



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017259-2020

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : ✓ Appeal : _____

PETITIONER : Honeycomb Design + Build, LLC - C/O Ann Fullerton

PETITIONER'S ADDRESS : 540 Main Street, Suite 7 Winchester, MA 01890

LOCATION OF PROPERTY : 23 Myrtle Ave Cambridge, MA

TYPE OF OCCUPANCY : _____ ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

Requesting relief for 171 GSF of added area on the second and third floor, within the existing building footprint.

Project was submitted to Mid-Cambridge Conservation Commission on 2.10.20.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :


(Petitioner(s) / Owner)

ANN FULLERTON
(Print Name)

Address : 540 Main Street, Suite 7

Winchester MA 01890

Tel. No. : 617.420.3113

E-Mail Address : hiveteam@honeycombdesignbuild.com

Date : 2.20.20

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Michelle M. Wartak, MARTIN A. WARTAK
(OWNER)

Address: 27 MYRTLE AVE, CAMBRIDGE MA 02138

State that I/We own the property located at 27 MYRTLE AVE,
which is the subject of this zoning application.

The record title of this property is in the name of WARTAK, MARTIN A. AND
MATE, MICHELLE M.

*Pursuant to a deed of duly recorded in the date July 1, 2003, Middlesex South
County Registry of Deeds at Book 79770, Page 281; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

[Signature]
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

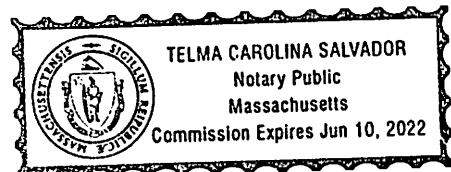
Commonwealth of Massachusetts, County of Middlesex

The above-name Martin Wartak & Michelle Wartak personally appeared before me,
this 25th of Feb, 2020, and made oath that the above statement is true.

[Signature] Notary

My commission expires June 10, 2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.





The Commonwealth of Massachusetts

DEPARTMENT OF PUBLIC HEALTH REGISTRY OF VITAL RECORDS AND STATISTICS

CERTIFICATE OF MARRIAGE

(State file number)
CAMBRIDGE

(City or town making return)

Registered No. 479

1 Place of Marriage
City or Town Cambridge 2 Date of Marriage June 28 2010 Intention No. 542
(Do not enter name of village or section of city or town) (Month) (Day) (Year)

3 FULL NAME PARTY A MICHELLE M. MATZ		11 FULL NAME PARTY B MARTIN A. WARTAK	
3A SURNAME AFTER MARRIAGE WARTAK		11A SURNAME AFTER MARRIAGE WARTAK	
4 DATE OF BIRTH December 2, 1971	5 OCCUPATION GRAPHIC DESIGNER/MEDICAL ED.	12 DATE OF BIRTH July 12, 1976	13 OCCUPATION COMP. PROGRAMMER
6 RESIDENCE NO. & ST. 23 MYRTLE AVENUE CITY/TOWN CAMBRIDGE ST. MA ZIP CODE 02138		14 RESIDENCE NO. & ST. 23 MYRTLE AVENUE CITY/TOWN CAMBRIDGE ST. MA ZIP CODE 02138	
7 NUMBER OF MARRIAGE (1st, 2nd, 3rd, etc.) 1ST	7A WIDOWED OR DIVORCED	15 NUMBER OF MARRIAGE (1st, 2nd, 3rd, etc.) 1ST	15A WIDOWED OR DIVORCED
8 BIRTHPLACE BUFFALO NEW YORK (City or town) (State or country)		16 BIRTHPLACE WARSAW POLAND (City or town) (State or country)	
9 NAME OF MOTHER/PARENT MARILYN JONES		17 NAME OF MOTHER/PARENT RENATA PAWLAK	
10 NAME OF FATHER/PARENT LEONARD L. MATZ		18 NAME OF FATHER/PARENT JAMES R. RICE	

19 THE INTENTION OF MARRIAGE by the above-mentioned persons was duly entered by me in the records of the Community of CAMBRIDGE according to law, this 21 day of June 2010

☐ COURT WAIVER Issued June 25, 2010 (Name of Community) by Margaret Drury
☐ AGE ORDER (Month) (Day) (Year) (City or Town) Clerk or Registrar

20 I HEREBY CERTIFY that I solemnized the marriage of the above-named persons at No. 136 Irving Street St.,
(If marriage was solemnized in a church, give its NAME instead of street and number)

Cambridge on June 28 2010
(Name of city or town) (Month) (Day) (Year)

Signature Amanda Cortin one day designation
(Print or type name) (Member of the Clergy, Priest, Rabbi, Imam, or Justice of the Peace, etc.)

Address 11 Bellis Circle Camb. Ma. 02140

21 Certificate recorded by city or town clerk July 1, 2010 Margaret Drury
(Month) (Day) (Year) CLERK OR REGISTRAR

22 PARTY A SEX: ☐ MALE ☒ FEMALE 23 PARTY B SEX: ☐ MALE ☒ FEMALE

JUL 01 2010

CERTIFIED COPY

Margaret Drury
City Clerk



BZA APPLICATION FORM**DIMENSIONAL INFORMATION****APPLICANT:** Kent General Contracting /
Honeycomb Design + Build**PRESENT USE/OCCUPANCY:** TWO FAMILY RESIDENTIAL**LOCATION:** 23 Myrtle Ave Cambridge, MA**ZONE:** Residence C-1 Zone**PHONE:** _____**REQUESTED USE/OCCUPANCY:** _____

TWO FAMILY RESIDENTIAL

		<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>		1981	2152	2087	(max.)
<u>LOT AREA:</u>		2783	NC	NC	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		.71	.77	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>		NA	NA	1500	(min.)
<u>SIZE OF LOT:</u>	WIDTH	41'	NC	50'	(min.)
	DEPTH	60.87'	NC	NA	
<u>SETBACKS IN FEET:</u>	FRONT	3.8'	3.8'	10'	(min.)
	REAR	21.3'	21'1.75"	20'	(min.)
	LEFT SIDE	12.3'	12.3'	7.5'	(min.)
	RIGHT SIDE	1.5'	1.5'	7.5'	(min.)
<u>SIZE OF BLDG.:</u>	HEIGHT	34.9'	34.9'	35'	(max.)
	LENGTH	34.7'	34.7'	NC	
	WIDTH	26.6'	26.6'	NC	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		34%	34%	30%	(min.)
<u>NO. OF DWELLING UNITS:</u>		2	2	NC	(max.)
<u>NO. OF PARKING SPACES:</u>		1	1	NC	(min./max)
<u>NO. OF LOADING AREAS:</u>		0	0	NA	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>		NA	NA	NA	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

New work will be wood frame construction and cast-in-place foundation. Existing structure is wood frame construction with brick foundation.

Scope includes conversion of half of existing covered front porch footprint into enclosed first floor living space, addition of same footprint on the second floor, and modification of half of the third floor roofline to convert eave space into living space.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The petitioner is requesting minor relief of the Cambridge Zoning dimensional requirements outlined in Table 5.1, for Zoning District C-1. Specifically, the request is for a GSF that greater than that established by the zoning ordinance by 65 GSF and a resulting GSF to Lot Ratio of .77.

The property has been owned and occupied by the same family since 2003. The Owners are undertaking a renovation that includes increasing the property's square footage in an effort to make the property match the their growing family's needs for long term occupancy.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Not applicable.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The public sidewalk right-of-way will be maintained and the footprint of the new street facing addition will be no larger than the existing front porch.

The private pedestrian level space adjacent to public pedestrian space will be improved with and enlarged paved entry stair landing and integrated landscaping features.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The relief requested is a minor allowance to the building GSF and GSF to LOT ratio, as noted in Item A above and on the Dimensional Form.

The relief will not negatively impact existing sight lines and pedestrian spaces for the surrounding community.

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

CITY OF CAMBRIDGE

Massachusetts
BOARD OF ZONING APPEAL
831 Mass Avenue, Cambridge, MA.
617) 349-6100

April 15, 2020

Honeycomb Design + Build, LLC
C/O Ann Fullerton
540 Main Street – Suite 7
Winchester, MA 01890

RE: 23 Myrtle Avenue – BZA-017259-2020

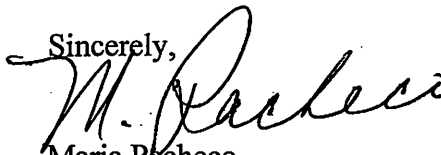
Dear Ms. Fullerton,

I am writing to you in regard to your above up-coming Board of Zoning Appeal Hearing.

At this time the City will not be holding any non-essential public meetings due to the COVID-19 Pandemic and the City Manager's closure of all City buildings to non-essential business. On April 3, 2020, the Governor signed into law Chapter 53 of the Acts of 2020 ("Act"), which extends all land use permitting deadlines until after the State of Emergency is lifted. In light of the extensions provided for in the Act and the closure of City buildings, at this time the Board of Zoning Appeal will be rescheduling all public hearings in accordance with the extensions permitted under the Act. You will receive notice of the new date, once the hearing is rescheduled.

Thank you for your patience and understanding during this unprecedented time.

Sincerely,



Maria Pacheco
Administrative Assistant



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ANN FULLERTON Date: 04.10.20
(Print)

Address: 23 Myrtle Ave

Case No. BZA-017259-2020

Hearing Date: 4-30-20

Thank you,
Bza Members

April 21, 2020

Cambridge City Hall
Board of Zoning Appeal
831 Massachusetts Avenue
Cambridge MA 02139

Ref: BZA-017259-2020

To whomever it may concern,

We are happily writing to express our strong support for our neighbors and friends Martin and Michelle Wartak at 23 Myrtle Ave in their variance petition.

We have known Martin and Michelle for over a decade since moving to Myrtle Ave in 2010 and they have been wonderful neighbors and friends. Specifically as it relates to their current project, they have been very transparent and forthcoming with their ideas and design. We believe the changes they are proposing to their property are fair, appropriate and even necessary for the needs of their growing family unit. And, having reviewed their proposals and drawings, we cannot think of any adverse impact to the street or neighborhood from their project.

If anything, the odd side of Myrtle Ave which is not uniform in its style in any event and has a newer condo development followed by a couple of triple-deckers with another much older structure sandwiched between them, would aesthetically benefit from the addition of a modern-looking residential structure.

In summary, we wholeheartedly support granting the variance requested and if need be we are available to answer any questions.

Thank you very much.

Sincerely,

Keren and Ori Porat
24 Myrtle Ave
Cambridge MA 02138

Pacheco, Maria

From: Brian Roughan <brianroughan@gmail.com>
Sent: Sunday, July 19, 2020 10:02 PM
To: Pacheco, Maria
Subject: 23 Myrtle Ave

Maria,

I am writing this letter in support of the renovation plans for 23 Myrtle Ave. I am a directly adjacent neighbor of Martin and Michelle Wartak and support their efforts to improve the house and expand their footprint. I have seen the plans and have no issues or concerns at all.

Martin and Michelle are wonderful neighbors, longtime Cambridge residents, and are looking for an improved home and more space for their growing family as their second child is due within the next 10 days.

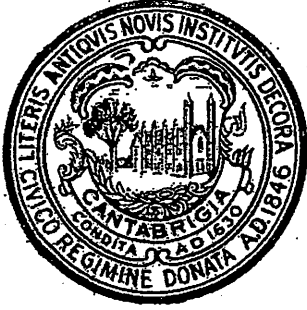
I hope the city will approve all the plans for 23 Myrtle and allow flexibility for families looking to stay in Cambridge and our neighborhood in particular.

Please don't hesitate to contact me if you want more information or to speak live about this.

Best regards,
Brian Roughan and Kerry McDonald
19 Myrtle Ave
Cambridge MA 02138
617.645.0536

--

brianroughan@gmail.com 6176450536



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

July 9, 2020

To: The Board of Zoning Appeal

From: The Planning Board

RE: BZA cases to be heard on July 23, 2020.

The Planning Board have no comments on the cases listed on the BZA agenda.

Pacheco, Maria

From: Sheraz Choudhary <sherazch@gmail.com>
Sent: Monday, July 20, 2020 4:14 PM
To: Pacheco, Maria
Subject: Zoning Appeal for 23 Myrtle Ave.

Hi Maria,

Jessica and I live at 2 Myrtle Ave #3. Myrtle Ave is a wonderful street with wonderful neighbors. All the kids play outside on the street while all the parents watch. We are a very tightly knit community.

We are writing to you today to fully support the renovation project that Michelle and Martin are undertaking. They shared all the designs and ideas with us and we love them. We think that it will serve to further improve our already wonderful street.

We can't wait to welcome Michelle and Martin's second kid who should be arriving in eight days!

Please let me know if we can support this project in any other way.

Thank you,
Sheraz, Jessica, Zak and Leo

Pacheco, Maria

From: Frank Benesch-Lee <frank@benesch-lee.net>
Sent: Monday, July 20, 2020 5:00 PM
To: Pacheco, Maria
Subject: Letter in support of Michelle and Martin Wartak, 23 Myrtle Ave

Dear Maria Pacheco,

My name is Frank Benesch-Lee and I live at 14 Myrtle Ave, Cambridge. I want to support Michelle and Martin Wartak with their renovation plans at 23 Myrtle Ave.

They have shared their plans and we fully support their project. They are using the space for their growing family, which includes their two-year-old son, and another child in 9 days.

They are nice neighbors and we want to offer our sincere support.

With best regards,

Frank Benesch-Lee.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Don Fullen Date: 7/7
(Print)

Address: 23 Myrtle Ave

Case No. BZA-07259-2020

Hearing Date: 7/23/20

Thank you,
Bza Members

MYRTLE ST GFA / LOT RATIO COMPARISION CHART

ADDRESS	TOTAL GFA	LOT AREA	RATIO OF GFA TO LOT	MAX. ALLOWABLE GFA	
EVEN SIDE OF STREET					
10 MYRTLE AVE	2160	2407	0.90	1805 TWO FAMILY	
17 MYRTLE AVE	0	0	#DIV/0!	NO INFO. 0 AVAILABLE	
19 MYRTLE AVE	1697	1954	0.87	1466 SINGLE FAMILY	
23 MYRTLE AVE	1981	2783	0.71	2087 TWO FAMILY	
25 MYRTLE AVE	2316	2711	0.85	2033 TWO FAMILY	
31 MYRTLE AVE	3648	4594	0.79	3446 THREE FAMILY	
33-35 MYRTLE AVE	3666	3178	1.15	2384 THREE FAMILY	
39-41 MYRTLE AVE	3682	0	#DIV/0!	0 TWO U. CONDO	LAND AREA UNKNOWN
ODD SIDE OF STREET					
2-4 MYRTLE AVE	2519	0	#DIV/0!	0 THREE U. CONDO	LAND AREA UNKNOWN
6 MYRTLE AVE	1440	2407	0.60	1805 SINGLE FAMILY	
10-12 MYRTLE AVE	2160	2407	0.90	1805 TWO FAMILY	
14-16 MYRTLE AVE	2160	2407	0.90	1805 SINGLE FAMILY	
18 MYRTLE AVE	2160	2407	0.90	1805 SINGLE FAMILY	
22-24 MYRTLE AVE	2160	2407	0.90	1805 TWO FAMILY	
28-30 MYRTLE AVE	2115	0	#DIV/0!	0 TWO U. CONDO	LAND AREA UNKNOWN
34 MYRTLE AVE	2299	2407	0.96	1805 THREE FAMILY	
36 MYRTLE AVE	2380	1822	1.31	1367 TWO U. CONDO	LAND AREA UNKNOWN
38-40 MYRTLE AVE	2346	0	#DIV/0!	0 TWO FAMILY	
45 MYRTLE AVE	0	0	#DIV/0!	0	



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

2020 FEB 26 PM 2:41
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-017259-2020

GENERAL INFORMATION

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Special Permit : _____ Variance : ✓ Appeal : _____

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PETITIONER'S ADDRESS : 540 Main Street, Suite 7 Winchester, MA 01890

LOCATION OF PROPERTY : 23 Myrtle Ave Cambridge, MA

TYPE OF OCCUPANCY : _____ ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

Requesting relief for 171 GSF of added area on the second and third floor, within the existing building footprint.

Project was submitted to Mid-Cambridge Conservation Commission on 2.10.20.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :


(Petitioner(s) / Owner)

ANN FULLERTON
(Print Name)

Address : 540 Main Street, Suite 7

Winchester MA 01890

Tel. No. : 617.420.3113

E-Mail Address : hiveteam@honeycombdesignbuild.com

Date : 2.20.20



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2020 JUL 28 AM 11:40
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-017259-2020

Address: 23 Myrtle Ave

☐ Owner, ☐ Petitioner, or ☐ Representative: Ann Fullerton
(Print Name)

hereby waives the required time limits for holding a public hearing as required by
Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts,
Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☐
Representative further hereby waives the Petitioner's and/or Owner's right to a
Decision by the Board of Zoning Appeal on the above referenced case within the time
period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of
Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the
federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C.
§1455(a), or any other relevant state or federal regulation or law.

Date: 07.28.20

Ann Fullerton
Signature

* * * * *

(9:30 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,
Janet Green, Jim Monteverde, Slater W.
Anderson

CONSTANTINE ALEXANDER: Okay. On the case that --
I'm sorry, the Chair will now call Case Number 017259 -- 23
Myrtle Avenue. Anyone here wishing to be heard on this
matter?

ANNE FULLERTON: Yes, Hello, everybody. My name
is Anne Fullerton. I'm here representing Martin and Michele
Wartak who are the homeowners of 23 Myrtle Ave. And they're
actually on this call. So if they could be joined as a
participant as well, to be given the ability to speak, that
would be great, Sisia.

SISIA DAGLIAN: Can you repeat their names,
please?

ANNE FULLERTON: Martin and Michele Wartak, W-a-r-
t-a-k. So Martin and Michele have owned their home since
2003. It's a two-family home, and it's owner-occupied for
the full-time. And their family is growing. They're
looking to make some changes to allow to have an extra

1 bedroom within their space that's a usable bedroom within
2 their unit.

3 And the overall square footage add that the
4 proposal has is 171 gross floor area. The request for a
5 variance is solely 65 square feet of gross floor area, which
6 makes them a 0.77 ratio, as opposed to the 0.71 that they
7 are currently.

8 All other elements are within the exact same
9 footprint; same setbacks. Roofline height, the ridge height
10 does not change. The roof line will change a bit, but the
11 ridge height does not change.

12 And it is -- we did go through Historic
13 Commission, Conservation Commission for mid Cambridge. It
14 is -- their comments were nonbinding. The Wartaks prefer a
15 more contemporary aesthetic. Of course, the Conservation
16 Commission was really interested in maintaining a more
17 historic nature. So hence the nonbinding commentary.

18 But again, the whole variance is based on 66
19 square feet at this point.

20 CONSTANTINE ALEXANDER: You want to address the
21 requirements for a variance, starting with Archer?

22 ANNE FULLERTON: I'm sorry, starting with Archer?

1 CONSTANTINE ALEXANDER: Well, you, sorry just for
2 my information, are you an attorney?

3 ANNE FULLERTON: No, I'm their architect.

4 CONSTANTINE ALEXANDER: Their architect. Well, to
5 get a variance, you need to -- there's a legal standard you
6 have to satisfy. And there are three parts, if you look at
7 the zoning ordinance.

8 You must demonstrate -- you must convince us that
9 a literal enforcement of the provisions of the ordinance
10 would involve a substantial hardship, such hardship to the
11 petitioner -- that's one.

12 That the hardship is owing to circumstances
13 relating to the soil conditions, shape or topography of such
14 land or structures -- that's two.

15 And third, that the relief may be granted without
16 substantial detriment to the public good, or nullifying or
17 substantially derogating from the intent or purpose of the
18 ordinance. Those are the findings we have to make if you --
19 if we were to grant the variance you're seeking. So you
20 have to --

21 ANNE FULLERTON: Understood.

22 CONSTANTINE ALEXANDER: -- address them and tell

1 us why we should find that you satisfy those requirements.

2 ANNE FULLERTON: So there is not -- clearly there
3 is not a soil -- or not clearly, but there is not a soil
4 requirement. The hardship is that without that additional
5 65 square feet, they actually do not have the ability to
6 turn an office into a bedroom. They -- what they have
7 currently is an approximate 7 x 12 office space. That would
8 be a very small bedroom.

9 So they're looking to make it into a standard-
10 sized bedroom that would allow them to be able to grow their
11 family in their house.

12 CONSTANTINE ALEXANDER: That addresses the literal
13 enforcement of the provisions of the ordinance would involve
14 a substantial hardship, such hardship being that this is a
15 growing family that needs more living space, and that's the
16 reason why you're increasing the square footage of the
17 house.

18 But I think you were the one who in your
19 application said, "Not applicable" to the second requirement
20 of the variance. It has to be applicable. If it's not
21 applicable, you don't get the relief.

22 So let's think creatively as to why the hardship,

1 which is the lack of space, is owing to circumstances
2 relating to the soil conditions -- I understand they don't
3 satisfy that. How about shape of the current structure? Or
4 the topography of the structure?

5 ANNE FULLERTON: So it is -- the topography of the
6 structure -- the topography of the land is a flat site. But
7 the topography of the structure -- the actual structure is,
8 again, does not allow -- the existing envelope does not
9 allow us to expand enough to have a normal-size bedroom.

10 And the goal is, again, to stay within the exact
11 same footprint, so we're not creeping out beyond the
12 existing footprint.

13 CONSTANTINE ALEXANDER: Good.

14 ANNE FULLERTON: But instead to enclose a portion
15 of their first-floor porch, to add a powder room on their
16 first floor, and then to actually add an extension on their
17 second floor over the top of the porch -- the front porch.

18 CONSTANTINE ALEXANDER: Thank you. That's good.
19 And then I can help you on the third one. Relief may be
20 granted without substantial detriment to the public good, or
21 nullifying or substantially derogating from the intent and
22 purpose of the ordinance.

1 As you have pointed out, the amount of additional
2 space that's being added is quite small. It is supported by
3 what seems to be unanimous neighborhood support, and there
4 seems to be no other reasons not to grant the variance.

5 So we agree on that. Anything further you want to
6 add to your presentation before we ask other questions, or
7 we open the matter up to public testimony?

8 ANNE FULLERTON: The only thing that I would add
9 is we did do a study of the GFA ratio in the neighborhood,
10 to make sure that we weren't exceeding the norm. And I
11 believe Sisia added it to the back.

12 And the two GFAs ratios highlighted in green are
13 only two that currently conform, one of which is 23 Myrtle
14 Street, the property we're talking about.

15 The rest far exceed. And our 77 percent would
16 still be far below the norm in that neighborhood. And I
17 just wanted to make that point that the neighborhood is
18 already fairly dense.

19 CONSTANTINE ALEXANDER: Good. Thank you.
20 Questions from members of the Board?

21 BRENDAN SULLIVAN: No, well maybe a comment. This
22 is Brendan Sullivan, and Anne, even though you mentioned

1 that the Historical Commission mid Cambridge's comments were
2 nonbinding, I for one take them very, very seriously, and we
3 welcome their input of any of the historical committees and
4 Planning Boards.

5 And so, I'm a little bit trouble by their not
6 liking this, I guess to put it mildly. And there are also
7 some letters in the file and some correspondence that is not
8 fitting in the neighborhood. And so, anyhow, that's just
9 one comment that I have.

10 ANNE FULLERTON: May I address?

11 BRENDAN SULLIVAN: Sure.

12 ANNE FULLERTON: We agree. I worked with Allison
13 Crosby (phonetic) pretty extensively to sort of walk her
14 through the project from an early phase and took her
15 comments to heart, and actually modified some of the
16 entryway pieces to make it a little bit more gracious and
17 open.

18 And we actually presented a landscape planting
19 plan as well to the Historic -- or to the Conservation
20 Commission, because we wanted the Commission as well as the
21 neighbors to understand what the public way especially would
22 be like.

1 Because we know the house is different. The
2 proposal is different than the current house aesthetically.
3 That does not necessarily make it wrong. Certainly, the
4 Conservation Commission was excited about their house
5 initially because it had a lot of original sort of shingle
6 detail that has not been maintained, and needs to be largely
7 repaired.

8 And again, it's not the homeowner's aesthetic, a
9 and they're long-term homeowners and they're looking to, you
10 know, make the home they're going to stay in for quite a
11 while.

12 So we did really try to compromise as much as
13 possible, and it became pretty clear during the commission
14 meeting that because of the nature of the current home that
15 hadn't been vinylled over, that they weren't -- they couldn't
16 make the turn easily to support us.

17 CONSTANTINE ALEXANDER: Okay. Any other members of
18 the Board have any questions or comments you want to make at
19 this point? Hearing none, I assume the answer is no. I'll
20 open the matter up to public testimony, and we'll here from
21 there are many letters of support in the file in writing,
22 but I'll see if anyone wants to speak on this matter, pro or

1 con.

2 So any members of the public who to speak, now is
3 the time. You have to click the icon at the bottom of your
4 Zoom screen that says, "Raise hand." If you are calling in
5 by phone, you can raise your hand by pressing *9 and unmute
6 or mute by pressing *6.

7 Anyone wishes to speak? We'll give it a few more
8 minutes just because it's slow. But apparently no one does
9 wish to speak.

10 ANNE FULLERTON: The homeowners might.

11 CONSTANTINE ALEXANDER: I'm sorry?

12 ANNE FULLERTON: The homeowners might as well.

13 CONSTANTINE ALEXANDER: All right.

14 SISIA DAGLIAN: You need to raise your hand.

15 CONSTANTINE ALEXANDER: Still no indication. So
16 I'm going to assume nobody wants to address this orally. As
17 I indicated we are in receipt of many letters from neighbors
18 in the neighborhood, all of which are in support of the
19 relief being sought.

20 Well, I'll close public testimony, and I think
21 it's time for a decision.

22 JIM MONTEVERDE: Can I --

1 CONSTANTINE ALEXANDER: Question, or do you want
2 me to --

3 JIM MONTEVERDE: Excuse me, Gus.

4 CONSTANTINE ALEXANDER: Go ahead, go ahead, Jim.

5 JIM MONTEVERDE: This is Jim Monteverde. I'm
6 sorry, I -- my screen blacked out there a bit while you were
7 taking --

8 CONSTANTINE ALEXANDER: Sure.

9 JIM MONTEVERDE: -- Board questions, so may I ask
10 a question or make an observation?

11 CONSTANTINE ALEXANDER: Go ahead.

12 JIM MONTEVERDE: Thank you, if it's not too late.
13 So I share -- I think I heard Brendan's concern about the
14 other Commission's statements and their concerns. I kind of
15 share those concerns, or I shared those concerns.

16 And one curious little question I have is if I
17 take the existing elevation, street elevation, and I take
18 your proposed street elevation, in essence the major piece
19 of the massing that changes is what happens on the third
20 floor, which -- if I squint my eyes, in essence it's a
21 dormer that's the entire length of the façade, which this
22 Commission would never allow, or the Zoning Board would

1 never allow.

2 So in terms of the -- and I'm just -- I'm pushing
3 aside the issues of the stylistic materiality -- you know,
4 whether the existing structure is reusable and repaintable
5 and any value it has to the community.

6 I'm strictly looking at the massing that you're
7 proposing. And again, I'm looking at the street-facing
8 elevation for both the existing and the proposed.

9 Did I basically read that change in massing
10 correctly? That in essence it's -- it amounts to what would
11 be, were you to keep the original, the existing roof line,
12 you would be adding a dormer that's the entire length of the
13 building by whatever the height is?

14 Is that kind of what --

15 ANNE FULLERTON: I'm sorry, do you have more to
16 your question?

17 JIM MONTEVERDE: No.

18 ANNE FULLERTON: Okay. So I think that we all
19 know that part of the dormer requirements are like a setback
20 from the main face of the house, as well as a width and
21 length and height relationship to the rest of the house.

22 So essentially what we're looking at in the

1 proposal is a full third floor on the right-hand half of the
2 house. It currently has occupied third-floor spaces, but it
3 has significant eaves.

4 JIM MONTEVERDE: Correct.

5 ANNE FULLERTON: And so, what the proposal is, is
6 to essentially make half of the third floor a full third
7 floor height. I wouldn't call it a dormer, because we
8 didn't propose a setback.

9 JIM MONTEVERDE: Yep.

10 ANNE FULLERTON: -- intentionally, we didn't
11 propose a setback. We thought that it was inappropriate for
12 the overall massing of the house.

13 And the house immediately to the right of it
14 actually has the rear half of it has a roofline similar to
15 what we're proposing. So we felt like it was in keeping
16 with the aesthetics of for the built condition surrounding
17 the house.

18 JIM MONTEVERDE: Yeah. I'm looking at the photo
19 of the adjacent building. I'm not quite following the logic
20 totally. But I understand your point. Yeah. You're not
21 considering it a dormer. In essence, you're raising the
22 roof on that section to get a full third-floor level

1 occupancy on that, as you said, right side of the building.

2 ANNE FULLERTON: Right.

3 JIM MONTEVERDE: So I have my concerns. Just --
4 again, you're following the threads that go through the
5 various commissions, and couple letters that I read in the
6 file, and then my own sense that it's that lifting of the
7 roof on that particular end.

8 I mean, I see the lifted roof adjacent to you to
9 the right, but --

10 ANNE FULLERTON: It's substantial.

11 JIM MONTEVERDE: -- I think that -- yeah, I think
12 what you're proposing is just much more substantial, and I
13 can't say that I would be in support. Anyway, thank you.
14 That's my comment.

15 CONSTANTINE ALEXANDER: Thank you, Jim. Any other
16 comments or should I make a motion and we can vote on this
17 matter?

18 MICHELE WARTAK: Hi, this is Michele Wartak. If
19 we could just make a comment, would that be okay?

20 CONSTANTINE ALEXANDER: Go ahead.

21 MICHELE WARTAK: Oh, sure. So I'm Michele Wartak
22 and this is my husband, Martin Wartak. And we've lived here

1 for 17 years, and we continue -- want to continue to do so.
2 I'm actually right now you can't tell from this little Zoom
3 window, but I'm 39 weeks pregnant, and we have a baby
4 arriving next week, which is very exciting.

5 When we were thinking that we would do this, you
6 know, hearing back in April it was a little bit of a
7 different scenario.

8 But what we would like to say is just that we've
9 been in support of this neighborhood. We are not thinking
10 about moving, even though we're adding to our family. And
11 the neighborhood as, you know, for children his just been
12 amazing.

13 And we already have a 2-year-old son, and we were
14 -- we're older parents, if you will, but, you know, the
15 support of the neighborhood and the neighborhood overall is
16 just warm and welcoming.

17 So we just wanted to explain that and say, you
18 know, that we're hoping that, you know, this bedroom would
19 be obviously, you know, have an occupant pretty quickly, so
20 we're hoping that, you know, this could be, you know, at
21 least supported, if you will. Thank you.

22 CONSTANTINE ALEXANDER: Thank you. Any other

1 comments from members of the Board?

2 BRENDAN SULLIVAN: I may have missed it Gus. Did
3 we have a sense of what the neighbor on the tall side of the
4 house thought about the three-story side?

5 CONSTANTINE ALEXANDER: What's that neighbor's
6 name and address, and I'll go through the letters in our
7 file. I can ask the petitioner to give that answer.

8 MICHELE WARTAK: Yeah. I can tell you their
9 address, I believe, is 21.

10 MARTIN WARTAK: It should be Debra Bell. And I
11 think she might be at 23 or 25. Oh, we're 23 -- sorry,
12 we're 23.

13 CONSTANTINE ALEXANDER: You're 23.

14 MARTIN WARTAK: So she's not there.

15 MICHELE WARTAK: She's 25.

16 CONSTANTINE ALEXANDER: Well, we have letters in
17 the file from the person that lives at 14 Myrtle Avenue, 2
18 Myrtle Avenue #3, 19 Myrtle Avenue.

19 MARTIN WARTAK: We have a file, Gus. Yeah, I'm
20 seeing a file from Deborah Bell, a letter, in opposition.

21 "I have lived at 27 Myrtle Ave. I'm writing to
22 urge you to prevent the proposed renovation to the house

1 next door to mine."

2 CONSTANTINE ALEXANDER: I'M looking through the
3 letters.

4 JANET GREEN: Is she in the green house or the
5 other one? Which house is she in?

6 ANNE FULLERTON: She's in the green house.

7 CONSTANTINE ALEXANDER: Oh, we have --

8 JANET GREEN: The light green?

9 ANNE FULLERTON: The one with the higher roof.

10 CONSTANTINE ALEXANDER: We do have a letter from
11 27 Myrtle Avenue. And he -- she I should say -- opposes
12 relief being sought.

13 JANET GREEN: So she's the neighbor. But it looks
14 like if she's in the greenhouse, it looks like a lot was
15 done there already.

16 ANNE FULLERTON: Right.

17 JANET GREEN: Is that correct, or is it? So it's
18 been adjusted and changed?

19 ANNE FULLERTON: Significantly. She has a full
20 third story on the back half of her house, yeah.

21 JANET GREEN: It's an interesting street in many
22 ways, but because it obviously had many of the houses look

1 the same on that street, and were built around the same
2 time. And then gradually over a period of time, this little
3 bit's been added or that's been changed. And so there's
4 change in a fairly significant number of the houses.

5 Do you have, like would you say that half the
6 houses in the neighborhood have had additions or changes to
7 the original architecture, or would you -- would that be a -
8 - you know, would you just be adding to a small group, who -
9 - you see what I mean, you see my question?

10 ANNE FULLERTON: I think about a third. Martin
11 and Michele, would you agree with that? That a third have
12 significant aesthetic changes to the architecture?

13 MICHELE WARTAK: Yes.

14 ANNE FULLERTON: Especially across the street?

15 JANET GREEN: Mm-hm.

16 ANNE FULLERTON: Yeah. Across the street, people
17 have added dormers, much less sort of like the mint green
18 house. And so, I would say probably about a third.

19 JANET GREEN: Mm-hm. It's a very attractive house
20 that you have, you know, from the outside. And the original
21 architecture on the street had many houses like that, I
22 think, before all of the changes happened.

1 But I guess I'm not sure that you should be
2 responsible for maintaining a neighborhood that's in change,
3 you know?

4 So I guess I would be in favor of your project.
5 I'm only one person on the Board, and it's a big -- what
6 you're asking is kind of a big deal. So I'm not sure how
7 that would go, but I'm in favor of it, given that things --
8 the change in the entire neighborhood, not just looking at
9 your own house.

10 MICHELE WARTAK: Thank you.

11 CONSTANTINE ALEXANDER: This is the Chair. I
12 share a dislike of the architecture that's being proposed
13 for this house. And there are letters I didn't read one
14 from a cofounding partner of HMFH Architects, a noted
15 Cambridge architectural firm, who strongly opposes the
16 design, what you're doing in the house.

17 But I understand your need for the house, need for
18 the addition you're proposing. I wish you got a better
19 design than what you're submitting to us. But with a great
20 deal of reluctance, I guess I would vote for it.

21 JANET GREEN: Mm-hm. And I know it's a big, it's
22 a big thought to, like, think about the design a little bit

1 differently after hearing the comments.

2 And as I said, I'm in support of you having the
3 project, but I wondered if you -- in listening to all of the
4 comments that you're hearing, if you wanted to think about a
5 design of it again, or if you want to go forward with this,
6 as I say, I'm supportive of your project. So -- but I hear
7 the comments.

8 BRENDAN SULLIVAN: This is Brendan Sullivan. I
9 sympathize and agree with your need for additional space. I
10 just don't like the envelope, the look of it. I think it is
11 very inappropriate. And I would agree with the comments
12 from the Cambridge Conservation District Commission.

13 CONSTANTINE ALEXANDER: Well, I just want to point
14 out if we got to a vote, which we will shortly, and the vote
15 is you don't get four votes -- you need four votes to get
16 the approval -- so it's not a simple majority, and that's
17 state law, it's a super majority.

18 And if we -- if you don't get the vote, you're
19 going to -- you can't build, you can't come back for two
20 years, unless you come back with a substantially different
21 design, which may be the case if you get turned down, I
22 don't know. But it's your call, petitioners, if you want to

1 put us to a vote now? You've heard comments from members of
2 the Board.

3 JANET GREEN: And how, I think Gus -- what the
4 Chair is saying that, you know, there's a possibility you
5 could say, "Well, maybe we would like to think it over a
6 little bit more before we go to a vote now." And then you
7 would come back with whatever changes you do or don't make.

8 Or you could ask for us to vote tonight. But I
9 think you're hearing some real questions.

10 MICHELE WARTAK: So just for clarification, when
11 you say, "voting" it's voting for just the 65 square feet?

12 JANET GREEN: No.

13 MICHELE WARTAK: Or you're also -- you're talking
14 about the design of the whole structure?

15 CONSTANTINE ALEXANDER: I think it's both. I
16 mean, it's the footage, the square footage, definitely. You
17 can't divorce that from the design that's been submitted to
18 us. So, not much of an answer, but basically that.

19 I don't think -- I'm speaking for myself as the
20 Chair, but only for myself -- I don't think there's much
21 objection to the amount of space you're proposing to add. I
22 think the crux of the matter is the design that's being

1 presented to us.

2 MICHELE WARTAK: Okay, so just to clarify what
3 you're saying, you -- if this is voted down, then that means
4 that we cannot do this design either?

5 CONSTANTINE ALEXANDER: I'm sorry, I --

6 SLATER ANDERSON: You could do this design if it
7 was in conformance with zoning. So for example, if you
8 didn't need a variance. So that's where there is a little
9 bit of a -- you know, it would be a shame to be voted down.
10 I mean, you could come back with a plan to conform that
11 didn't need a variance, and you could do this design, yes.

12 MICHELE WARTAK: But we couldn't come back for two
13 years, because if you vote this down now, we can't come back
14 for two years. Is that what -- it's?

15 MARTIN WARTAK: For that.

16 MICHELE WARTAK: If we can -- for a variance, but
17 if we conform because we do have some of the square footage
18 left in our FAR, we can still continue with potentially a
19 variation of this design?

20 SLATER ANDERSON: Correct.

21 MICHELE WARTAK: Okay.

22 JANET GREEN: It sounds like there are questions

1 somewhat about the design, but it's also sort of the
2 location of the footage, you know? But nobody is saying
3 that you're trying to make it way too big.

4 MICHELE WARTAK: Yeah, yes, no, I understand.
5 Thank you.

6 MARTIN WARTAK: We actually would have loved to
7 have opened it up entirely, but that seemed a little bit
8 gratuitous to --

9 MICHELE WARTAK: Yeah.

10 MARTIN WARTAK: -- to do so much. We kind of
11 tried to balance it with -- I think we're leaving it at two
12 children, we can't really have any more of them, but we kind
13 of didn't want to present something that we were trying to
14 be greedy with the space or anything like that. We've kind
15 of tried to do it reasonably with kind of -- within the
16 walls and not imposing too much on the neighbors or on the
17 neighborhood and kind of trying to fit in.

18 For what it's worth, as Michelle said, we're not
19 going anywhere. We're not trying to do this to then flip it
20 or something like that. We've been here 17 years. I grew
21 up in Cambridge. My parents over on Fenno Street. And so
22 we're planning in staying here. We love the neighborhood.

1 We love the city.

2 And we love the house that we're in, it just -- it
3 desperately needs to be updated. And we thought we would
4 try to build the house that we loved. And most of our
5 neighbors I think have been very supportive and love the
6 house. The important thing is just being able to keep our
7 family and our kids in this neighborhood. And that's kind
8 of what we've tried to do.

9 And it's gotten a little bit with COVID and just
10 kind of all of the scheduling getting pushed out, it's kind
11 of been getting harder and harder to kind of keep pushing
12 this out and keep modifying the plans. Because we're going
13 to have to move out for six months or a year or something
14 like that with the kids to somewhere else and then come
15 back.

16 And so, we'd love to try to do that while the kids
17 are kind of a little bit younger. We think it's going to be
18 kind of a little bit easier to do.

19 So I'm inclined to -- hopefully it's not rolling
20 the dice, but to roll the dice with you all and with the
21 committee to hopefully that you all would -- well, if not
22 overlook the design entirely, but just realize that what

1 we're trying to do is we're trying to accommodate hopefully
2 everyone and the neighborhood and the city and ourselves
3 with a small addition. Yeah, it'll be modern.

4 That's been one of the neat things growing up in
5 Cambridge is seeing the changes and how the city kind of has
6 evolved and everything like that. And you do see a lot of
7 these modern houses and places, and they're kind of neat.
8 And then you see some other renovations.

9 But I think that's been some of the great
10 diversity in the city of seeing it not just in the people,
11 but in the architecture of what's been going on. So we --
12 well anyway, either way we thank everyone very much for
13 listening to it, for the feedback about the design and we
14 hope you could support it.

15 SLATER ANDERSON: Before you roll the dice, if
16 that was the phrase, if -- I think from the -- if I kind of
17 count in my little Hollywood Squares thing that's on my
18 computer here, the Board members who've kind of spoken and
19 voiced some concern, I have, I think Brendan has -- that's
20 two. The numbers say you don't pass tonight.

21 MARTIN WARTAK: Oh, I see. Oh, there are five and
22 we need four?

1 JIM MONTEVERDE: Four. So yeah, I just want to
2 help you with the rolling the dice routine.

3 MARTIN WARTAK: Okay, no, I appreciate it.

4 JIM MONTEVERDE: But it's more like driving off a
5 cliff.

6 MARTIN WARTAK: Okay, no, that's fine. That's
7 actually very helpful, then. So it sounds like from what
8 I'm hearing then, that it's not going to pass.

9 JIM MONTEVERDE: Yeah, I'm just listening to the
10 conversation and I think --

11 MARTIN WARTAK: Okay, yeah.

12 JIM MONTEVERDE: -- that's the way I counted it.
13 So you don't want to do a Thelma and Louise unless you
14 really want to do it.

15 MARTIN WARTAK: Right. I haven't seen that movie,
16 but I think I know what you're saying.

17 SLATER ANDERSON: So my concern I would just weigh
18 in is one of the things we look at with this is, you know,
19 was there an earnest effort to resolve concerns of the
20 neighbor. And I'm seeing a letter from an immediate
21 abutter, if I understand, where Deborah Bell lives that --
22 you know, expressing concern about it on the side that is

1 the highest height of the house.

2 I also, I don't see an elevation for that side of
3 the house. It would be the right side of the house.

4 ANNE FULLERTON: It is in the package.

5 SLATER ANDERSON: Is it? Okay.

6 ANNE FULLERTON: Yeah.

7 JIM MONTEVERDE: Yeah, I don't find it either.
8 I'm doing it not on the -- I'm doing it online and I don't
9 find it.

10 SLATER ANDERSON: The one online didn't seem to
11 happen.

12 ANNE FULLERTON: Yeah, I --

13 JIM MONTEVERDE: I think --

14 MARTIN WARTAK: Yeah.

15 ANNE FULLERTON: It was in the package that we
16 submitted to Conservation. It's possible that it did not
17 get submitted to you as well because we submitted at the
18 same time.

19 I just thought from what I know as a more granular
20 commentary about the design, we have heard the Commission's
21 comments in that Michele Martin and I have had significant
22 conversations about whether or not the scale of materiality

1 affects the perception of the relationship of this house to
2 the rest of the neighborhood.

3 And initially we had been looking at possibly a
4 metal panel, which is what is on your submission. And we
5 are now looking at something more in line with, like, a 10
6 inch flat plan instead of the metal panel, where it would
7 have a more residential scale of materiality. Doesn't
8 change the envelope or the fenestration necessarily, but it
9 does change the scale and texture.

10 So you have -- that is the driveway side, so not
11 the neighbor who has -- that you noted.

12 JIM MONTEVERDE: It's the right elevation that I
13 don't find in the online or in what's on the screen for all
14 of us. But --

15 ANNE FULLERTON: I don't know how much this helps
16 you for me to do this.

17 JIM MONTEVERDE: No, that's -- I can imagine what
18 it is. I mean, I can read it on the plan, I can see the
19 height of it in the front elevation, street-facing
20 elevation. Personally, it doesn't help me.

21 ANNE FULLERTON: Well, I think part of her concern
22 that she has expressed to Martin and Michele -- and I don't

1 know if this is outlined in her letter -- was privacy. And
2 the only window change on that elevation is the addition of
3 a window in the bathroom, which would be above eye level for
4 privacy.

5 SLATER ANDERSON: Yeah. I mean we haven't seen,
6 you know, a shadow study. I mean, that house -- so that
7 tall side is on the south side of the neighbor who's
8 concerned. So, like, the shadows, you know, you're building
9 a substantial wall there that's going -- will block light.

10 I just -- it doesn't mean you need to have
11 unanimous support from your neighborhood, but I'm not
12 feeling that there was a dialogue between your clients. And
13 I have less of an issue with the architectural design. I
14 agree with your client's comments that, you know, Cambridge
15 is eclectic in ways, and that.

16 But I have an issue with the massing of that side
17 and not having, you know, evidence you've made an effort
18 with that neighbor to, you know, work on a solution.

19 And it's over 65 feet -- you know, square feet,
20 you know? And it's just a high risk venture for you guys to
21 proceed. So that's my perspective.

22 CONSTANTINE ALEXANDER: This is Gus Alexander, the

1 Chairman. We've got to bring this to a conclusion. We've
2 got some more cases to hear tonight. I think you're hearing
3 petitioners from the Board. That's a lot of problems with -
4 - not fatal, maybe -- but a lot of problems with the design
5 of this structure.

6 And I think it's time -- I think it would behoove
7 you to go back to your neighbors, and also reflect on the
8 comments you've heard tonight. And you can get a copy of the
9 transcript so you can see exactly what was said, and think
10 about this.

11 You might want to come back with the very same
12 structure you have right now a couple of months from now
13 when we would hear you again. But you may not. And you
14 want to roll the dice, it's your call. But I think it might
15 behoove you not to roll the dice tonight, but to take some
16 time to think about what you heard, and talk to your
17 neighbors, and then decide what to do.

18 MARTIN WARTAK: Could I ask what the objections
19 were of -- that you all had -- it was just the aesthetic of
20 it or the large third floor?

21 Because regarding Deborah, we've been talking to
22 her for at least a year about this, and we've been entirely

1 transparent with her about the plan. There are some
2 neighbors -- not to say more about her personally -- that
3 are just kind of a little bit intractable, and you can look
4 kind of on other neighborhood issues, where Deborah has had
5 the same stance on these things. So we're not overly
6 surprised about this.

7 But we've tried to be as transparent as possible
8 with her and every neighbor about it. We didn't treat her
9 any differently, about exactly what we're doing and getting
10 feedback and everything like that.

11 But I'm just curious about what the Committee
12 would want us to do differently.

13 SLATER ANDERSON: That's helpful to hear, Martin.
14 It wasn't clear to me that there was a dialogue.

15 MARTIN WARTAK: I just -- a lot, a lot, lot, lot
16 of dialogue. I like Deborah -- we all do very much
17 personally. Our son Tate sees her in the back yard, he
18 says, "Debwa" it's very cute. But we've really tried to
19 kind of -- I'm a little puzzled about kind of her letter.

20 By the way, after we talked to her, the first we
21 heard of her opposition was the letter that she sent to the
22 Historic Commission. That was kind of like -- there were a

1 little bit of rumblings, "Oh, I'll think about it, I'll
2 think about it," and then poof it happened.

3 So I think you can kind of meet people where they
4 are. But anyway, we tried very much to actively engage her.
5 But I'm curious what we could do if we resubmitted that
6 would be more agreeable to you all?

7 BRENDAN SULLIVAN: Well, this is Brendan Sullivan.
8 I don't mean to be cute, but we would know it when see it.

9 MARTIN WARTAK: Okay.

10 BRENDAN SULLIVAN: It's hard to --

11 MARTIN WARTAK: No, and that's fair.

12 BRENDAN SULLIVAN: -- you know, it's hard to say,
13 "Do this, do that" or something like that. It's just that
14 to me the façade of the building is radical. It is
15 inappropriate with the neighborhood.

16 You know, and, you know, yes, I do go to Myrtle.
17 I live up at the other end of the city. You know, I go down
18 Myrtle Street every once in a while, up Broadway -- all that
19 other type of stuff.

20 And, you know, I do sometimes revisit some of the
21 cases that we sat on just to see the end result of what we
22 approved or whatever.

1 And I critique it. I critique, you know, why I
2 voted for something and oh, maybe I should not have on
3 second thoughts, you know, so on and so forth. Or you go by
4 and you say, "Yeah, that's a nice-looking plan." And, you
5 know, you're glad you were able to add to the streetscape,
6 and also, to enhance people's lives.

7 But then some of the -- most of the time what I do
8 is I put myself in the position of the person next door to
9 you. What effect will this have on either side -- across
10 the street, who will be looking at this all the time.

11 And some things have gone on in my own
12 neighborhood that I look at. And again, my tastes should
13 not be your taste. We'll have -- that's -- my father used
14 to have an expression saying that's why Howard Johnson's has
15 28 flavors, because we all don't like vanilla, chocolate and
16 strawberry.

17 So there is variety that is part of the Cambridge
18 fabric. To me, I think this is a radical design which tears
19 at the fabric of that lovely street, put it very simply.
20 And I just -- I, again sympathize with your need for more
21 room, I have no problem with that. I think the amount of
22 space is de minimis compared to, you know, the house and

1 what your needs are. But it's just -- it's a radical
2 design, and I just go back to the mid Cambridge that I think
3 it's inappropriate. So --

4 MARTIN WARTAK: My one -- and so, thank you for
5 clarifying that. My one question is it sounds like the
6 raising of the roof is partly the objection. But I don't
7 know that we have any other place to gain more space.

8 SLATER ANDERSON: You may be better with a gable
9 and a dormer effect, rather than a full third floor on one
10 side. I think that that's kind of where the design fails.

11 JIM MONTEVERDE: This is Jim Monteverde. I'm just
12 flipping between the -- I have this online. I'm looking at
13 the drawings. I'm flipping between the existing third floor
14 or the proposed third floor and just seeing, you know,
15 what's the game, what's the rationale?

16 And, you know, you pick up on mechanical space.
17 You have a bathroom there, you revise the bathroom; you pick
18 up on office, there is a closet, you pick up a bigger
19 closet. It just -- it doesn't give me enough rationale to
20 say that the existing, you know, roof profile should be
21 obliterated.

22 You know, I can get beyond the façade treatment,

1 but I think what you've got as an existing piece of fabric -
2 - and I think that's what I'm reading from the Conservation
3 Commission and a couple of the other letters is it's a
4 classic.

5 It -- you know, people would hate to see it go, be
6 obliterated. Which means the argument of, "Well I'm doing
7 this within the same shell, I'm just giving it a new suit of
8 clothes" is raising some objections.

9 And I think the bigger move that you're making
10 massing wise, which you just talked about, Martin, of
11 raising that roof on I guess is the right-hand side of the
12 house, is the one that's causing me concern.

13 I'm not sure from what I see in your new third-
14 floor plan, there wouldn't be a way to -- or I'd be curious
15 if there was a way to achieve this new space that you get by
16 a dormer or some other method within the existing, you know,
17 roof profile.

18 Maybe you can, maybe you can't, I don't know. But
19 it would be that analysis that would basically say, "Ah,
20 yeah, you know, by the way there is a method or there
21 isn't." That's the part I can't follow at the moment, and I
22 can't get there.

1 ANNE FULLERTON: Yeah. I think --

2 JIM MONTEVERDE: Because frankly, if the house
3 were to burn down and this is the lot and you came back with
4 this, it would be a whole different story. So part of it is
5 just letting that existing fabric go.

6 ANNE FULLERTON: That's exactly the same
7 commentary we ended the Conservation Commission with, was,
8 you know, had this house not sort of held its place in time
9 for so long, it would be a different story.

10 JIM MONTEVERDE: Yeah.

11 ANNE FULLERTON: But just to go back to your
12 Chairman about the validity of the additional space on the
13 third floor, a large amount of the reason that we need to
14 raise the walls to accommodate the additional space for
15 mechanical, and especially the office, is they're losing
16 their office space on the second floor to the new bedroom
17 for their second child.

18 JIM MONTEVERDE: Yeah.

19 ANNE FULLERTON: And Martin does work from home.

20 JIM MONTEVERDE: Yeah.

21 ANNE FULLERTON: And even in normal times. And
22 so, that office space is essential to their family needs.

1 And so, -- and the mechanical space really is essential to
2 us serving the house appropriately for mechanical.

3 JIM MONTEVERDE: I hear you, but at the moment I'm
4 not swayed.

5 JANET GREEN: I hear --

6 ANNE FULLERTON: Yeah.

7 JANET GREEN: -- I don't think anybody's
8 disagreeing with what you just said. But I'm not sure
9 people feel that you've got it organized.

10 SLATER ANDERSON: I mean, there's a basement that
11 seems to be, even in the new plans, seems to be
12 underutilized. What's happening in the basement?

13 ANNE FULLERTON: It's a short basement and it's in
14 a flood zone. And it would be incredibly expensive for them
15 to actually use that as occupiable space, because it does
16 flood.

17 SLATER ANDERSON: No, but I'm thinking mechanical.
18 I mean, you've got the mechanicals on the table.

19 ANNE FULLERTON: Oh, so the issue with the
20 mechanical is their second floor, their second unit is
21 really only on the second floor. And it's sort of bound
22 between the eve space on the third floor and their living

1 space on the first floor. It doesn't have good heating and
2 cooling service.

3 And to really effectively cool it and heat it
4 without pushing ducts through their living space, we would
5 do a ducted mini split from that space behind their master
6 bedroom on the third floor.

7 SLATER ANDERSON: Okay. Gus?

8 CONSTANTINE ALEXANDER: It's decision time. Do we
9 want to go -- does the petitioner want to go forward with a
10 vote? And --

11 ANNE FULLERTON: No, we won't.

12 CONSTANTINE ALEXANDER: Sorry?

13 ANNE FULLERTON: We will not go forward with a
14 vote.

15 CONSTANTINE ALEXANDER: Okay. So we'll continue
16 this case. Give you time to talk to your neighbors, think
17 about what you've heard tonight. I'd urge you to get a copy
18 of the transcript when it's available in the weeks to come,
19 so you'll have everything. You know, you might forget
20 things you would have said, or you want to really reflect on
21 what is said, to get it in the transcript.

22 ANNE FULLERTON: Okay.

1 CONSTANTINE ALEXANDER: Continue the case until --
2 what date's the earliest date?

3 SISIA DAGLIAN: Probably October 8, when
4 everyone's here, right?

5 CONSTANTINE ALEXANDER: If we have room?

6 SISIA DAGLIAN: Yep. Yeah, we only have one other
7 case. I mean --

8 CONSTANTINE ALEXANDER: Okay. So we would
9 continue this case until October 8. And then we would --
10 excuse me -- meet again. Is that acceptable to you?

11 ANNE FULLERTON: Yes.

12 CONSTANTINE ALEXANDER: October 8?

13 ANNE FULLERTON: Very much.

14 CONSTANTINE ALEXANDER: Okay. The Chair moves
15 that we continue this case as a case heard until 7:00 p.m.
16 on October 8, subject -- at 7:00 p.m., not this late hour we
17 have right now, subject to the following conditions:

18 The first is that you sign a waiver of time for
19 decision. By law, if we don't decide a case quickly, relief
20 is granted. And so, when we continue cases, we're going to
21 trip that.

22 So the waiver just simply says that we have more

1 time to make a decision, which works in your favor as well
2 as the city's. And that's -- it's a simple, standard
3 document.

4 So you have to sign a waiver of time for decision.
5 The condition on that is that you must do this within one
6 week from tonight, and it will go to Inspectional Services
7 Department -- it's a simple one-page form -- and sign it.
8 You don't do that; the case will be dismissed. That's the
9 first condition.

10 The second condition is that the posting sign that
11 you have maintained for the 14 days, you'll need a new one
12 for the new date, October 8, and that sign will have to be
13 maintained for the 14 days before the hearing on that date.

14 And lastly, to the extent you want to come back
15 with new plans or modified plans -- new plans,
16 specifications, other specific statistical data or tangible
17 data, that must in our files no later than -- our files
18 being ISD, the Special Services Department -- no later than
19 5:00 p.m. on the Monday before October 8.

20 And that's to allow us and citizens of the city to
21 go down there or go online and to review what you're now
22 proposing. So -- and those are the conditions. All those

1 in favor of continuing the case on this basis -- Brendan?

2 BRENDAN SULLIVAN: Brendan Sullivan, in favor of
3 continuing.

4 CONSTANTINE ALEXANDER: Janet?

5 JANET GREEN: I'm in favor of continuing.

6 CONSTANTINE ALEXANDER: Jim?

7 JIM MONTEVERDE: Jim Monteverde, in favor of
8 continuing.

9 CONSTANTINE ALEXANDER: Slater?

10 SLATER ANDERSON: Slater Anderson, in favor of
11 continuing.

12 CONSTANTINE ALEXANDER: And I am in favor of
13 continuing as well.

14 [All vote YES]

15 So the case will be continued until October 8, and
16 we will see what happens then. Thank you very much.

17 COLLECTIVE: Thank you, goodbye.

18

19

20

21

22

Pacheco, Maria

From: ann@honeycombdesignbuild.com
Sent: Monday, September 28, 2020 9:16 AM
To: Pacheco, Maria
Cc: 'Michelle Wartak'; 'Martin Wartak'
Subject: 23 Myrtle Ave, Cambridge - BZA continuance

Good morning Maria,

We would like to request an extension of the subject property BZA review continuance until an early November 2020 date.

The project is currently scheduled to appear in front of the Board again on October 8th, 2020.

Please confirm if you need any additional information from our team to change the schedule.
Thank you.

ANN FULLERTON Partner, AIA LEED-AP
617.420.3113

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* * * * *

(7:27 p.m.)

Constantine Alexander, Brendan Sullivan,

Janet Green, Andrea A. Hickey, Jim Monteverde

CONSTANTINE ALEXANDER: The Chair will now call

Case Number 017259 -- 23 Myrtle Avenue. Anyone here wishing to be heard on this matter? No one wishes to be heard; we are in receipt of a letter, if I can find it, from the architect or designer.

"We would like to request an extension of the subject property -- BZA Review Continuance -- until an early November 2020 date. The project -- "

Okay, the rest is tonight. We already have booked up, I think, the nineteenth of November with three cases.

SISIA DAGLIAN: Well, we're -- no, we only have two now.

CONSTANTINE ALEXANDER: We only have two?

SISIA DAGLIAN: Yeah, with 32 Highland, we only have two.

CONSTANTINE ALEXANDER: Okay, then we can -- does November 19 work?

SISIA DAGLIAN: Yep.

1 CONSTANTINE ALEXANDER: Okay. The Chair moves
2 that we continue this case -- I don't think we've ever heard
3 this case, have we? I don't recall ever sitting on this
4 case.

5 SISIA DAGLIAN: Same.

6 CONSTANTINE ALEXANDER: So it's not a case heard.
7 Okay, the Chair moves that we continue this case until 7:00
8 p.m. on November 19, subject to the following conditions:

9 That the petitioner sign a waiver of notice for
10 time of decision -- and that's already been done in
11 connection with the current continued case --

12 Two, that a new posting sign be posted and
13 maintained reflecting the new date, November 19, and the new
14 time, 7:00 p.m. And that any new, revised plans, specs,
15 dimensional forms, must be in our files no later than 5:00
16 p.m. on the Monday before November 19.

17 All those in favor of continuing the case on this
18 basis?

19 JANET GREEN: Gus, this is Janet Green. I have a
20 question.

21 CONSTANTINE ALEXANDER: Yes.

22 JANET GREEN: I'm not sure if I'm on this case to

1 be continued, or if these are the --

2 CONSTANTINE ALEXANDER: Ah --

3 JANET GREEN: I just want to be sure.

4 SISIA DAGLIAN: Well, if it's not heard?

5 CONSTANTINE ALEXANDER: Your name is on here as
6 being --

7 JANET GREEN: Okay.

8 CONSTANTINE ALEXANDER: -- for tonight. And if
9 it's been a case heard --

10 JANET GREEN: Okay.

11 CONSTANTINE ALEXANDER: -- if it's not been a case
12 heard, you don't have to sit on the continued case. And I'm
13 not clear to me yet whether this is a case heard or not.

14 JANET GREEN: I can do it, but I just wanted to
15 make sure whether I should be doing it.

16 CONSTANTINE ALEXANDER: Well, there's no,
17 'should.'" If you can do it --

18 JANET GREEN: Well no, I can do it.

19 CONSTANTINE ALEXANDER: -- and you want to do it,
20 that's fine.

21 JANET GREEN: Sure.

22 BRENDAN SULLIVAN: Is that it?

1 JANET GREEN: Yep.

2 BRENDAN SULLIVAN: Is that the case?

3 CONSTANTINE ALEXANDER: All those in favor on the
4 basis --

5 BRENDAN SULLIVAN: Brendan Sullivan, yes to the
6 continuance.

7 CONSTANTINE ALEXANDER: Jim? (sic)

8 ANDREA HICKEY: Andrea Hickey, yes to the
9 continuance.

10 JANET GREEN: Janet Green, yes to the continuance.

11 CONSTANTINE ALEXANDER: Jim?

12 JIM MONTEVERDE: Jim Monteverde, yes to the
13 continuance.

14 CONSTANTINE ALEXANDER: And the Chair votes yes as
15 well.

16 [All vote YES]

17 This case is continued as well until November 19.

18 We'll just take a brief break. Mr. Sullivan's
19 checking the file for something. We're just taking a brief
20 recess while Brendan's reviewing the transcript from the
21 prior case.

22 [BREAK]

Pacheco, Maria

BZA - 017259-2020

From: Deborah Belle <debbelle@gmail.com>
Sent: Sunday, November 15, 2020 2:50 PM
To: Pacheco, Maria; Michelle Wartak; Martin Wartak
Subject: Wartak renovation plans

Dear Ms. Pacheco and members of the Cambridge Zoning Board:

Michelle and Martin Wartak have been in touch with me as they have revised their renovation plans. I am very happy with their new design and write to you today to endorse their plans enthusiastically. The new design retains enough of the shape and feel of the original house to be pleasing to me. The design also does not encroach on my own space or result in the loss of my view of the sky from my garden.

I am grateful to the Board for taking my viewpoint into consideration, and I am especially grateful to Michelle and Martin for doing so during this planning process.

All the best,
Deborah
27 Myrtle Avenue

--

Deborah Belle
Professor Emerita
Department of Psychological & Brain Sciences
Boston University

Project Address : 23 Myrtle Ave, Cambridge MA

November 16, 2020

Updated BZA Submission Documents

The attached documents represent the updated proposed project, original heard at the Cambridge BZA hearing on July 23rd, 2020.

- Updated BZA Application, including revised dimensional table and project description.
- Signed neighborhood petition supporting the homeowner's proposal.
- GFA Comparison Table for Myrtle Ave.
- 23 Myrtle Ave survey with the proposed footprint overlaid.
- Updated proposed plans and elevations, with existing conditions attached.
- Updated 3d model views.
- Shadow study for the proposed project.

Dear Board Members,

Michelle and Martin Wartak, the long time owners of 23 Myrtle Ave, heard your commentary regarding appropriateness of the previous proposal clearly, and as a result have worked very diligently to develop an updated proposal that we believe addresses those concerns, but still allows them to create a home that will fit their long term needs and represents their personal style.

The updated proposal maintains the existing roofline, and creates much of their needed additional square footage in the rear of the property, within the allowable rear yard setbacks, and maintaining the existing side yard setback.

We have also worked hard to find a representative palette of materials that would meet the client's aesthetic, and also define the 'classic modern' style appreciated in successful newer Cambridge residential constructions. We are using the material properties of 20 Madison St, Cambridge as our aesthetic benchmark.

It is our hope that the Board of Appeals is supportive of this updated proposal and we are able to move forward with creating this family's dream home.

Sincerely,
Michelle and Martin Wartak, and The Honeycomb Team



CITY OF CAMBRIDGE
MASSACHUSETTS
BOARD OF ZONING APPEAL
831 MASSACHUSETTS AVENUE
CAMBRIDGE, MA 02139
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017259-2020

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : √ Appeal : _____

PETITIONER : Honeycomb Design + Build, LLC - C/O Ann Fullerton

PETITIONER'S ADDRESS : 540 Main Street, Suite 7 Winchester, MA 01890

LOCATION OF PROPERTY : 23 Myrtle Ave Cambridge, MA

TYPE OF OCCUPANCY : Two family ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION : Addition to front and rear of the existing property.

DESCRIPTION OF PETITIONER'S PROPOSAL :

Requesting relief for 552 GSF of added area on the first, second and third floors. The proposed front footprint is within the existing building footprint. The proposed rear footprint is an enlargement of the existing addition footprint, within allowable rear setbacks. Project was submitted to Mid-Cambridge Conservation Commission on 2.10.20, and initially appeared before the BZA on 07.23.20.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s) :

(Petitioner(s) / Owner)

Ann Fullerton

(Print Name)

Address : 540 Main Street, Suite 7

Winchester MA 01890

Tel. No. : 617.420.3113

E-Mail Address : ann@honeycombdesignbuild.com

Original submission 2.20.20

Revised submission 11.16.20

Date : _____

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Martin & Michelle Wartak **PRESENT USE/OCCUPANCY:** Multi-family Residential

LOCATION: 23 Myrtle Ave, Cambridge MA 02138 **ZONE:** C-1

PHONE: 617.513.6952 **REQUESTED USE/OCCUPANCY:** No Change

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>3,229</u>	<u>3,781</u>	<u>2,087</u> (max.)
LOT AREA:	<u>2,783</u>		<u>5,000</u> (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>1.16</u>	<u>1.36</u>	<u>.75</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:	<u>N/A</u>	<u>N/A</u>	<u>1,500</u> (min.)
SIZE OF LOT:			
WIDTH	<u>41'-0" / 43.33'</u>		<u>50'-0"</u> (min.)
DEPTH	<u>60.87' / 74.88'</u>		
Setbacks in Feet:			
FRONT	<u>3.8'</u>	<u>3.8'</u>	<u>10'</u> (min.)
REAR	<u>21.3'</u>	<u>20'</u>	<u>20'</u> (min.)
LEFT SIDE	<u>12.3'</u>	<u>12.3'</u>	<u>7.5'</u> (min.)
RIGHT SIDE	<u>1.5'</u>	<u>1.5'</u>	<u>7.5'</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>35.2'</u>	<u>35.2'</u>	<u>35'</u> (max.)
LENGTH	<u>39'</u>	<u>42.5'</u>	
WIDTH	<u>26.6'</u>	<u>26.6'</u>	
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³)	<u>34%</u>	<u>31%</u>	<u>30%</u> (min.)
NO. OF DWELLING UNITS:	<u>2</u>	<u>2</u>	(max.)
NO. OF PARKING SPACES:	<u>1</u>	<u>1</u>	(min./max)
NO. OF LOADING AREAS:	<u>0</u>	<u>0</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Modification of half of existing covered front porch footprint into enclosed first floor living space, addition of the same footprint on the second floor.

Enlargement of rear addition footprint to create code conforming stair to rental unit and new living space on three floors. Cast-in-place foundation and wood frame construction for all areas of new construction.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve

a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The petitioner is requesting minor relief of the Cambridge Zoning dimensional requirements outlined in Table 5.1, for Zoning District C-1. Specifically, the request is for a GSF that greater than that established by the zoning ordinance by **552 GSF** and a resulting GSF to **Lot Ratio of 1.36, which is below the average ratio on the street.**

The property has been owned and occupied by the same family since 2003. The Owners are undertaking a renovation that includes increasing the property's square footage in an effort to make the property match the their growing family's needs for long term occupancy.

B) The hardship is owing to the following circumstances relating to the

soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The long term owners (18 years!) need a larger space for their growing family's needs. The modest proposed project creates a new larger code conforming stair for the existing one bedroom rental unit, and creates the necessary owner's unit spaces, without modifying the existing roofline shown in the previous BZA submission.

No soil / topography issues.

C) *DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:*

1) Substantial detriment to the public good for the following reasons:

The public sidewalk right-of-way will be maintained and the footprint of the new street facing addition will be no larger than the existing front porch.

The private pedestrian level space adjacent to public pedestrian space will be improved with and enlarged paved entry stair landing and integrated landscaping features.

All existing trees on the lot will be maintained.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The relief requested is a minor allowance to the building GSF and GSF to Lot Ratio, as noted in Item A above and on the Dimensional Form.

The relief will not negatively impact existing sight lines and pedestrian spaces for the surrounding community.

Please note the attached GFA comparison document for Myrtle Ave, which highlights that the proposed project will be below most of the existing properties Lot Ratio.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 23 Myrtle Ave Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

To the City of Cambridge Board of Zoning Appeals,

We the undersigned have reviewed the drawings, prepared by Honeycomb Design Build, for the proposed additions and renovations for the Wartak Residence (Michelle and Martin) at 23 Myrtle Avenue, Cambridge, Massachusetts. We support the plans for the proposed additions and their application for a Zoning Variance.

Name (printed)

Name (signed)

Address

Deborah Belle Deborah Belle 27 Myrtle Ave.

Kerry McDonald Kerry McDonald 19 Myrtle Ave

Brian Loughan Brian Loughan 19 Myrtle Ave

Jeremy Foner Jeremy Foner 18 MYRTLE AVE

Ori & Keren Porat Ori & Keren Porat 22-24 Myrtle Ave

David Boddy David Boddy 31 Myrtle Ave. #3

Jue BAING Jue BAING 28 Myrtle Ave

Michelle Thussen Michelle Thussen 28 Myrtle Ave

Karen O'Connell Karen O'Connell 30 Myrtle Ave

Frank Beneschtee Frank Beneschtee 14 Myrtle Ave

Rhonda Roseli Rhonda Roseli 11 Myrtle Ave

SHERAZ CHOUDHARY Sheraz Choudhary 2 MYRTLE AVE #3

JESSICA BAPTISTA JESSICA BAPTISTA 2 Myrtle Ave #3

MYRTLE ST GFA / LOT RATIO COMPARISON CHART				NOTE : THIS CHART HAS BEEN UPDATE FROM PREVIOUS VERSION				
ADDRESS	TOTAL GFA	LOT AREA	RATIO OF GFA TO LOT (CODE = .75)	MAX. ALLOWABLE GFA PER CODE	NOTES			
ODD SIDE OF STREET								
13-15 MYRTLE AVE	3120	1906	1.64	1430	SINGLE FAMILY			
19 MYRTLE AVE	3112	1954	1.59	1466	TWO FAMILY			
* 23 MYRTLE AVE	3229	2783	1.16	2087	TWO FAMILY	PROJECT PROPERTY EXISTING CONDITION		
25-27 MYRTLE AVE	3551	2711	1.31	2033	TWO FAMILY			
31-31A MYRTLE AVE	5021	4594	1.09	3446	THREE FAMILY			
31A MYRTLE AVE	3958	7254	0.55	5441	TWO FAMILY			
33-35 MYRTLE AVE	5259	3178	1.65	2384	THREE FAMILY			
39-41 MYRTLE AVE	0	0	-	0	TWO U. CONDO	GSF AND LAND AREA UNKNOWN		
EVEN SIDE OF STREET								
2-4 MYRTLE AVE	-	0	-	0	THREE U. CONDO	GSF AND LAND AREA UNKNOWN		
6 MYRTLE AVE	2880	2407	1.20	1805	SINGLE FAMILY			
10-12 MYRTLE AVE	3716	2407	1.54	1805	TWO FAMILY			
14-16 MYRTLE AVE	3488	2407	1.45	1805	SINGLE FAMILY			
18 MYRTLE AVE	3716	2407	1.54	1805	SINGLE FAMILY			
22-24 MYRTLE AVE	3674	2407	1.53	1805	TWO FAMILY			
28-30 MYRTLE AVE	0	0	-	0	TWO U. CONDO	GSF AND LAND AREA UNKNOWN		
34 MYRTLE AVE	3646	2407	1.51	1805	THREE FAMILY			
36 MYRTLE AVE	0	0	-	0	TWO U. CONDO	GSF AND LAND AREA UNKNOWN		
38-40 MYRTLE AVE	3784	1822	2.08	1367	TWO FAMILY			
AVG. RATIO ON EXTG STREET			1.42					
PROPOSED PROJECT								
* 23 MYRTLE AVE	3781	2783	1.36	2087	TWO FAMILY			
PROPOSED PROJECT : SQUARE FOOTAGE BREAKDOWN								
Area	New LSF	New GSF						
first front	31	0						
second front	63	63						
first rear (includes new apt. stair)	136	136						
second rear (includes new apt. stair)	136	136						
third fl rear	111	111						
first floor rear deck	0	106						
	477	552						
extg SF	1916	3229						
total SF	2393	3781						

SITE PLAN
23 MYRTLE AVENUE
CAMBRIDGE, MASSACHUSETTS

1 INCH = 10 FEET JANUARY 17, 2020

SNELLING & HAMEL ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS & ENGINEERS
10 LEWIS STREET P.O. BOX 102
LINCOLN, MASSACHUSETTS 01773
(781) 259-0071

OWNERS OF RECORD:

MARTIN A. WARTAK
&
MICHELLE M. MATZ
BK.39770 PG.281

1 INCH = 10 FEET
0 5 10 20 30

APPROXIMATE NORTH

N/F
MARIO J. TORROELLA
&
ISABELLE B. TORROELLA
BK.25659 PG.259

N/F
THE 2011 CALVINE COOK
FAMILY TRUST
BK.57323 PG.365

N/F
RAY L. SHERWIN
BK.59175 PG.300

ASSESSORS' MAP ID:
141-19

LOT 28
2,783± S.F.

N/F
BRIAN ROUGHAN
&
KERRY McDONALD
BK.63306 PG.156

N/F
STEPHEN M. PIPER
&
DEBORAH E. BELLE
BK.15205 PG.116

NOTES:

- ZONING DISTRICT: C-1
- THE TREES DEPICTED HEREON ARE IDENTIFIED AS DECIDUOUS "D".
- ROOF RIDGE = 135.7
- MEAN GRADE = 100.8
 $(101.0 + 101.2 + 100.6 + 100.5 + 100.5) / 5$
- BUILDING HEIGHT = 34.9

PLAN REFERENCES:

- PLAN 2 IN PLAN BOOK 72
- PLAN NUMBER 1030 OF 1994
- LAND COURT PLAN 21549A
- PLAN NUMBER 550 OF 1944
- PLAN NUMBER 797 OF 1948

MYRTLE AVENUE
(30' WIDE)

BENCHMARK:

- DRILL HOLE IN GRANITE CURB
ELEVATION = 100.00 (ASSUMED)

JOHN R. HAMEL
PROFESSIONAL
LAND SURVEYOR

DATE:

16586.DWG
JANUARY 17, 2020

WARTAK RESIDENCE : CAMBRIDGE BOARD OF ZONING APPEALS SET

21 - 23 MYRTLE AVE, CAMBRIDGE, MA

*SECOND SUBMISSION



Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

Document Terms & Conditions

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Drawing Name

SHEET INDEX,
SYMBOLS &
ABBREVIATIONS

Date

November 16, 2020

Scale

AS NOTED

Drawing Number

A-001

SHEET INDEX

SHEET #.	SHEET DESCRIPTION	PG #.
A-001	Cover Sheet, Sheet Index, Abbreviation Key	1
EC-100	Existing Conditions - Basement Floor Plan	2
EC-101	Existing Conditions - First Floor Plan	3
EC-102	Existing Conditions - Second Floor Plan	4
EC-103	Existing Conditions - Third Floor Plan	5
EC-104	Existing Conditions - Roof Plan	6
EC-200	Existing Street Facing Elevation	7
EC-201	Existing Left Facing Elevation	8
EC-202	Existing Right Facing Elevation	9
EC-203	Existing Rear Facing Elevation	10
A-100	Proposed - Basement Floor Plan	11
A-101	Proposed - First Floor Plan	12
A-102	Proposed - Second Floor Plan	13
A-103	Proposed - Third Floor Plan	14
A-104	Proposed - Roof Plan	15
A-200	Proposed Street Facing Elevation	16
A-201	Proposed Left Facing Elevation	17
A-202	Proposed Right Facing Elevation	18
A-203	Proposed Rear Facing Elevation	19

ZONING ANALYSIS

INFORMATION PER CAMBRIDGE CITY ZONING REGULATIONS

ZONING DISTRICT : C-1

PROPERTY USE : MULTI - FAMILY RESIDENTIAL

	EXISTING	LIMIT	PROPOSED	NOTES
MAX. RATIO OF GSF TO LOT AREA	1.16	0.75 MAX.	1.36	
LOT SIZE	2,783 SF	5,000 SF MIN.	NO CHANGE	EXISTING NON-CONFORMING
LIVING AREA SF	1,916 SF	-	2,393 SF	
LOT WIDTH	41'	50' MIN.	NO CHANGE	EXISTING NON-CONFORMING
FRONT SETBACK	9'-2"	10' FT MIN. TO STREET	NO CHANGE	EXISTING NON-CONFORMING
SIDE SETBACK	2.5'	7.5' FT MIN.	NO CHANGE	EXISTING NON-CONFORMING
REAR SETBACK	23'	20' FT MIN.	20'	TO DECK
MAXIMUM HEIGHT	35'	35'	NO CHANGE	
RATIO OF USEABLE OPEN SPACE TO LOT AREA	34%	30% MIN.	31%	

ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
Adj.	Adjustable	Hdr.	Header	PPL	Polypropylene
Alum.	Aluminum	Hdwe.	Hardware	Pvmt.	Pavement
Approx.	Approximate	Honz.	Horizontal	Reinf.	Reinforced
Avg.	Average	Ht.	Height	Req'd.	Required
Bmg.	Bearing	Htg.	Heating	Rsr	Riser
CH	Ceiling Height	HVAC	Heating, ventilation & air conditioning	S	Switch
CMU	Concrete masonry unit	HW	Hot water	S ₃	Three-way Switch
Conc.	Concrete	In.	Inch	S.F.	Square Foot
Cont.	Continuous	Int.	Interior	T.&G.	Tongue and Groove
Cu.Ft.	Cubic Foot	Inst.	Installation	V	Volt
DW	Dish Washer	Insul.	Insulation	W	Wire
Ea.	Each	LED	Light emitting diode	%	Percentage
Ext.	Exterior	Lt.Ga.	Light gauge	@	At
Fir.	Floor	Max.	Maximum	&	And
Fdn.	Foundation	MDF	Medium-density fiberboard	"	Inch
Ft.	Foot	Min.	Minimum	'	Foot
Ftg.	Footing	O.C.	On center	¢	Centerline
Fum.	Furniture	OSB	Oriented strand board	#	Number
Ga.	Gauge	Pc.	Pieces		
GWB	Gypsum wall board	Pl.	Plate		
HH	Header Height	Ply.	Plywood		

SYMBOLS

	Smoke Detector		Single receptacle outlet		Ceiling light
	CO ₂ Detector		Four-Plex receptacle outlet		Recessed ceiling light
	Thermostat		Double receptacle outlet		Sconce light/ Wall light
	Alarm		Double lamp flood light		Pendant Light
	Cable Service		Exhaust Fan		Telephone Jack
	Dryer Vent		A/C Register		Computer Data/ LAN outlet
			Radiator - (size if known)		Track light
					Pull Chain Control
					Junction Box

Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

**EXISTING CONDITIONS
BASEMENT FLOOR PLAN**

Date

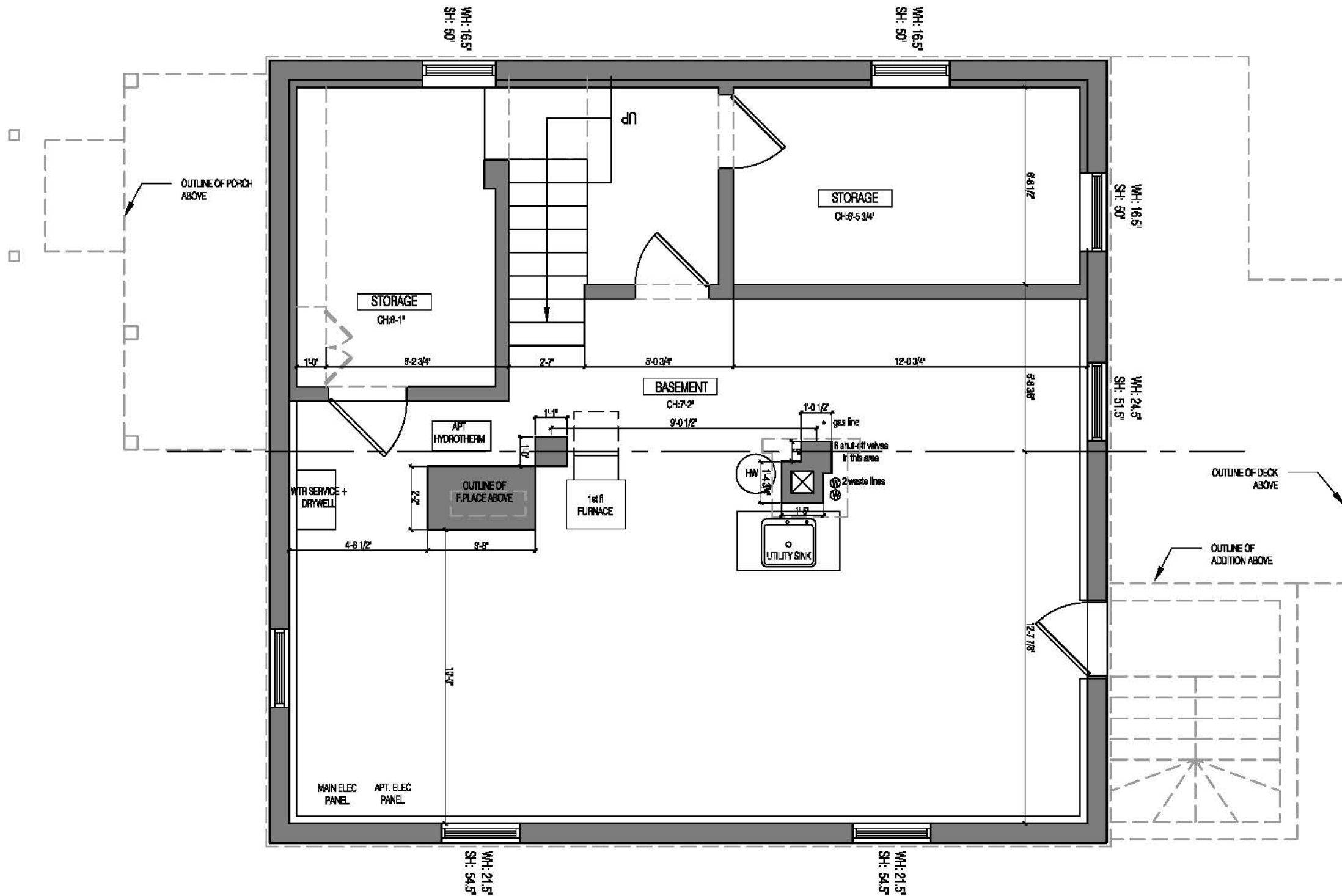
November 16, 2020

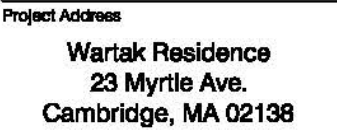
Scale

1/4"=1'-0"

Drawing Number

EC-100





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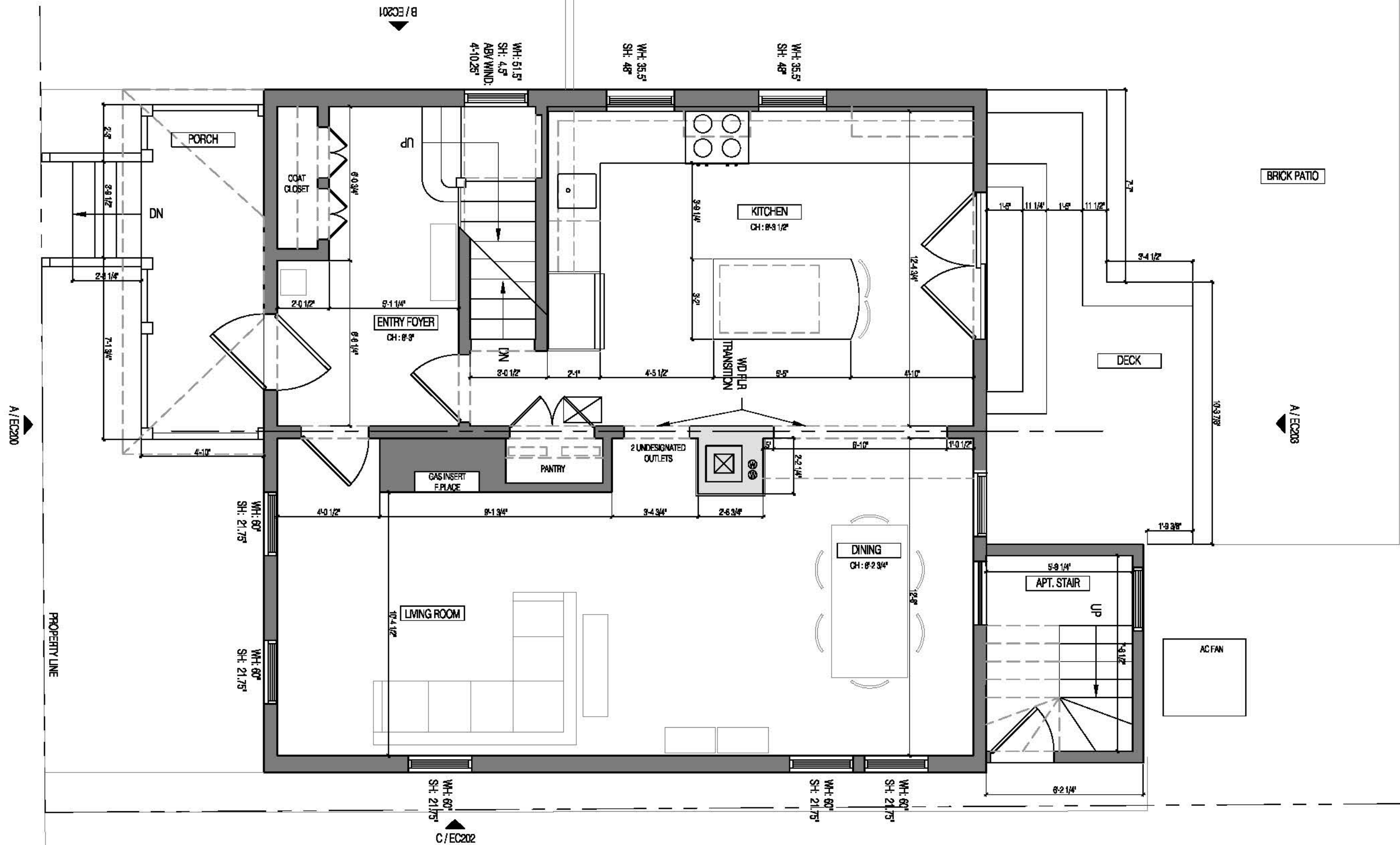
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EXISTING CONDITIONS FIRST FLOOR PLAN

November 16, 2020

$$1/4'' = 1'-0''$$

EC-101



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

**EXISTING CONDITIONS
SECOND FLOOR PLAN**

Date

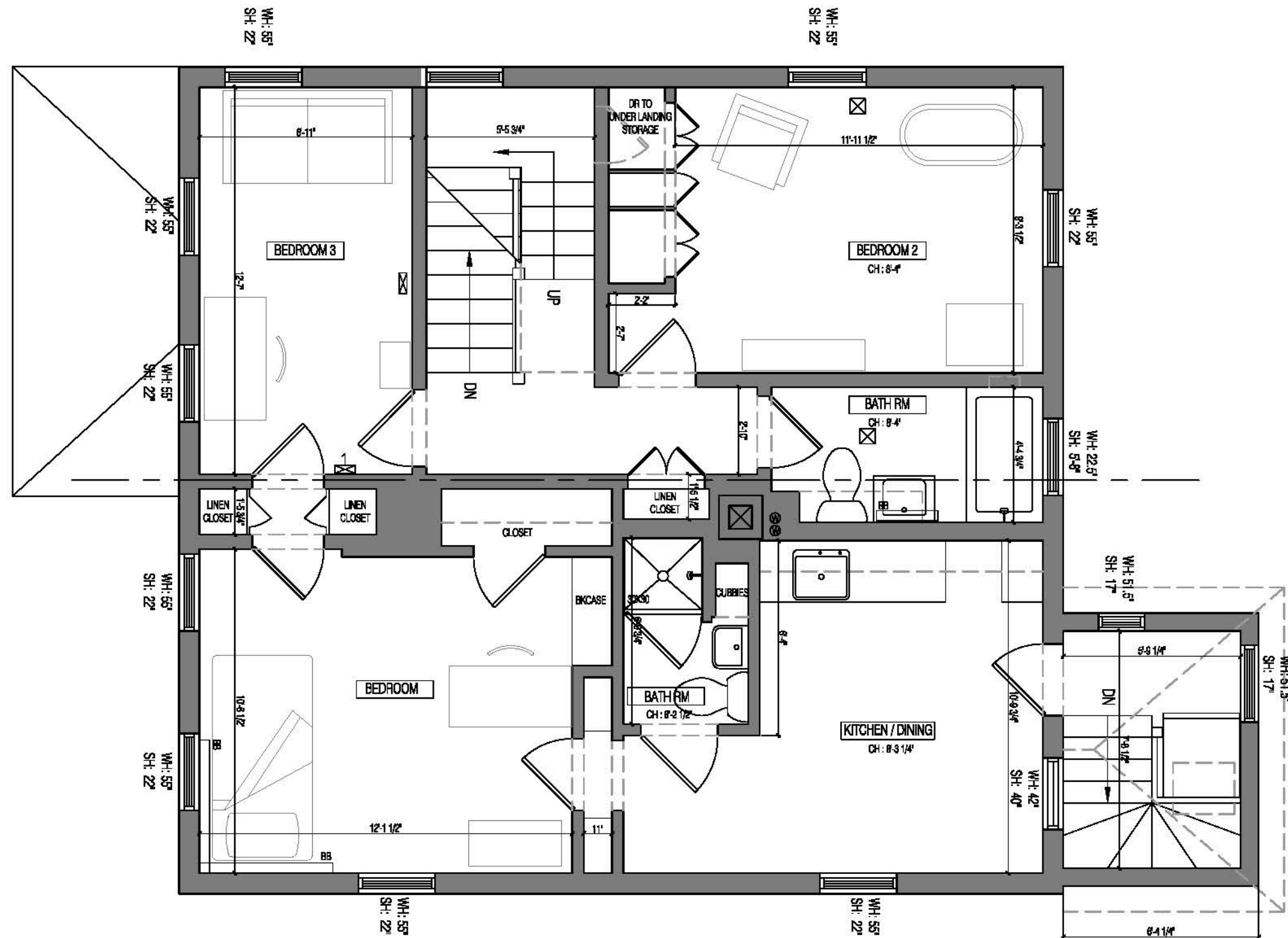
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

EC-102



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

**EXISTING CONDITIONS T
THIRD FLOOR PLAN**

Date

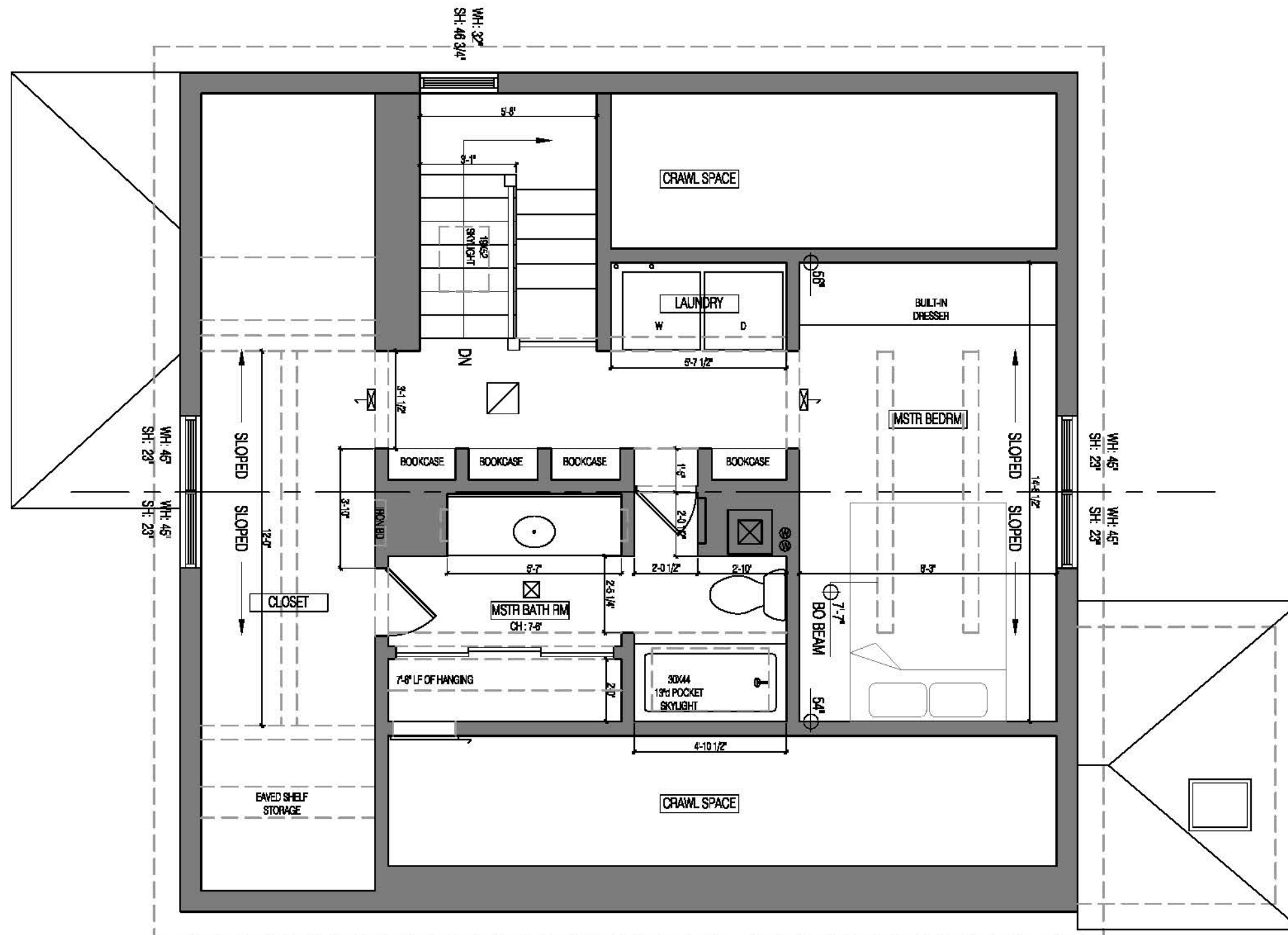
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

EC-103



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING CONDITIONS T
ROOF PLAN

Date

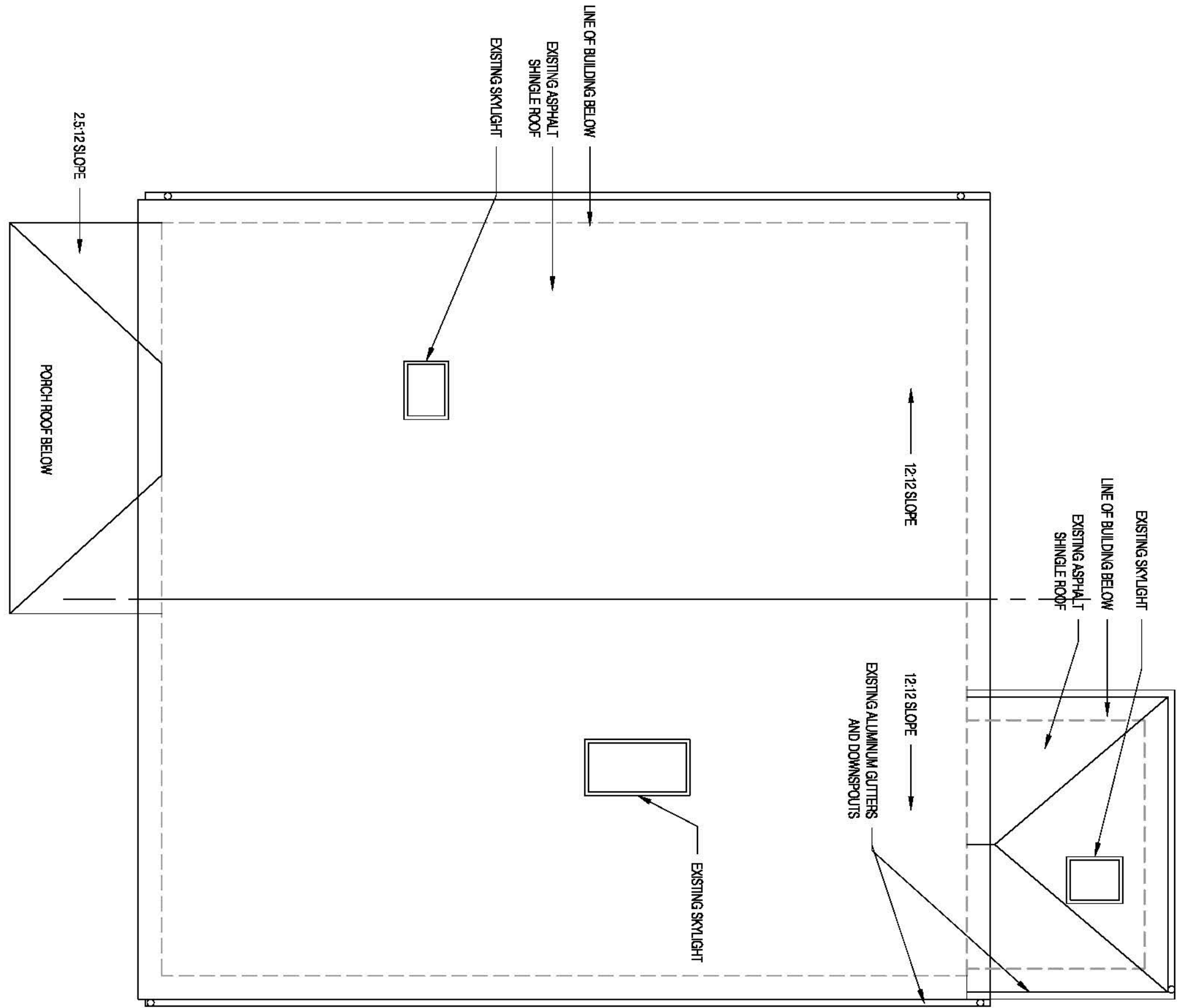
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

EC-104



Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name
EXISTING ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
EC-200

EL : 34'-10 7/8"
ROOF RIDGE ELEV FROM
MEAN GRADE (+100.8)

EL : 30'-7"
THIRD FLOOR VAULTED CEILING

EL : 17'-2.5"
THIRD FLOOR FLOOR LVL

EL : 16'-7"
SECOND FLOOR CEILING

EL : 15'-11"
BOTTOM OF ROOF SLOPE

EXISTING ASPHALT SHINGLE
ROOF AND ALUMINUM GUTTER

EL : 9'-2.5"
SECOND FLOOR FLOOR LVL

EL : 8'-3"
FIRST FLOOR CEILING

EXISTING PAINTED CLAPBOARD
SIDING

EXISTING PAINTED PORCH TRIM COMPONENTS

EL : 0'-0" (+103.98)
FIRST FLOOR

EL : (+ 100.8)
MEAN GRADE

EL : -2'-5" (+ 100.5)
AVG STREET FACING GRADE

EL : -8'-1.5"
BASEMENT FLR GRADE



EXISTING CHIMNEYS

EXISTING PAINTED WOOD SHINGLES

EXISTING ASPHALT SHINGLE ROOF

EXISTING PAINTED TRIM

EXISTING PAINTED WOOD SHINGLES

EXISTING ALUMINUM GUTTER / DOWNSPOUTS

EXISTING PAINTED WOOD SHINGLES

EXISTING PAINTED WOOD WINDOWS WITH ALUMINUM STORM WINDOWS, TYP; PAINTED WOOD TRIM

EXISTING PAINTED CLAPBOARD SIDING

EXISTING PAINTED TRIM

EXISTING BRICK FOUNDATION

PROPERTY LINE

Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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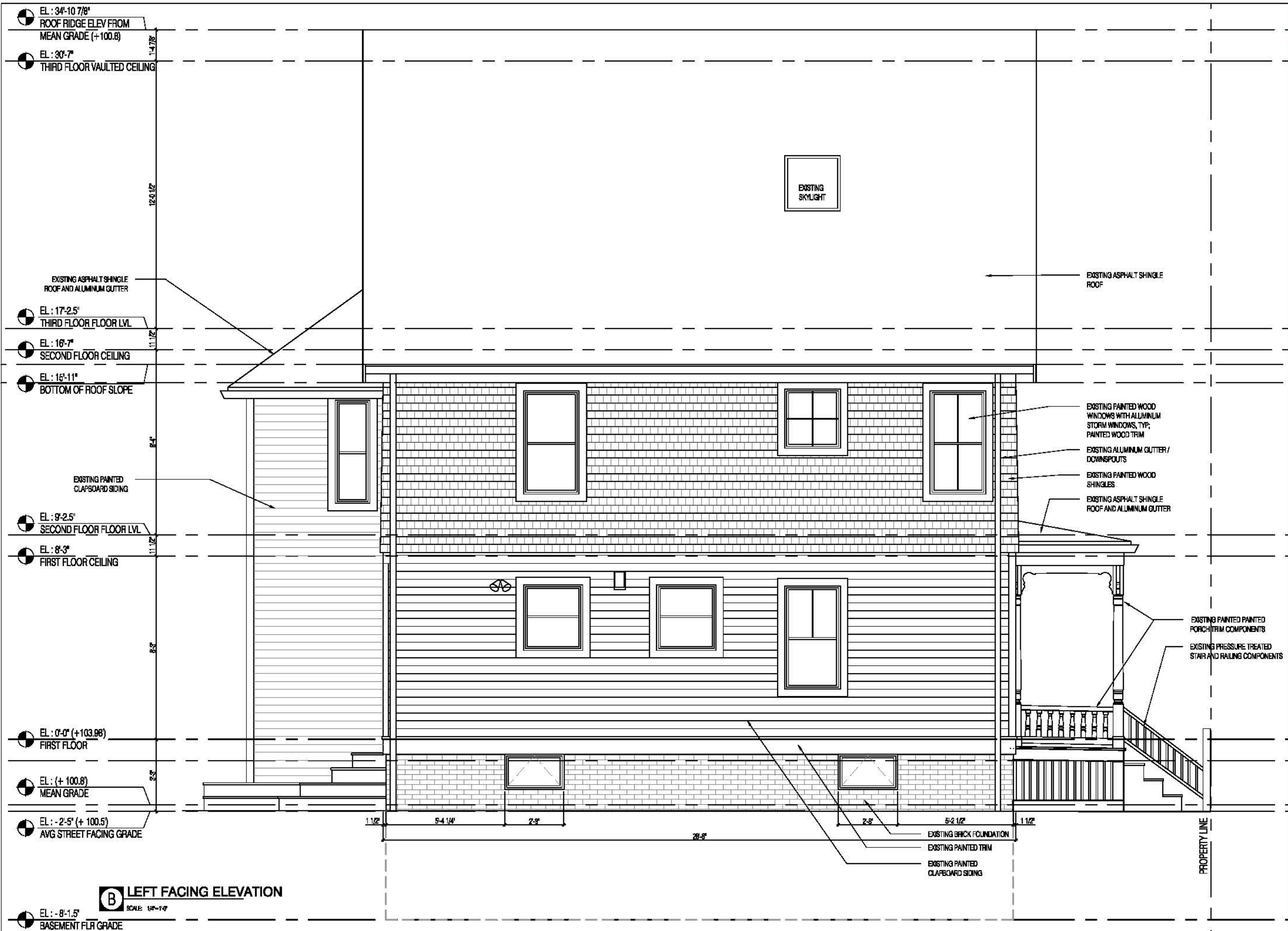
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Drawing Name
EXISTING ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
EC-201



Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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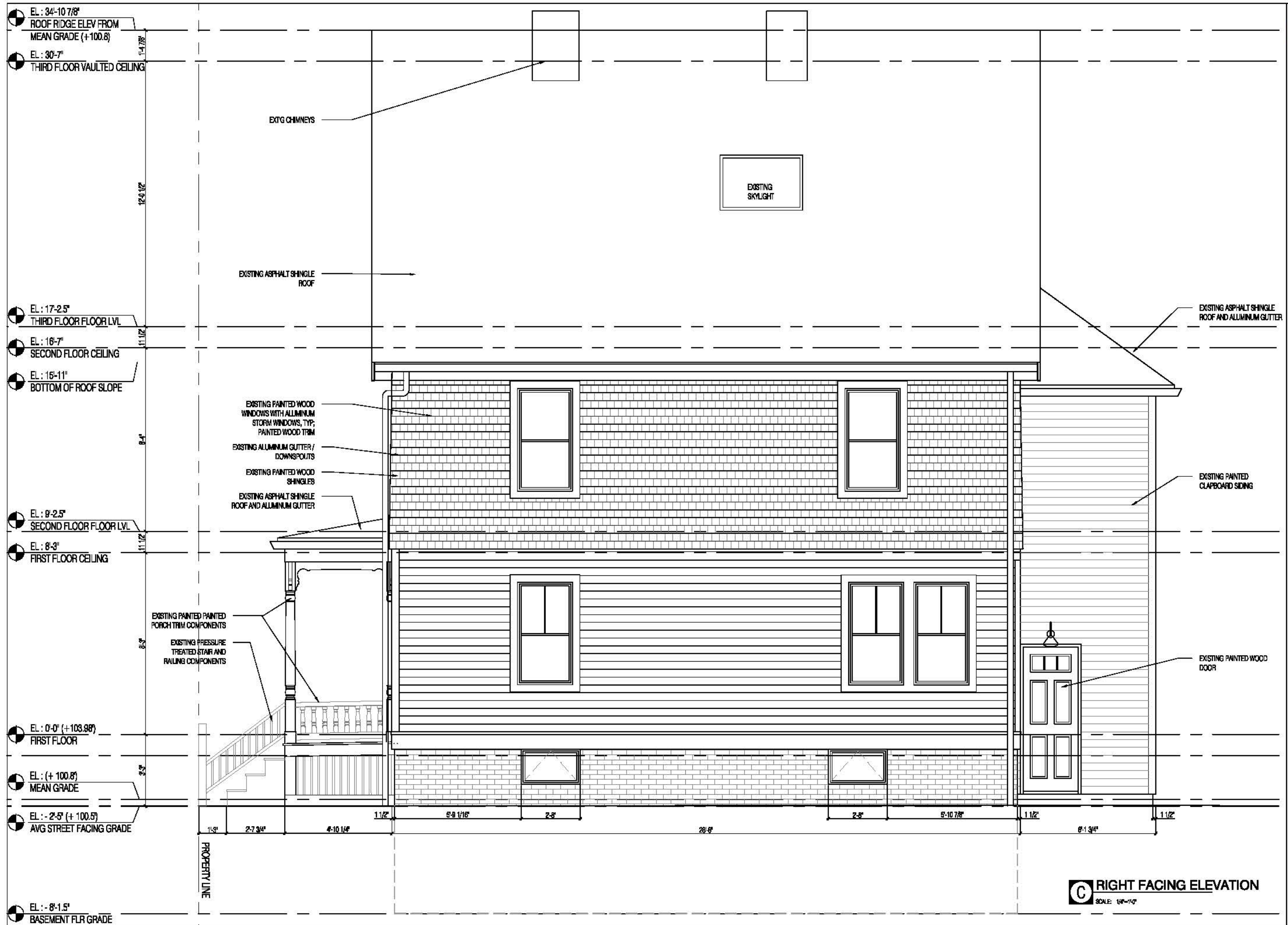
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Drawing Name
EXISTING ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
EC-202



Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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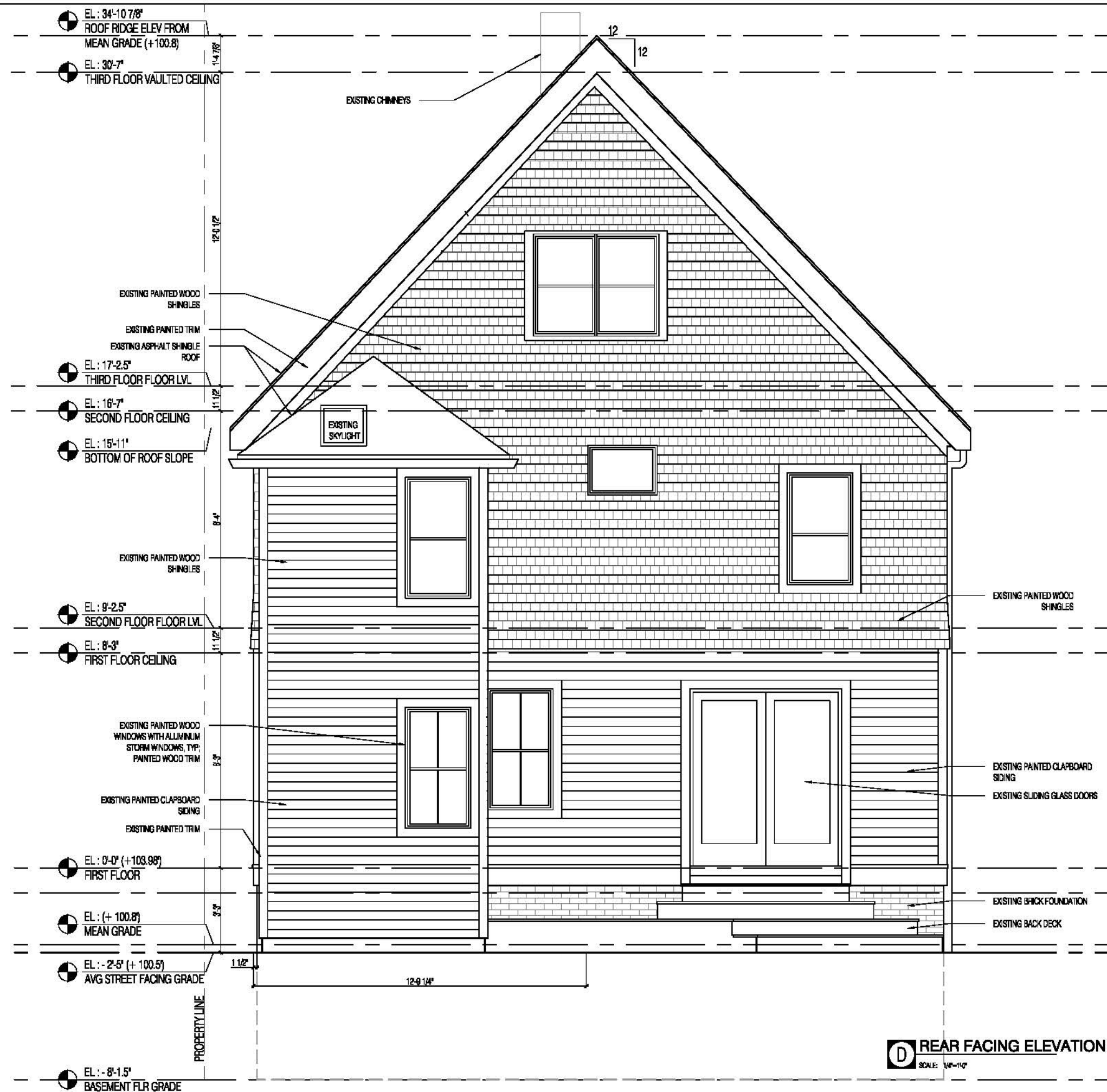
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Drawing Name
EXISTING ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
EC-203



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

**BASEMENT LEVEL
PROPOSED PLAN**

Date

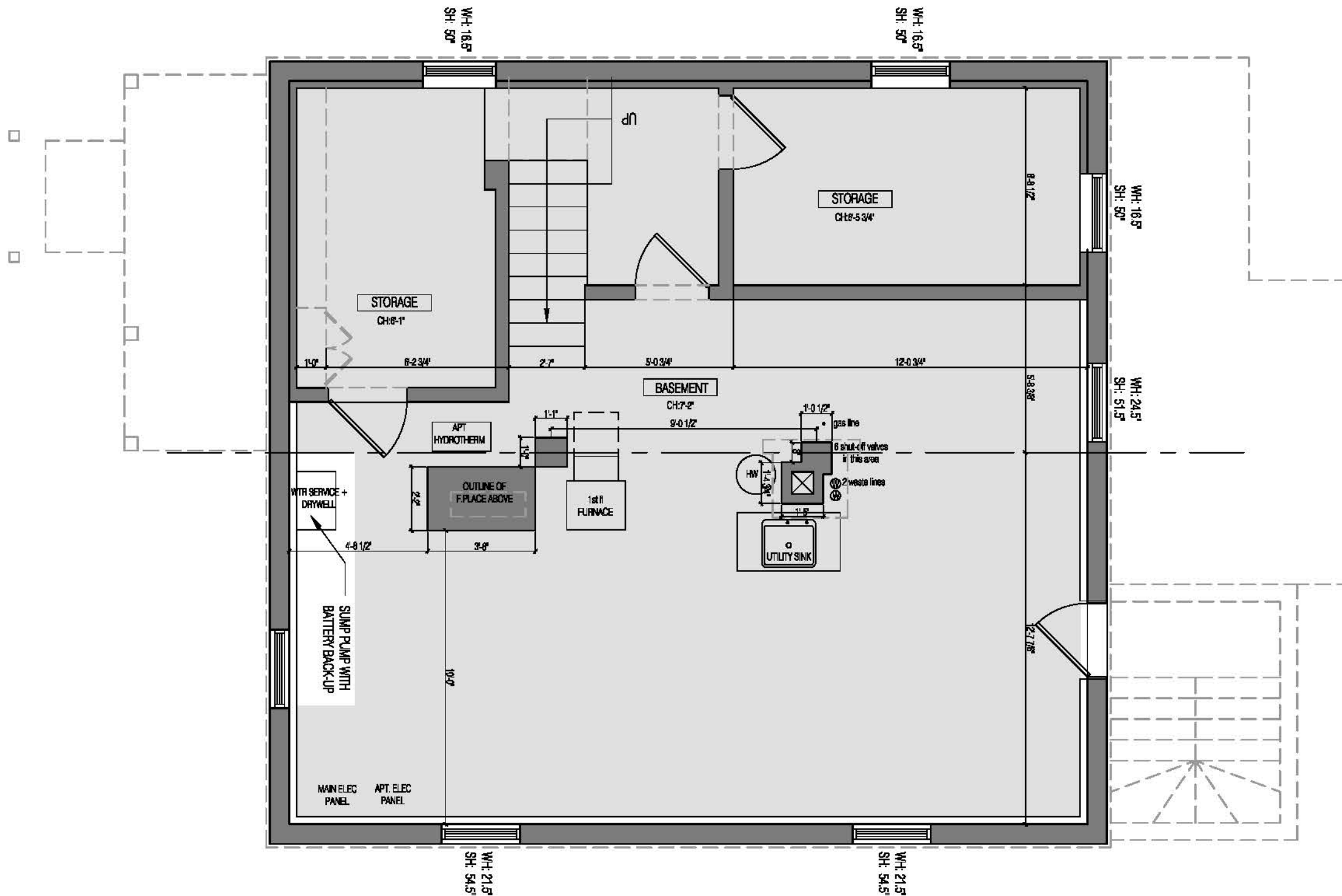
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

A-100



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

Document Terms & Conditions

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Drawing Name

**FIRST FLOOR
PROPOSED PLAN**

Date

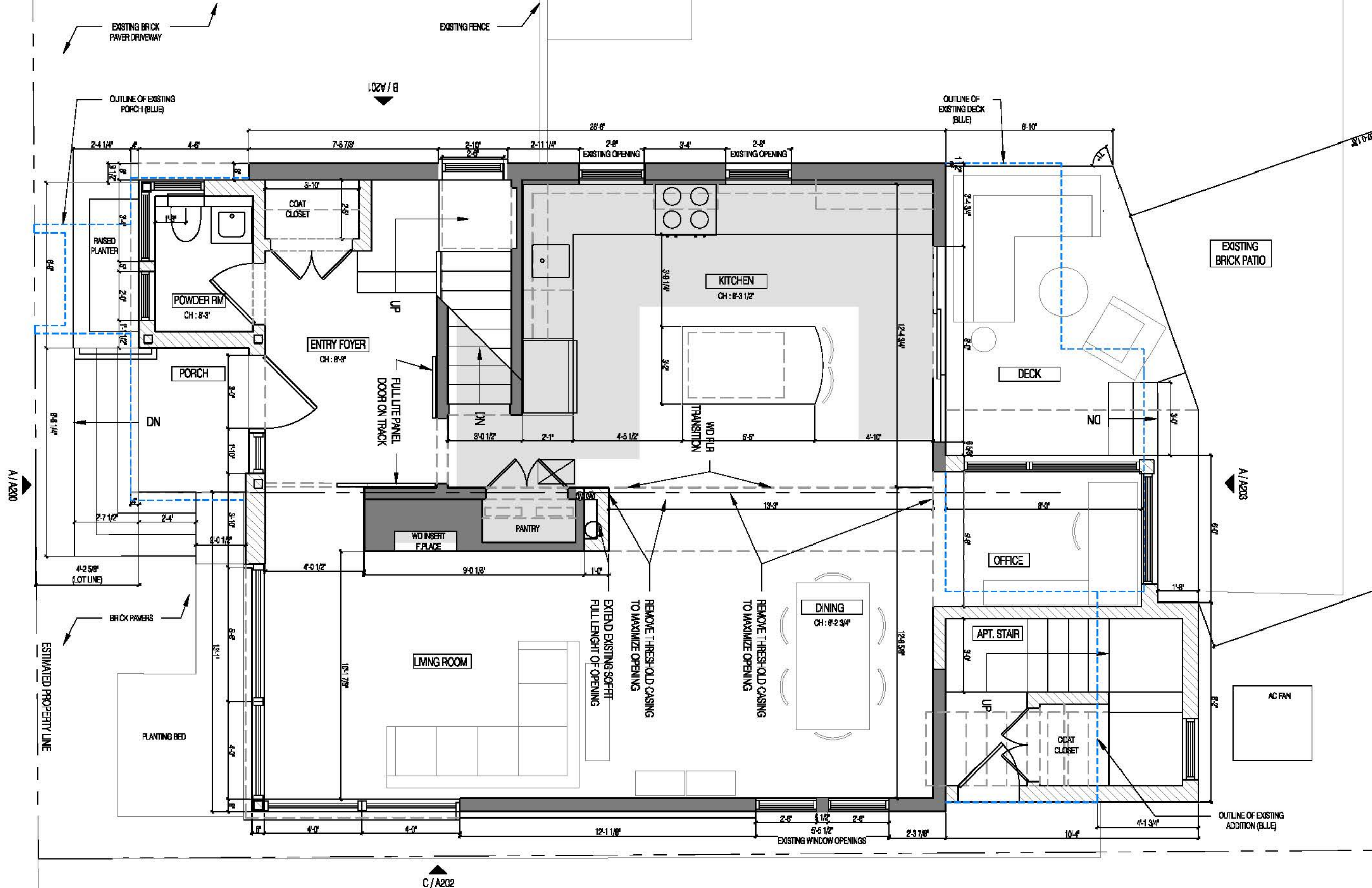
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

A-101



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

**SECOND FLOOR
PROPOSED PLAN**

Date

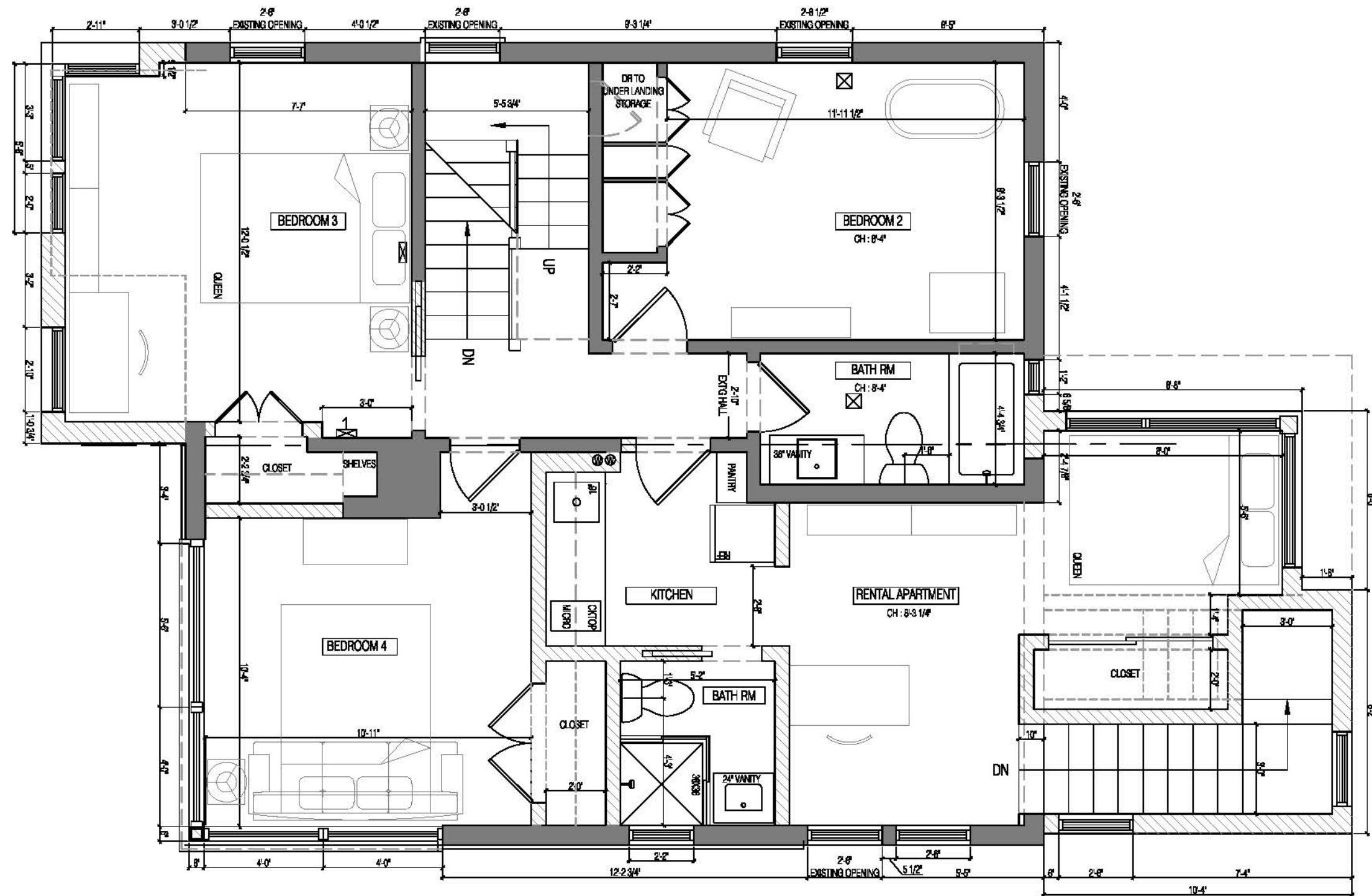
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

A-102



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

Document Terms & Conditions

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Drawing Name

**THIRD FLOOR
PROPOSED PLAN**

Date

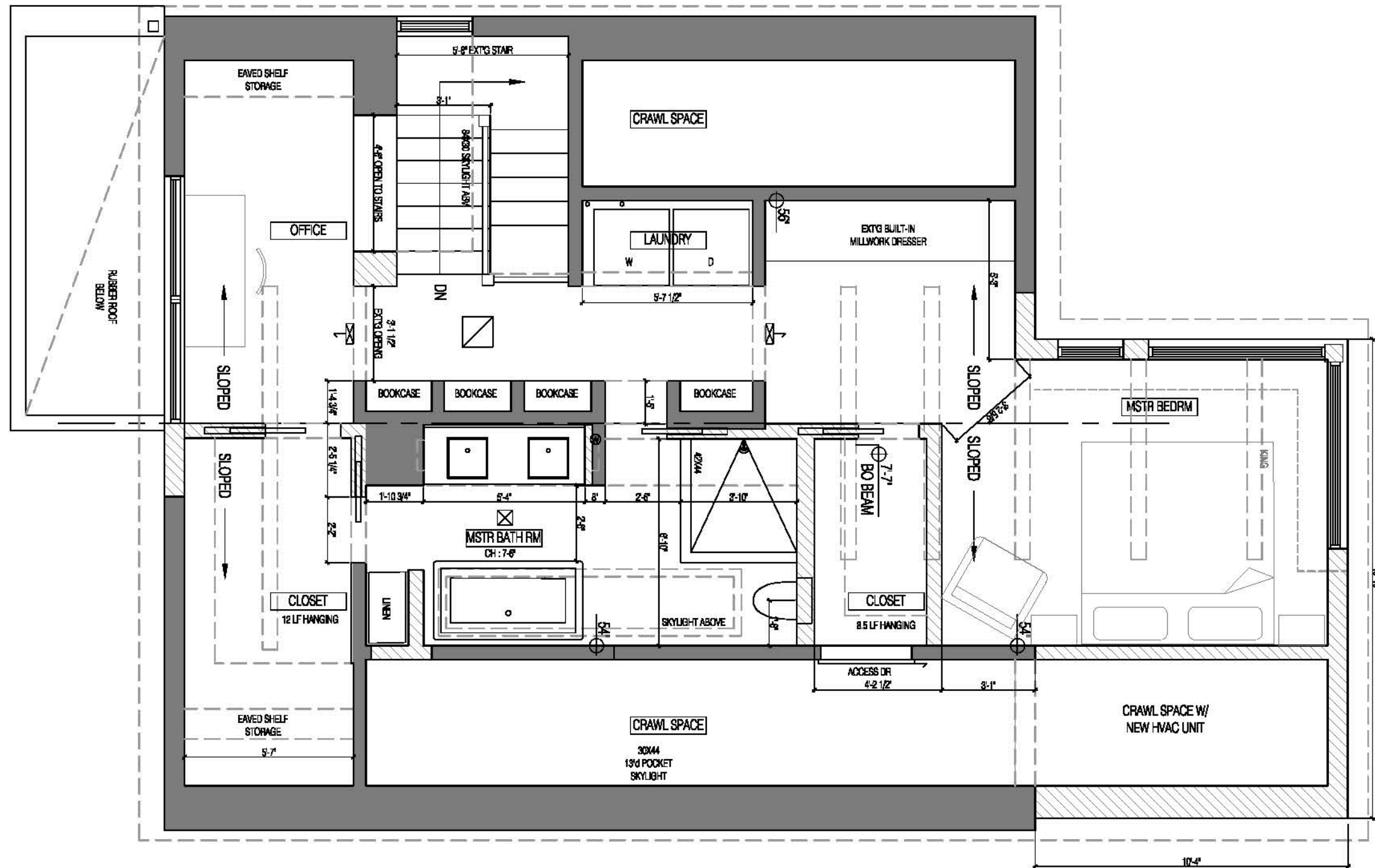
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

A-103



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

ROOF LEVEL
PROPOSED PLAN

Date

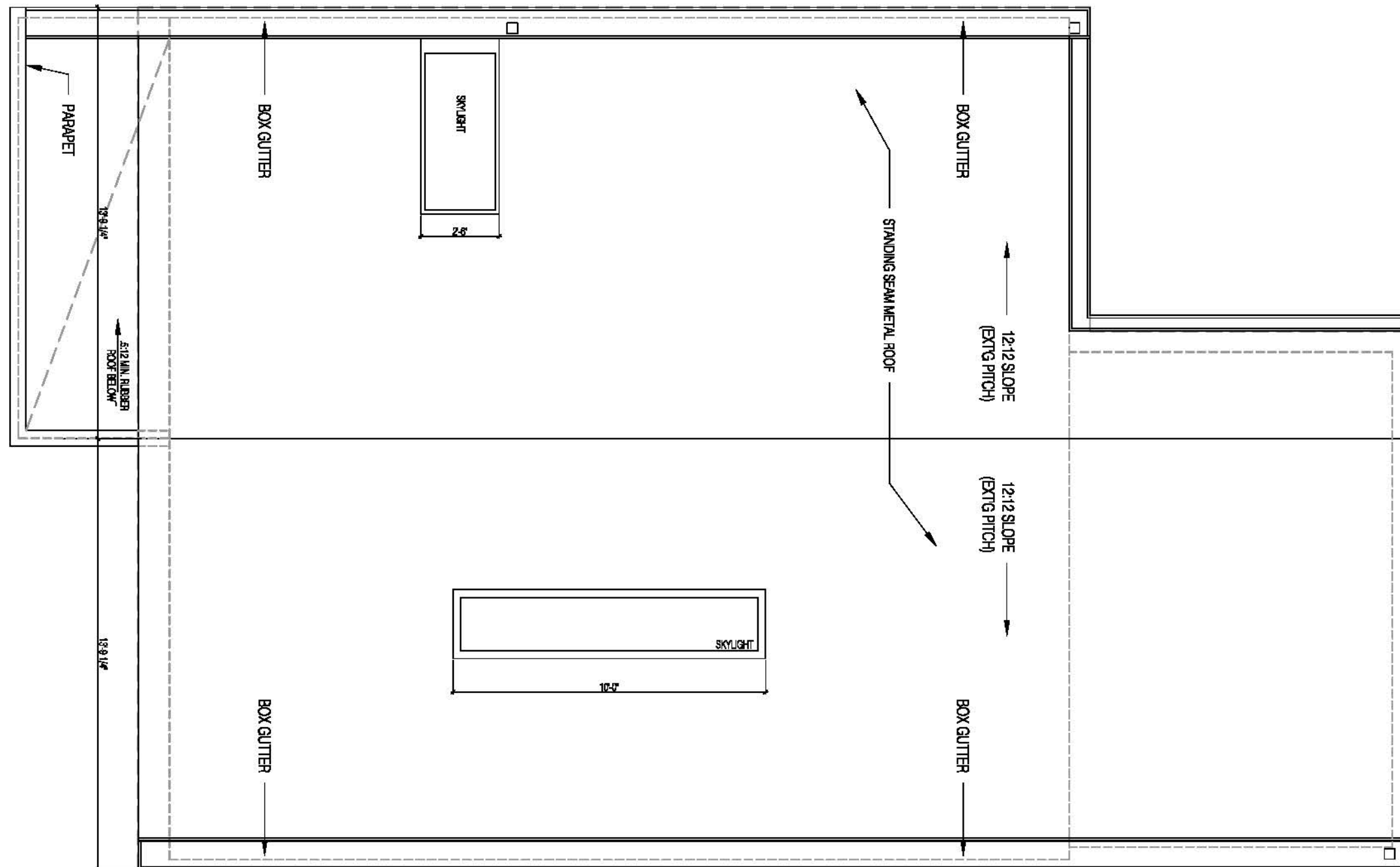
November 16, 2020

Scale

1/4"=1'-0"

Drawing Number

A-104



Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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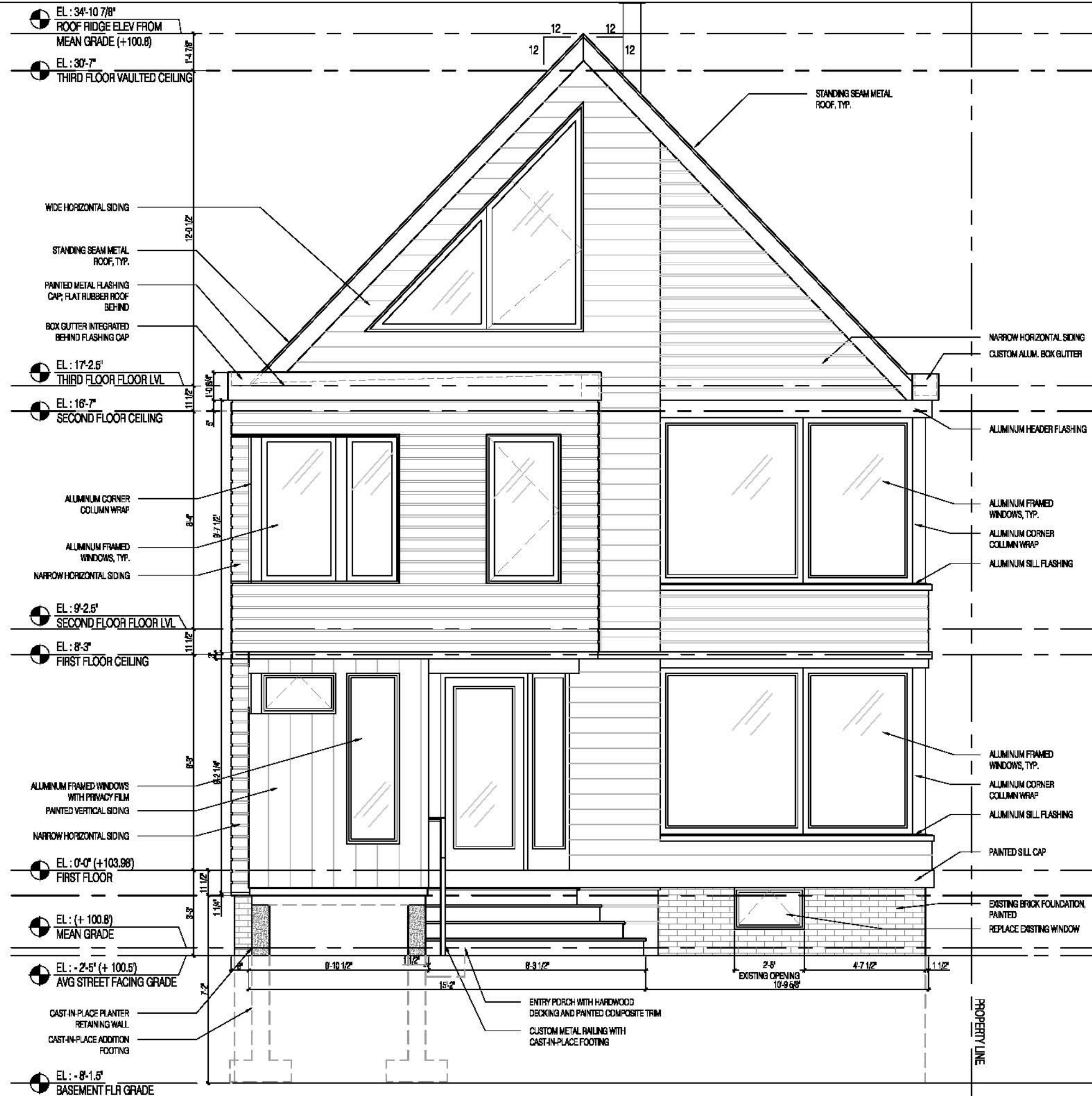
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Drawing Name
PROPOSED ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
A-200



Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name
PROPOSED ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
A-201





Project Address
Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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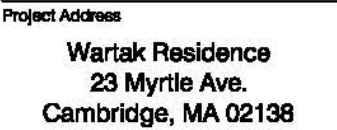
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Drawing Name
PROPOSED ELEVATION

Date
November 16, 2020

Scale
AS NOTED

Drawing Number
A-202



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PROPOSED ELEVATION

November 16, 2020

AS NOTED

A-203





VIEW OF EXISTING STREET FACING ELEVATION

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
EXISTING CONDITIONS PHOTOS



HONEYCOMB
DESIGN + BUILD
DREAM . DEVELOP . CREATE



CONTEXT VIEW : WITH NEIGHBORING HOUSES

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
EXISTING CONDITIONS PHOTOS



CONTEXT VIEW A : WITH EXISTING STREET TREES

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
UPDATED PROPOSED PROJECT : MODEL VIEWS



HONEYCOMB
DESIGN + BUILD
DREAM, DEVELOP, CREATE



CONTEXT VIEW A : EXISTING STREET TREES HIDDEN

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
UPDATED PROPOSED PROJECT : MODEL VIEWS





CONTEXT VIEW B : WITH EXISTING STREET TREES

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
UPDATED PROPOSED PROJECT : MODEL VIEWS





CONTEXT VIEW A : EXISTING STREET TREES HIDDEN

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
UPDATED PROPOSED PROJECT : MODEL VIEWS

Project Address : 23 Myrtle Ave, Cambridge MA

November 16, 2020

Shadow Study

The attached documents represent the shadow impact analysis of the proposed project, as requested at our BZA hearing on July 23rd, 2020.

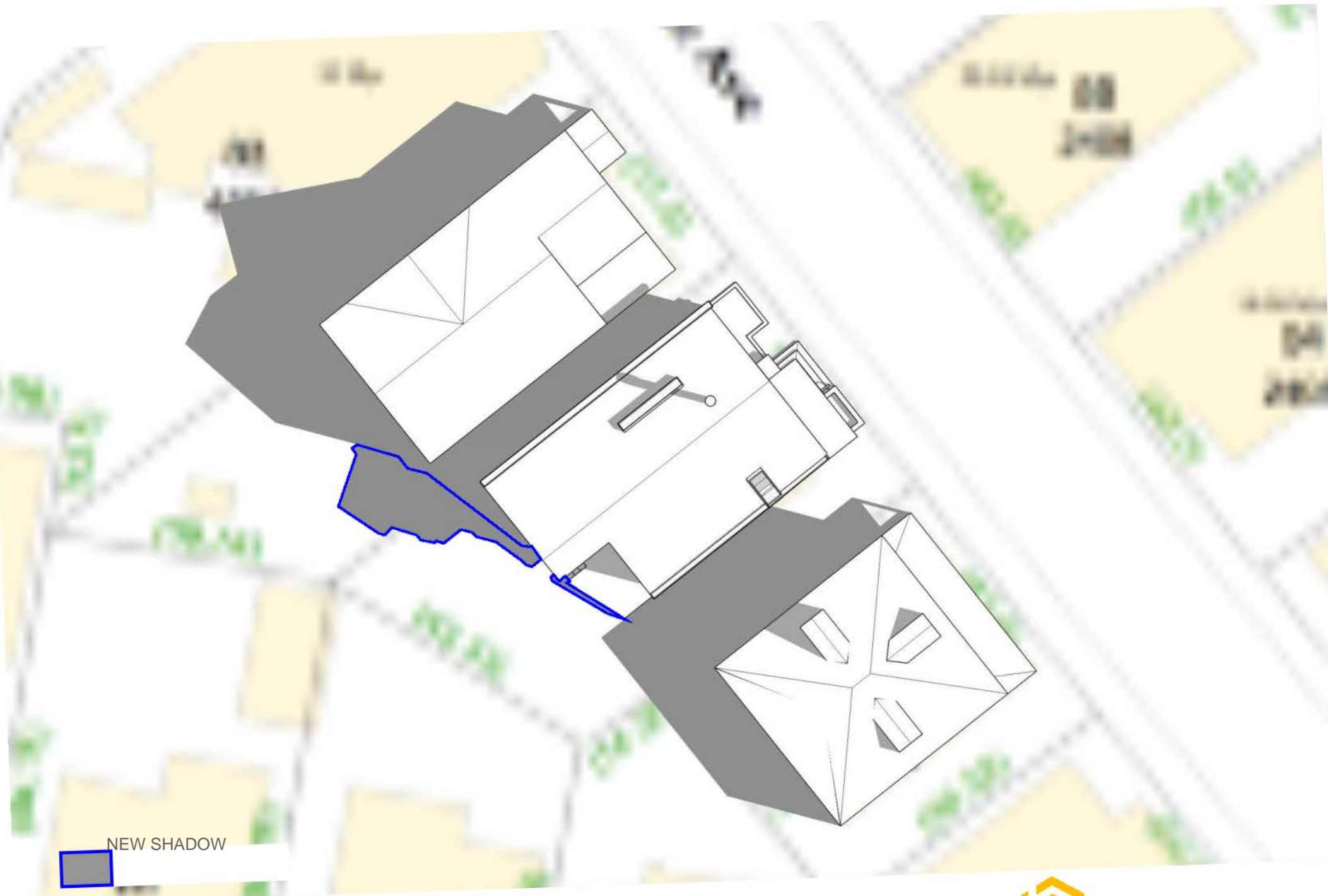
It is important to recognize that the shadow analysis solely addresses the built forms, and does not address the substantial existing tree coverage, which is intended to remain intact.

A Google Maps view of the proposed project parcel is included in this package, to describe the condition and add frame of reference.

Google Maps 23 Myrtle Ave

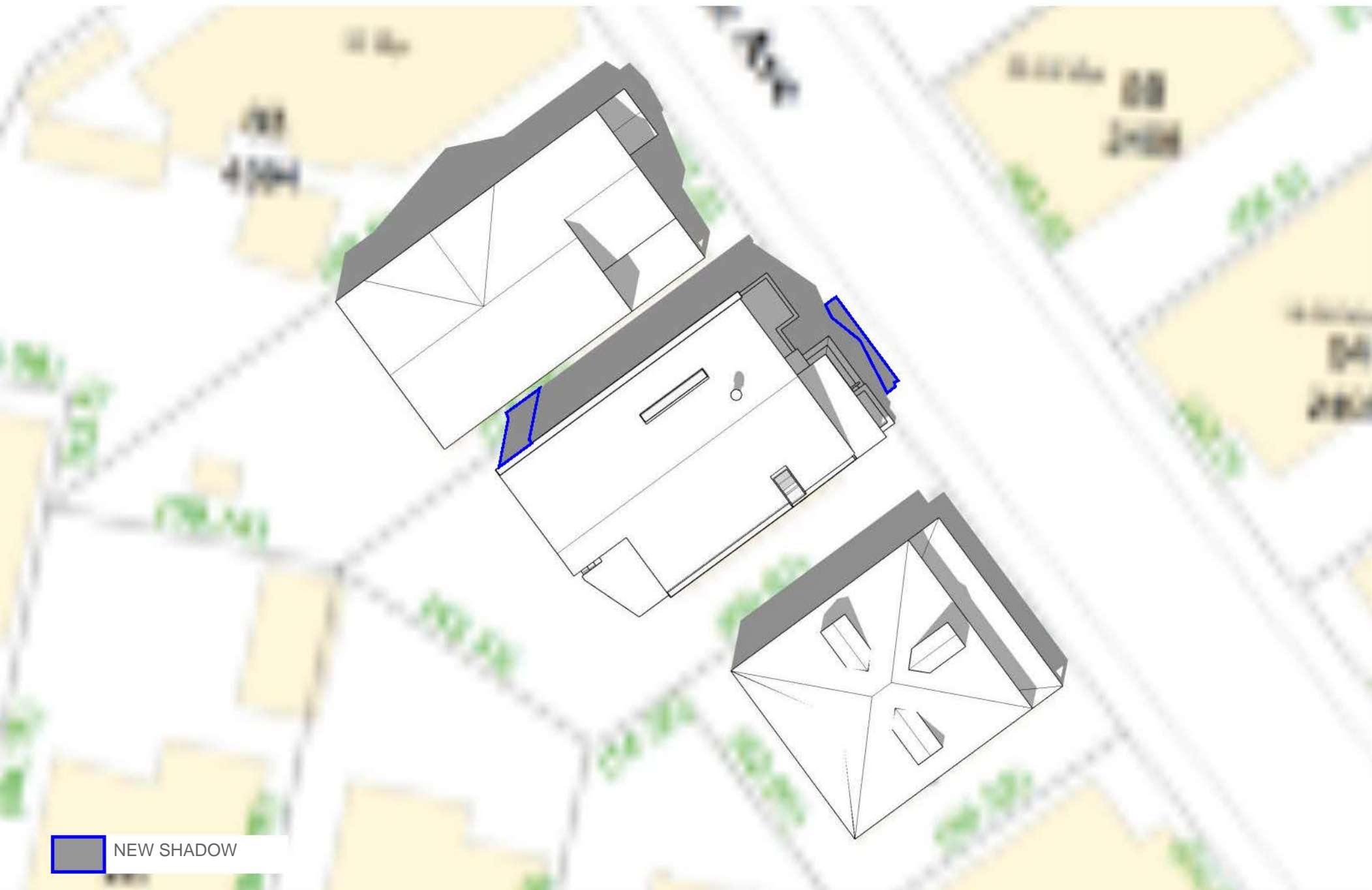


Imagery ©2020 MassGIS, Commonwealth of Massachusetts EOE, Maxar Technologies, Sanborn, Map data ©2020 50 ft

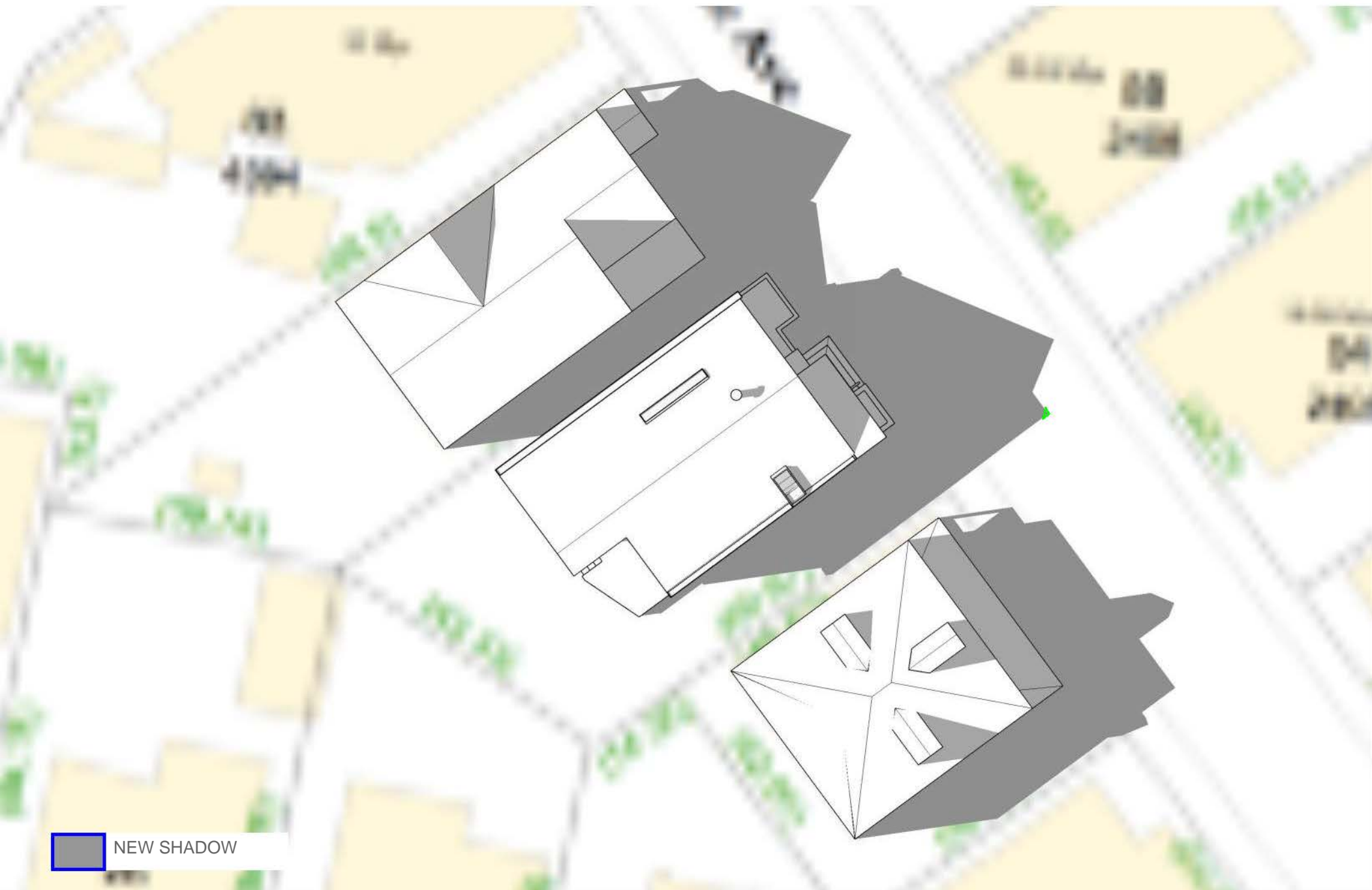


NEW SHADOW



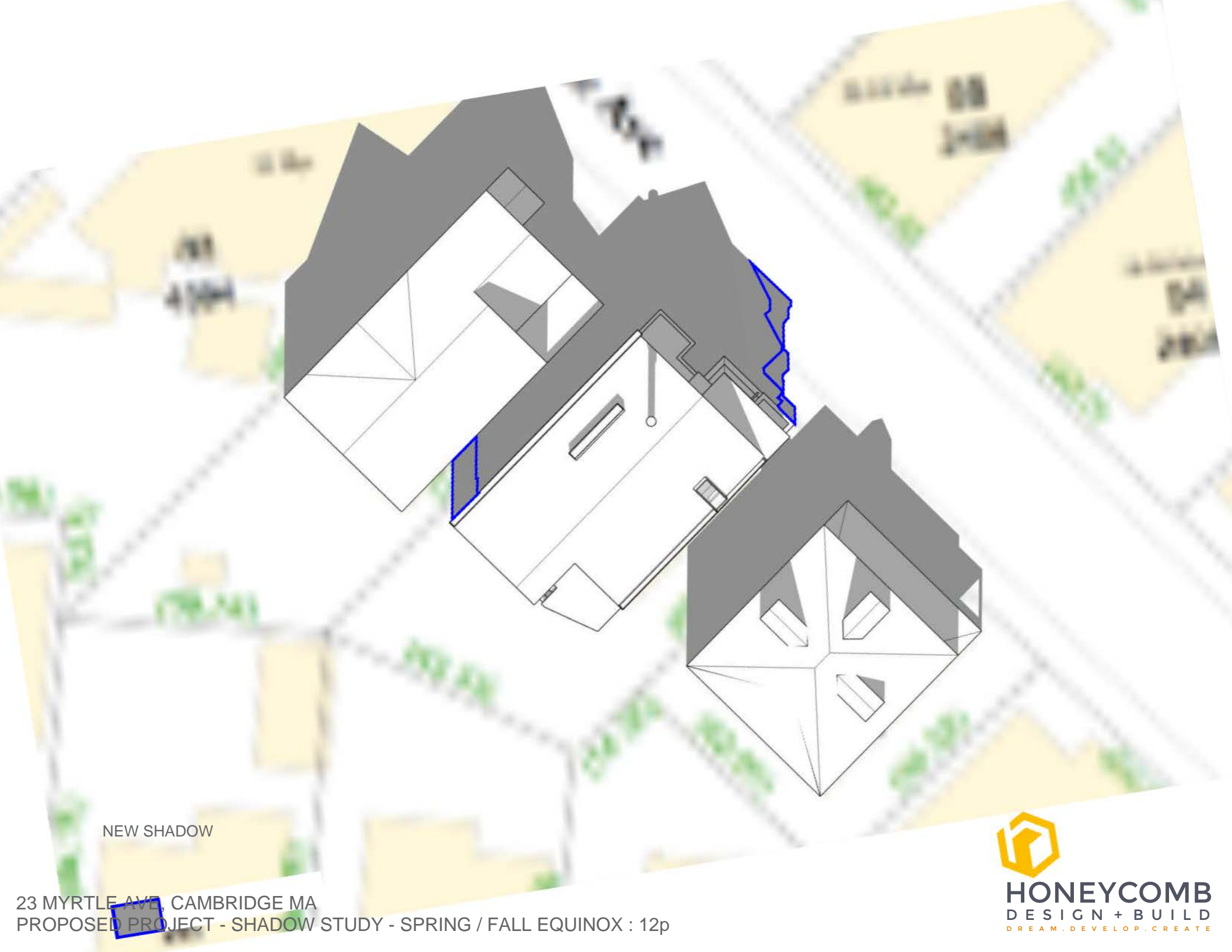


NEW SHADOW





 NEW SHADOW



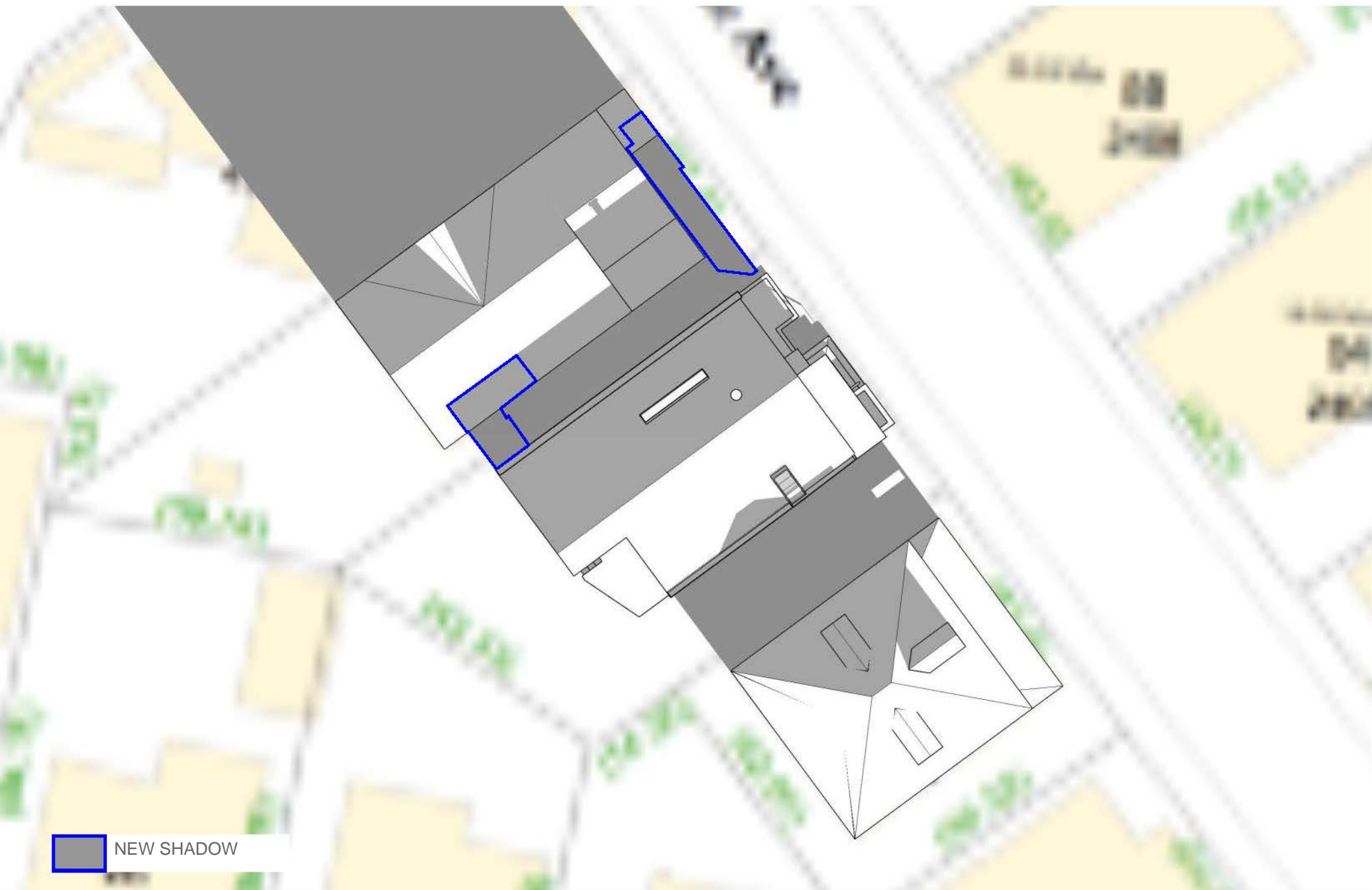
NEW SHADOW



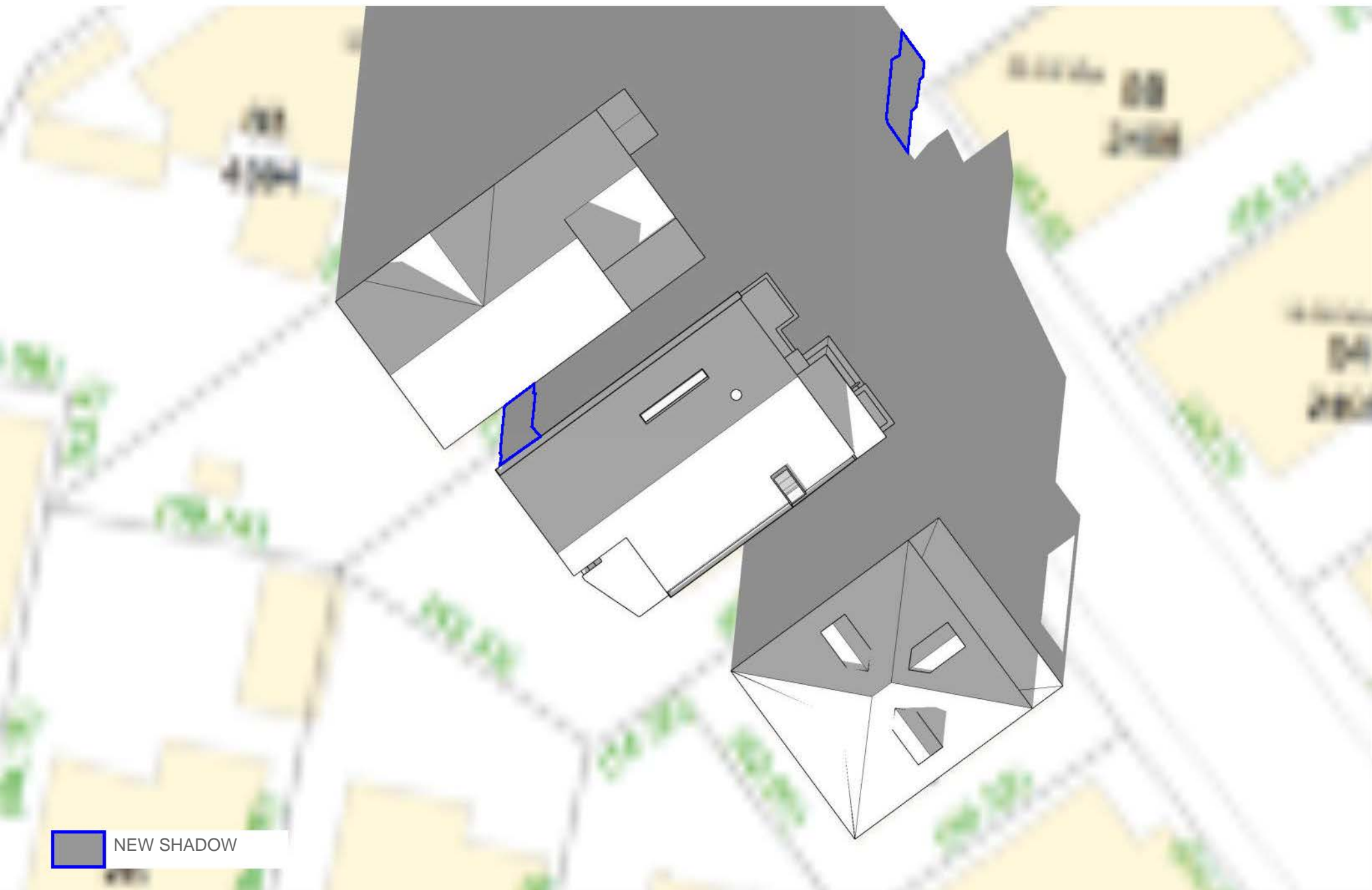
HONEYCOMB
DESIGN + BUILD
DREAM . DEVELOP . CREATE

23 MYRTLE AVE, CAMBRIDGE MA
PROPOSED PROJECT - SHADOW STUDY - SPRING / FALL EQUINOX : 12p

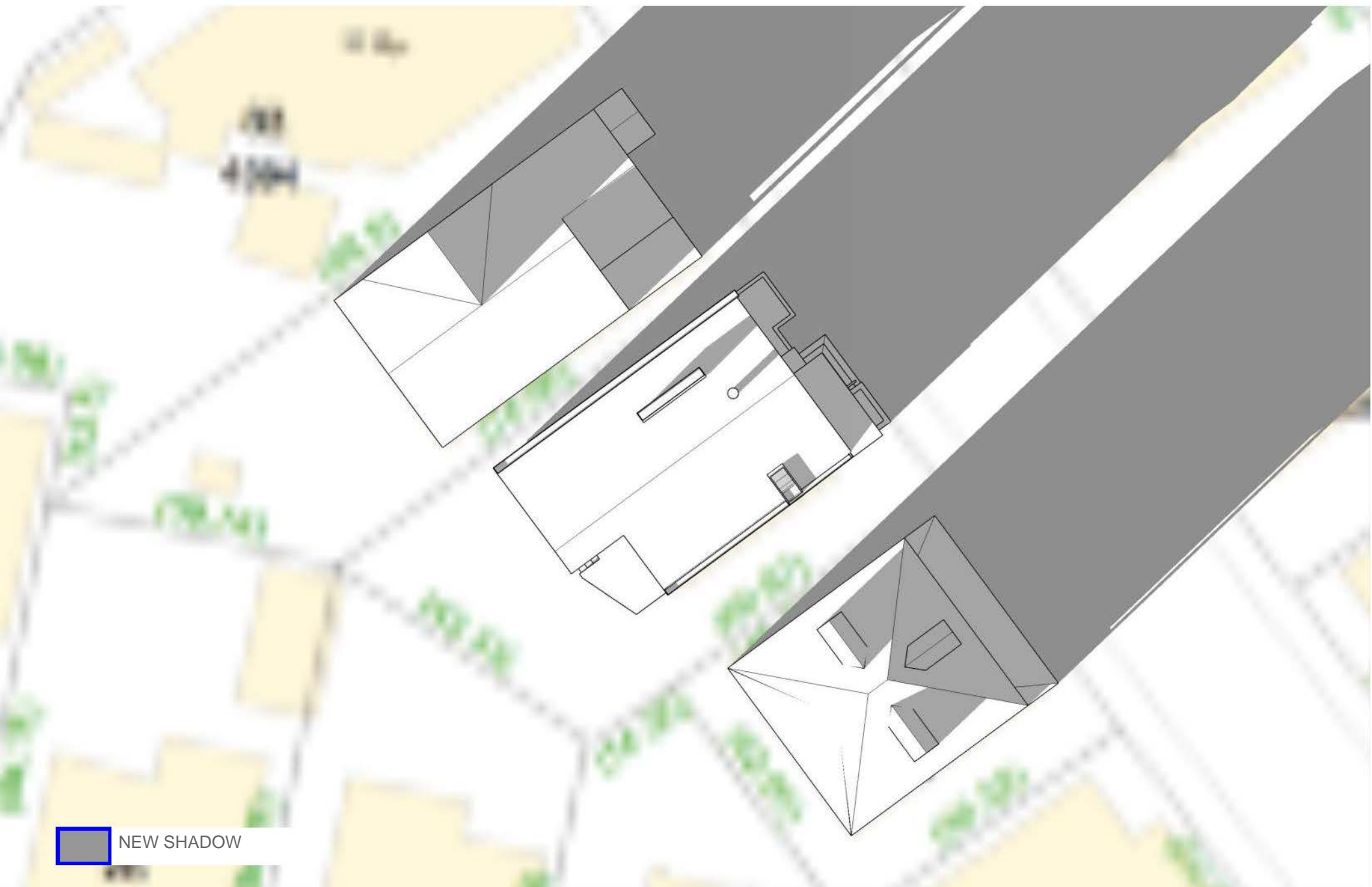




NEW SHADOW



NEW SHADOW



 NEW SHADOW

SITE PLAN
23 MYRTLE AVENUE
CAMBRIDGE, MASSACHUSETTS

1 INCH = 10 FEET JANUARY 17, 2020

SNELLING & HAMEL ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS & ENGINEERS
10 LEWIS STREET P.O. BOX 102
LINCOLN, MASSACHUSETTS 01773
(781) 259-0071

OWNERS OF RECORD:

MARTIN A. WARTAK
&
MICHELLE M. MATZ
BK.39770 PG.281

1 INCH = 10 FEET
0 5 10 20 30

APPROXIMATE NORTH

N/F
RAY L. SHERWIN
BK.59175 PG.300

N/F
THE 2011 CALVINE COOK
FAMILY TRUST
BK.57323 PG.365

N/F
MARIO J. TORROELLA
&
ISABELLE B. TORROELLA
BK.25659 PG.259

ASSESSORS' MAP ID:
141-19

LOT 28
2,783± S.F.

N/F
BRIAN ROUGHAN
&
KERRY McDONALD
BK.63306 PG.156

N/F
STEPHEN M. PIPER
&
DEBORAH E. BELLE
BK.15205 PG.116

NOTES:

- ZONING DISTRICT: C-1
- THE TREES DEPICTED HEREON ARE IDENTIFIED AS DECIDUOUS "D".
- ROOF RIDGE = 135.7
- MEAN GRADE = 100.8
 $(101.0 + 101.2 + 100.6 + 100.5 + 100.5) / 5$
- BUILDING HEIGHT = 34.9

PLAN REFERENCES:

- PLAN 2 IN PLAN BOOK 72
- PLAN NUMBER 1030 OF 1994
- LAND COURT PLAN 21549A
- PLAN NUMBER 550 OF 1944
- PLAN NUMBER 797 OF 1948

MYRTLE AVENUE
(30' WIDE)

BENCHMARK:

- DRILL HOLE IN GRANITE CURB
ELEVATION = 100.00 (ASSUMED)

JOHN R. HAMEL
PROFESSIONAL
LAND SURVEYOR

DATE:

16586.DWG
JANUARY 17, 2020

WARTAK RESIDENCE : CAMBRIDGE CONSERVATION COMMISSION SET

21 - 23 MYRTLE AVE, CAMBRIDGE, MA

SHEET INDEX

SHEET #.	SHEET DESCRIPTION	PG #.
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EC-101	Existing Conditions - First Floor Plan	3
EC-102	Existing Conditions - Second Floor Plan	4
EC-103	Existing Conditions - Third Floor Plan	5
EC-104	Existing Conditions - Roof Plan	6
EC-200	Existing Street Facing Elevation	7
EC-201	Existing Left Facing Elevation	8
EC-202	Existing Right Facing Elevation	9
EC-203	Existing Rear Facing Elevation	10
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ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
Adj.	Adjustable	Hdr.	Header	PPL	Polypropylene
Alum.	Aluminum	Hdwe.	Hardware	Pvmt.	Pavement
Approx.	Approximate	Horiz.	Horizontal	Reinf.	Reinforced
Avg.	Average	Ht.	Height	Req'd.	Required
Brng.	Bearing	Htg.	Heating	Rsr	Riser
CH	Ceiling Height	HVAC	Heating, ventilation & air conditioning	S	Switch
CMU	Concrete masonry unit	HW	Hot water	S ₃	Three-way Switch
Conc.	Concrete	In.	Inch	S.F.	Square Foot
Cont.	Continuous	Int.	Interior	T.#G.	Tongue and Groove
Cu.Ft.	Cubic Foot	Inst.	Installation	V	Volt
DW	Dish Washer	Insul.	Insulation	W	Wire
Ea.	Each	LED	Light emitting diode	%	Percentage
Ext.	Exterior	Lt.Ga.	Light gauge	@	At
Flr.	Floor	Max.	Maximum	&	And
Fdn.	Foundation	MDF	Medium-density fiberboard	"	Inch
Ft.	Foot	Min.	Minimum	'	Foot
Ftg.	Footing	O.C.	On center	¢	Centerline
Furn.	Furniture	OSB	Oriented strand board	#	Number
Ga.	Gauge	Pc.	Pieces		
GWB	Gypsum wall board	Pl.	Plate		
HH	Header Height	Ply.	Plywood		

SYMBOLS

SD	Smoke Detector	⊙	Single receptacle outlet	⊕	Ceiling light
CO	CO ₂ Detector	⊕	Four-Plex receptacle outlet	⊙	Recessed ceiling light
T	Thermostat	⊕	Double receptacle outlet	⊕	Scone light/ Wall light
A	Alarm	⬆	Double lamp flood light	⊕	Pendant Light
C	Cable Service	☒	Exhaust Fan	△	Telephone Jack
DV	Dryer Vent	☒	A/C Register	▲	Computer Data/ LAN outlet
		R-#	Radiator - (size if known)	Y	Track light
				PC	Pull Chain Control
				JB	Junction Box



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

Document Terms & Conditions

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Drawing Name

SHEET INDEX,
SYMBOLS &
ABBREVIATIONS

Date

February 7, 2020

Scale

AS NOTED

Drawing Number

A-001

Project Address

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23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING CONDITIONS
BASEMENT FLOOR PLAN

Date

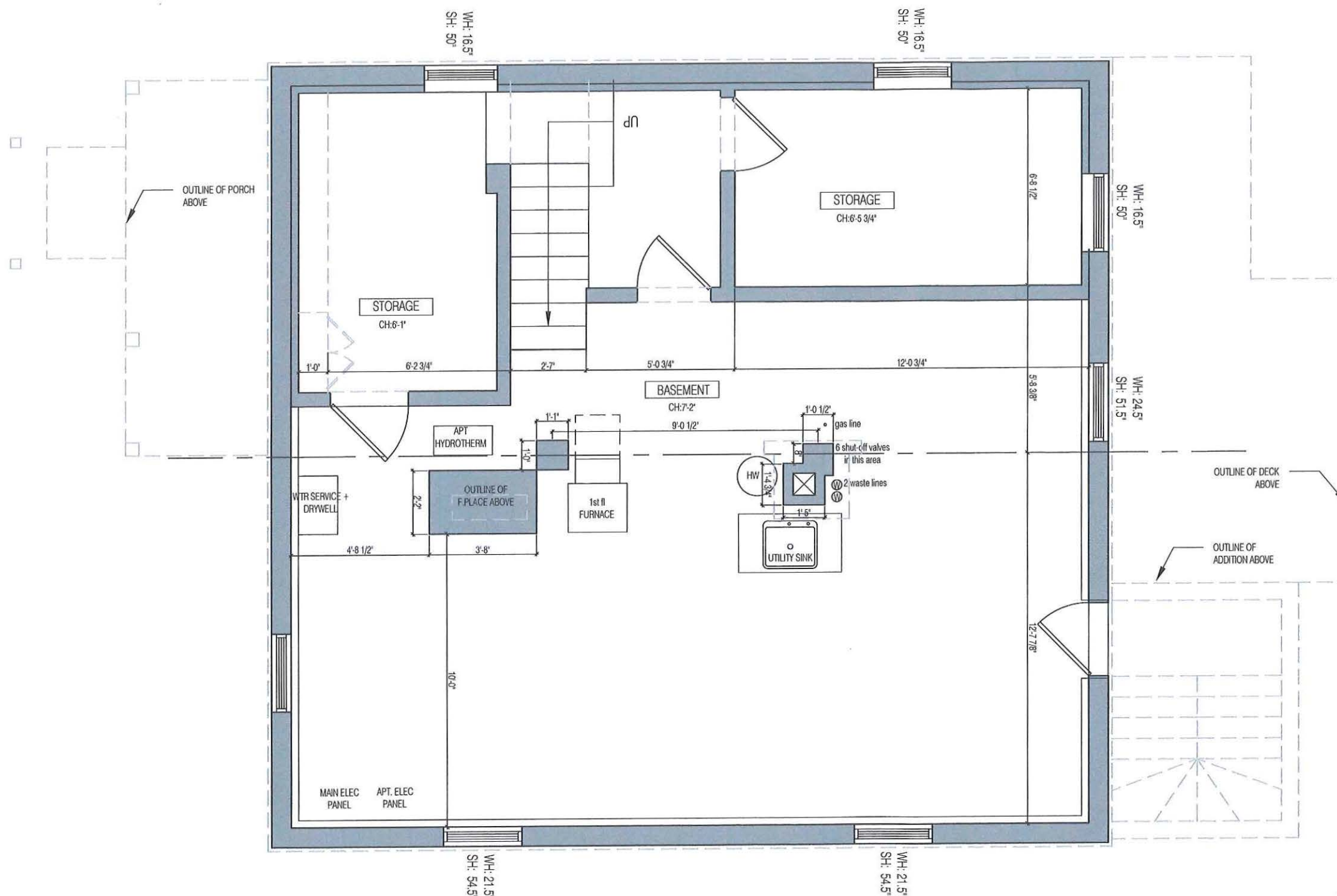
February 7, 2020

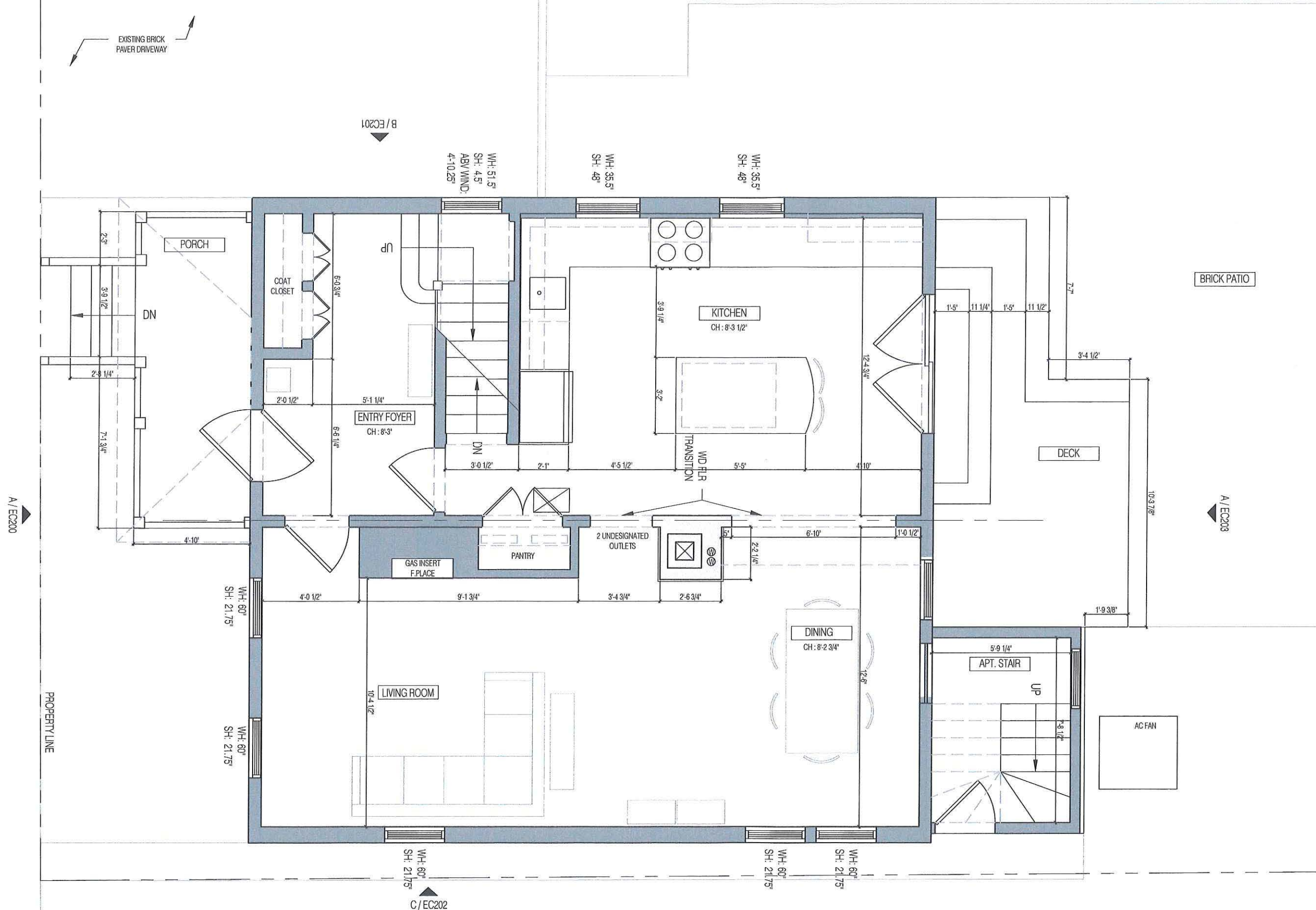
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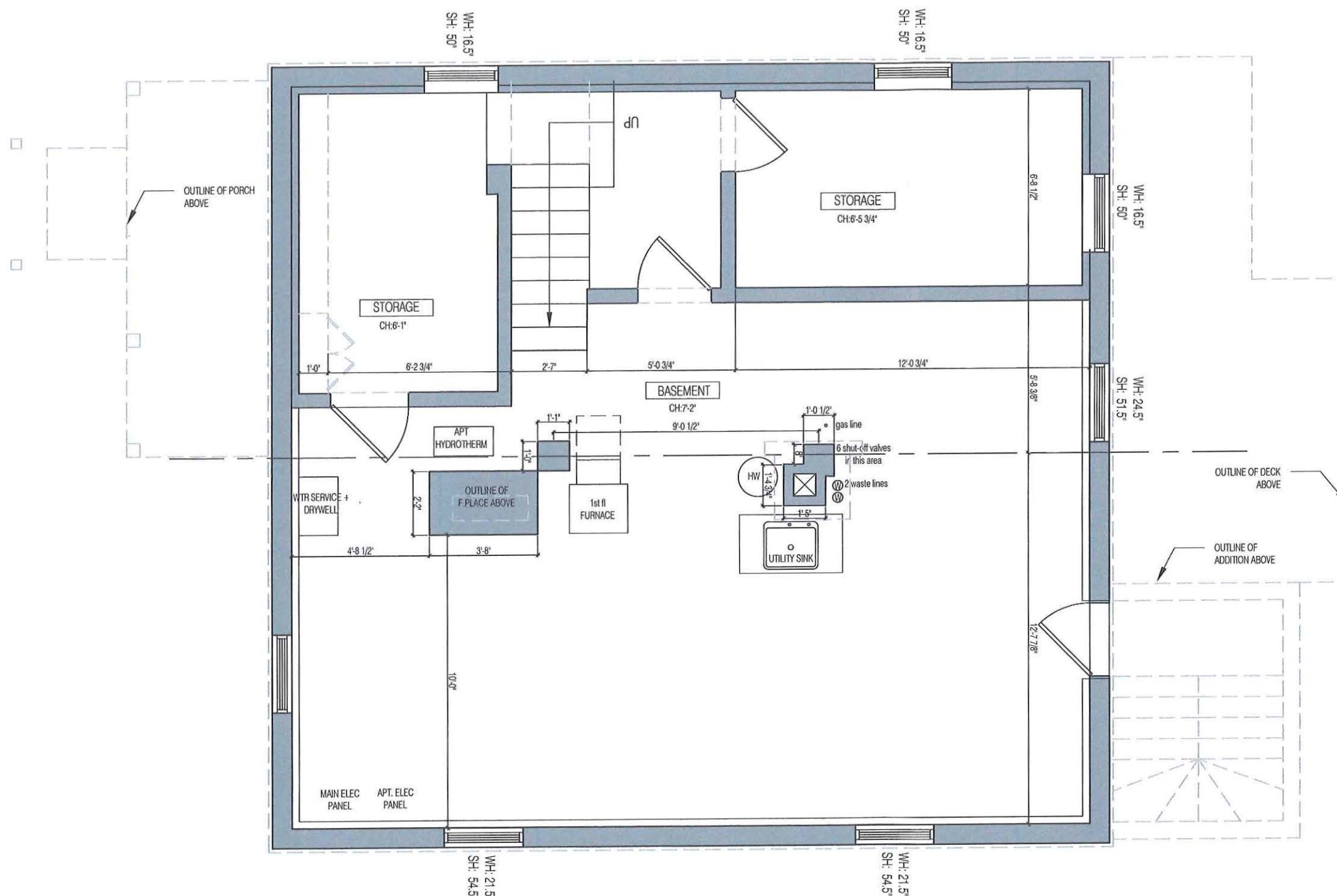
1/4" = 1'-0"

Drawing Number

EC-100







Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING CONDITIONS
SECOND FLOOR PLAN

Date

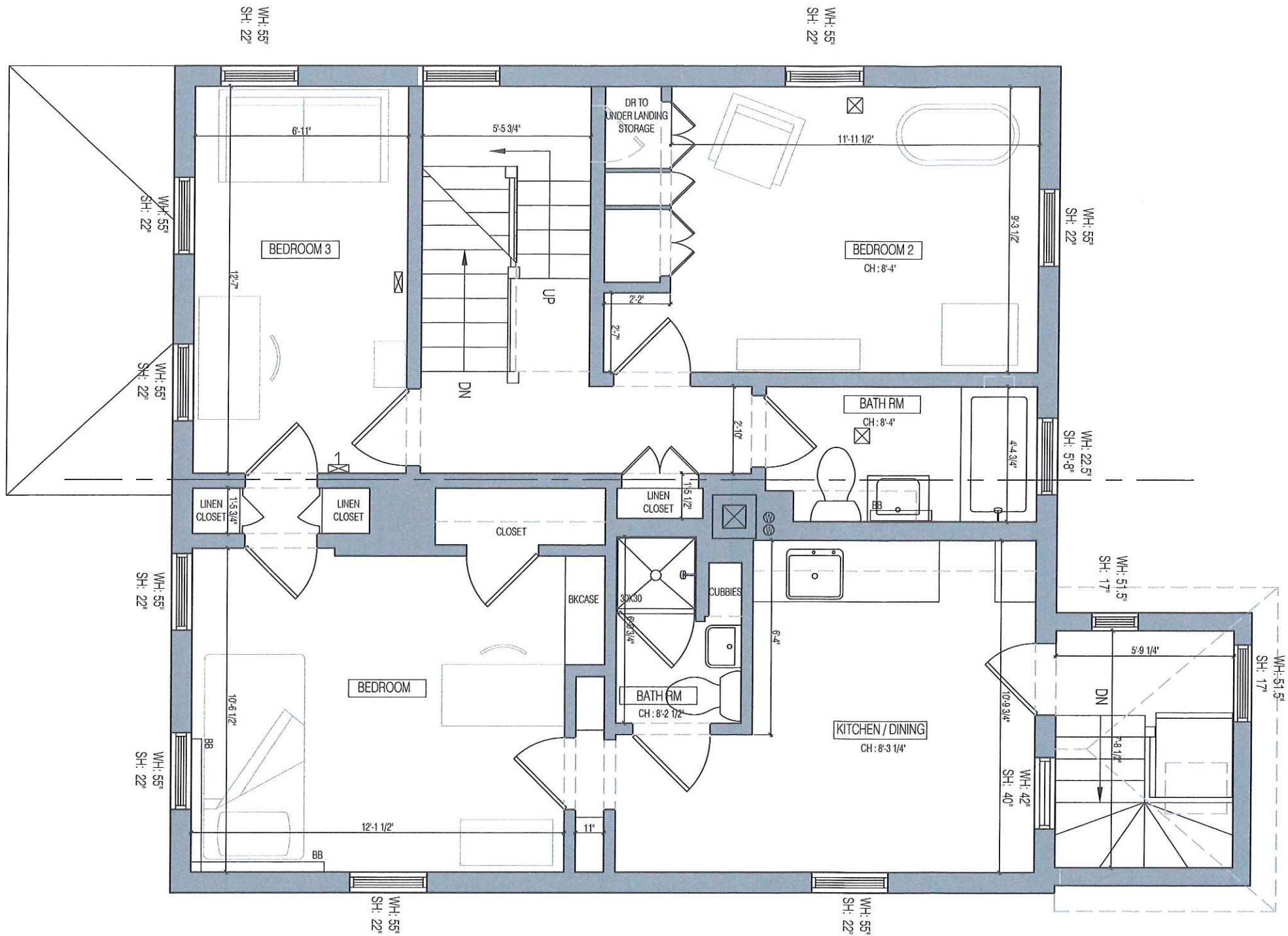
February 7, 2020

Scale

1/4" = 1'-0"

Drawing Number

EC-102



Project Address

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23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING CONDITIONS T
THIRD FLOOR PLAN

Date

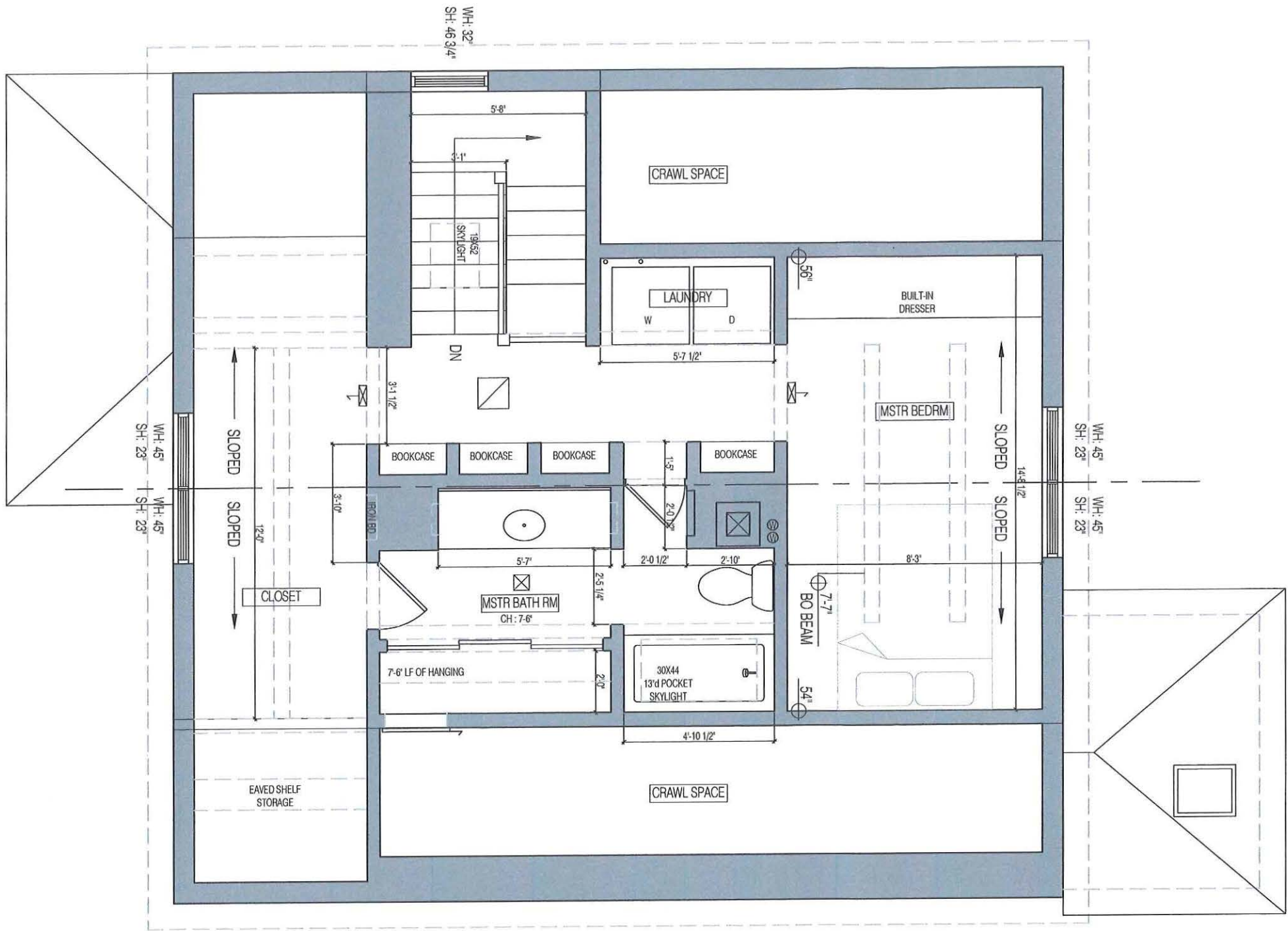
February 7, 2020

Scale

1/4"=1'-0"

Drawing Number

EC-103



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING CONDITIONS T
ROOF PLAN

Date

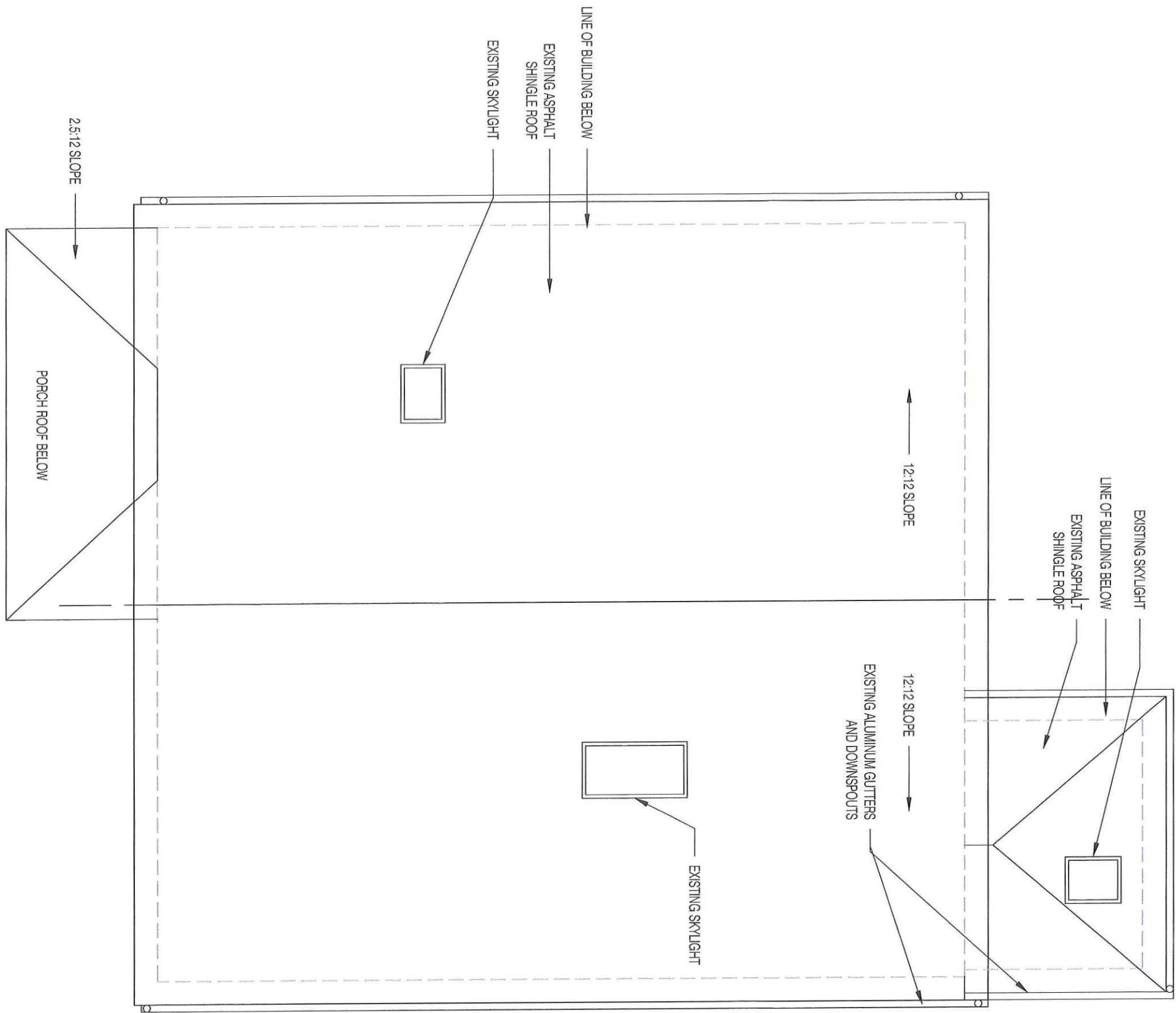
February 7, 2020

Scale

1/4" = 1'-0"

Drawing Number

EC-104



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING ELEVATION

Date

February 7, 2020

Scale

AS NOTED

Drawing Number

EC-200

EL : 34'-10 7/8"
ROOF RIDGE ELEV FROM
MEAN GRADE (+100.8)

EL : 30'-7"
THIRD FLOOR VAULTED CEILING

EL : 17'-2.5"
THIRD FLOOR FLOOR LVL

EL : 16'-7"
SECOND FLOOR CEILING

EL : 15'-11"
BOTTOM OF ROOF SLOPE

EXISTING ASPHALT SHINGLE
ROOF AND ALUMINUM GUTTER

EL : 9'-2.5"
SECOND FLOOR FLOOR LVL

EL : 8'-3"
FIRST FLOOR CEILING

EXISTING PAINTED CLAPBOARD
SIDING

EXISTING PAINTED PORCH TRIM COMPONENTS

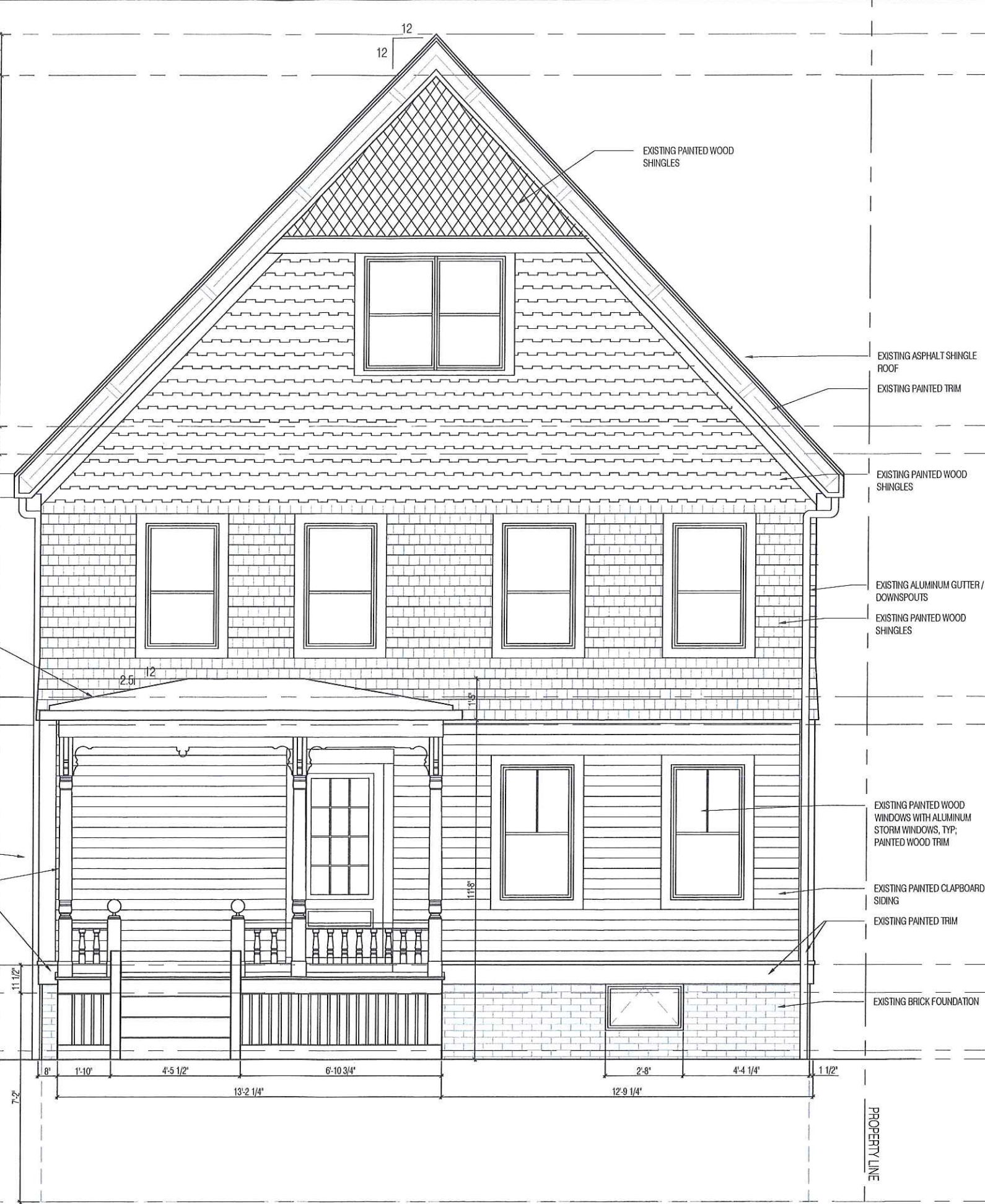
EL : 0'-0" (+103.98)
FIRST FLOOR

EL : (+ 100.8)
MEAN GRADE

EL : -2'-5" (+ 100.5)
AVG STREET FACING GRADE

EL : -8'-1.5"
BASEMENT FLR GRADE

A STREET FACING ELEVATION
SCALE: 1/4"=1'-0"



EL : 34'-10 7/8"
ROOF RIDGE ELEV FROM
MEAN GRADE (+100.8)
EL : 30'-7"
THIRD FLOOR VAULTED CEILING

EXISTING ASPHALT SHINGLE
ROOF AND ALUMINUM GUTTER
EL : 17'-2.5"
THIRD FLOOR FLOOR LVL
EL : 16'-7"
SECOND FLOOR CEILING
EL : 15'-11"
BOTTOM OF ROOF SLOPE

EXISTING PAINTED
CLAPBOARD SIDING
EL : 9'-2.5"
SECOND FLOOR FLOOR LVL
EL : 8'-3"
FIRST FLOOR CEILING

EL : 0'-0" (+103.98)
FIRST FLOOR

EL : (+ 100.8)
MEAN GRADE

EL : -2'-5" (+ 100.5)
AVG STREET FACING GRADE

EL : -8'-1.5"
BASEMENT FLR GRADE

B LEFT FACING ELEVATION

SCALE: 1/4"=1'-0"

EXISTING
SKYLIGHT

EXISTING ASPHALT SHINGLE
ROOF

EXISTING PAINTED WOOD
WINDOWS WITH ALUMINUM
STORM WINDOWS, TYP;
PAINTED WOOD TRIM

EXISTING ALUMINUM GUTTER /
DOWNSPOUTS

EXISTING PAINTED WOOD
SHINGLES

EXISTING ASPHALT SHINGLE
ROOF AND ALUMINUM GUTTER

EXISTING PAINTED PAINTED
PORCH/TRIM COMPONENTS

EXISTING PRESSURE TREATED
STAIR AND RAILING COMPONENTS

EXISTING BRICK FOUNDATION

EXISTING PAINTED TRIM

EXISTING PAINTED
CLAPBOARD SIDING

PROPERTY LINE



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING ELEVATION

Date

February 7, 2020

Scale

AS NOTED

Drawing Number

EC-201

Project Address

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Cambridge, MA 02138

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Drawing Name

EXISTING ELEVATION

Date

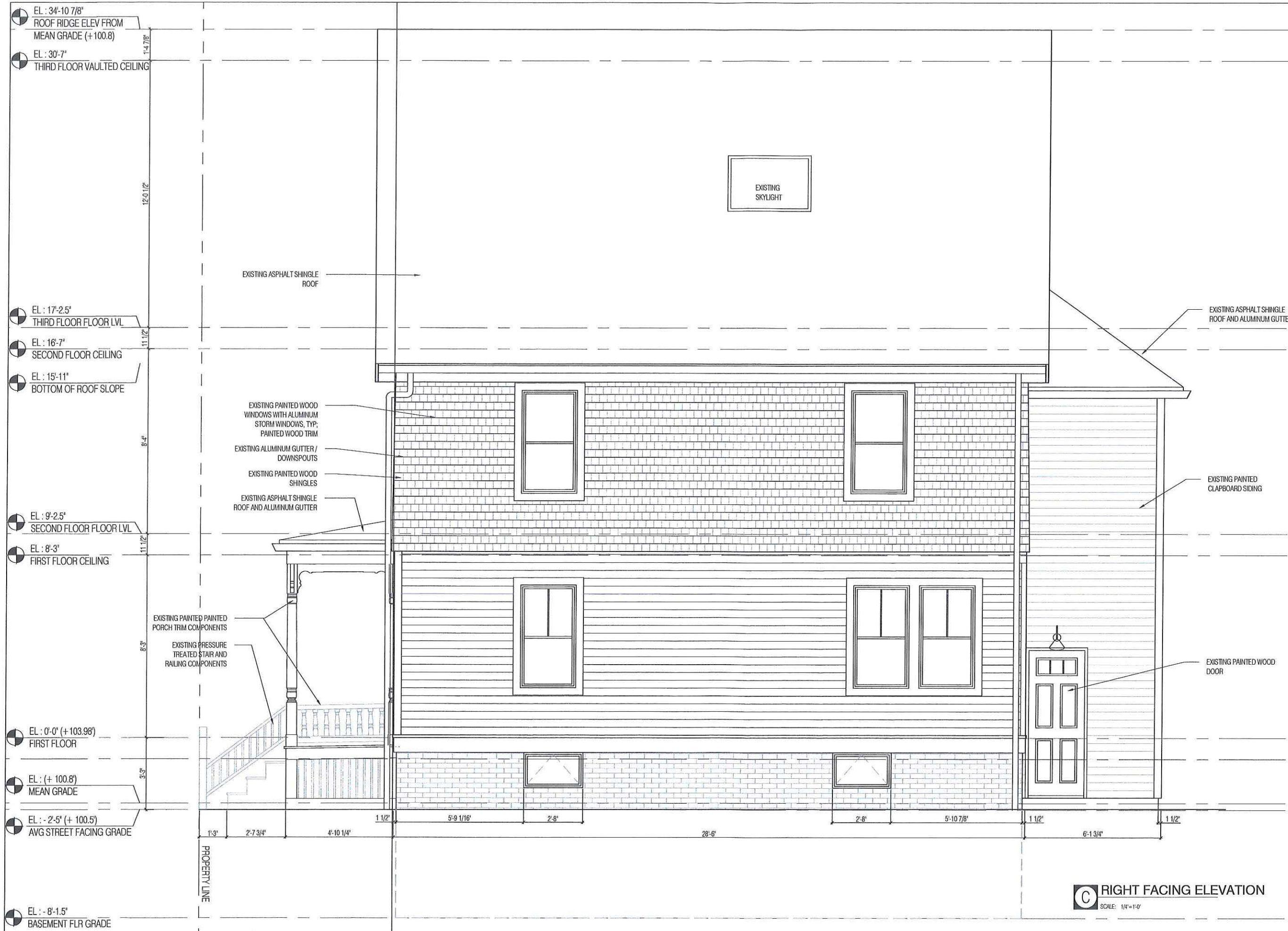
February 7, 2020

Scale

AS NOTED

Drawing Number

EC-202



Project Address

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23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

EXISTING ELEVATION

Date

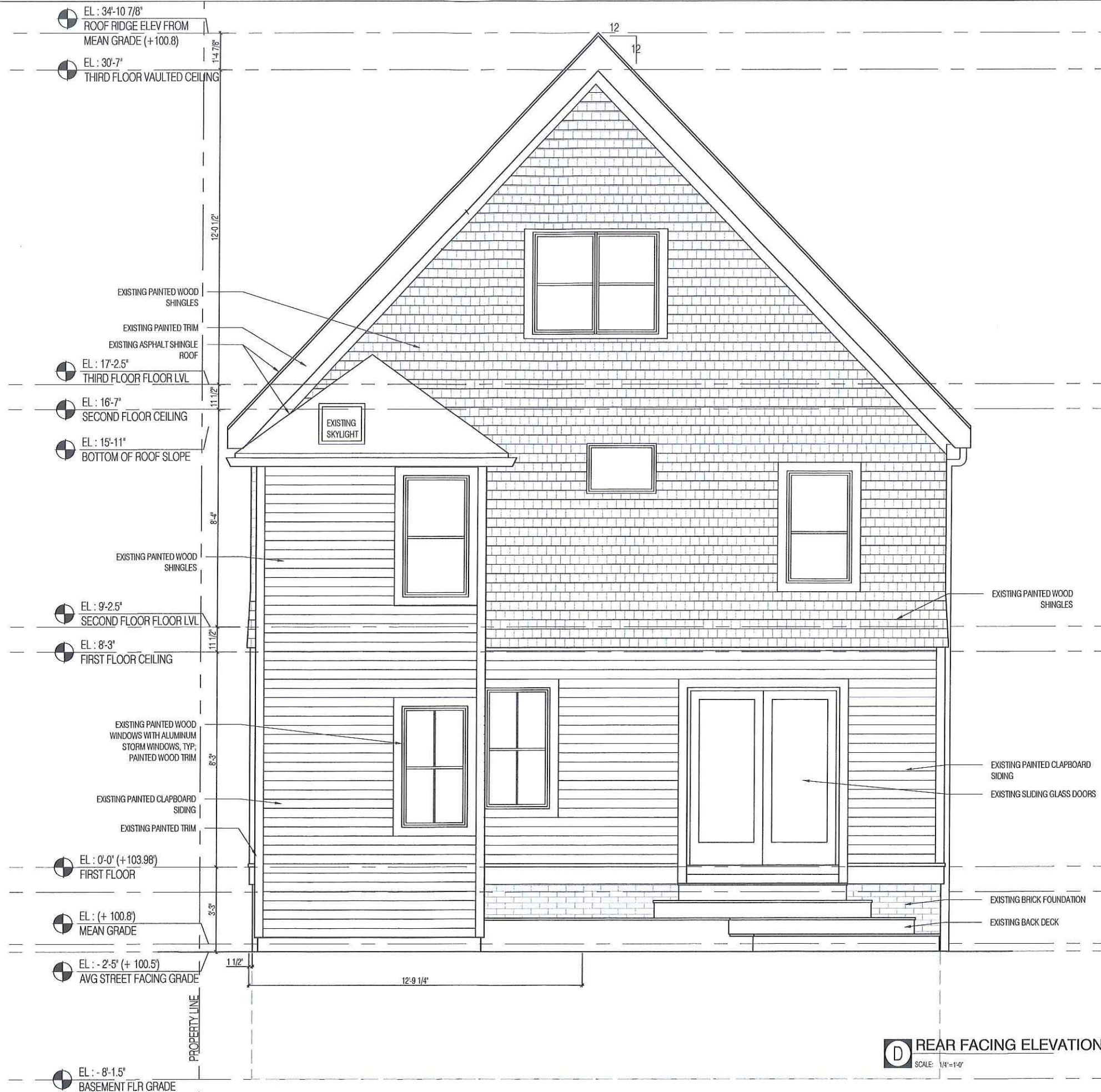
February 7, 2020

Scale

AS NOTED

Drawing Number

EC-203



Project Address

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23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

BASEMENT LEVEL
PROPOSED PLAN

Date

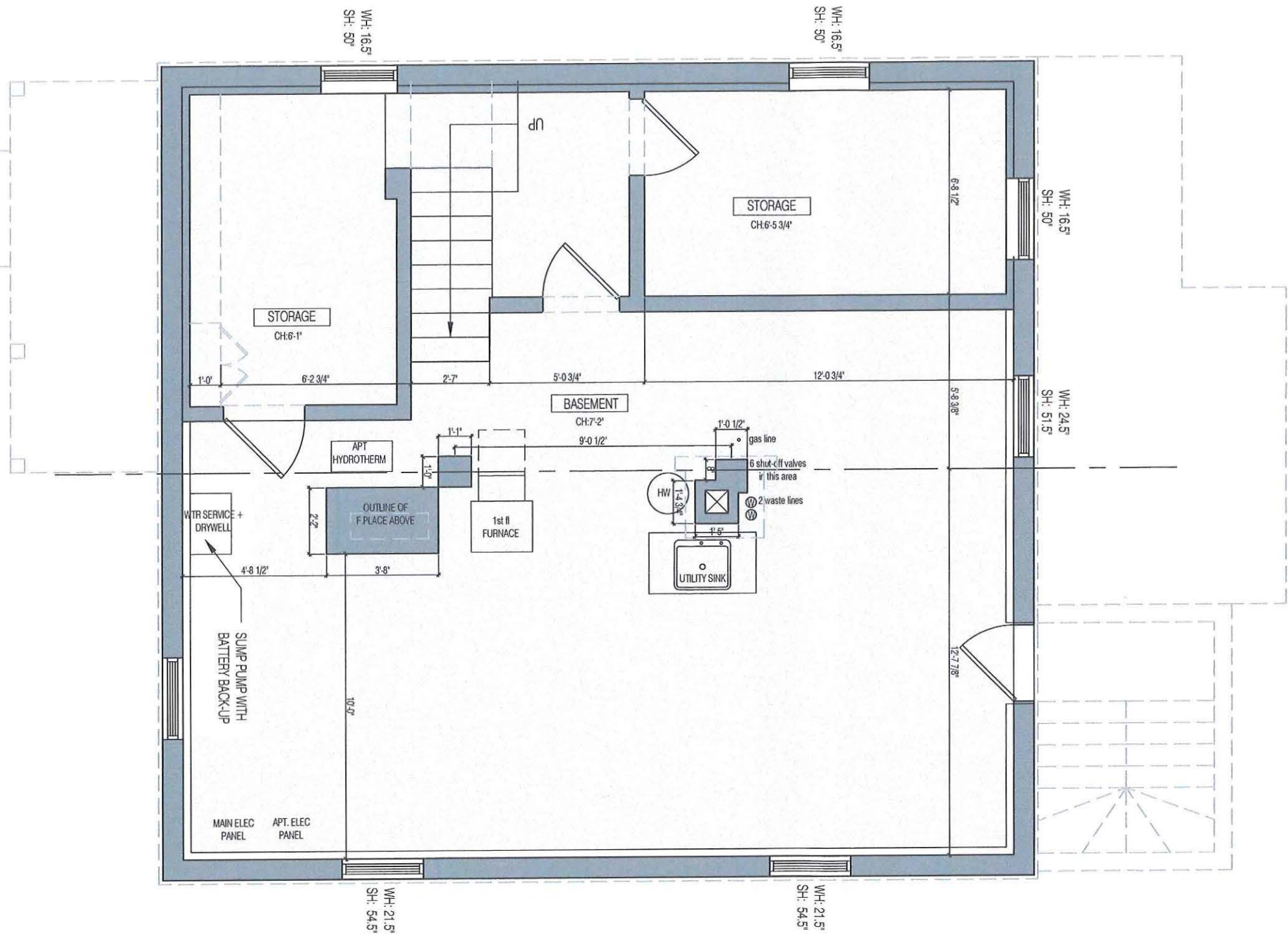
February 7, 2020

Scale

1/4"=1'-0"

Drawing Number

A-100



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

SECOND FLOOR
PROPOSED PLAN

Date

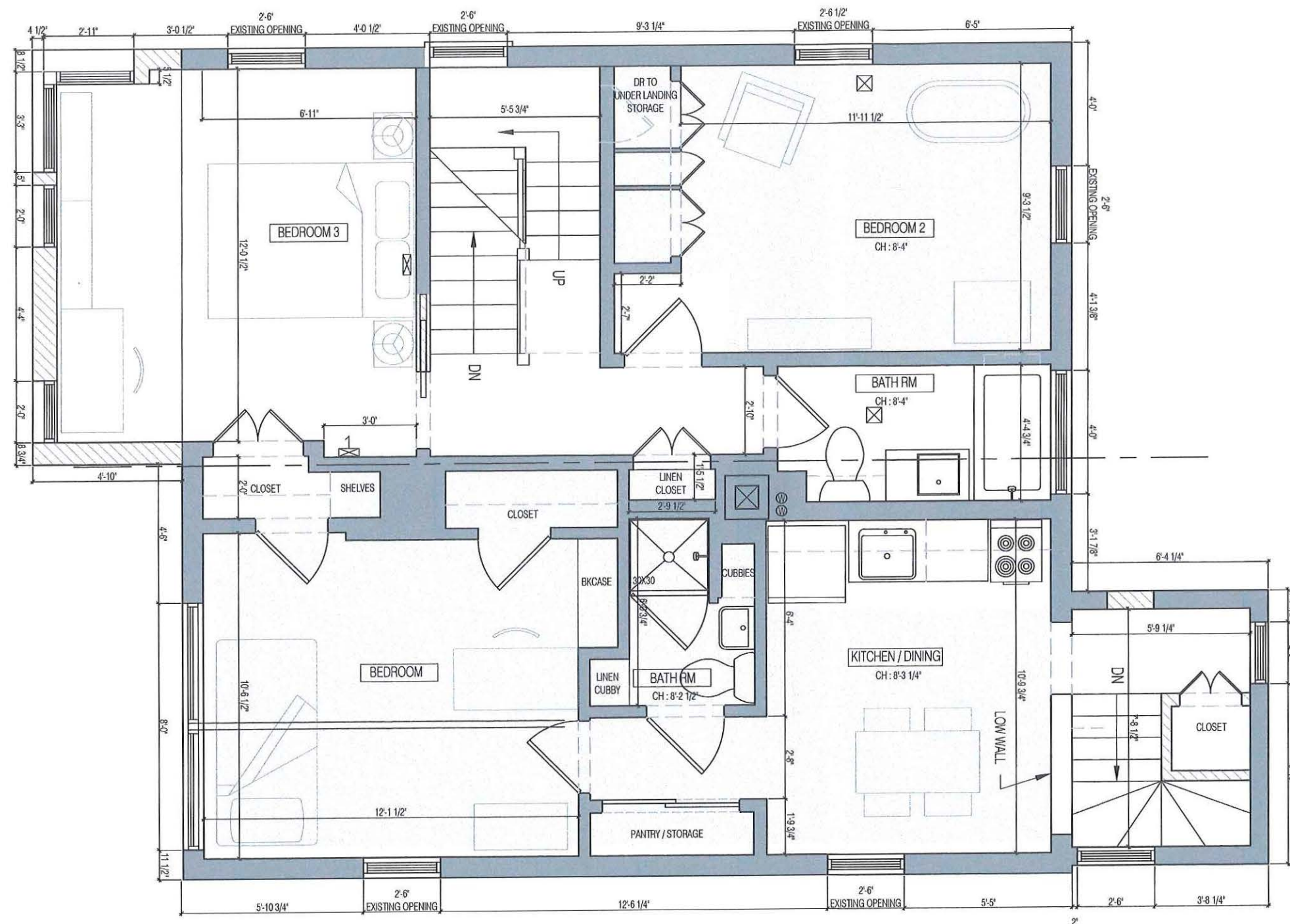
February 7, 2020

Scale

1/4"=1'-0"

Drawing Number

A-102



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

THIRD FLOOR
PROPOSED PLAN

Date

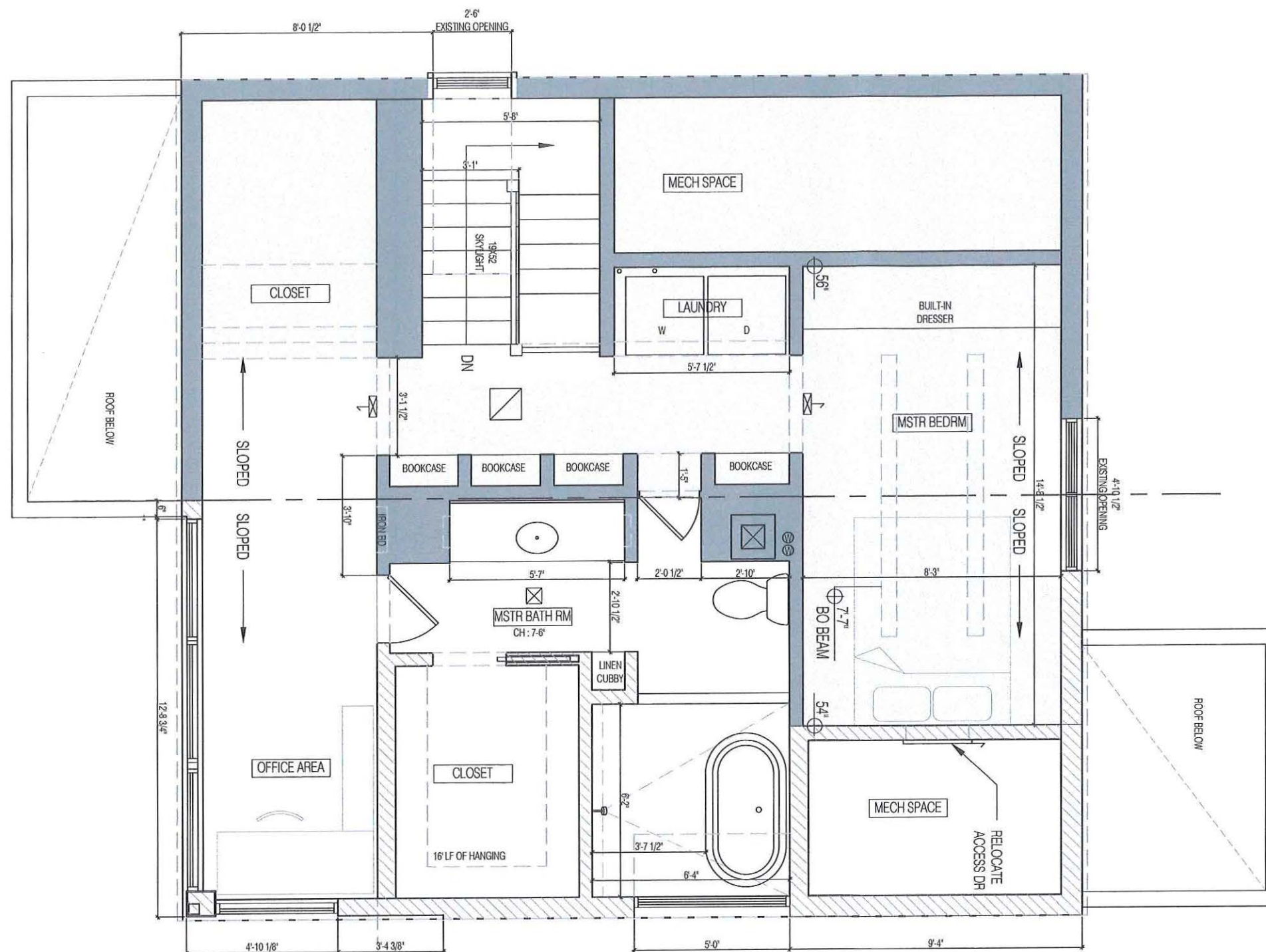
February 7, 2020

Scale

1/4" = 1'-0"

Drawing Number

A-103



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

ROOF LEVEL
PROPOSED PLAN

Date

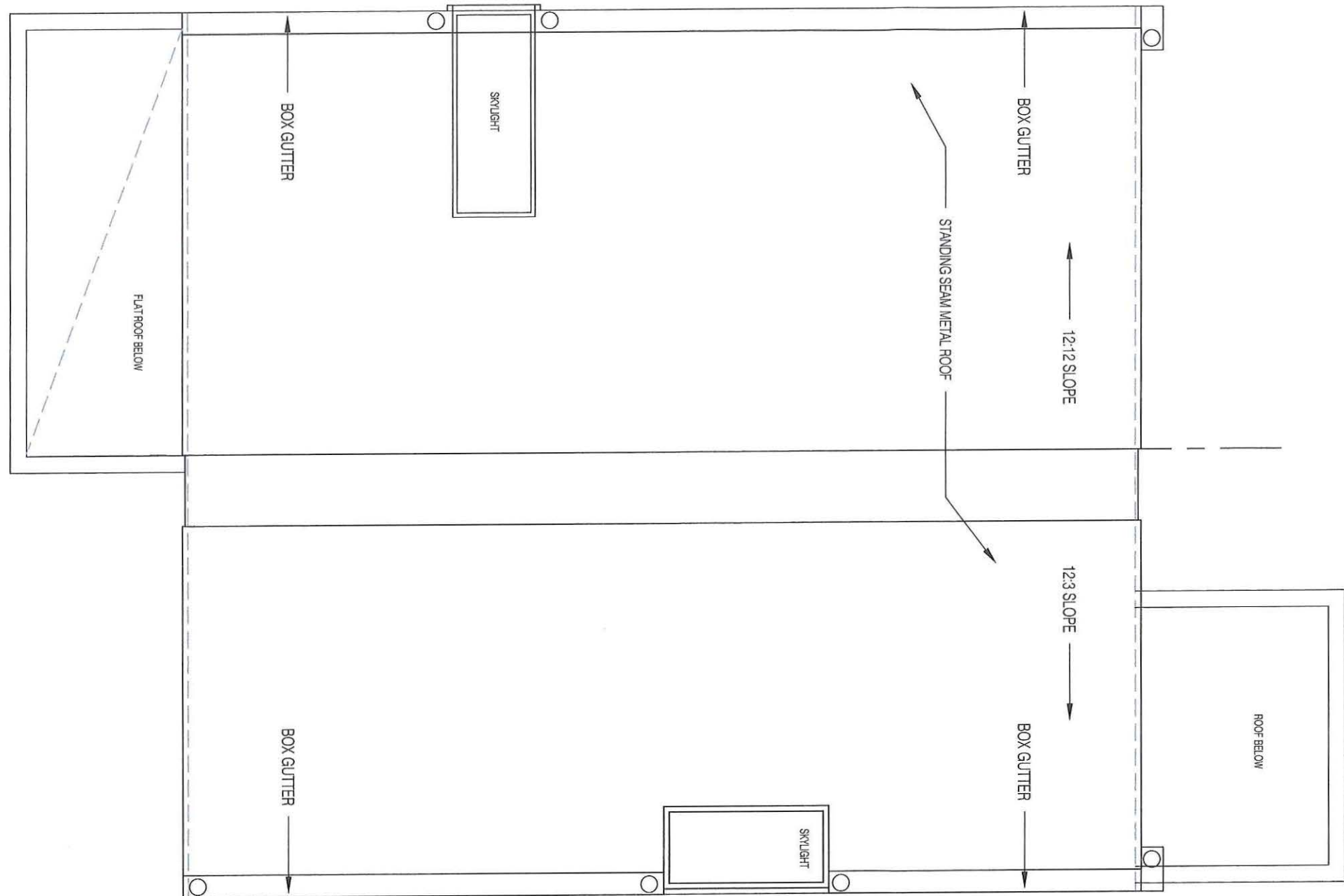
February 7, 2020

Scale

1/4" = 1'-0"

Drawing Number

A-104



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

PROPOSED ELEVATION

Date

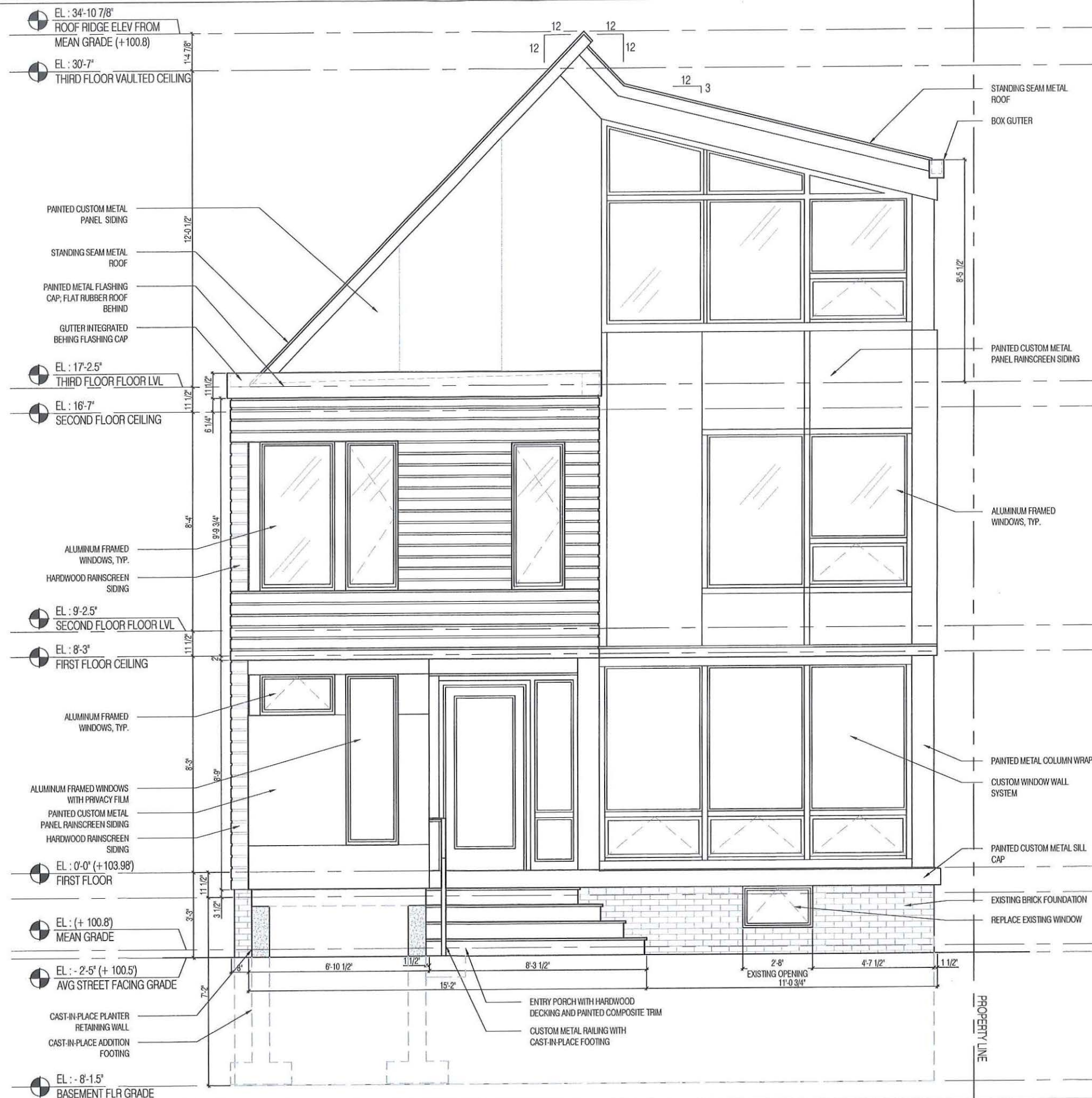
February 7, 2020

Scale

AS NOTED

Drawing Number

A-200



Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

PROPOSED ELEVATION

Date

February 7, 2020

Scale

AS NOTED

Drawing Number

A-201

EL : 34'-10 7/8"
ROOF RIDGE ELEV FROM
MEAN GRADE (+100.8)

EL : 30'-7"
THIRD FLOOR VAULTED CEILING

FLAT ROOF BEYOND
METAL FLASHING
CAP / FACIA

EL : 17'-2.5"
THIRD FLOOR FLOOR LVL

EL : 16'-7"
SECOND FLOOR CEILING

PAINTED CUSTOM METAL
PANEL RAINSCREEN SIDING

EL : 9'-2.5"
SECOND FLOOR FLOOR LVL

EL : 8'-3"
FIRST FLOOR CEILING

EL : 0'-0" (+103.98")
FIRST FLOOR

EL : (+ 100.8")
MEAN GRADE

EL : -2'-5" (+ 100.5")
AVG STREET FACING GRADE

EL : -8'-1.5"
BASEMENT FLR GRADE

B LEFT FACING ELEVATION

SCALE: 1/4"=1'-0"

STANDING SEAM METAL ROOF

CUSTOM SKYLIGHT / WINDOW

BREAK METAL BOX GUTTER

ALUMINUM FRAMED
WINDOWS, TYP.

HARDWOOD RAINSCREEN
SIDING

ALUMINUM FRAMED
WINDOWS, TYP.

PAINTED CUSTOM M
PANEL RAINSCREEN

CAST-IN-PLACE PLAN
RETAINING WALL BE

PROPERTY LINE

Project Address

Wartak Residence
23 Myrtle Ave.
Cambridge, MA 02138

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Drawing Name

**FIRST FLOOR
PROPOSED PLAN**

Date

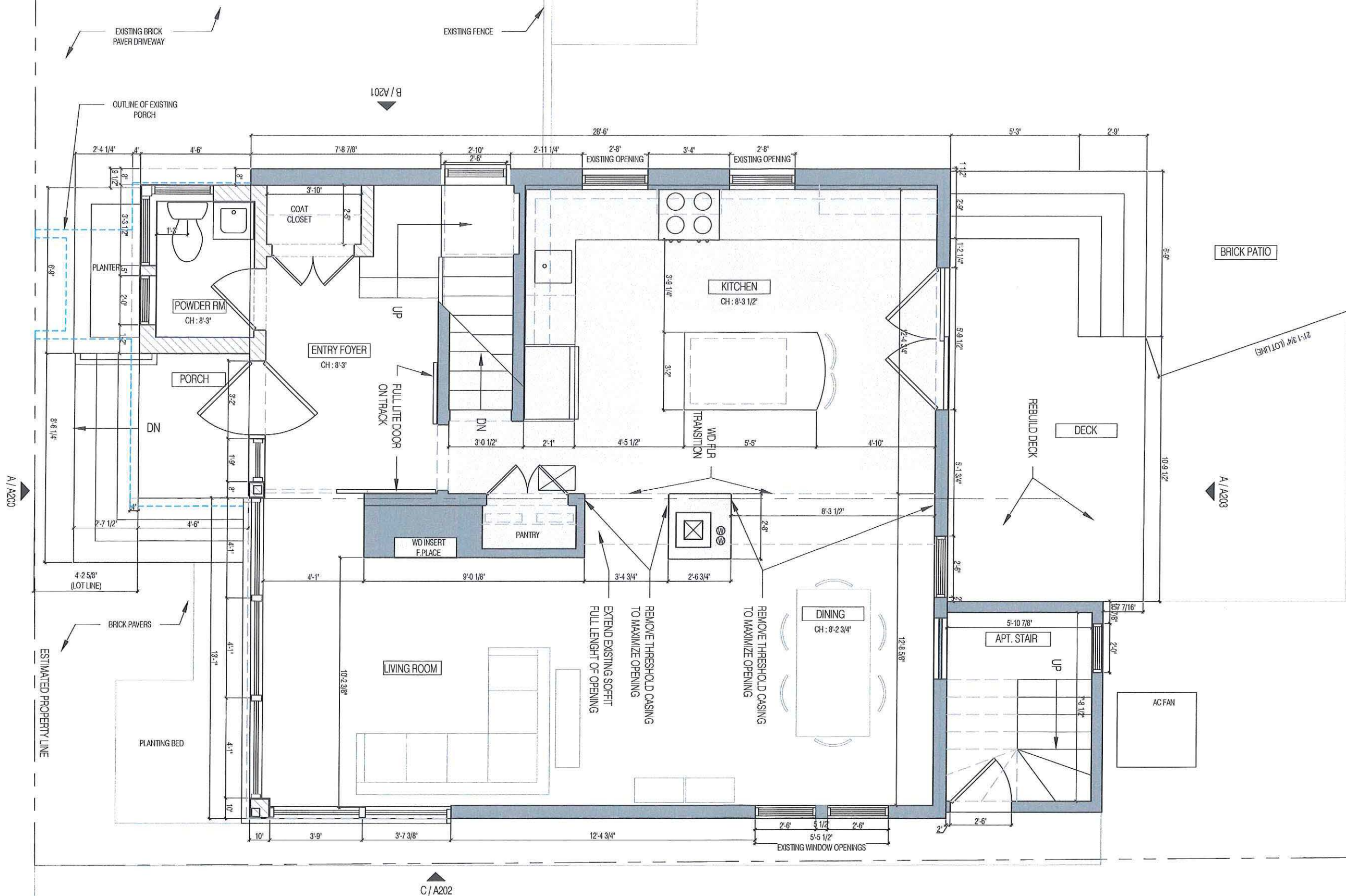
February 7, 2020

Scale

1/4" = 1'-0"

Drawing Number

A-101





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Drawing Name

PROPOSED ELEVATION

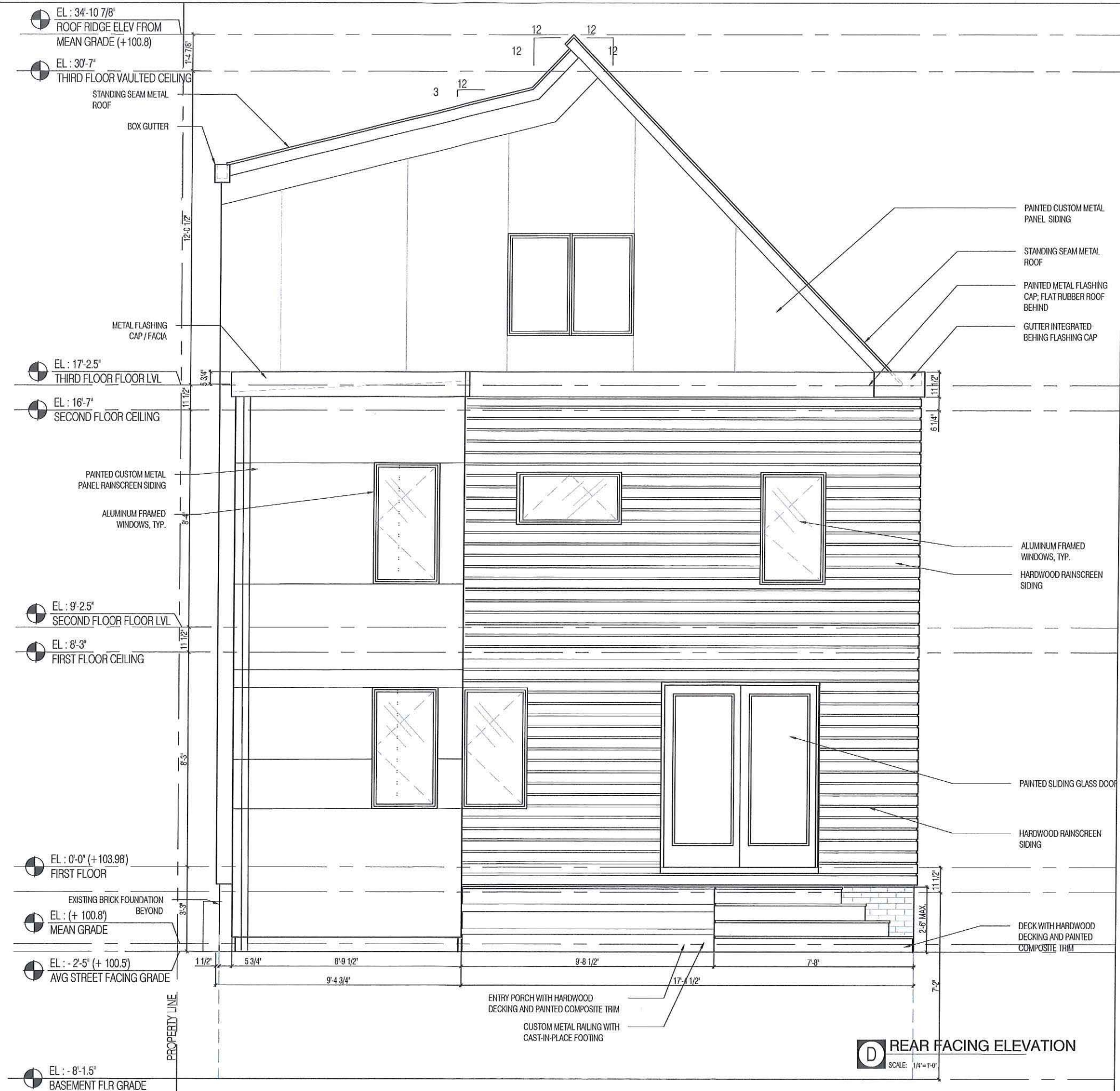
Date
February 7, 2020

Scale

AS NOTED

Drawing Number

A-203





VIEW OF EXISTING STREET FACING ELEVATION

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
EXISTING CONDITIONS PHOTOS



HONEYCOMB
DESIGN + BUILD
DREAM · DEVELOP · CREATE



CONTEXT VIEW : WITH NEIGHBORING HOUSES

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
EXISTING CONDITIONS PHOTOS



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CONTEXT VIEW A : WITH EXISTING STREET TREES

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
PROPOSED PROJECT : MODEL VIEWS



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CONTEXT VIEW A : EXISTING STREET TREES HIDDEN

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
PROPOSED PROJECT : MODEL VIEWS



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CONTEXT VIEW B : WITH EXISTING STREET TREES

WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
PROPOSED PROJECT : MODEL VIEWS



HONEYCOMB
DESIGN + BUILD
DREAM · DEVELOP · CREATE



CONTEXT VIEW A : EXISTING STREET TREES HIDDEN

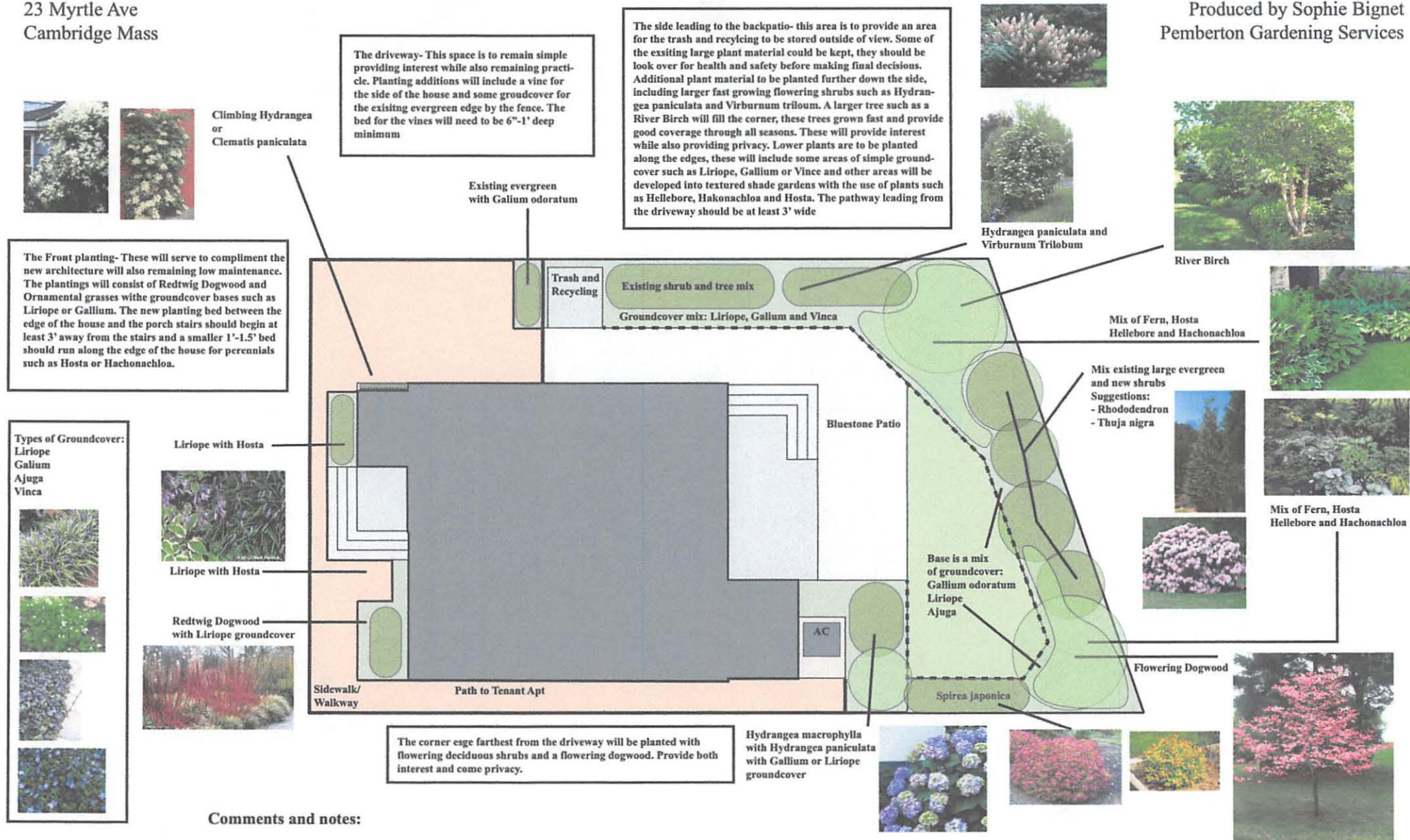
WARTAK RESIDENCE :
23 MYRTLE AVE, CAMBRIDGE MA
PROPOSED PROJECT : MODEL VIEWS



HONEYCOMB
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Wartak Residence
23 Myrtle Ave
Cambridge Mass

Overall Property Plan
Produced by Sophie Bignet
Pemberton Gardening Services



Comments and notes:

- The front is to remain simple using shrubs, grasses and groundcover to provide low maintenance and effective sidewalk appeal
- Hardscape to be done in brick but could be another material. This plan proposes continuing the material into the parking and again down the pathway to the tenant entrance
- The design for the back is primarily for play and privacy. The Patio would begin at the gate to the driveway and by the AC unit at the end of the porch.
- A lawn will go in by the patio to provide play space for the children. This would be complimented with a cobblestone border to provide a tidy edge between planting beds and the lawn.
- The planting for the back will keep many of the existing plants adding primarily some shrubs for additional interest and privacy while also ensuring the establishment of groundcover in all beds. The groundcover will provide more green to the space and help the soil retain both nutrients and water.



Ms. Maria Pacheco
Administrator
Cambridge Zoning Board
City of Cambridge
831 Massachusetts Avenue, 2nd Fl.
Cambridge, MA 02139
March 9, 2020

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2020 MAR - 9 A 9:29

Dear Ms. Maria Pacheco and the Zoning Board:

I am writing in reference to the renovation of 23 Myrtle Ave. in Cambridge, 02138 who as an abutter, I want to present my strong disapproval of its design.

Being a co-founding partner of HMFH Architects and partner in charge of design, now retired, and a Fellow of the AIA, I find the above project not in accordance with many of the standards set by the Cambridge Zoning Board and the Cambridge Historical Commission.

At present, the house is a most pleasant building classical of its period; Early 20th century if not as far back as the turn of the 19th century. In its present condition, rather of a certain negligence, it still is the "anchor" of that neighborhood. It fits in with the urban fabric and it brings attention to itself thanks to its quiet sobriety, proportions and detailing.

My wife and I have lived in the neighborhood since 1973 when we bought 17 Myrtle Ave. which at the time came with an empty piece of land. We kept both 17 Myrtle and the piece of land when we moved to 19 Myrtle. Greatly appreciating the neighborhood, I designed our present home, 30 Magnolia, which abuts 23 Myrtle in the back, on that empty piece of land. This was in 1989, and in 1996 our house was honored by the Boston Society of Architecture with its Domestic Excellence in Design Award. Prior to this, in 1975, the 133 Brattle St. house, known as the Falxa house, received the same award.

I say all of the above to indicate that I know of what I speak of when I discuss architecture. In addition, these two homes were designed in two Cambridge historical districts. Therefore, I am sure that 23 Myrtle Ave. can receive a good design which respects its exterior appearance, fits into a historical environment and still is able to house modern day facilities. I might also add that with good thinking, one can expand to the back and therefore respecting its existing front appearance.

Thanking you for your patience in reading this letter, I offer my best regards.



Mario Torroella, FAIA
30 Magnolia Ave.
Cambridge, MA 02138
mj.torroella@gmail.com

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

[illegible]

1. *Phragmites australis* (Cav.) Trin. ex Steud.

2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 26

[illegible]

2007-2008 44,000

Abstract

Investigations of the effects of a program of child abuse and neglect prevention on the knowledge, attitudes, and self-efficacy of parents and teachers.

1. Before 1920, 20% of the population in the United States was of foreign birth and 10% of the population was of foreign descent.

1994-1995, 1996-1997, 1998-1999, 2000-2001, 2002-2003, 2004-2005, 2006-2007, 2008-2009, 2010-2011, 2012-2013, 2014-2015, 2016-2017, 2018-2019, 2020-2021, 2022-2023, 2024-2025, 2026-2027, 2028-2029, 2030-2031, 2032-2033, 2034-2035, 2036-2037, 2038-2039, 2040-2041, 2042-2043, 2044-2045, 2046-2047, 2048-2049, 2050-2051, 2052-2053, 2054-2055, 2056-2057, 2058-2059, 2060-2061, 2062-2063, 2064-2065, 2066-2067, 2068-2069, 2070-2071, 2072-2073, 2074-2075, 2076-2077, 2078-2079, 2080-2081, 2082-2083, 2084-2085, 2086-2087, 2088-2089, 2090-2091, 2092-2093, 2094-2095, 2096-2097, 2098-2099, 2100-2101, 2102-2103, 2104-2105, 2106-2107, 2108-2109, 2110-2111, 2112-2113, 2114-2115, 2116-2117, 2118-2119, 2120-2121, 2122-2123, 2124-2125, 2126-2127, 2128-2129, 2130-2131, 2132-2133, 2134-2135, 2136-2137, 2138-2139, 2140-2141, 2142-2143, 2144-2145, 2146-2147, 2148-2149, 2150-2151, 2152-2153, 2154-2155, 2156-2157, 2158-2159, 2160-2161, 2162-2163, 2164-2165, 2166-2167, 2168-2169, 2170-2171, 2172-2173, 2174-2175, 2176-2177, 2178-2179, 2180-2181, 2182-2183, 2184-2185, 2186-2187, 2188-2189, 2190-2191, 2192-2193, 2194-2195, 2196-2197, 2198-2199, 2200-2201, 2202-2203, 2204-2205, 2206-2207, 2208-2209, 2210-2211, 2212-2213, 2214-2215, 2216-2217, 2218-2219, 2220-2221, 2222-2223, 2224-2225, 2226-2227, 2228-2229, 2230-2231, 2232-2233, 2234-2235, 2236-2237, 2238-2239, 2240-2241, 2242-2243, 2244-2245, 2246-2247, 2248-2249, 2250-2251, 2252-2253, 2254-2255, 2256-2257, 2258-2259, 2260-2261, 2262-2263, 2264-2265, 2266-2267, 2268-2269, 2270-2271, 2272-2273, 2274-2275, 2276-2277, 2278-2279, 2280-2281, 2282-2283, 2284-2285, 2286-2287, 2288-2289, 2290-2291, 2292-2293, 2294-2295, 2296-2297, 2298-2299, 2300-2301, 2302-2303, 2304-2305, 2306-2307, 2308-2309, 2310-2311, 2312-2313, 2314-2315, 2316-2317, 2318-2319, 2320-2321, 2322-2323, 2324-2325, 2326-2327, 2328-2329, 2330-2331, 2332-2333, 2334-2335, 2336-2337, 2338-2339, 2340-2341, 2342-2343, 2344-2345, 2346-2347, 2348-2349, 2350-2351, 2352-2353, 2354-2355, 2356-2357, 2358-2359, 2360-2361, 2362-2363, 2364-2365, 2366-2367, 2368-2369, 2370-2371, 2372-2373, 2374-2375, 2376-2377, 2378-2379, 2380-2381, 2382-2383, 2384-2385, 2386-2387, 2388-2389, 2390-2391, 2392-2393, 2394-2395, 2396-2397, 2398-2399, 2400-2401, 2402-2403, 2404-2405, 2406-2407, 2408-2409, 2410-2411, 2412-2413, 2414-2415, 2416-2417, 2418-2419, 2420-2421, 2422-2423, 2424-2425, 2426-2427, 2428-2429, 2430-2431, 2432-2433, 2434-2435, 2436-2437, 2438-2439, 2440-2441, 2442-2443, 2444-2445, 2446-2447, 2448-2449, 2450-2451, 2452-2453, 2454-2455, 2456-2457, 2458-2459, 2460-2461, 2462-2463, 2464-2465, 2466-2467, 2468-2469, 2470-2471, 2472-2473, 2474-2475, 2476-2477, 2478-2479, 2480-2481, 2482-2483, 2484-2485, 2486-2487, 2488-2489, 2490-2491, 2492-2493, 2494-2495, 2496-2497, 2498-2499, 2500-2501, 2502-2503, 2504-2505, 2506-2507, 2508-2509, 2510-2511, 2512-2513, 2514-2515, 2516-2517, 2518-2519, 2520-2521, 2522-2523, 2524-2525, 2526-2527, 2528-2529, 2530-2531, 2532-2533, 2534-2535, 2536-2537, 2538-2539, 2540-2541, 2542-2543, 2544-2545, 2546-2547, 2548-2549, 2550-2551, 2552-2553, 2554-2555, 2556-2557, 2558-2559, 2560-2561, 2562-2563, 2564-2565, 2566-2567, 2568-2569, 2570-2571, 2572-2573, 2574-2575, 2576-2577, 2578-2579, 2580-2581, 2582-2583, 2584-2585, 2586-2587, 2588-2589, 2590-2591, 2592-2593, 2594-2595, 2596-2597, 2598-2599, 2600-2601, 2602-2603, 2604-2605, 2606-2607, 2608-2609, 2610-2611, 2612-2613, 2614-2615, 2616-2617, 2618-2619, 2620-2621, 2622-2623, 2624-2625, 2626-2627, 2628-2629, 2630-2631, 2632-2633, 2634-2635, 2636-2637, 2638-2639, 2640-2641, 2642-2643, 2644-2645, 2646-2647, 2648-2649, 2650-2651, 2652-2653, 2654-2655, 2656-2657, 2658-2659, 2660-2661, 2662-2663, 2664-2665, 2666-2667, 2668-2669, 2670-2671, 2672-2673, 2674-2675, 2676-2677, 2678-2679, 2680-2681, 2682-2683, 2684-2685, 2686-2687, 2688-2689, 2690-2691, 2692-2693, 2694-2695, 2696-2697, 2698-2699, 2700-2701, 2702-2703, 2704-2705, 2706-2707, 2708-2709, 2710-2711, 2712-2713, 2714-2715, 2716-2717, 2718-2719, 2720-2721, 2722-2723, 2724-2725, 2726-2727, 2728-2729, 2730-2731, 2732-2733, 2734-2735, 2736-2737, 27

where $\mathbf{A} = \mathbf{A}(\mathbf{r}, \mathbf{r}', \mathbf{r}'')$ is a 3×3 matrix, $\mathbf{B} = \mathbf{B}(\mathbf{r}, \mathbf{r}', \mathbf{r}'')$ is a 3×1 vector, and $\mathbf{C} = \mathbf{C}(\mathbf{r}, \mathbf{r}', \mathbf{r}'')$ is a scalar function.

[illegible][illegible]

doi:10.1371/journal.pone.0142102.g002

Author: David G. Smith Date: 8/24/2014 Title: Journal of the 19th Annual Meeting of the American Society of Human Genetics Location: San Francisco, California Date: 11/11/2014

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

2. A number of studies of aggression, such as those by Berkowitz (1974) and Berkowitz and LeMar (1975), have shown that aggression is a function of the situation.

10. The following are the names of the persons who have been appointed to the various committees of the Board of Directors:

100% (100%) of the respondents reported that they had a good understanding of the importance of the research.

1. The number of people who are not in the sample is 1000 - 500 = 500.

Don't be a judgmental - nonchalant person. I think it's good to have a sense of humor.

1. $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ (probability of getting two heads)

and a plentiful supply of water, and the water is not only pure but also of good

As part of our 100th anniversary celebration, we are pleased to offer a limited-time discount on all our products.

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only the company, the individual, or the state is the owner of the intellectual property, and the state is the owner of the patent.

ADDRESS: 16000 1st Ave. S.W. Seattle, WA 98148 TEL: 206/462-2200 FAX: 206/462-2201

[illegible][illegible][illegible]

1990-1991, 1992-1993, 1994-1995

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

27 Myrtle Avenue
Cambridge, MA 02138
March 6, 2020

Ms. Maria Pacheco
Cambridge Zoning Board
City of Cambridge
831 Mass. Ave.
Cambridge, MA 02139

2020 MAR -9 P 3:14

Re: 23 Myrtle Avenue proposed renovations

Dear Ms. Pacheco:

I am writing to urge you to prevent the proposed renovations to the house next door to mine, 23 Myrtle Avenue.

I have lived at 27 Myrtle Avenue since 1983, and I love our short street, or "avenue." Much of its charm, I think, lies in the architectural similarities that bind the houses together, with sufficient points of difference to be interesting. I have always thought that the house next door to mine, 23 Myrtle Avenue, was particularly lovely and almost a visual anchor on the street. I moved in when the house was owned by landscape architect Michael Van Valkenburgh and his wife, Carol. At that time the house was beautifully maintained and there was a beautiful garden.

Today the house is much deteriorated because routine maintenance has been postponed for years, but the house is still beautiful. I had looked forward to its being restored to its former beauty and was saddened to see the proposal that we have. In the architect's drawings the house is unrecognizable to me. Any connection to the past is severed. The materials, the size and shape of the house, let alone the architectural details of the existing house are all changed, and not for the better.

The house also expands to remove part of the sky from view and it creates a more crowded street-front. When I sit in my own backyard, I can see part of the sky over 23 Myrtle Avenue, including some branches of one of the beautiful maple trees Michael Van Valkenburgh planted in front of the house. If the house is allowed to expand, I will lose that beautiful sight and my special piece of the sky. I also worry that expansion of the house in front will damage the roots of Michael's maple trees.

I hope the Cambridge Zoning Board will rule decisively against this renovation.

Sincerely,



Deborah Belle

33 Myrtle Avenue
Cambridge, MA 02138
March 6, 2020

33 Myrtle Avenue
Cambridge Xoning Board
City of Cambridge
831 Mass. Ave.
Cambridge, MA 02139

Re: 33 Myrtle Avenue proposed renovations

Dear Mr. Boardman:

I am writing to urge you to prevent the proposed renovations to the house next door to 33 Myrtle Avenue.

I have lived at 33 Myrtle Avenue since 1983, and I love our home and its location. Much of its charm, I think, lies in the architectural similarities that bind the houses together with sufficient points of difference to be interesting. I have always thought that the house next door to mine, 33 Myrtle Avenue, was particularly lovely and almost a visual anchor on the street. I moved in when the house was owned by landscape architect Michael Van Vliet and his wife. Until that time the house was beautifully maintained and there was a beautiful garden.

Today, the house is much deteriorated because routine maintenance has been postponed for years, but the house is still beautiful. I had looked forward to its being restored to its former beauty and was saddened to see the proposal that we have. In the neighbor's driveway the house is unrecognizable, and any connection to the past is severed. The materials, the size and shape of the house, let alone the architectural details of the existing house are all changed, and not for the better.

The house also expands to remove part of the sky. It is a shame that it creates a more crowded street-front. When I sit in my own back yard I can see part of the sky over 33 Myrtle Avenue, including some branches of one of the beautiful maple trees Michael Van Vliet planted in front of the house. If the house is allowed to expand I will lose this beautiful sight and my neighbor's maple trees.

I hope the Cambridge Xoning Board will vote to deny this renovation.

Sincerely,



Michael Van Vliet

23 Myrtle Ave

Petitioner

141-19
WARTAK, MARTIN A. & MICHELLE M. MATZ
23 MYRTLE AVE.
CAMBRIDGE, MA 02138

141-54
FLOWER, JEREMY & ELISA FLOWER
18 MYRTLE AVE
CAMBRIDGE, MA 02138

HONEYCOMB DESIGN + BUILD, LLC
C/O ANN FULLERTON
540 MAIN STREET – SUITE 7
WINCHESTER, MA 01890

141-76
BUSSEY, JOHN L. & SOPHIA ROVITTI
16 MAGNOLIA AVE, #3
CAMBRIDGE, MA 02138

141-102
TORROELLA, MARIO J. & ISABELLE B. TORROELLA
30 MAGNOLIA AVE.
CAMBRIDGE, MA 02138

141-25
COOK, CALVINE
TRS. THE 2011 CALVINE COOK FAMILY TRUST
C/O CALVINE ARSENAULT
4 FRANCES PL.
CAMBRIDGE, MA 02140

141-26
SHERWIN, RAY L.
20-22 MAGNOLIA AVE
CAMBRIDGE, MA 02138

141-55
PORAT, ORI & KAREN RABI
24 MYRTLE AVENUE.
CAMBRIDGE, MA 02138

141-76
MATLACK, LAURA G.
16 MAGNOLIA AVE., UNIT #1
CAMBRIDGE, MA 02138

141-76
HUANG, HENNA
14 1/2 MAGNOLIA AVE
CAMBRIDGE, MA 02138

141-101
ROUGHAN, BRIAN & KERRY MCDONALD
19 MYRTLE AVE
CAMBRIDGE, MA 02139

141-21
ROSELLI, RHONDA AND BRUCE HASSUK
17 MYRTLE AVE
CAMBRIDGE, MA 02138-3218

141-76
LEBENSON, CHERYL P.
14 MAGNOLIA AVE #1
CAMBRIDGE, MA 02138

141-76
BOXER, SUZANNE
14 MAGNOLIA AVE. APT#2
CAMBRIDGE, MA 02138

141-76
EL-DIAN MANAGEMENT LLC
AUTUMN CIRCLE
HINGHAM, MA 02043

141-76
WANG, YIOU
14-16 1/2 MAGNOLIA AVE. UNIT#14.5/3
CAMBRIDGE, MA 02138

141-76
NOLEN, CARLA J. & STEVEN J. NOLEN
16.5 MAGNOLIA AVE., UNIT #2
CAMBRIDGE, MA 02138

141-83
EID, SAM T. & DIANE ABU-EID
31 MYRTLE AVE
CAMBRIDGE, MA 02138-3218

141-56
RUSSEM, LEE & MICHAEL RUSSEM
JULIE ANN BAINE
28-30 MYRTLE AVE., #28
CAMBRIDGE, MA 02138

141-23
CHAN, LEICIA
32-34 MAGNOLIA AVENUE, UNIT #2
CAMBRIDGE, MA 02138

141-23
MIAN, PATRICIA J. LIFE ESTATE
32-34 MAGNOLIA AVE UNIT #1
CAMBRIDGE, MA 02138

141-76
HUI, YALI
14-16 1/2 MAGNOLIA AVE #16/53
CAMBRIDGE, MA 02138

141-18
BELLE, DEBORAH E.,
TRS THE BELLE FAMILY REV TR
25 MYRTLE AVE
CAMBRIDGE, MA 02138

141-76
DRAKE, EMILY H. ROBERT J. HADERER
16 1/2 MAGNOLIA AVE #1
CAMBRIDGE, MA 02138

141-56
O'CONNELL, KAREN
30 MYRTLE AVE
CAMBRIDGE, MA 02139

141-76
ROUGHAN, BRIAN KERRY MCDONALD
14-16 1/2 MAGNOLIA AVE #14/3
CAMBRIDGE, MA 02138

141-76
SANDLER, BENJAMIN & EMILY GRIFFIN
16 MAGNOLIA AVE., #2
CAMBRIDGE, MA 02139



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Floor, Cambridge, Massachusetts 02139

Telephone: 617 349 4683 TTY: 617 349 6112

E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*

Joseph V. Ferrara, Chandra Harrington, Elizabeth Lyster, Caroline Shannon, Jo M. Solet, *Members*

Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

Jurisdiction Advice

To the Owner of Property at 23 Myrtle Avenue

The above-referenced property is subject to the jurisdiction of the Cambridge Historical Commission (CHC) by reason of the status referenced below:

- ☐ Old Cambridge Historic District
 - ☐ Fort Washington Historic District
 - ☐ (M.G.L. Ch. 40C, City Code §2.78.050)
 - ☐ Avon Hill Neighborhood Conservation District
 - ☐ Half Crown – Marsh Neighborhood Conservation District
 - ☐ Harvard Square Conservation District
 - ☒ **Mid Cambridge Neighborhood Conservation District**
The application for a Certificate of Nonapplicability was denied by the Mid Cambridge NCD Commission. However, their jurisdiction in this case was non-binding. Please see Denial of Certificate for more information.
 - ☐ Designated Landmark
 - ☐ Property is being studied for designation:
(City Code, Ch. 2.78., Article III, and various City Council Orders)
 - ☐ Preservation Restriction or Easement (as recorded)
 - ☐ Structure is fifty years or more old and is therefore subject to CHC review of any application for a demolition permit, if one is required by ISD. (City Code, Ch. 2.78, Article II). See the back of this page for definition of demolition.
 - ☐ No jurisdiction: not a designated historic property and the structure is less than fifty years old.
 - ☐ No local jurisdiction, but the property is listed on the National Register of Historic Places; CHC staff is available for consultation, upon request.
- Staff comments: _____

The Board of Zoning Appeal advises applicants to complete Historical Commission or Neighborhood Conservation District Commission reviews before appearing before the Board.

If a line indicating possible jurisdiction is checked, the owner needs to consult with the staff of the Historical Commission to determine whether a hearing will be required.

CHC staff initials SLB

Date April 10, 2020

Received by Emailed to ISD

Date April 10, 2020

Relationship to project BZA 017259-2020

cc: Applicant
Inspectional Services Commissioner

Demolition Delay Ordinance and Application Information

The Demolition Delay Ordinance (Chapter 2.78, Article II of the Cambridge Municipal Code) was adopted by the City Council in 1979 to afford public review of demolition permit applications for potentially significant buildings. When the Historical Commission determines that a building is significant and should be preserved, demolition will be delayed for up to six months so that solutions can be sought to preserve the building indefinitely. The Ordinance covers all buildings over 50 years old, city-wide. The Historical Commission archives provide dates of construction for all properties in the City.

Demolition is defined in the ordinance as "the act of pulling down, destroying, removing or razing a building or commencing the work of total or substantial destruction with the intent of completing the same." The Inspectional Services Commissioner has provided further guidelines to outline what actions require a demolition permit. **In addition to complete demolition of a building, the following actions may require a demolition permit,**

- **removal of a roof,**
- **removal of one side of a building,**
- **gutting of a building's interior to the point where exterior features (windows, etc.) are impacted, and**
- **removal of more than 25% of a structure.**

Please contact the building inspector or a staff member of the Historical Commission if you have questions about whether a demolition permit is required for a particular project.

Demolition permit applications can be obtained from the Inspectional Services Department. The completed application should be submitted to the Historical Commission, where the staff will review the application. If the Executive Director of the Historical Commission makes an initial determination that the building is significant, a public hearing will be scheduled with Historical Commission. If the staff makes an initial determination that the building is not significant, the application is released for further review by the Building Commissioner.

More information about the demolition permit application procedures is available on the Historical Commission's web site or by calling or dropping by the Historical Commission office.

July 2003

Cambridge Historical Commission
831 Massachusetts Ave., 2nd Fl.
Cambridge, MA 02139
Ph: 617/349-4683 or TTY: 617/349-6112
<http://www.cambridgema.gov/Historic>



Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histncds@cambridgema.gov
URL: <http://www.cambridgema.gov/Historic/midcambridgehome.html>

Tony Hsiao, *Chair*
Lestra Litchfield, *Vice Chair*, Monika Pauli, *Members*
Charles Redmon, Margaret McMahon, *Alternates*

March 2, 2020

Martin Wartak and Michelle Matz
23 Myrtle Avenue
Cambridge, MA 02138

Re: Case MC-5888: 23 Myrtle Avenue

Mr. Wartak and Ms. Matz,

The Mid Cambridge Neighborhood Conservation District Commission, which had a non-binding review of the above case at a public hearing on March 2, 2020, voted to deny your application for a Certificate of Appropriateness to remove the front porch and partially enclose the space and build out on the second floor, alter the roof and window configuration, install new window openings, replace the roof with a metal standing seam roof, replace original wood shingle and clapboard siding with metal panels, hardwood siding, and aluminum framed windows, and the demolition of 1 or more chimneys. The proposal to remove all existing exterior features and build-out of the front façade was found to be inappropriate to the preservation of the original character of the structure as well as the setting and character of the surrounding neighborhood. The Commission recommended maintaining the front façade and focusing the renovation at the rear of the house in order to preserve the historic character of the structure as viewed from the public right of way.

Because the review in this case is non-binding, you may proceed with the work as initially proposed if you so choose. Please call me at 617 349-4686 if you have any questions or would like to schedule a time to meet.

Sincerely,

Allison A. Crosbie
Preservation Administrator

cc: City Clerk, please file this decision
Ranjit Singanayagam, Inspectional Services

Case Number: **MC-5888**

Date: **March 2, 2020**

Attest: A true and correct copy of decision filed with the office of the City Clerk and the Mid Cambridge
Neighborhood Conservation District Commission on March 2, 2020.

By Tony Hsiao/aac, Vice Chair

Twenty days have elapsed since the filing of this decision. No appeal has been filed _____.

Appeal has been filed _____. Date

_____, City Clerk