



CITY OF CAMBRIDGE  
MASSACHUSETTS  
BOARD OF ZONING APPEAL  
831 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139  
617 349-6100

2019 JUL 29 PM 3:02  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

BZA APPLICATION FORM

Plan No: BZA-017156-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_ Variance: ✓ Appeal: \_\_\_\_\_

PETITIONER: Mitchell Nelin - C/O Adam J. Glassman, R.A.

PETITIONER'S ADDRESS: 2 Worthington St Cambridge, MA 02138

LOCATION OF PROPERTY: 24 Cushing St Cambridge, MA

TYPE OF OCCUPANCY: Residential ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

Dormer

DESCRIPTION OF PETITIONER'S PROPOSAL:

Zoning relief requested to construct two 15 foot shed dormers.

SECTIONS OF ZONING ORDINANCE CITED:

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Original Signature(s):

(Petitioner(s) / Owner)

ADAM J. GLASSMAN, R.A.

(Print Name)

Address: 2 WORTHINGTON ST  
CAMBRIDGE, MA

Tel. No.: 617-412-8450

E-Mail Address: AJGLASSMAN.RA@GMAIL.COM

Date:

7/29/2019

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.*


I/We Mitchell Nelin  
(OWNER)

Address: 24 Cushing Street Cambridge

State that I/We own the property located at 24 Cushing St Cambridge, MA,  
which is the subject of this zoning application.

The record title of this property is in the name of Mitchell Nelin

\*Pursuant to a deed of duly recorded in the date 03/13/2002, Middlesex South  
County Registry of Deeds at Book 35025, Page 41; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Mitchell Nelin personally appeared before me,  
this 24<sup>th</sup> of July, 2019, and made oath that the above statement is true.

My commission expires May 16 2025 (Notary Seal). \_\_\_\_\_ Notary



JAYDEN DDHIR  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
May 16, 2025

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the provisions would require the home owner to lift up and move his entire existing 3 story structure 4.8" to the left out of the right side set back. In all other respects the existing structure is conforming and the proposed dormers would be as-by-right if not for the 4.8" encroachment of the existing house into the right side setback.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The homeowner has owned and occupied this property since 1984. The 3rd floor unit is very narrow with and with very low ceilings, the existing kitchen and bathroom are terribly cramped. The proposed dormer additions would greatly improve the functionality and comfort of the unit and make it able to accomodate a more functional kitcen and bathroom, making the unit more suitable and more comfortable for a family both in its current use as a rental, and also as a place for future long term stays by his grown children and young grandchildren.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The proposed 15'-0" dormers would not create any new noise or light pollution, they would not create a lack of privacy or cast shadows for the adjacent properties, and they would not result in the loss of any on street parking or private open space. The only existing non-conforming condition will remain as is and it will not be increased.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed dormers would meet all the preferred dormer guidelines except the step down from the existing roof ridge in order that we maintain the existing 3rd floor ceiling height and accomodate a more attractive dormer roof slope rather than a flat dormer roof. The proposed dormers are modest in scale, they maintain the character and scale of the existing house and the neighborhood, and as part of the work an existing unsightly left side dormer will be removed.

- \*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

**BZA APPLICATION FORM****DIMENSIONAL INFORMATION**

**APPLICANT:** GCD Architects      **PRESENT USE/OCCUPANCY:** 105  
**LOCATION:** 24 Cushing St Cambridge, MA      **ZONE:** Residence B Zone  
**PHONE:** \_\_\_\_\_ **REQUESTED USE/OCCUPANCY:** 105

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> <sup>1</sup>	
<u>TOTAL GROSS FLOOR AREA:</u>	<u>3,254</u>	<u>3,579</u>	<u>3,647</u>	(max.)
<u>LOT AREA:</u>	<u>8,279</u>	<u>no change</u>	<u>5,000</u>	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>	<u>.50 / .25</u>	<u>.50 / .33</u>	<u>.50 / .35</u>	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>2,760</u>	<u>no change</u>	<u>2,500</u>	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	<u>74.87'</u>	<u>no change</u>	<u>50'</u>	(min.)
DEPTH	<u>178.20'</u>	<u>no change</u>	<u>NA</u>	
<u>SETBACKS IN FEET:</u>				
FRONT	<u>26.1'</u>	<u>no change</u>	<u>15'</u>	(min.)
REAR	<u>82.6'</u>	<u>no change</u>	<u>25'</u>	(min.)
LEFT SIDE	<u>16.9'</u>	<u>no change</u>	<u>12.5'</u>	(min.)
RIGHT SIDE	<u>7.1'</u>	<u>no change</u>	<u>7.5'</u>	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	<u>29.9'</u>	<u>no change</u>	<u>35'</u>	(max.)
LENGTH	<u>60'</u>	<u>no change</u>	<u>NA</u>	
WIDTH	<u>26.3'</u>	<u>no change</u>	<u>NA</u>	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	<u>73.1</u>	<u>no change</u>	<u>.40</u>	(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>3</u>	<u>3</u>	<u>3</u>	(max.)
<u>NO. OF PARKING SPACES:</u>	<u>3</u>	<u>3</u>	<u>3</u>	(min./max)
<u>NO. OF LOADING AREAS:</u>	<u>0</u>	<u>0</u>	<u>0</u>	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>NA</u>	<u>NA</u>	<u>NA</u>	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Existing house is wood frame.

Proposed dormers are wood frame.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.





24 CUSHING STREET VIEW FROM LEFT



24 CUSHING STREET VIEW FROM RIGHT

PROJECT:  
NEW DORMER ADDITIONS  
24 CUSHING STREET  
CAMBRIDGE, MA

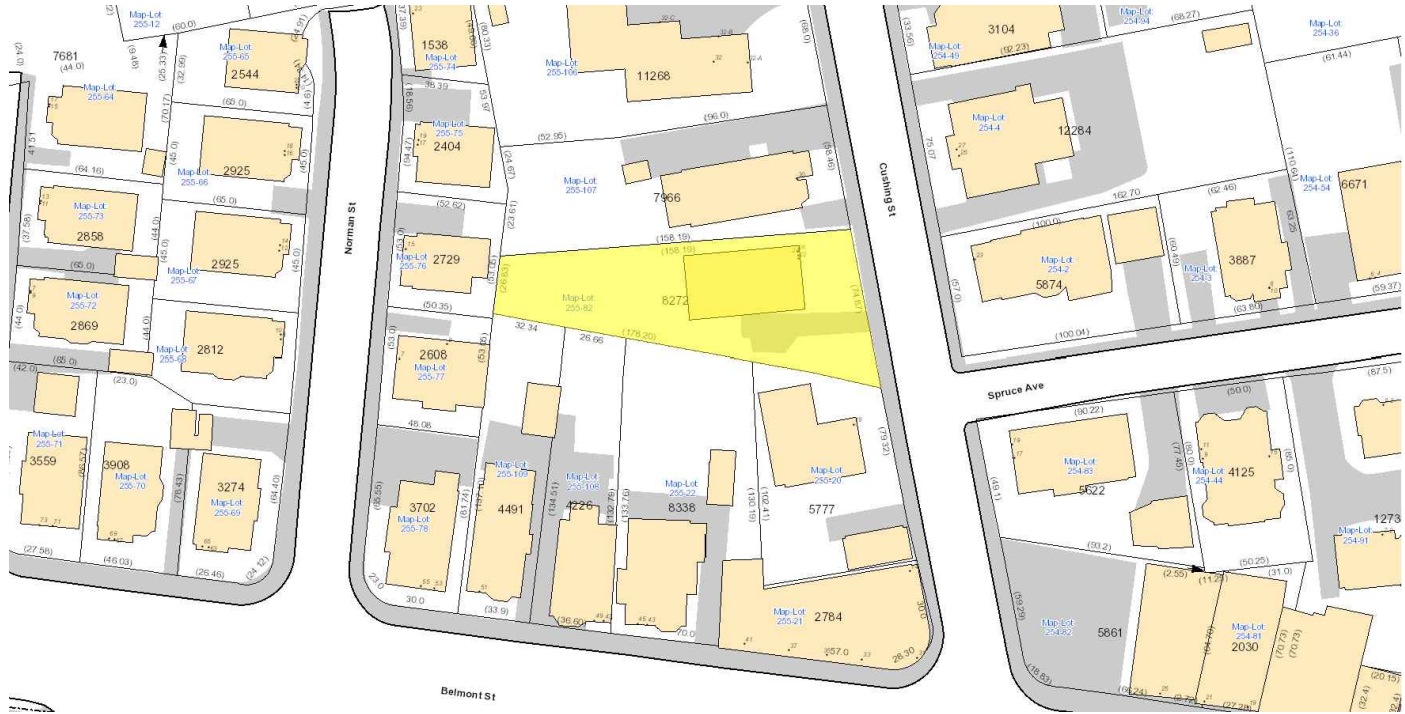
ARCHITECT:  
GCD ARCHITECTS  
2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450



ISSUED FOR  
ZBA APPROVAL



24 CUSHING STREET VIEW



GIS MAP

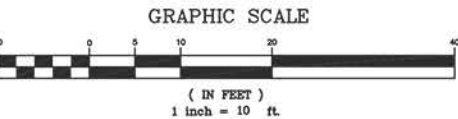
- DRAWING LIST:
- COVER
  - SITE PLAN
  - A0 FAR PLANS
  - A1 EXISTING PLANS FLOORS B THRU 2
  - A2 EXISTING ELEVATIONS
  - A3 EXISTING & PROPOSED 3RD FLOOR PLANS
  - A4 PROPOSED ELEVATIONS
  - A5 PROPOSED ELEVATIONS



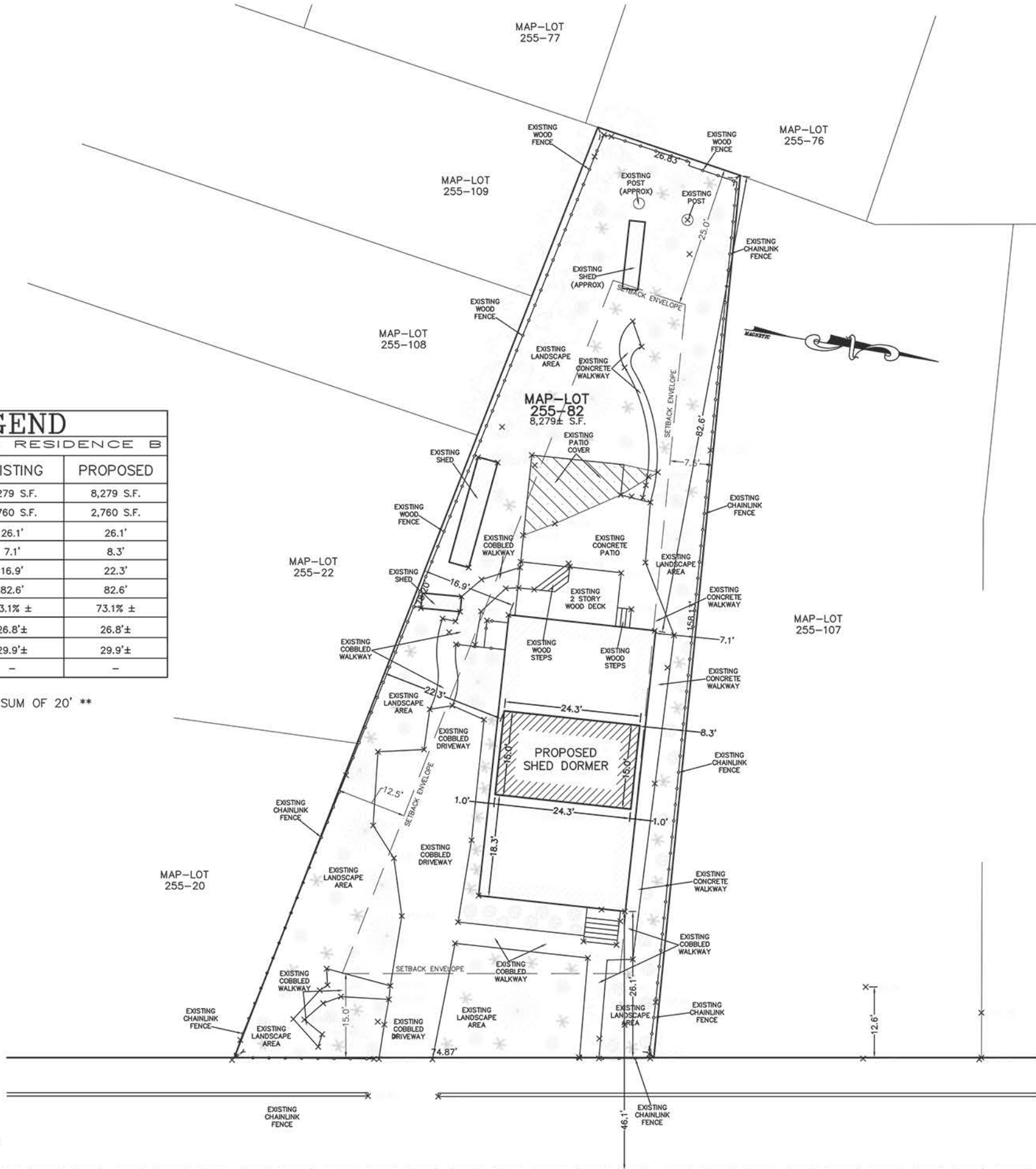
EXISTING LEGEND	
	SEWER LINE
	SEWER MANHOLE
	WATER LINE
	GAS LINE
	UTILITY POLE
	GAS VALVE
	OVERHEAD ELECTRIC SERVICE
	WATER VALVE
	CATCH BASIN
	FENCE
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)
	SPOT GRADE
	DRAIN MANHOLE
	HYDRANT
	TREE

ZONING LEGEND			
ZONING DISTRICT: RB — RESIDENCE B			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA	5,000 S.F.	8,279 S.F.	8,279 S.F.
MIN. AREA FOR EACH DWELLING UNIT	2,500 S.F.	2,760 S.F.	2,760 S.F.
MIN. YARD FRONT	15'	26.1'	26.1'
SIDE (RIGHT)	7.5'	7.1'	8.3'
SIDE (LEFT)	12.5'	16.9'	22.3'
REAR	25'	82.6'	82.6'
MIN. OPEN SPACE	40%	73.1% ±	73.1% ±
MIN. LOT WIDTH	50'	26.8'±	26.8'±
MAX. BLDG. HEIGHT	35'	29.9'±	29.9'±
MAX F.A.R.	0.5	—	—

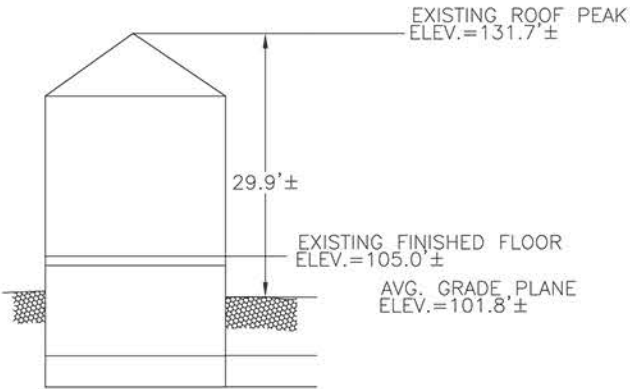
\*\* SIDE YARD SETBACKS REQUIRED TO THE SUM OF 20' \*\*



PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
 THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.  
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 NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC ANY VIOLATIONS TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 7/16/2019.
  2. DEED REFERENCE BOOK 35025 PAGE 041, MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
  3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
  4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, PANEL NUMBER 0419E, COMMUNITY NUMBER: 250182, DATED JUNE 4, 2010.
  5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
  6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
  7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
  8. ZONING DISTRICT = RESIDENCE B

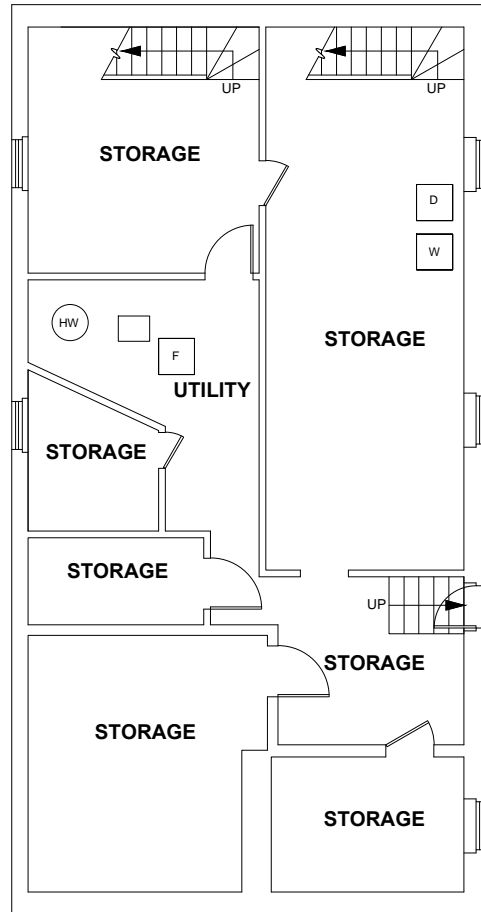


EXISTING PROFILE  
NOT TO SCALE

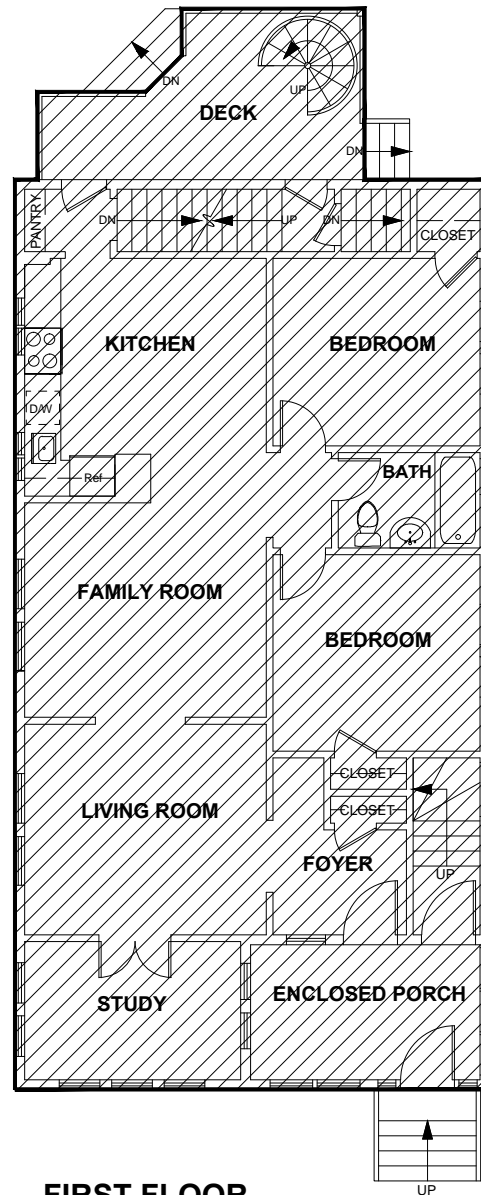
SCALE 1"=10'			
DATE 7/18/2019	REV	DATE	REVISION
SHEET 1			BY
PLAN NO. 1 OF 1	24 CUSHING STREET CAMBRIDGE MASSACHUSETTS		
CLIENT:	PLOT PLAN OF LAND		
DRAWN BY			
CHKD BY PUN			
APPD BY PUN			
	<b>PETER NOLAN &amp; ASSOCIATES LLC</b> LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com		

SHEET NO.  

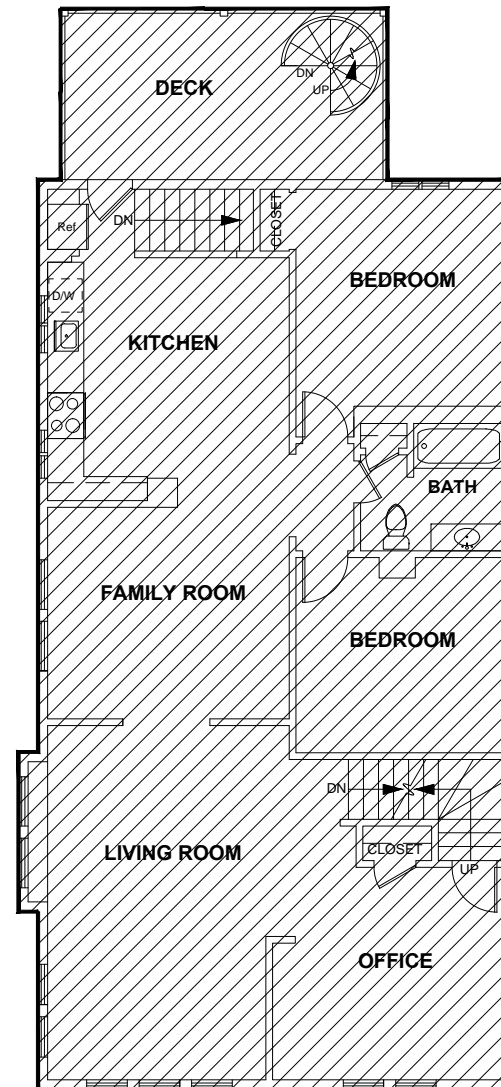
1



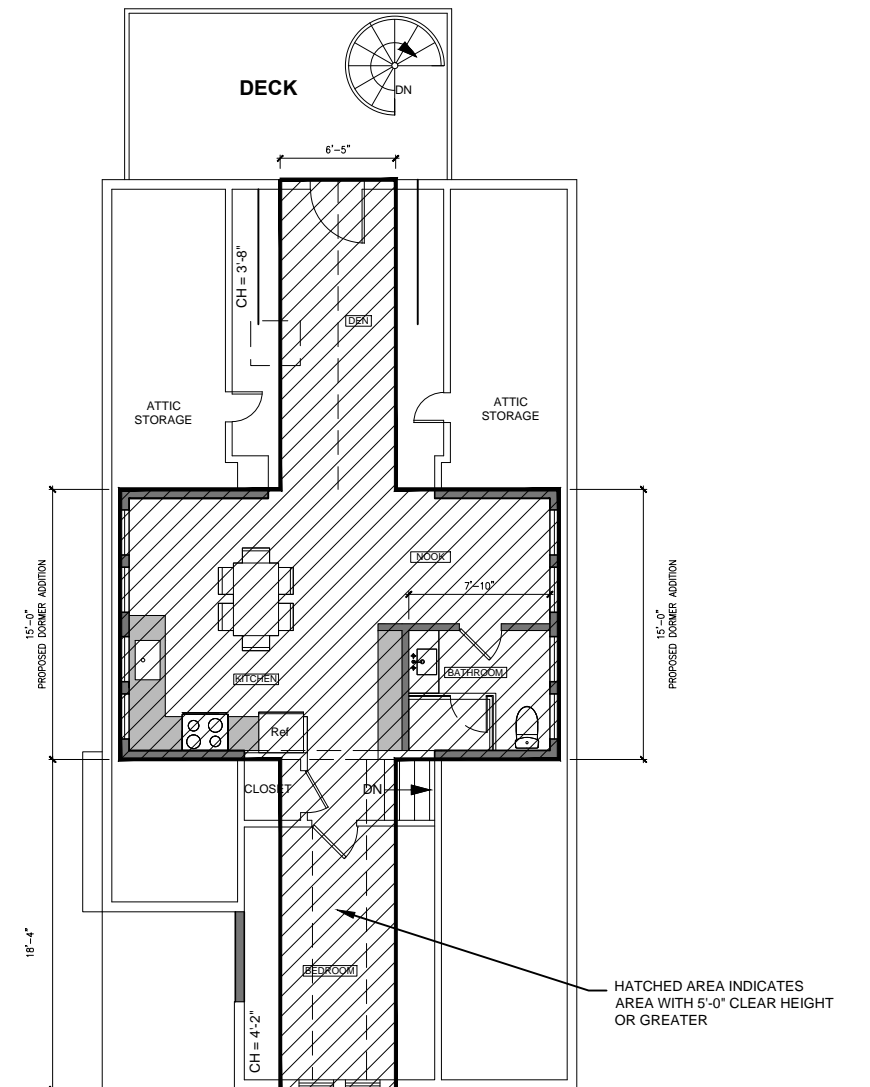
**BASEMENT**  
**0 SF FOR FAR**



**FIRST FLOOR**  
**1,470.00 SF FOR FAR**



**SECOND FLOOR**  
**1,515.00 SF FOR FAR**



**THIRD FLOOR WITH PROPOSED DORMER**  
**593.00 SF FOR FAR**

**3,578 TOTAL AREA FOR FAR**

**2,500.00 / 5,000.00 SF LOT = .50 FAR FOR THE FIRST 5,000.00 SF OF LOT \*CONFORMING\*\***

**1,078.00 / 3,279.00 SF LOT = .33 FAR FOR THE REMAINNG LOT AREA \*\*CONFORMING\*\***



ARCHITECT:  
**GCD ARCHITECTS**  
2 Worthington St  
Cambridge, MA 02138  
Tel. 617-412-8450  
www.glassmanchungdesign.com

SCALE:  
**3/32" = 1'-0"**

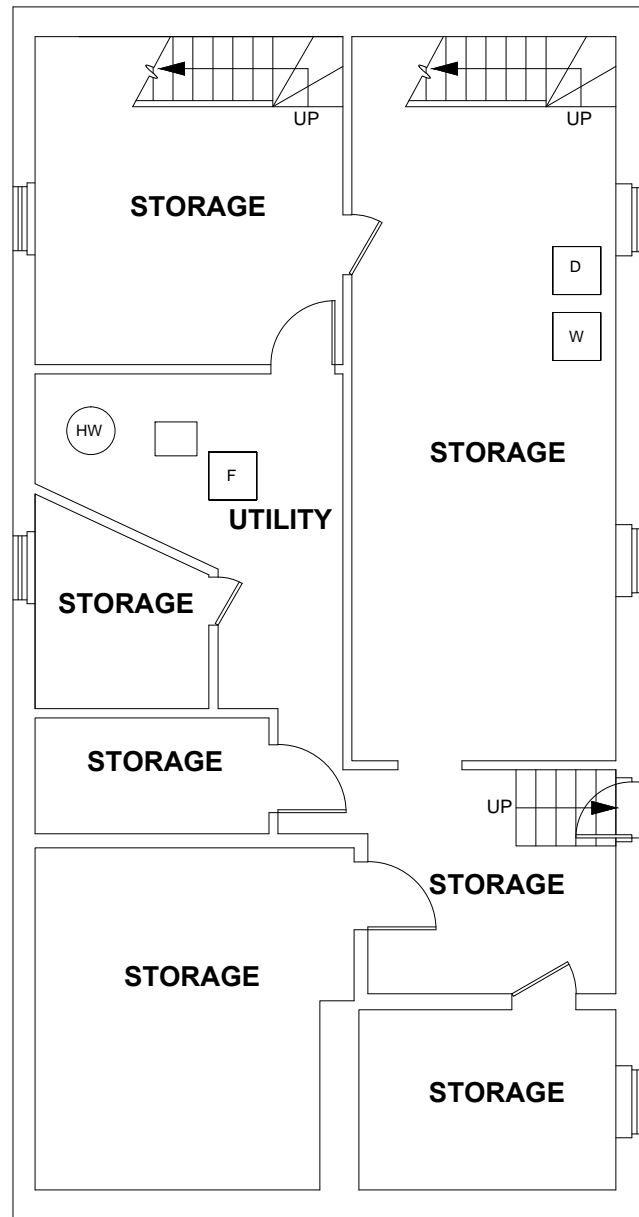
DATE:  
**7-10-209**

PROJECT:  
**24 CUSHING ST**  
**PROPOSED DORMER ADDITIONS**

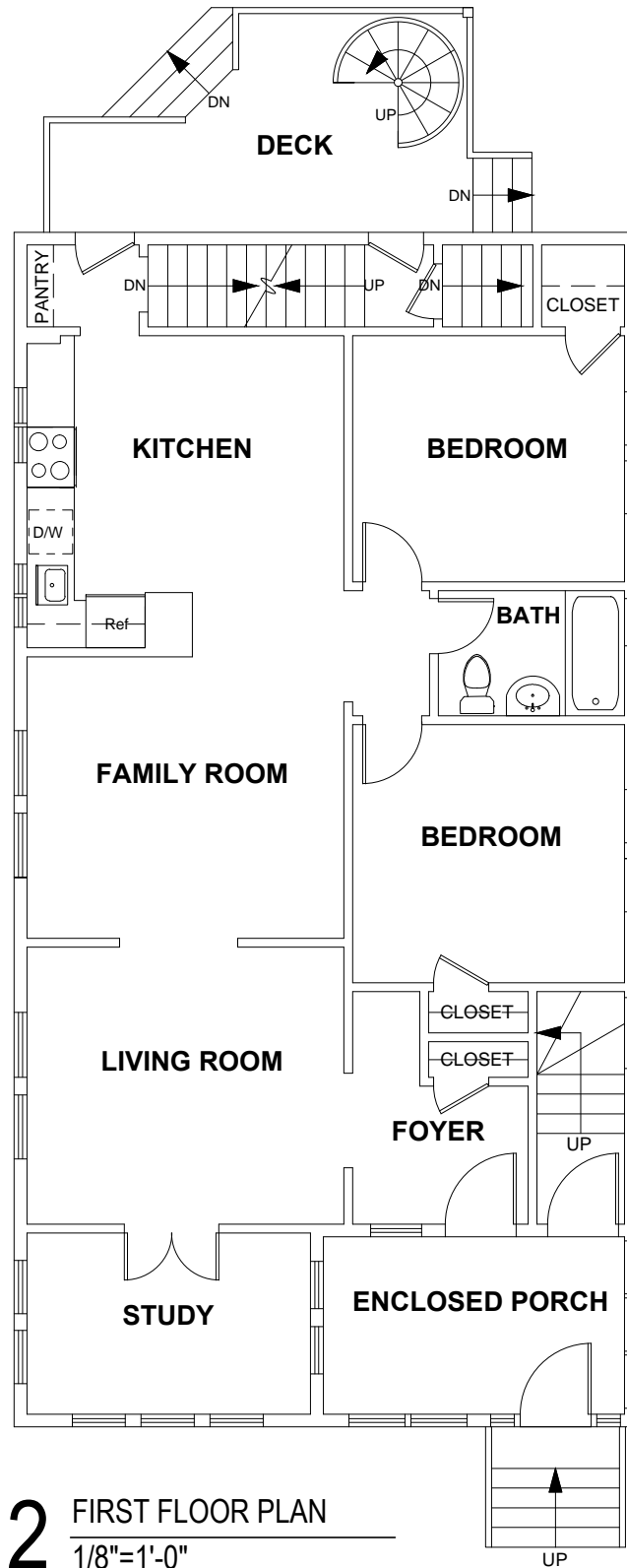
TITLE:  
**FAR PLANS**

DRAWING:

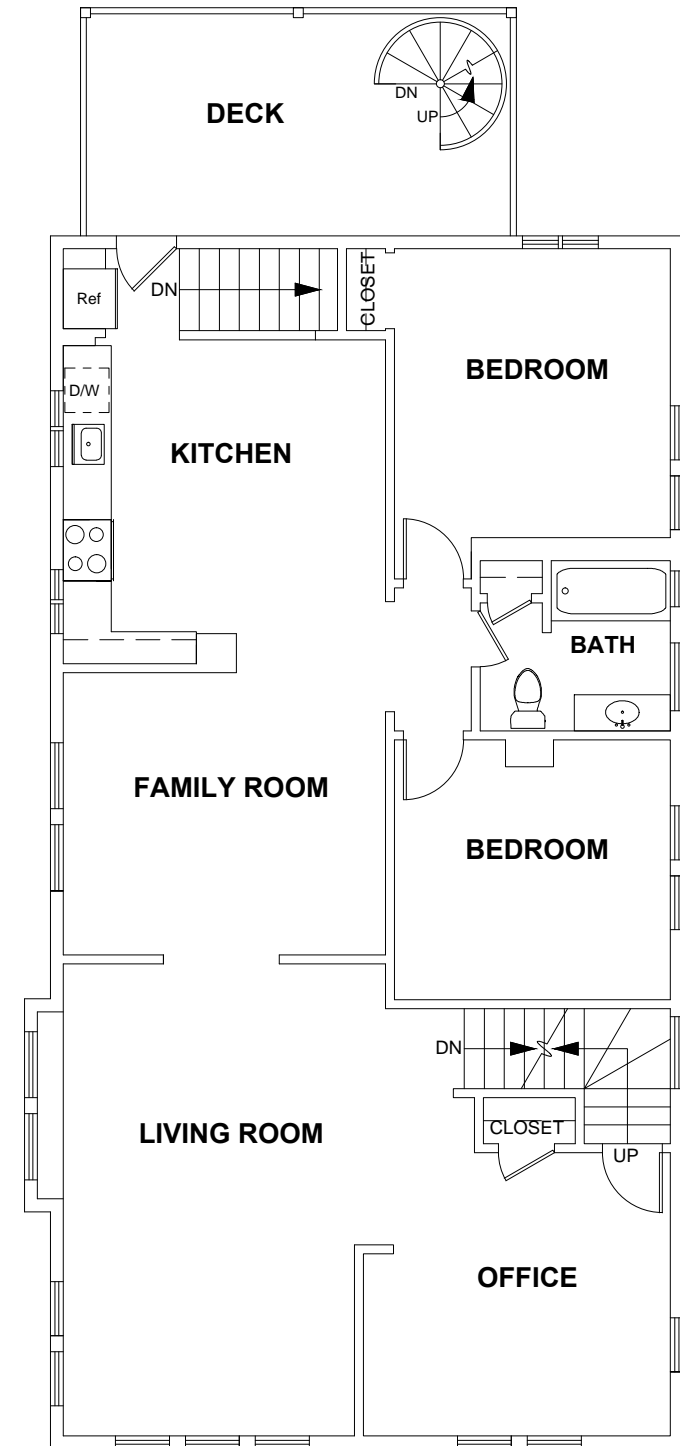
**A0**



**1** BASEMENT FLOOR PLAN  
1/8"=1'-0"



**2** FIRST FLOOR PLAN  
1/8"=1'-0"



**3** SECOND FLOOR PLAN  
1/8"=1'-0"



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TITLE:  
**EXISTING PLANS**

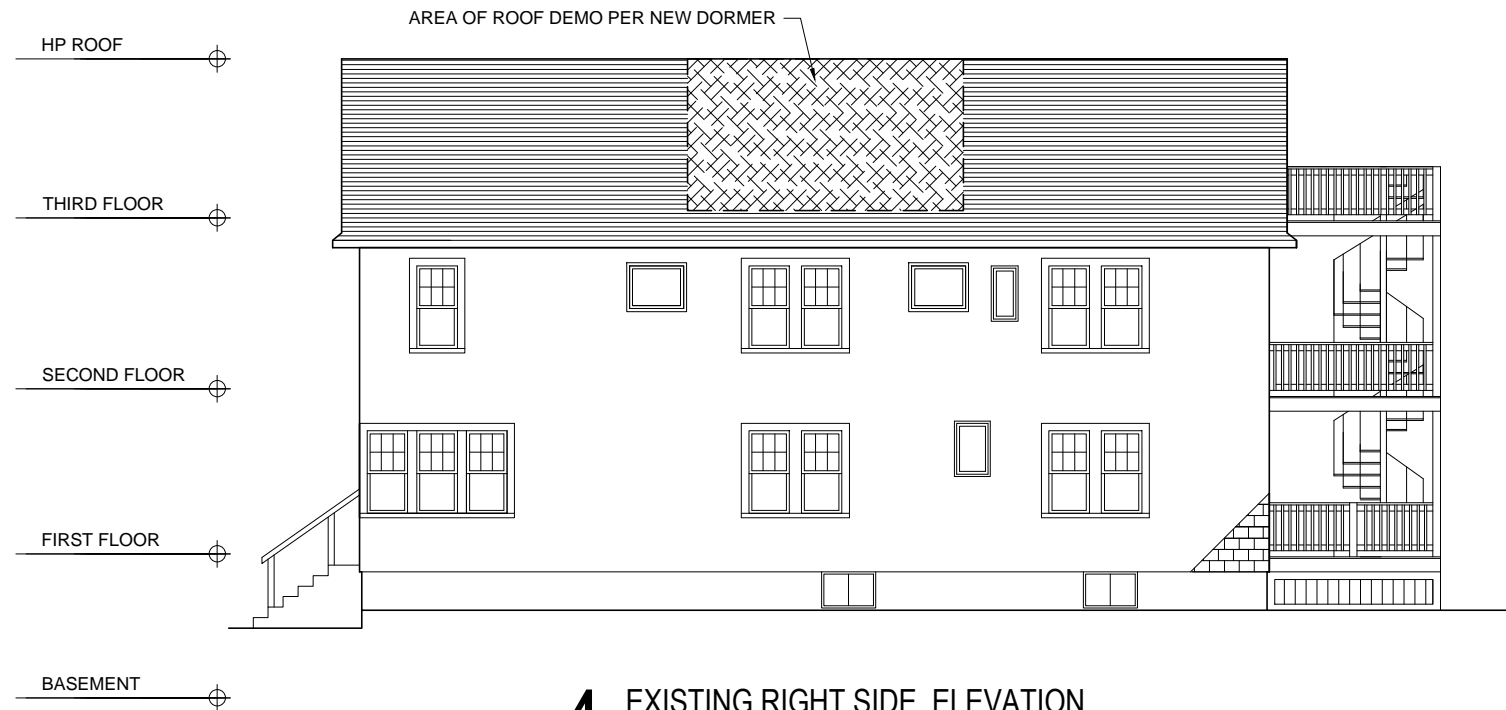
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**A1**

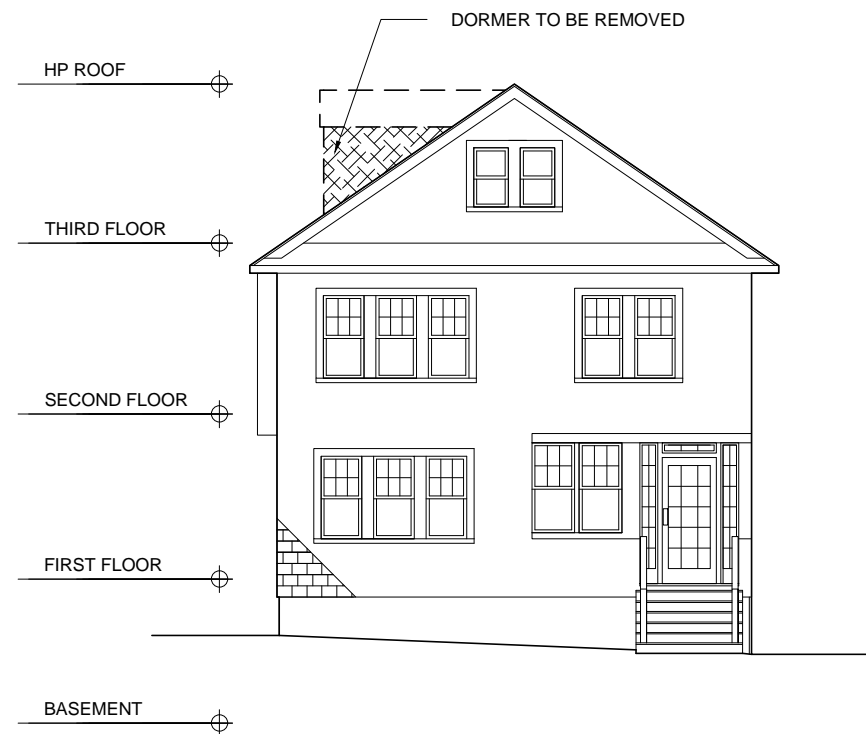




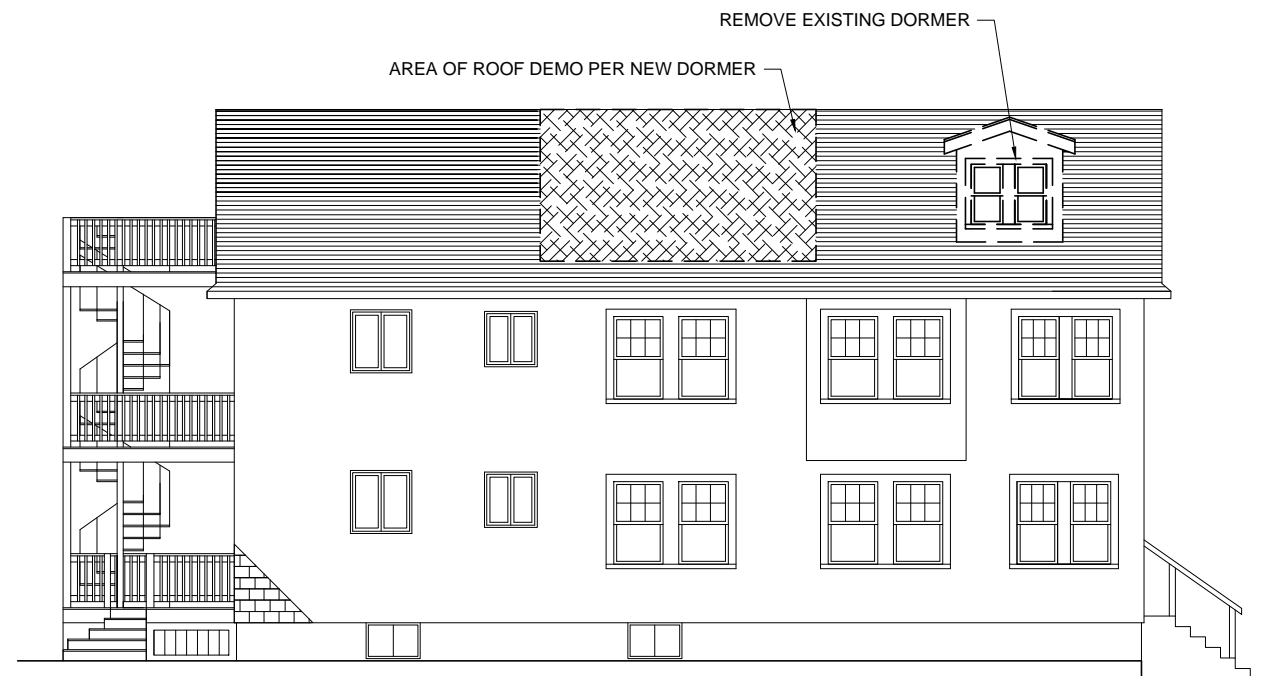
**3** EXISTING REAR ELEVATION  
3/32"=1'-0"



**4** EXISTING RIGHT SIDE ELEVATION  
3/32"=1'-0"



**1** EXISTING FRONT ELEVATION  
3/32"=1'-0"



**2** EXISTING LEFT SIDE ELEVATION  
3/32"=1'-0"



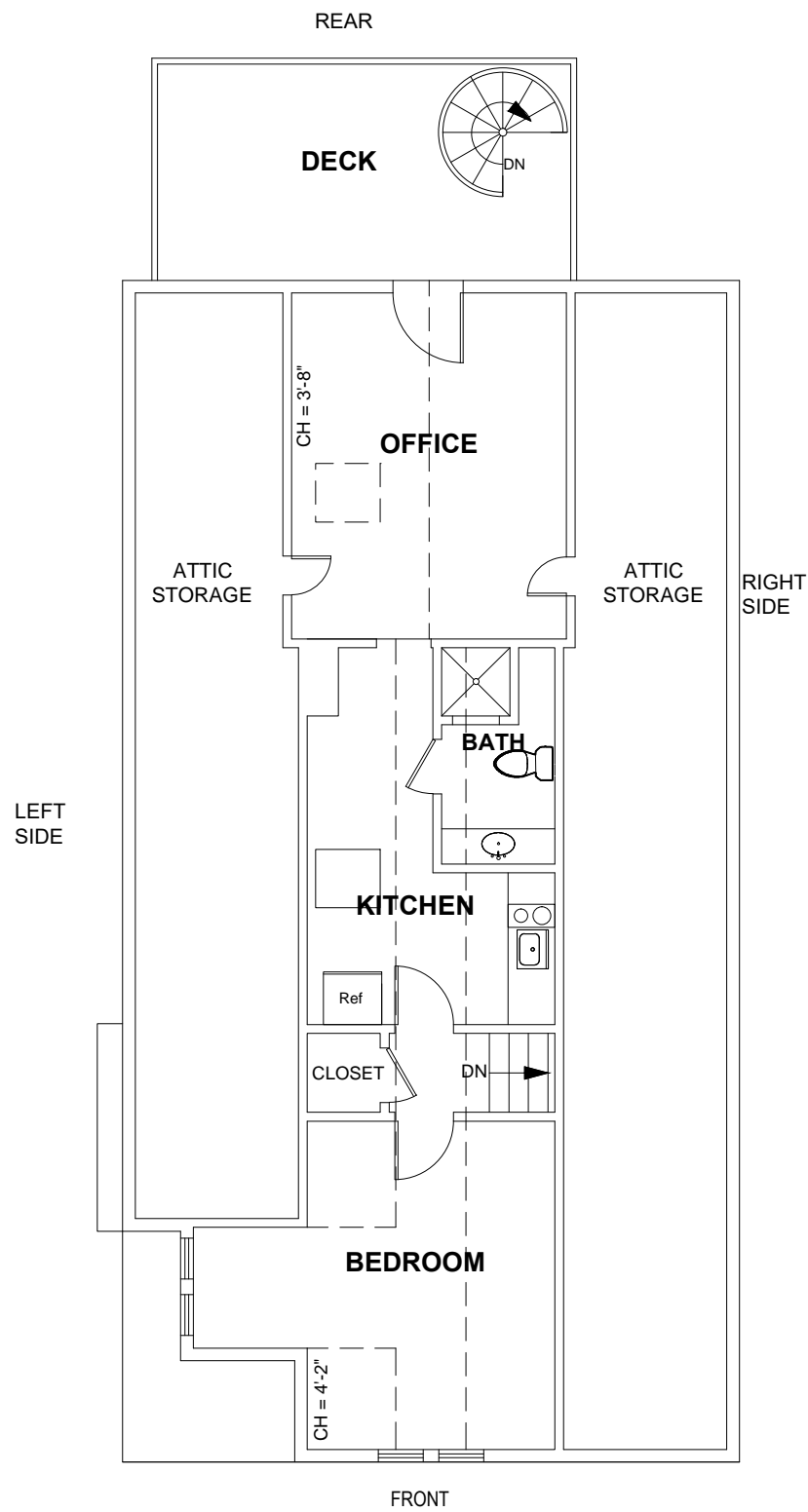
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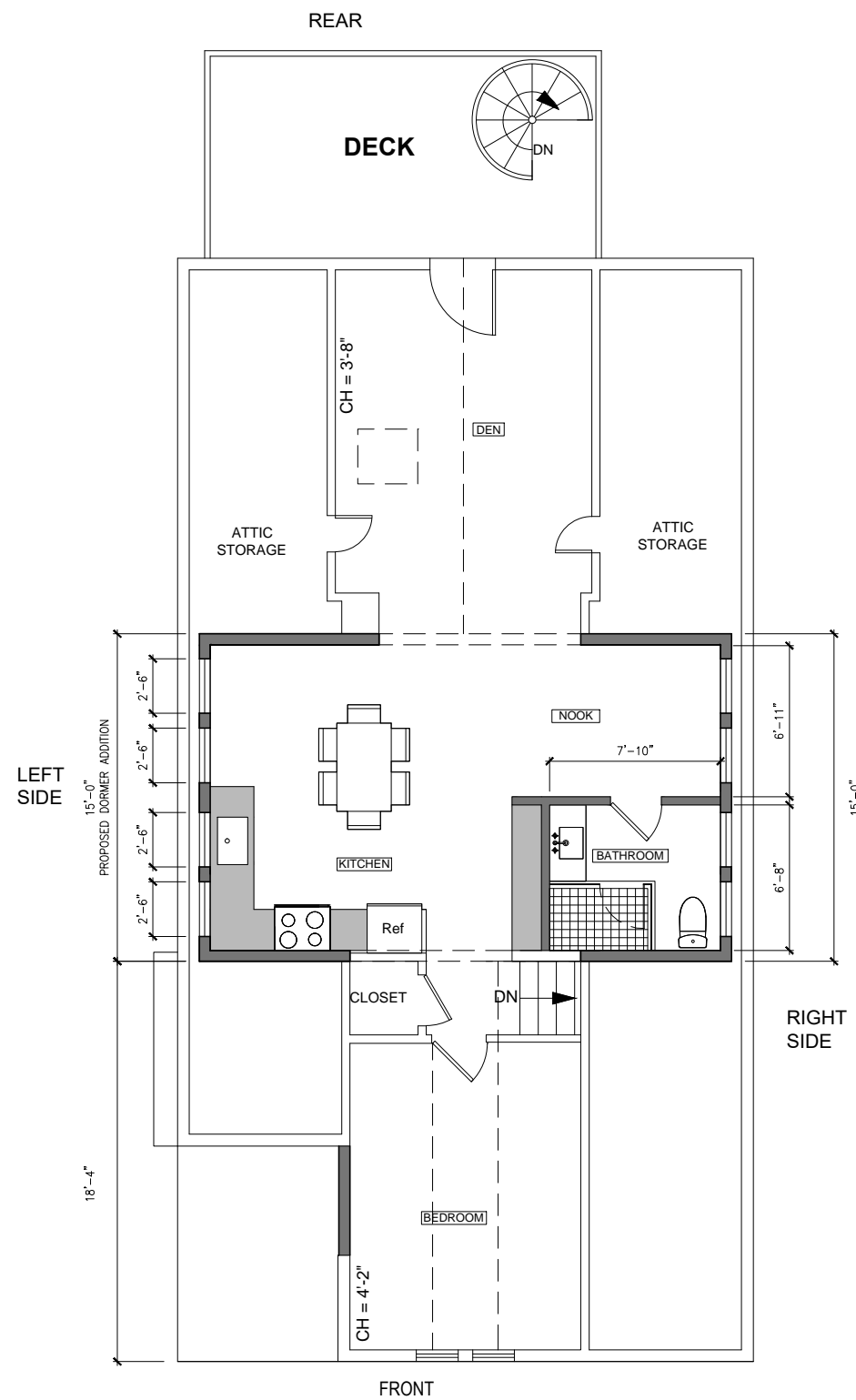
PROJECT:  
**24 CUSHING ST**  
**PROPOSED DORMER ADDITIONS**

TITLE:  
**EXISTING ELEVATIONS**

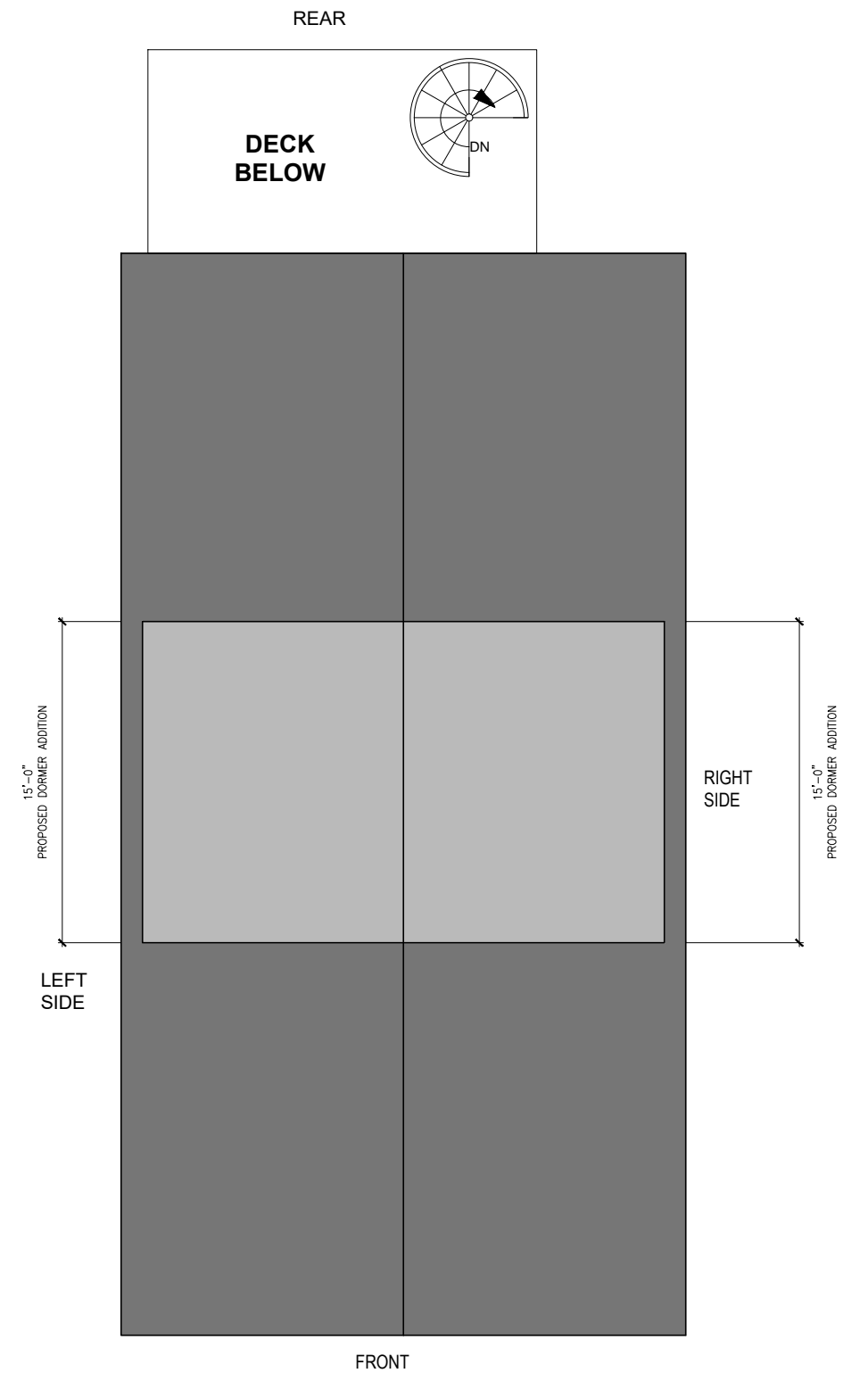
DRAWING:  
**A2**



**1** EXISTING THIRD FLOOR PLAN  
1/8"=1'-0"



**2** PROPOSED THIRD FLOOR PLAN  
1/8"=1'-0"



**3** PROPOSED ROOF PLAN  
1/8"=1'-0"



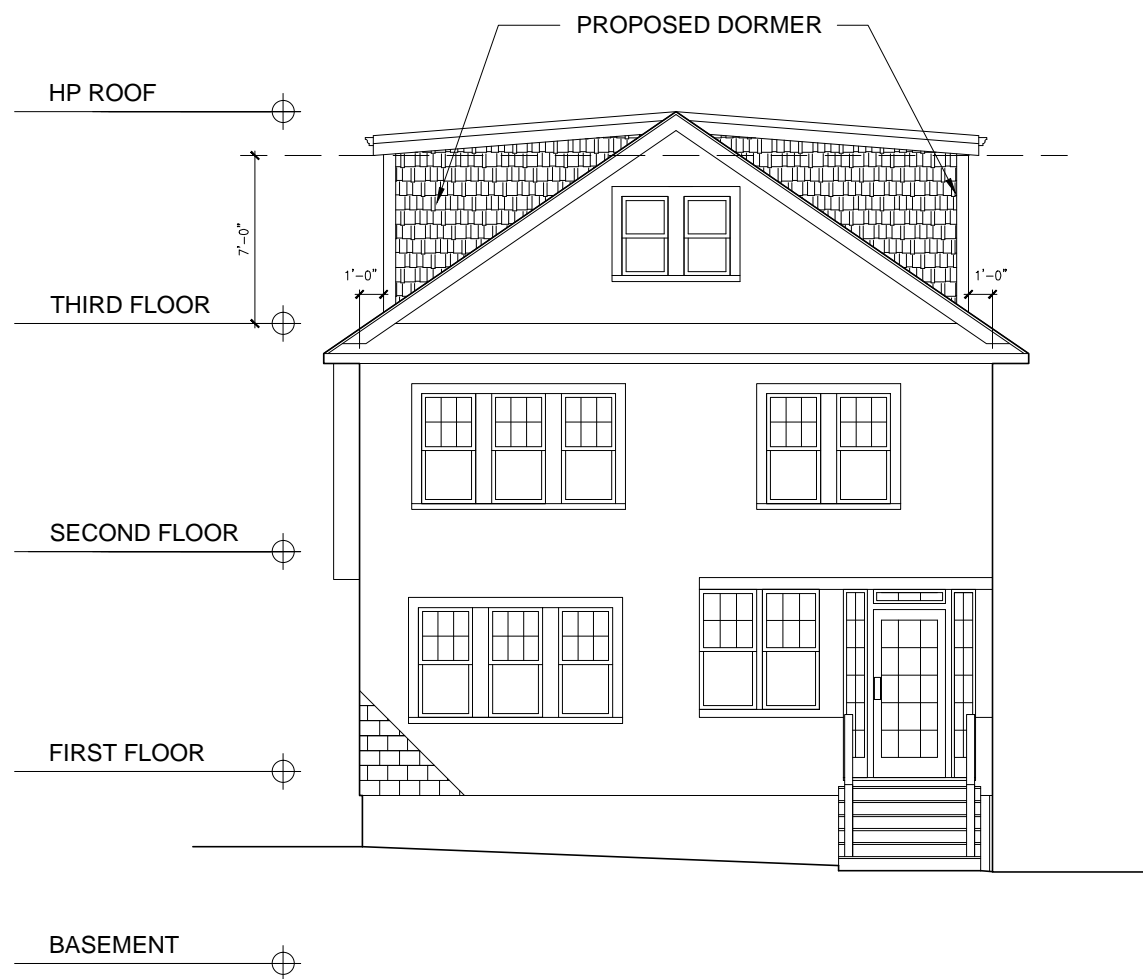
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DATE:  
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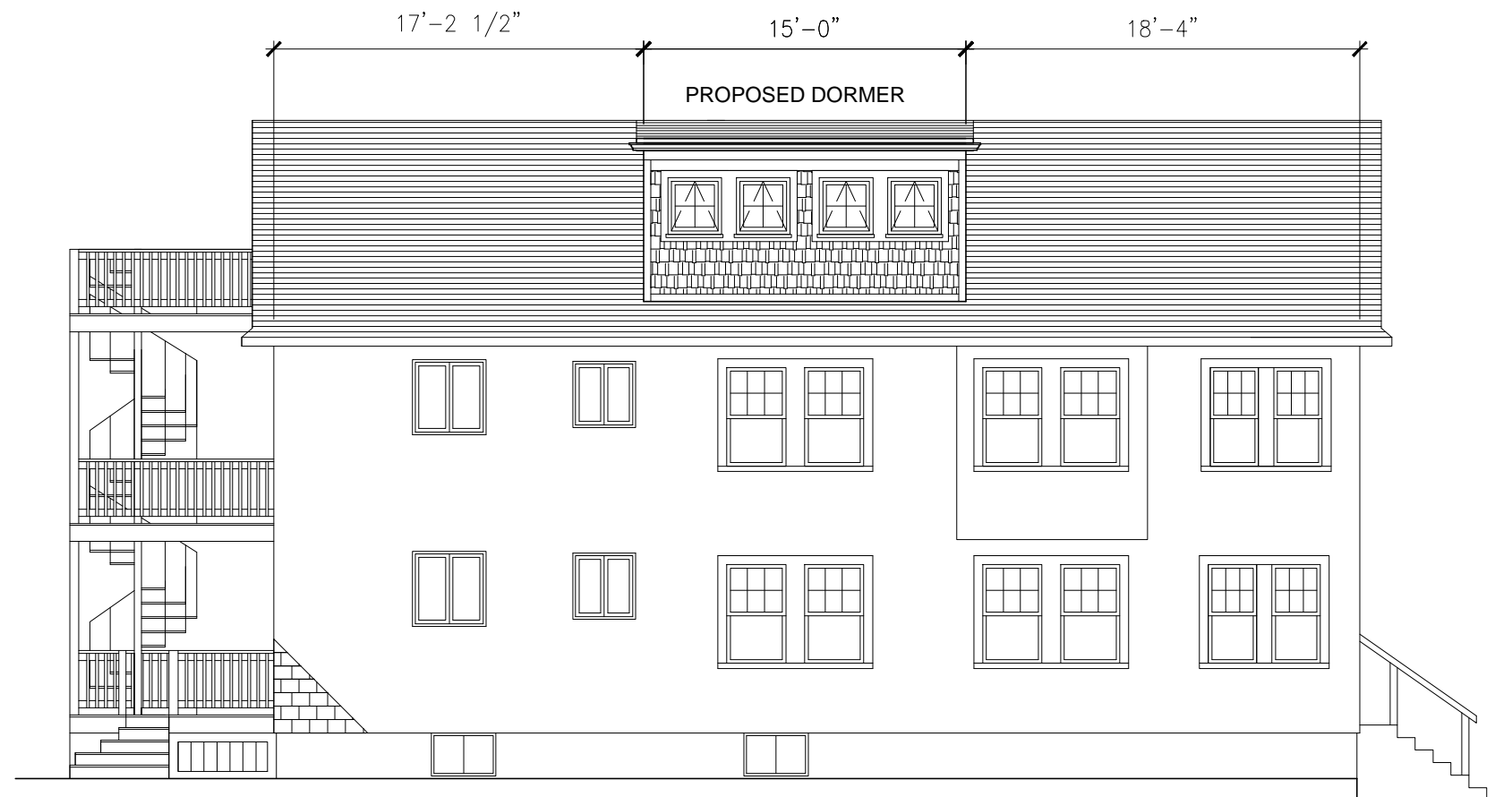
PROJECT:  
**24 CUSHING ST**  
PROPOSED DORMER ADDITIONS

TITLE:  
**3RD FLOOR  
PLANS**

DRAWING:  
**A3**



**1** PROPOSED FRONT ELEVATION  
1/8"=1'-0"



**2** PROPOSED LEFT SIDE ELEVATION  
1/8"=1'-0"



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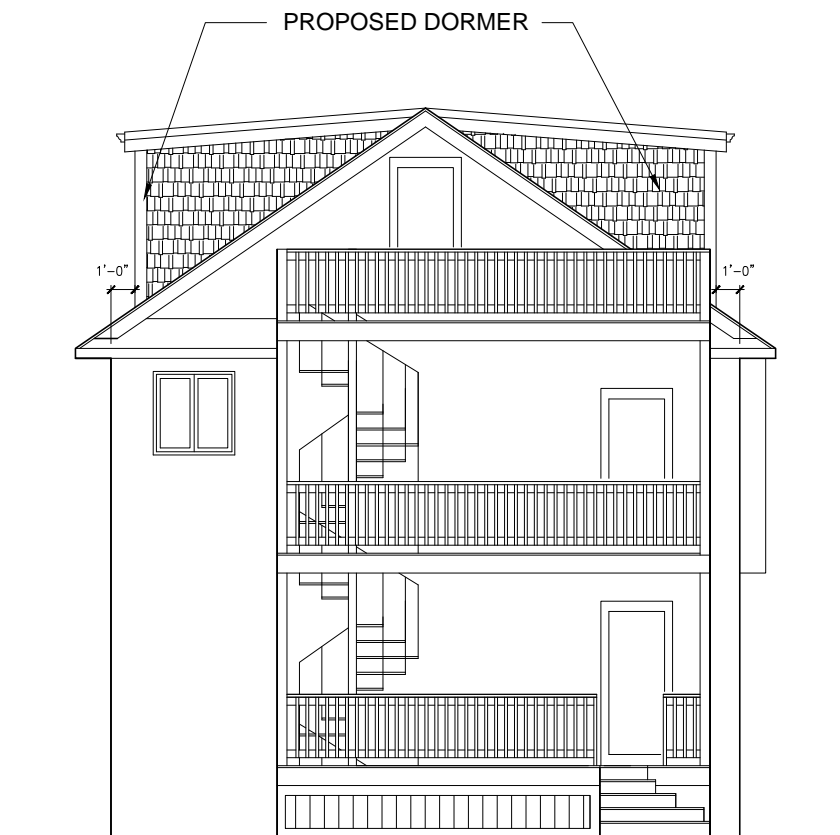
DATE:  
**7-10-209**

PROJECT:  
**24 CUSHING ST**  
**PROPOSED DORMER ADDITIONS**

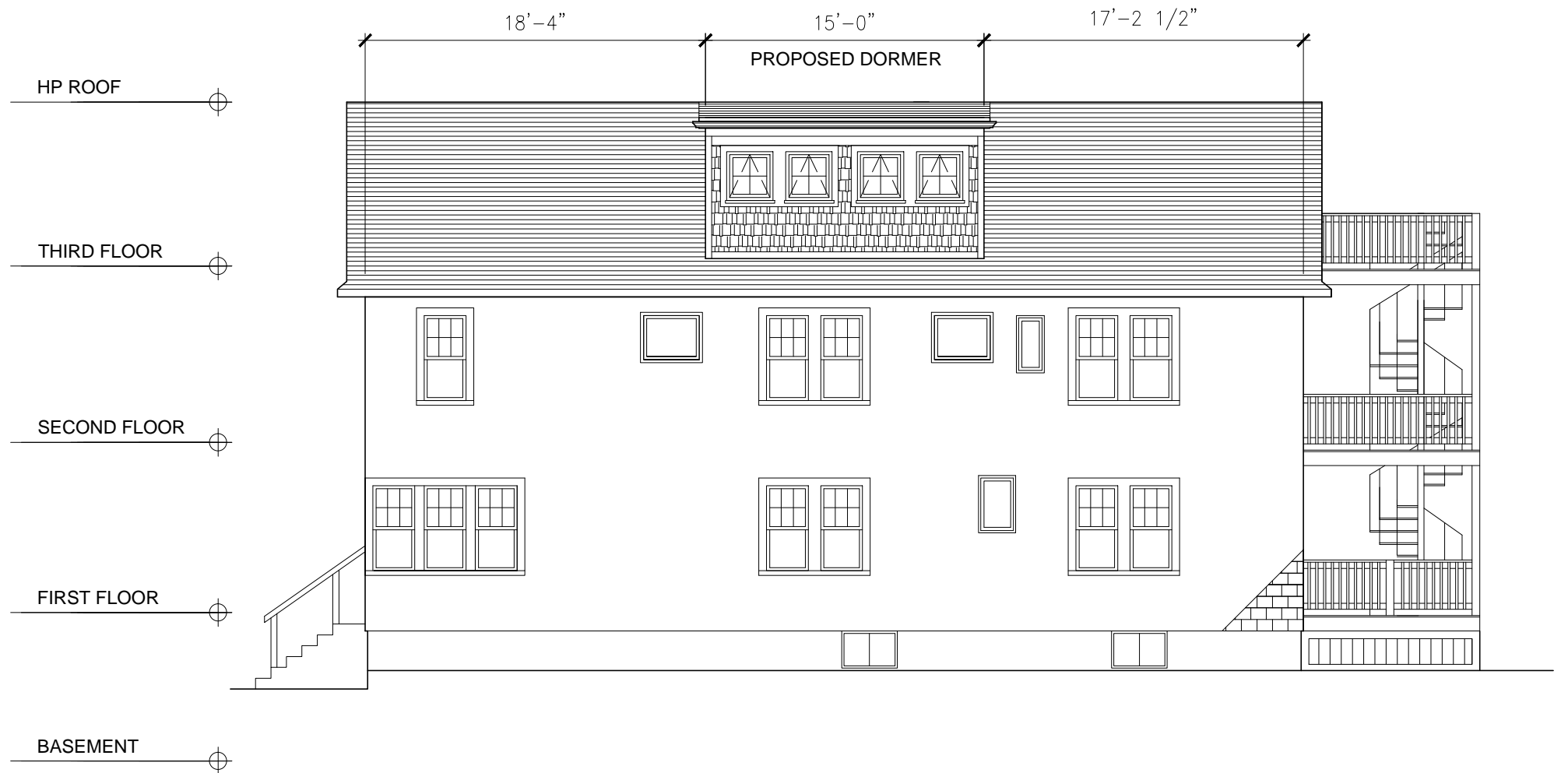
TITLE:  
**PROPOSED  
ELEVATIONS**

DRAWING:  
**A4**





**1** PROPOSED REAR ELEVATION  
1/8"=1'-0"



**2** PROPOSED RIGHT SIDE ELEVATION  
1/8"=1'-0"



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PROPOSED DORMER ADDITIONS

TITLE:  
**PROPOSED  
ELEVATIONS**

DRAWING:  
**A5**

This map shows a residential neighborhood with several streets. A red line highlights a route that starts near the intersection of Norman St and Cushing St, loops around the central blocks, and ends near Spruce Ave. Blue arrows indicate the direction of travel along this route. The map includes numerous street names and house numbers, such as 4 Thingvalla Ave, 6 Thingvalla Ave, 42 Cushing St, 40 Cushing St, 32-C Cushing St, 32-B Cushing St, 32 Cushing St, 32-A Cushing St, 25 Cushing St, 27 Cushing St, 30 Cushing St, 26 Cushing St, 24 Cushing St, 23 Cushing St, 18 Cushing St, 19 Cushing St, 17 Cushing St, 14 Cushing St, 41 Belmont St, 37 Belmont St, 31 Belmont St, 33 Belmont St, 49 Belmont St, 47 Belmont St, 55 Belmont St, 53 Belmont St, 255-14, 255-15, 255-16, 255-17, 255-106, 255-107, 255-82, 255-20, 255-22, 255-21, 255-109, 255-108, 255-78, 255-77, 255-76, 255-75, 255-74, 255-65, 255-13, 254-102, 254-95, 254-100, 254-35, 254-93, 254-50, 254-37, 254-94, 254-49, 254-4, 254-3, 254-2, 254-44, 254-83, 254-82, 254-81, 254-21, 254-10, 254-9, 254-8, 254-7, 254-6, 254-5, 254-4, 254-3, 254-2, 254-1, 254-0, 254-99, 254-98, 254-97, 254-96, 254-95, 254-94, 254-93, 254-92, 254-91, 254-90, 254-89, 254-88, 254-87, 254-86, 254-85, 254-84, 254-83, 254-82, 254-81, 254-80, 254-79, 254-78, 254-77, 254-76, 254-75, 254-74, 254-73, 254-72, 254-71, 254-70, 254-69, 254-68, 254-67, 254-66, 254-65, 254-64, 254-63, 254-62, 254-61, 254-60, 254-59, 254-58, 254-57, 254-56, 254-55, 254-54, 254-53, 254-52, 254-51, 254-50, 254-49, 254-48, 254-47, 254-46, 254-45, 254-44, 254-43, 254-42, 254-41, 254-40, 254-39, 254-38, 254-37, 254-36, 254-35, 254-34, 254-33, 254-32, 254-31, 254-30, 254-29, 254-28, 254-27, 254-26, 254-25, 254-24, 254-23, 254-22, 254-21, 254-20, 254-19, 254-18, 254-17, 254-16, 254-15, 254-14, 254-13, 254-12, 254-11, 254-10, 254-9, 254-8, 254-7, 254-6, 254-5, 254-4, 254-3, 254-2, 254-1, 254-0, 254-99, 254-98, 254-97, 254-96, 254-95, 254-94, 254-93, 254-92, 254-91, 254-90, 254-89, 254-88, 254-87, 254-86, 254-85, 254-84, 254-83, 254-82, 254-81, 254-80, 254-79, 254-78, 254-77, 254-76, 254-75, 254-74, 254-73, 254-72, 254-71, 254-70, 254-69, 254-68, 254-67, 254-66, 254-65, 254-64, 254-63, 254-62, 254-61, 254-60, 254-59, 254-58, 254-57, 254-56, 254-55, 254-54, 254-53, 254-52, 254-51, 254-50, 254-49, 254-48, 254-47, 254-46, 254-45, 254-44, 254-43, 254-42, 254-41, 254-40, 254-39, 254-38, 254-37, 254-36, 254-35, 254-34, 254-33, 254-32, 254-31, 254-30, 254-29, 254-28, 254-27, 254-26, 254-25, 254-24, 254-23, 254-22, 254-21, 254-20, 254-19, 254-18, 254-17, 254-16, 254-15, 254-14, 254-13, 254-12, 254-11, 254-10, 254-9, 254-8, 254-7, 254-6, 254-5, 254-4, 254-3, 254-2, 254-1, 254-0, 254-99, 254-98, 254-97, 254-96, 254-95, 254-94, 254-93, 254-92, 254-91, 254-90, 254-89, 254-88, 254-87, 254-86, 254-85, 254-84, 254-83, 254-82, 254-81, 254-80, 254-79, 254-78, 254-77, 254-76, 254-75, 254-74, 254-73, 254-72, 254-71, 254-70, 254-69, 254-68, 254-67, 254-66, 254-65, 254-64, 254-63, 254-62, 254-61, 254-60, 254-59, 254-58, 254-57, 254-56, 254-55, 254-54, 254-53, 254-52, 254-51, 254-50, 254-49, 254-48, 254-47, 254-46, 254-45, 254-44, 254-43, 254-42, 254-41, 254-40, 254-39, 254-38, 254-37, 254-36, 254-35, 254-34, 254-33, 254-32, 254-31, 254-30, 254-29, 254-28, 254-27, 254-26, 254-25, 254-24, 254-23, 254-22, 254-21, 254-20, 254-19, 254-18, 254-17, 254-16, 254-15, 254-14, 254-13, 254-12, 254-11, 254-10, 254-9, 254-8, 254-7, 254-6, 254-5, 254-4, 254-3, 254-2, 254-1, 254-0, 254-99, 254-98, 254-97, 254-96, 254-95, 254-94, 254-93, 254-92, 254-91, 254-90, 254-89, 254-88, 254-87, 254-86, 254-85, 254-84, 254-83, 254-82, 254-81, 254-80, 254-79, 254-78, 254-77, 254-76, 254-75, 254-74, 254-73, 254-72, 254-71, 254-70, 254-69, 254-68, 254-67, 254-66, 254-65, 254-64, 254-63, 254-62, 254-61, 254-60, 254-59, 254-58, 254-57, 254-56, 254-55, 254-54, 254-53, 254-52, 254-51, 254-50, 254-49, 254-48, 254-47, 254-46, 254-45, 254-44, 254-43, 254-42, 254-41, 254-40, 254-39, 254-38, 254-37, 254-36, 254-35, 254-34, 254-33, 254-32, 254-31, 254-30, 254-29, 254-28, 254-27, 254-26, 254-25, 254-24, 254-23, 254-22, 254-21, 254-20, 254-19, 254-18, 254-17, 254-16, 254-15, 254-14, 254-13, 254-12, 254-11, 254-10, 254-9, 254-8, 254-7, 254-6, 254-5, 254-4, 254-3, 254-2, 254-1, 254-0, 254-99, 254-98, 254-97, 254-96, 254-95, 254-94, 254-93, 254-92, 254-91, 254-90, 254-89, 254-88, 254-87, 254-86, 254-85, 254-84, 254-83, 254-82, 254-81, 254-80, 254-79, 254-78, 254-77, 254-76, 254-75, 254-74, 254-73, 254-72, 254-71, 254-70, 254-69, 254-68, 254-67, 254-66

24 Cushing St.

Petitioner

254-2  
POLLARD, WILLIAM J. & LAURA D. INDIGO  
23 CUSHING ST., #1  
CAMBRIDGE, MA 02138

254-2  
KRAMAN, NADINE  
23 CUSHING ST. UNIT#2  
CAMBRIDGE, MA 02138

ADAM J. GLASSMAN, R.A.  
2 WORTHINGTON STREET  
CAMBRIDGE, MA 02138

254-83  
VON TURKOVICH, RICHARD &  
MYRA VON TURKOVICH  
31 SHEPARD ST  
CAMBRIDGE, MA 02138

255-20  
POLIMOU, ANNE M. & ELLEA POLIMOU  
18 CUSHING ST  
CAMBRIDGE, MA 02138

255-82  
NELIN, MITCHELL E.  
TR. 24 CUSHING STREET REALTY TRUST  
24 CUSHING ST  
CAMBRIDGE, MA 02138

255-22  
ZHANG, SHIYU & YING CHANG  
43 BELMONT ST  
CAMBRIDGE, MA 02138

255-75  
KALTHOFER, DORIS  
19 NORMAN ST  
CAMBRIDGE, MA 02138

255-76  
COLEMAN, PALO N. & REBECCA M. LEMOV  
15 NORMAN ST  
CAMBRIDGE, MA 02138

255-77  
GRUNMANN, ROSALYN &  
MICHAEL J. MICHALSKI, JR.  
7 NORMAN ST  
CAMBRIDGE, MA 02138

255-78  
DEPAZ, SUSANA & EDDY F. PAZ  
102 ASHCROFT ST.  
DEDHAM, MA 02026

255-21  
DEFABRITIIS FAMILY, LLC,  
110 STONELEIGH RD  
WATERTOWN, MA 02472

255-106  
HOFMANN, ANTON J. & TRUDI T. HOFMANN  
58570 350TH STREET  
HASTINGS, IA 51540

255-106  
COHEN, AVA-ROBIN  
32 CUSHING ST., UNIT B  
CAMBRIDGE, MA 02138

255-106  
IRVING, BRUCE A. & DEBORAH K. IRVING  
32 CUSHING ST., UNIT C  
CAMBRIDGE, MA 02138

255-108  
MINDO REAL ESTATE I LLC  
7 DAVENPORT ST  
CAMBRIDGE, MA 02140

255-109  
RONNA, JOHN L. & MARGARET SMALL RONNA  
51 BELMONT ST.  
CAMBRIDGE, MA 02138

255-107  
CRAWFORD, DANIEL K.  
30 CUSHING ST., #B  
CAMBRIDGE, MA 02138

255-107  
CRUSCO, KAREN M.  
30 CUSHING ST., UNIT #2  
CAMBRIDGE, MA 02138

255-107  
YOUNG, CARLTON G.  
30 CUSHING ST. UNIT#1  
CAMBRIDGE, MA 02139

254-4  
FENTRESS, JENNIFER  
25-27 CUSHING ST., #25/1  
CAMBRIDGE, MA 02138

254-4  
PADAMSEE, YASMIN, EBENEZER FORBES &  
CITY OF CAMBRIDGE TAX TITLE  
27 CUSHING ST. UNIT #2  
CAMBRIDGE, MA 02138

254-4  
XIONG, KAN & XIAOMENG HAN  
27 CUSHING ST., #1  
CAMBRIDGE, MA 02138

254-4  
MALIK, KHURRAM & AYEDA KHALID-MALIK  
25-27 CUSHING ST., #25/2  
CAMBRIDGE, MA 02139

254-2  
YANG, CHUOH-SHYNG  
23 CUSHING ST #3  
CAMBRIDGE, MA 02138