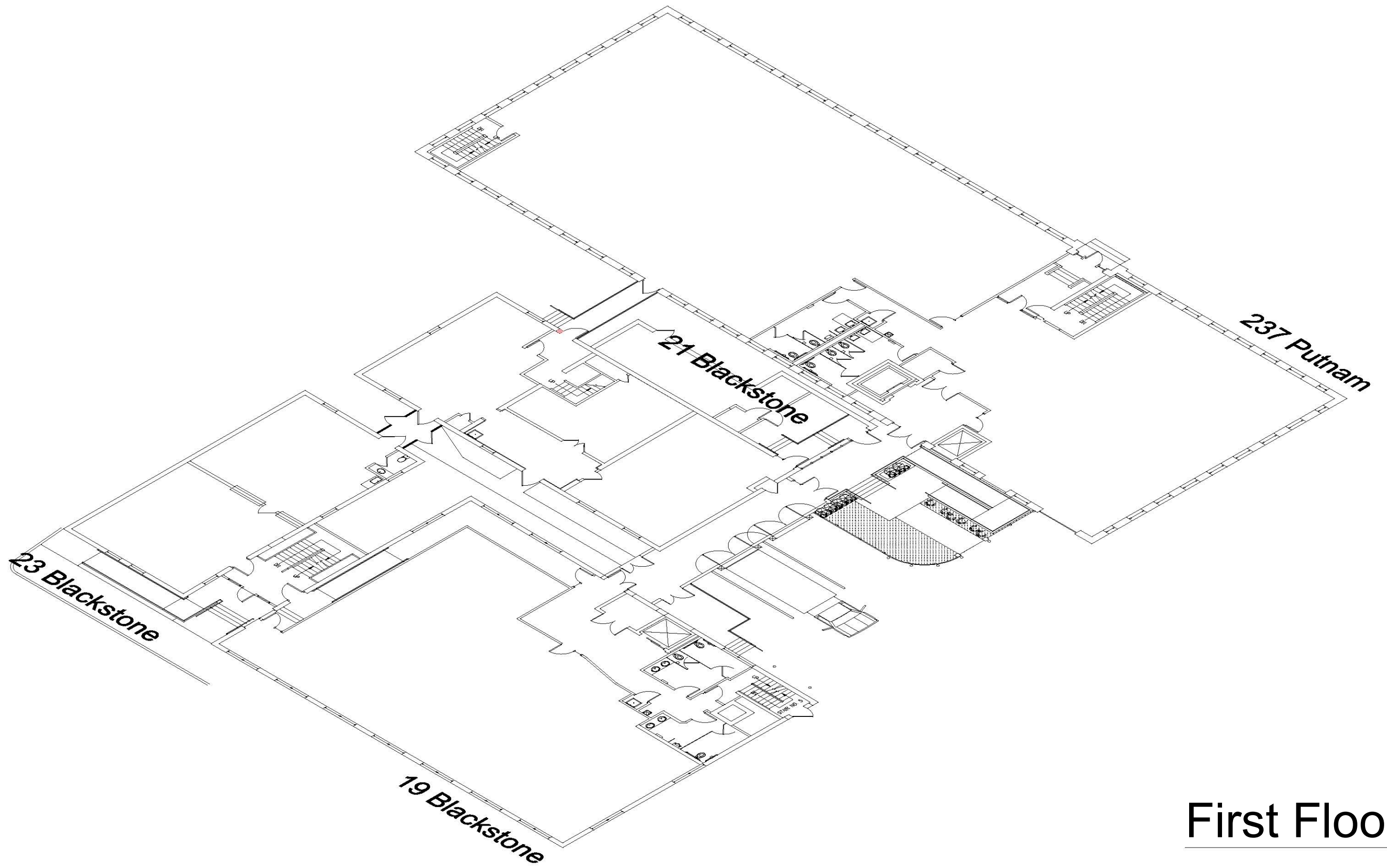
BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** CPI/Brickman BSS Owner, LLC**Present Use/Occupancy:** Office / Lab / R&D**Location:** Hemenway & Barnes LLP**Zone:** Residence C-1 Zone**Phone:** (617) 227-7940**Requested Use/Occupancy:** Office / Lab / R&D

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	83,180	83,390	42,761.25	(max.)
<u>LOT AREA:</u>	57,015	57,015	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	1.46	1.46	0.75	
<u>LOT AREA OF EACH DWELLING UNIT</u>	N/A	N/A	N/A	
<u>SIZE OF LOT:</u>				
WIDTH	293'	293'	50'	
DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	N/A	N/A	42.3'	
REAR	N/A	N/A	N/A	
LEFT SIDE	N/A	N/A	N/A	
RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>				
HEIGHT	37.7'	37.7'	35	
WIDTH	NA	NA	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	NA	NA	30%	
<u>NO. OF DWELLING UNITS:</u>	NA	NA	NA	
<u>NO. OF PARKING SPACES:</u>	82	82	98/196	
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

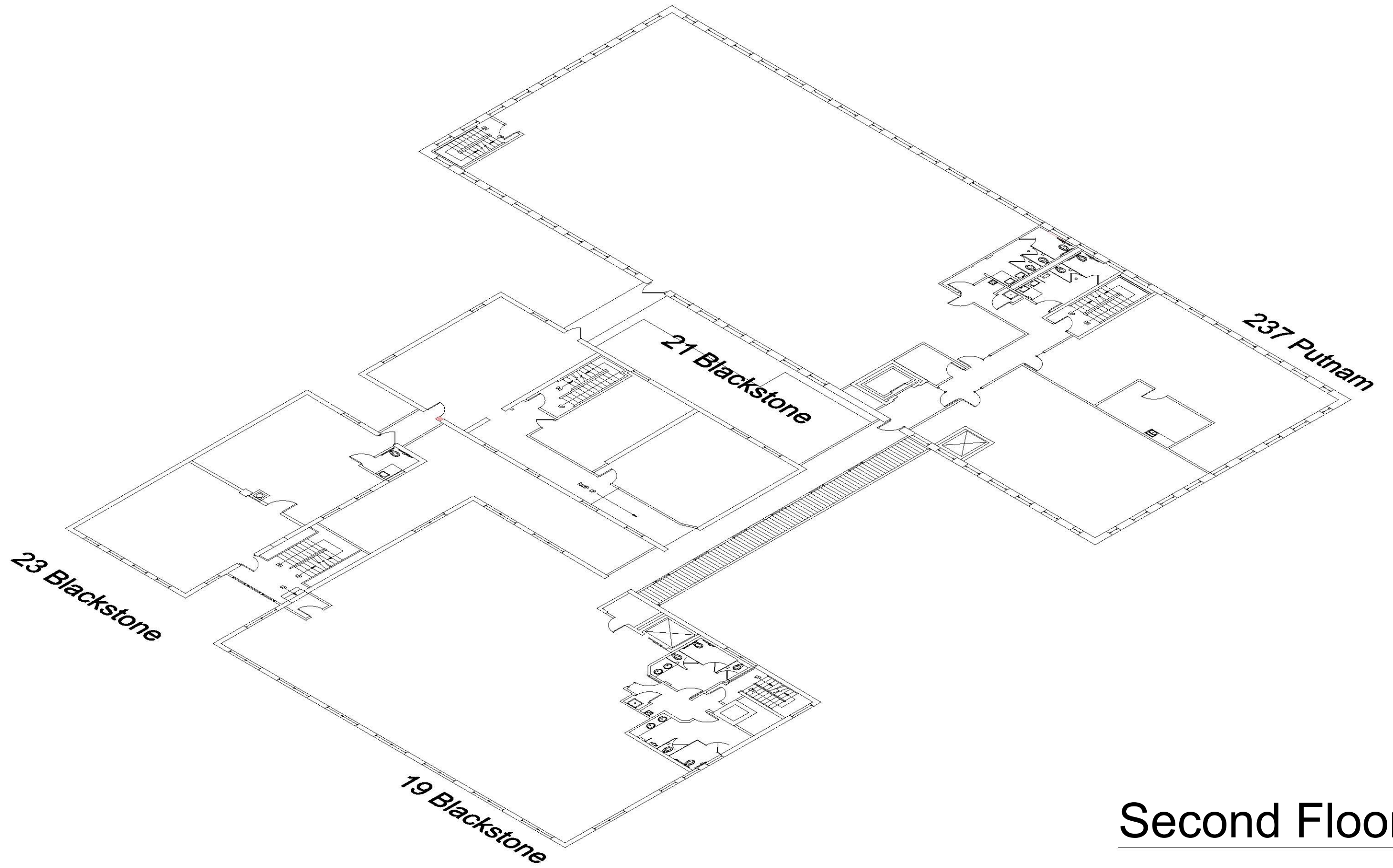
1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form



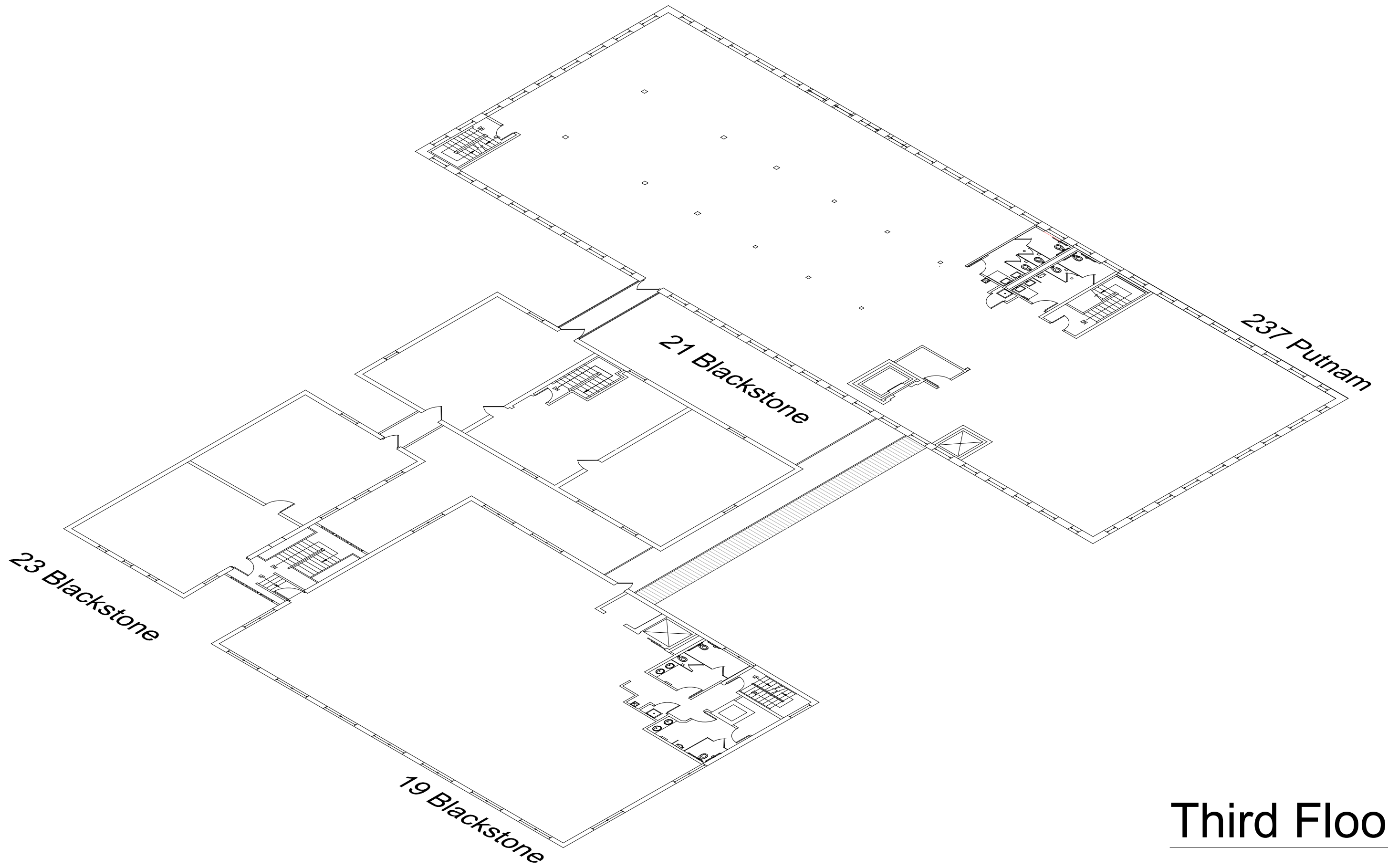
First Floor

BLACKSTONE SQUARE
Cambridge, Massachusetts



Second Floor

BLACKSTONE SQUARE
Cambridge, Massachusetts



Third Floor

BLACKSTONE SQUARE
Cambridge, Massachusetts

- LEGEND:**
- ⑧ SEWER MANHOLE
 - ⑨ DRAIN MANHOLE
 - ⑩ TELEPHONE MANHOLE
 - ⑪ CABLE TV MANHOLE
 - ⑫ ELECTRIC MANHOLE
 - ⑬ WATER MANHOLE
 - ⑭ MANHOLE
 - ⑮ HANDICAP RAMP
 - ⑯ GAS SHUT OFF
 - ⑰ WATER SHUT OFF
 - ⑱ CATCH BASIN
 - ⑲ CATCH BASIN-ROUND
 - ⑳ LIGHT POLE
 - ㉑ UTILITY POLE
 - ㉒ FIRE ALARM
 - ㉓ HYDRANT
 - ㉔ SIGN
 - ㉕ WALK LIGHT
 - ㉖ ELECTRIC HANDHOLE
 - ㉗ SHUT OFF
 - ㉘ BOLLARD
 - ㉙ BITUMINOUS
 - ㉚ CONCRETE
 - ㉛ AIR CONDITIONING UNIT
 - ㉜ GATE POLE
 - ㉝ VERTICAL GRANITE CURB
 - ㉞ OVERHEAD WIRE
 - ㉟ WROUGHT IRON FENCE
 - ㊱ CONCRETE CURB
 - ㊲ CHAIN LINK FENCE
 - ㊳ WOOD FENCE
 - ㊴ SHRUB
 - ㊵ TREE

REFERENCES:

MIDDLESEX COUNTY REGISTRY OF DEEDS

DEED BK 2070 PG. 164
 DEED BK 4435 PG. 566
 DEED BK 8978 PG. 244
 DEED BK 10450 PG. 242
 DEED BK 10632 PG. 142
 DEED BK 12038 PG. 675
 DEED BK 13695 PG. 10
 DEED BK 22926 PG. 5
 DEED BK 23778 PG. 131
 DEED BK 24571 PG. 501
 PLAN BK 14 PLAN 20
 PLAN BK 290 PLAN 9
 PLAN BK 408 PLAN 5
 PLAN 81 OF 1964

MASSACHUSETTS LAND COURT

L.C.C. 8817C
 L.C.C. 9549A
 L.C.C. 9850A
 L.C.C. 18989A
 L.C.C. 30586A

ZONING INFORMATION

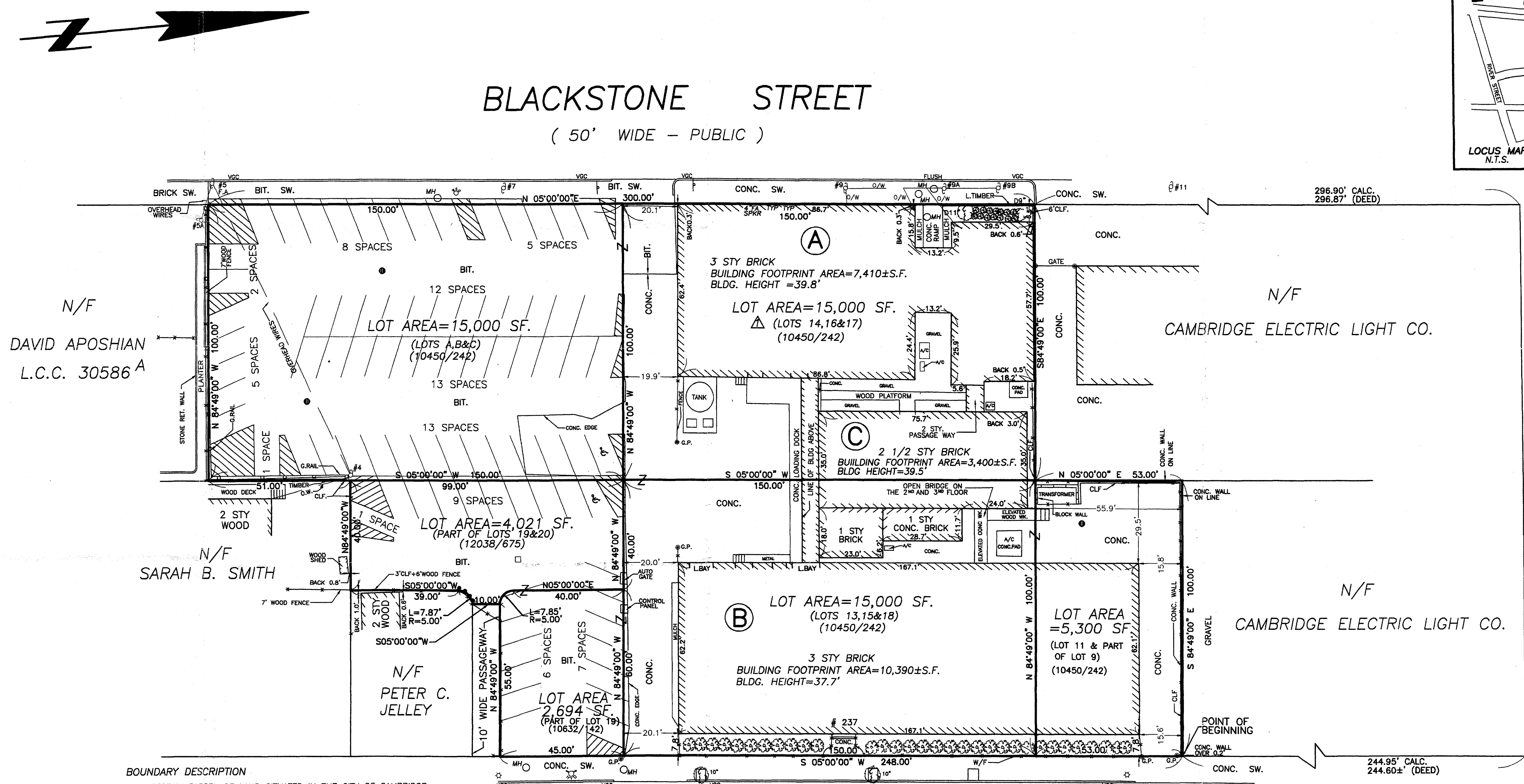
RESIDENCE C-1 ZONING DISTRICT***

MIN. LOT WIDTH 50 FT.
 MIN. LOT AREA 5,000 SQ.FT.
 MAX. RATIO OF FLOOR AREA TO
 LOT AREA 0.75

MINIMUM BLDG. HEIGHT 35'
 MIN. FRONT YARD **BLDG. A $\frac{H+L}{6} = 28.2'$
 BLDG. B $\frac{H+L}{6} = 34.1'$
 MIN. SIDE YARD BLDG. A $\frac{H+L}{7} = 13.9'$
 BLDG. C $\frac{H+L}{7} = 10.6'$
 BLDG. B $\frac{H+L}{7} = 14.3'$

MIN. REAR YARD N/A *
 * FRONT YARD APPLIES
 ** MEASURED FROM THE CENTERLINE OF THE STREET (MUST BE MORE THAN 10 FEET FROM STREET LINE)

*** SEE ORDINANCE #1216



BOUNDARY DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF CAMBRIDGE, COUNTY OF MIDDLESEX, COMMONWEALTH OF MASSACHUSETTS, RECORDED WITH THE MIDDLESEX REGISTRY OF DEEDS IN BOOK 10450 PAGE 242, BOOK 10632 PAGE 142, AND BOOK 12038 PAGE 675.

BEGINNING AT A POINT ON THE WEST SIDE OF PUTNAM AVE., 244.95 FEET SOUTHERLY OF THE SOUTHERLY SIDELINE OF WESTERN AVE., THENCE RUNNING S05°00'00"W, ALONG THE WESTERLY SIDELINE OF PUTNAM AVE., A DISTANCE OF 248.00 TO A POINT;
 THENCE N84°49'00"W, ALONG A 10 FOOT WIDE PASSAGEWAY, A DISTANCE OF 55.00 FEET TO A POINT;
 THENCE S05°00'00"W, ALONG SAID PASSAGEWAY, A DISTANCE OF 10.00 FEET TO A POINT;
 THENCE SOUTHERLY ALONG A CURVE TO THE LEFT WITH A RADIUS OF 5.00 FEET, BY LAND NOW OR FORMERLY OF PETER C. JELLEY, A DISTANCE OF 7.87 FEET TO A POINT OF TANGENCY.
 THENCE S05°00'00"W, BY LAND OF SAID JELLEY, A DISTANCE OF 39.00 FEET TO A POINT;
 THENCE N84°49'00"W, BY LAND NOW OR FORMERLY OF SARAH B. SMITH, A DISTANCE OF 40.00 FEET TO A POINT;
 THENCE S05°00'00"W, BY SAID SMITH, A DISTANCE OF 51.00 FEET TO A POINT;
 THENCE N84°49'00"W, BY LAND NOW OR FORMERLY OF DAVID APOSHIAN, A DISTANCE OF 100.00 FEET TO THE EASTERLY SIDELINE OF BLACKSTONE ST.
 THENCE N05°00'00"E, ALONG SAID EASTERLY SIDELINE OF BLACKSTONE STREET, A DISTANCE OF 300.00 FEET TO A POINT;
 THENCE S84°49'00"E, BY LAND NOW OR FORMERLY OF CAMBRIDGE ELECTRIC

TO: CHICAGO TITLE INSURANCE COMPANY;
 PILOT PUTNAM AVENUE LLC;
 BOSTON PRIVATE BANK & TRUST COMPANY;
 WAINWRIGHT BANK & TRUST COMPANY; AND
 AND SHERIN AND LODGEN LLP

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1992 AND INCLUDES ITEMS 2,3,4,6,7, 8,9,10,11 (A-C),13,14&15 OF TABLE "A" THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA AND ACSM IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN "URBAN" SURVEY.

I CERTIFY THAT THE PARCES SHOWN HEREON LIE WITHIN A ZONE "C", AREA OF MINIMAL FLOODING, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CAMBRIDGE, MASSACHUSETTS, COMMUNITY PANEL NO. 250186 0002 B EFFECTIVE DATE: JULY 5,1982.

I CERTIFY THAT THERE ARE NO GAPS AND GORES BETWEEN THE PARCELS COMPRISING THE SURVEY.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

PARKING SUMMARY
 80 SPACES
 2 HP SPACES
 82 TOTAL SPACES

TOTAL AREA = 57,015 SF.

UPDATED FIELD INSPECTION OCTOBER 25, 2000
 ZONING INFORMATION REVISED JUNE 12, 2000
 UPDATED FIELD INSPECTION JUNE 5, 2000
 UPDATED FIELD INSPECTION OCTOBER 6, 1999

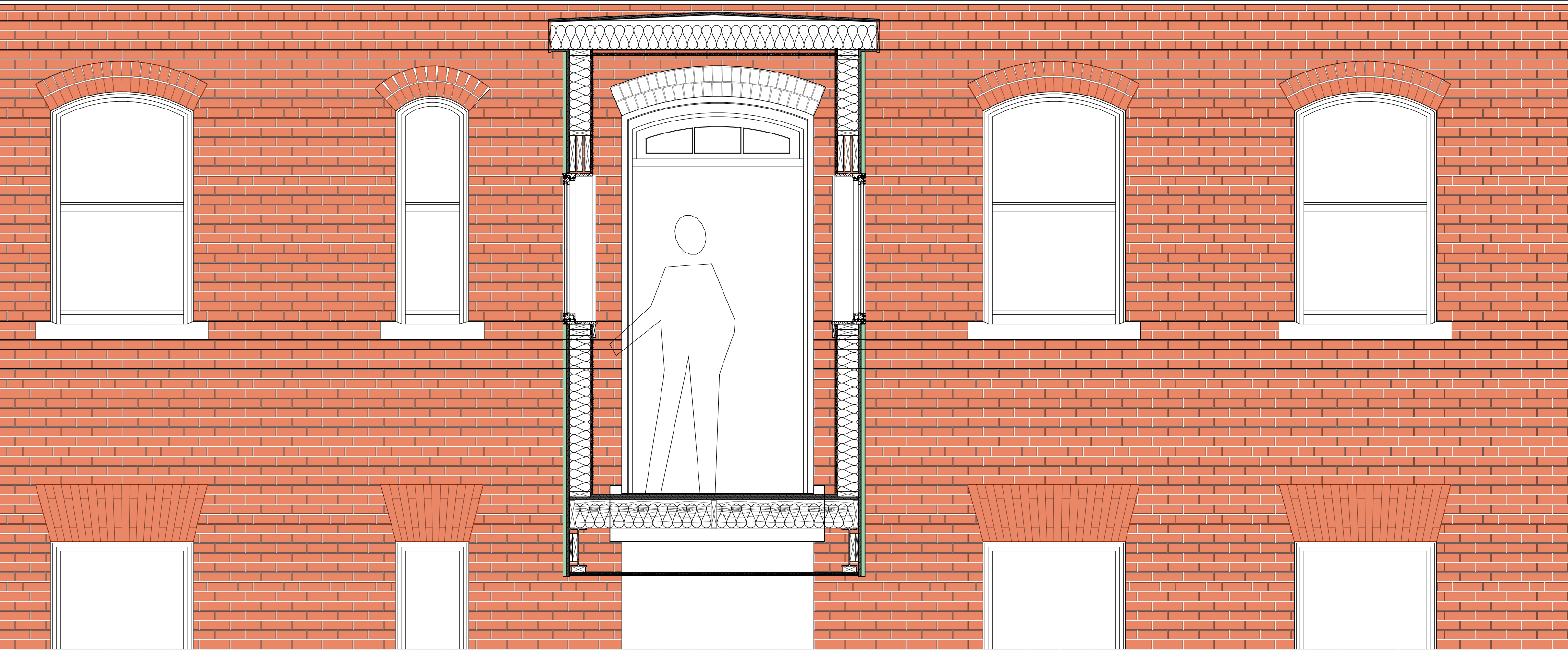
REVISED MAY 13, 1999

ALTA/ACSM
 LAND TITLE SURVEY
 # 237 PUTNAM AVE.
 CAMBRIDGE, MASS.
 (MIDDLESEX COUNTY)

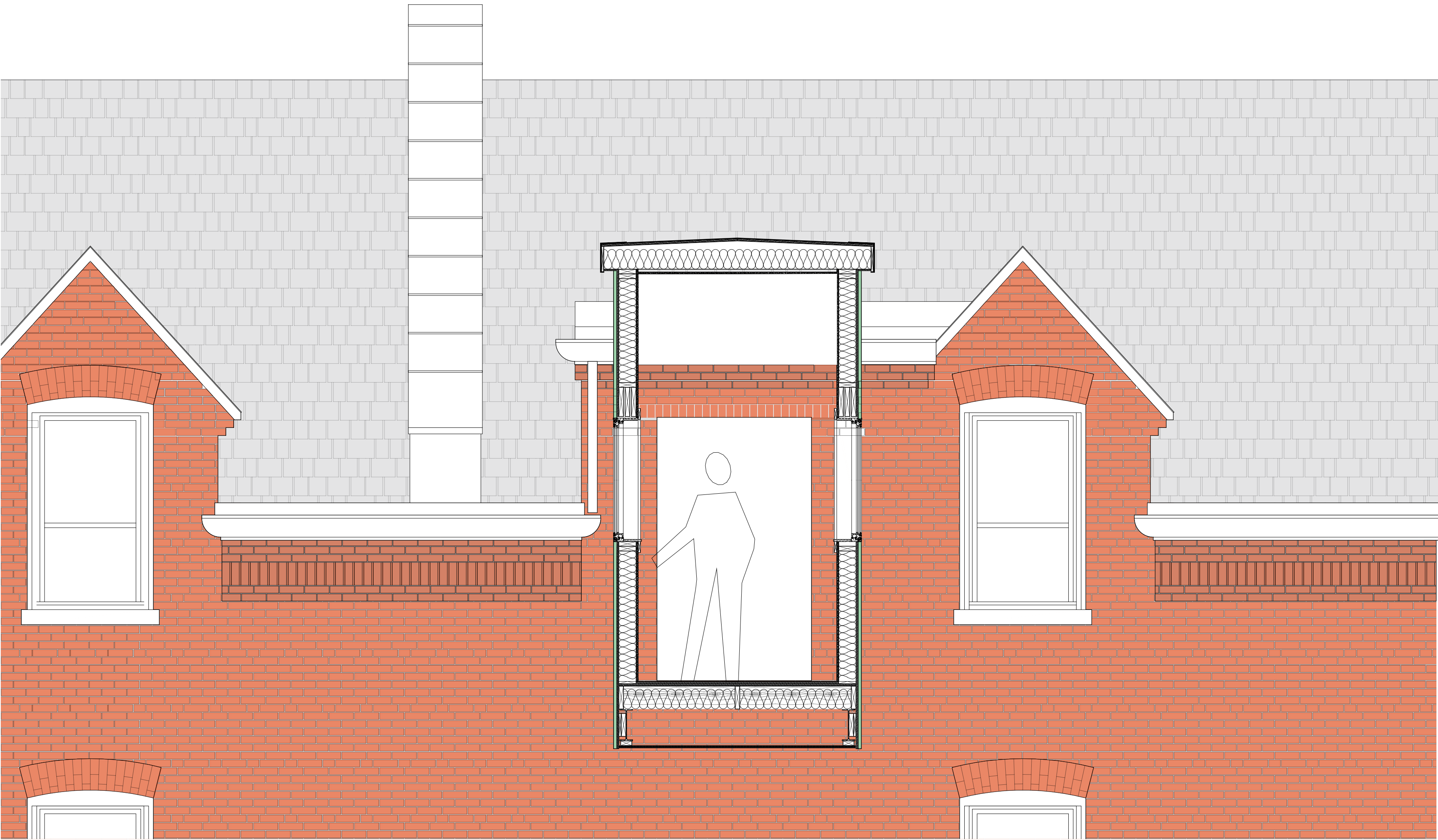
SCALE: 1" = 20'
 HARRY R. FELDMAN, INC.

MAY 5,1999
 LAND SURVEYORS

P:\2021\21-010 237 Putnam Bridge\2-Drawings\1-Architectural\1-0 Working CAD Files\21-010 237PUTNM BRIDGE_Elevs.dwg, 5/3/2021 11:21:13 AM, ARCH full bleed D (36.00 x 24.00 inches)



1 PROPOSED BRIDGE SECTION / ELEVATION TOWARDS 237 PUTNAM AVE., THIRD FLOOR
1/2" = 1'-0"



2 PROPOSED SECTION / ELEVATION TOWARDS 21 BLACKSTONE STREET, THIRD FLOOR
1/2" = 1'-0"

Margolis+Fishman

ARCHITECTS & PLANNERS

675 Massachusetts Avenue
Cambridge, MA 02139

617 492 0200 TEL
547 2501 FAX

237 PUTNAM
THIRD FLOOR BRIDGE

237 Putnam Ave, 3rd Floor
Cambridge, MA 02139

OWNER

CPI/Brickman BSS Owner, LLC

712 Fifth Avenue
New York, NY 10019

Tel. 212 541 5580

Drawing:
**BRIDGE SECTION / AT EXISTING
ELEVATIONS**

Job Number: **20-010**
Date: 2021.04.06 Scale: AS NOTED
Drawn by: WLA Checked By: RM
File Name:21-010 237PUTNM BRIDGE_Elevs.dwg

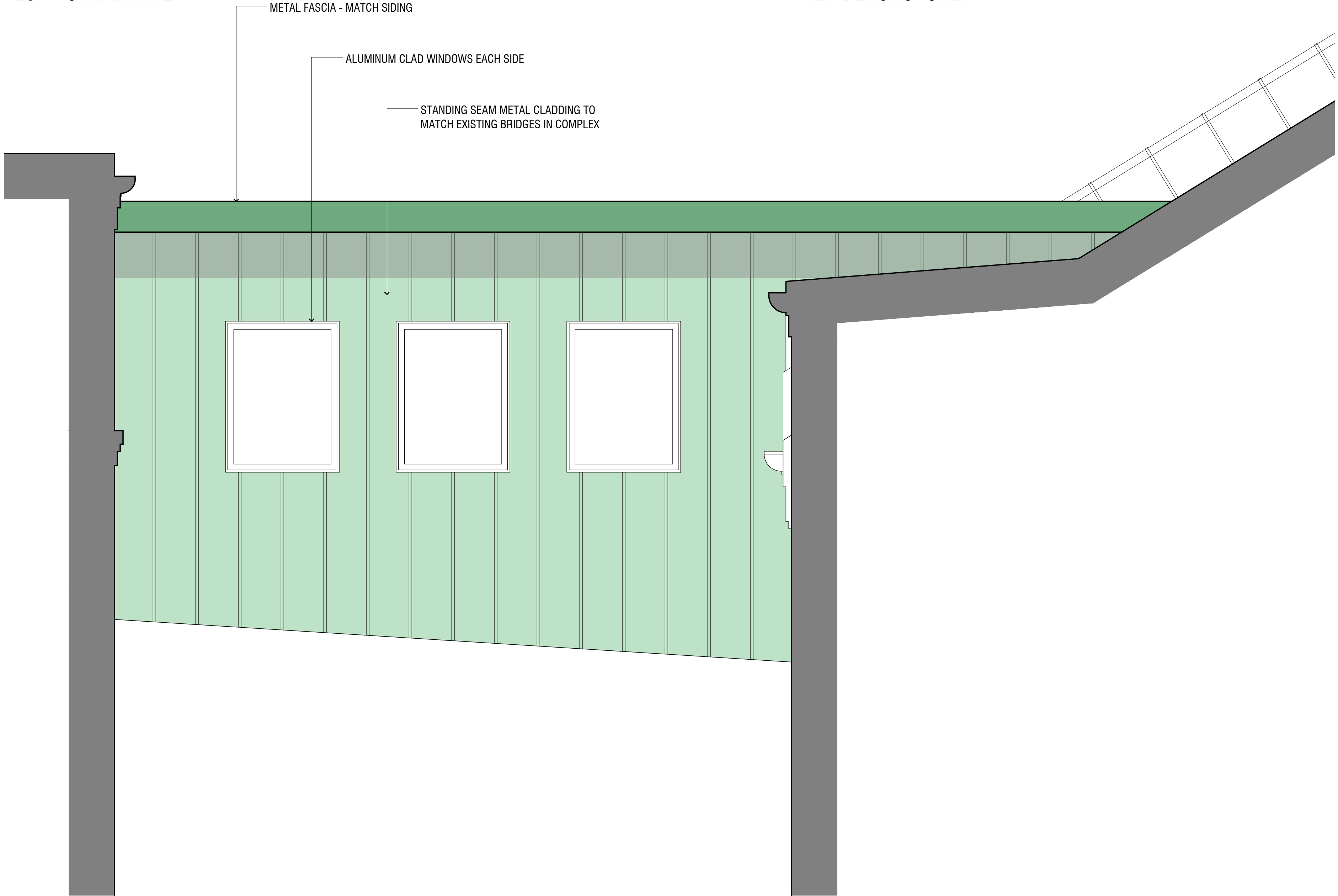
Revisions:		
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P:\2021\21-010 237 Putnam Bridge\2-Drawings\1-Architectural\1-0 Working CAD Files\21-010 237PUTNM BRIDGE_Elevs.dwg, 5/3/2021 11:21:21 AM, ARCH full bleed D (36.00 x 24.00 inches)

237 PUTNAM AVE

21 BLACKSTONE



2 **PROPOSED BRIDGE ELEVATION - THIRD FLOOR**
1/2" = 1'-0"

Margolis+Fishman

ARCHITECTS & PLANNERS

675 Massachusetts Avenue
Cambridge, MA 02139

617 492 0200 TEL
547 2501 FAX

2 3 7 P U T N A M
T H I R D F L O O R B R I D G E
237 Putnam Ave, 3rd Floor Cambridge, MA 02139

OWNER

CPI/Brickman BSS Owner, LLC

712 Fifth Avenue
New York, NY 10019

Tel. 212 541 5500

Drawing:
TYPICAL BRIDGE ELEVATION

Job Number: **20-010**

Date: 2021.04.06 Scale: AS NOTED

Drawn by: WLA Checked By: RM

File Name:21-010 237PUTNM BRIDGE_Elevs.dwg

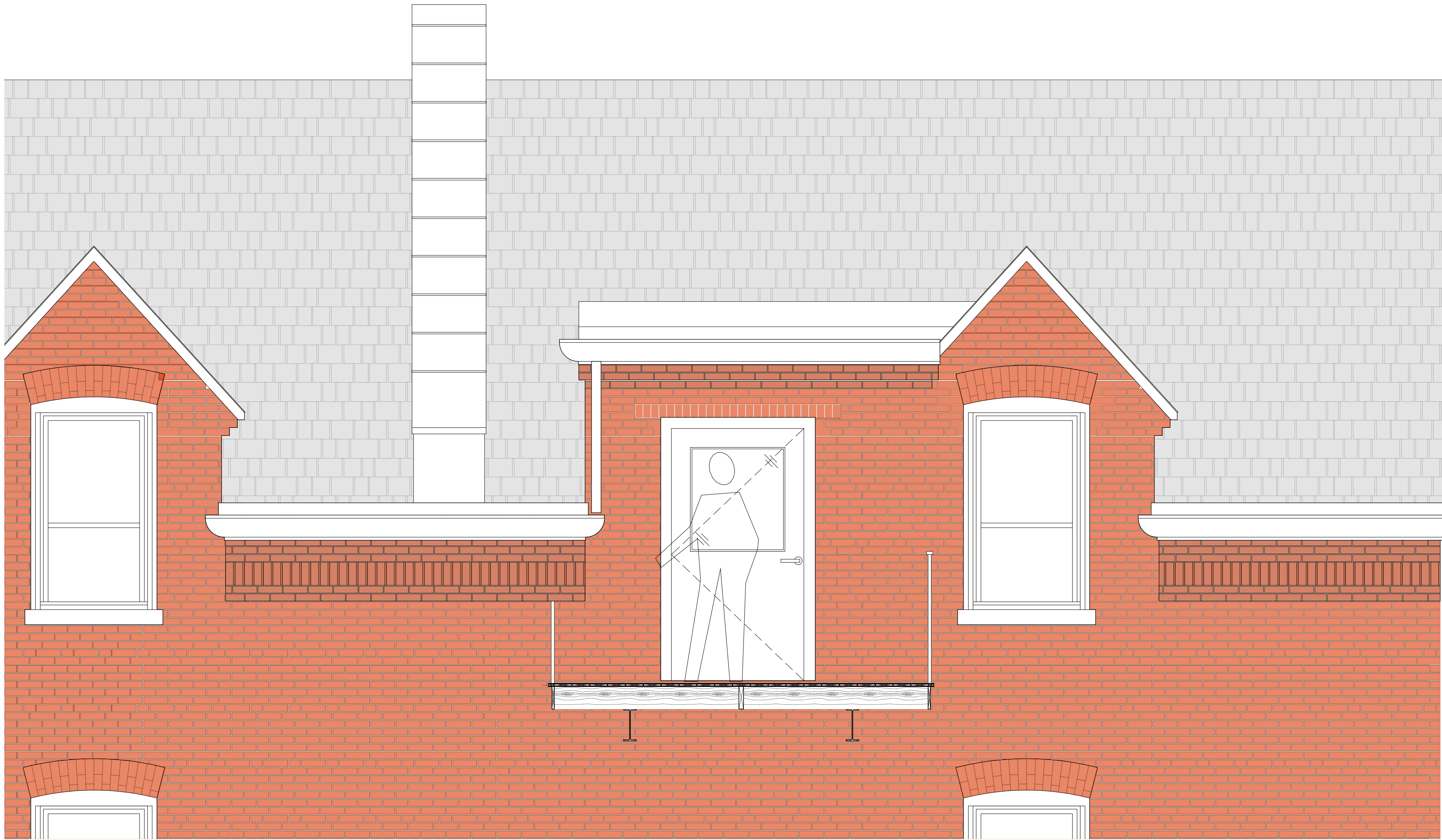
Revisions:		
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1 EXISTING ELEVATION - 237 PUTNAM AVE., THIRD FLOOR
1/2" = 1'-0"



2 EXISTING ELEVATION - 21 BLACKSTONE STREET, THIRD FLOOR
1/2" = 1'-0"

Margolis + Fishman

ARCHITECTS & PLANNERS

675 Massachusetts Avenue
Cambridge, MA 02139

617 492 0200 TEL
547 2501 FAX

237 PUTNAM
THIRD FLOOR BRIDGE

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New York, NY 10019

Tel. 212 541 5580

Drawing:
EXISTING ELEVATIONS

Job Number: 20-010
Date: 2021.04.06 Scale: AS NOTED
Drawn by: WLA Checked By: RM
File Name:21-010 237PUTNM BRIDGE_Elevs.dwg

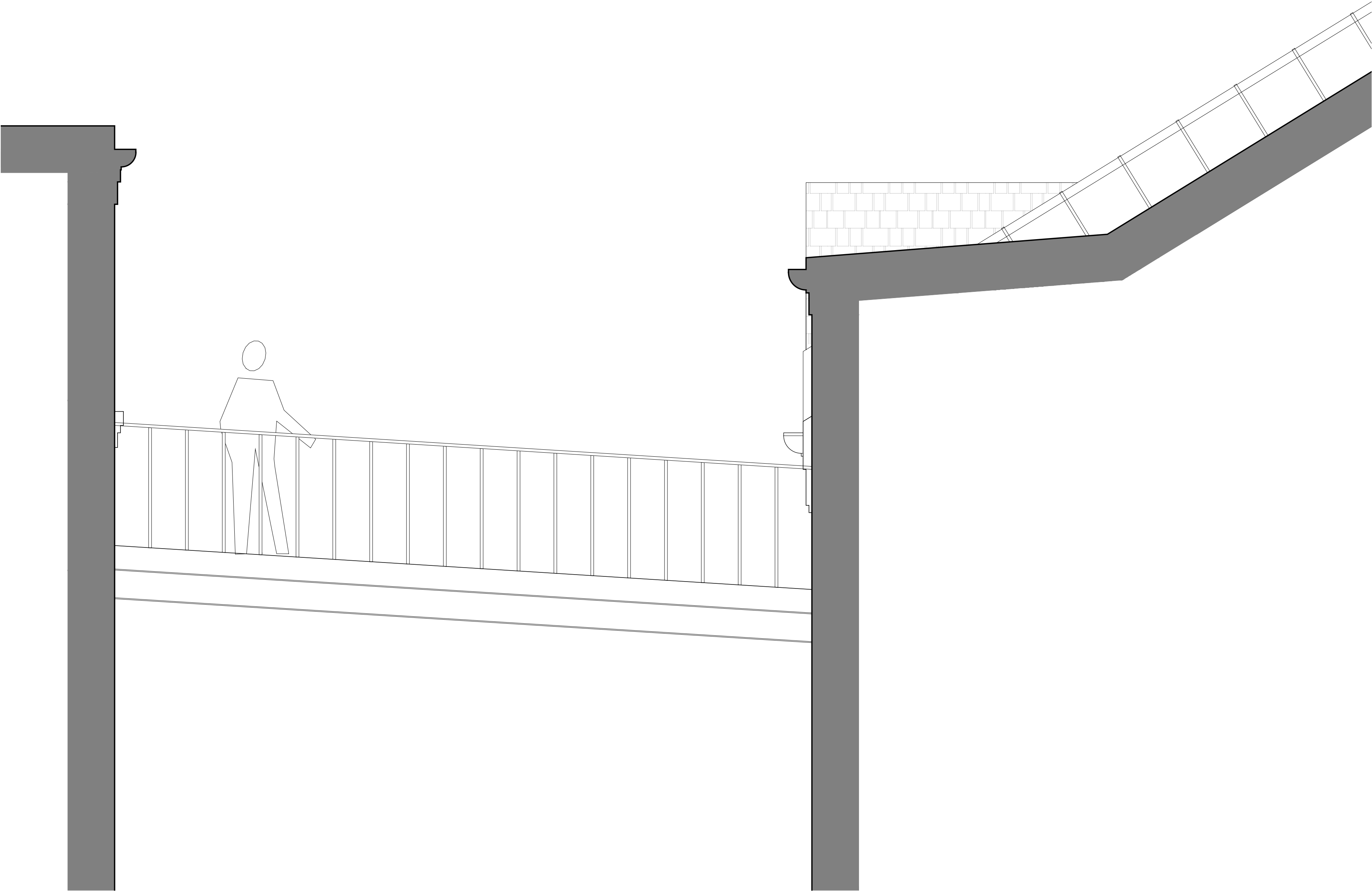
Revisions:		
No.	Date:	Description:
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237 PUTNAM AVE

21 BLACKSTONE



2 EXISTING ELEVATION - THIRD FLOOR BRIDGE
1/2" = 1'-0"

Margolis+Fishman

ARCHITECTS & PLANNERS

675 Massachusetts Avenue
Cambridge, MA 02139

617 492 0200 TEL
547 2501 FAX

237 PUTNAM
THIRD FLOOR BRIDGE

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Drawing:
EXISTING ELEVATIONS

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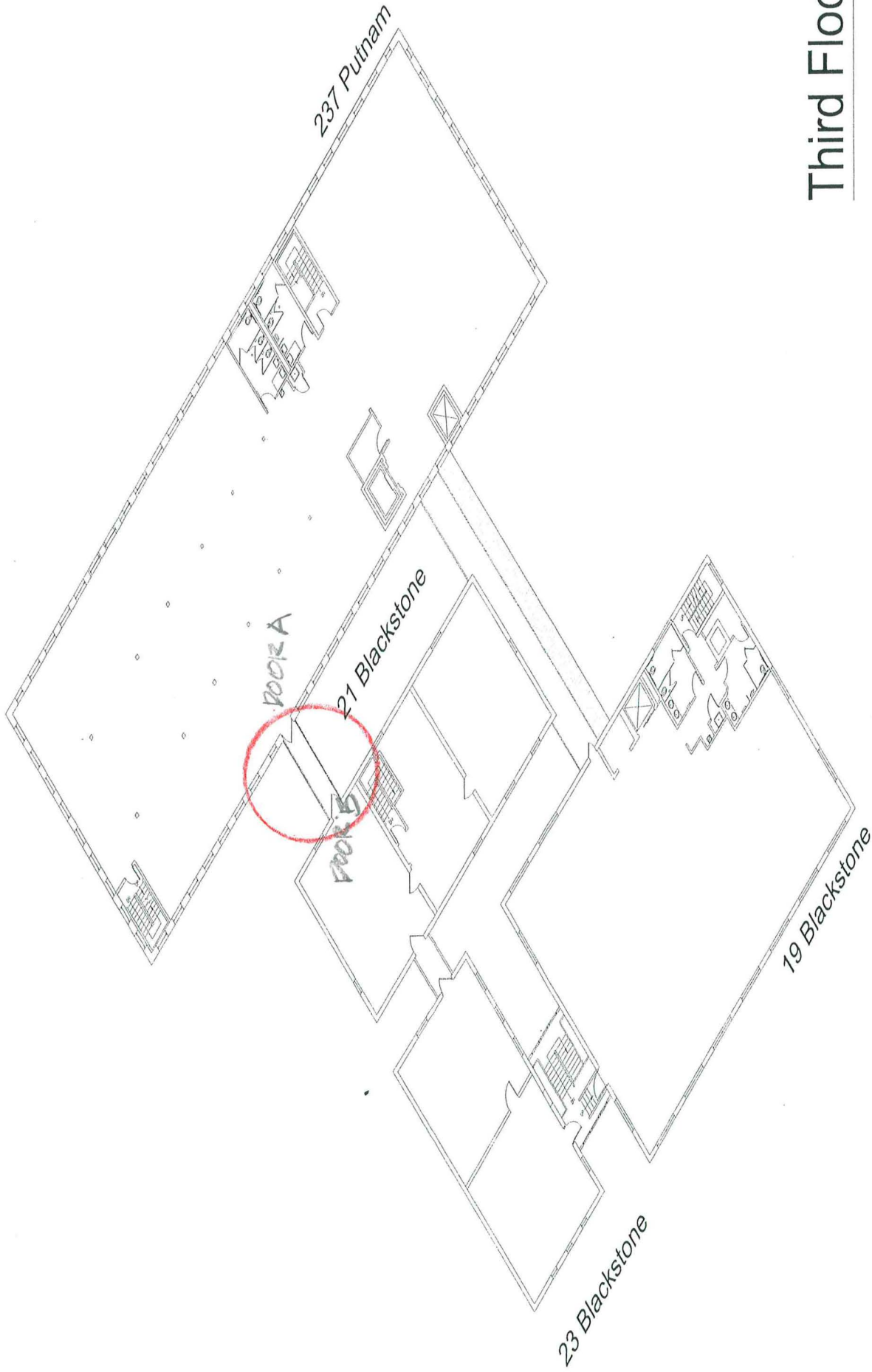
BRIDGE TO BE
ENCLOSED



DOOR A - 237 PUTNAM



DOOR B 21 BLACKSTONE



Third Floor

237 Putnam Avenue/19-23 Blackstone Street
SUPPORTING STATEMENT FOR A VARIANCE

I. Background

The existing complex of buildings at 237 Putnam Avenue/19-23 Blackstone Street, known as Blackstone Science Square, was constructed between 1880 and 1919. The complex comprises approximately 83,180 square feet of building area and is used for a combination of lab/R&D and office uses.

II. Proposed Project

The Applicant seeks to enclose an existing 10'x20' open pedestrian walkway that connects the third floor of 237 Putnam Avenue to the third floor of 21 Blackstone Street. Submitted herewith are photographs showing the existing walkway to be enclosed. The building owner wishes to enclose the walkway for the convenience and safety of employees crossing between the buildings, particularly in inclement and winter weather. The gross floor area of the enclosed bridge will be approximately 200 square feet. No other dimensional changes to the existing structures are proposed, nor will current uses be changed.

III. Zoning Relief Sought

The 237 Putnam Avenue and 19-23 Blackstone Street are preexisting nonconforming structures, which exceed the maximum Floor Area Ratio (FAR) for the C-1 Zoning District. Accordingly, in accordance with Ordinance Section 8.22.3, enclosure of the walkway will require the following relief:

- Variance from Ordinance Section 5.31.1, Table 5-1.to extend (increase) the pre-existing nonconforming FAR.¹
- Variance from Ordinance Section 4.34 to extend (increase) the pre-existing nonconforming professional office/R&D/laboratories uses of the property.

IV. Criteria

The requested relief can be granted because the variance criteria set forth in M.G.L. ch. 40A, § 10 are met as follows:

- A. Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:***

¹ The current FAR is 1.46 (in excess of the allowed maximum of .75); however, due to the modest size of the proposed enclosure, the FAR will remain 1.46.

Currently, the owner is negotiating to lease the space on either side of the pedestrian walkway to a single tenant. Creation of the proposed 200 square foot enclosed area will allow employees of the tenant to travel more safely between their leased premises. Denial of the requested relief will create a practical hardship for employees seeking to move safely and comfortably in their space. It also will create a financial hardship for the owner, by limiting the types and sizes of tenants it is able to attract for the property.

B. The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The existing structures on the property have existed since the late 1800s/early 1900s and were rendered nonconforming with respect to use and dimensions as a product of rezoning in 1999. Additionally, the structures are subject to a City of Cambridge Landmark designation, which limits the owner's ability to make changes to the exterior of the buildings. These unique constraints make it impossible to provide any sort of enclosed pedestrian connection between tenanted space in 237 Putnam Avenue and 21 Blackstone Street without zoning relief.

C. Desirable relief may be granted without either:

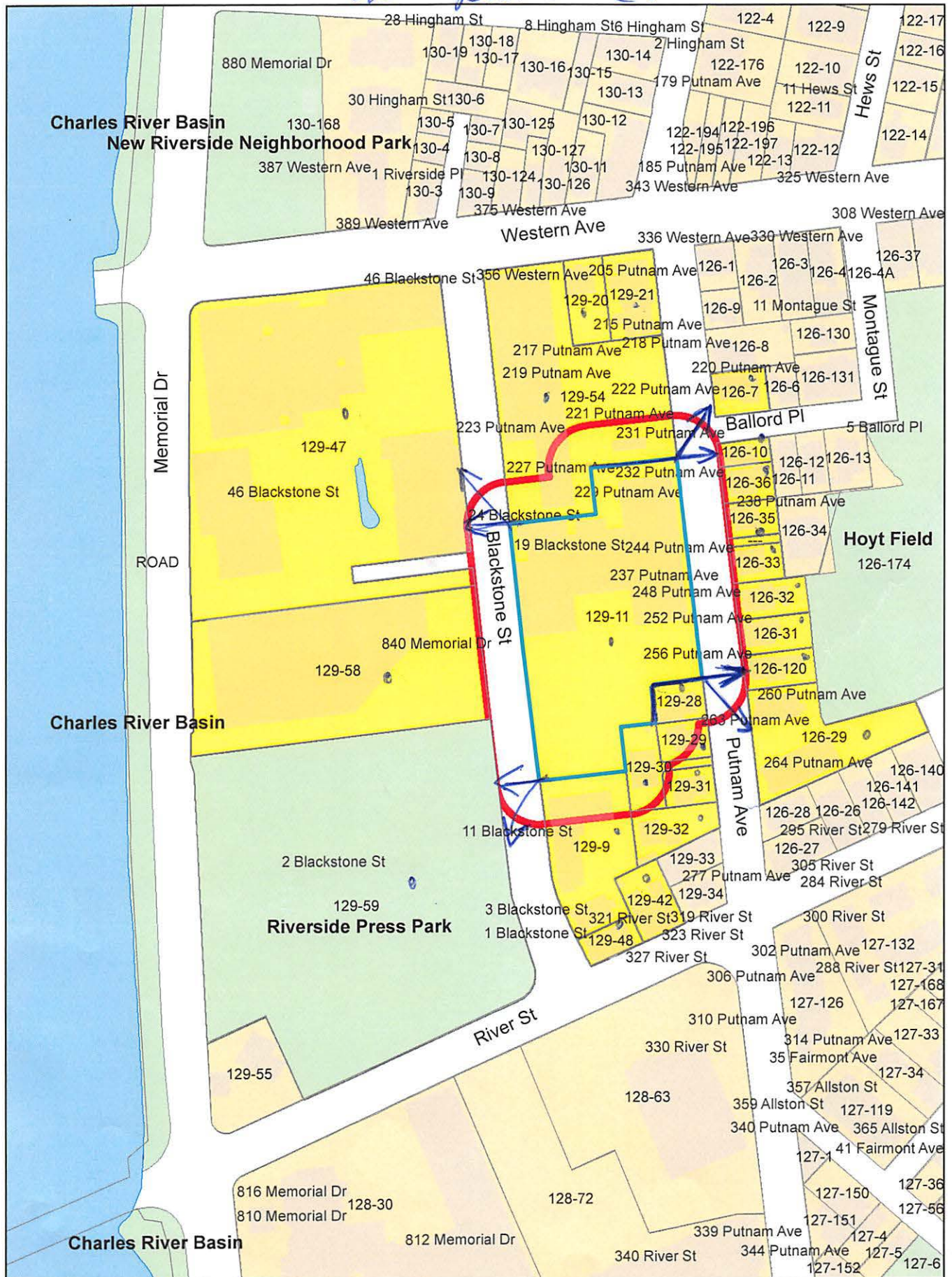
1. Substantial detriment to the public good for the following reasons:

The owner seeks to enclose an existing 10'x20' outdoor pedestrian walkway to enhance the safety, comfort, and convenience of building tenants. It will not be visible from any public way. The proposed enclosure will have no impact whatsoever on the public good, but will materially improve conditions for employees who work in the building.

2. Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

This modest proposal adds only 200 square feet to an approximately 83,180 square foot building by enclosing an outdoor pedestrian walkway that has been in use for decades. Consistent with the purposes articulated in Section 1.30 of the Ordinance, the proposed enclosure will promote the safety of building tenants and conserve the value of the buildings by making them more marketable to a variety of different tenants. The proposed relief is entirely in keeping with the purposes of the Ordinance and will neither nullify nor substantially derogate from its stated intent.

137 Putnam Ave



237 Putnam Ave

Petitioner 193

126-7
FLEURANT, GERDES & FLORIENE SAINTIL
A LIFE ESTATE
222 PUTNAM AVE
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HEMENWAY & BARNES, LLP
C/O SVETA Y. BARTSCH
75 STATE STREET – 16TH FLOOR
BOSTON, MA 02109-1466

HEMENWAY & BARNES, LLP
C/O JOHANNA SCHNEIDER, ESQ.
75 STATE STREET – 16TH FLOOR
BOSTON, MA 02109-1466

126-31
MONDESIR, LIONEL &
ANTOINETTE A. MONDESIR
252 PUTNAM AVE.
CAMBRIDGE, MA 02139

126-33
GERROS, DIANE,
TR. OF 33 STEPS REALTY TRUST
302 BROOKLINE ST
CAMBRIDGE, MA 02139

129-11
CPI/BRICKMAN BSS OWNER, LLC
280 PARK AVENUE
NEW YORK, NY 10017

126-29
JAS CONSOLIDATED PROPERTIES LLC
C/O JAS CORPORATION
1035 CAMBRIDGE ST., #12
CAMBRIDGE, MA 02141

129-9
SHEPHERD, MARY K.
3-11 BLACKSTONE ST., # 3/4
CAMBRIDGE, MA 02139

129-9
HARWITZ, ALEXANDER L. & LAURA JOHNSON
3-11 BLACKSTONE ST., #11/3
CAMBRIDGE, MA 02139

129-9
PERKINS EVELYN M.
TRUSTEE OF E.M. PERKINS REALTY TRUST.
3-11 BLACKSTONE ST. UNIT#11/5
CAMBRIDGE, MA 02139

126-36
ZINKY, JOHN AND NANCY ISHIHARA
234 PUTNAM AVENUE
CAMBRIDGE, MA 02139

126-32
SIMOES, ALEXANDER J.
248 PUTNAM AVE., #1
CAMBRIDGE, MA 02139

126-32
SIEGELBAUM, LEENA
248 PUTNAM AVE., UNIT #2
CAMBRIDGE, MA 02139

126-32
NICHOLLS, ANTHONY
248 PUTNAM AVE., #3
CAMBRIDGE, MA 02139

129-9
ZAPPE JEFFREY A & KIMBERLY J SAUDINO
3-11 BLACKSTONE ST UNIT #11-4
CAMBRIDGE, MA 02139

129-9
FAULKNER RAYMON E
3-11 BLACKSTONE ST UNIT 11/8
CAMBRIDGE, MA 02139

129-21
PUTNAM & WESTERN COOPERATIVE
CORPORATION
211 PUTNAM AVE
CAMBRIDGE, MA 02139

129-30
SMITH, SARAH B.
267 PUTNAM AVE
CAMBRIDGE, MA 02139

129-59
CITY OF CAMBRIDGE
C/O LOUIS DEPASQUALE
CITY MANAGER

129-59
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

129-9
THOMPSON DONALD J
3-11 BLACKSTONE ST UNIT #11/7
CAMBRIDGE, MA 02139

129-9
RUBIN, DONALD
3-11 BLACKSTONE ST., UNIT 11/10
CAMBRIDGE, MA 02139

129-20
AHLBORG, WENDY L.
356 WESTERN AVE
CAMBRIDGE, MA 02139

129-42
LINI SO 2017 LLC ATTN: MELINA GEORGANTAS
29 CHESTER ST
WATERTOWN, MA 02472

129-47
PRESIDENT & FELLOWS OF HARVARD COLLEGE
C/O GENERAL COUNSEL HOLYOKE CENTER RM 98
1390 MASSACHUSETTS AVE
CAMBRIDGE, MA 02138

129-9
ROMANO, ERIC R. JR., & JENNIFER M. ROMANO
3-11 BLACKSTONE ST
CAMBRIDGE, MA 02139

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ADELMANN, PATRICIA &
JAMES JOSEPH MCCLURE
3-11 BLACKSTONE ST., UNIT #11/1
CAMBRIDGE, MA 02139

129-28
PERRY, CHRISTOPHER & JEAN SUNG
259 PUTNAM AVE
CAMBRIDGE, MA 02139

129-31-32
MASTRANGELO, LOUIS
269 PUTNAM AVE
CAMBRIDGE, MA 02139

129-58
RIVERTECH ASSOCIATES LLC C/O ABBEY GROUP
177 HUNTINGTON AVE. FL 24
BOSTON, MA 02115

237 Putnam Ave

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GRAHAM, RHONDA
217 PUTNAM AVE., #217/6
CAMBRIDGE, MA 02139

129-54
WALKER, JEFFREY M.
217 PUTNAM AVE., #3
CAMBRIDGE, MA 02139

129-54
DOTSANG, JAMYANG T. & TSERING D. DOTSANG
217 PUTNAM AVE., 217/10
CAMBRIDGE, MA 02139

129-54
GENESHSINGH, THAKUR A. &
POONAM G. THAKUR
217 PUTNAM AVE. UNIT#22
CAMBRIDGE, MA 02141-0003

129-54
FIFIELD, SHANE & FELICIA N. FIFIELD
217 PUTNAM AVE., #19
CAMBRIDGE, MA 02139

129-54
SELK, CHARLES A. & SABRINA C. SELK
217 PUTNAM AVE., UNIT 17
CAMBRIDGE, MA 02139

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POOR, MICHAEL J. & SHANNON M. POOR
217 PUTNAM AVE. UNIT#9
CAMBRIDGE, MA 02139

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HAILE, HAREGU
217 PUTNAM AVE., #217/8
CAMBRIDGE, MA 02139

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VILDORT, JEAN R. & CLAUDETTE B. VILDORT
217 PUTNAM AVE., #15
CAMBRIDGE, MA 02139

129-54
SCANTLEBURY, KIM I.
217 PUTNAM AVE., #217/12
CAMBRIDGE, MA 02139

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O'CONNOR, JESSICA ALISON
227 PUTNAM AVE.,
CAMBRIDGE, MA 02139

129-54
WEEMAN, MATTHEW & ELIN B. WEEMAN
223 PUTNAM AVE., #4
CAMBRIDGE, MA 02139

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AKIN, MOLLY & MOLLY AKIN
223 PUTNAM AVE., #1
CAMBRIDGE, MA 02139

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SUWAL, MAHESH R. & RADHIKA SUWAL
221 PUTNAM AVE
CAMBRIDGE, MA 02139

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OGBAZGHI, HINESHIM & ELSA MENGISTU
217 PUTNAM AVE., #5
CAMBRIDGE, MA 02139

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BONANNO, KEVIN P. & AIMEE BONANNO
217 PUTNAM AVE., #4
CAMBRIDGE, MA 02139

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THORPE, ROBERT W. & SOPHIA A. THORPE
217 PUTNAM AVE., 217/21
CAMBRIDGE, MA 02139

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CHAN, SOPHEA
217 PUTNAM AVE., #229
CAMBRIDGE, MA 02139

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PERDOMO, AZILIN
223 PUTNAM AVE., #5
CAMBRIDGE, MA 02139

129-54
GACHETTE, MAX A. & MARIE L. GACHETTE
217 PUTNAM AVE., #223/3
CAMBRIDGE, MA 02139

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BONNER, TRECIA
217 PUTNAM AVE., #217/7
CAMBRIDGE, MA 02139

129-54
RABINOWITZ, REBECCA
217 PUTNAM AVE #2
CAMBRIDGE, MA 02139

129-54
CARTER, SUSAN A.
217 PUTNAM AVE. UNIT#217/20
CAMBRIDGE, MA 02139

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SUAZO, MELBA
217-219 PUTNAM AVE #217-18
CAMBRIDGE, MA 02139

129-54
GLISOVIC, BRANKO
217 PUTNAM AVE. UNIT#217/14
CAMBRIDGE, MA 02139

129-54
NOLAN, JOHN S. & NINA C. NOLAN
217 PUTNAM AVE., UNIT #13
CAMBRIDGE, MA 02139

129-54
LEMMA, ALEMAYEHU G. & SENAYET Y. GIGAR
217 PUTNAM AVE., #217/11
CAMBRIDGE, MA 02139

129-54
COLLINS, CHADWICK W.
217-229 PUTNAM AVE #225
CAMBRIDGE, MA 02139

129-54
EDOUAZIN, MARYSE
217 PUTNAM AVE., #223/6
CAMBRIDGE, MA 02139

129-54
CRASTA, FREDRICK & APOLINE RODRIGUES
223 PUTNAM AVE #223-2
CAMBRIDGE, MA 02139

129-54
KARMACHARYA, SUDDYAM &
BABA KARMACHARYA
219 PUTNAM AVE
CAMBRIDGE, MA 02139

129-48
BEARD, DAVID R., GAIL R. FRIEDMAN &
CITY OF CAMBRIDGE TAX TITLE
1 BLACKSTONE ST. UNIT 2
CAMBRIDGE, MA 02139

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SHERIDAN, THOMAS, LAURA SHERIDAN &
CITY OF CAMBRIDGE TAX TITLE
1 BLACKSTONE ST. UNIT 3
CAMBRIDGE, MA 02139

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ZAICHWSKY, JUSTIN, TAMARA ZAICHWSKY &
CITY OF CAMBRIDGE TAX TITLE
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129-11
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129-9
MORRISON, SAMANTHA L,
TRS THE SAMANTHA MORRISON TRUST
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129-9
KANG, JEONG SEUK
3-11 BLACKSTONE ST UNIT #11/9
CAMBRIDGE, MA 02139

129-9
WAINWRIGHT, CLARA
11 BLACKSTONE ST #6
CAMBRIDGE, MA 02139

129-54
DULAL, AMBIKA & BIGYAN GHIMIRE
217-229 PUTNAM AVE UNIT 217/16
CAMBRIDGE, MA 02139

129-54
JAS HOMEOWNER LLC
1035 CAMBRIDGE ST UNIT 12
CAMBRIDGE, MA 02141

129-29
SRULOWITZ FRANCES
TRS FRANCES SRULOWITZ LIVING TR
263 PUTNAM AVE
CAMBRIDGE, MA 02139

126-10
ROTHMAN-SHORE,
JEREMY AVIVA ROTHMAN-SHORE
10 BALLARD PLACE
CAMBRIDGE, MA 02139

126-120
BROWNE, VENETTA & LEROY BROWNE JR.
256 PUTNAM AVE
CAMBRIDGE, MA 02139

126-35
YAKOOBAN, ANDREW J. &
MICHELLE S. FRIEDMAN-YAKOOBAN
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129-9
FIORE, JR. , JAMES A. & KELLIE A. FIORE
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