



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

 2022 AUG 29 PM 12:19
 OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 188958

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: XVariance: X

Appeal: _____

PETITIONER: Lin Lin C/O Joseph Luna, AIA - Luna Design Group: Project Architect

PETITIONER'S ADDRESS: 100 Conifer Hill Drive , Danvers, MA 01923

LOCATION OF PROPERTY: 24 Union St , Cambridge, MATYPE OF OCCUPANCY: Multi-Family TownhouseZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Additions/ /Parking/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To convert the existing hip roof into a gable roof with dormers and windows on all four sides. To park within the front yard setback.

Special Permit: To create 2 curb cuts.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 6.000	Section: 6.43 (Curb Cuts).
Article: 6.000	Section: 6.44.1.c (Front Yard Parking).
Article: 8.000	Section: 8.22.3 (Non-Conforming Structure).
Article: 10.000	Section: 10.30 (Variance) & Sec. 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

JOSEPH LUNA, PA for

(Print Name)

Lin Lin

Address:

100 CONIFER HILL DR #406
DANVERS, MA 01923

Tel. No.

781-245-6530 ext. 14

E-Mail Address:

jluna@lunadesign.com

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Lin Lin
(OWNER)

Address: 24 Union street Cambridge MA 02141

State that I/We own the property located at 24 Union street Cambridge
which is the subject of this zoning application. MA 02141

The record title of this property is in the name of Lin Lin

*Pursuant to a deed of duly recorded in the date August 8, Middlesex South
County Registry of Deeds at Book 80097, Page 530; or
Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____

\$ 8/8 2022
SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Washington County of King

The above-name Lin Lin personally appeared before me,
this 8 of August, 2022, and made oath that the above statement is true.

Notary

My commission expires October 11, 2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The appellant is trying to improve and enhance an existing dilapidated property by providing more interior offerings within the existing building footprint. To achieve this, the appellant is requesting zoning relief to build over the existing single floor building elements, and to completely rebuild the roof as necessary to gain more unit area. The existing building is nonconforming to current zoning bylaws and literal enforcement of the requested relief would preclude the appellant from making these improvements. To make the such a substantial investment into the property without the requested additional area would be a financial hardship for the appellant.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The appellant is renovating and adding to an existing nonconforming structure, The proposed addition does not add to the building footprint. The inability to conform to current zoning bylaws is due to the hardship of the existing site shape and building footprint.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

There is no substantial detriment to the public because:
There is no increase in building size/density.
This is a continuation of a preexisting permitted use.
There is no increase in the building footprint.
There is no increase in the building height/stories.
There is no further encroachment into the required site setbacks than the existing building footprint.
Additional off-street parking will be provided where there is none.
The building will be fully sprinklered as part of these improvements which is a significant lifesafety improvement to the neighborhood as a whole.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

There is no nullifying or substantially derogating from the intent from the intent or purpose of this Ordinance because:
The addition and subsequent area increase are within the existing building footprint.
There is no increase in the building size/ density
This a continuation of a preexisting permitted use.
There is no increase in building height/ stories.
There is no further encroachment into the required site setbacks than the existing building footprint.
Hardship is due to existing site and building shape.

Attachment to ZBA Application

24 Union Street, Cambridge MA
BZA Number 18858
August 25, 2022

Special Permit: To create 2 curb cuts.

Brief description of work that requires Special Permit relief?

Per the City of Cambridge Zoning Ordinances:

6.43.3.C *No more than one curb cut per lot for lots with less than one hundred (100) feet of frontage shall be allowed. A maximum of one curb cut for every one hundred (100) feet of street frontage or portion thereof shall be allowed for lots having frontage in excess of one hundred feet.*

6.43.5 *The Board of Zoning Appeal may grant a special permit modifying the provisions of this subsections 6.43 in accordance with the following conditions:*

c) *The maximum of one curb cut for every one hundred (100) feet of street frontage as required in paragraph 6.43.3 (c) may be modified if the Board determines that traffic and safety would be facilitated by exceeding this maximum.*

There is currently no off-street parking available and no room for a perpendicular driveway to the rear yard. To provide a minimum of two off street parking stalls, the applicant is proposing two tandem parking stalls parallel to the front property line and the primary structure. Two curb cuts are necessary to provide access to these stalls. Frontage is less than 100 feet requiring a Special Permit for this work.

Requirements of the Ordinance can or will be met for the following reasons:

The existing front/ street property line is 66.5 feet. Per the City of Cambridge Zoning Ordinances, The two curb cuts provides access to two off-street parking spaces currently not available. The distance between the two curbs is also adequate to provide two on-street parking spaces for a net increase of one parking space. The applicant believes that traffic and safety are not compromised as a result of the additional curb cut.

Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

See notations above.

The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The additional curb cut increases the amount of available on and off-street parking then the existing site condition and does not adversely affect the use of the existing and adjacent uses.

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

See notations above.

For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

See notations above.

Date: _____

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		4129	7242	4745	(max.)
<u>LOT AREA:</u>		6327	6327 No Change	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		4129	7242	4745	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2109	2109	1500	
<u>SIZE OF LOT:</u>	WIDTH	66.5	No Change	50	
	DEPTH	N/A	No Change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	10.3	10.3 No Change	2.15	
	REAR	30.6	30.6 No Change	23.15	
	LEFT SIDE	3.6	3.6 No Change	16.27	
	RIGHT SIDE	4.0	4.0 No Change	16.27	
<u>SIZE OF BUILDING:</u>	HEIGHT	33.83	33.83 No Change	35	
	WIDTH	58.8	58.8 No Change	No Change	
	LENGTH	47.9	47.9 No Change	No Change	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		2827	2973	1898	
<u>NO. OF DWELLING UNITS:</u>		3	3	3	
<u>NO. OF PARKING SPACES:</u>		0	2 tandem	3	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Date: _____

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES**BZA Application Form**

2022 SEP 33 A 10:52

DIMENSIONAL INFORMATION

Applicant: Lin Lin
Location: 24 Union St., Cambridge, MA
Phone: 781-245-6530 ext. 11

Present Use/Occupancy: Multi-Family Townhouse
Zone: Residence C-1 Zone
Requested Use/Occupancy: Multi-Family Townhouse

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		4129	7242	4745	(max.)
<u>LOT AREA:</u>		6327	6327 No Change	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		65%	114%	75%	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2109	2109	1500	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	66.5	No Change	50	
	<u>DEPTH</u>	97.3	No Change	No Dimension Provided in Table 5-1	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	10.3	10.3 No Change	2.15	
	<u>REAR</u>	30.6	30.6 No Change	20.0	
	<u>LEFT SIDE</u>	3.6	3.6 No Change	16.27	
	<u>RIGHT SIDE</u>	4.0	4.0 No Change	16.27	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	33.83	33.83 No Change	35	
	<u>WIDTH</u>	58.8	58.8 No Change	No Change	
	<u>LENGTH</u>	47.9	47.9 No Change	No Change	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		47%	47%	30%	
<u>NO. OF DWELLING UNITS:</u>		3	3	3	
<u>NO. OF PARKING SPACES:</u>		0	2 tandem	3	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

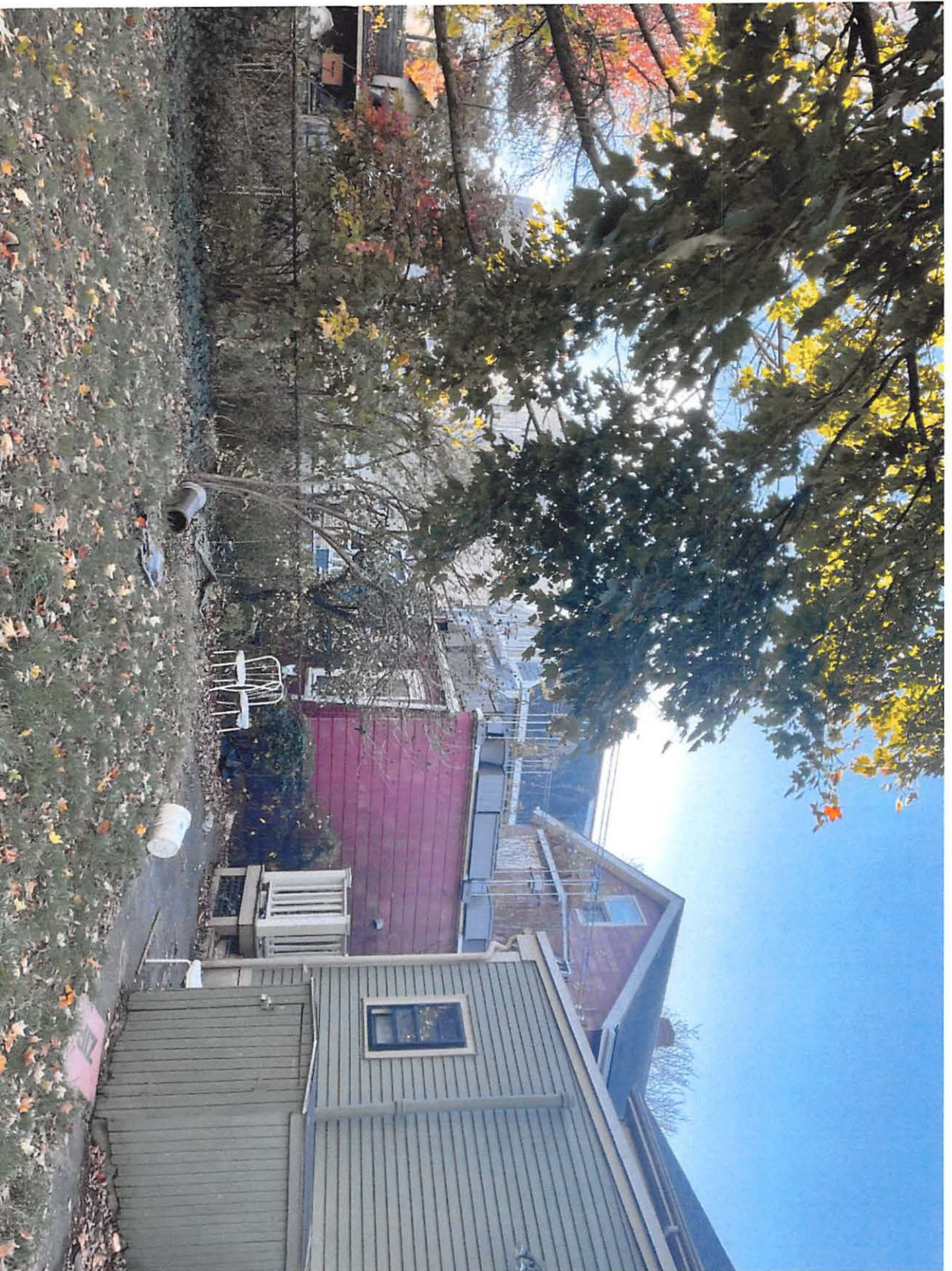
Name: Lin Lin (Print) Date: 9/21/2022

Address: 24 Union St.

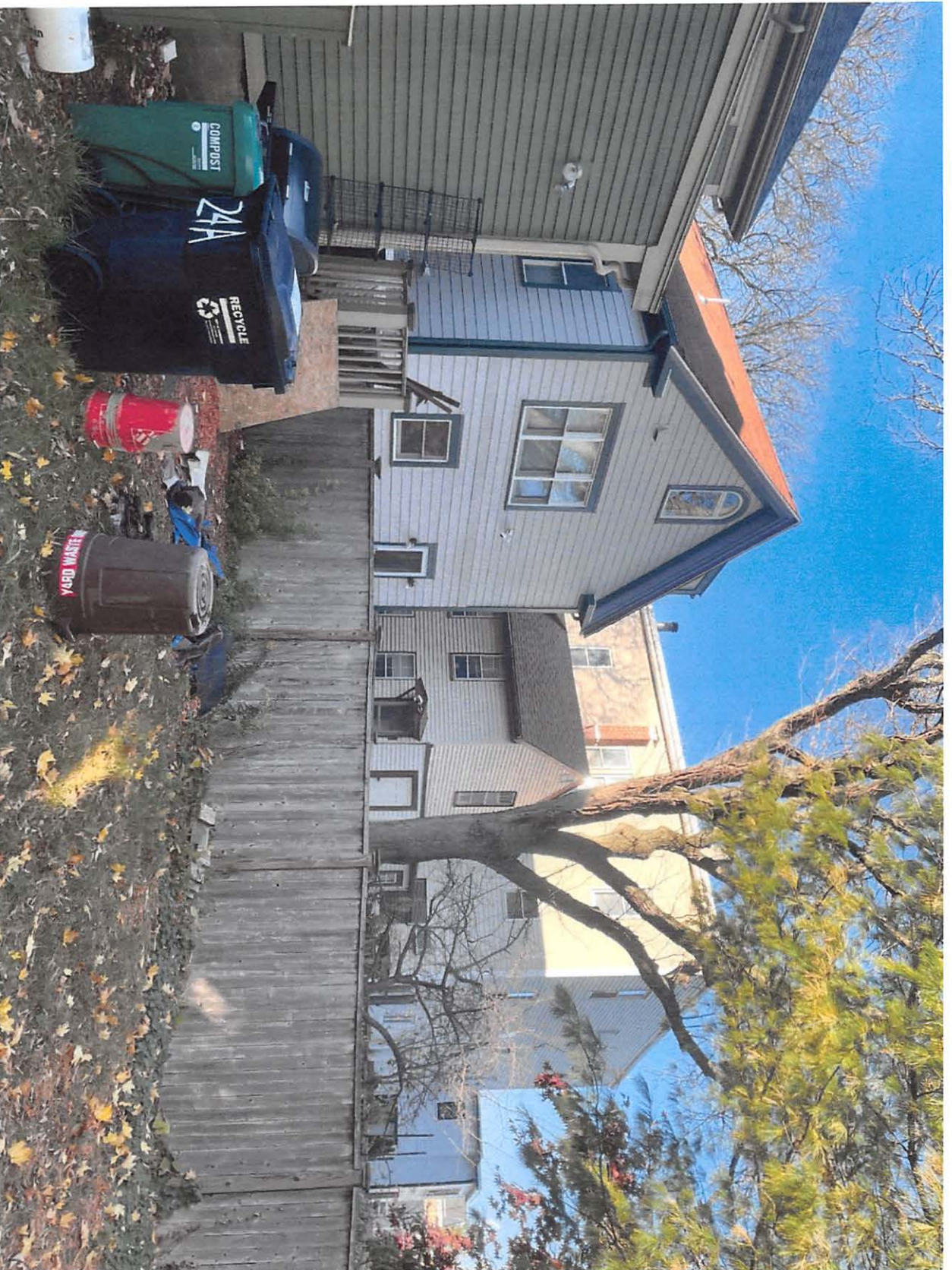
Case No. BZA-188958

Hearing Date: 10/6/22

Thank you,
Bza Members



24 UNION STREET – REAR YARD LOOKING SOUTH



24 UNION STREET – REAR YARD LOOKING NORTH



24 UNION STREET – REAR YARD LOOKING NORTHWEST



24 UNION STREET – REAR YARD LOOKING SOUTHEAST

Ratay, Olivia

From: marciaamyhern@gmail.com
Sent: Thursday, October 6, 2022 1:00 PM
To: Ratay, Olivia; Singanayagam, Ranjit
Subject: Fwd: BZA 188958

Forwarding as got out of office from Maria. Best,
Marcia

Begin forwarded message:

From: Marcia Hern <marciaamyhern@gmail.com>
Date: October 6, 2022 at 12:55:11 PM EDT
To: mpacheco@cambridgema.gov
Subject: BZA 188958

Hello,

I am writing in opposition to part of the appeal of changes to 24 Union St. I see no reason as to why they are not able to add a gabled roof to the main structure of the house to add third floor living. I am in opposition to adding a second and third floor to the rear addition. This would block and shade along with towering over the yards of the many small lots adjacent to 24 Union. In addition I am fearful that it would require cutting down or damaging a very mature tree located at 26 Union which provides shade to the properties at 28 & 30 Union Street. This lot like, so many on our street is built extremely close to the neighboring properties. While I am the third property to 24 Union Street I would guess their lot is less than 150-200 feet from my house.

While I am not necessarily opposed to the curb cuts request I would like the board to get details as to where/how cars to park as there is very little frontage on the property. I don't see in the proposal where cars would park. If they can explain to the board in a satisfactory way that a car of a normal size will not block sidewalk parking or impede existing street parking I would not be against the curb cuts. Sorry for the 12th hour delay-planned to attend meeting but realized I have conflicting PTO meeting for which as a new board member I cant miss.

Thank You,
Marcia Hern-Lacey
30 Union St, Ap2

✓

Ratay, Olivia

From: Flaherty, Alice W.,MD, PhD <Flaherty.Alice@mgh.harvard.edu>
Sent: Sunday, October 16, 2022 11:29 PM
To: Ratay, Olivia
Subject: FW: BZA case 188958. Comments from an abutter of 24 Union St.

Dear Olivia Ratay,

I got an out-of-office message when I sent the following email to Maria Pacheco. Can you make sure my comments are distributed to the appropriate people in time for the zoning board meeting? In addition, can you tell me when it will be rescheduled? See below.

Alice Flaherty

From: "Pacheco, Maria" <mpacheco@cambridgema.gov>
Date: Sunday, October 16, 2022 at 11:20 PM
To: Alice Flaherty <Flaherty.Alice@mgh.harvard.edu>
Subject: Automatic reply: BZA case 188958. Comments from an abutter of 24 Union St.

External Email - Use Caution

I am currently out of the office and will return on October 19, 2022. If you need Zoning Assistance please call 617-349-6100 and ask for Olivia Ratay or email her at oratay@cambridgema.gov or ask for Commissioner Ranjit Singanayagam or email him at ranjits@cambridgema.gov.

Thank you.

Dear Zoning Board,

My family and I live at 22 Union St, and are the southern abutters of the 24 Union St. construction project, BZA case 188958. It was originally scheduled to be discussed on October 6, but during the meeting you announced that it would move to Thursday November 17. However we don't see a BZA meeting on the Cambridge Calendar for any Thursday that month. How can we attend the hearing?

We have four concerns.

1. **Third story dormer additions.** Our attic story, where my daughters sleep, has a stairwell window that looks out on trees and the slanting hip roof of 24 Union. Their plans would add long double-wide dormers to the east and west roof that would remove our window's view of the trees. They would also change the shallow roof to a vertical gable end wall less than six feet from our own north wall. The gable wall would have two windows looking directly into our window. Either we would need to make our window opaque, or every time my

daughters go downstairs, they would have to make sure they are dressed for public viewing. We might have been willing to negotiate about this design, but no one from the project has ever tried to contact us. I found their drawing plans on the BZA website (<https://www.cambridgema.gov/-/media/Files/inspectionalservicesdepartment/bzadocuments/24unionstbza188958documents.pdf>), and have superimposed the relevant part on a photo of the current view out our window, below.



2. **Fencing is not specified.** Gentrifiers in East Cambridge typically install high white plastic fences that block neighborly sociability and decrease airflow around plants. When I first moved to Cambridge in 1981, I admit I thought our chain-link fence was tacky. But its low profile has allowed us to meet all our neighbors. We have made wonderful friends that way. Fences that impair backyard interactions detract from a sense of community.
3. **The additions wouldn't help the housing crisis.** The proposed plans double the size of each unit, but still have only three bedrooms. Instead, they use the extra space for non-essential things like upstairs wet bars, sitting areas, and TV rooms.
4. **The three-story additions over the kitchens would block neighbors' views of greenery.** Our house and several other neighbors have second and third floor roof decks from which we can see trees in six or seven back yards. I am often on my roof deck for hours at a time, working from home, exercising, or gardening. The view is the nicest part of being on the deck. If the 24 Union one-story kitchens become three stories high, they would almost completely block our longest vista. (See photo below.) For northern abutters, the three-story addition would dramatically block direct sunlight.

In addition, the former tenants at 24 Union often used their kitchen roofs as decks, and that is how I met and got to know them. They gave us great sourdough starter; we gave them currants and strawberries they grew on their roof. The current construction plans would replace human interaction with high walls. Why not make roof decks which would preserve the open, friendly character of the neighborhood?



Alice Flaherty
aflaherty@partners.org
cell 857-204-9964

The information in this e-mail is intended only for the person to whom it is addressed. If you believe this e-mail was sent to you in error and the e-mail contains patient information, please contact the Mass General Brigham Compliance HelpLine at <https://www.massgeneralbrigham.org/complianceline> .

Please note that this e-mail is not secure (encrypted). If you do not wish to continue communication over unencrypted e-mail, please notify the sender of this message immediately. Continuing to send or respond to e-mail after receiving this message means you understand and accept this risk and wish to continue to communicate over unencrypted e-mail.

Pacheco, Maria

From: JCOOPER MCDONALD <jcoopermcdonald@comcast.net>
Sent: Wednesday, November 9, 2022 7:12 PM
To: Pacheco, Maria
Subject: 24 Union Street Appeal

Dear Board of Zoning Appeal,

I am the owner/resident of 26 Union Street, which directly abuts the three units at 24 Union Street. I was unable to attend the previous meeting for this appeal and was not aware of the extent of the plans contemplated until recently. My neighbor did not reach out to me to discuss these plans prior to submission or approach me about signing a letter of support, even though we had previously discussed other potential renovations and parking solutions and even though my property will be the one most affected (I also note that none of the letters of support were signed by any of the neighboring properties). The notice further only indicated a change in the roof to be gabled and a request for curb cuts. The notice did not indicate that my neighbor intended to raise single story structures off the back of the house with fairly flat roofs to full three story structures. I am happy for her to update the property, but I am opposed to this increase in height on those portions of the property as it would shade my property unduly and also raises privacy concerns as more windows would be directly overlooking my yard and my neighbors' yards.

I have received a copy of a "shadow study" from the owner's architect. I am not aware of how these are normally done, but it shows projected shadows at sunrise, sunset, and midday. The study was presented in a way that minimizes any impact on my property (I am assuming this is a standard ploy). Obviously, in a high density residential neighborhood, everything is in shadow at sunrise and sunset, so those renderings show nothing. The midday renderings, however, show that the back of my house will be considerably more shaded, and midday is when shadows are the least because the sun is highest. When the sun is lower in the sky, the effect will be magnified. Parts of my yard that receive sun now would no longer do so under the proposed addition. I have communicated this concern to the owner.

I believe there are other options to improve my neighbor's property without impacting my property. The basement could be renovated into living space, as was done in many houses in the neighborhood. There is also deck space that could be turned into single story living space. In addition, the increase in space, per the plans, is not supposed to increase the number of residents, so perhaps a less ambitious increase in space is warranted. For example, a single three-bedroom unit may not need two kitchens, two studies, two washers and dryers, and six bathrooms.

In addition, I am concerned about the parking in front of the house. Generally, I am all for adding parking in the neighborhood. From the plans, however, the curb cuts would require removal of two city trees. Will this removal be mitigated? I am also concerned because it appears that the curb cut would partially extend in from of my property, and there is a giant city tree only a few feet away in front of my house. How will the curb cut impact that tree? The sidewalk has already been replaced with blacktop because of the tree. How will the new driveway impact that? There is also only 10 feet from the 24 Union foundation to the sidewalk. From the plans, there are stairs extending from the foundation towards the sidewalk. This makes me concerned that the cars will end up blocking the sidewalk because there isn't enough room to open doors next to the house.

Thank you for your consideration.

Sincerely,

J. Cooper McDonald

Pacheco, Maria

From: Nathaniel Haduch <nathaniel.haduch@gmail.com>
Sent: Friday, November 11, 2022 1:58 PM
To: Pacheco, Maria
Subject: 24 Union Street Appeal - Health concerns

Dear Board of Zoning Appeal,

I am the owner/resident of 28 Union Street, which sits just feet from 24 Union Street. I have not been notified about the plans for 24 Union Street until very recently - my neighbor did not reach out to me to discuss these plans prior to submission or approach me about signing a letter of support. I am opposed to any daytime construction at this time, as I have been seriously impacted by this in the past and have health issues that warrant further consideration.

External increase of the space will cause me to need to move from my home at 28 Union Street, which I purchased just two years ago. This is unacceptable to me. I have been working from home since I've moved in, and neighborhood construction has been extremely harmful to me and my neighbors in the last couple years. Without a place to go during the day, the noise from the construction is simply too much to handle.

Please do not allow the lives of our Wellington-Harrington neighbors to be ruined by this scourge. We need our sleep and our quiet in these uncertain times. Don't make me relocate because of this unnecessary construction.

Thank you for your consideration.

Sincerely,

Nathaniel Haduch

Nov 13 2022

Members of the Board,

I am writing to provide comments on BZA case 188958 regarding 24 Union St. My family and I have lived at 27 Union St for the past 10 years and now have two young children who walk and ride bikes on the street and sidewalks so traffic and safety are two concerns of mine.

I am supportive of the plan to renovate and expand the structure and I agree with other commenters that the design is attractive and compatible with scale and context of the surrounding homes. However, I am not supportive of the plan for the two curb cuts and the front yard parking for many reasons which I describe more below. Having read though the zoning regulations I have identified several issues with the parking and curb cut aspects of the proposal that are not adequately addressed.

One of my concerns is the impact on the neighborhood of paving what is now a yard with some shrubs and the removal of two significant (greater than 6 in) trees which is discouraged by 6.47.3. Losing this space would negatively impact our densely populated area since street facing open space and mature trees are not abundant.

Regarding the driveway and parking spots, the 8'4" proposed width is narrower than the 10ft set out in section 6.43.4 which in itself does not impact the neighborhood, but is a contributing factor to the issues below. While the front yard parking section of 6.44.1c is mentioned, sections 6.44.1a and 6.44.1b are also involved since the narrow driveway/parking area would not be set back 5ft from either the building wall or the property line. In addition, there is no mention in the proposal of how or if the separation between the parking area and the sidewalk required by Section 6.44.7 would be accomplished. In this case I think it is important to demarcate the parking space from the narrow sidewalk. Due to the narrowness of the driveway/parking spots, if a separation, say a fence, were built I question whether it is realistic for someone to be able to maneuver even a small car from the street into the parking spots without hitting the fence and/or house. This seems to go against section 6.43 and cars spending time struggling to park in these circumstances would be spending time impinging on the sidewalk and street, potentially impacting traffic and pedestrian safety. It is also worth mentioning that this issue would be exacerbated in the winter following snow storms since usable driveway space will be further reduced. I don't know if it is something that this board considers, but I'm concerned that this proposal would lead to the residents having no place to pile snow shoveled from the sidewalk and the newly created driveway and parking spots since the front yard where residents of 24 union currently put their snow will have virtually disappeared. This could lead to snow being shoveled into the street out of frustration where it would impact traffic.

Regarding the second curb cut, section 6.43.5c allows for special permits if the second cut would "facilitate" traffic and safety. The petition only asserts that traffic and safety would "not be compromised." This seems to me to be a lower standard and one which I do not think is met for all of the reasons set out above.

I would also like to note two inaccuracies in the petition regarding the curb cuts and front yard parking. First the petition states that the total amount of open space would not be changed, but under the proposal nearly the entire front setback would be changed from yards to driveways and parking. My understanding from the definitions in the zoning regulations, is that this should no longer be counted as open space, which as I mentioned above is a rare and valuable thing in our neighborhood's front yards. Secondly, the petition states that two on-street parking spaces will be available between the curb cutout and that there will be "increased on-street parking." This is not the case since no parking is allowed on the even numbered side of the street. While these mistakes are not the primary basis of my objections, they do indicate a basic lack of familiarity with the neighborhood which concerns me since there are other assertions in the petition about impacts to traffic, safety, and neighborhood character.

I sincerely understand the desire for the owner to have off-street parking and admit that my position could be seen as hypocritical since I am fortunate enough to have off-street parking on my property. However, it seems like the proposed front yard parking arrangement is not consistent with the letter or spirit of the several different regulations designed to protect the safety, livability, and character of our neighborhood. While any one of these issues might be able to be mitigated, taken together they are significant enough that I urge the board to not approve the front yard parking. I also urge the board to approve the other proposed changes and wish the owner the best of luck with the renovation.

Eric Wahl

27 Union St



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2022 OCT 19 PM 2:14
CITY OF CAMBRIDGE
CLERK OF THE BOARD

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-188958

Address: 24 Union Street

☐ Owner, ☐ Petitioner, or ☒ Representative: Joseph Luna
(Print Name)

hereby waives the required time limits for holding a public hearing as required by
Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts,
Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☐
Representative further hereby waives the Petitioner's and/or Owner's right to a
Decision by the Board of Zoning Appeal on the above referenced case within the time
period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of
Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the
federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C.
§1455(a), or any other relevant state or federal regulation or law.

Date: 10/11/22

Joseph Luna
Signature

* * * * *

(9:15 p.m.)

Sitting Members: Brendan Sullivan, Andrea A. Hickey, Wendy
Leiserson, Slater W. Anderson, and Matina
Williams

BRENDAN SULLIVAN: Let me call Case No. 188958 --
24 Union Street.

JOSEPH LUNA: Yes, Board. Can you hear me?

BRENDAN SULLIVAN: Yes.

JOSEPH LUNA: Okay. Very good. Good evening,
Board. Thank you for hearing our case. My name is Joseph
Luna. I am the Principal of Luna Design Group Architects at
100 Conifer Hill Drive in Danvers. We are the Project
Architect for this, and I'm speaking on behalf of my client,
Ms. Lin Lin, who's also here today.

The project in question --

BRENDAN SULLIVAN: I'm sorry, before you begin,
are you aware that there is correspondence that just came in
from Marcia Hern -- H-e-r-n -- dated today. And let me read
it just so that you know.

"I am writing in opposition to part of the appeal
of changes to 24 Union Street. I see no reason as to why

1 they are not able to add a gabled roof to the main structure
2 of the house, to add third floor living.

3 "I am in opposition to adding a second and third
4 floor to the rear addition. This would block and shade
5 along with towering over the yards of the many small lots
6 adjacent to 24 Union.

7 "In addition, I am fearful that it would require
8 cutting down or damaging a very mature tree located at 26
9 Union which provides shade to the properties at 28 and 30
10 Union.

11 "This lot, like so many on our street, is built
12 extremely close to the neighboring properties. While I am
13 the third property to 24 Union Street, I would guess their
14 lot is less than 150 to 200 feet from my house.

15 "While I am not necessarily opposed to the curb
16 cut request, I would like the Board to get details as to
17 where or how cars would park, as there is very little
18 frontage on the property. I don't see in the proposal where
19 cars would park.

20 "If they can explain to the Board in a
21 satisfactory way that a car of a normal size will not block
22 sidewalk parking or impede existing street parking, I would

1 not be against the curb cuts.

2 "Sorry for the twelfth-hour delay. I planned to
3 attend the meeting, but realized I have a conflicting PTO
4 meeting, for which as a new Board member I cannot miss.

5 "Thank you, Marcia Hern-Lacey

6 "30 Union Street, Apartment 2."

7 I don't know if you are aware of that letter or
8 not.

9 JOSEPH LUNA: If it just showed up, no, I'm not.

10 BRENDAN SULLIVAN: Yeah, okay. It's the second
11 and third floor rear additions and --

12 JOSEPH LUNA: Okay.

13 BRENDAN SULLIVAN: -- I don't know if there is no
14 shadow study and the other members of the Board, I guess
15 shall we proceed with it? Should the petitioner be allowed,
16 or should the petitioner address that concern?

17 I guess what I'm asking is whether or not we
18 should go forward as a case heard, or that it should be
19 continued, and have the petitioner address that particular
20 issue or two raised by the letter that just came in. The
21 parking, I think, has been addressed, because that is on the
22 drawing. It's the second and third floor addition.

1 Andrea, any thoughts on that?

2 ANDREA HICKEY: Yeah. I think we should give the
3 petitioner time to address those issues in the record.

4 BRENDAN SULLIVAN: Okay.

5 JOSEPH LUNA: Okay.

6 BRENDAN SULLIVAN: Wendy?

7 WENDY LEISERSON: I concur.

8 BRENDAN SULLIVAN: Okay, Slater?

9 SLATER ANDERSON: Agreed.

10 BRENDAN SULLIVAN: And Matina?

11 MATINA WILLIAMS: Also agree.

12 BRENDAN SULLIVAN: All right. And I guess I would
13 agree. So I guess, Mr. Luna, I guess what we're asking is
14 that a -- what we consider a serious issue that has been
15 raised by the petitioner regarding the effect of the
16 addition on the back and whether or not a shadow study would
17 be appropriate to address whether the concern is valid or
18 not.

19 The issue with going forward tonight and then
20 continuing it, which seems that the Board would want to do,
21 because it may not be able to get the adequate information
22 because you may not have it --

1 JOSEPH LUNA: A shadow study has not been
2 prepared.

3 BRENDAN SULLIVAN: -- right; is that it would be a
4 case heard, which means that it would have to get kicked
5 off.

6 JOSEPH LUNA: Can I -- the abutter with the
7 question about the amount of shadow, what addresses that?

8 BRENDAN SULLIVAN: The -- I'm sorry, the abutter
9 -- what was it?

10 JOSEPH LUNA: The abutter who just raised this
11 issue --

12 BRENDAN SULLIVAN: Yes, raised the issue about --

13 JOSEPH LUNA: -- about the shadows --

14 BRENDAN SULLIVAN: Yeah, block and shade along --

15 JOSEPH LUNA: All right, this is the first time I
16 heard of this concern, so I'd just like to have the name of
17 the abutter and the address, please.

18 BRENDAN SULLIVAN: Yeah. It's Marcia Hern; H-e-r-
19 n-Lacey, L-a-c-e-y, 30 Union Street, Apartment 2. And the
20 letter is in the file part of the record. It can be sent to
21 you, obviously, if you request it from the Staff.

22 JOSEPH LUNA: Yeah. I would just like to see in

1 proximity to 24 Union where 30 Union is, and is there any
2 net effect on the shadow study. That's my reason why I'm
3 asking for the address.

4 BRENDAN SULLIVAN: Right. Yep. So going back to
5 my statement is that if we open it up and the Board does
6 feel that information is necessary --

7 JOSEPH LUNA: Well, I think what is going to
8 happen -- it's been a long night so far -- is that we're
9 going to go through the next half-hour and then you're going
10 to come back to ask me the same question that we don't have
11 the answer for, right?

12 BRENDAN SULLIVAN: That's right. And then you
13 would have to reassemble the same five members, which kicks
14 it off into December. What would be the next date -- when
15 in the end of, where are we?

16 [Pause]

17 Yeah. I was going to say 11. 11 -- November 17
18 would be the next available date, as opposed to kicking it
19 off into December.

20 JOSEPH LUNA: Okay. And the shadow study would
21 have to be submitted by when, sir?

22 BRENDAN SULLIVAN: By the Monday -- 5:00 p.m. on

1 the Monday prior to the seventeenth.

2 JOSEPH LUNA: Okay. What we can do is we can do
3 this either through a Rabbit model or Google Sketch. I'll
4 prepare a shadow study for what the current condition is in
5 diagrammatic form, and then what the proposed condition is.

6 BRENDAN SULLIVAN: All right. And then I would
7 have conversation with Ms. Hern Lacey.

8 JOSEPH LUNA: Okay.

9 BRENDAN SULLIVAN: Let me make a motion, then, to
10 continue this matter to November 17, 2022, on the condition
11 that the petitioner change the posting sign to reflect the
12 new date of November 17, 2022, and the new time of 6:00 p.m.

13 That any changes to the current petition
14 that's in the file -- any changes be in the file by 5:00
15 p.m. on the Monday prior to the November 17 date.

16 That the petitioner -- would ask the petitioner to
17 sign a waiver to the statutory requirement for a decision --
18 for a hearing and a decision to be rendered thereof.

19 We would ask the petitioner to sign such waiver,
20 and that it be returned by no later than one week from
21 tonight, and then I would also ask the petitioner to provide
22 a shadow study addressing the concern of an abutter or a

1 neighbor regarding the addition on the back, second and
2 third floor.

3 Anything else, Board, that is -- should be
4 required?

5 [Pause]

6 So on the motion, then, to continue this matter to
7 November 17, Andrea Hickey?

8 ANDREA HICKEY: Yes, in favor.

9 BRENDAN SULLIVAN: Wendy Leiserson?

10 WENDY LEISERSON: Yes, in favor.

11 BRENDAN SULLIVAN: Slater Anderson?

12 [Pause]

13 Slater's on mute.

14 BRENDAN SULLIVAN: Sorry, I couldn't find my
15 screen. There we go. Slater, on the motion to continue?

16 SLATER ANDERSON: Yeah. I'm in agreement on
17 continuing.

18 BRENDAN SULLIVAN: And Matina Williams?

19 MATINA WILLIAMS: Yes, in favor.

20 BRENDAN SULLIVAN: And Brendan Sullivan yes.

21 [All vote YES]

22 Five affirmative votes; the matter is continued to

1 November 17. And again, just, Joe if you would get that
2 waiver in by a week from tonight.

3 JOSEPH LUNA: Okay, we can --

4 BRENDAN SULLIVAN: And you can get it -- yep.

5 JOSEPH LUNA: -- getting the form for the waiver,
6 where is that? Off of your --

7 BRENDAN SULLIVAN: Olivia will send it to you.

8 JOSEPH LUNA: Olivia will e-mail it to me.

9 BRENDAN SULLIVAN: Yes.

10 JOSEPH LUNA: Okay.

11 BRENDAN SULLIVAN: Yep.

12 JOSEPH LUNA: All right. Thank you for your time.

13 Sorry I missed dinner with my family, but --

14 BRENDAN SULLIVAN: Not at all. Yep. See you
15 then.

16 JOSEPH LUNA: We'll see you on the seventeenth.

17 Bye-bye.

18 BRENDAN SULLIVAN: All right. Thank you.

19

20

21

22

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Project:

**The Residences At
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Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

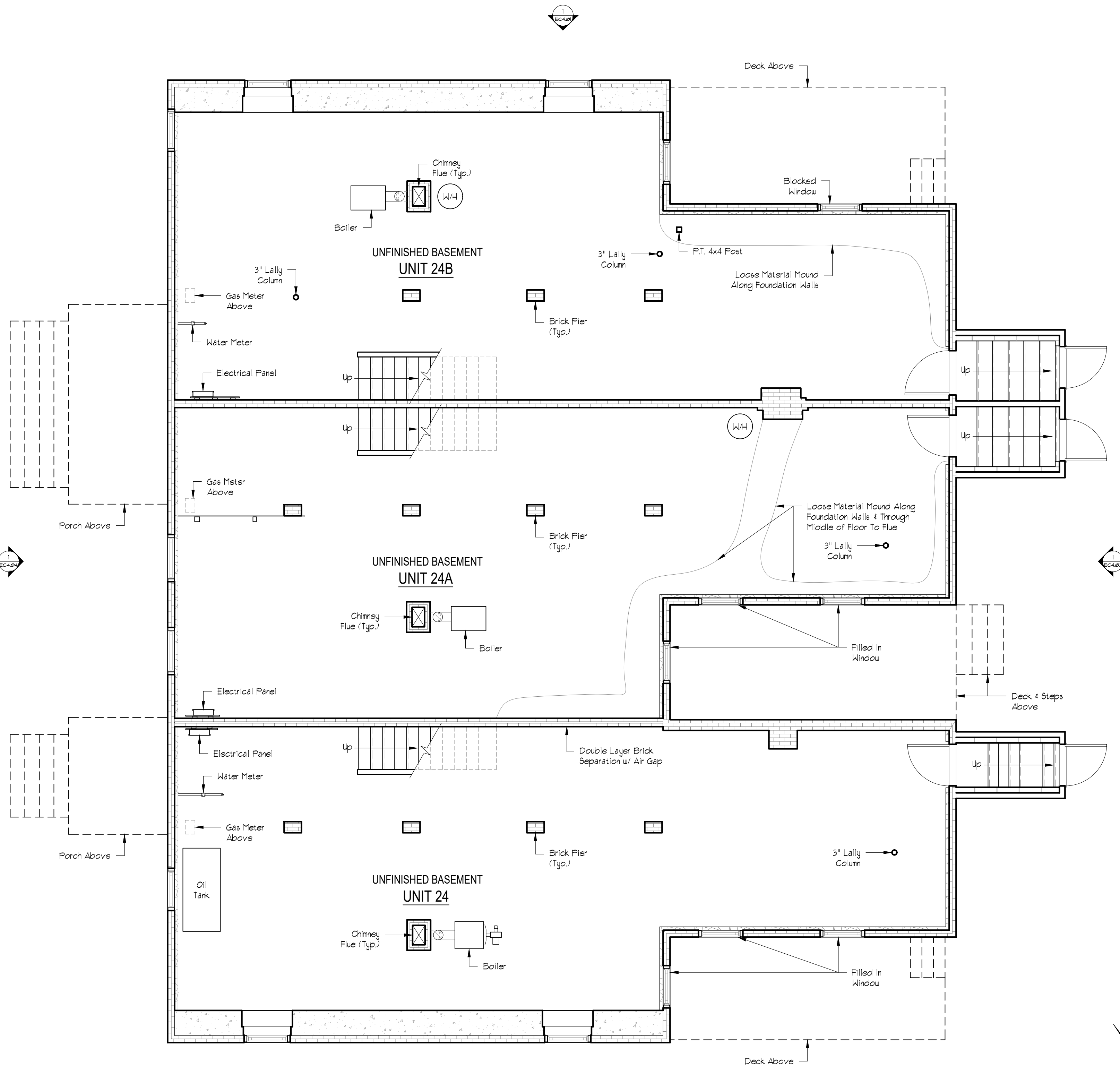
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**Existing
Basement Plan**

Sheet Number:

EC1.00

1 Existing Basement Plan
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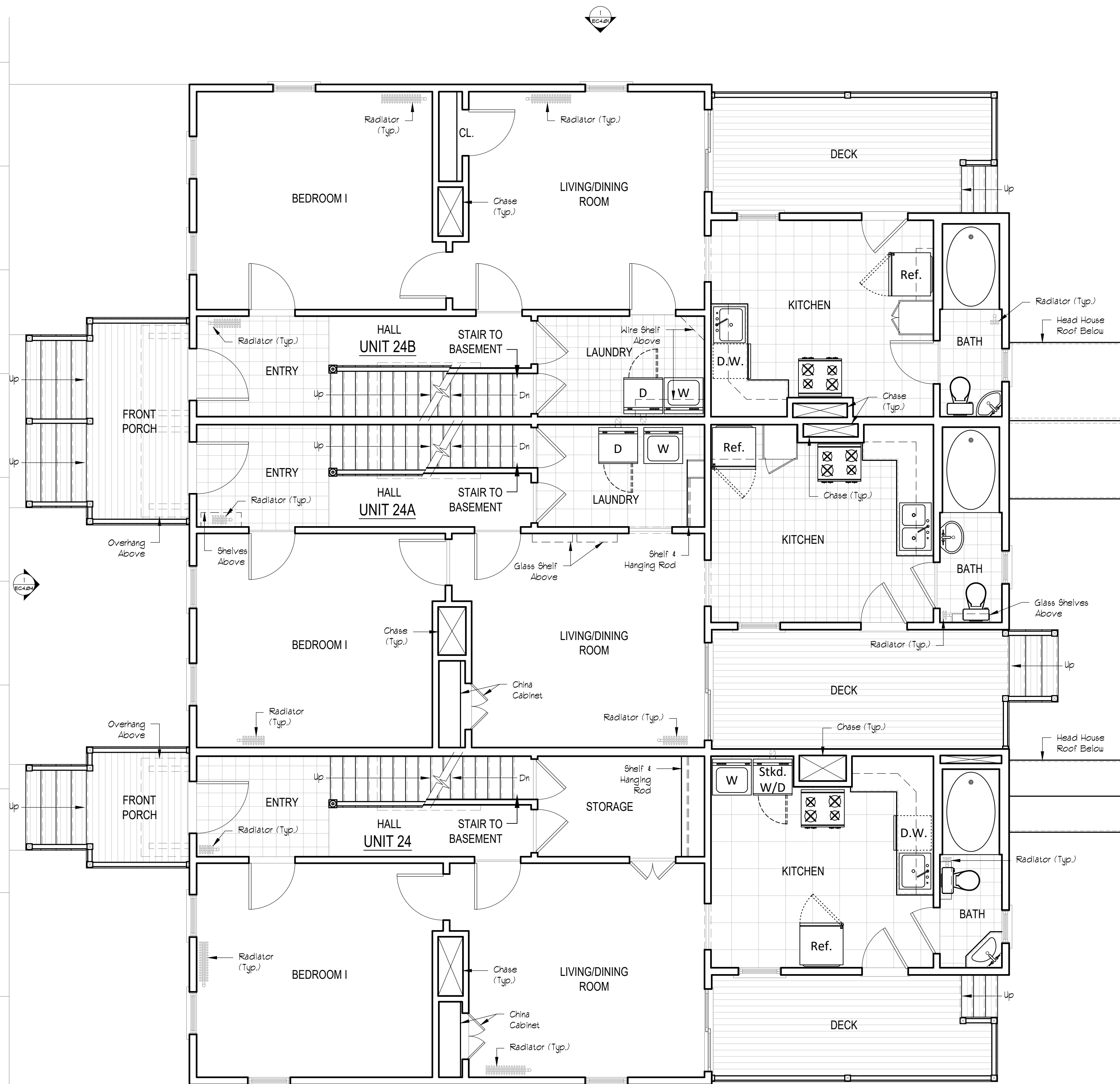
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	File PROPOSED

Sheet Title:

Existing First
Floor Plan

Sheet Number:

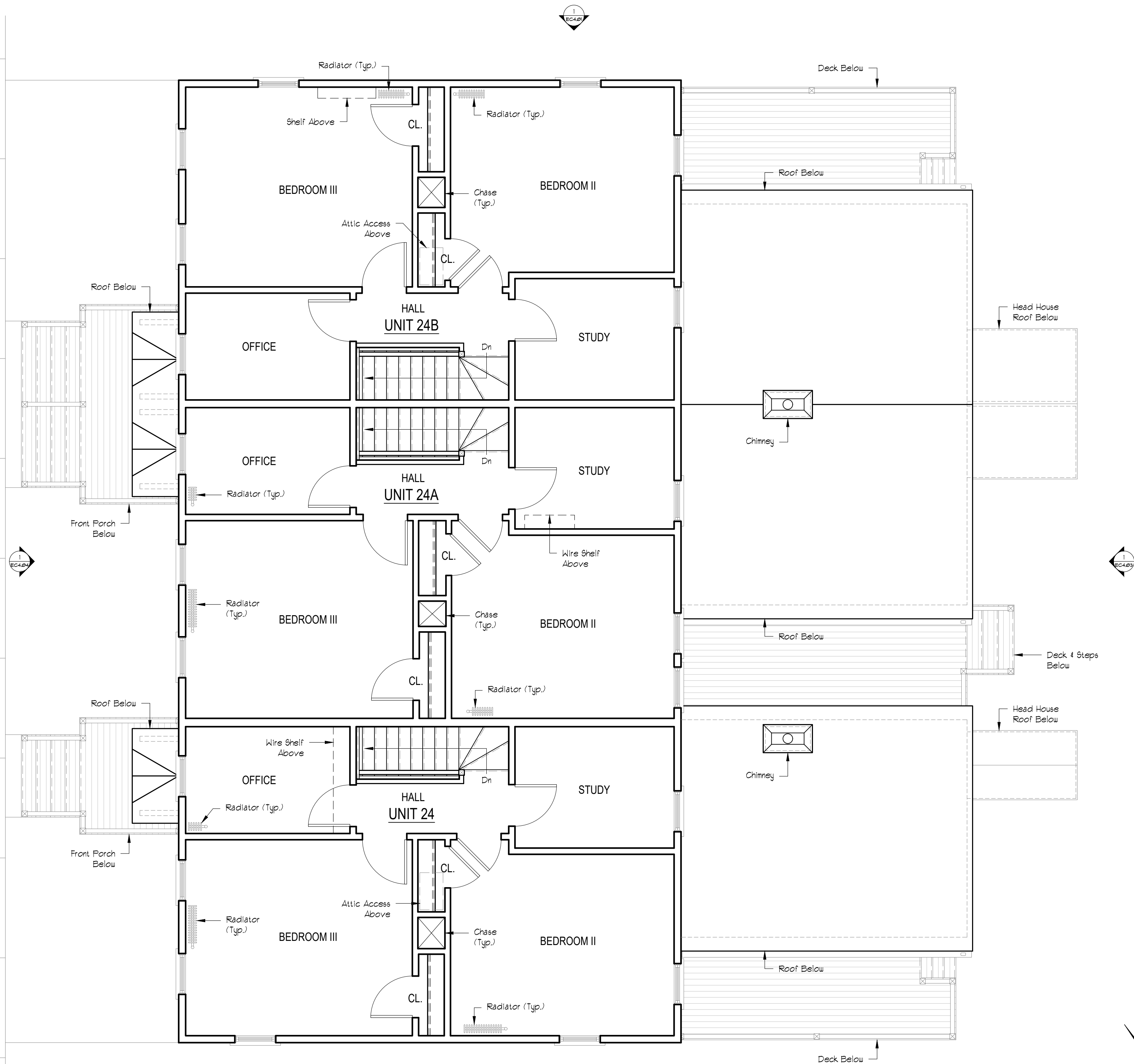
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1 Existing First Floor Plan
Scale: 1/4" = 1'-0"

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1 Existing Second Floor Plan
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LIN210_a

File

PROPOSED

Sheet Title:

Existing Second
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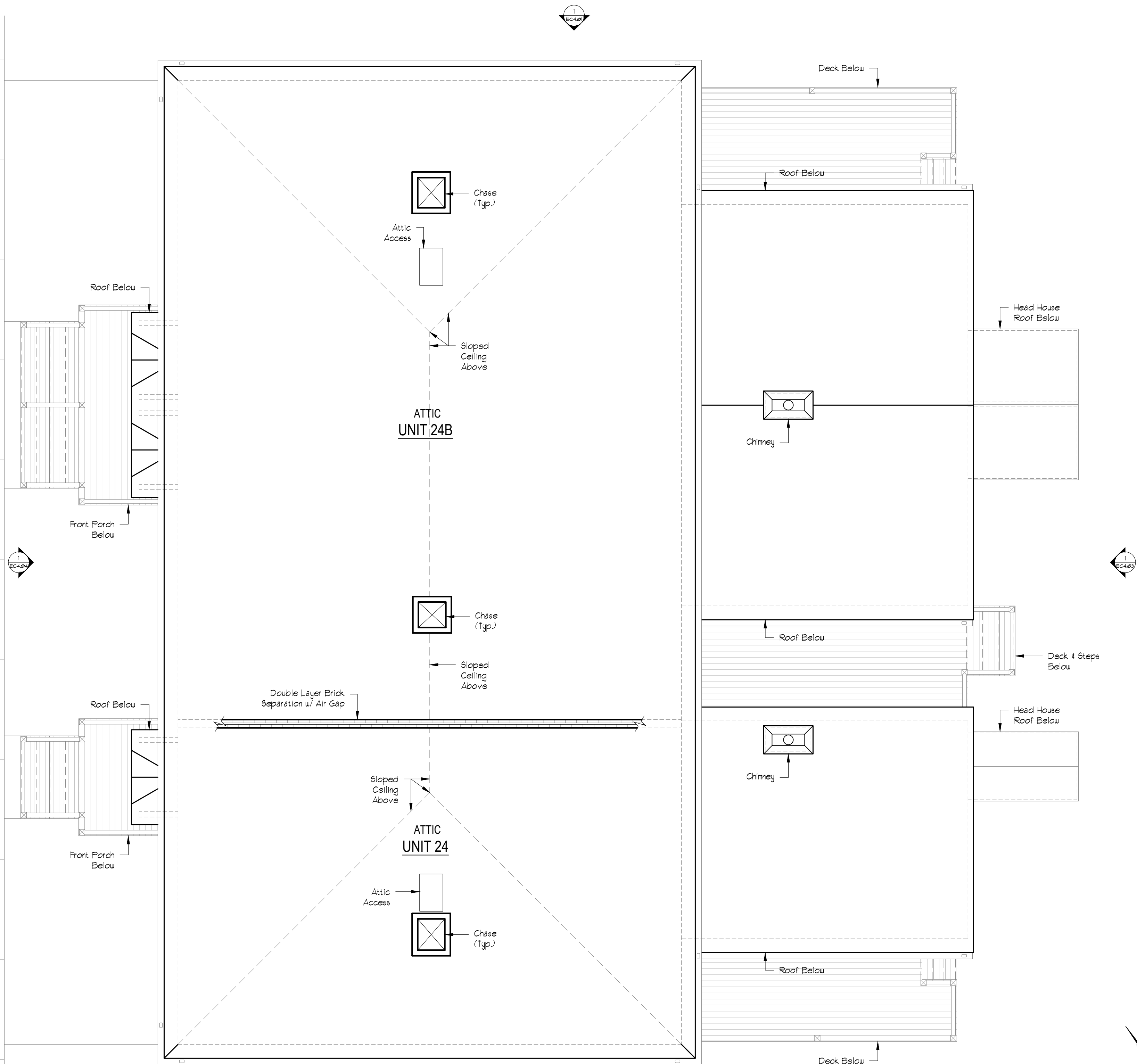
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Dr Luna Design Group 24 Union Street Proposed.dwg

1 Existing Attic Plan
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Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing
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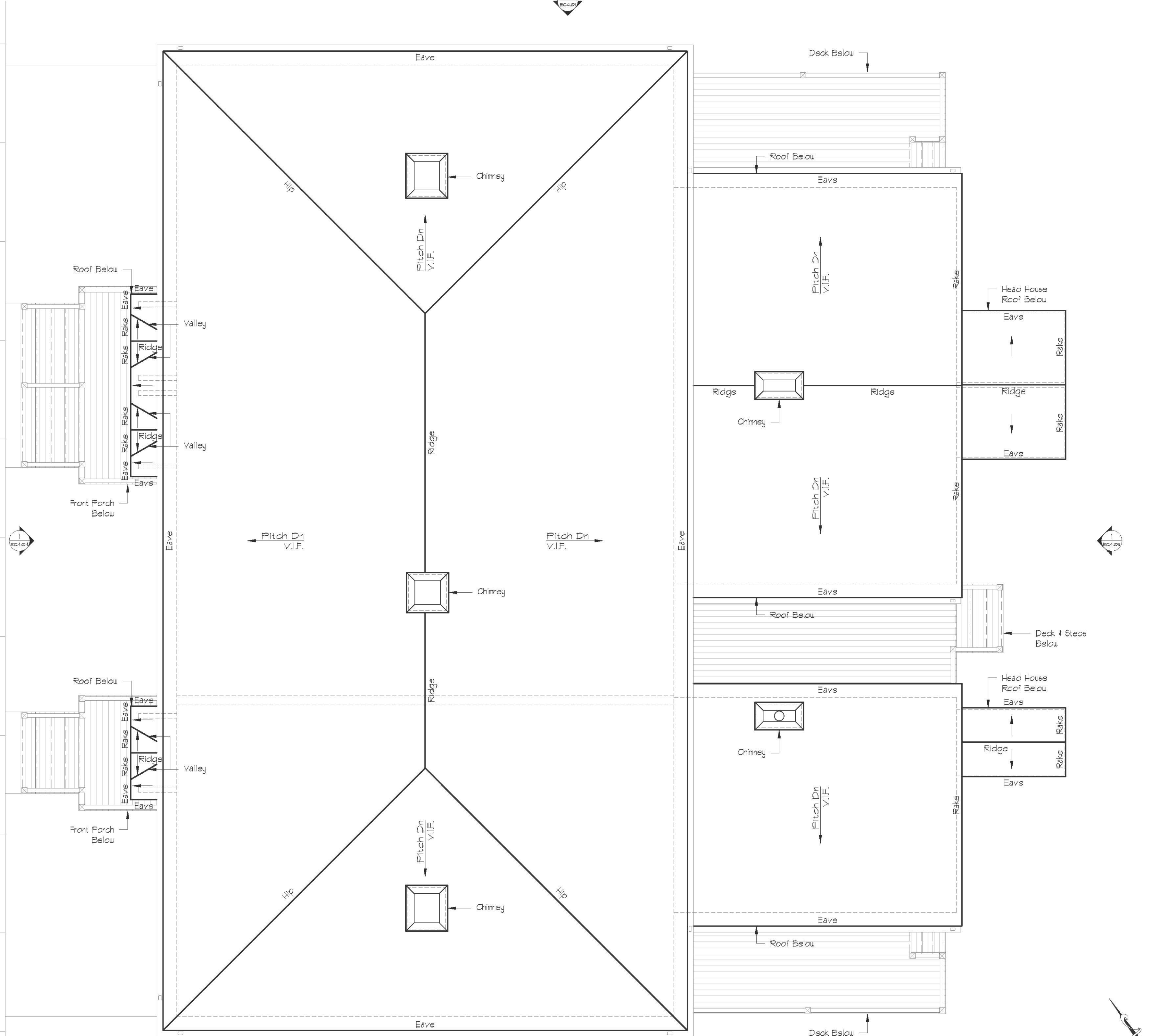
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EC1.03

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1 Existing Roof Plan
Scale: 1/4" = 1'-0"



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Sheet Title:

**Existing
Roof Plan**

Sheet Number:

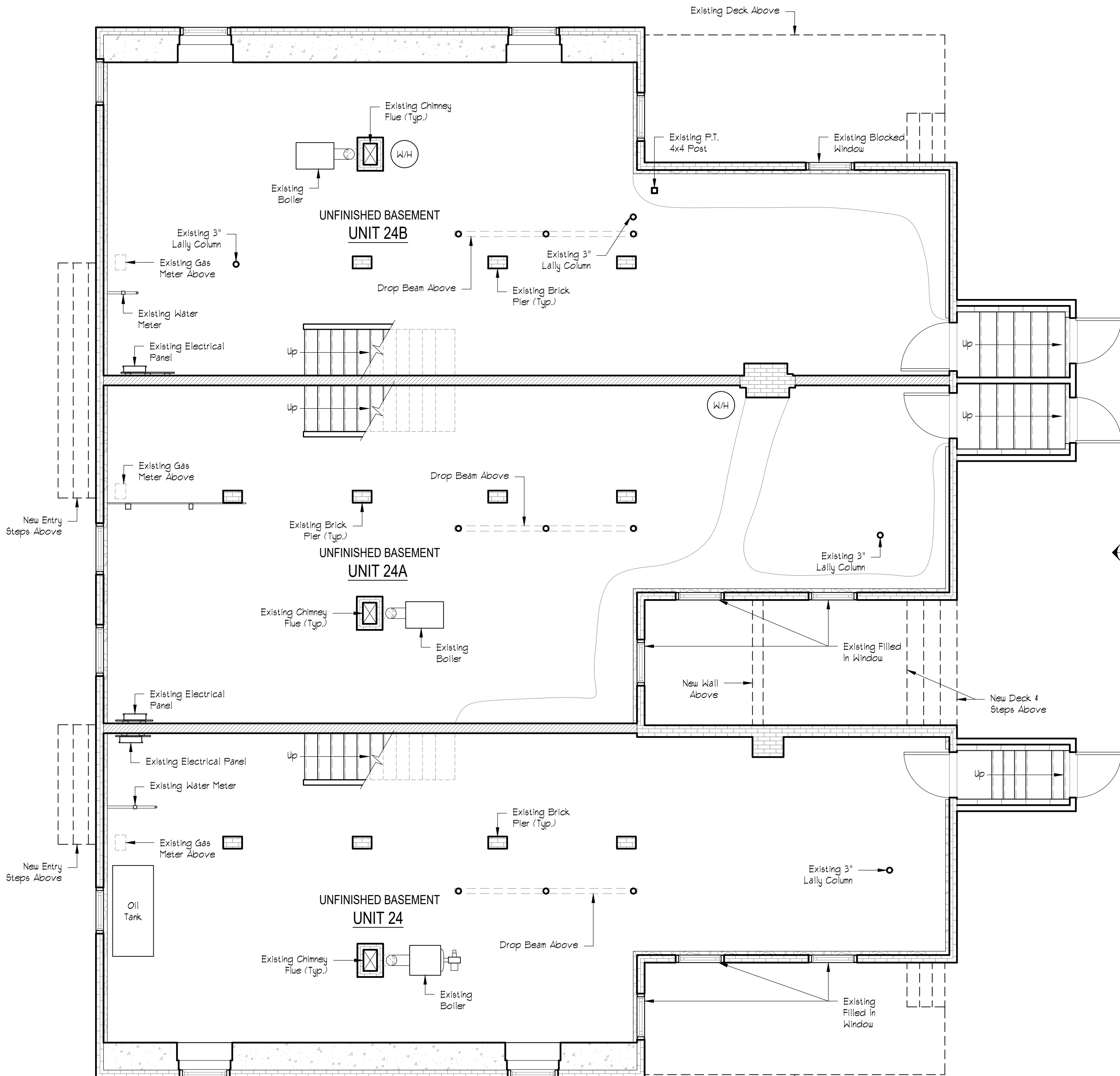
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1 Proposed Basement Plan
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Sheet Title:

Proposed
Basement Plan

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1 Proposed First Floor Plan
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PARKING DRIVEWAY

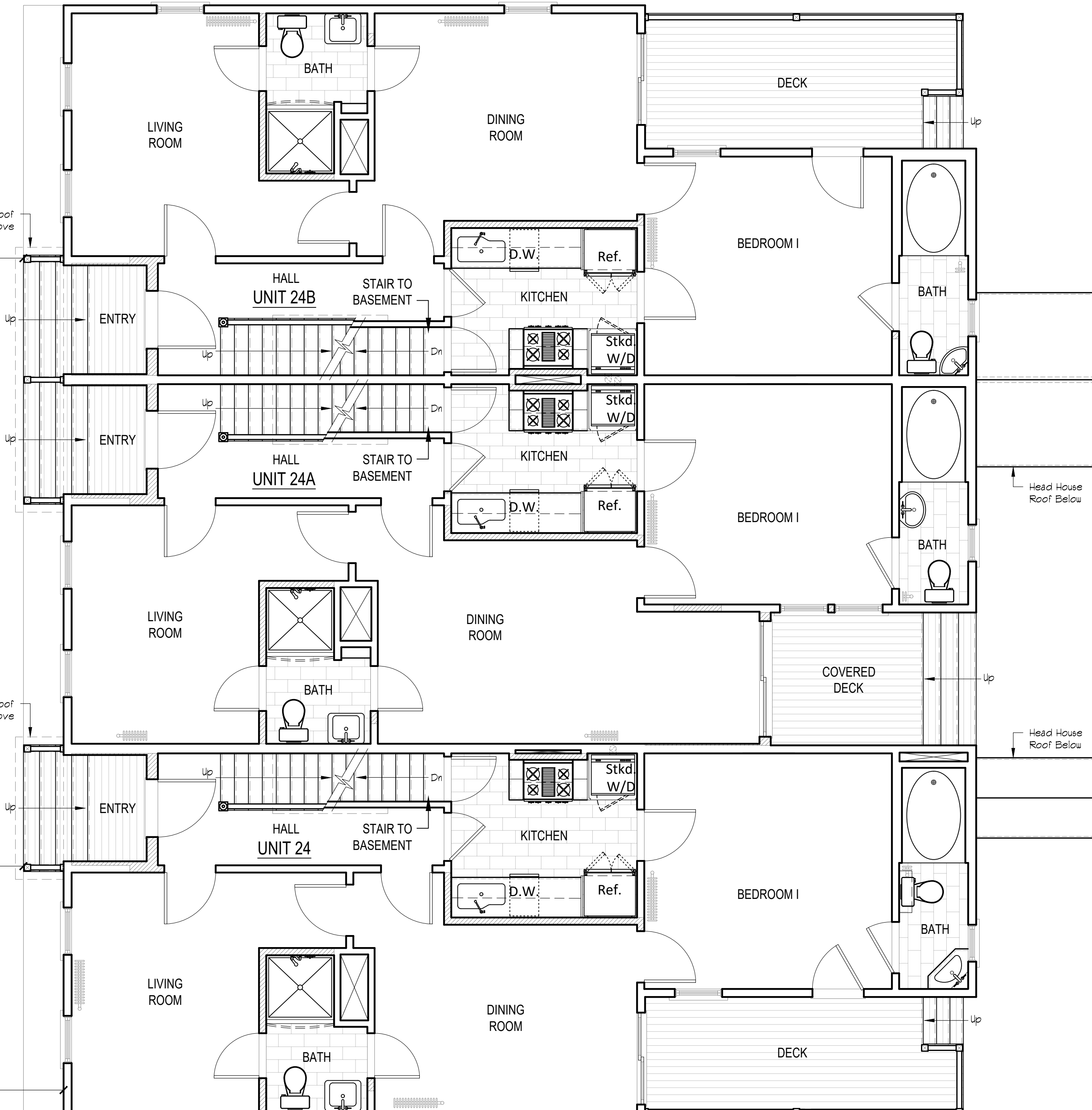


±8'-4"

±10'-5"

PROPERTY LINE

PROPERTY LINE



SHADED AREA DENOTES
NEW WALLS



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Sheet Title:

Proposed First
Floor Plan

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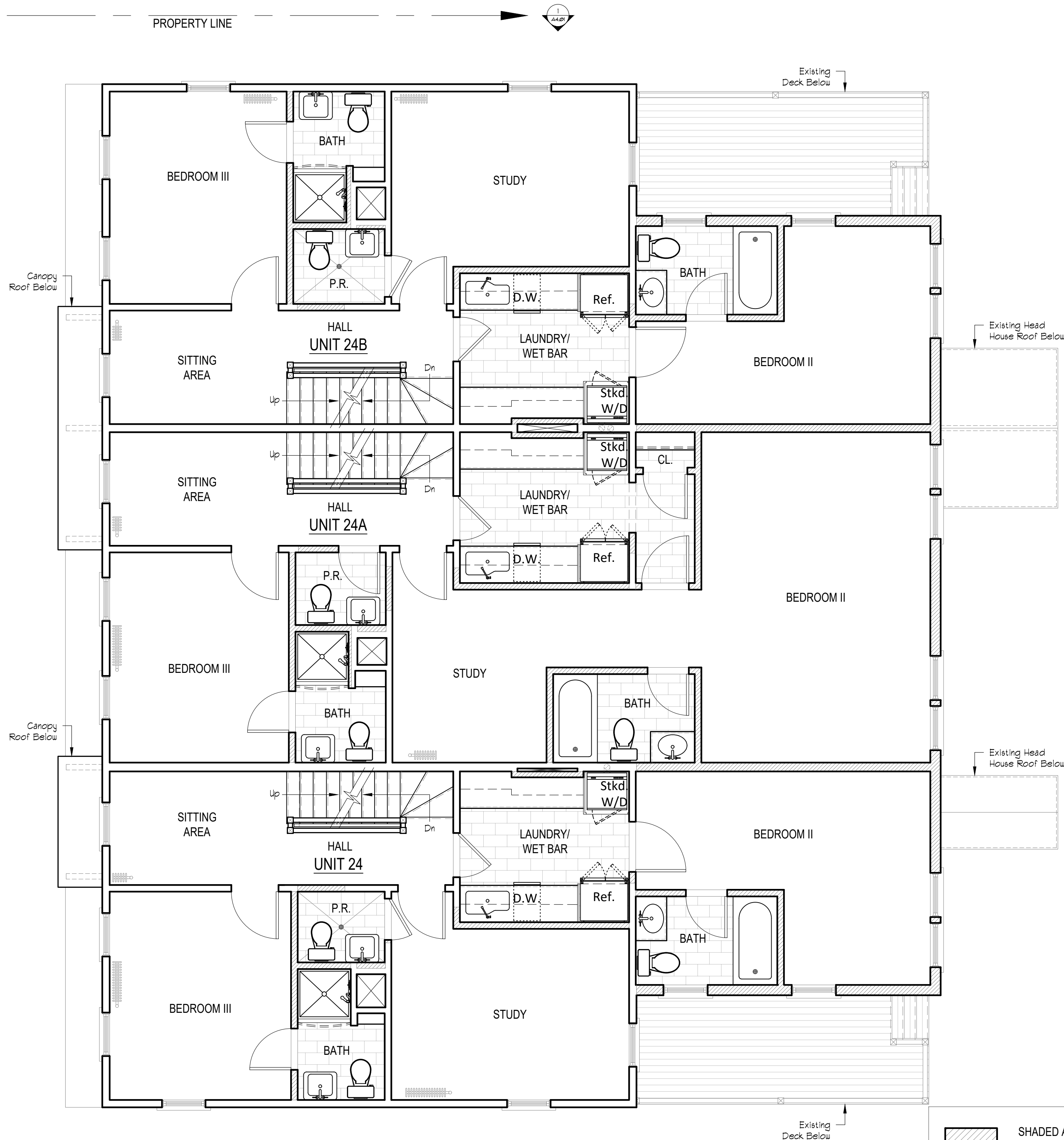
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Sheet Title:

**Proposed Second
Floor Plan**

Sheet Number:

A1.02



1 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"

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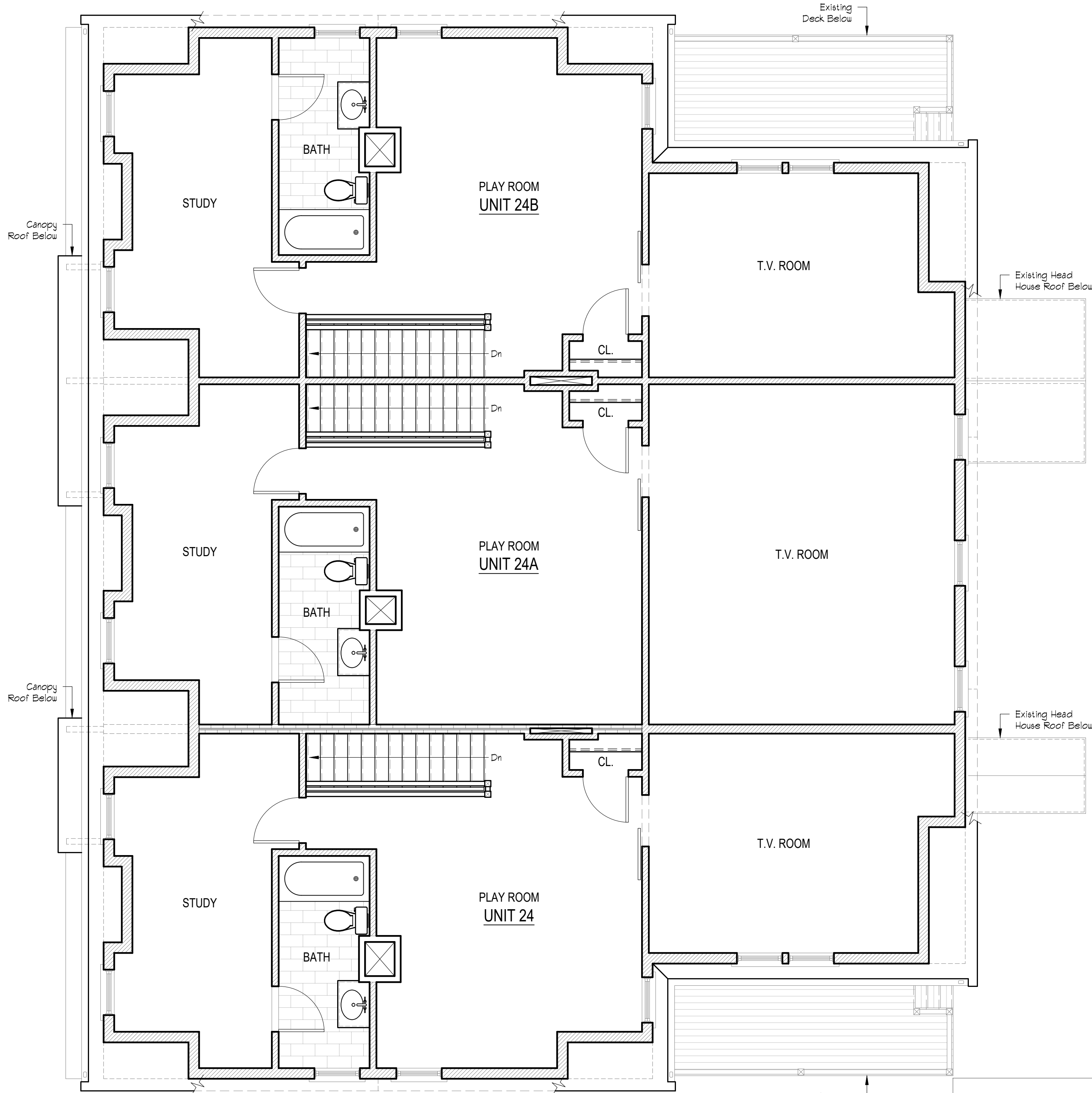
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1

Proposed Third Floor Plan

Scale: 1/4" = 1'-0"

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Sheet Title:

Proposed Third
Floor Plan

Sheet Number:

A1.03

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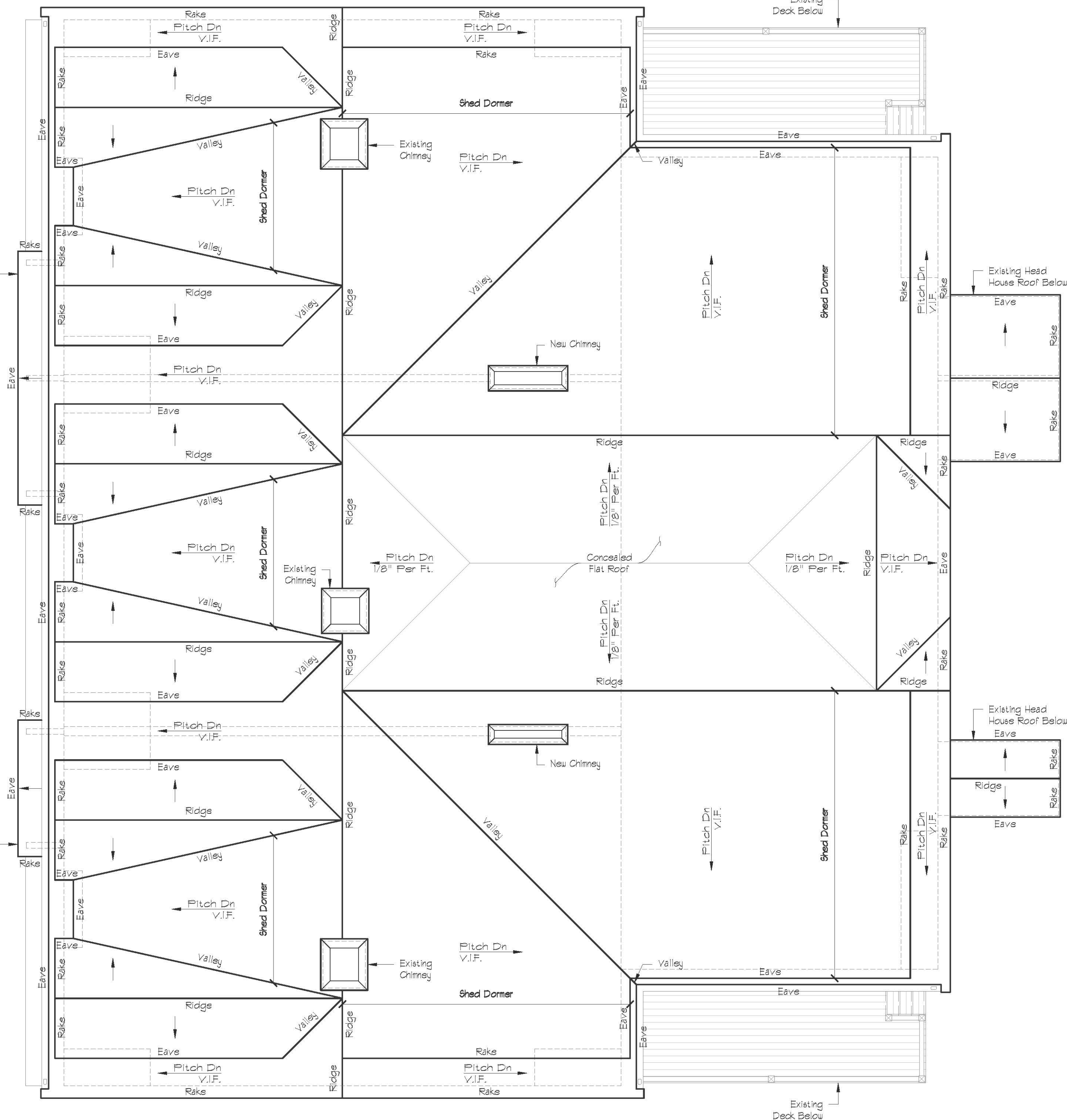
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Proposed Roof Plan
Scale: 1/4" = 1'-0"



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Canopy
Roof Below



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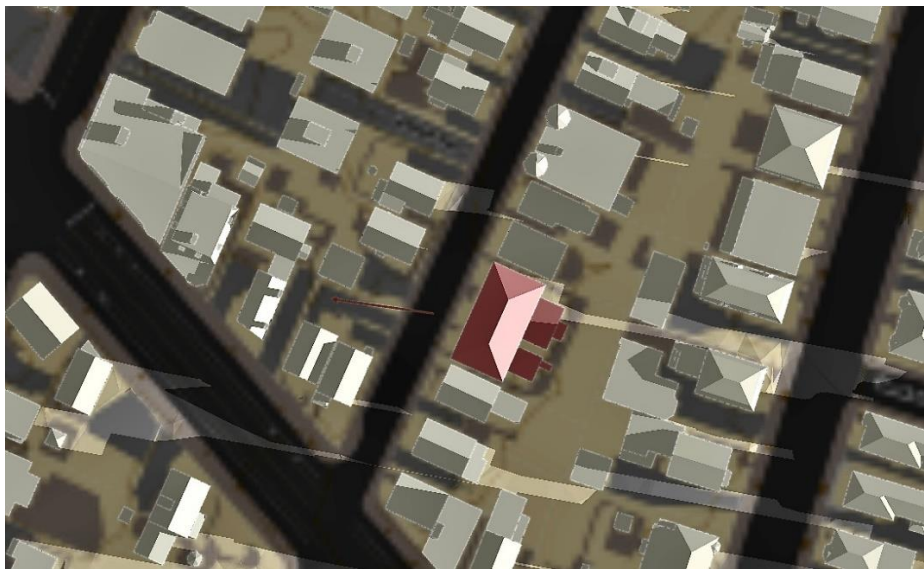
Sheet Title:

Proposed
Roof Plan

Sheet Number:

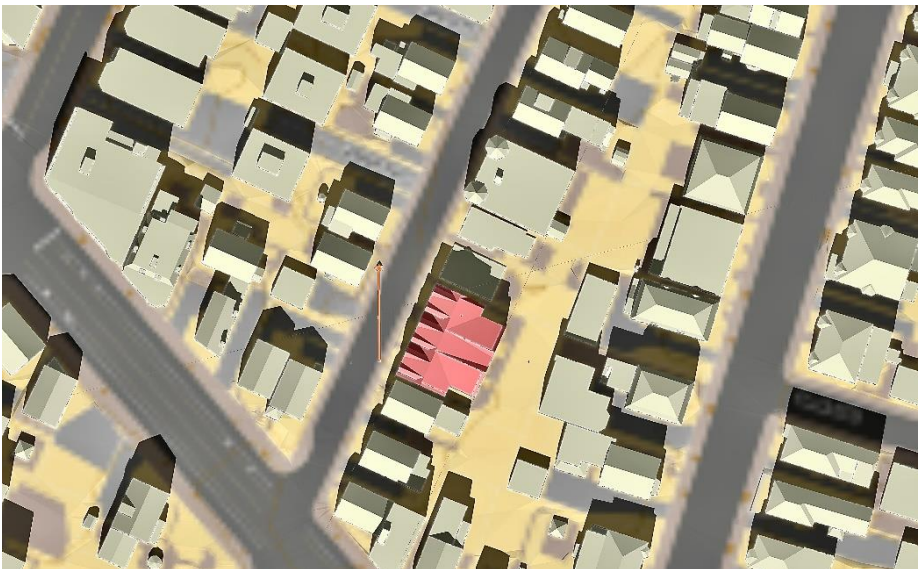
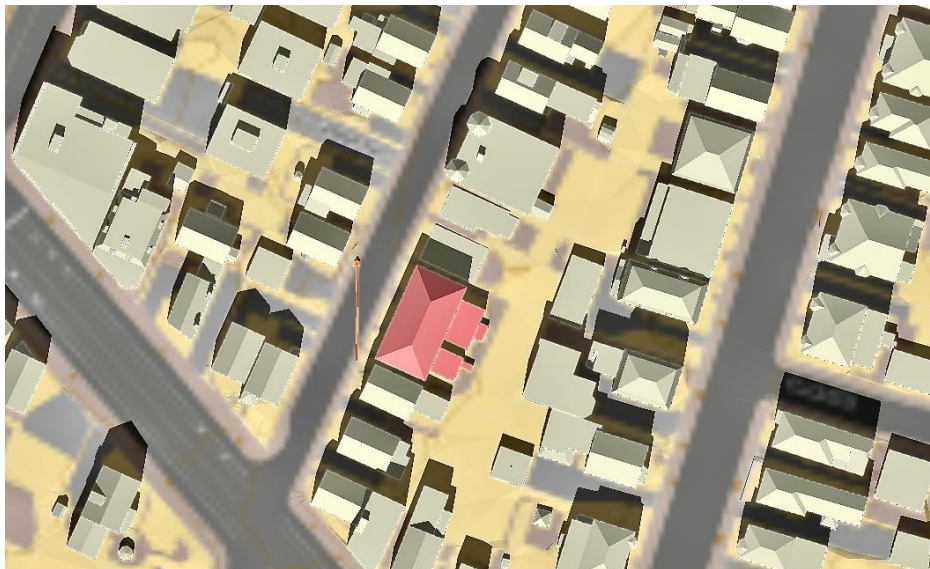
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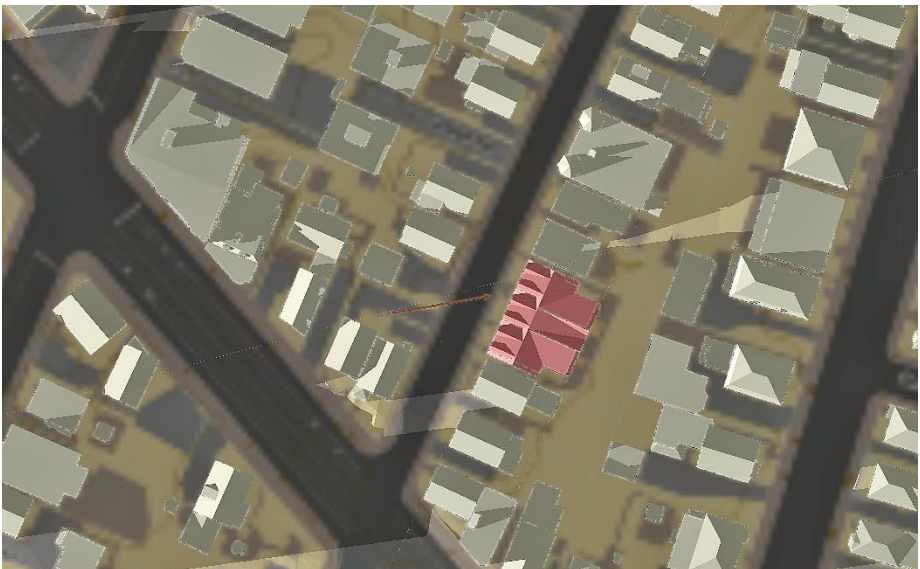
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Proposed Structure: One hour after sunrise – 06:30 EST



Existing Structure: Midday – 12:00 EST

Proposed Structure: Midday – 12:00 EST



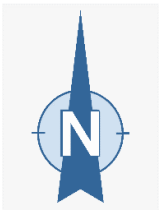
Existing Structure: One hour before sunset – 18:24 EST

Proposed Structure: One hour before sunset – 18:24 EST

Shadow Studies – Vernal/ Autumnal Equinox

Note:

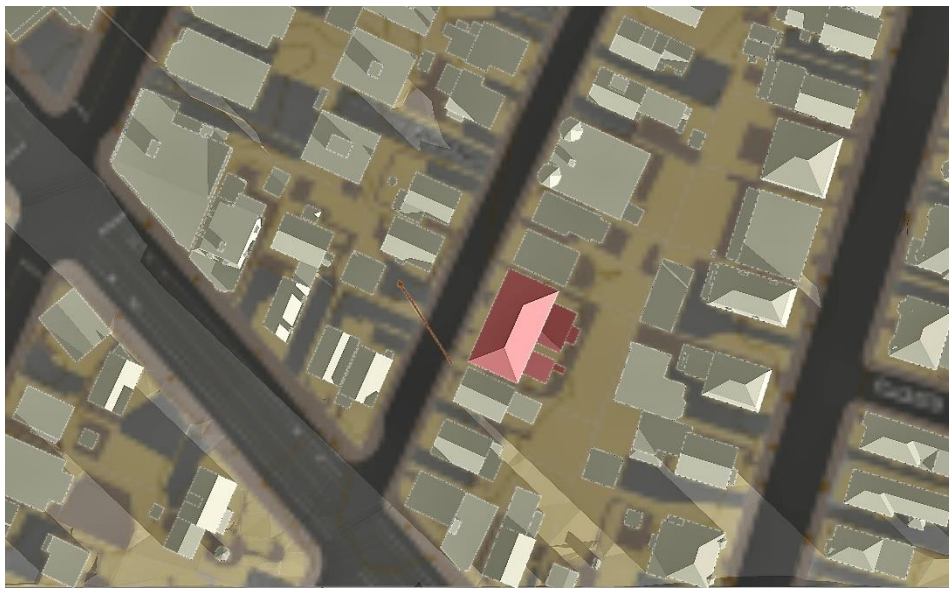
Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

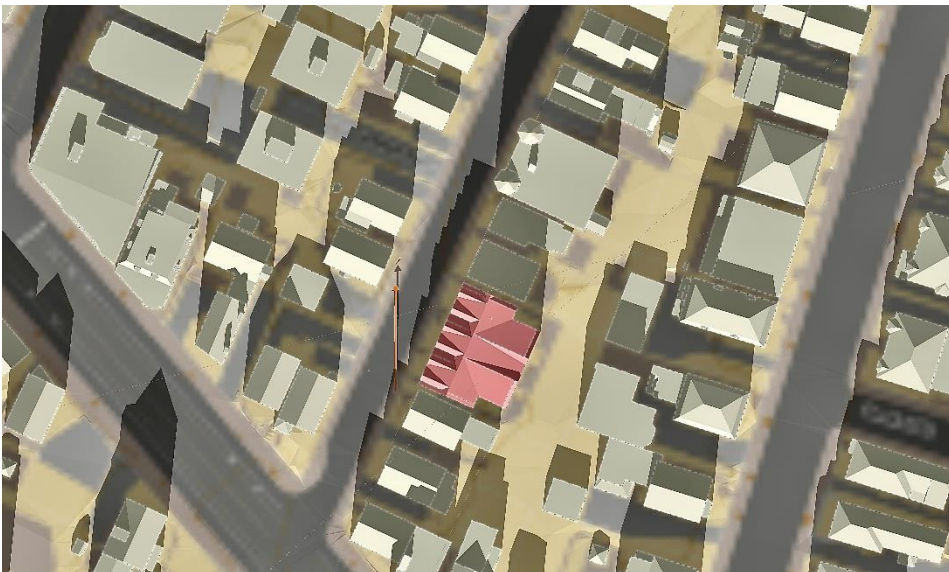
Cambridge, MA
October 21, 2023





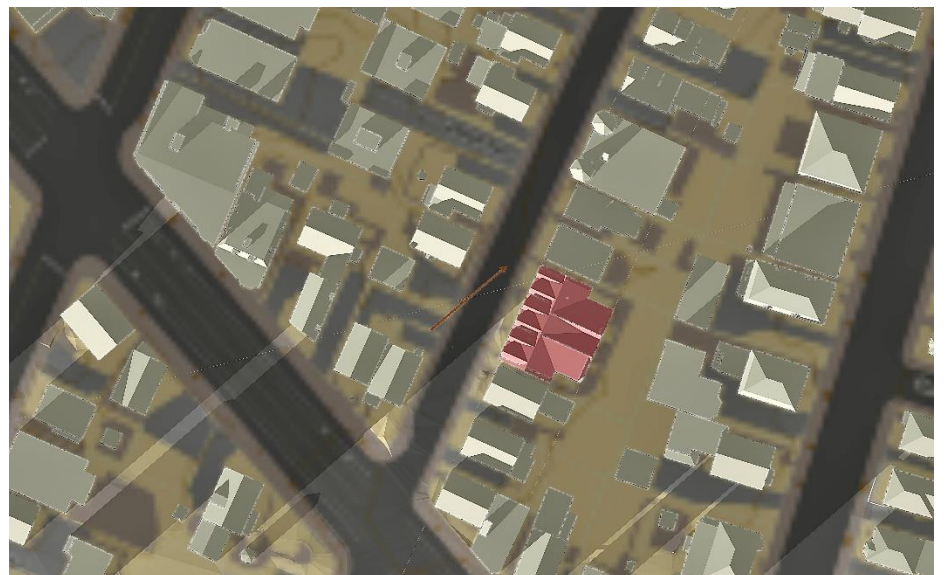
Existing Structure: One hour after sunrise – 08:10 EST

Proposed Structure: One hour after sunrise – 08:10 EST



Existing Structure: Midday – 12:00 EST

Proposed Structure: Midday – 12:00 EST



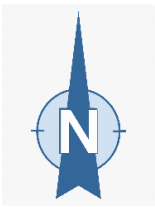
Existing Structure: One hour before sunset – 15:14 EST

Proposed Structure: One hour before sunset – 15:14 EST

Shadow Studies – Winter Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge, MA
October 21, 2023

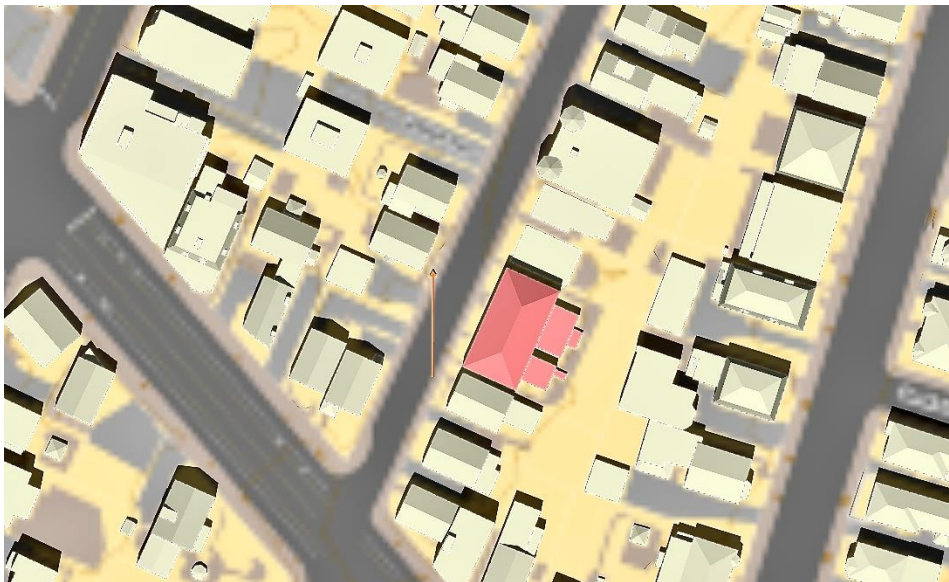




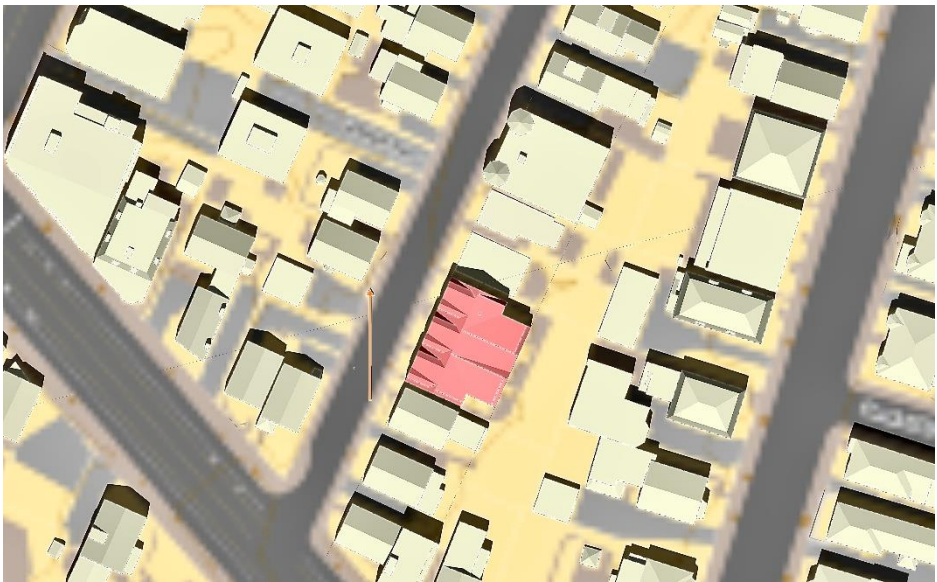
Existing Structure: One hour after sunrise – 05:07 EST



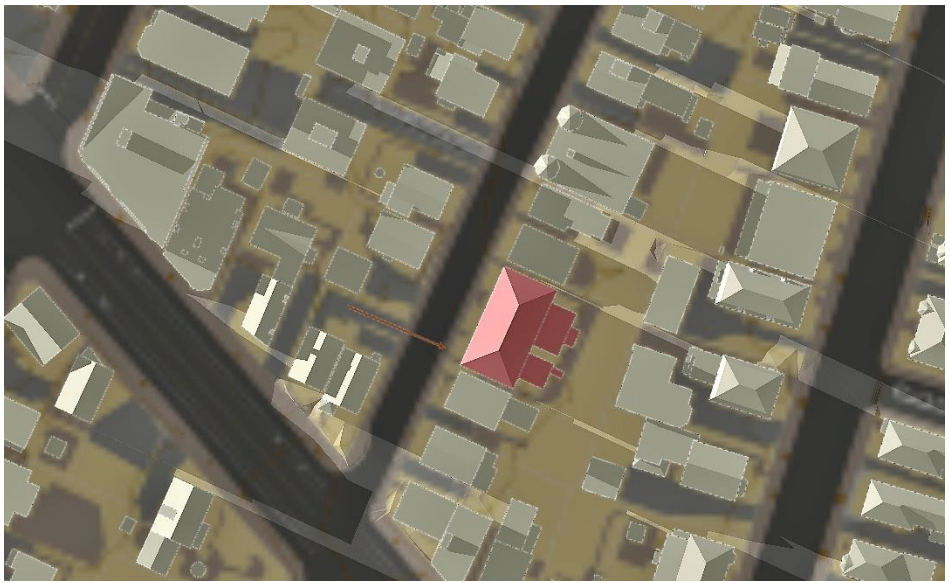
Proposed Structure: One hour after sunrise – 05:07 EST



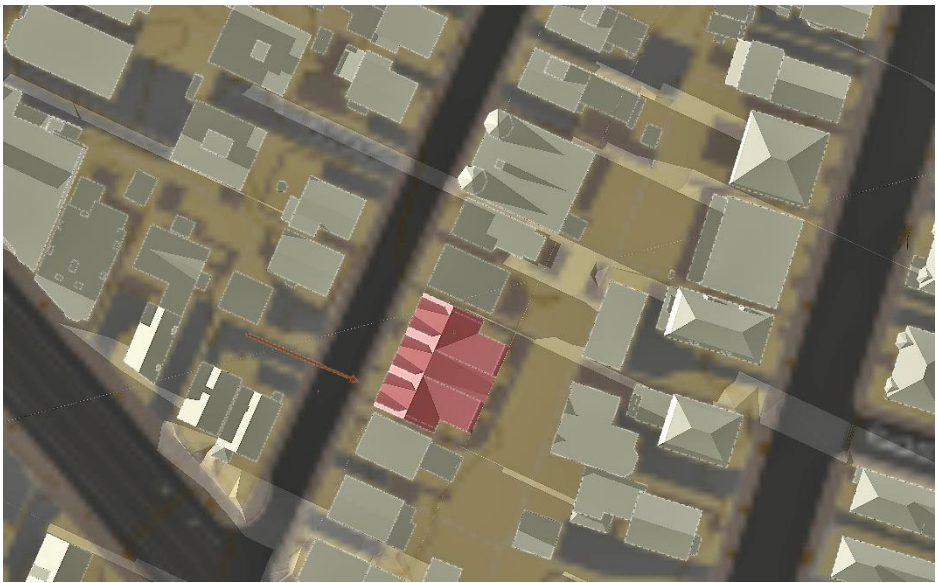
Existing Structure: Midday – 12:00 EST



Proposed Structure: Midday – 12:00 EST



Existing Structure: One hour before sunset – 18:24 EST



Proposed Structure: One hour before sunset – 18:24 EST

Shadow Studies – Summer Solstice

Note:

Studies do not include any existing vegetation or topography that will affect the casting of shadows across the ground plane.
Refer to arrow on each study for sun azimuth angle.



24 Union Street

Cambridge, MA
October 21, 2023



9/12 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Matt Stern residing at,
25 Union Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Matt Stern
Signature:

13 Sep 2022
Date:

Signature:

Date:



The diagram shows two parallel horizontal number lines. The top line is labeled 'FEET' and has major tick marks at 0, 10, 20, 40, 60, and 80. The bottom line is labeled 'METERS' and has major tick marks at 0, 5, 10, 15, 20, and 25. Vertical lines connect the two scales at the following points: 0 feet to 0 meters, 10 feet to 2.5 meters, 20 feet to 5 meters, 40 feet to 10 meters, 60 feet to 15 meters, and 80 feet to 20 meters. The segment from 0 to 10 feet is divided into five equal sub-segments, each representing 2 feet.

SP1.01

D:\Luna Design Group\24 Union Street\Proposed.dwg



1 Existing North Elevation
Scale: 1/4" = 1'-0"



LUNA | Design Group

100 Conifer Hill Road, Suite 406
Danvers, MA 01923-3376
781.245.6530 fax 781.245.6508
www.lunadesign.com

Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing North
Elevation

Sheet Number:

EC4.01

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Dr. Luna Design Group 24 Union Street Proposed.dwg



1 Existing South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Existing South
Elevation

Sheet Number:

EC4.02

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing East
Elevation

Sheet Number:

EC4.03



1 Existing East Elevation
Scale: 1/4" = 1'-0"



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www.lunadesign.com

Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing West
Elevation

Sheet Number:

EC4.04



1 Existing West Elevation
Scale: 1/4" = 1'-0"



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed North
Elevation

Sheet Number:

A4.01



1 Proposed South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed South
Elevation

Sheet Number:

A4.02



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed East
Elevation

Sheet Number:

A4.03



1 Proposed East Elevation
Scale: 1/4" = 1'-0"



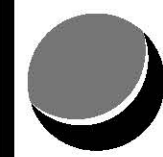
Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Proposed West Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed West
Elevation

Sheet Number:

A4.04

24 Union St.





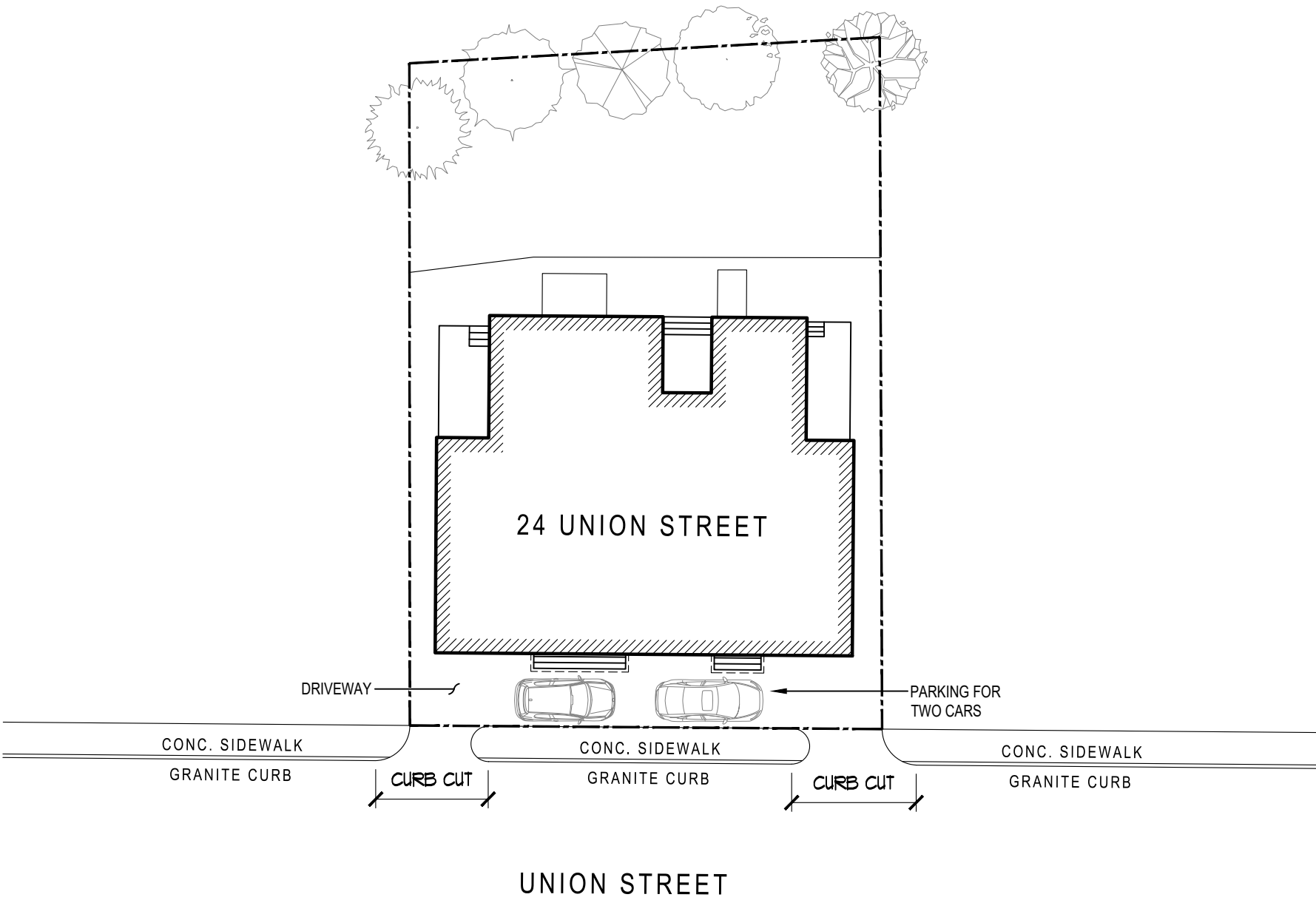
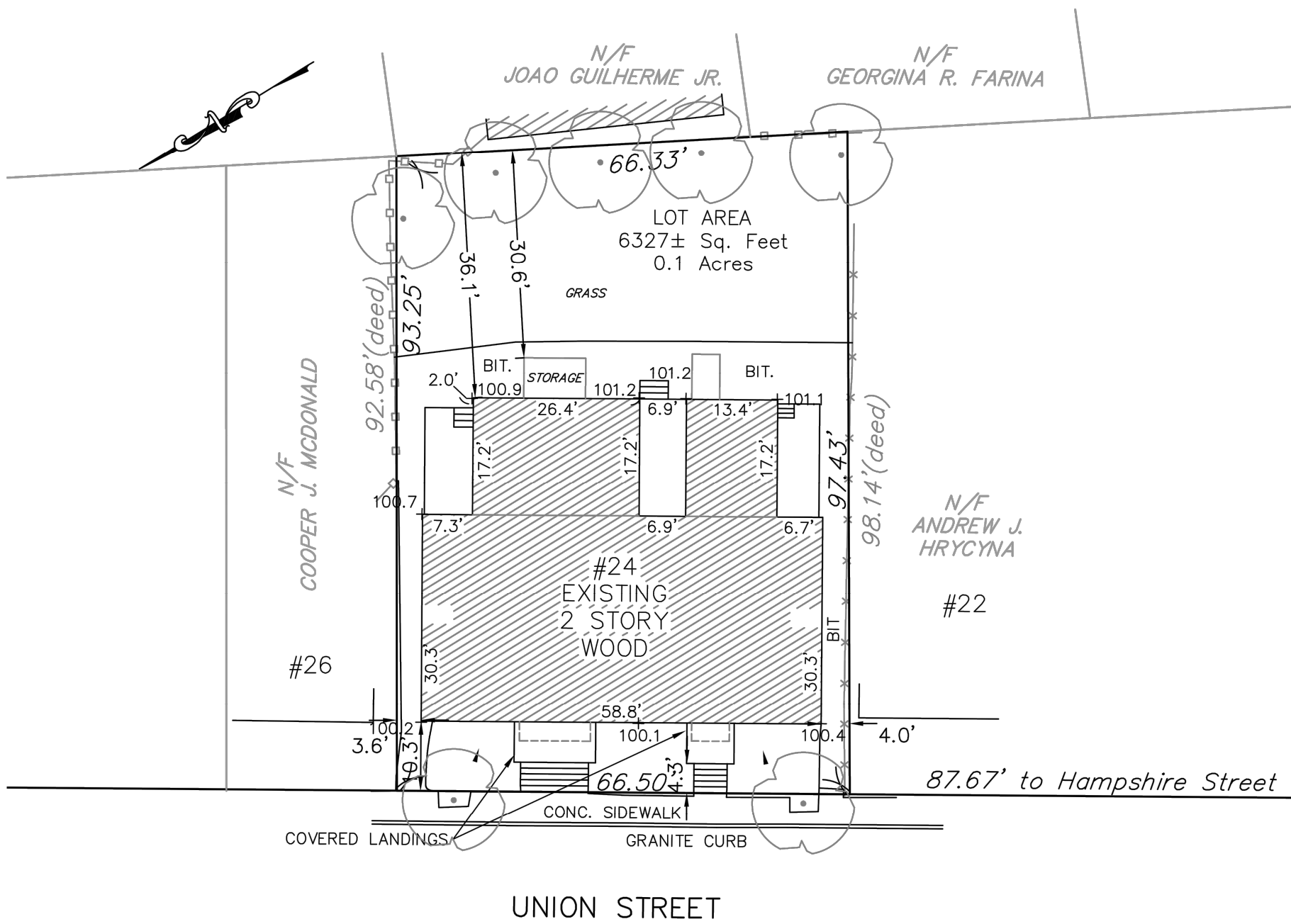












1 Existing Site Plan
Scale: 1" = 20'-0"

2 Proposed Site Plan
Scale: 1" = 20'-0"



LUNA | Design Group

100 Conifer Hill Road, Suite 406
Danvers, MA 01923-3376
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Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:
Existing &
Proposed
Site Plan

Sheet Number:
SP1.01

8/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Alonso Guzman residing at,
107 HAMPSHIRE ST Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Alonso Guzman

Signature:

8/23/2022

Date:

617-669-3566

23/8

3
HIMSU D. S. D. S.

Te. 23/8/2011 501

Handwritten text, mostly illegible due to blurriness and bleed-through. Some words like "HIMSU" and "D. S. D. S." are visible.

5505/25/8

Handwritten signature or name, possibly "HIMSU D. S. D. S."

• 015-004-3200

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

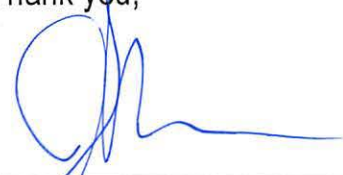
Dear Committee:

My/Our name(s) are JOHN MANSON residing at,
359 WINDSOR ST. #2 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

978-401-7766

8/12/2022

Date:

Signature:

Date:

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Rachael Filer residing at,
30 Union St. Apt. 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Signature:



Date:

8/12/2022

Signature:

Date:

8/12/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Anne Odira residing at,
37 Union Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

Aug 12, 2022
Date:

Signature:

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals


Dear Committee:

My/Our name(s) are Andrea Sherbakov residing at,
389 Windsor St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/22

Date:

8/17 2022

To: The City of Cambridge Zoning Board of Appeals


Dear Committee:

My/Our name(s) are MARTIN RIVERA residing at,
109 Hampshire St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,


Signature:

8/17
Date:

Signature:

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

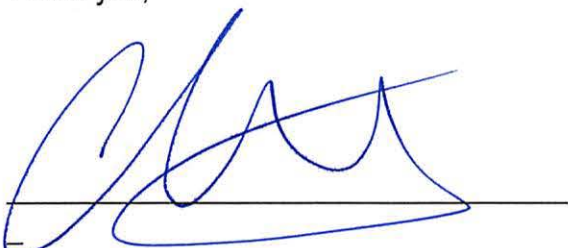
Dear Committee:

My/Our name(s) are ALEX FERRERO residing at,
18 UNION ST #1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/22

Date:

8/17/ 2022

To: The City of Cambridge Zoning Board of Appeals

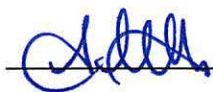
Dear Committee:

My/Our name(s) are ANITA SINGH residing at,
359 Windsor St. #1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8/17/2022

Date:

Anita Singh

N/A

617-299-0134

41/8

NAME ATINA

12.12.2014 PEE

SSOR/TI/8

Atina

A/N

Atina

PEIO-PPF-TIO

8/22 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Carol Mattes residing at,
330 WINDSOR ST, Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Carol Mattes

Signature:

8/22

Date:

8/22/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Uebor residing at,
371 Windsor. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



Signature:

8-22-22

Date:

8/22/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Kate Gregor residing at,
18 Union St Apt 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Kate Gregor
Signature:

8/22/22
Date:

5/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Jonathan Graham residing at,
Unit 378 Windsor St Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Signature: 

Date: 08/23/22

—

—

8/23

2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Nathan Harbousen residing at,
371 Windsor St Apt 1 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Nathan Harbousen
Signature:

8/23/22
Date:

Signature:

Date:

8-25-2022

Date:

8/23/ 2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Adam Bern residing at,
362 Windsor St Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Adam Bern
Signature:

8/23/22
Date:

Signature:

Date:

617 982 8510

Adam Bern

Adam@Guardian.ag

8-23-2022

To: The City of Cambridge Zoning Board of Appeals

Dear Committee:

My/Our name(s) are Henriqueta B. Resendes residing at,
371 Windsor St apt 2 Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,

Henriqueta B. Resendes 8-23-2022
Signature: Date:

Signature:

Date:

✓

8-23-8

8/11/80
Hemiphaedusa B. Hemiphaedusa
8-23-8

8-23-8
Hemiphaedusa B. Hemiphaedusa

8/12 2022

To: The City of Cambridge Zoning Board of Appeals

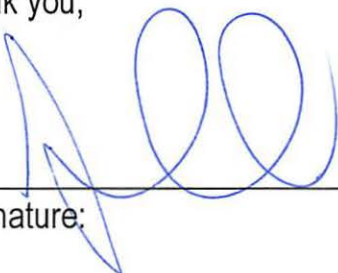
Dear Committee:

My/Our name(s) are Joshua & Maren Ladieu residing at,
315 Windsor St. Cambridge Massachusetts. I/We are
sending this letter on behalf of Ms. Lin Lin at 24 Union Street, Cambridge, Massachusetts.
I/We have reviewed proposed plans prepared by Luna Design Group, dated: July 22, 2022

I/We find the design attractive, compatible with scale and context of the surrounding homes
in our neighborhood. I/We believe that proposed design will have no adverse effect on our
property or the neighborhood as a whole. Therefore, I/we offer our support of this project
for the requested variance(s).

Please feel free to contact us if you have any questions or concerns:

Thank you,



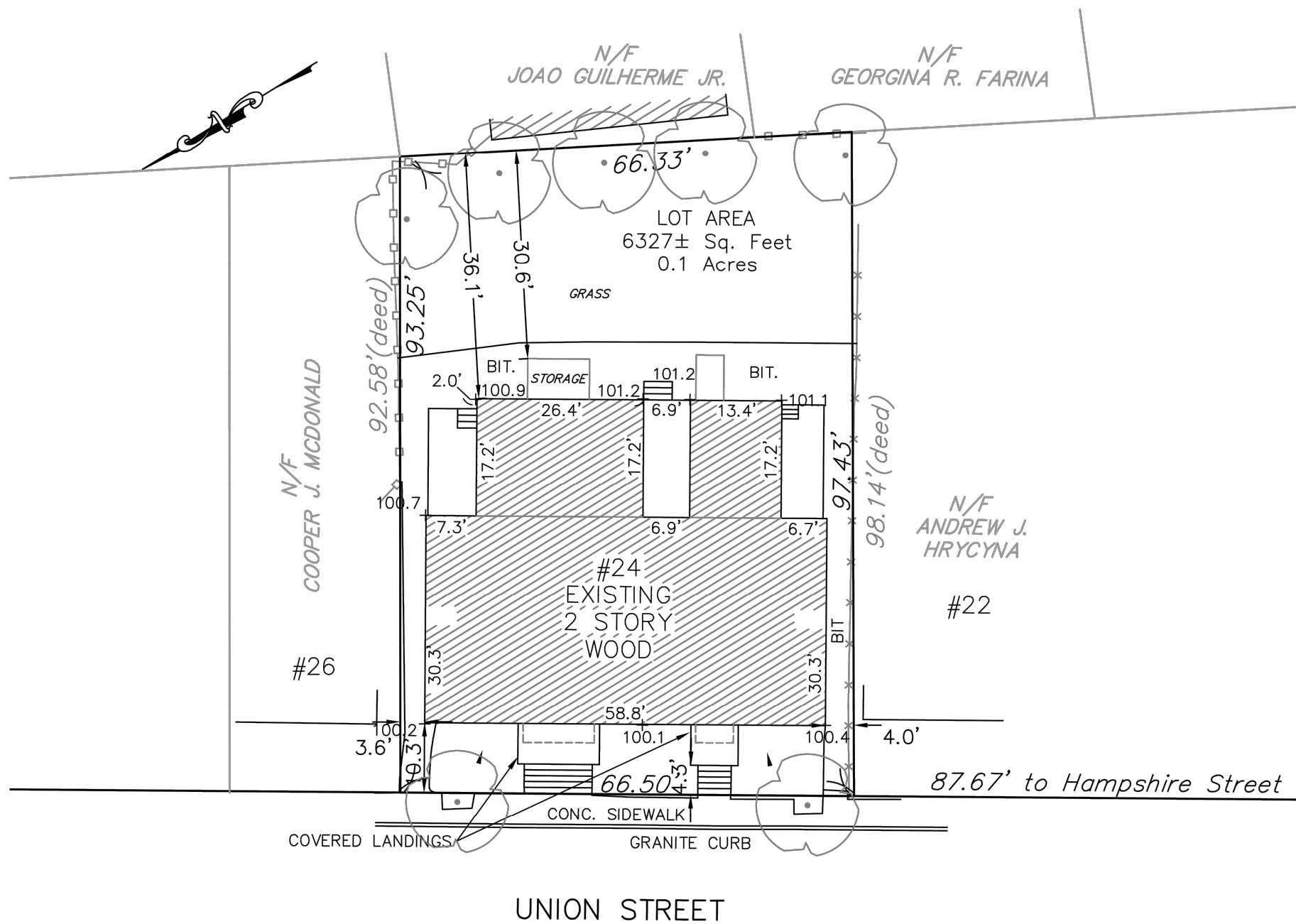
Signature:

8/12/2022

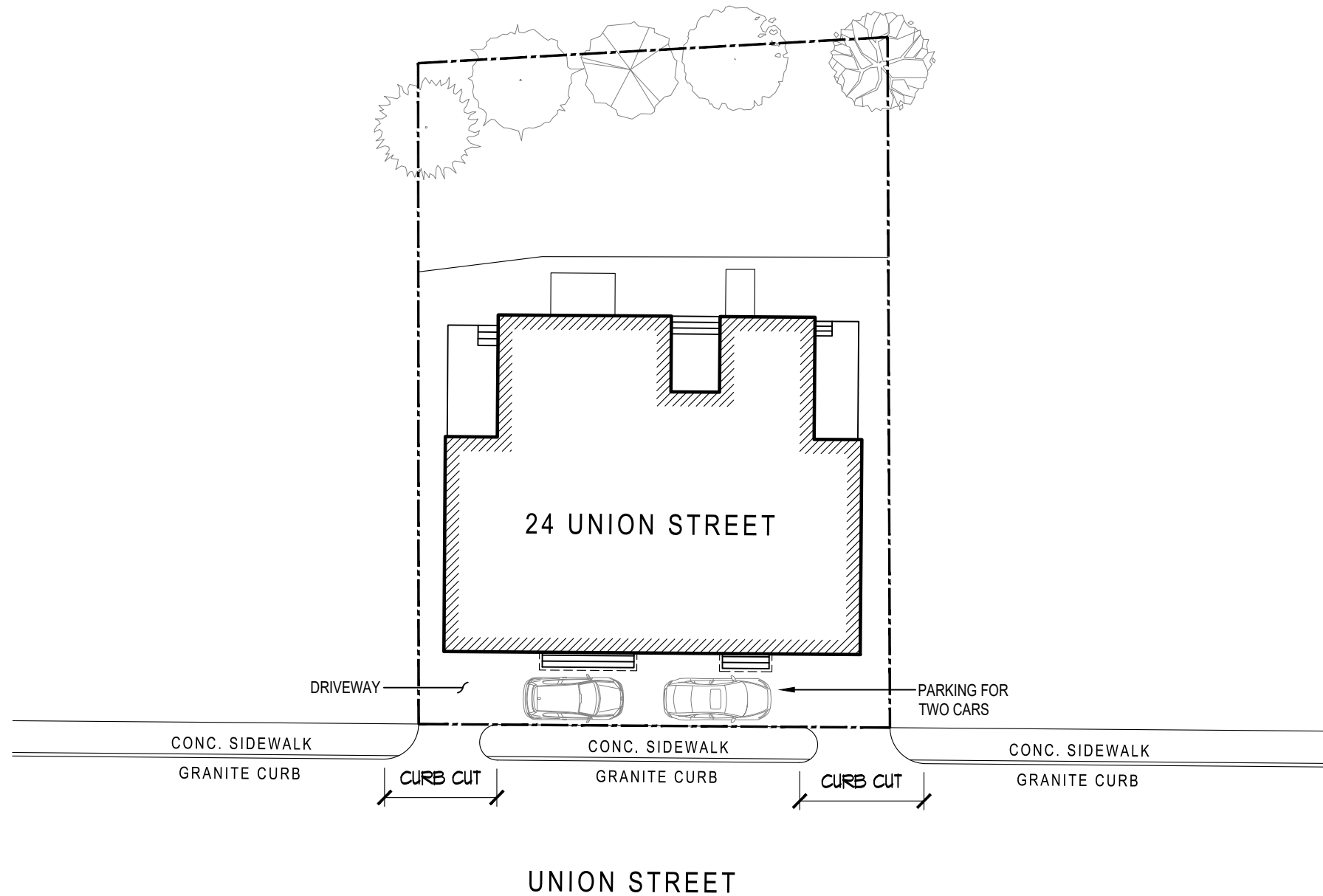
Date:

Signature:

Date:



1 Existing Site Plan
Scale: 1" = 20'-0"



2 Proposed Site Plan
Scale: 1" = 20'-0"



LUNA | Design Group

100 Conifer Hill Road, Suite 406
Danvers, MA 01923-3376
781.245.6530 fax 781.245.6508
www.lunadesign.com

Architecture Interiors Planning

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1" = 20'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing &
Proposed
Site Plan

Sheet Number:

SP1.01

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

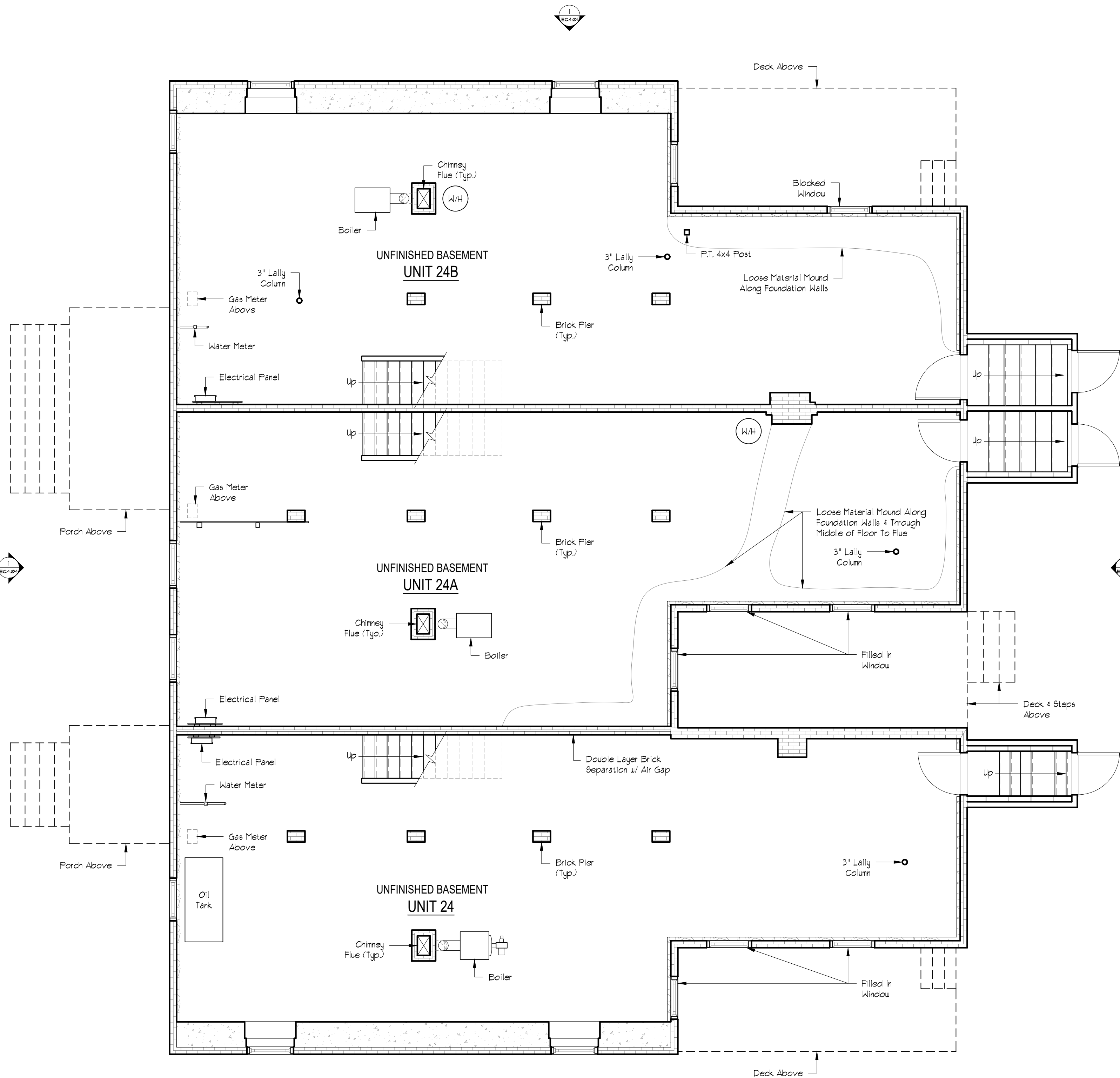
Sheet Title:

Existing
Basement Plan

Sheet Number:

EC1.00

1 Existing Basement Plan
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

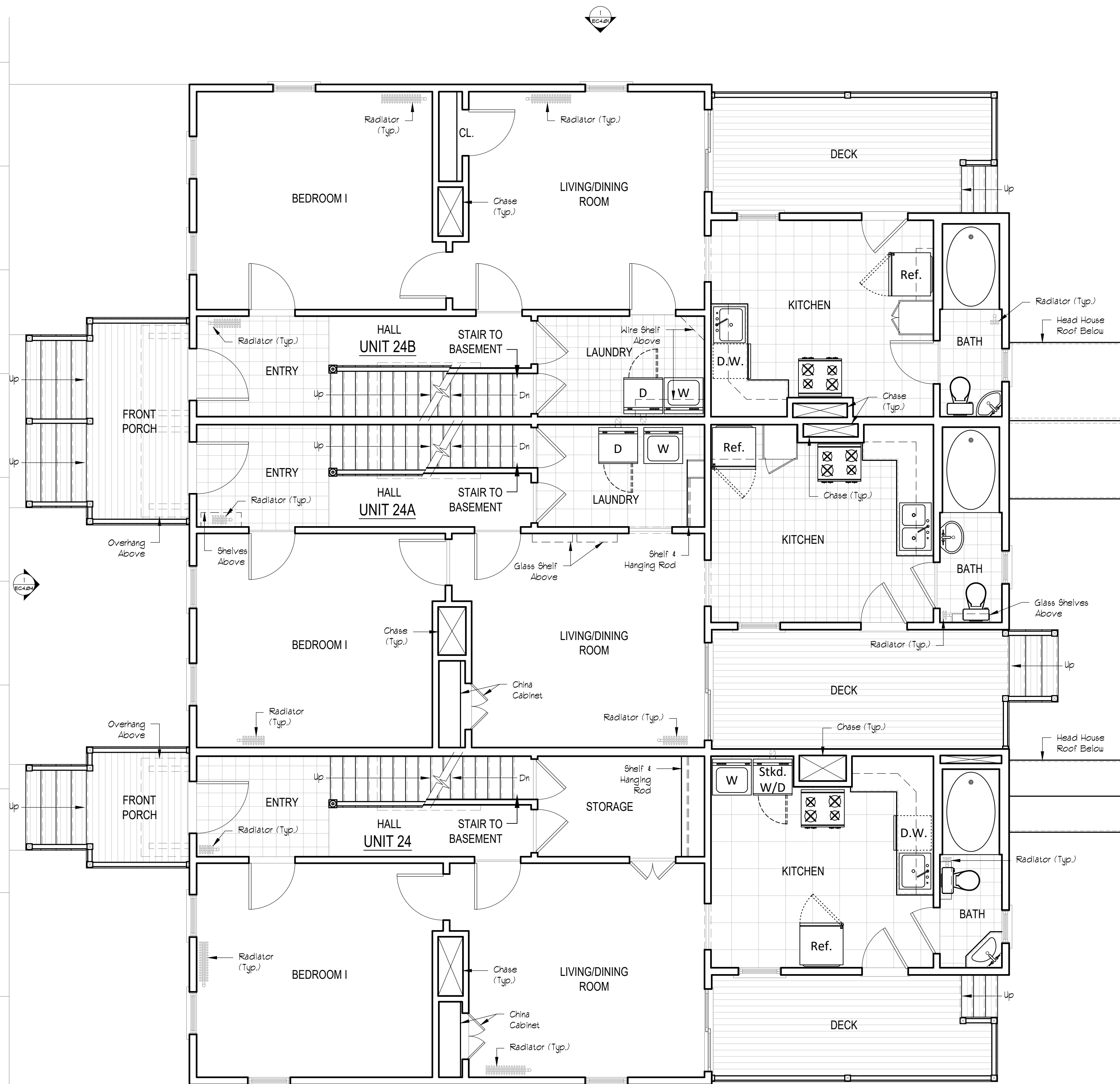
Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing First
Floor Plan

Sheet Number:

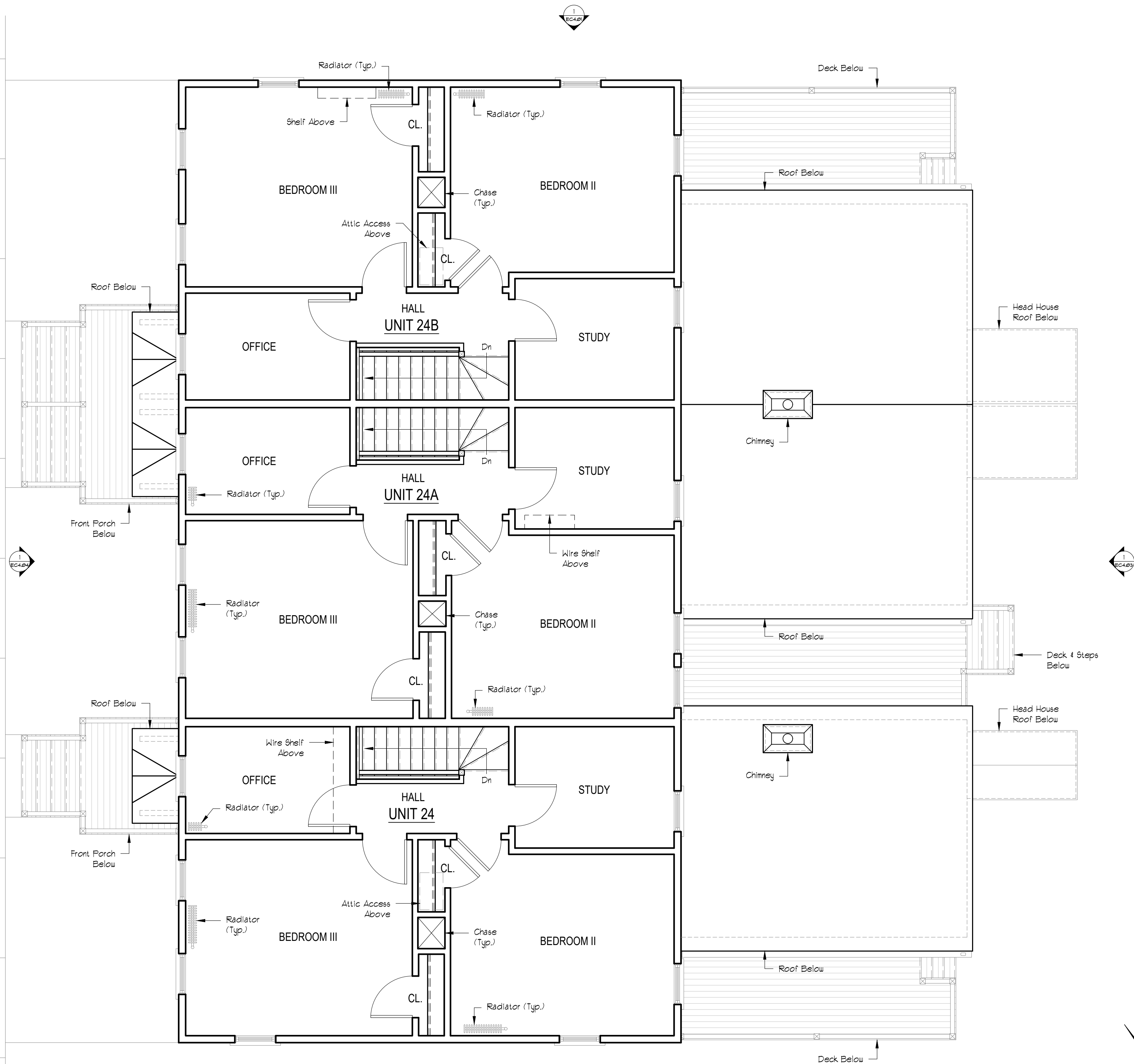
EC1.01



1 Existing First Floor Plan
Scale: 1/4" = 1'-0"

© Luna Design Group 24 Union Street Proposed 01/21

1 Existing Second Floor Plan
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Existing Second
Floor Plan

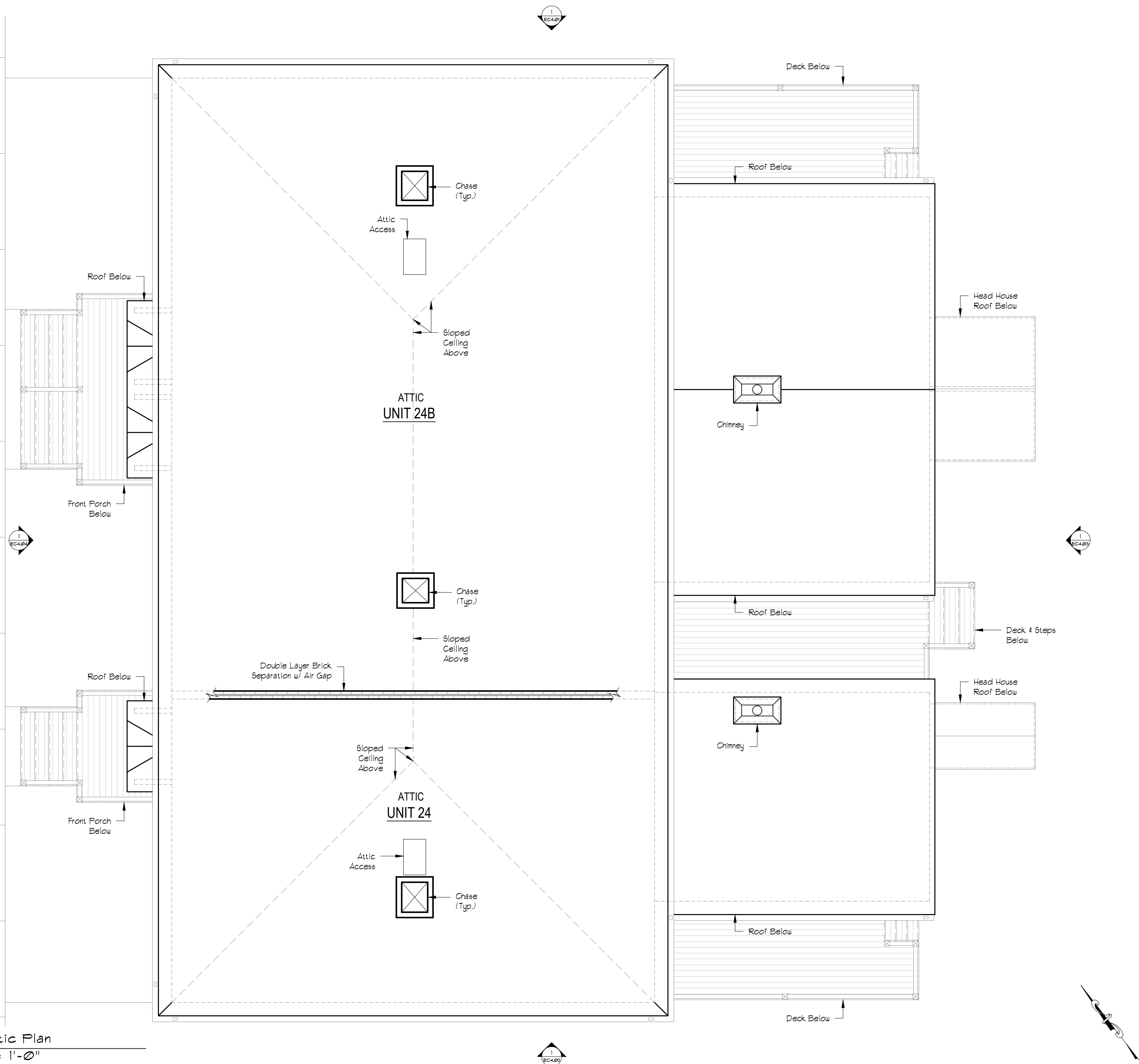
Sheet Number:

EC1.02

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Dr Luna Design Group 24 Union Street Proposed.dwg

1 Existing Attic Plan
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing
Attic Plan

Sheet Number:

EC1.03

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Owner:

Lin Lin
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Cambridge, MA 0214

Project:

The Residences At 24 Union Street

Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022

Scale

Job No.
LIN210 a

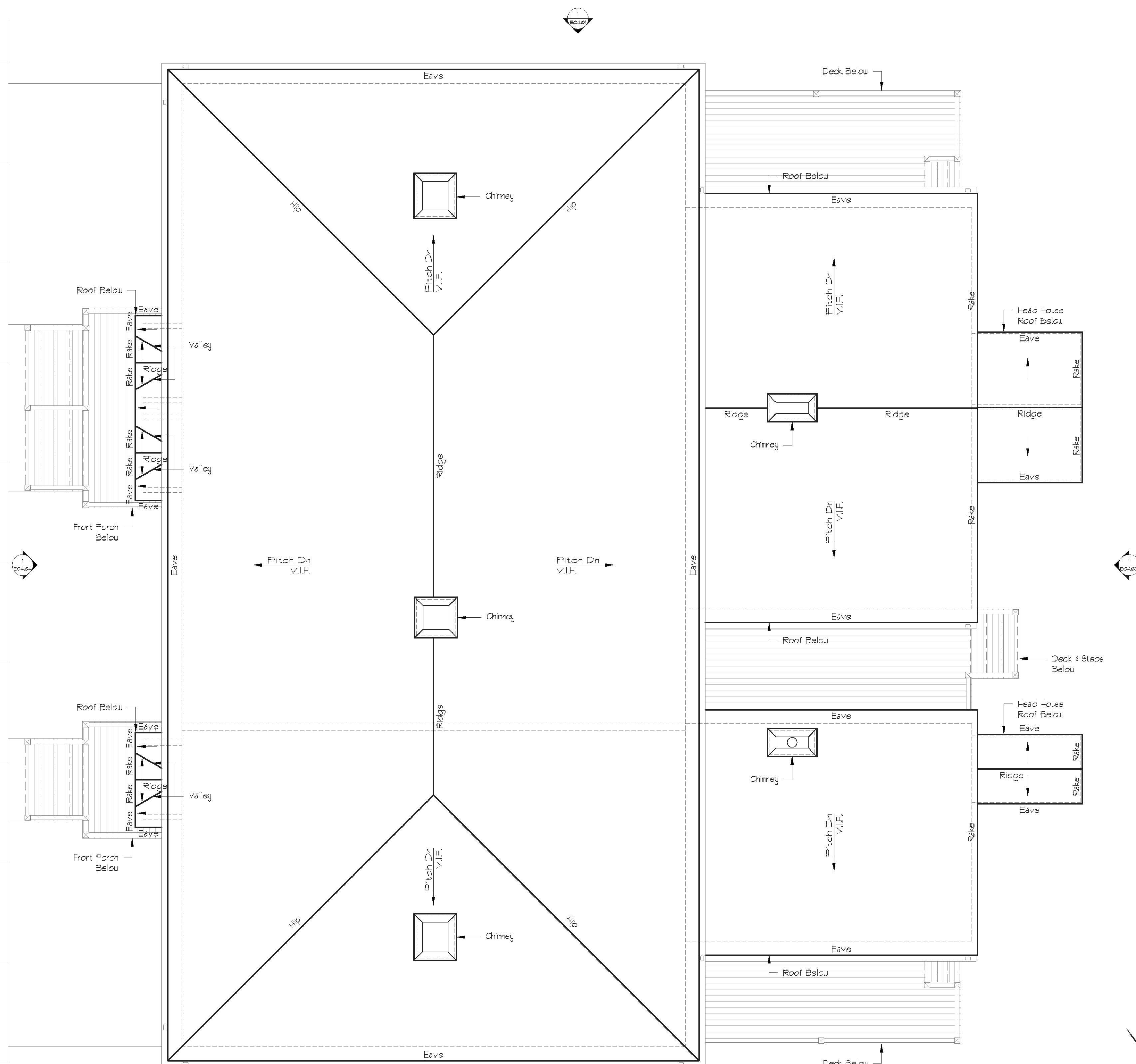
File
PROPOSED

Sheet Title:

Existing Roof Plan

Sheet Number:

EC1.04



① Existing Roof Plan
Scale: $\frac{1}{4}" = 1'-0"$

D:\Luna Design Group\24 Union Street\Proposed.dwg



Top of Roof
± 30' - 4 1/2"

Attic
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Existing North Elevation
Scale: 1/4" = 1'-0"



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Cambridge, MA 02141

Project:

The Residences At
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Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing North
Elevation

Sheet Number:

EC4.01

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Dr. Luna Design Group 24 Union Street Proposed.dwg



1 Existing South Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing South
Elevation

Sheet Number:

EC4.02

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing East
Elevation

Sheet Number:

EC4.03



1 Existing East Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Existing West
Elevation

Sheet Number:

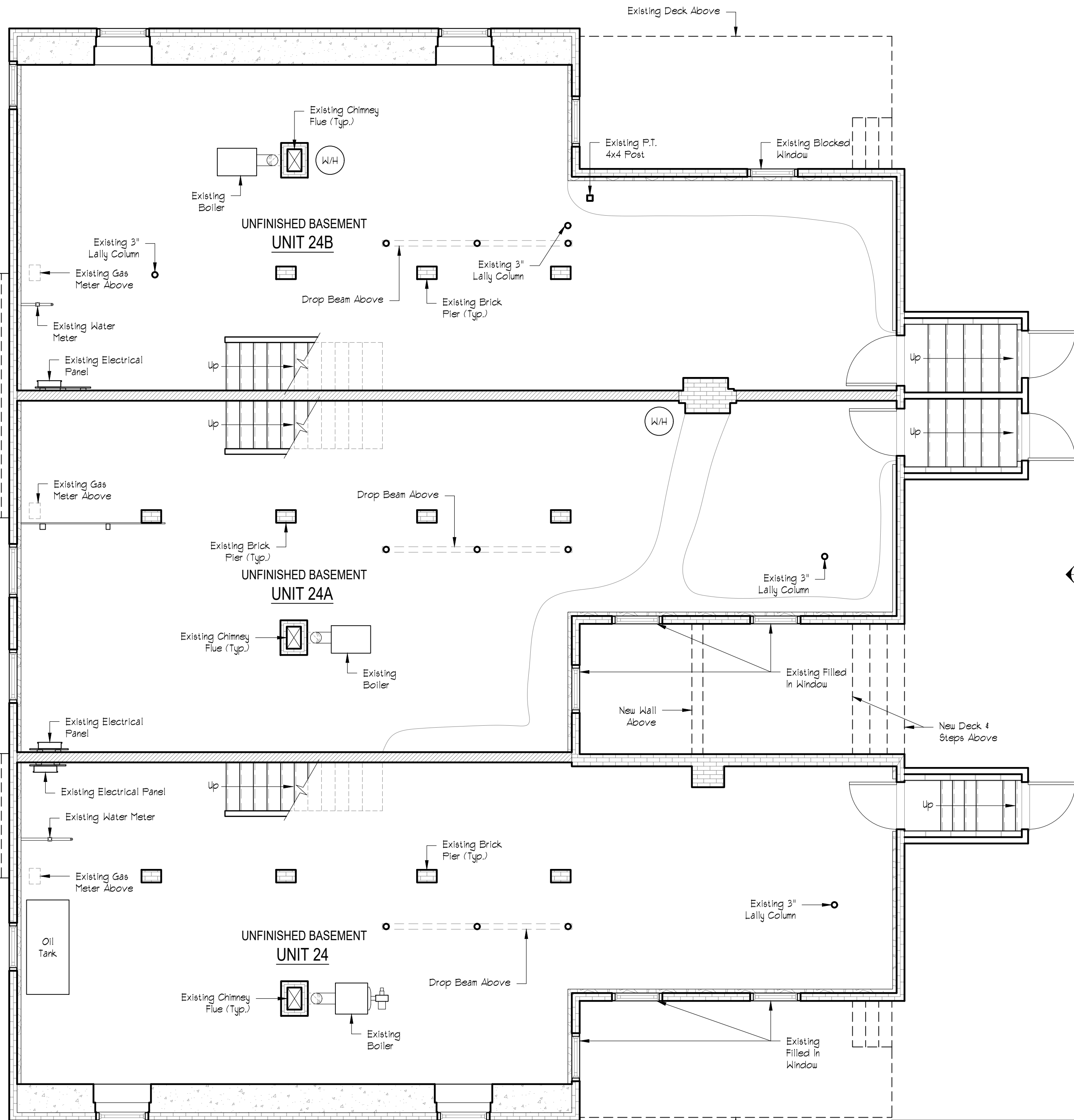
EC4.04



1 Existing West Elevation
Scale: 1/4" = 1'-0"

PROPERTY LINE

PROPERTY LINE



1 Proposed Basement Plan
Scale: 1/4" = 1'-0"

PROPERTY LINE



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022
Scale
1/4" = 1'-0"
Job No.
LIN210_a
File
PROPOSED

Sheet Title:

Proposed
Basement Plan

Sheet Number:

A1.00



SHADED AREA DENOTES
NEW WALLS

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1 Proposed First Floor Plan
Scale: 1/4" = 1'-0"

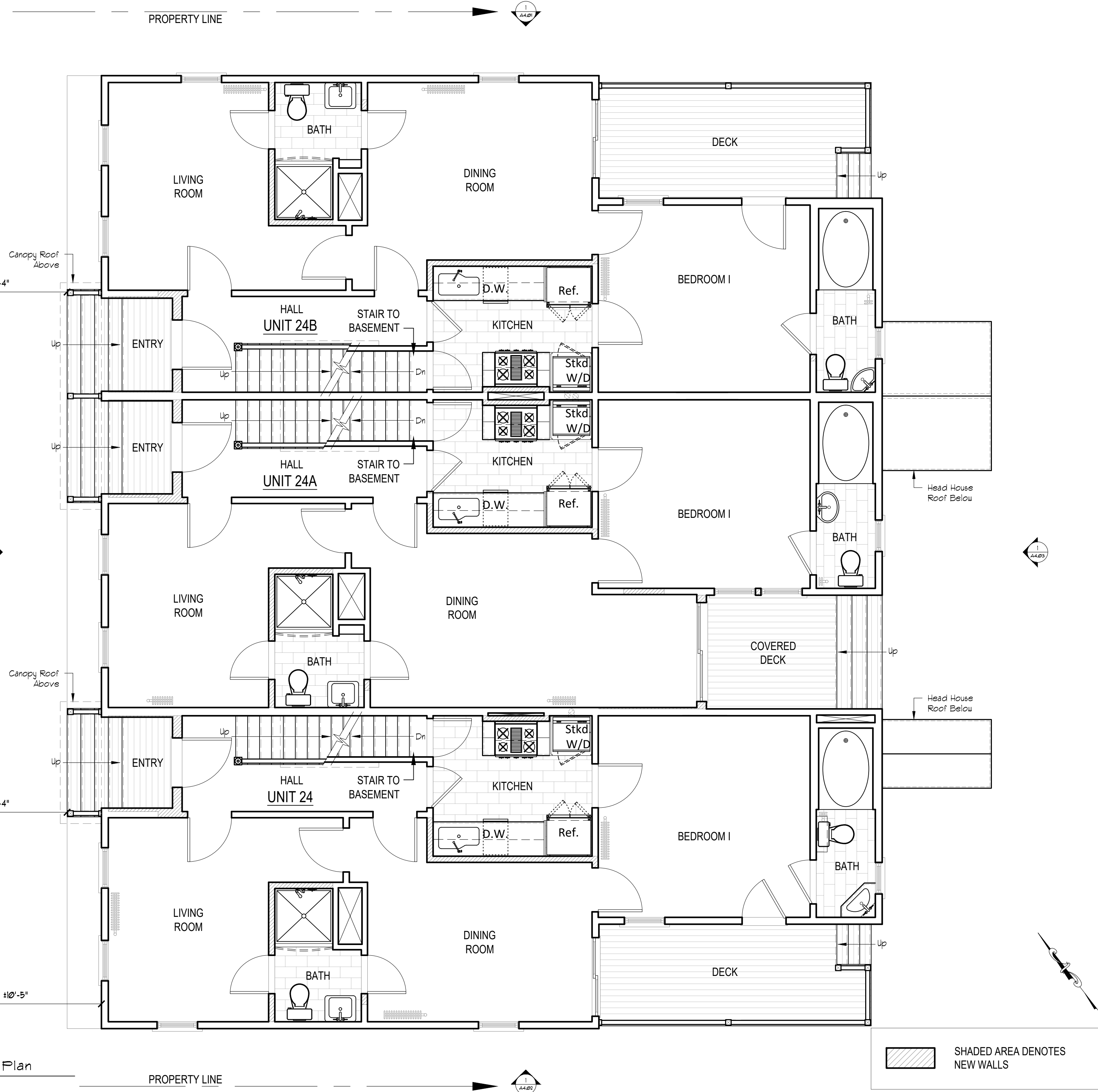
PROPERTY LINE

PARKING DRIVEWAY



±8'-4"

±10'-5"



SHADED AREA DENOTES
NEW WALLS



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed First
Floor Plan

Sheet Number:

A1.01

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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

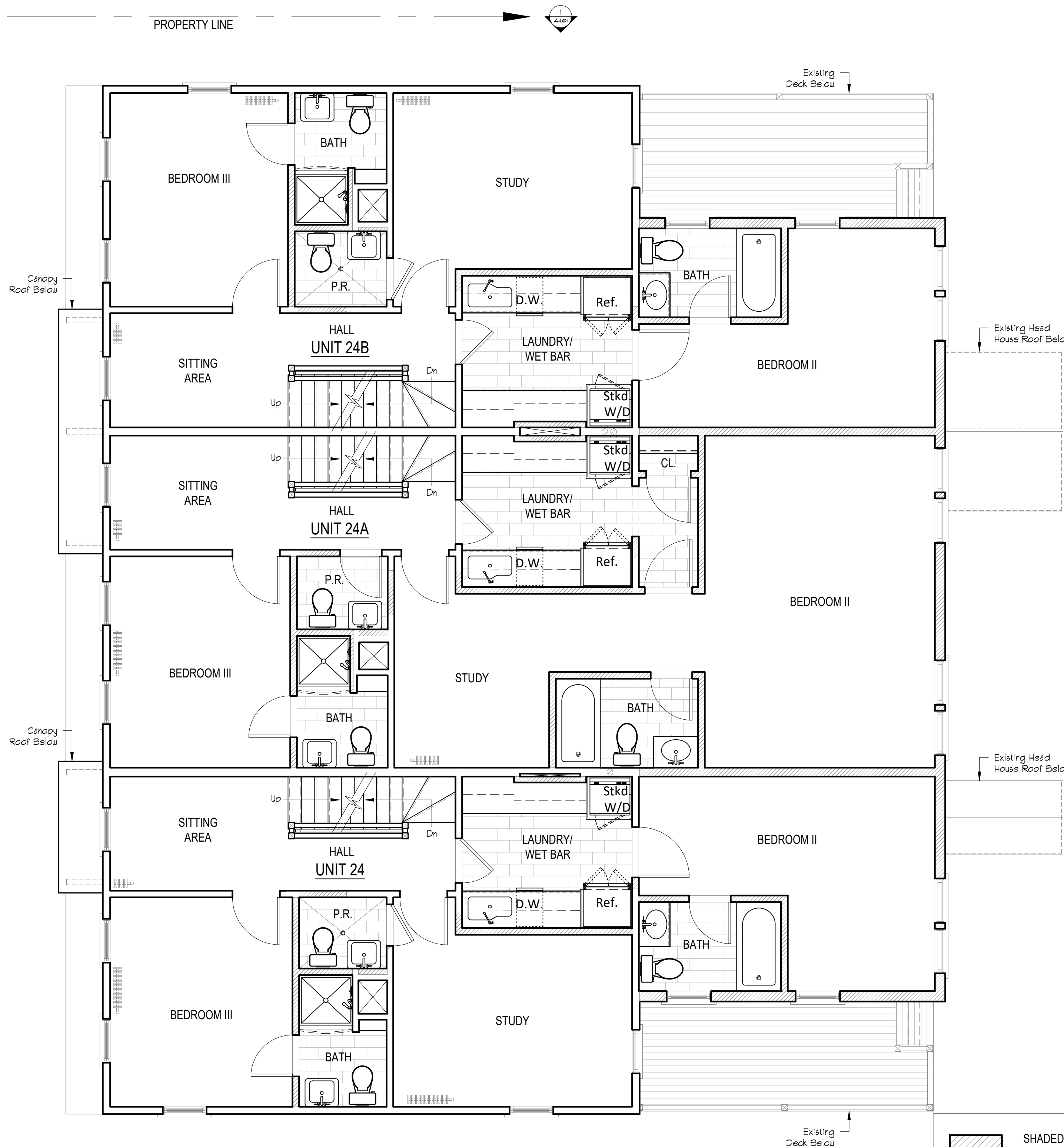
Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Proposed Second
Floor Plan**

Sheet Number:

A1.02



1 Proposed Second Floor Plan
Scale: 1/4" = 1'-0"

PROPERTY LINE

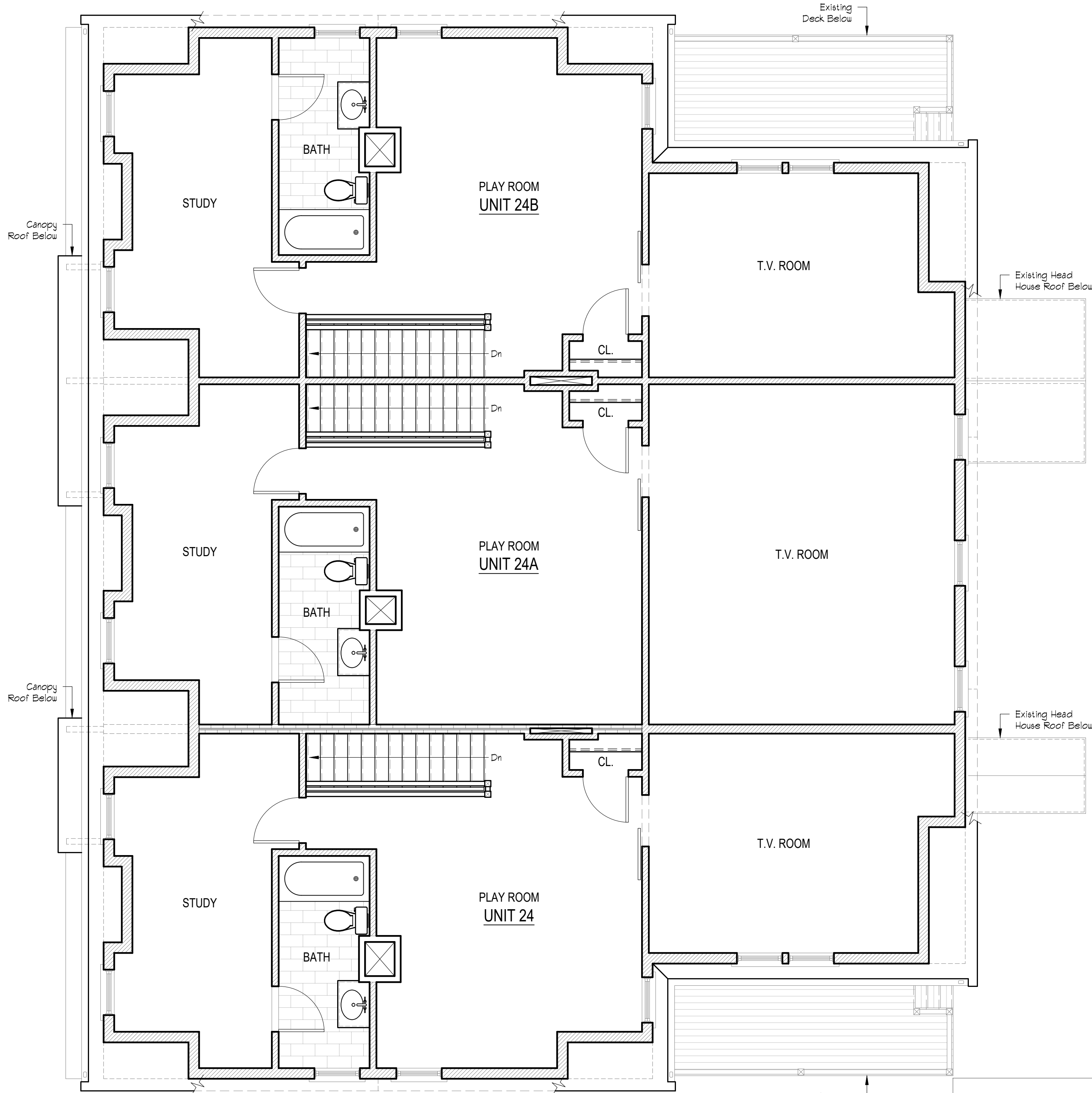
D:\Luna Design Group\24 Union Street\Proposed.dwg

1

Proposed Third Floor Plan

Scale: 1/4" = 1'-0"

PROPERTY LINE



Existing Deck Below



SHADED AREA DENOTES
NEW WALLS



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Owner:

Lin Lin
24B Union Street
Cambridge, MA 02141

Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date

JULY 22, 2022

Scale

1/4" = 1'-0"

Job No.

LIN210_a

File

PROPOSED

Sheet Title:

Proposed Third
Floor Plan

Sheet Number:

A1.03

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Architecture Interiors Planning
www.rumadcsign.com

Owner:

Lin Lin
24B Union Street
Cambridge, MA 0214

Project:

The Residences At 24 Union Street

Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022

Scale

Job No. _____

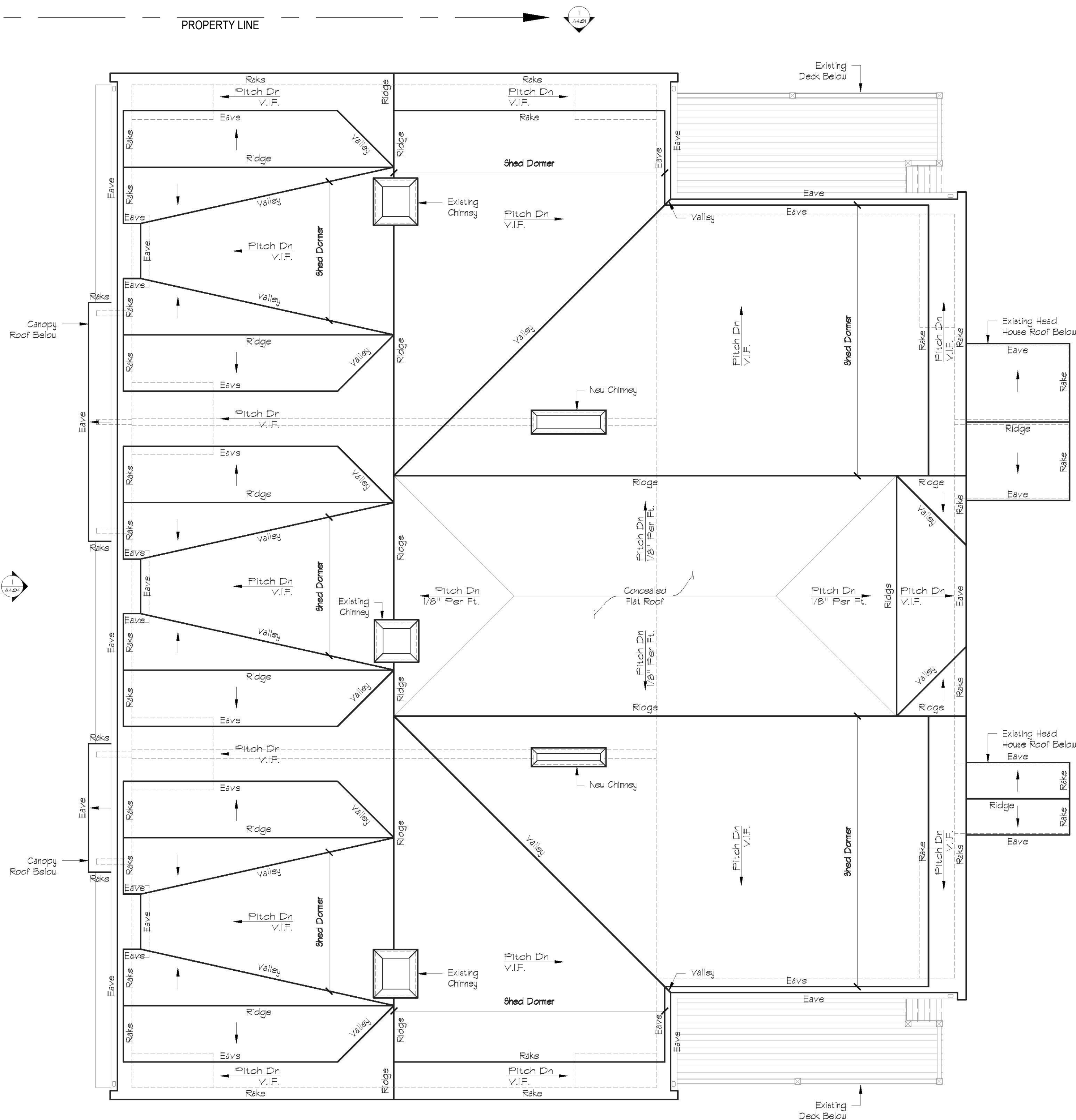
File
PROPOSED

Sheet Title:

Proposed Roof Plan

Sheet Number:

A1.04




① Proposed Roof Plan
Scale: $\frac{1}{4}" = 1'-0"$

PROPERTY LINE



1 Proposed North Elevation
Scale: 1/4" = 1'-0"



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Owner:

Lin Lin
24B Union Street
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Project:

**The Residences At
24 Union
Street**
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:

Date
JULY 22, 2022

Scale
1/4" = 1'-0"

Job No.
LIN210_a

File
PROPOSED

Sheet Title:

**Proposed North
Elevation**

Sheet Number:

A4.01



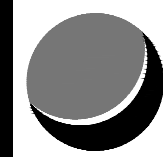
Top of Roof
± 30' - 4 1/2"

Third Floor
± 19' - 11 1/2"

Second Floor
± 9' - 11 3/4"

First Floor
0' - 0"

1 Proposed South Elevation
Scale: 1/4" = 1'-0"



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Cambridge, MA 02141

Project:

**The Residences At
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Street**
Cambridge, Massachusetts 02141

Locust:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

**Proposed South
Elevation**

Sheet Number:

A4.02



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Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

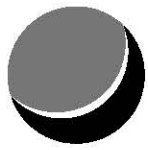
Proposed East
Elevation

Sheet Number:

A4.03



1 Proposed East Elevation
Scale: 1/4" = 1'-0"



LUNA | Design Group

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Architecture Interiors Planning

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Project:

The Residences At
24 Union
Street
Cambridge, Massachusetts 02141

Locus:

No.	Date	Revision/Issue
1	10.27.21	Existing Conditions
2	7.22.22	Proposed Addition

Stamp:	Date JULY 22, 2022
	Scale 1/4" = 1'-0"
	Job No. LIN210_a
	File PROPOSED

Sheet Title:

Proposed West
Elevation

Sheet Number:

A4.04



1 Proposed West Elevation
Scale: 1/4" = 1'-0"

[illegible]

24 Union St.

Petitioner

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79-113
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79-59
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CAMBRIDGE, MA 02141

79-60
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79-62
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C/O CAMBRIDGE HOUSING AUTHORITY
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79-62
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79-89
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