



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

 2022 AUG 29 PM 12:19
 OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 188958

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

 Special Permit: X Variance: X Appeal: _____
PETITIONER: Lin Lin C/O Joseph Luna, AIA - Luna Design Group: Project Architect

PETITIONER'S ADDRESS: 100 Conifer Hill Drive , Danvers, MA 01923

LOCATION OF PROPERTY: 24 Union St., Cambridge, MATYPE OF OCCUPANCY: Multi-Family Townhouse ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Additions/ /Parking/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To convert the existing hip roof into a gable roof with dormers and windows on all four sides. To park within the front yard setback.

Special Permit: To create 2 curb cuts.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 6.000	Section: 6.43 (Curb Cuts).
Article: 6.000	Section: 6.44.1.c (Front Yard Parking).
Article: 8.000	Section: 8.22.3 (Non-Conforming Structure).
Article: 10.000	Section: 10.30 (Variance) & Sec. 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

JOSEPH LUNA, PA for

(Print Name)

Address:

Tel. No.

E-Mail Address:

 Lin Lin
 100 CONIFER HILL DR #406
 DANVERS, MA 01923

781-245-6530 ext. 14

jluna@lunadesign.com

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IT IS NOT TO BE USED FOR ANY OTHER PURPOSE

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BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Lin Lin (OWNER)

Address: 24 Union street Cambridge MA 02141

State that I/We own the property located at 24 Union street Cambridge MA 02141 which is the subject of this zoning application.

The record title of this property is in the name of Lin Lin

*Pursuant to a deed of duly recorded in the date August 8, Middlesex South County Registry of Deeds at Book 80097, Page 530; or Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____

[Signature]
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

8/8 2022

*Written evidence of Agent's standing to represent petitioner may be requested.

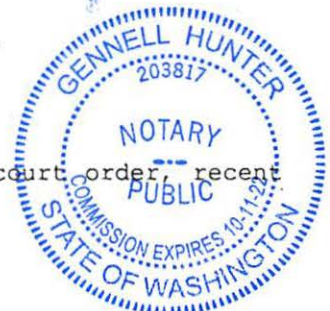
Commonwealth of Washington County of King

The above-name Lin Lin personally appeared before me, this 8 of August, 2022, and made oath that the above statement is true.

[Signature] Notary

My commission expires October 11, 2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The appellant is trying to improve and enhance an existing dilapidated property by providing more interior offerings within the existing building footprint. To achieve this, the appellant is requesting zoning relief to build over the existing single floor building elements, and to completely rebuild the roof as necessary to gain more unit area. The existing building is nonconforming to current zoning bylaws and literal enforcement of the requested relief would preclude the appellant from making these improvements. To make the such a substantial investment into the property without the requested additional area would be a financial hardship for the appellant.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The appellant is renovating and adding to an existing nonconforming structure, The proposed addition does not add to the building footprint. The inability to conform to current zoning bylaws is due to the hardship of the existing site shape and building footprint.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

There is no substantial detriment to the public because:
There is no increase in building size/density.
This is a continuation of a preexisting permitted use.
There is no increase in the building footprint.
There is no increase in the building height/stories.
There is no further encroachment into the required site setbacks than the existing building footprint.
Additional off-street parking will be provided where there is none.
The building will be fully sprinklered as part of these improvements which is a significant lifesafety improvement to the neighborhood as a whole.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

There is no nullifying or substantially derogating from the intent from the intent or purpose of this Ordinance because:
The addition and subsequent area increase are within the existing building footprint.
There is no increase in the building size/ density
This a continuation of a preexisting permitted use.
There is no increase in building height/ stories.
There is no further encroachment into the required site setbacks than the existing building footprint.
Hardship is due to existing site and building shape.

Attachment to ZBA Application

24 Union Street, Cambridge MA
BZA Number 18858
August 25, 2022

Special Permit: To create 2 curb cuts.

Brief description of work that requires Special Permit relief?

Per the City of Cambridge Zoning Ordinances:

6.43.3.C *No more than one curb cut per lot for lots with less than one hundred (100) feet of frontage shall be allowed. A maximum of one curb cut for every one hundred (100) feet of street frontage or portion thereof shall be allowed for lots having frontage in excess of one hundred feet.*

6.43.5 *The Board of Zoning Appeal may grant a special permit modifying the provisions of this subsections 6.43 in accordance with the following conditions:*

c) *The maximum of one curb cut for every one hundred (100) feet of street frontage as required in paragraph 6.43.3 (c) may be modified if the Board determines that traffic and safety would be facilitated by exceeding this maximum.*

There is currently no off-street parking available and no room for a perpendicular driveway to the rear yard. To provide a minimum of two off street parking stalls, the applicant is proposing two tandem parking stalls parallel to the front property line and the primary structure. Two curb cuts are necessary to provide access to these stalls. Frontage is less than 100 feet requiring a Special Permit for this work.

Requirements of the Ordinance can or will be met for the following reasons:

The existing front/ street property line is 66.5 feet. Per the City of Cambridge Zoning Ordinances, The two curb cuts provides access to two off-street parking spaces currently not available. The distance between the two curbs is also adequate to provide two on-street parking spaces for a net increase of one parking space. The applicant believes that traffic and safety are not compromised as a result of the additional curb cut.

Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

See notations above.

The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The additional curb cut increases the amount of available on and off-street parking then the existing site condition and does not adversely affect the use of the existing and adjacent uses.

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

See notations above.

For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

See notations above.

Date: _____

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		4129	7242	4745	(max.)
<u>LOT AREA:</u>		6327	6327 No Change	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		4129	7242	4745	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2109	2109	1500	
<u>SIZE OF LOT:</u>	WIDTH	66.5	No Change	50	
	DEPTH	N/A	No Change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	10.3	10.3 No Change	2.15	
	REAR	30.6	30.6 No Change	23.15	
	LEFT SIDE	3.6	3.6 No Change	16.27	
	RIGHT SIDE	4.0	4.0 No Change	16.27	
<u>SIZE OF BUILDING:</u>	HEIGHT	33.83	33.83 No Change	35	
	WIDTH	58.8	58.8 No Change	No Change	
	LENGTH	47.9	47.9 No Change	No Change	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		2827	2973	1898	
<u>NO. OF DWELLING UNITS:</u>		3	3	3	
<u>NO. OF PARKING SPACES:</u>		0	2 tandem	3	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

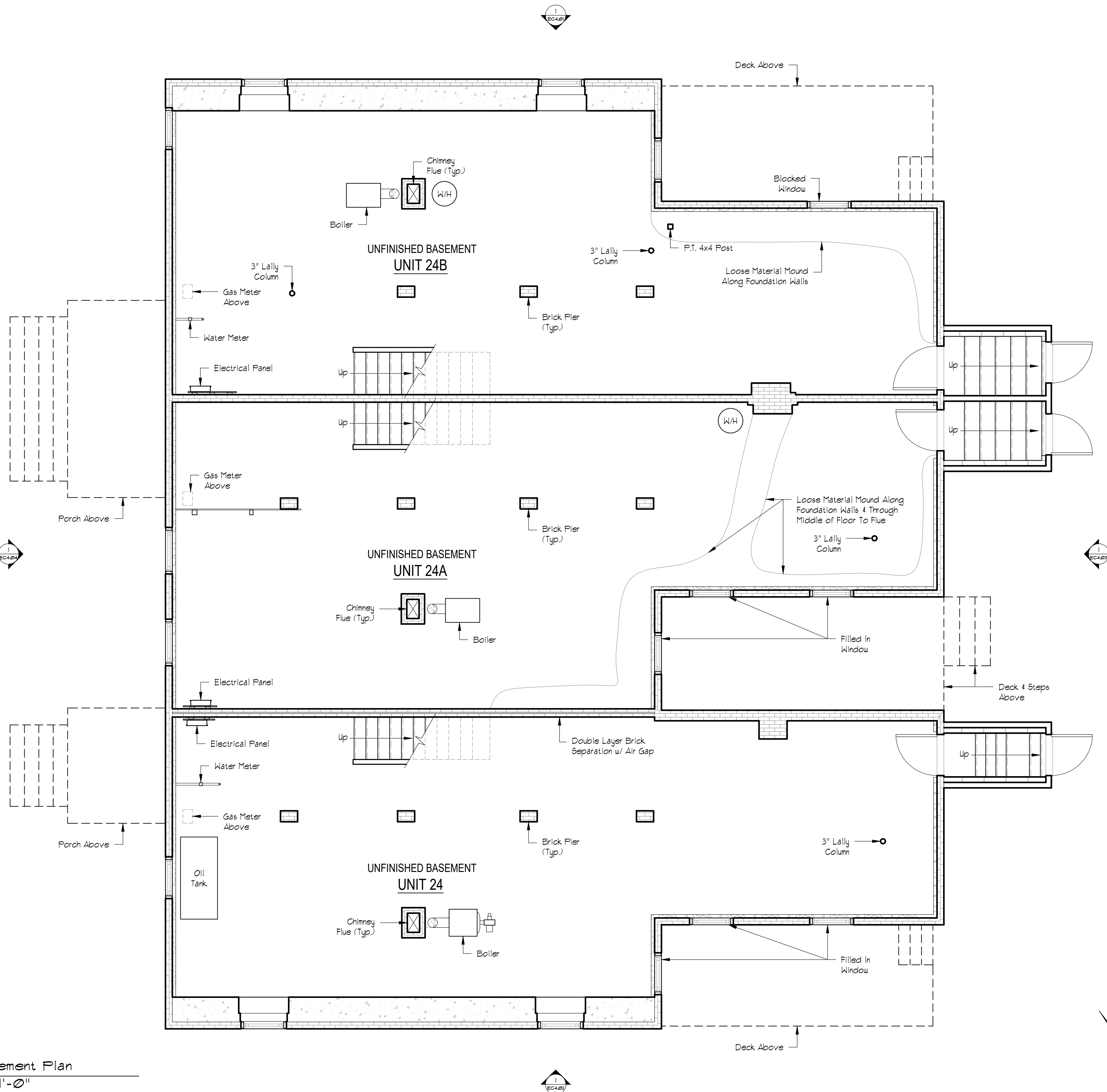
PROPOSED

Sheet Title:

Existing
Basement Plan

Sheet Number:

EC1.00



1 Existing Basement Plan
Scale: 1/4" = 1'-0"

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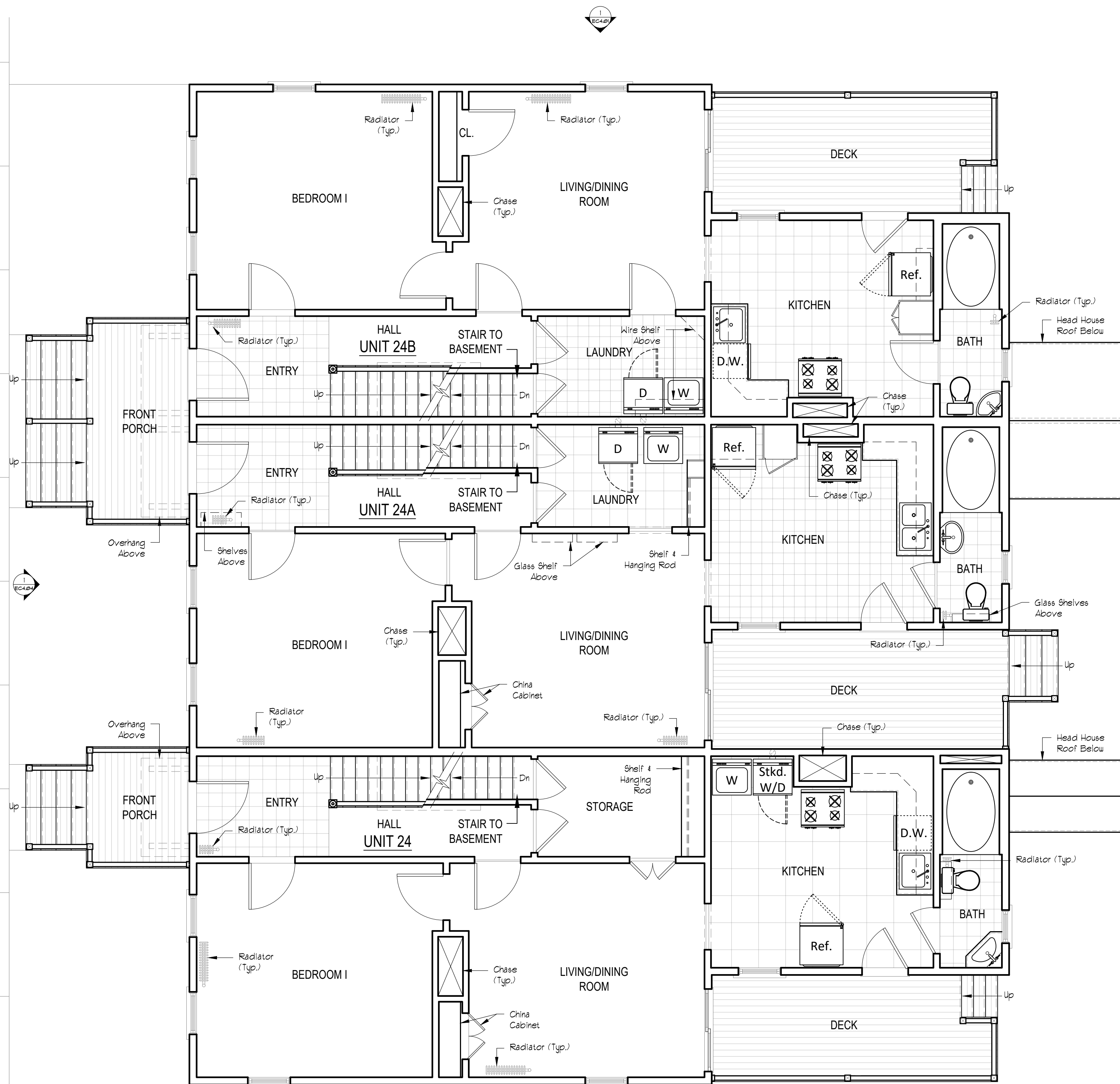
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	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing First
Floor Plan

Sheet Number:

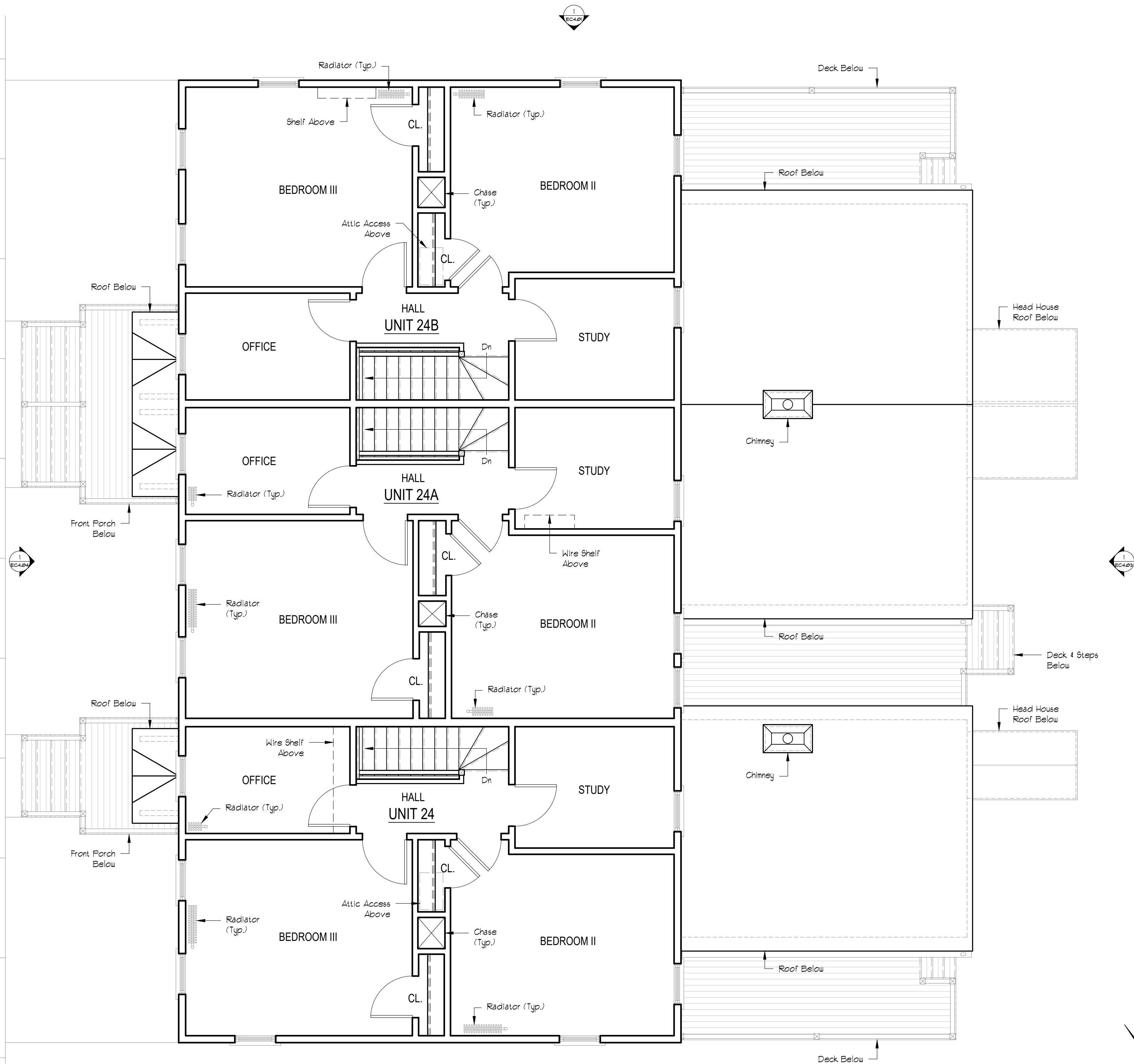
EC1.01



1 Existing First Floor Plan
Scale: 1/4" = 1'-0"

© Luna Design Group 24 Union Street Proposed 01/22

1 Existing Second Floor Plan
Scale: 1/4" = 1'-0"



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Date

JULY 22, 2022

Scale

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Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Existing Second
Floor Plan

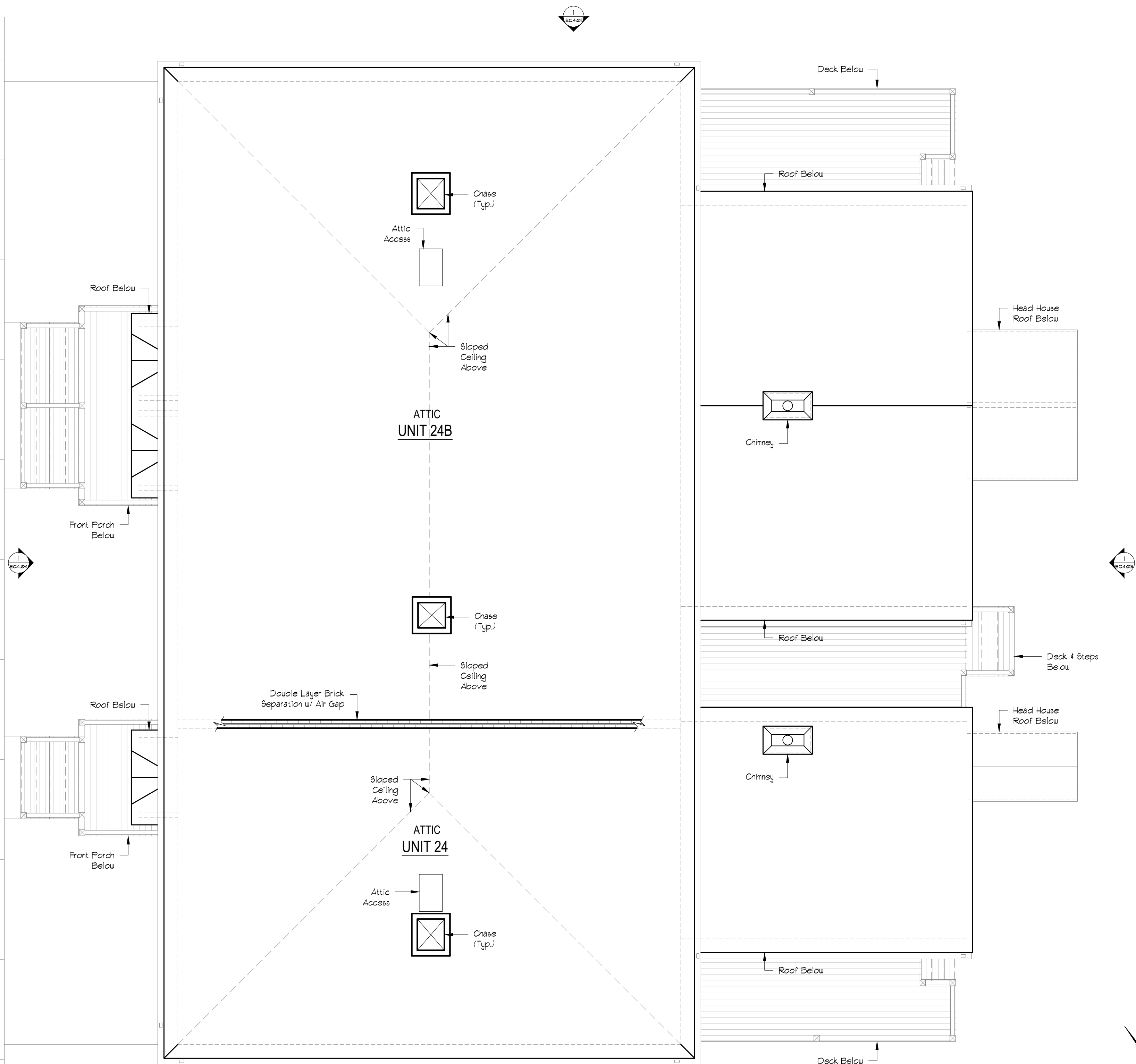
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EC1.02

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Di Luna Design Group 24 Union Street Proposed.dwg

1 Existing Attic Plan
Scale: 1/4" = 1'-0"



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**The Residences At
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Cambridge, Massachusetts 02141

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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Existing
Attic Plan**

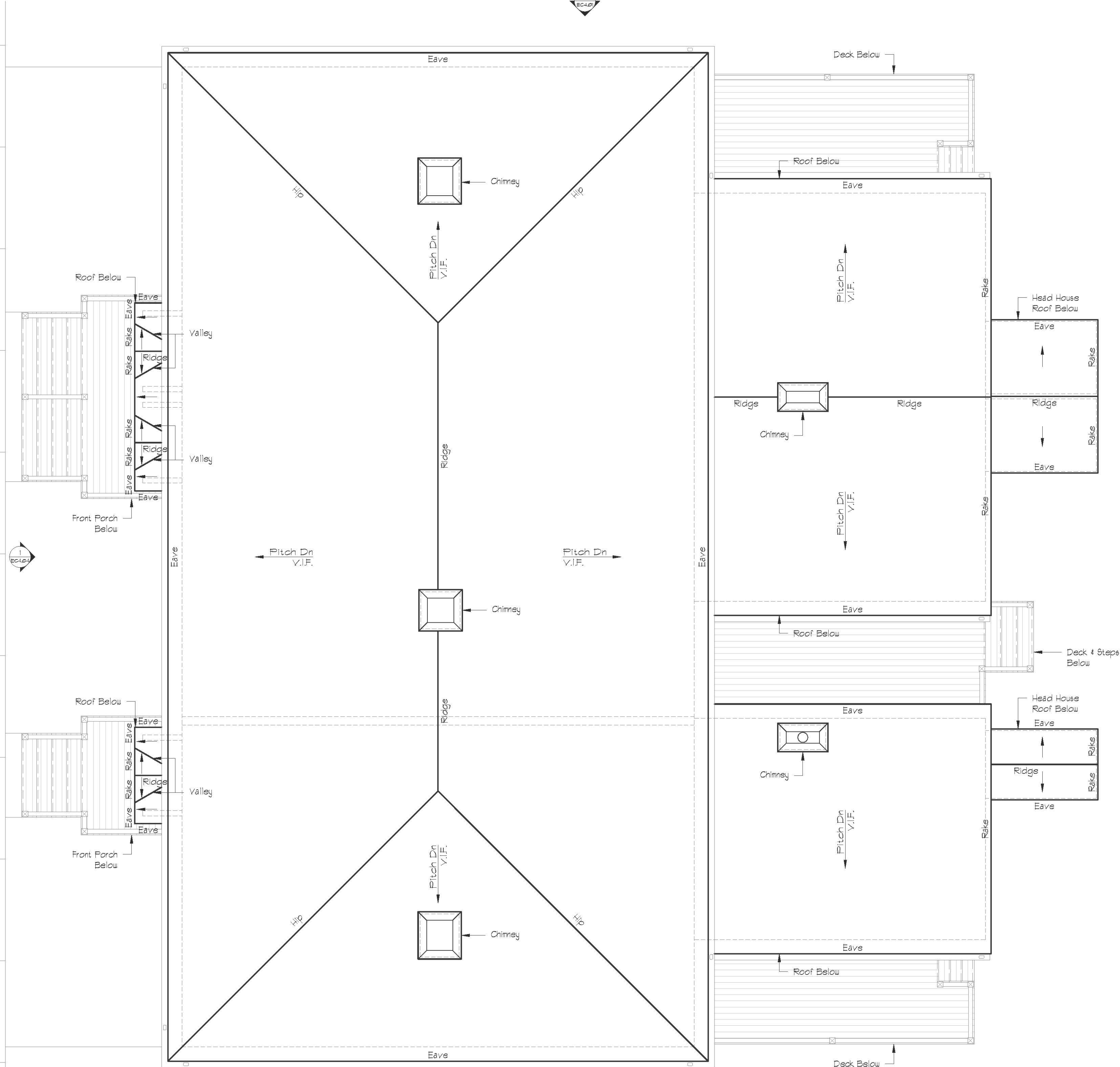
Sheet Number:

EC1.03

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1 Existing Roof Plan
Scale: 1/4" = 1'-0"



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Date
JULY 22, 2022

Scale
1/4" = 1'-0"

Job No.
LIN210_a

File
PROPOSED

Sheet Title:

**Existing
Roof Plan**

Sheet Number:

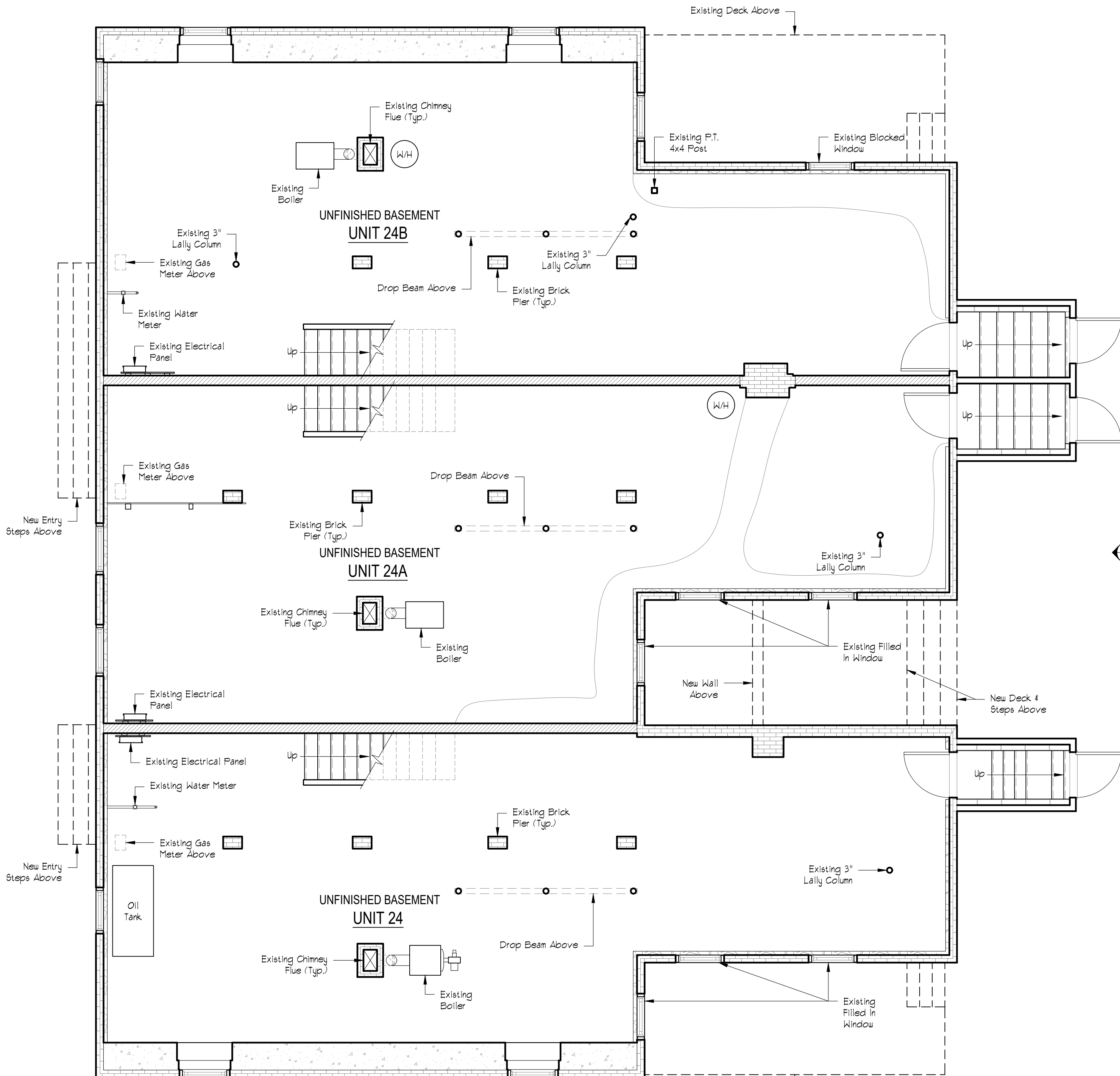
EC1.04

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PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



1 Proposed Basement Plan
Scale: 1/4" = 1'-0"



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Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed
Basement Plan

Sheet Number:

A1.00

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1 Proposed First Floor Plan
Scale: 1/4" = 1'-0"

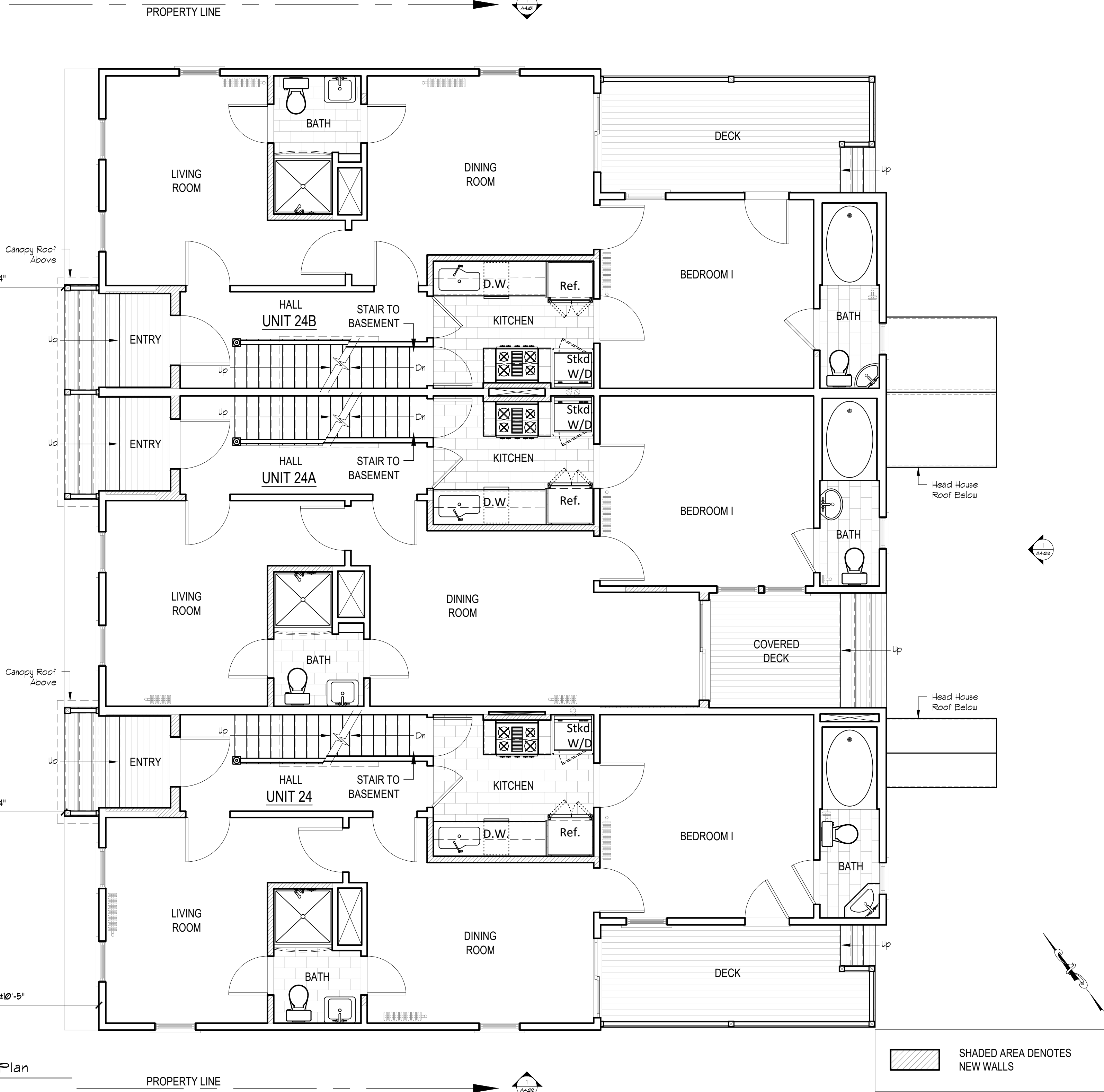
PROPERTY LINE

PARKING DRIVEWAY



±8'-4"

±10'-5"



SHADED AREA DENOTES
NEW WALLS



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Stamp:	Date JULY 22, 2022
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	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed First
Floor Plan

Sheet Number:

A1.01

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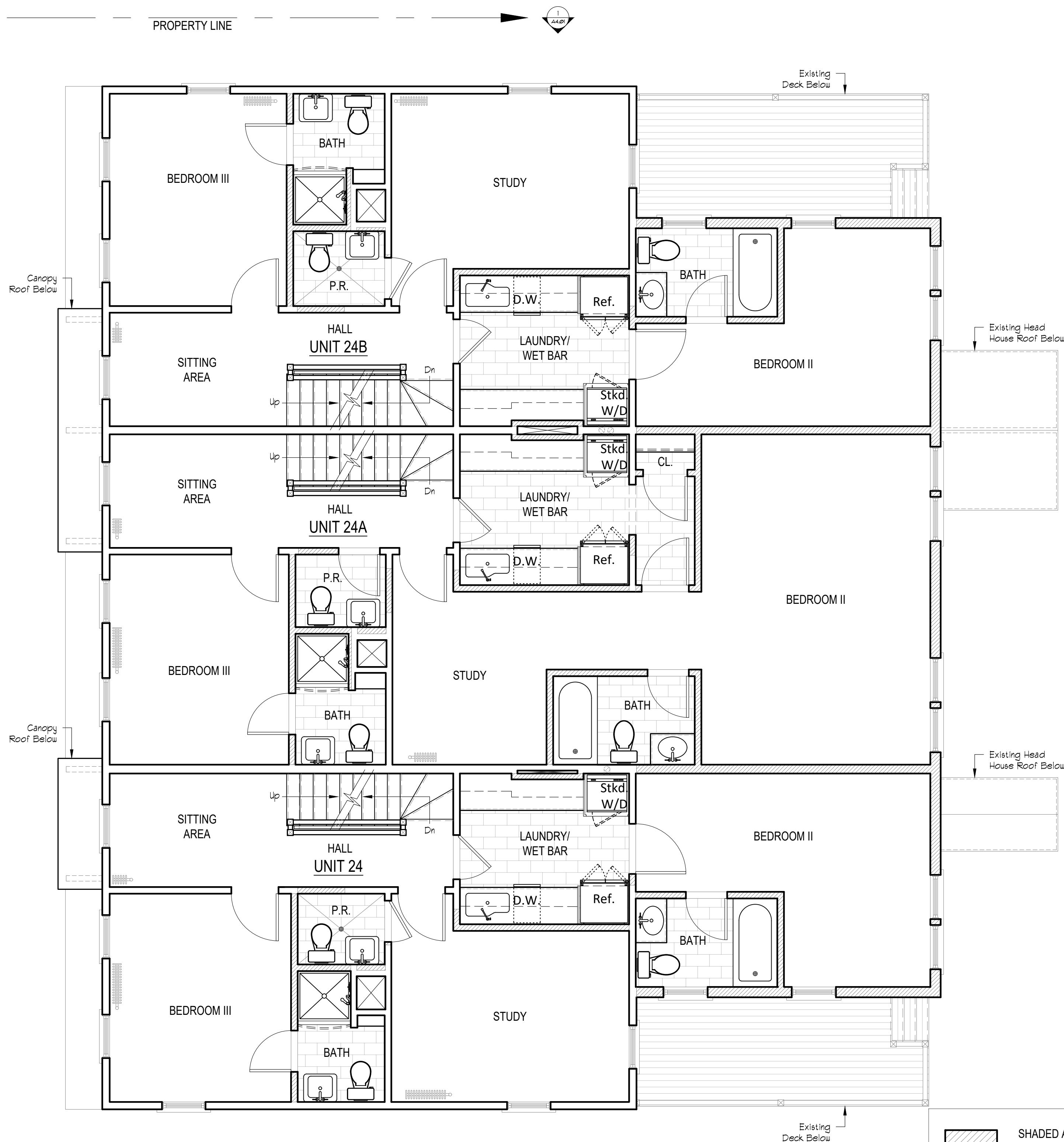
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	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed Second
Floor Plan

Sheet Number:

A1.02



1 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"

PROPERTY LINE

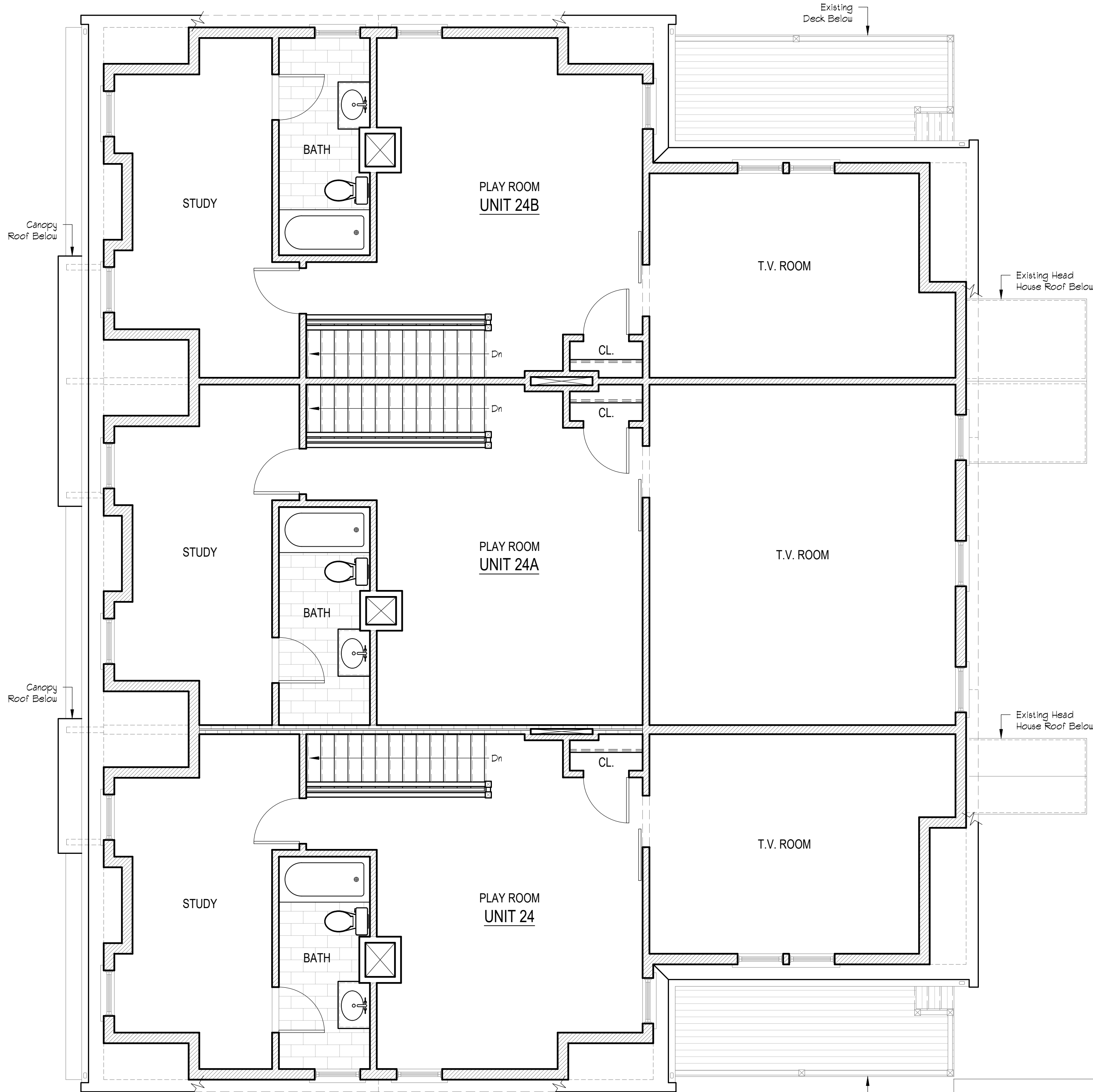
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1

Proposed Third Floor Plan

Scale: 1/4" = 1'-0"

PROPERTY LINE



SHADED AREA DENOTES
NEW WALLS



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Cambridge, MA 02141

Project:

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Street

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Locus:

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2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Proposed Third
Floor Plan

Sheet Number:

A1.03

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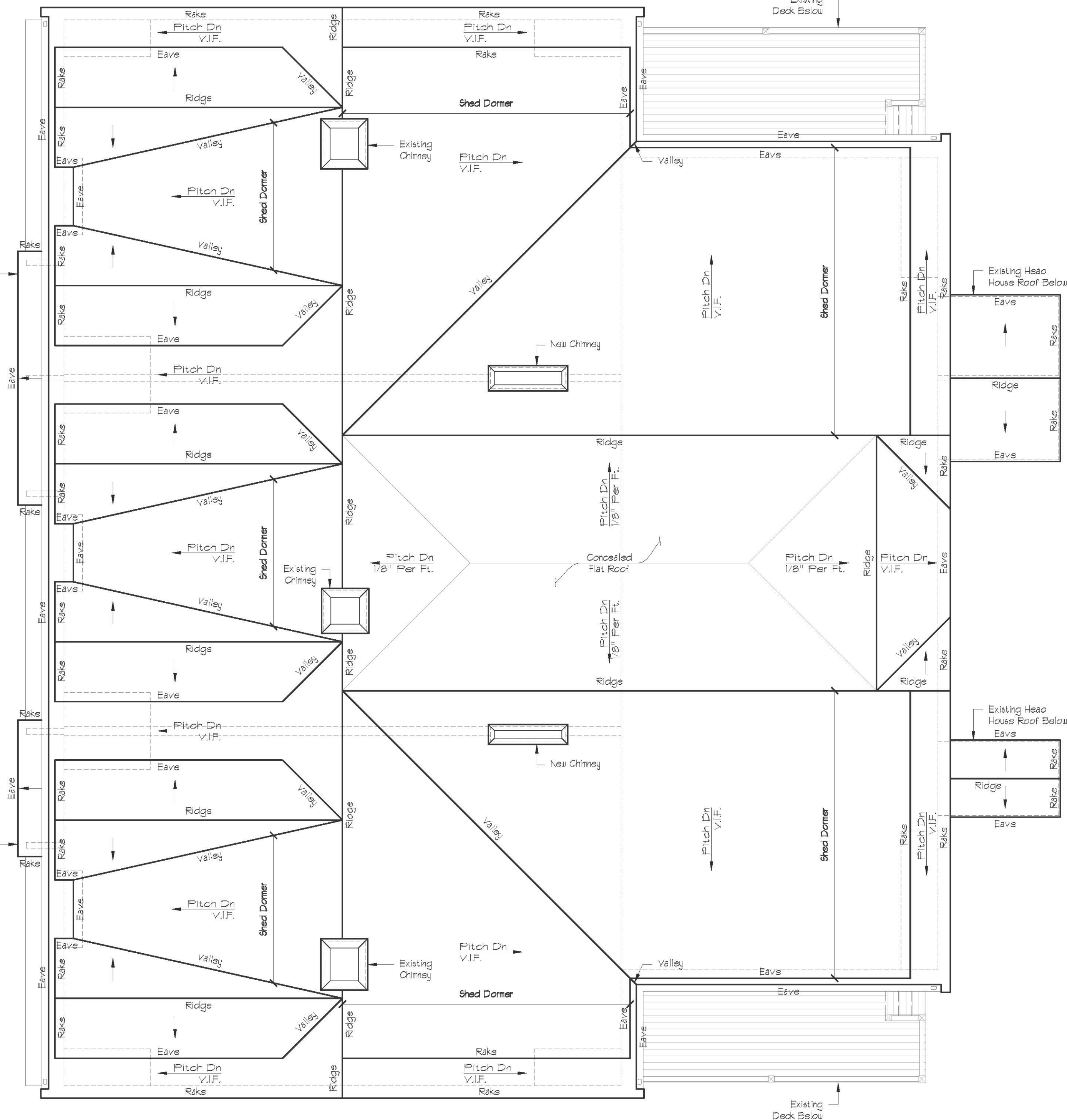
1

Proposed Roof Plan
Scale: 1/4" = 1'-0"



PROPERTY LINE

Canopy
Roof Below



PROPERTY LINE



LUNA Design Group

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Locus:

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2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022

Scale
1/4" = 1'-0"

Job No.
LIN210_a

File
PROPOSED

Sheet Title:

Proposed
Roof Plan

Sheet Number:

A1.04

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A circular seal for the Commonwealth of Massachusetts. The outer ring contains the text "COMMONWEALTH OF MASSACHUSETTS" at the top and "REGISTERED PROFESSIONAL LAND SURVEYOR" at the bottom. The center of the seal contains the name "MICHAEL P. CLANCY" and the number "NO. 49621". The seal is surrounded by a decorative, spiky border. There are some handwritten marks and a signature over the seal.

SCALE: 1"=20' OCTOBER 5, 2021

NOTES:

1. ZONING CLASSIFICATION — C-1
2. LOCUS DEED:
MIDDLESEX REGISTRY OF DEEDS BOOK 68506 PAGE 127
3. PLAN REFERENCES:
MIDDLESEX REGISTRY OF DEEDS LAND COURT PLAN 6816A
4. ASSESSORS PARCEL ID: 79-59

DATE OF SURVEY NOVEMBER 2019



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Danvers, MA 01923-3376
781.245.6530 fax 781.245.6508
www.lunadesign.com

Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 0214

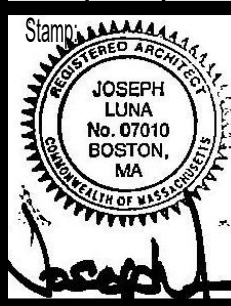
Project:

The Residences At 24 Union Street

Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	12.23.21	Proposed
3	12.28.21	Bathroom & Laundry/Wet Bar Revisions
4	1.21.22	Kitchen & Chase Revisions



Date	JANUARY 21, 2022
Scale	1" = 20'-0"
Job No.	LIN210__a
File	PROPOSED

Sheet Title:

Existing Plot Plan

Sheet Number:

SP1.01

D:\Luna Design Group\24 Union Street\Proposed.dwg



1 Existing North Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Existing North
Elevation

Sheet Number:

EC4.01

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Dr. Luna Design Group 24 Union Street Proposed.dwg



1 Existing South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing South
Elevation

Sheet Number:

EC4.02

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing East
Elevation

Sheet Number:

EC4.03



1 Existing East Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing West
Elevation

Sheet Number:

EC4.04



1 Existing West Elevation
Scale: 1/4" = 1'-0"

Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed North
Elevation

Sheet Number:

A4.01



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed South
Elevation

Sheet Number:

A4.02

1 Proposed South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed East
Elevation

Sheet Number:

A4.03



1 Proposed East Elevation
Scale: 1/4" = 1'-0"

Dr Luna Design Group 24 Union Street Proposed.dwg



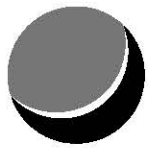
Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Proposed West Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed West
Elevation

Sheet Number:

A4.04

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24 Union St.





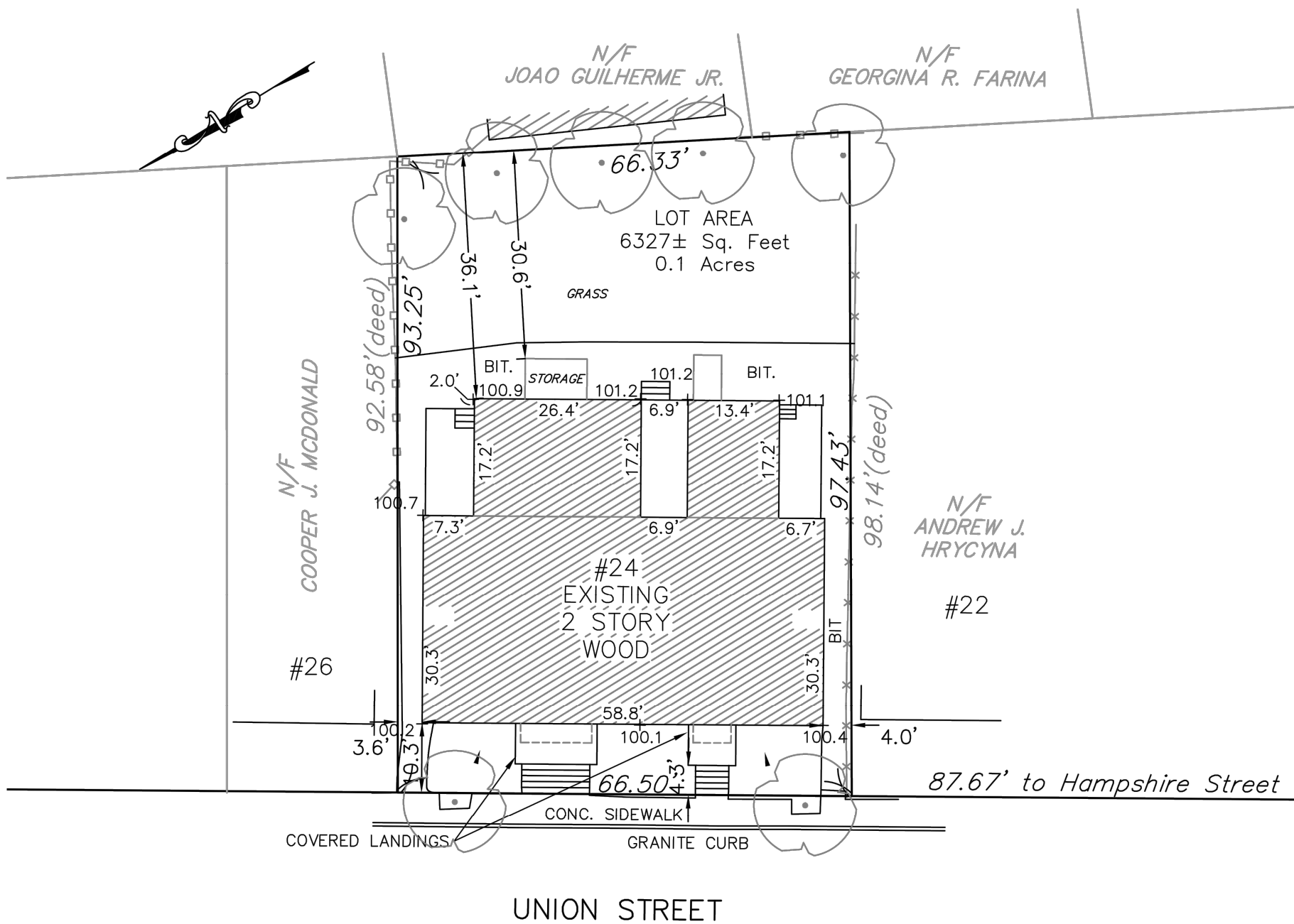




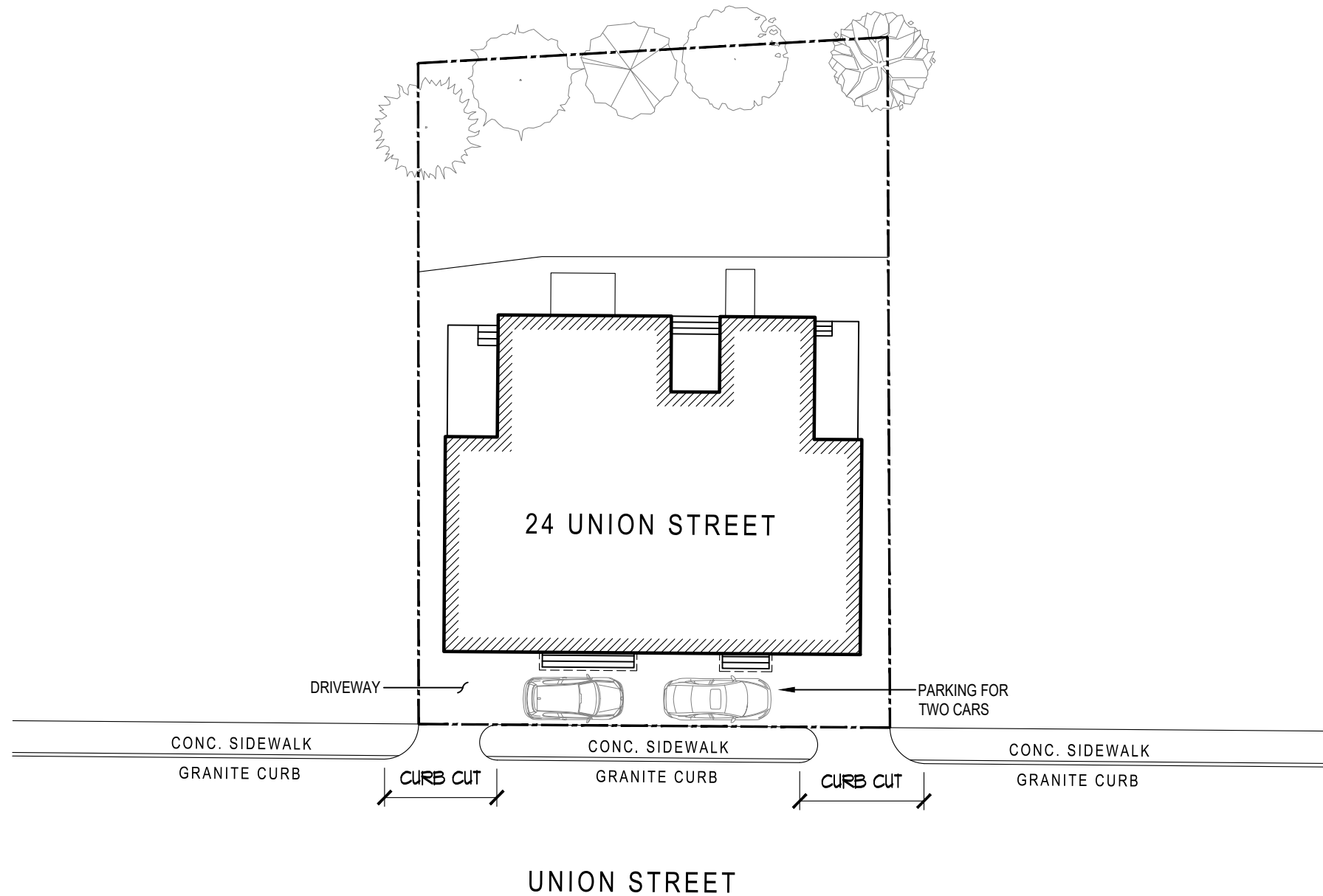








1 Existing Site Plan
Scale: 1" = 20'-0"



2 Proposed Site Plan
Scale: 1" = 20'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing &
Proposed
Site Plan

Sheet Number:

SP1.01

8/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Alonso Guzman residing at,
107 HAMPSHIRE ST Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Alonso Guzman

Signature:

8/23/2022

Date:

617-669-3566

1987

James D. O'Connell

TE. 30/11/28/1941 501

1. The first step in the process of the investigation is the identification of the problem. This is done by the investigator who is responsible for the investigation. The investigator must identify the problem and the scope of the investigation. The investigator must also identify the objectives of the investigation and the methods to be used.

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1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

5505/25/3

Alfred Jones

• ddz.E-Pdd-5.10

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

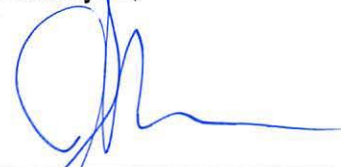
Dear Committee:

My/Our name(s) are JOHN MANSON residing at,
359 WINDSOR ST. #2 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

978-401-7766

8/12/2022

Date:

Signature:

Date:

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Rachael Filer residing at,
30 Union St. Apt. 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Signature: 

Date: 8/12/2022

Signature: _____

Date: _____

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Anne Odira residing at,
37 Union Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

Aug 12, 2022
Date:

Signature:

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Andrea Sherbakov residing at,
389 Windsor St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/22

Date:

8/17 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are MARTIN RIVERA residing at,
109 Hampshire St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

8/17
Date:

Signature:

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

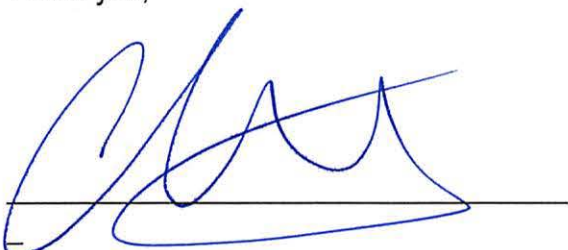
Dear Committee:

My/Our name(s) are ALEX FERRERO residing at,
18 UNION ST #1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/22

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

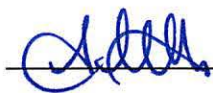
Dear Committee:

My/Our name(s) are ANITA SINGH residing at,
359 Windsor St. #1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/2022

Date:

Anita Singh

N/A

617-299-0134

41/8

NAME ATINA

12.12.2014 PEE

SSOR/FI/8

[Signature]

A/N

NAME 2 ATINA

PEIO-PPE-FID

8/22 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Carol Mattes residing at,
330 WINDSOR ST, Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Carol Mattes

Signature:

8/22

Date:

8/22/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Uebor residing at,
371 Windsor. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8-22-22

Date:

8/22/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Kate Gregor residing at,
18 Union St Apt 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Kate Gregor
Signature:

8/22/22
Date:

5/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Jonathan Graham residing at,
Unit 378 Windsor St Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Signature: 

Date: 08/23/22

—

—

8/23

2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Nathan Harbousen residing at,
371 Windsor St Apt 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Nathan Harbousen
Signature:

8/23/22
Date:

Signature:

Date:

8-25-2022

Date:

8/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Adam Bern residing at,
362 Windsor St Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Adam Bern
Signature:

8/23/22
Date:

Signature:

Date:

617 982 8510

Adam Bern

Adam@Guardian.ag

8-23-2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Henriqueta B. Resendes residing at,
371 Windsor St apt 2 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Henriqueta B. Resendes 8-23-2022
Signature: Date:

Signature:

Date:

✓
8-23-8

8/11/80
Hemiphaedusa B. Hemiphaedusa
apt 2

8-23-80
Hemiphaedusa B. Hemiphaedusa

8/12 2022

To: The City of Cambridge Zoning Board of Appeals

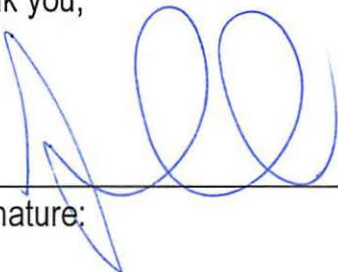
Dear Committee:

My/Our name(s) are Joshua & Maren Ladieu residing at,
315 Windsor St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/12/2022

Date:

Signature:

Date:

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Danvers, MA 01923-3376
781.245.6530 fax 781.245.6508
www.lunadesign.com

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www.runadesign.com

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Lin Lin
24B Union Street
Cambridge, MA 0214

The Residences At 24 Union Street

Locus:

Stamp:	Date JULY 22, 2022
	Scale N.T.S.
	Job No. LIN210_a
	File PROPOSED

Title Sheet

T1.00

A.C.T. Acoustic Ceiling Tile
A.F.F. Above Finished Floor
A.F.G. Above Finish Grade
A.F.S. Above Finish Slab
ACOUS. Acoustic
ADJ. Adjustable
ALUM. Aluminum
ANCH. Anchor
APPROX. Approximately
ATTEN. Attenuation
BOT. Bottom
BD. Board
BLDG. Building
BLK. Block
BM. Beam
BOT. Bottom
C.B. Catch Basin
C.I.P. Cast in Place
C.J. Control Joint
C.M.U. Concrete Masonry Unit
C.P. Cast
C.T. Counter Top
CAB. Cabinet
CERM. Ceramic
CER. Ceramic
CLG. Ceiling
CLR. Clear
COL. Column
COMP. Composition
CONC. Concrete
CONSTR. Construction
CONT. Continuous
D.S. Down Spout
D.W. Dish Washer
DBL. Double
DET. Detail
DIAM. Diameter
DIAG. Diagonal
DIM. Dimension
DISP. Dispenser
DN. Down
DP. Deep
DWG. Drawing
E.C. Edge Face
E.J. Expansion Joint
E.W. Edge of
EACH. Each Way
EA. Each
ELECT. Electrical
EL. Electric
ENAM. Enamel
EQ. Equal
EQUIP. Equipment
EXIST. Existing
EXT. Exterior
F.D. Floor Drain
FACE. Face of
F.W. Foundation Wall
FDN. Foundation
FIN. Finish
FLR. Floor
FLUOR. Fluorescent
FRM. Frame
FEET. Feet
FTG. Footing
G.C. General Contractor
GAUGE. Gauge
GALV. Galvanized
GEN. General
GLASS. Glass
GRT. Grout
GYPS. Gypsum
HD. High
HD. Head
HDWD. Hardwood
HORIZ. Horizontal
HEIG. Height

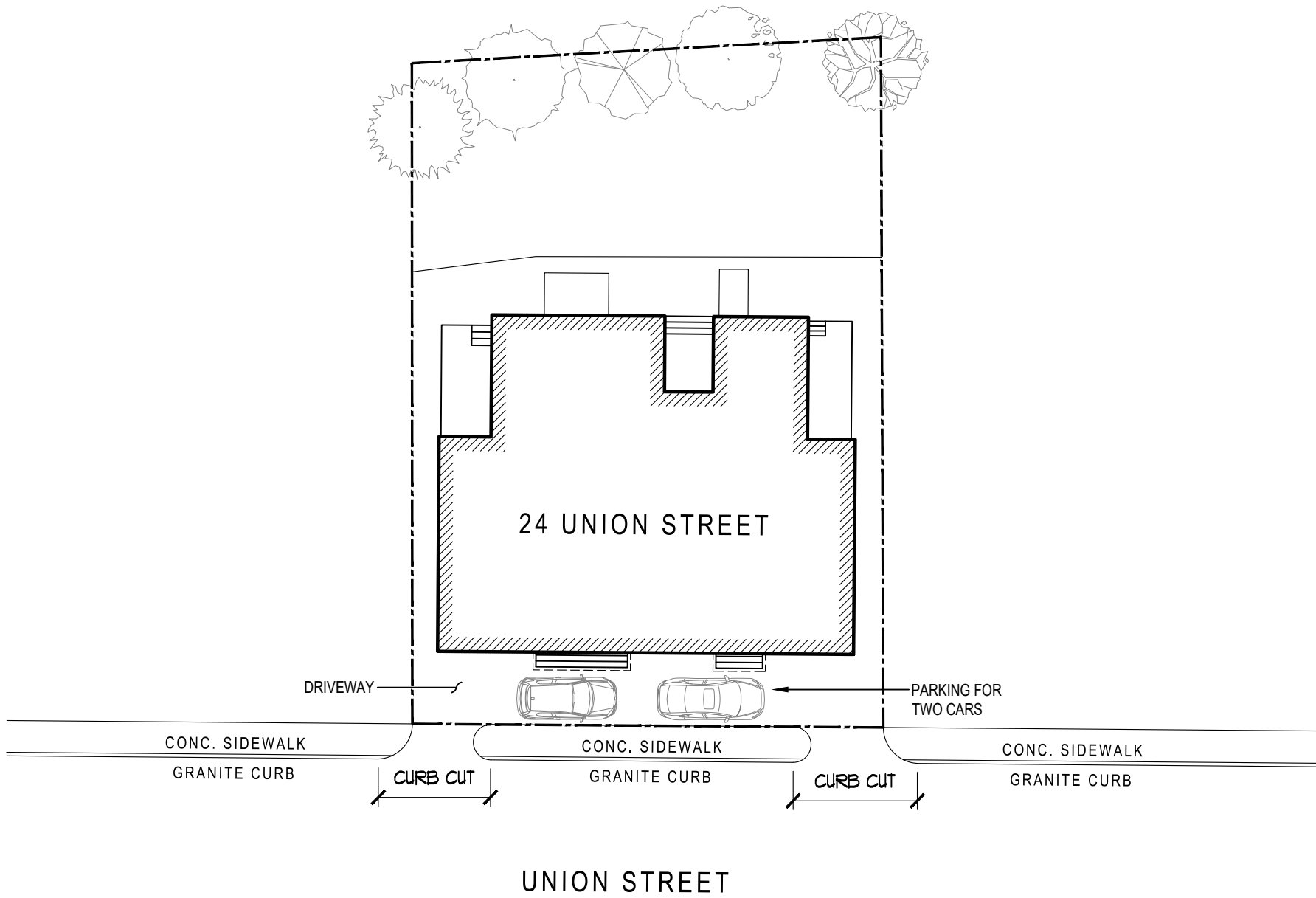
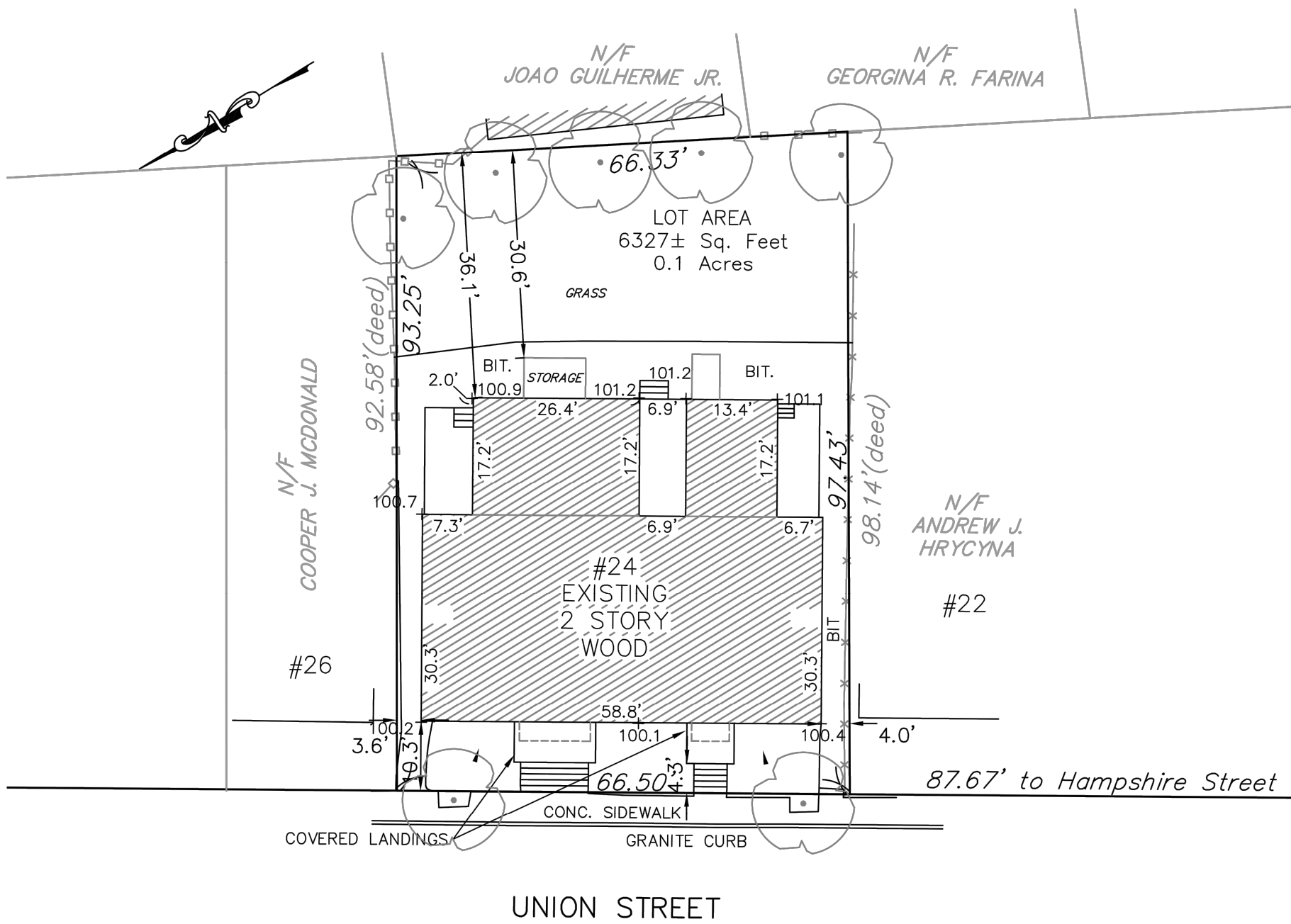
	Earth
	Gravel Fill
	Concrete
	Brick
	Concrete Masonry Unit
	Stone
	Granite
	Aluminum
	Steel
	Wood-Rough
	Wood-Blocking
	Plywood
	Plywood-M.D.O.
	Wood-Finish
	Batt Insulation
	Rigid Insulation
	Gypsum Wallboard

Revision Designation

A-4.04

Proposed West Elevation

REVISION NO. 



1 Existing Site Plan
Scale: 1" = 20'-0"

2 Proposed Site Plan
Scale: 1" = 20'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
Existing &
Proposed
Site Plan

Sheet Number:
SP1.01

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

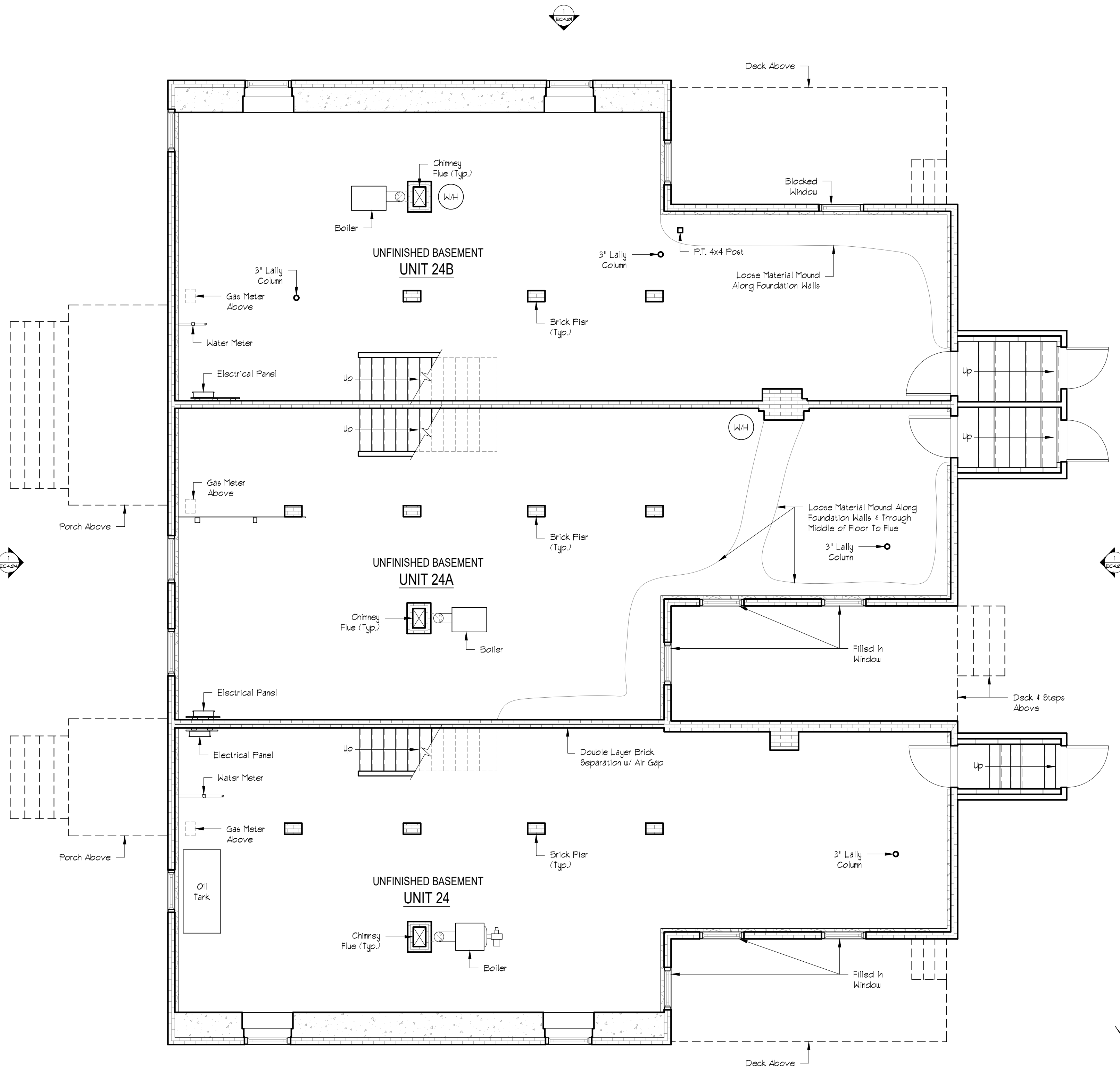
PROPOSED

Sheet Title:

Existing
Basement Plan

Sheet Number:

EC1.00



1 Existing Basement Plan
Scale: 1/4" = 1'-0"

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

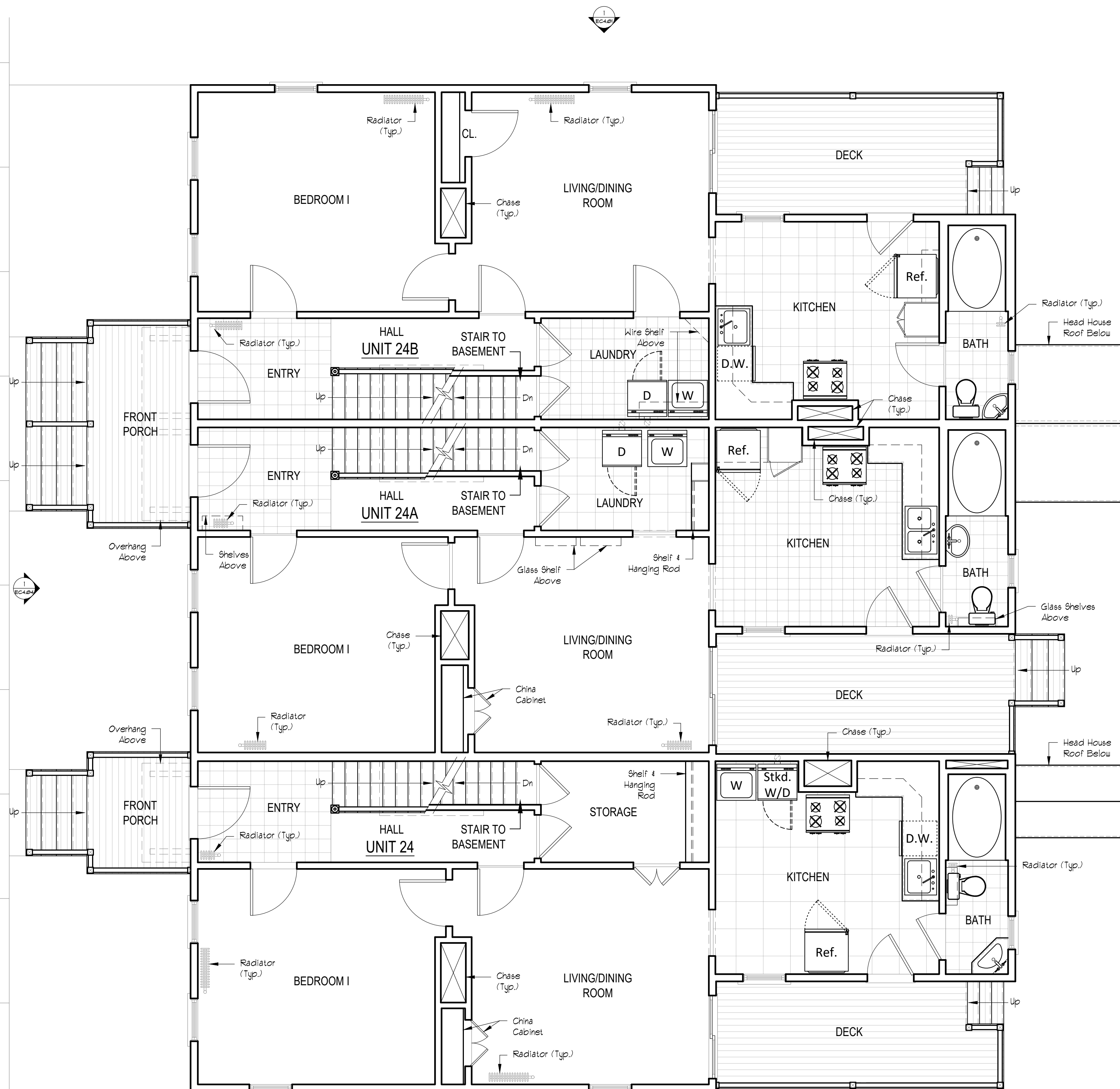
Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing First
Floor Plan

Sheet Number:

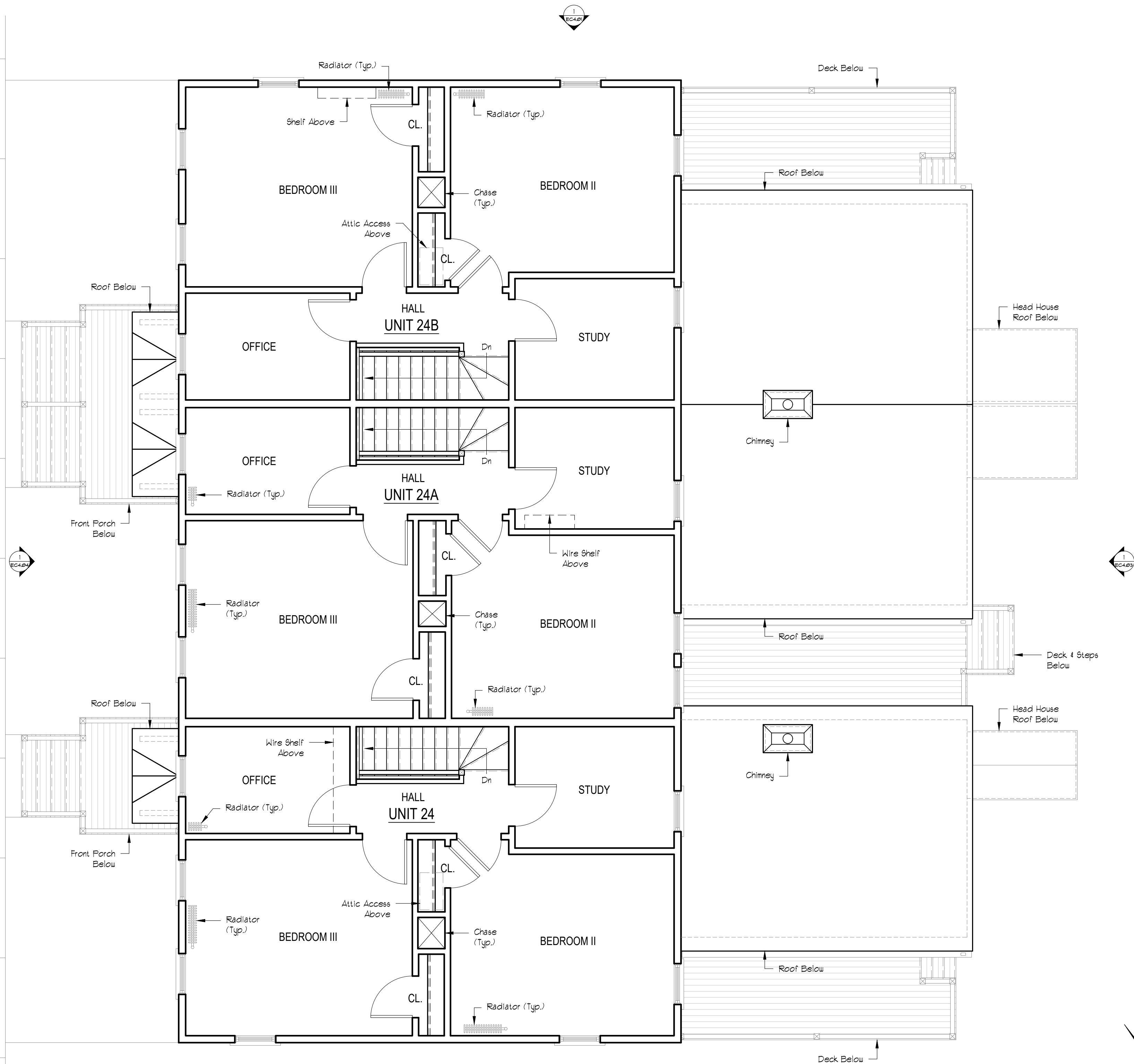
EC1.01



1 Existing First Floor Plan
Scale: 1/4" = 1'-0"

© Luna Design Group 24 Union Street Proposed 01/21

1 Existing Second Floor Plan
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing Second
Floor Plan

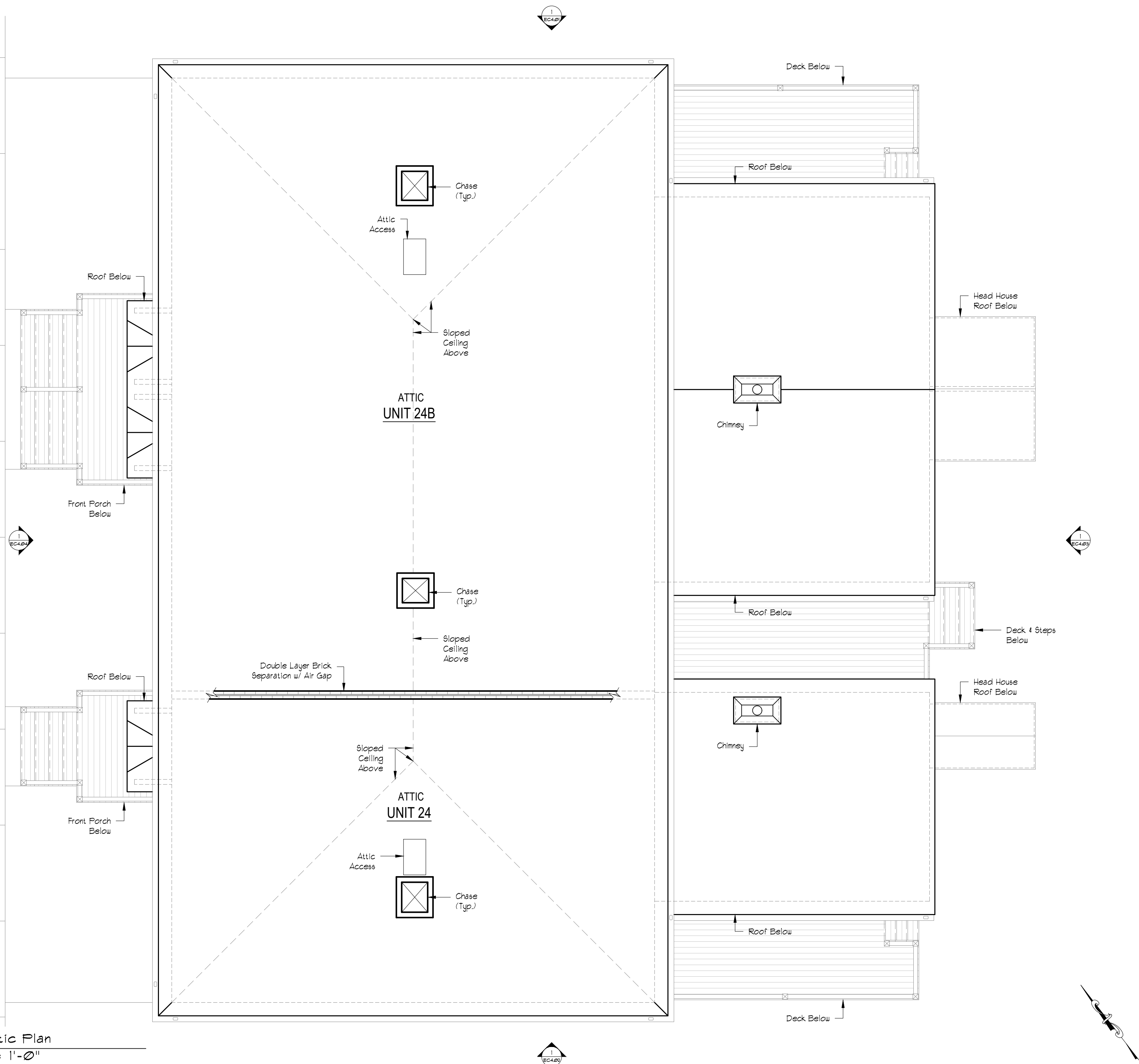
Sheet Number:

EC1.02

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Dr Luna Design Group 24 Union Street Proposed.dwg

1 Existing Attic Plan
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing
Attic Plan

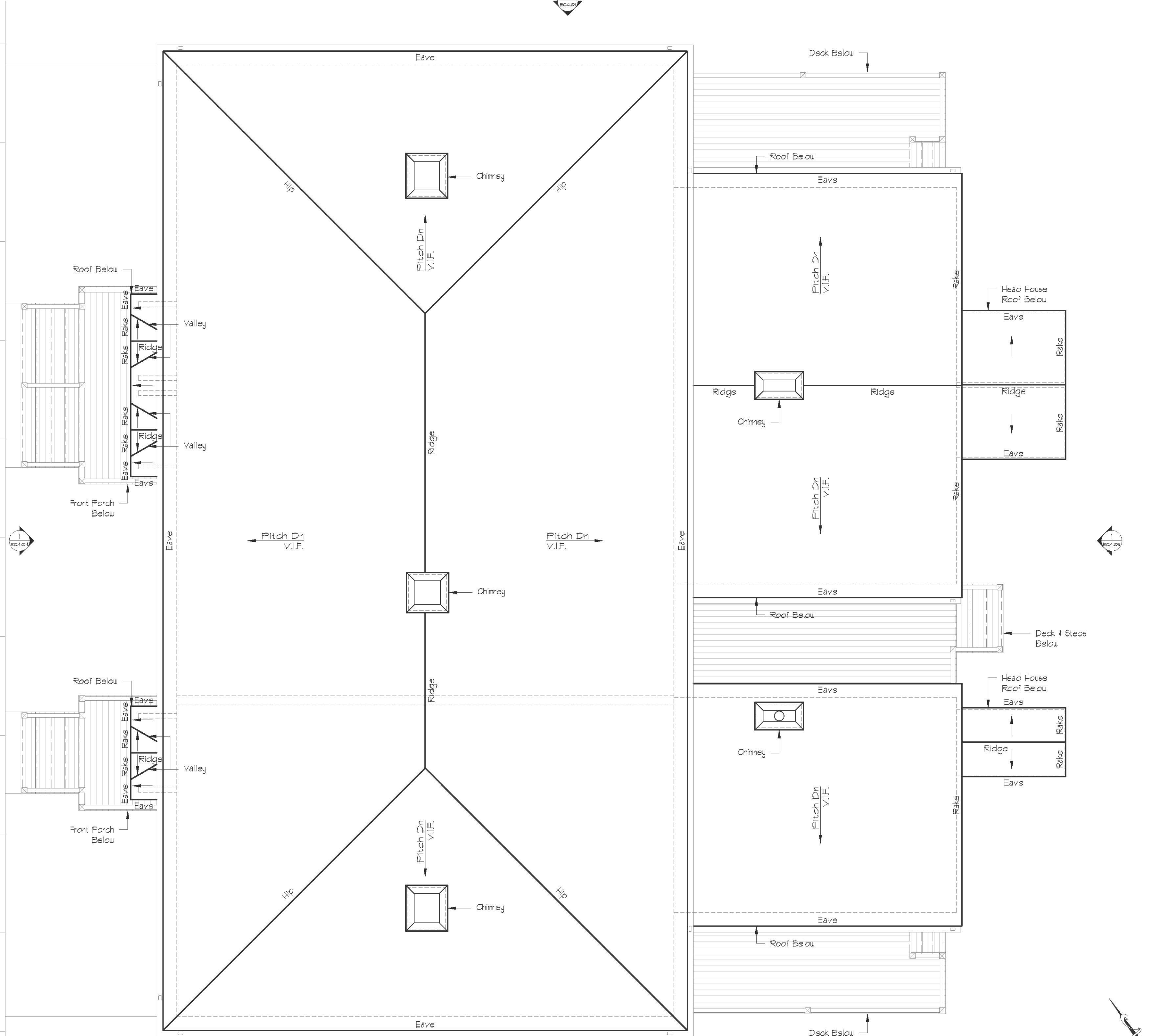
Sheet Number:

EC1.03

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D:\Luna Design Group\24 Union Street\Proposed.dwg

1 Existing Roof Plan
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022

Scale
1/4" = 1'-0"

Job No.
LIN210_a

File
PROPOSED

Sheet Title:

Existing
Roof Plan

Sheet Number:

EC1.04

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D:\Luna Design Group\24 Union Street\Proposed.dwg



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Existing North Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing North
Elevation

Sheet Number:

EC4.01

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Di Luna Design Group 24 Union Street Proposed.dwg



1 Existing South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing South
Elevation

Sheet Number:

EC4.02

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing East
Elevation

Sheet Number:

EC4.03



1 Existing East Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing West
Elevation

Sheet Number:

EC4.04

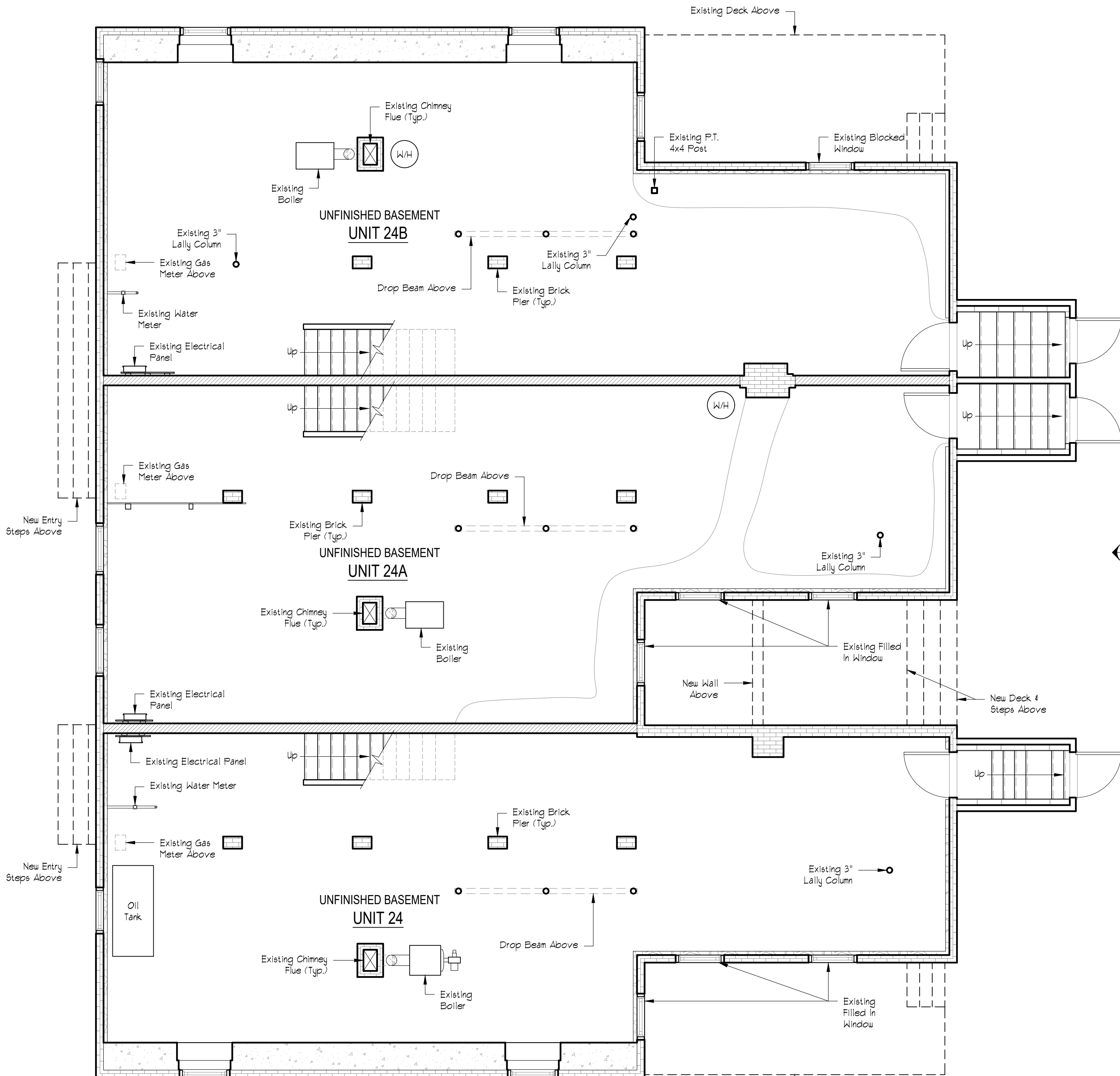


1 Existing West Elevation
Scale: 1/4" = 1'-0"

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



1 Proposed Basement Plan
Scale: 1/4" = 1'-0"



LUNA Design Group

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed
Basement Plan

Sheet Number:

A1.00

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1 Proposed First Floor Plan
Scale: 1/4" = 1'-0"

PROPERTY LINE

PARKING DRIVEWAY



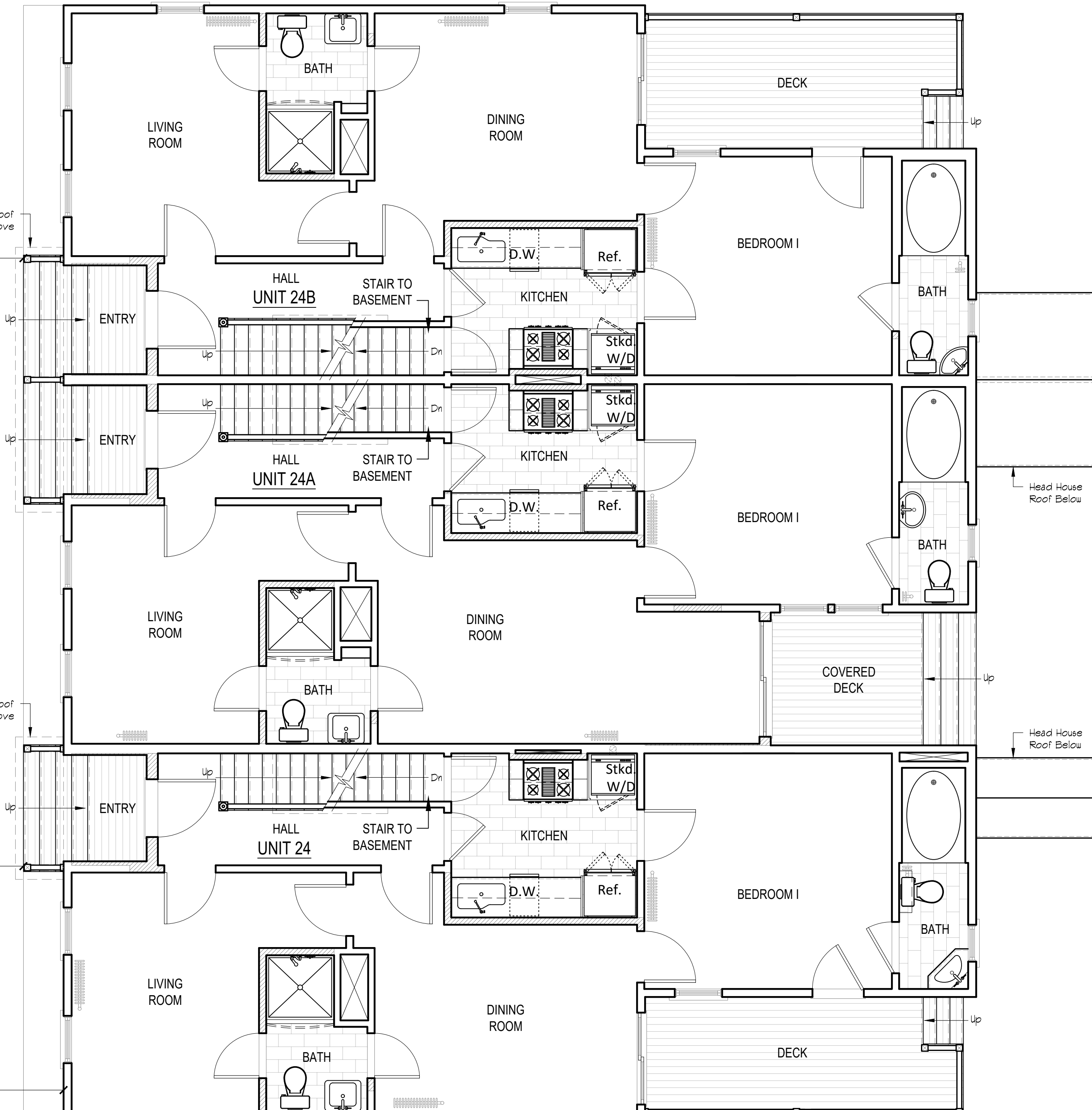
±8'-4"

±10'-5"

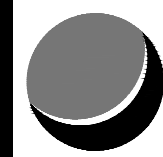
PROPERTY LINE



PROPERTY LINE



SHADED AREA DENOTES
NEW WALLS



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Owner:
Lin Lin
24B Union Street
Cambridge, MA 02141

Project:
**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
**Proposed First
Floor Plan**

Sheet Number:
A1.01

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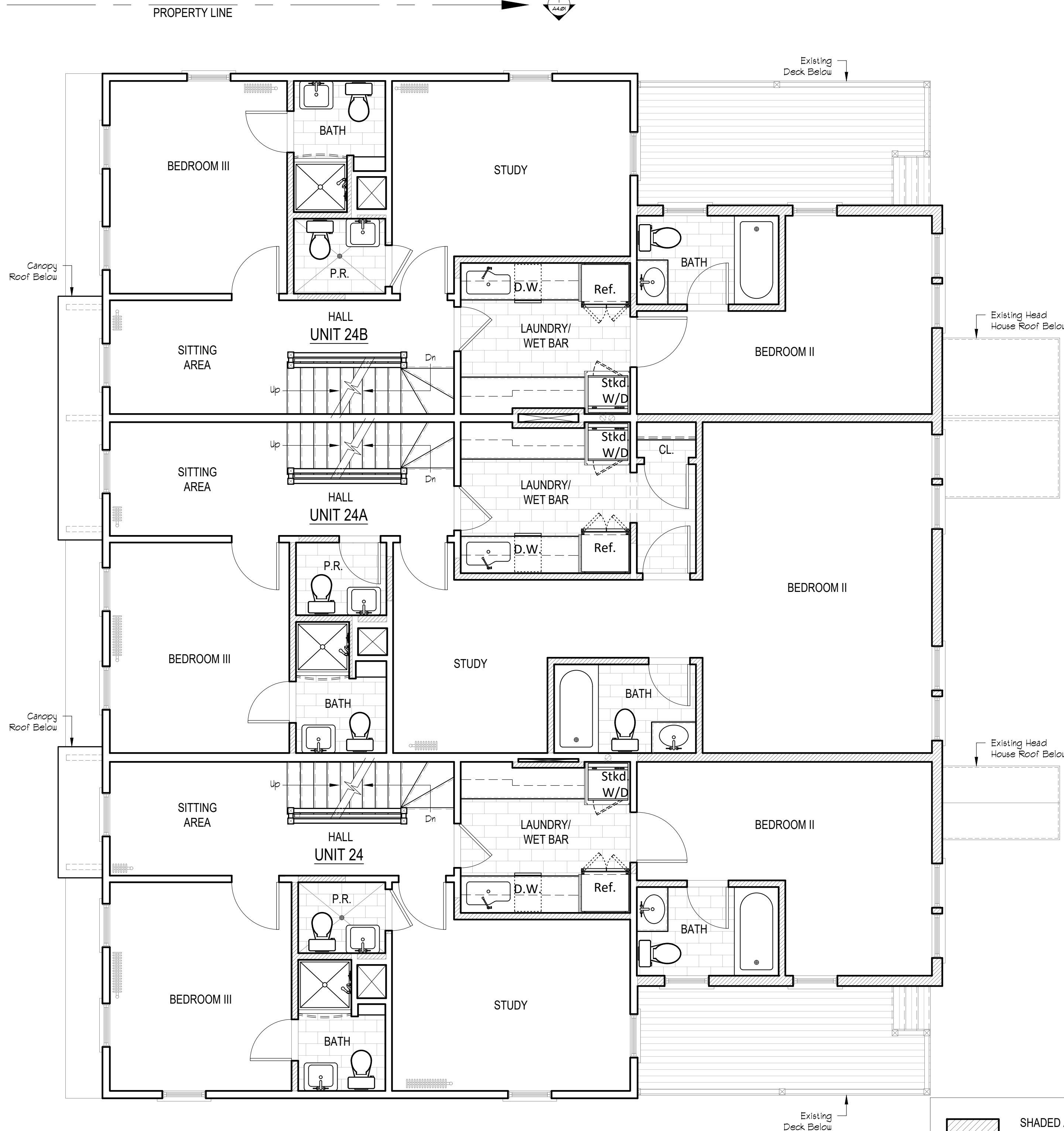
Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
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	File PROPOSED

Sheet Title:

Proposed Second
Floor Plan

Sheet Number:

A1.02



1 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"

PROPERTY LINE

D:\Luna Design Group\24 Union Street\Proposed.dwg

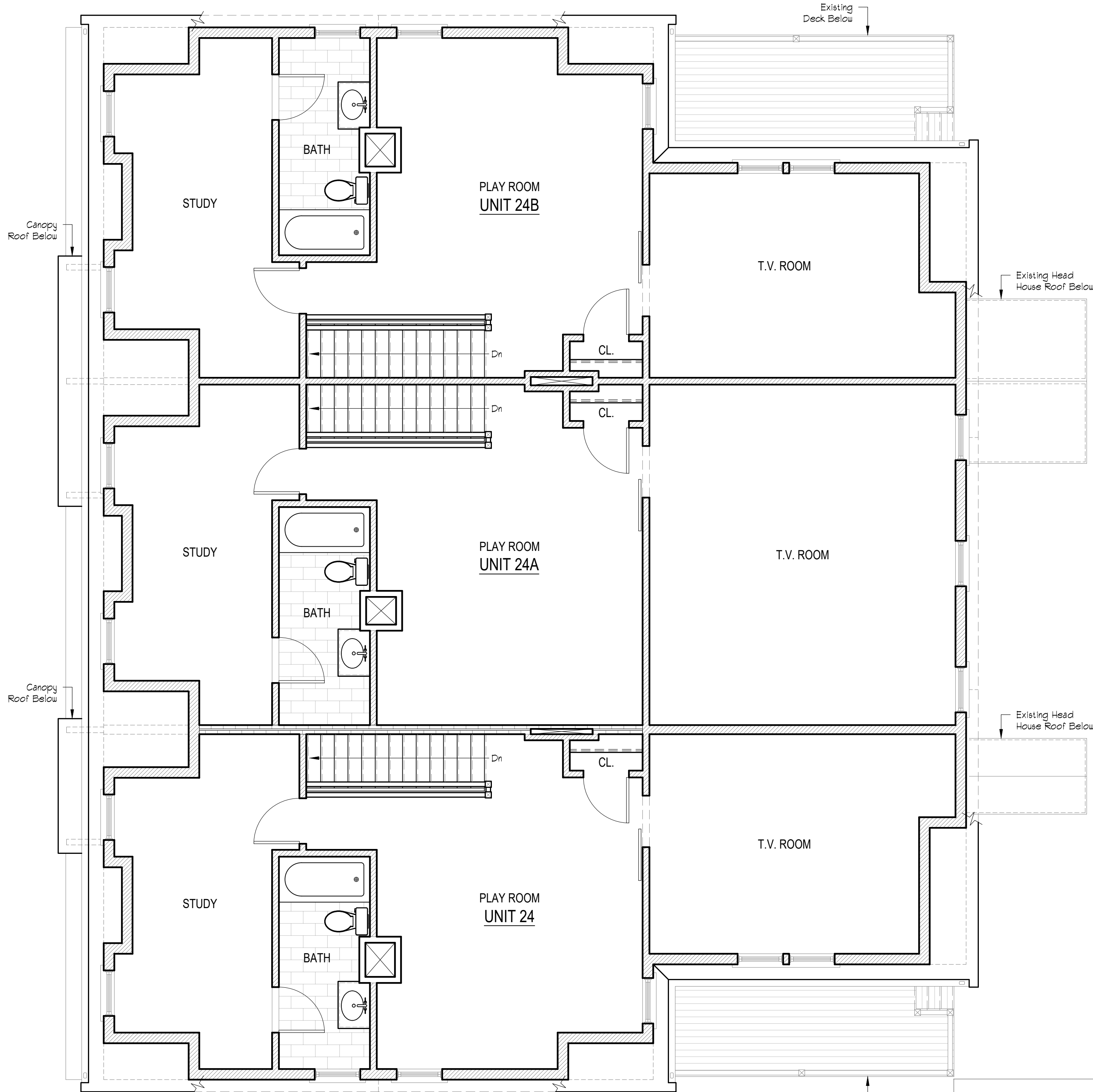
1

Proposed Third Floor Plan

Scale: 1/4" = 1'-0"

PROPERTY LINE

1
A4.02



SHADED AREA DENOTES
NEW WALLS



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Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Proposed Third
Floor Plan

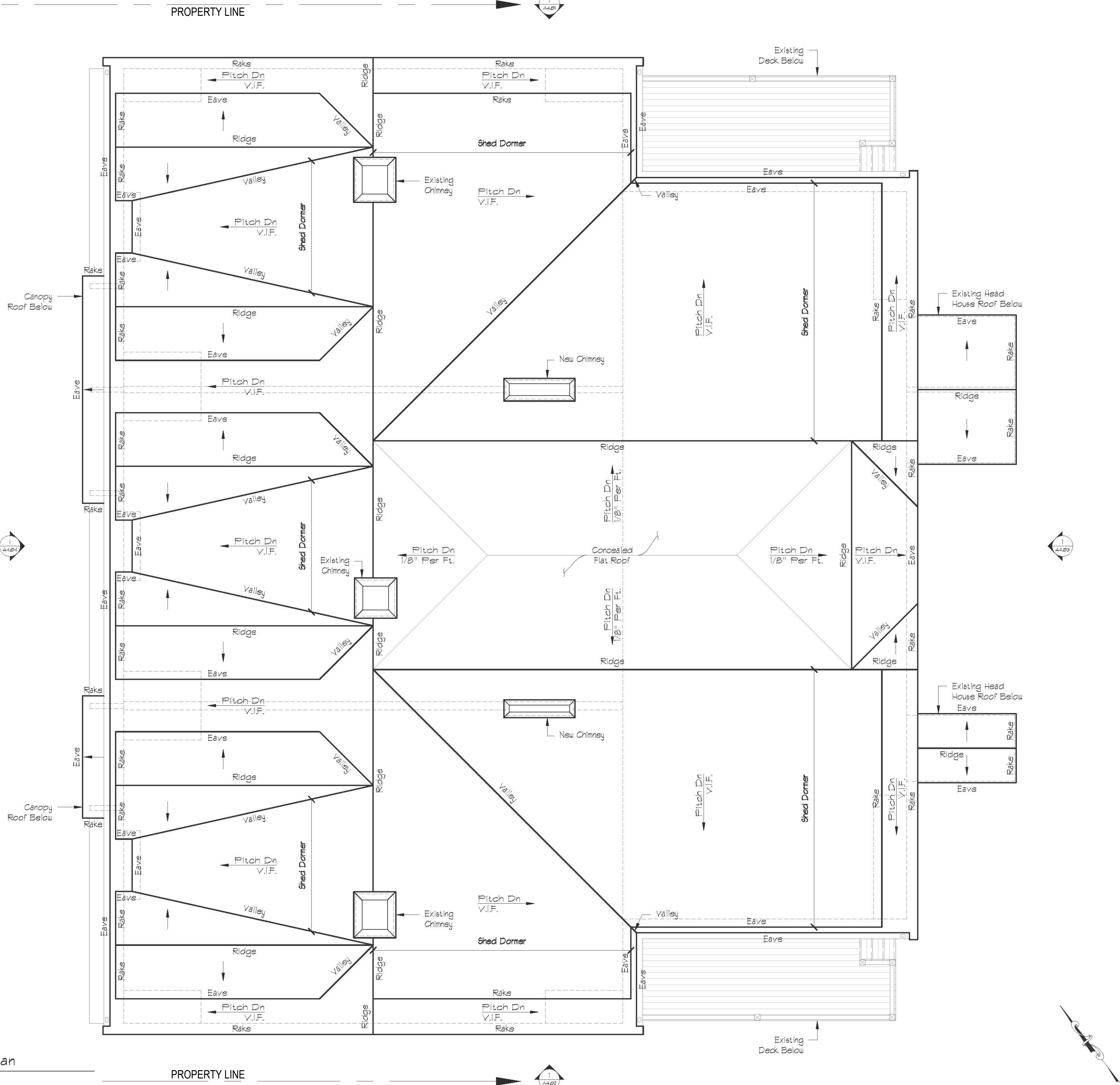
Sheet Number:

A1.03

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D:\Luna Design Group\24 Union Street\Proposed.dwg

1 Proposed Roof Plan
Scale: 1/4" = 1'-0"



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Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Proposed
Roof Plan

Sheet Number:

A1.04

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Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



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2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Proposed North
Elevation

Sheet Number:

A4.01



Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Proposed South Elevation
Scale: 1/4" = 1'-0"



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Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed South
Elevation

Sheet Number:

A4.02



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2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed East
Elevation

Sheet Number:

A4.03



1 Proposed East Elevation
Scale: 1/4" = 1'-0"

Dr Luna Design Group 24 Union Street Proposed.dwg



Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Proposed West Elevation
Scale: 1/4" = 1'-0"



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2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed West
Elevation

Sheet Number:

A4.04

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The map displays a residential neighborhood with the following streets and lots:

- Union St:** 34 Union St, 32 Union St, 30 Union St, 28 Union St, 26 Union St, 24-B Union St, 24-A Union St, 24 Union St, 22 Union St, 20 Union St, 18 Union St, 14 Union St, 12 Union St.
- Hampshire St:** 109 Hampshire St, 107 Hampshire St, 105 Hampshire St, 101 Hampshire St, 99 Hampshire St, 97 Hampshire St, 95 Hampshire St, 93 Hampshire St, 91 Hampshire St, 100-A Hampshire St, 100 Hampshire St, 98 Hampshire St.
- Windsor St:** 357 Windsor St, 353 Windsor St, 349 Windsor St, 347 Windsor St, 341 Windsor St, 337 Windsor St, 335 Windsor St, 333 Windsor St, 327 Windsor St, 325 Windsor St, 324 Windsor St, 322 Windsor St, 315 Windsor St.
- Other Streets:** 3 Union Ter, 4 Union Ter, 2 Union Ter, 31 Union St, 34 Union St, 32 Union St, 30 Union St, 28 Union St, 26 Union St, 24 Union St, 22 Union St, 20 Union St, 18 Union St, 14 Union St, 12 Union St, 93 Plymouth St.

Yellow shaded lots include: 79-100, 79-99, 79-139, 79-50, 79-51, 79-143, 79-142, 79-113, 79-114, 79-59, 79-58, 79-57, 79-56, 79-93, 79-92, 79-89, 79-91, 79-98, 79-97, 79-99, 79-81, 79-82, 79-83, 79-86, 79-87, 79-88, 78-39, 78-38, 78-37, 78-52, 78-123, 77-85, 77-5, 77-81, 77-82, 77-38, 77-24, 77-66, 77-63, 77-37.

A red line outlines a proposed project area, and blue arrows point to specific lots within this area. A blue line outlines a specific block.

24 Union St.

Petitioner

79-114
TOME, MARIA A LIFE ESTATE
105 HAMPSHIRE ST
CAMBRIDGE, MA 02139

79-113
FINN, ANN MARGARET & ALONSO GUZMAN
107 HAMPSHIRE ST.
CAMBRIDGE, MA 02139-1505

LUNA DESIGN GROUP
C/O JOSEPH LUNA
100 CONIFER HILL DRIVE - SUITE 406
DANVERS, MA 01923

79-62
MINERVINO, JOHN S.
2344 WASHINGTON ST.
P.O. BOX 620031
NEWTON, MA 02462

79-57
THOMPSON, DORIAN
20 UNION ST
CAMBRIDGE, MA 02141

79-59
LIN, LIN
24 UNION ST., #24A
CAMBRIDGE, MA 02141

79-60
MCDONALD, J. COOPER &
26 UNION ST
CAMBRIDGE, MA 02141

79-62
CAMBRIDGE AFFORDABLE HOUSING CORP.
C/O CAMBRIDGE HOUSING AUTHORITY
362 GREEN ST., 3RD FLOOR
CAMBRIDGE, MA 02141

79-62
BIANCIARDI, MARTA
30 UNION ST, #5
CAMBRIDGE, MA 02141

79-62
BRUM, CESAR
30 UNION ST., UNIT #6
CAMBRIDGE, MA 02141

79-86
ANTHONY, BRIAN W.
347 WINDSOR
CAMBRIDGE, MA 02141-1339

79-51
STEIN, MATTHEW S.
25 UNION STREET
CAMBRIDGE, MA 02141-1331

79-58
HRYCYNIA, ANDREW J. & ALICE W. FLAHERTY
22 UNION ST.
CAMBRIDGE, MA 02141

79-62
LACEY, WILLIAM J. & MARCIA A. HERN-LACEY
30 UNION ST., #2
CAMBRIDGE, MA 02141

79-89
BURKE, DANIEL E., JR., PAUL G. STELLA M.,
BURKE REALTY TRUST
325-327 WINDSOR ST
CAMBRIDGE, MA 02141-1339

79-92
BOSEWELL, MARVINE & MARY LOUISE BOSWELL,
TRS. M & M BOSWELL REALTY TRUST
C/O ROBERT BOSWELL
789 LINCOLNVILLE AVE
SEARSMONT, ME 04973

79-62
MA, YUCI
30 UNION ST., #4
CAMBRIDGE, MA 02141

79-83
CREATIVE PROPERTIES ON CENTRE, LLC
56 JUNIPER RD
BELMONT, MA 02478

79-61
HADUCH NATHANIEL
28 UNION ST
CAMBRIDGE, MA 02141

79-93
RUIZ, ERIC EMILY RUIZ
99 HAMPSHIRE ST
CAMBRIDGE, MA 02139

79-87
GUILHERME, JOAO JR & EVA GUILHERME
TRS GUILHERME FAMILY REVOCABLE TR
337 WINDSOR ST
CAMBRIDGE, MA 02141

79-88
FARINA RICHARD JR
TRS. FARINA IRREV INCOME ONLY TRUST
2 ISABELLA LN
BEDFORD, MA 01730

79-50
WAHL, SARAH J. & ERIC M. WAHL
27 UNION ST
CAMBRIDGE, MA 02141