



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2025 MAY -5 AM 11:11

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

BZA Number: 1161831

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: \_\_\_\_\_

Variance: X

Appeal: \_\_\_\_\_

PETITIONER: Cindy Jao and Brian Wu

PETITIONER'S ADDRESS: 27 Jay St, Cambridge, MA 02139

LOCATION OF PROPERTY: 27 Jay St, Cambridge, MA

TYPE OF OCCUPANCY: Backyard

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

#### DESCRIPTION OF PETITIONER'S PROPOSAL:

27 Jay St has a small backyard. Given the placement of the house on the plot, a storage shed could only be practically placed in an area of the yard measuring 16' x 16'. If we were to adhere to the zoning ordinance's side and rear yard setback requirements, this would place the shed in the middle of the yard, which would significantly constrain how the backyard could be used. We are a family of 5 with 3 young children (ages 3.5 year, 1 year, and 3 weeks old) and hope to use the storage shed to house multiple conventional bicycles, plus an electric bicycle, along with other bicycle accessories necessary for young children. The bicycles cannot practically be stored in our basement as there is no stairwell with direct access to the basement from the outside (only a window well with emergency egress).

#### SECTIONS OF ZONING ORDINANCE CITED:

Article: 4.000      Section: 4.21 (Accessory Dimensions).  
Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).  
Article: 10.000      Section: 10.30 (Variance).

Original  
Signature(s):

  
(Petitioner (s) / Owner)

Cindy Jao / Brian Wu  
(Print Name)

Address:

Tel. No.

E-Mail Address:

27 Jay St, Cambridge MA  
617-504-2001  
cindyjao@gmail.com

Date: 5/1/2025

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Cindy Tao and Brian Wu  
(OWNER)

Address: 27 Jay St, Cambridge, MA 02139

State that I/We own the property located at 27 Jay St Cambridge MA,  
which is the subject of this zoning application.

The record title of this property is in the name of Cindy Tao and  
Brian Wu

\*Pursuant to a deed of duly recorded in the date 4/24/2025, Middlesex South  
County Registry of Deeds at Book 83683, Page 352; or  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

[Signature]  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

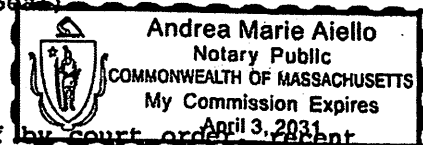
\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

The above-name Cindy Tao, Brian Wu personally appeared before me,  
this 24<sup>th</sup> of April, 2025, and made oath that the above statement is true.

Andrea Marie Aiello Notary

My commission expires 4/3/2031 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

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## SUPPORTING STATEMENT FOR A VARIANCE

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

27 Jay St has a small backyard. If we were to adhere to the zoning ordinance's side and rear yard setback requirements, this would place the shed in the middle of the yard, which would significantly constrain how the backyard could be used. Regarding the rear: we would be unable to place the shed against the fence at the rear of the property, which means a dead space of 3.5+ feet behind the shed that couldn't be used for anything else. The neighboring lot to the rear already has some 15'+ tall evergreen trees which already block sight lines into our property, so adding an 8-9' tall shed would make no difference to them in their view. Regarding the side: the property line is not at a right angle to the fence and is located within our backyard; adhering to a 5' side yard setback requirement would mean 8' of unused space between the building next door and the side of the shed. The entire lot area of 27 Jay is 2046 sq ft, which is significantly smaller than the assumed 5000 sq ft lot area.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The area of the yard in which a shed could be placed measures 16' x 16'.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

We hope to build a shed sufficient to store bicycles for a family of 5, and as such, the only practical placement would be the back left corner of the yard which would mean reducing the setback requirements to 2 feet along both the side and rear.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Side: With a 2' side setback, because the property line is within our backyard, there would still be sufficient space between the left side of the shed and the adjacent building at 23-25 Jay St to access the siding to perform renovations/maintenance when needed. Rear: There would still be a setback of 2' along the rear; maintenance of the fence, if necessary, could be done by accessing the fence from the other side. Because the shed would be inside the fence, and the tall trees are already outside the fence, sightlines and light would remain largely unaffected from the rear neighbor's perspective.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

# **DIMENSIONAL INFORMATION**

**Applicant:** Cindy Jao and Brian Wu  
**Location:** 27 Jay St., Cambridge, MA  
**Phone:** 617-504-2001

**Present Use/Occupancy:** Backyard  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** Backyard with storage shed

|   |                   | <u><b>Existing Conditions</b></u>    | <u><b>Requested Conditions</b></u> | <u><b>Ordinance Requirements</b></u> |        |
|---|-------------------|--------------------------------------|------------------------------------|--------------------------------------|--------|
| <u><b>TOTAL GROSS FLOOR AREA:</b></u>                             |                   | 2941                                 | 3021                               | N/A                                  | (max.) |
| <u><b>LOT AREA:</b></u>   |                   | 2046                                 | no change - 2046                   | N/A                                  | (min.) |
| <u><b>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></b></u> |                   | 1.44                                 | 1.47                               | N/A                                  |        |
| <u><b>LOT AREA OF EACH DWELLING UNIT</b></u>                      |                   | 2046                                 | no change - 2046                   | N/A                                  |        |
| <u><b>SIZE OF LOT:</b></u>  | <b>WIDTH</b>      | 33'                                  | No change                          | N/A                                  |        |
|   | <b>DEPTH</b>      | 62'                                  | No change                          | N/A                                  |        |
| <u><b>SETBACKS IN FEET:</b></u>                                   | <b>FRONT</b>      | N/A - no shed currently exists today | No change                          | N/A                                  |        |
|   | <b>REAR</b>       | N/A - no shed currently exists today | 2                                  | 5                                    |        |
|   | <b>LEFT SIDE</b>  | N/A - no shed currently exists today | 2                                  | 5                                    |        |
|   | <b>RIGHT SIDE</b> | N/A - no shed currently exists today | No change                          | N/A                                  |        |
| <u><b>SIZE OF BUILDING:</b></u>                                   | <b>HEIGHT</b>     | 26'3"                                | No change                          | N/A                                  |        |
|   | <b>WIDTH</b>      | 18'4"                                | No change                          | N/A                                  |        |
|   | <b>LENGTH</b>     | 50'10"                               | No change                          | N/A                                  |        |
| <u><b>RATIO OF USABLE OPEN SPACE TO LOT AREA:</b></u>             |                   | 6.6% - 310                           | private open space - 230           | Private open space - 307             |        |
| <u><b>NO. OF DWELLING UNITS:</b></u>                              |                   | 1                                    | no change - 1                      | N/A                                  |        |
| <u><b>NO. OF PARKING SPACES:</b></u>                              |                   | 1                                    | no change                          | N/A                                  |        |
| <u><b>NO. OF LOADING AREAS:</b></u>                               |                   | 0                                    | no change - 0                      | N/A                                  |        |
| <u><b>DISTANCE TO NEAREST BLDG. ON SAME LOT</b></u>               |                   | N/A                                  | 5'                                 | N/A                                  |        |

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



# Renovations to 27 Jay St Cambridge, MA 02139

Special Permit Review - February 09, 2022  
September 14, 2023

ISSUE DATE: December 20, 2023  
FOR CONSTRUCTION & PERMITTING

Owner:  
Treetop Group

100 Tower Office Park  
Suite 1  
Woburn, MA 01801  
Office: (781) 305-3731

Architect:  
EvB Design  
Edrick vanBeuzekom, AIA  
1310 Broadway, Suite 200  
Somerville, MA 02144  
Tel: 617-623-2222  
Email: edrick@evbdesign.com



Structural Engineer  
CJ Associates LLC  
Chris Jayavendra, S.E., P.E. Principal  
PO BOX 13  
Westborough, MA 01581  
Phone: 617-869-2273  
Email: cjassociatesma@gmail.com

List Of Drawings:

- Cover Sheet

Z1.0 Zoning Table & FAR Calculations

SP-1 Existing Site Plan

SP-2 Proposed Site Plan & Zoning Table

S-1 Structural Notes & Plan - Foundation

S-2 Structural General Notes & Details

S-3 1st & 2nd Floor Framing Plans

S-4 3rd Floor & Roof Framing Plan

A1.0 Proposed Basement Plan

A1.1 Proposed 1st Floor Plan

A1.2 Proposed 2nd Floor Plan

A1.3 Proposed 3rd Floor Plan

A2.1 Proposed Front & Rear (East & West) Elevations

A2.2 Proposed Left Side (South) Elevation

A2.3 Proposed Right Side (North) Elevation

A2.4 Window & Door Schedule

A3.1 Proposed Sections
- A4.1 Proposed Kitchen Elevations

A4.2 Proposed 1st Floor Half Bath Elevations

A4.3 Proposed 2nd Floor Master Bath Elevations

A4.4 Proposed 2nd Floor Guest Bath Elevations

A4.5 Proposed Basement Guest Bath Elevations

A4.6 Proposed 3rd Floor Bath Elevations

E1.0 Basement Lighting/Electrical Plan

E1.1 1st Floor Lighting/Electrical Plan

E1.2 2nd Floor Lighting/Electrical Plan

E1.3 3rd Floor Lighting Electrical Plan

X1.0 Existing Basement & Demo Plan

X1.1 Existing 1st Floor & Demo Plan

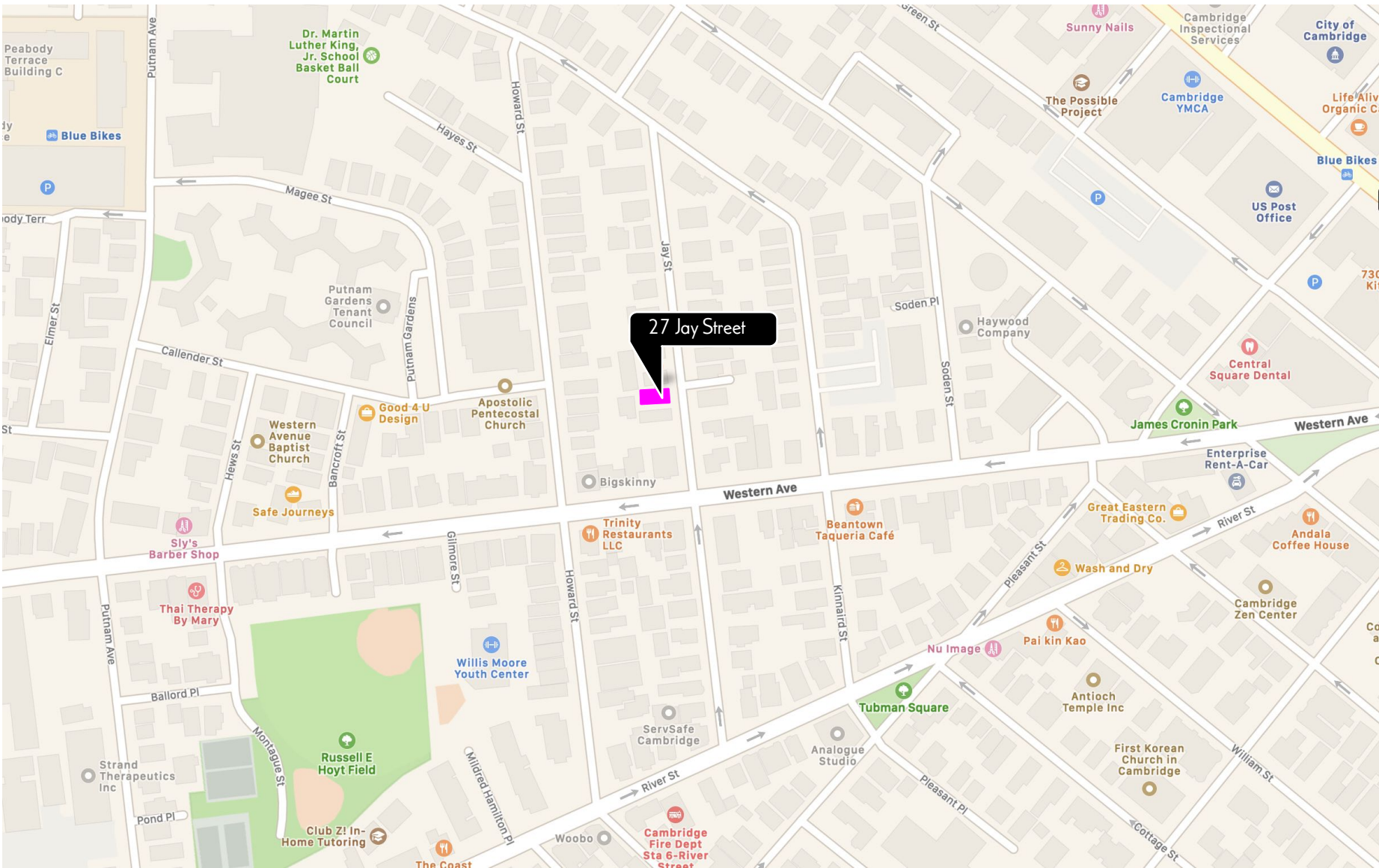
X1.2 Existing 2nd Floor & Demo Plan

X1.2 Existing Roof Plan

X2.1 Existing Elevations & Demo

X3.1 Existing Sections & Demo

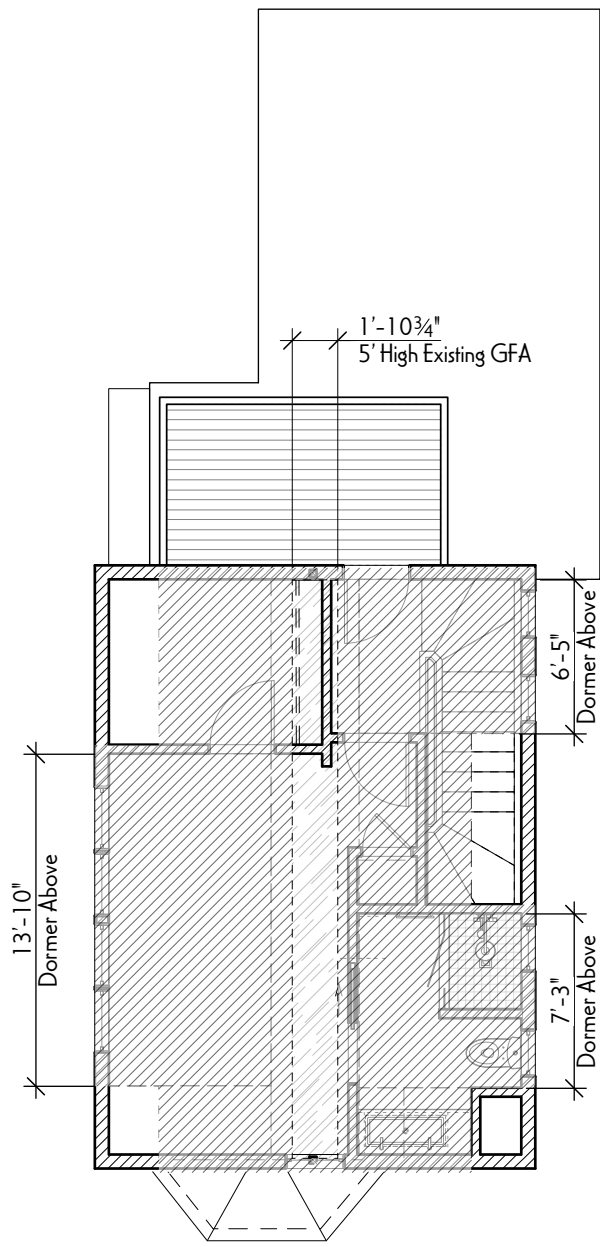
LOCUS PLAN





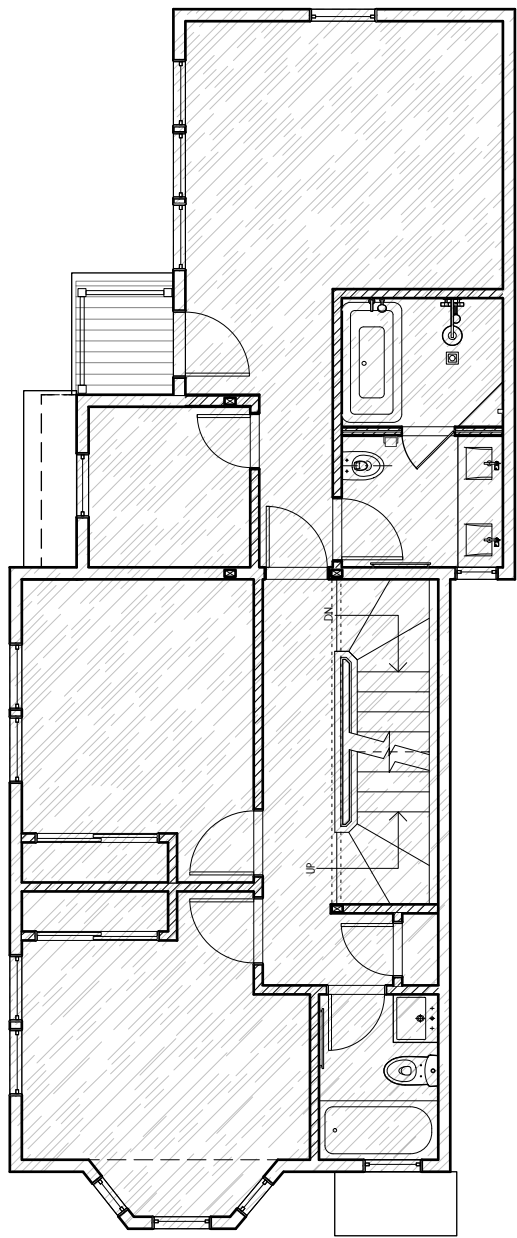
| 27 Jay St. Zoning Table                 |                 | Zone: C-1           |                      |                        |   |
|---|-----------------|---------------------|----------------------|------------------------|---|
|   |                 | EXISTING CONDITIONS | REQUESTED DIMENSIONS | ORDINANCE REQUIREMENTS |   |
| TOTAL GROSS FLOOR AREA (G.F.A.)         |                 | 2583 SF             | 2941 SF              | 1535 SF                | 3750 SF Based on 5000 sf minimum lot s  |
| LOT AREA                                |                 | 2046 SF             | NO CHANGE            | 5000 SF                | (min.) NC                               |
| RATIO OF GROSS FLOOR AREA TO LOT AREA   |                 | 1.26                | 1.44                 | 0.75                   | (max.) NC                               |
| LOT AREA FOR EACH DWELLING UNIT (D.U.)  |                 | 2046 SF             | NO CHANGE            | 1500 SF                | (min.)                                  |
| SIZE OF LOT                             | -WIDTH          | 33'                 | NO CHANGE            | 50'                    | (min.) NC                               |
|   | -DEPTH          | 62'                 | NO CHANGE            | -                      | (min.)                                  |
| SETBACKS (IN FEET)                      | -FRONT (Jay St) | 4.5'                | NO CHANGE            | 10'                    | (10'-0"min.) NC fn(a) Table 5.1 Ch. 31  |
|   | -REAR           | 6.1'                | NO CHANGE            | 20'                    | (20'-0"min.) NC fn (c) table 5.1 Ch. 31 |
|   | -NORTH SIDE     | 1.2'                | NO CHANGE            | 7.5'                   | (7'-6"min.) fn (n) table 5.1 Ch. 31     |
|   | -SOUTH SIDE     | 10.6'               | NO CHANGE            | 7.5'                   | (7'-6"min.) NC fn (n) table 5.1 Ch. 31  |
| SIZE OF BLDG.                           | -HEIGHT         | 26.3'               | 33'0"                | 35'0"                  | (max.)                                  |
|   | -LENGTH         | 50'-10"             | NO CHANGE            | -                      | (max.)                                  |
|   | -WIDTH          | 18'-4"              | NO CHANGE            | -                      | (max.)                                  |
| RATIO OF PRIVATE OPEN SPACE TO LOT AREA |                 | 15%                 | NO CHANGE            | 30%                    | (min.) NC                               |
| NO. OF DWELLINGS                        |                 | 1                   | NO CHANGE            | 1                      | (max.)                                  |
| NO. OF PARKING SPACES                   |                 | 1                   | NO CHANGE            | 1                      | (min./max.)                             |
| NO. OF LOADING AREAS                    |                 | N/A                 | NO CHANGE            | N/A                    | (min.)                                  |
| DISTANCE TO NEAREST BLDG. ON SAME LOT   |                 | N/A                 | NO CHANGE            |                        | (min.)                                  |

| GFA /FAR CALCULATION - 27 Jay St. |          |          |
|-----------------------------------|----------|----------|
| Lot Size                          | 2046 SF  |          |
|                                   | Existing | Proposed |
| Basement                          | 814      | 814      |
| 1st Floor                         | 885      | 885      |
| 2nd Floor                         | 838      | 838      |
| 3rd Floor                         | 46       | 404      |
| Total Area                        | 2583 SF  | 2941 SF  |
| FAR                               | 1.26     | 1.44     |



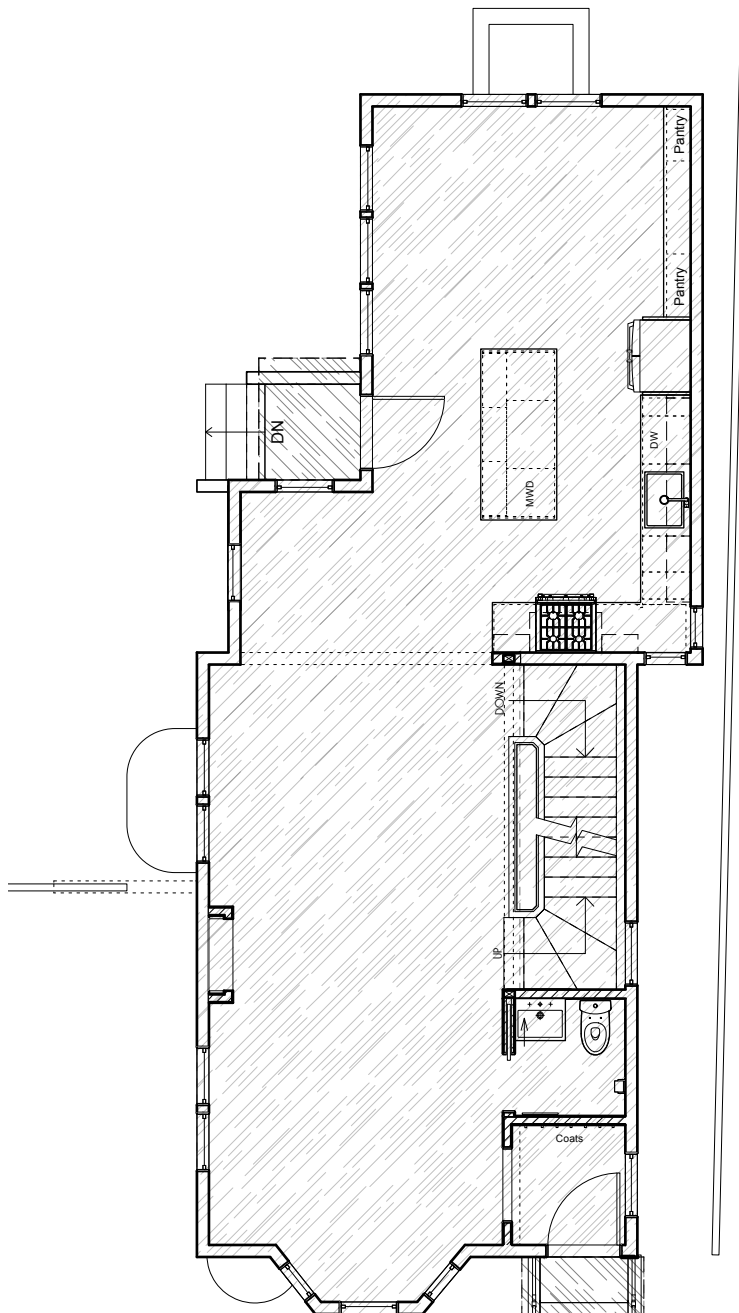
4 Third Floor GFA  
Scale: 1/8" = 1'-0"

New GFA = 359 SF  
(previously 565 SF)  
 Existing GFA = 46 SF



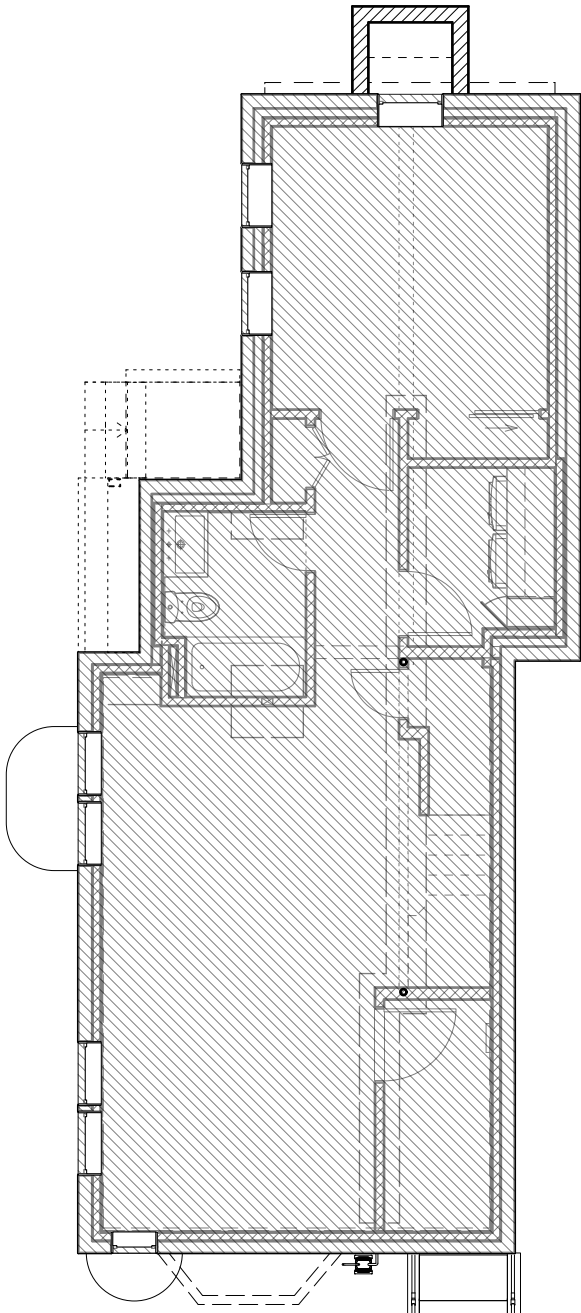
3 Second Floor GFA  
Scale: 1/8" = 1'-0"

Existing GFA = No change  
838 SF



2 First Floor GFA  
Scale: 1/8" = 1'-0"

Existing GFA = No change  
885 SF



1 Basement GFA (New Zoning Regulation)  
Scale: 1/8" = 1'-0"

New Zoning Regulation GFA =  
814 SF

Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139

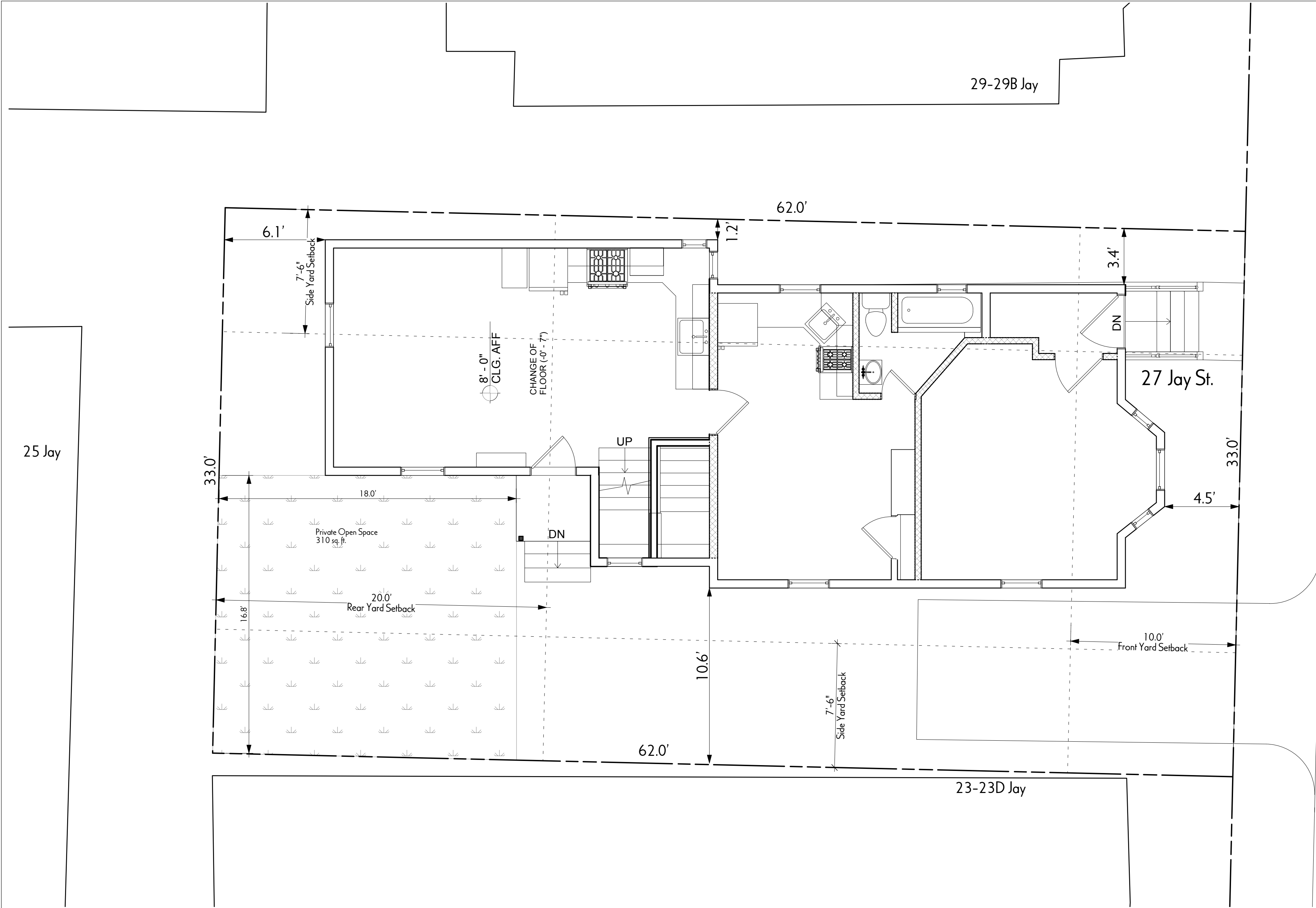


**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
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|              |                 |
|              |                 |

Construction Set

**Z1.0**



1 Existing Site Plan  
Scale: 1/4" = 1'-0"

Site Plan property lines,  
building footprint and offsets  
taken from Plot Plan of Land  
dated September 17, 2021  
by David Terenzoni, P.L.S.  
4 Allen Rd, Peabody, MA 01960

Owner:  
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Property Address:  
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Cambridge, MA 02139



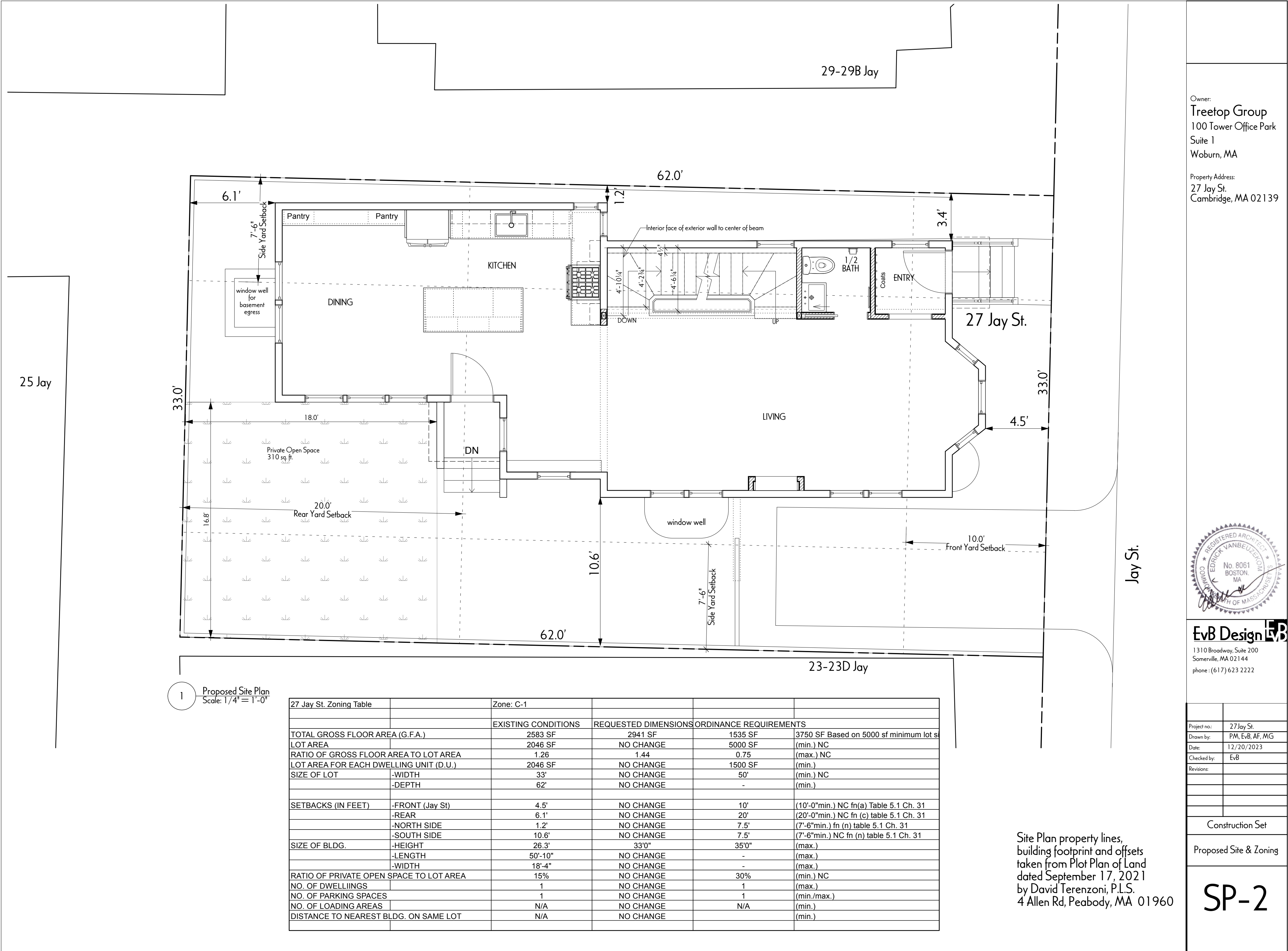
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Construction Set

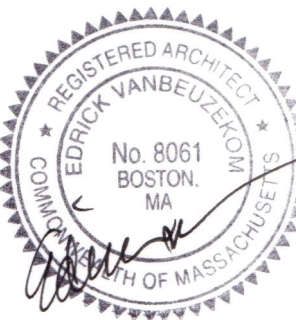
Existing Site Plan

**SP-1**



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Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



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Construction Set

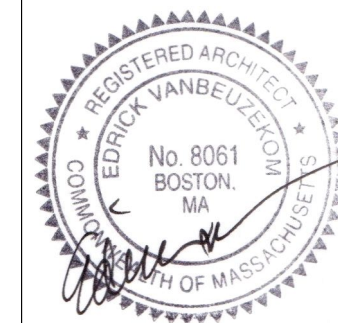
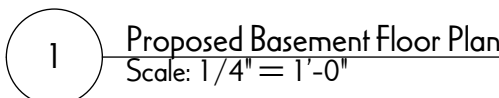
Proposed Site & Zoning

**SP-2**

Site Plan property lines,  
building footprint and offsets  
taken from Plot Plan of Land  
dated September 17, 2021  
by David Terenzoni, P.L.S.  
4 Allen Rd, Peabody, MA 01960



Property Address:  
27 Jay St.  
Cambridge, MA 02139



1310 Broadway, Suite 200  
Somerville, MA 02144  
phone: (617) 623 2222

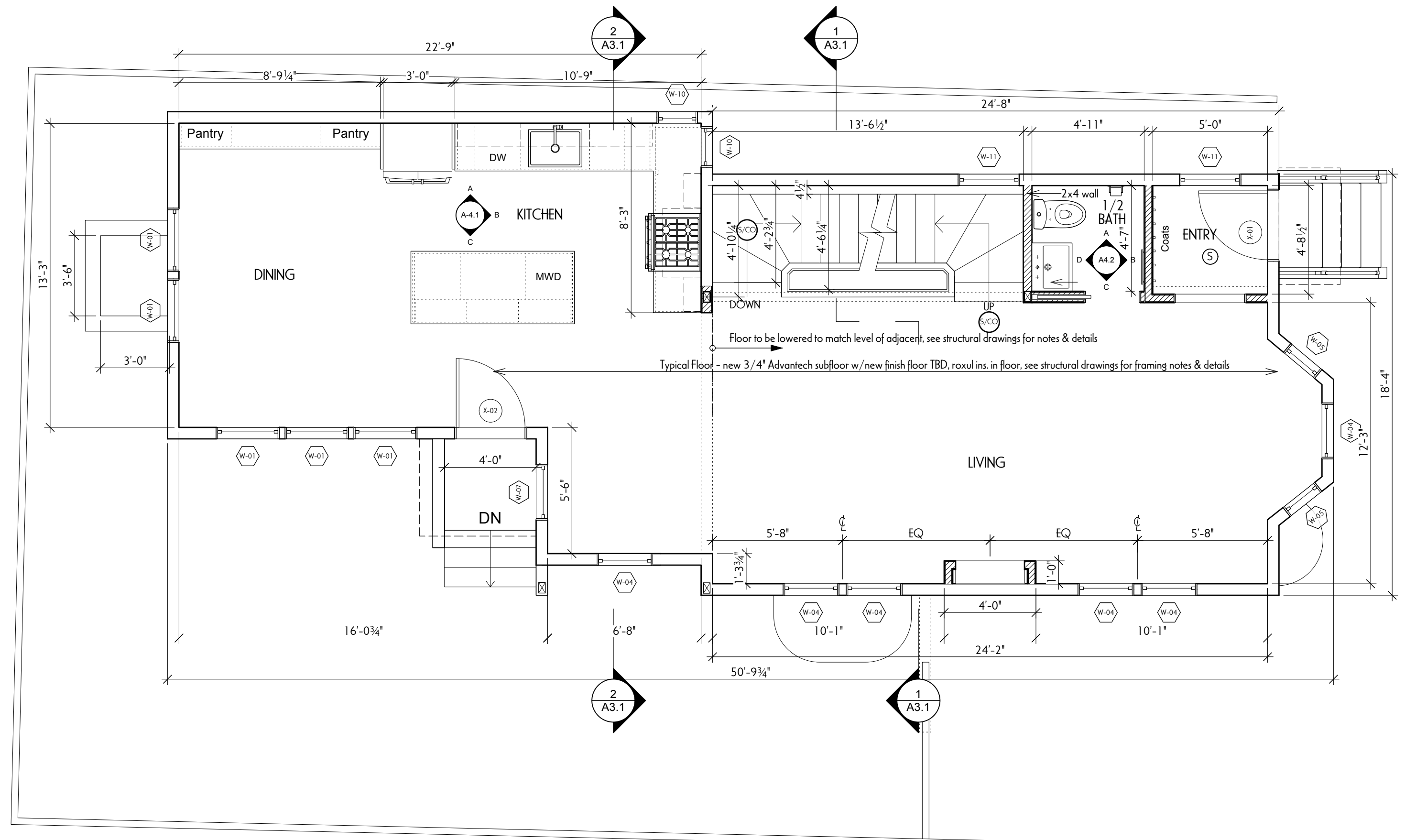
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| Checked by:  | EvB             |
| Revisions:   |                 |
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# A1.0

1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations prior to 01/01/2023, Except as noted below;
4. All new roof assemblies, and all third floor work shall comply with the current code and regulations required by the state of Massachusetts, and the city of Cambridge, including but not limited to the new energy stretch code

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demolition
- New wall, typical

- ⑤ - 110 Volt Photoelectric smoke detector with battery back up system
- ⑤/CO - 110 Volt Photoelectric smoke / carbon monoxide detector with battery back up system



1 Proposed First Floor Plan  
Scale: 1/4" = 1'-0"

GENERAL NOTES

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GRAPHIC KEY:

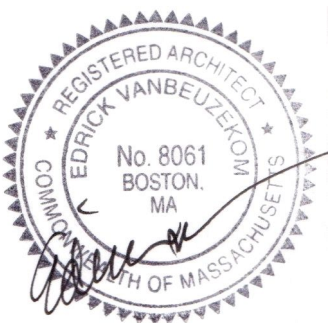
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- Existing fixture/finish to be removed
- Denotes demolition
- New wall, typical

(S) - 110 Volt Photoelectric smoke detector with battery back up system

(6/CO) - 110 Volt Photoelectric smoke / carbon monoxide detector with battery back up system

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100 Tower Office Park  
Suite 1  
Woburn, MA

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Cambridge, MA 02139



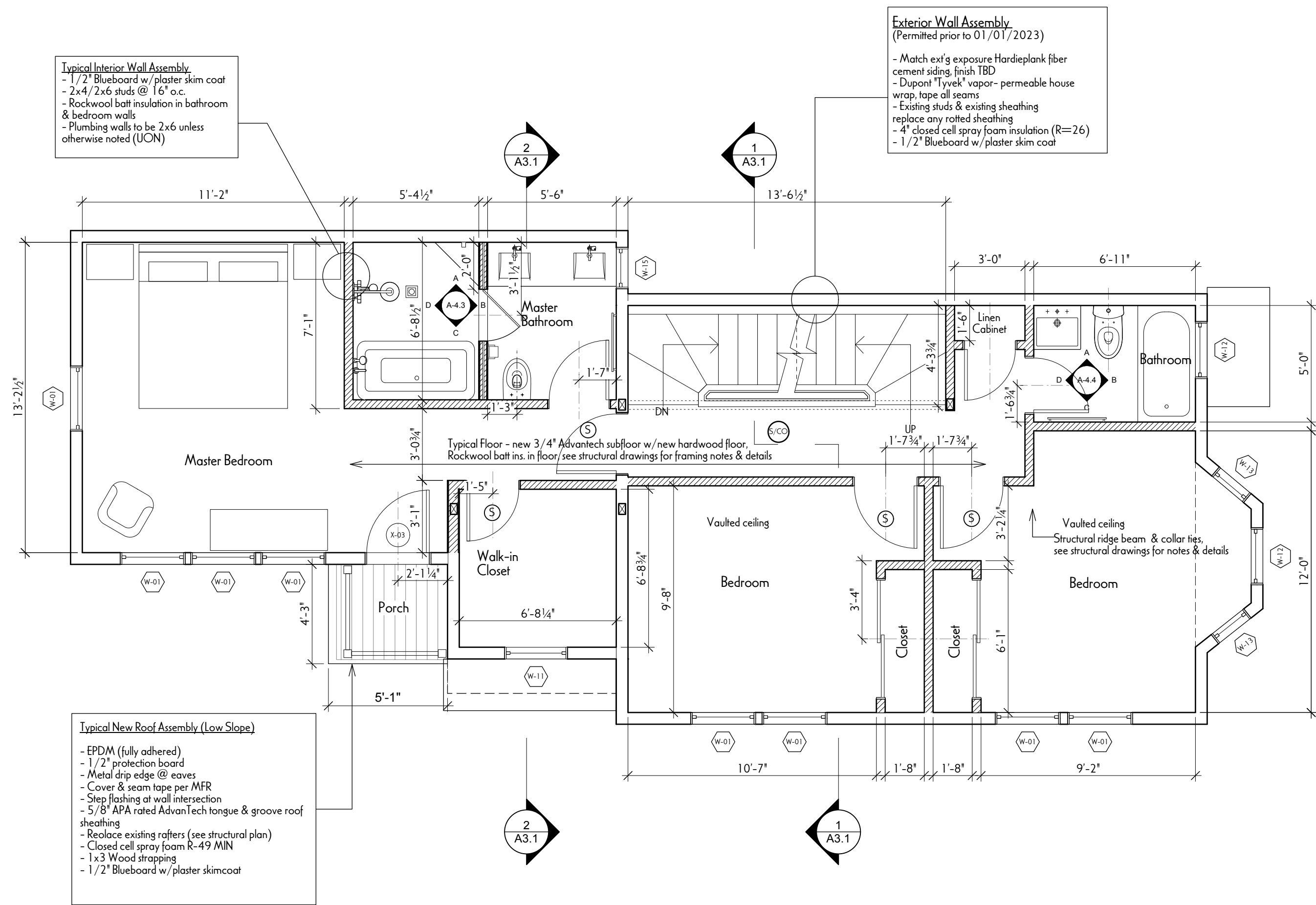
**EvB Design**  
1310 Broadway, Suite 200  
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phone: (617) 623 2222

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| Project no.: | 27Jay St.       |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |

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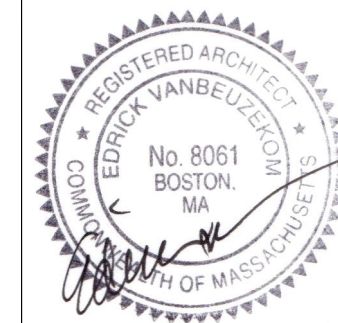
Construction Set

A1.1



Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



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| Revisions:   |                 |
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Construction Set

A1.2

#### GENERAL NOTES

1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
2. All dimensions are to the finished face of plaster unless otherwise noted (UON).
3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations prior to 01/01/2023. Except as noted below;
4. All new roof assemblies, and all third floor work shall comply with the current code and regulations required by the state of Massachusetts, and the city of Cambridge, including but not limited to the new energy stretch code

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- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demolition
- New wall, typical

Ⓢ - 110 Volt Photoelectric smoke detector with battery back up system

Ⓢ/CO - 110 Volt Photoelectric smoke / carbon monoxide detector with battery back up system



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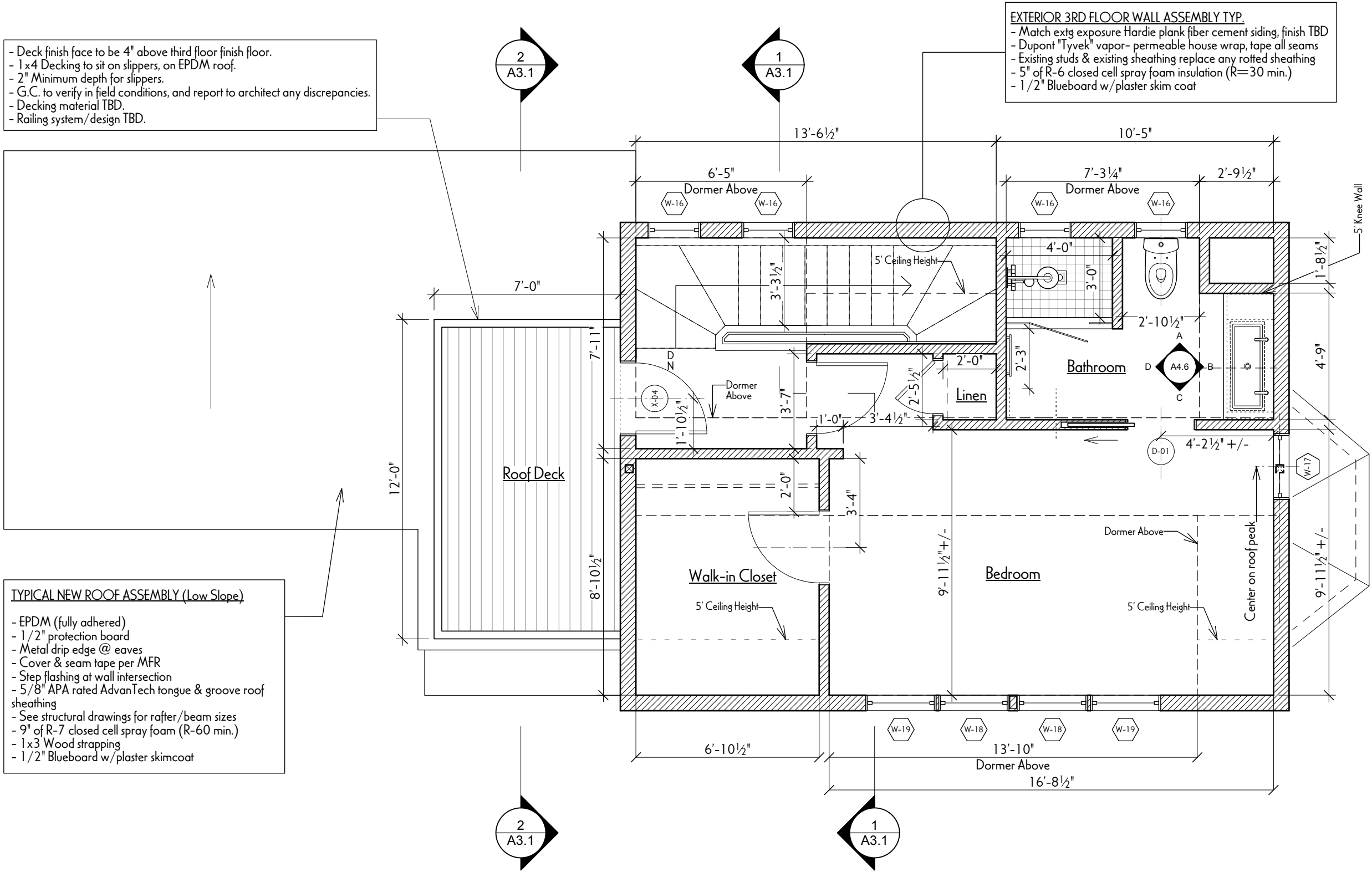


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| Revisions:   |                 |
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Construction Set

A1.3



1 Proposed Third Floor Plan  
Scale: 1/4" = 1'-0"

| GFA /FAR CALCULATION - 27 Jay St. |          |          |
|-----------------------------------|----------|----------|
| Lot Size                          | 2046 SF  |          |
|                                   | Existing | Proposed |
| Basement                          | 814      | 814      |
| 1st Floor                         | 885      | 885      |
| 2nd Floor                         | 838      | 838      |
| 3rd Floor                         | 46       | 404      |
| Total Area                        | 2583 SF  | 2941 SF  |
| FAR                               | 1.26     | 1.44     |

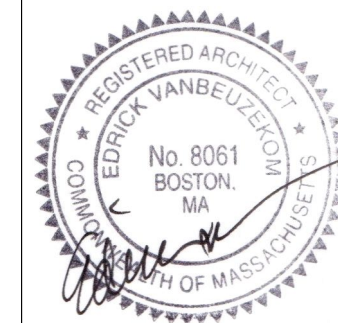
GENERAL NOTES

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GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demolition
- New wall, typical
- Ⓢ - 110 Volt Photoelectric smoke detector with battery back up system
- Ⓢ/CO - 110 Volt Photoelectric smoke / carbon monoxide detector with battery back up system

Property Address:  
27 Jay St.  
Cambridge, MA 02139

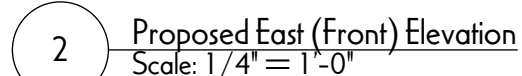
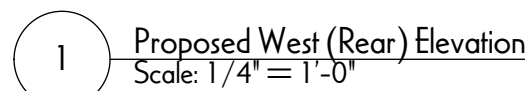


**EvB Design**   
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone: (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2013      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set

## A2.1



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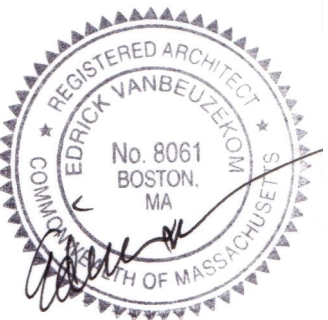
1 Proposed South (Side) Elevation  
Scale: 1/4" = 1'-0"

#### GENERAL NOTES

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Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
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Cambridge, MA 02139

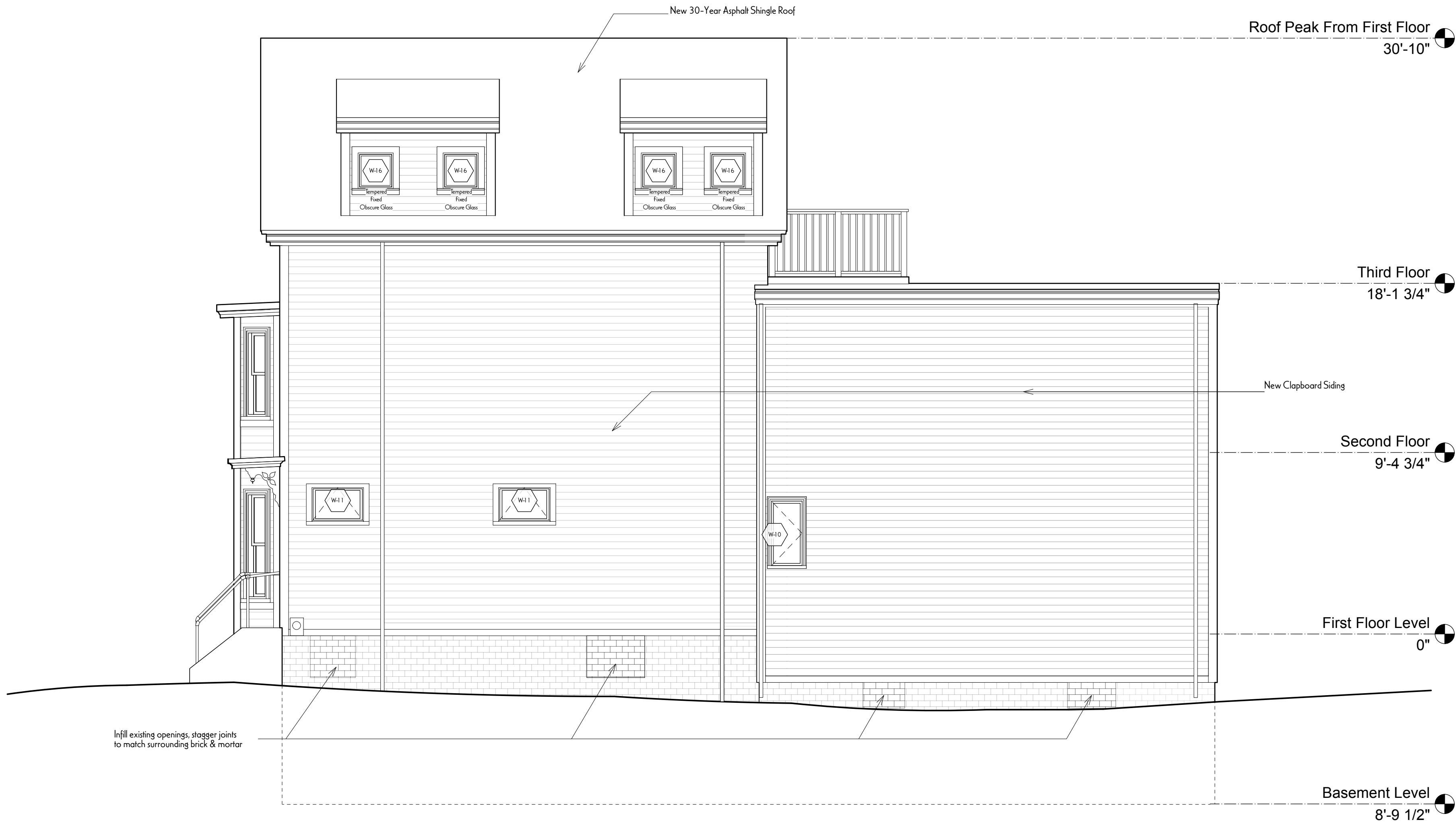


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|              |                 |
|--------------|-----------------|
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| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
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Construction Set

A2.2



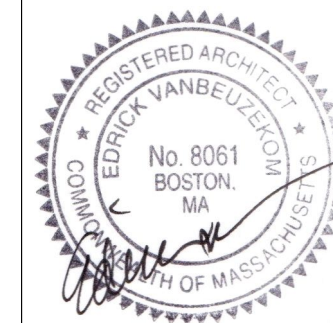
1 Proposed North (Side) Elevation  
Scale: 1/4" = 1'-0"

#### GENERAL NOTES

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|              |                 |
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| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
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|              |                 |
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|              |                 |

Construction Set

A2.3



| Window Schedule   |      |       |                 |             |               |       |           |              |                |            |          |           |             |                  |             |   |
|---|------|-------|-----------------|-------------|---------------|-------|-----------|--------------|----------------|------------|----------|-----------|-------------|------------------|-------------|---|
|   |      | Count | Window Schedule |             | Window Style  |       |           |              | Glazing        | Openings   |          |           | Window Data |                  |             |   |
|   |      |       | O.A. Width      | O.A. Height |               |       |           | Transom Sash | Low E3 - Argon | Egress Win | RO Width | RO Height |             |                  |             |   |
|   | Mark |       |                 |             | Configuration | Shape | Top Shape |              |                |            |          |           | Mfr         | Model No.        | Accessories | Comments  |
| W-  | 01   | 14    | 2'9"            | 4'5"        | Double Hung   |       | Rectangle | Square       | -              | YES        |          |           | Pella       | Architect Series |             | (2) Tempered. See Massachusetts amendment to IRC for egress exemption |
| W-  | 02   | 6     | 2'8"            | 1'7 1/4"    | Hopper        |       | Rectangle | Square       | -              | N/A        |          |           | Anderson    |                  |             |   |
| W-  | 03   | 1     | 1'11"           | 1'11"       | Fixed Glass   |       | Rectangle | Square       | -              | N/A        |          |           | Anderson    |                  |             |   |
| W-  | 04   | 6     | 2'5"            | 5'5"        | Double Hung   |       | Rectangle | Square       | -              | N/A        |          |           | Pella       | Architect Series |             |   |
| W-  | 05   | 2     | 1'9"            | 5'5"        | Double Hung   |       | Rectangle | Square       | -              | N/A        |          |           | Pella       | Architect Series |             |   |
| W-  | 07   | 1     | 2'5"            | 2'11"       | Double Hung   |       | Rectangle | Square       | -              | N/A        |          |           | Pella       | Architect Series |             |   |
| W-  | 10   | 2     | 1'9"            | 3'5"        | Double Hung   |       | Rectangle | Square       | -              | N/A        |          |           | Pella       | Architect Series |             |   |
| W-  | 11   | 3     | 2'8"            | 1'9"        | Awning        |       | Rectangle | Square       | -              | N/A        |          |           | Pella       | Architect Series |             | (1) Tempered  |
| W-  | 12   | 2     | 2'5"            | 4'5"        | Double Hung   |       | Rectangle | Square       | -              | NO         |          |           | Pella       | Architect Series |             | (1) Tempered @ bathroom, include frosted glass @ this location        |
| W-  | 13   | 2     | 1'9"            | 4'5"        | Double Hung   |       | Rectangle | Square       | -              | NO         |          |           | Pella       | Architect Series |             |   |
| W-  | 15   | 1     | 1'9"            | 2'11"       | Double Hung   |       | Rectangle | Square       | -              | N/A        |          |           | Pella       | Architect Series |             |   |
| NOTES: G.C. to Field Verify All Dimensions, All operable sash to include screens, Window manufacturer Pella, Architect Series Aluminum Clad, color TBD — Provide color chip, See elevations for factory mull locations & tempered locations |      |       |                 |             |               |       |           |              |                |            |          |           |             |                  |             |   |

| Window Schedule - 3RD FLOOR   |      |       |                 |             |               |                |           |              |                |            |          |           |             |                  |             |   |
|---|------|-------|-----------------|-------------|---------------|----------------|-----------|--------------|----------------|------------|----------|-----------|-------------|------------------|-------------|---|
|   |      | Count | Window Schedule |             | Window Style  |                |           |              | Glazing        | Openings   |          |           | Window Data |                  |             |   |
|   |      |       | O.A. Width      | O.A. Height |               |                |           | Transom Sash | Low E3 - Argon | Egress Win | RO Width | RO Height |             |                  |             |   |
|   | Mark |       |                 |             | Configuration | Shape          | Top Shape |              |                |            |          |           | Mfr         | Model No.        | Accessories | Comments  |
| W-  | 16   | 4     | 1'11 1/2"       | 1'11 1/2"   | Fixed Glass   | Fixed Awning   | Rectangle | Square       | -              | NO         |          |           | Pella       | 2-0/2-0 Impervia |             | All 4 Obscure & Tempered Glass                          |
| W-  | 17   | 1     | 2'5 1/2"        | 4'5 1/2"    | Double Hung   |                | Rectangle | Square       | -              | YES        |          |           | Pella       | 2-6/4-6 Impervia |             | See Massachusetts amendment to IRC for egress exemption |
| W-  | 18   | 2     | 2'7 1/2"        | 2'11 1/2"   | Fixed Glass   | Fixed Casement | Rectangle | Square       | -              | NO         |          |           | Pella       | 2-8/3-0 Impervia |             | Factory mull'd double unit w/W19, see elevations        |
| W-  | 19   | 2     | 2'7 1/2"        | 2'11 1/2"   | Casement      |                | Rectangle | Square       | -              | NO         |          |           | Pella       | 2-8/3-0 Impervia |             | Factory mull'd double unit w/W18, see elevations        |
| NOTES: G.C. to Field Verify All Dimensions, All operable sash to include screens, Window manufacturer Pella, Impervia Series Fiberglass, color TBD — Provide color chip, See elevations for factory mull locations & tempered locations |      |       |                 |             |               |                |           |              |                |            |          |           |             |                  |             |   |

| Exterior Door Schedule   |      |       |              |        |           |               |           |            |             |               |               |             |            |            |           |          |           |           |           |           |        |      |          |
|--|------|-------|--------------|--------|-----------|---------------|-----------|------------|-------------|---------------|---------------|-------------|------------|------------|-----------|----------|-----------|-----------|-----------|-----------|--------|------|----------|
|  |      | Count | Nominal Size |        |           |               |           | Door Style |             |               |               |             | Door Frame |            |           | Openings |           | Door Data |           |           |        |      |          |
|  |      |       |              |        |           |               |           |            |             |               |               |             |            |            |           |          |           |           |           |           |        |      |          |
|  | Mark |       | Width        | Height | Thickness | Configuration | Top Shape | Slab Style | Side Lights | L Sidelit Wid | R Sidelit Wid | Glaz. Style | Jamb Thick | Jamb Depth | Door Slab | RO Width | RO Height |           | Mfr       | Model No. | HW Set | esso | Comments |
| X-   | 01   | 1     | 3'0"         | 7'0"   | 1 1/2"    | Swing Simple  | N/A       | Square     | Solid       |               | N/A           | N/A         | Satin Etch | 3/4"       | 6"        |          |           |           | ThermaTru | S2600     | DHW-#  |      |          |
| X-   | 02   | 1     | 3'0"         | 6'8"   | 1 1/2"    | Swing Simple  | N/A       | Square     | Glass       |               | N/A           | N/A         | Satin Etch | 3/4"       | 6"        |          |           |           | ThermaTru | S2610XJ   | DHW-#  |      |          |
| X-   | 03   | 1     | 2'8"         | 6'8"   | 1 1/2"    | Swing Simple  | N/A       | Square     | Glass       |               | N/A           | N/A         | Satin Etch | 3/4"       | 6"        |          |           |           | ThermaTru | S2610XJ   | DHW-#  |      |          |
| X-   | 04   | 1     | 2'8"         | 6'8"   | 1 3/8"    | Swing Simple  | N/A       | Square     | Solid       |               | N/A           | N/A         | None       | 3/4"       | 7"        |          |           |           |           |           | DHW-#  |      |          |
| NOTES: G.C. to Field Verify All Dimensions, painted TBD - Provide color chip |      |       |              |        |           |               |           |            |             |               |               |             |            |            |           |          |           |           |           |           |        |      |          |

Owner:  
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100 Tower Office Park  
Suite 1  
Woburn, MA  
  
Property Address:  
27 Jay St.  
Cambridge, MA 02139



**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27Jay St.       |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set  
  
WINDOW & DOOR  
SCHEDULES

A2.4

**GENERAL NOTES**  
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- 50 year asphalt shingles
- 3'-0" Ice & water shield on entire dormer roof & at transition
- Metal drip edge @ eaves, pressure form flashing over all edge treatments
- Counter flashing at wall intersection tuck under
- 5/8" APA rated AdvanTech tongue & groove roof sheathing
- 2 x 8 rafters @ 16" o.c. (see structural plan)
- 9" of R-7 Closed-cell spray foam insulation (R=60 min.)

Line up the height of flat ceiling with where the two sloped ceilings meet, so the flat ceiling would be a simple rectangle with no jugs.

- 50 year asphalt shingles
- 3'-0" Ice & water shield at eaves & roof transitions
- Metal drip edge @ eaves, pressure form flashing over all edge treatments
- Counter flashing at wall intersection tuck under
- 5/8" APA rated AdvanTech tongue & groove roof sheathing
- 2 x8 rafters @ 16" o.c. (see structural plan)
- 9" of R-7 Closed-cell spray foam insulation (R=60 min.)

- Deck finish face to be 4" above third floor finish floor.
- 1x4 Decking to sit on slippers, on EPDM roof.
- 2" Minimum depth for slippers.
- G.C. to verify in field conditions, and report to architect any discrepancies.
- Decking material TBD.
- Railing system/design TBD.

- EPDM (fully adhered)
- 1/2" protection board
- Metal drip edge @ eaves
- Cover & seam tape w/ MFR
- Step flashing at wall intersection
- 5/8" APA rated AdvanTech tongue & groove roof sheathing
- See structural drawings for rafter/beam sizes
- 9" of R-7 closed cell spray foam (R-60 min.)
- 1x3 Wood strapping
- 1/2" Blueboard w/plaster skimcoat

- Match extg exposure Hardie plank fiber cement siding, finish TBD
- Dupont "Tyvek" vapor- permeable house wrap, tape all seams
- Existing studs & existing sheathing replace any rotted sheathing
- 5" of R-6 closed cell spray foam insulation (R=30 min.)
- 1/2" Blueboard w/plaster skim coat

(Permitted prior to 01/01/2023)

- Hardie clapboard cementitious siding, smooth finish, factory ptd. color TBD
- Patch and repair existing sheathing as needed
- Existing 2"x4" studs
- 3.5" closed cell spray foam insulation (R=21 min.)
- 1/2" Blueboard w/ plaster veneer

Frame out 4 1/2" internally against exterior wall at stairs

30'-10"

18'-1 3/4"

9'-4 3/4"

$$O''$$

@ NEW FOUNDATION  
(Permitted prior to 01/01/2023)

- Existing foundation wall
- 1/2" air gap
- 2x4 wall w/P.T. sill plate
- 3-1/2" minimum mineral wool insulation batts
- CertainTeed MemBrain vapor retarder / air barrier
- 1/2" Blueboard (1/2" off slab) w/plaster skimcoat

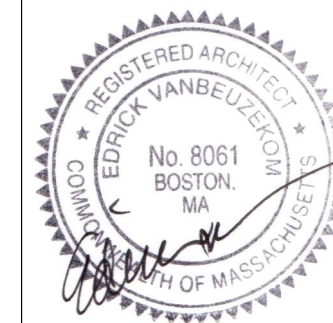
8'-9 1/2"

Scale:  $1/4" = 1'-0"$

Scale:  $1/4" = 1'-0"$

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Property Address:  
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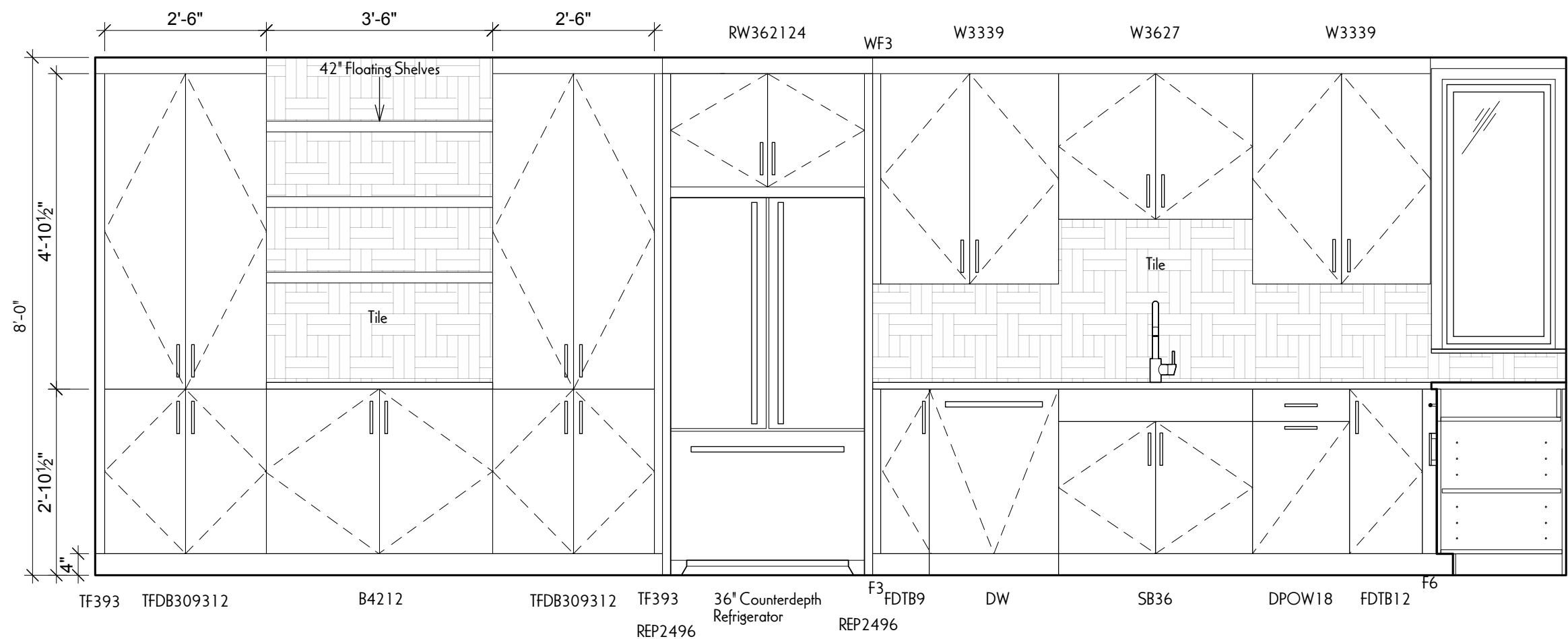
1310 Broadway, Suite 200  
Somerville, MA 02144

phone: (617) 623 2222

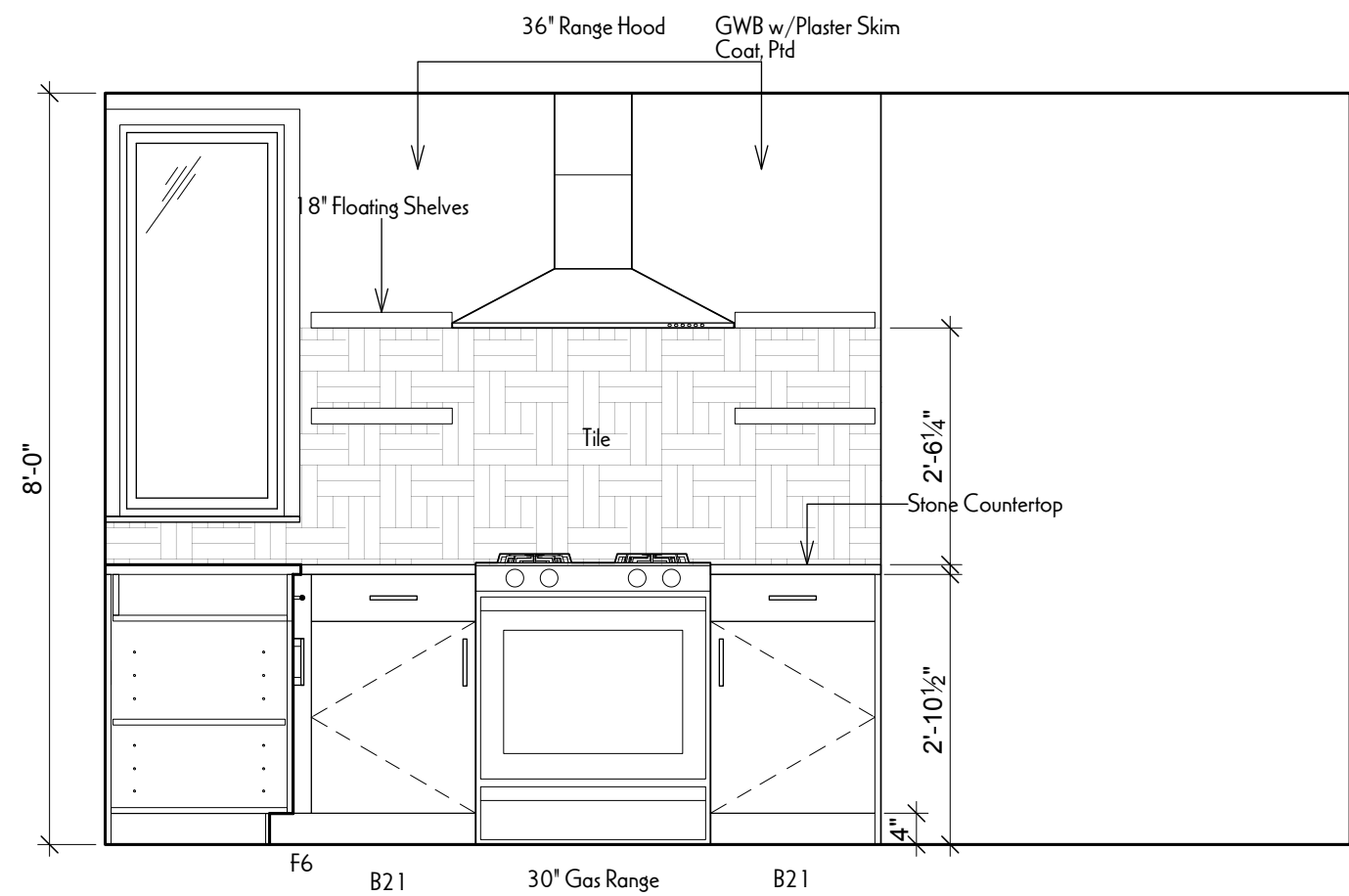
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| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
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Proposed Section

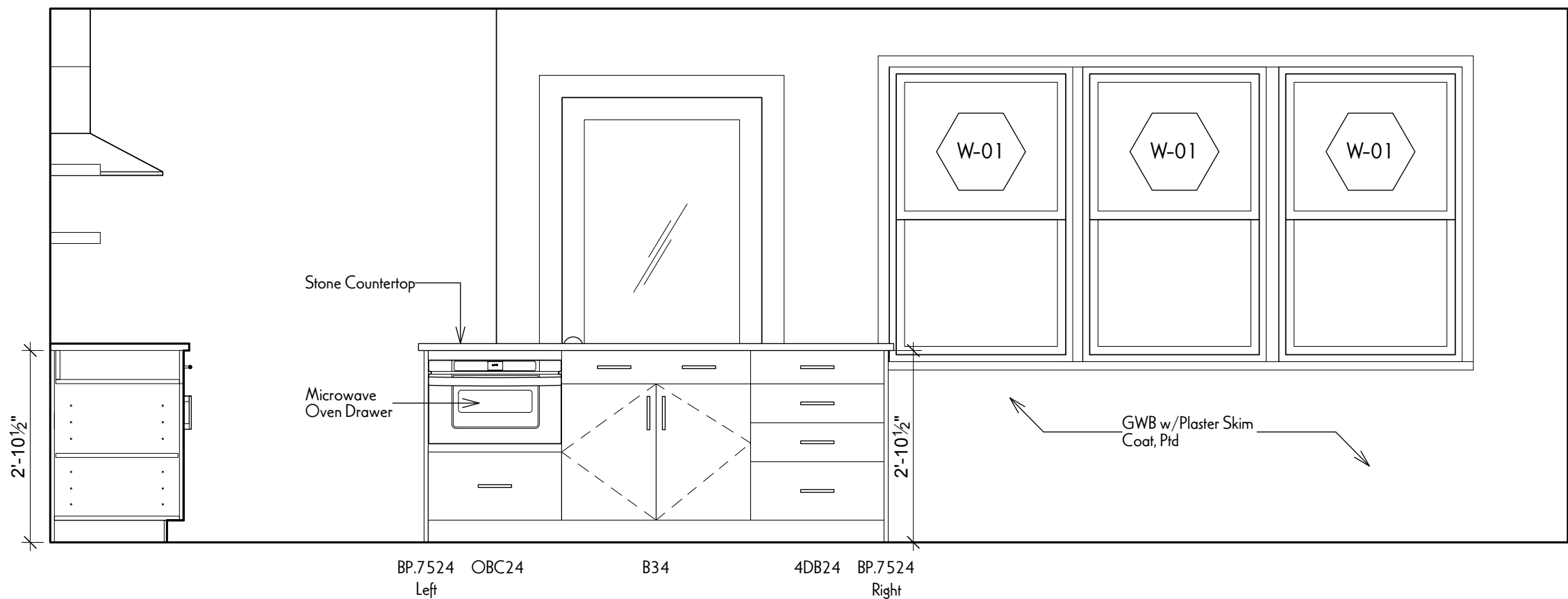
## A3.1



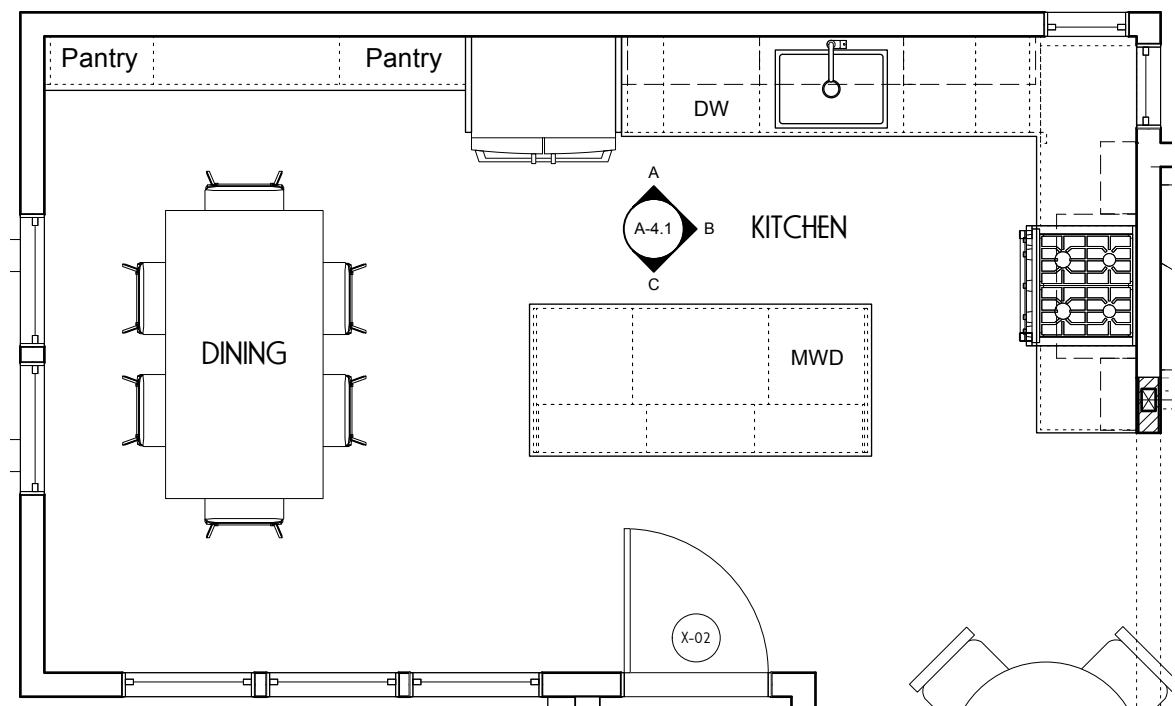
**A Kitchen Elevation**  
Scale: 1/2" = 1'-0"



**B Kitchen Elevation**  
Scale: 1/2" = 1'-0"



**C Kitchen Elevation**  
Scale: 1/2" = 1'-0"



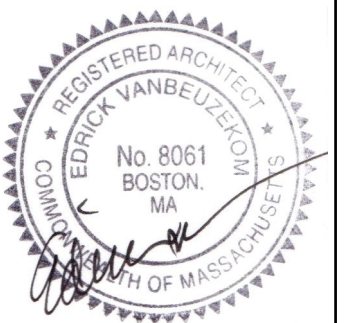
**0 Key Plan**  
Scale: 1/4" = 1'-0"

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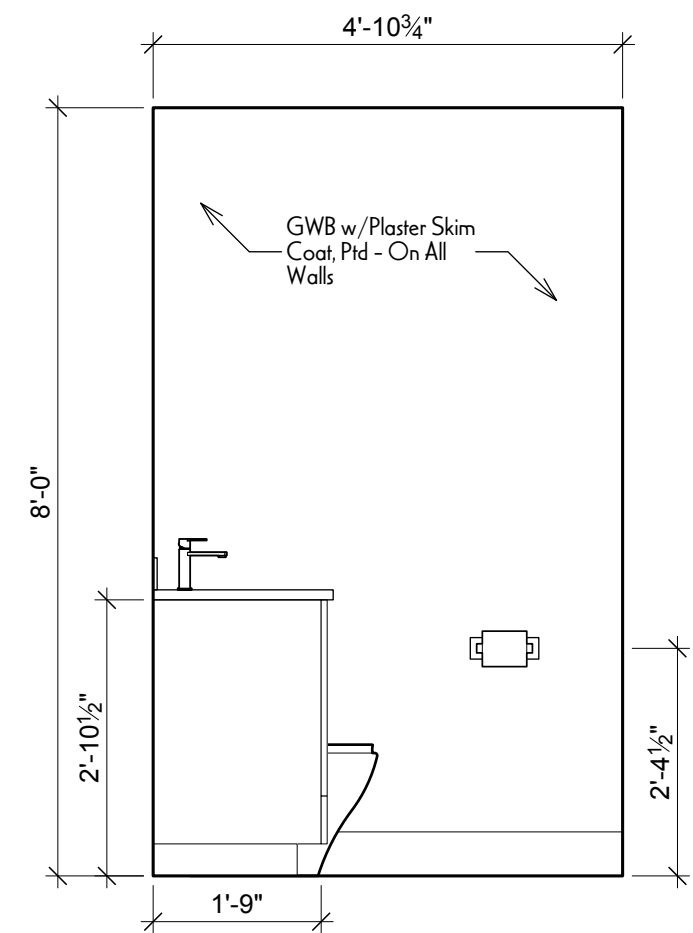
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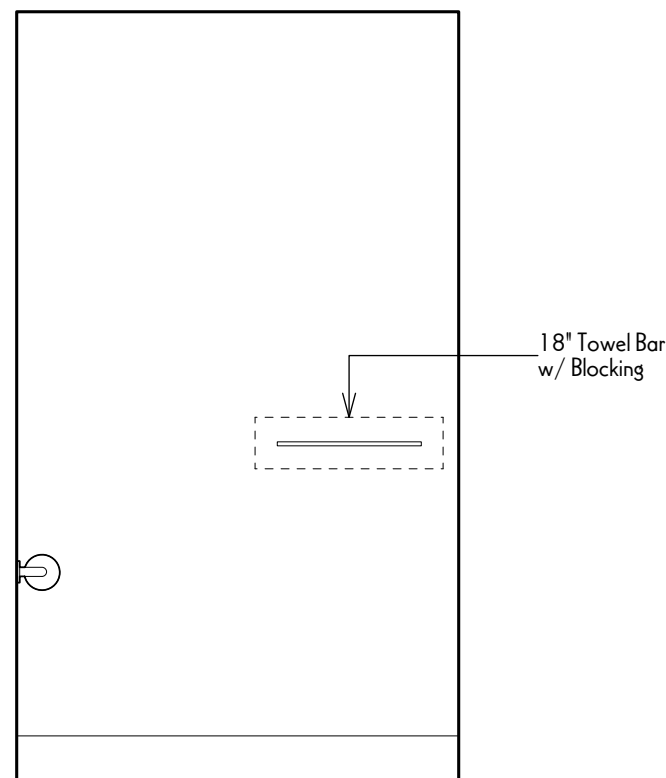
Construction Set  
Proposed Elevations

**A4.1**

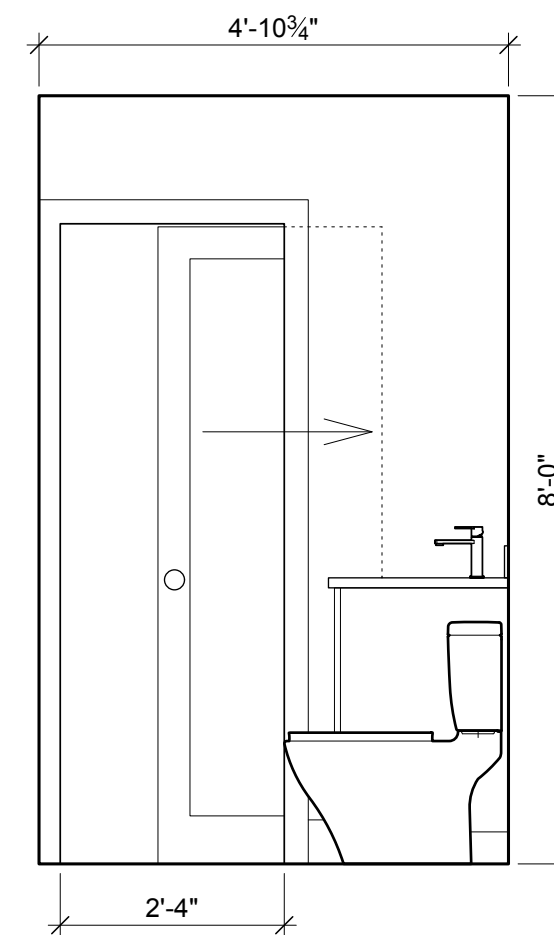




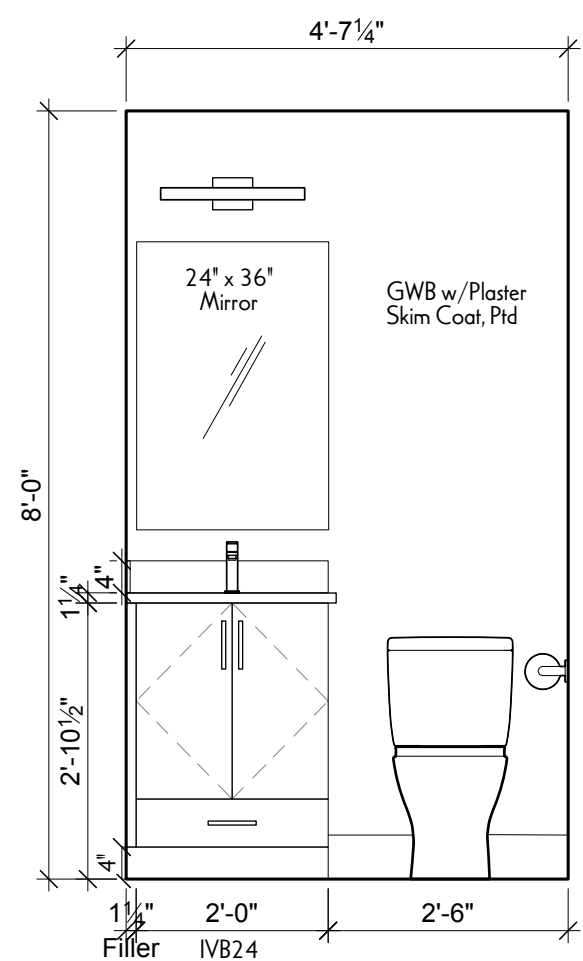
**A** Proposed Half Bath Elevation  
Scale: 1/2" = 1'-0"



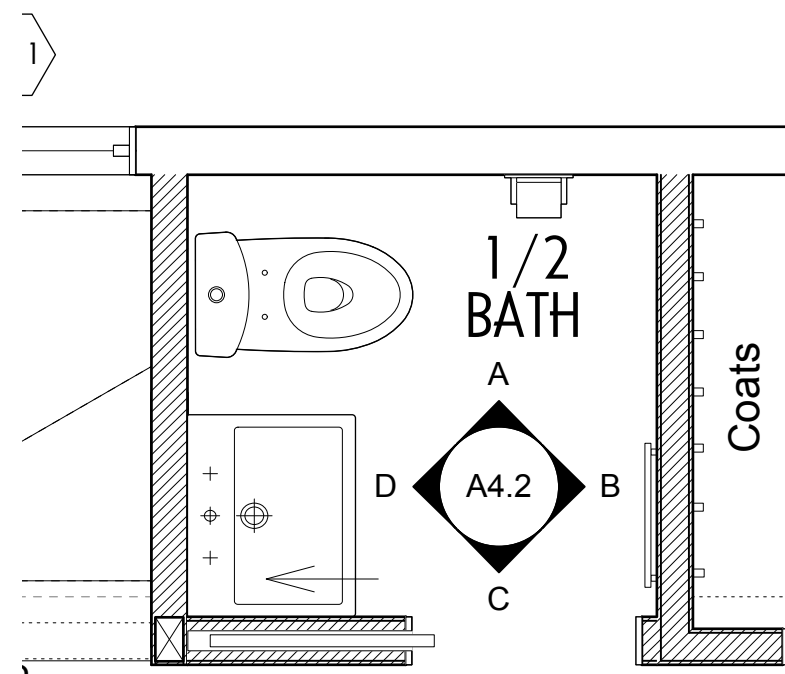
**B** Proposed Half Bath Elevation  
Scale: 1/2" = 1'-0"



**C** Proposed Half Bath Elevation  
Scale: 1/2" = 1'-0"



**D** Proposed Half Bath Elevation  
Scale: 1/2" = 1'-0"



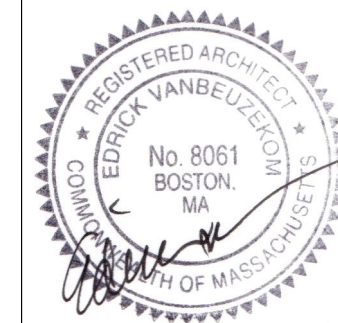
**1** Key Plan  
Scale: 1/2" = 1'-0"

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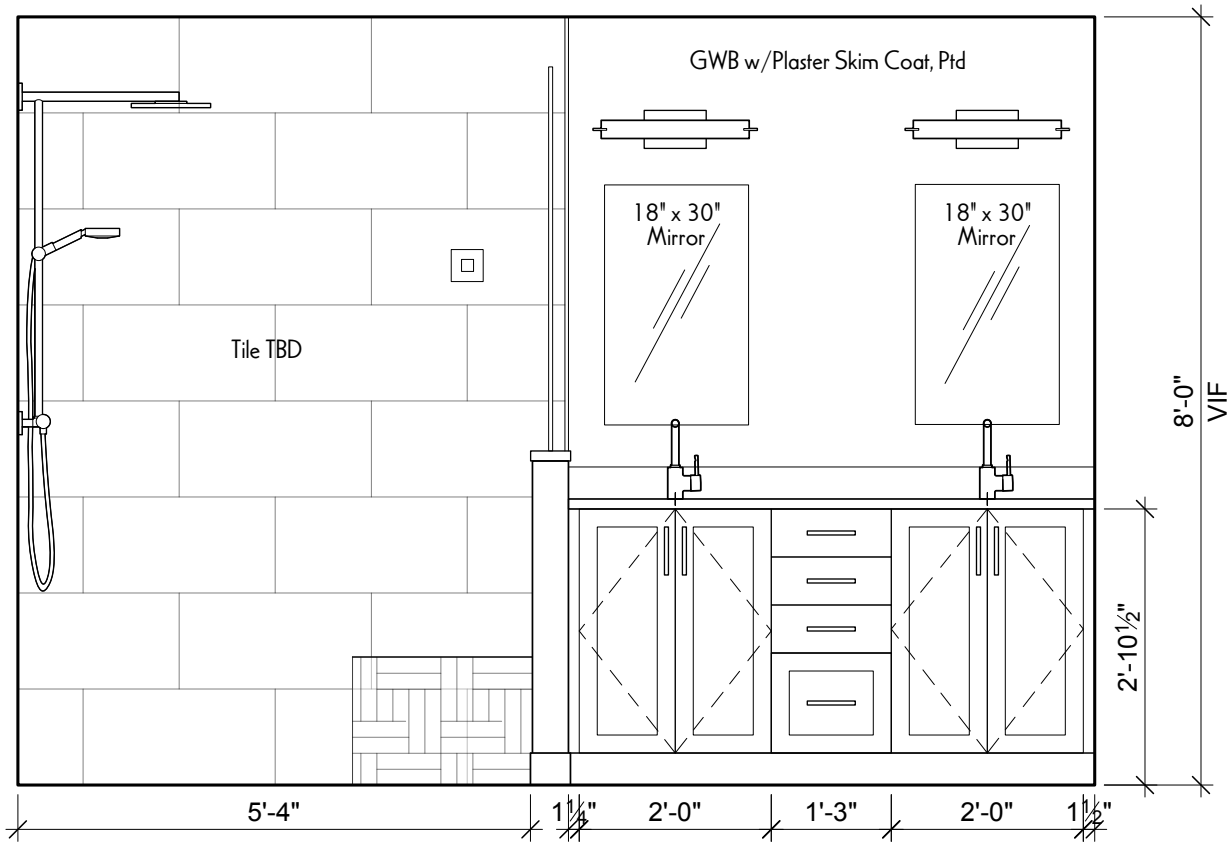


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| Revisions:   |                 |
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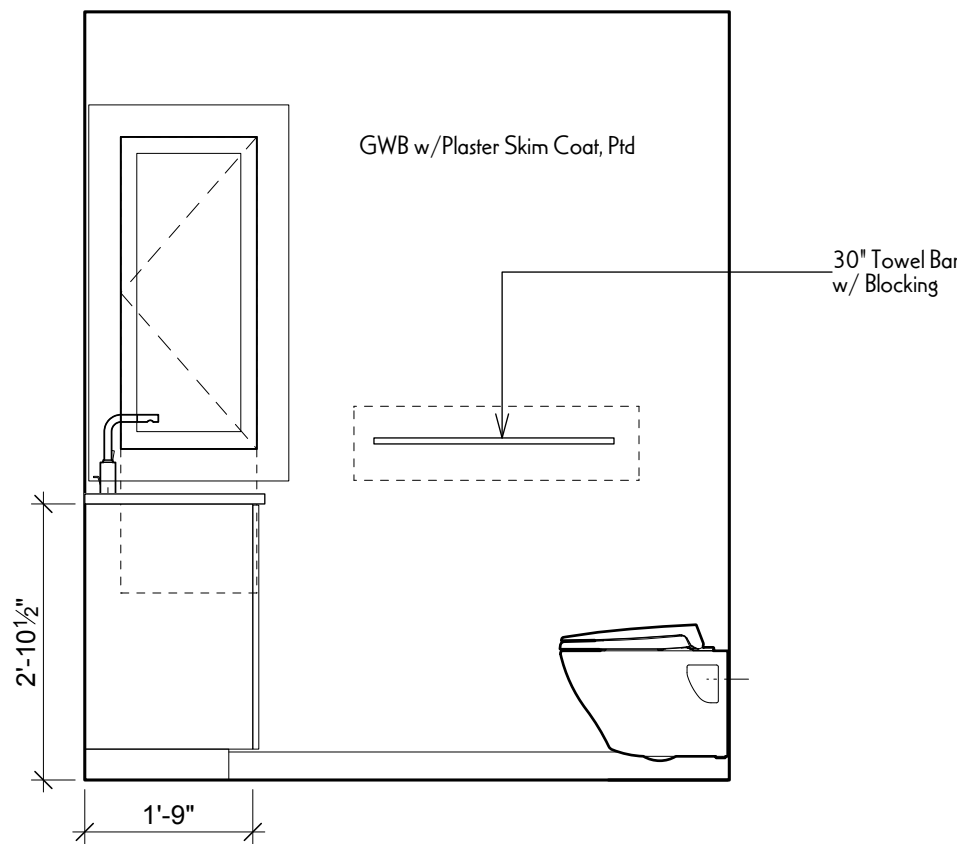
Construction Set  
Proposed Elevations

**A4.2**



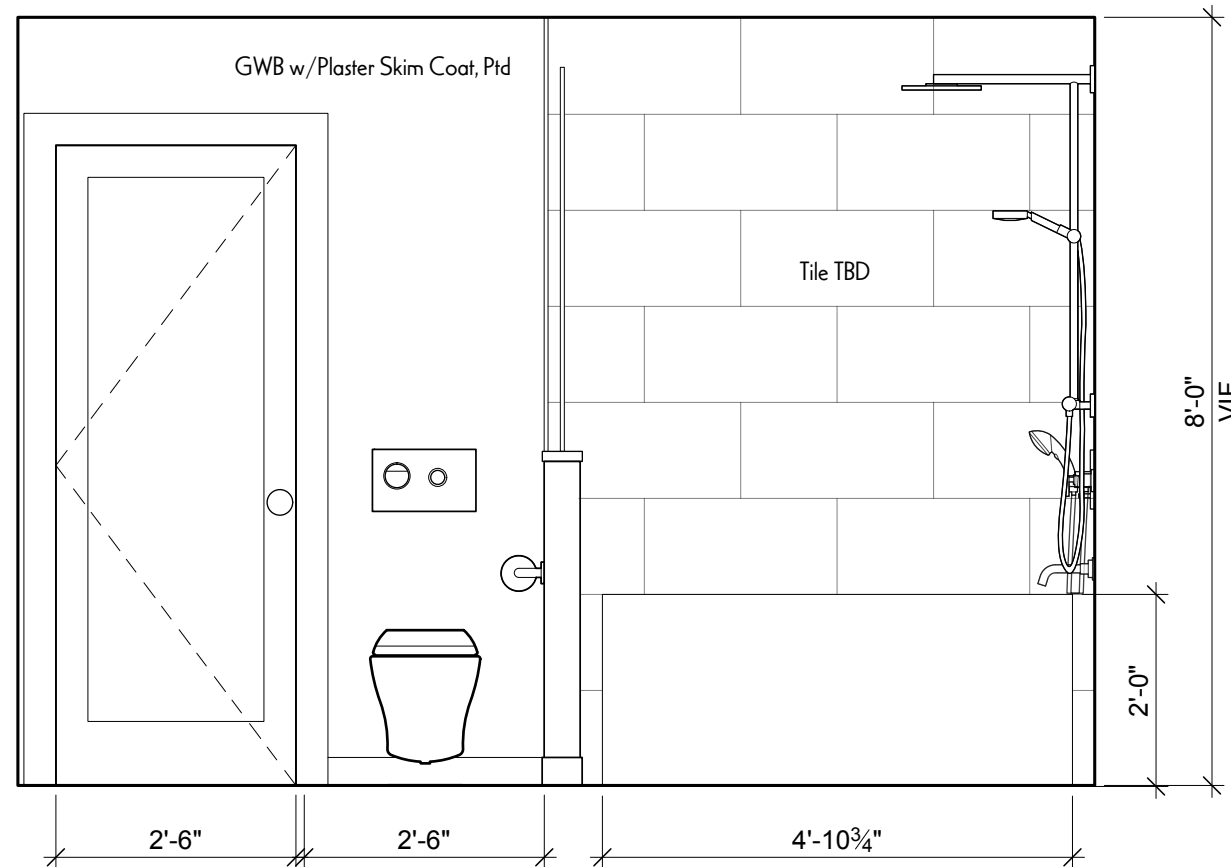
A

**Proposed Master Bath Elevation**  
Scale: 1/2" = 1'-0"



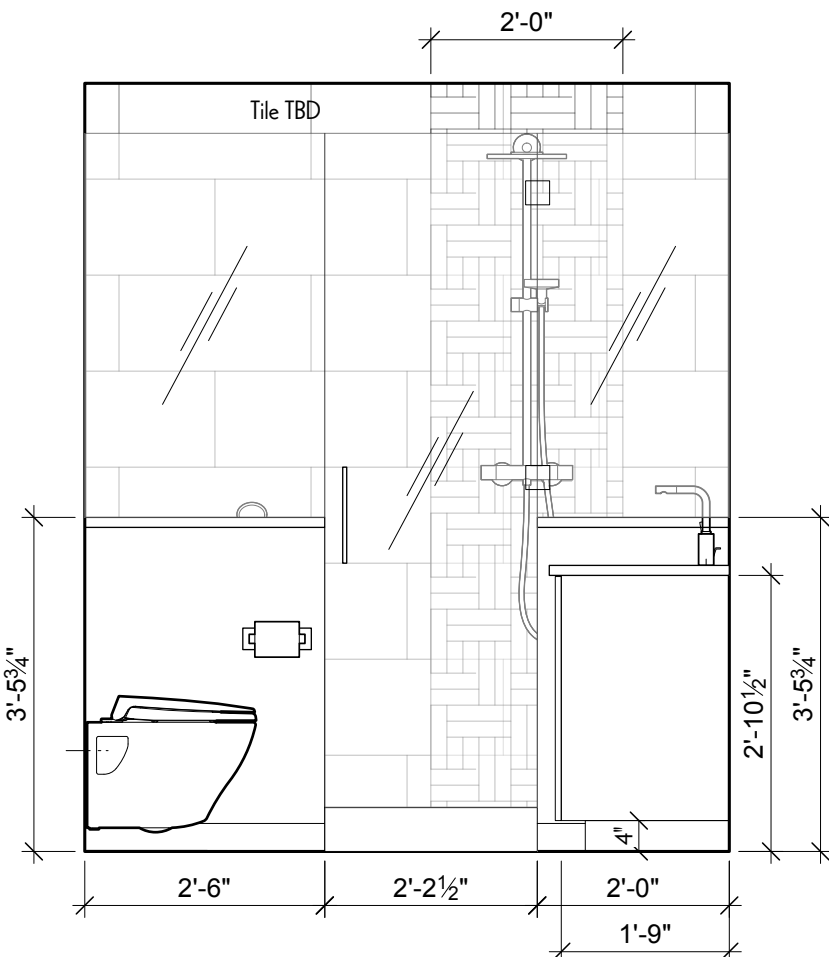
B

**Proposed Master Bath Elevation**  
Scale: 1/2" = 1'-0"



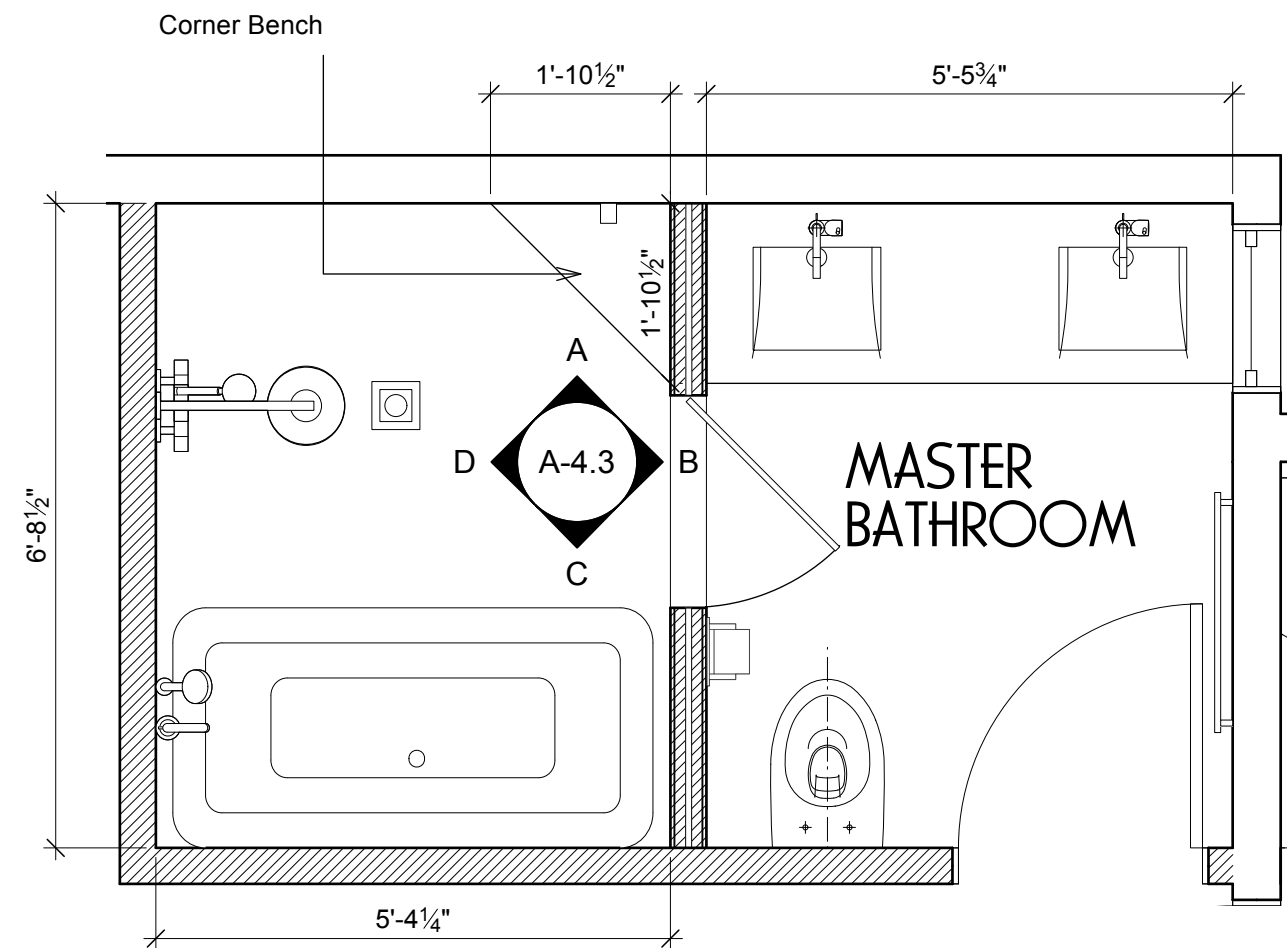
C

**Proposed Master Bath Elevation**  
Scale: 1/2" = 1'-0"



D

**Proposed Master Bath Elevation**  
Scale: 1/2" = 1'-0"



0

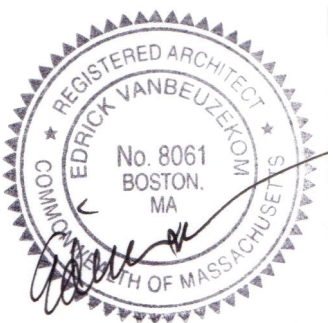
**Key Plan**  
Scale: 1/2" = 1'-0"

**GENERAL NOTES**

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Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



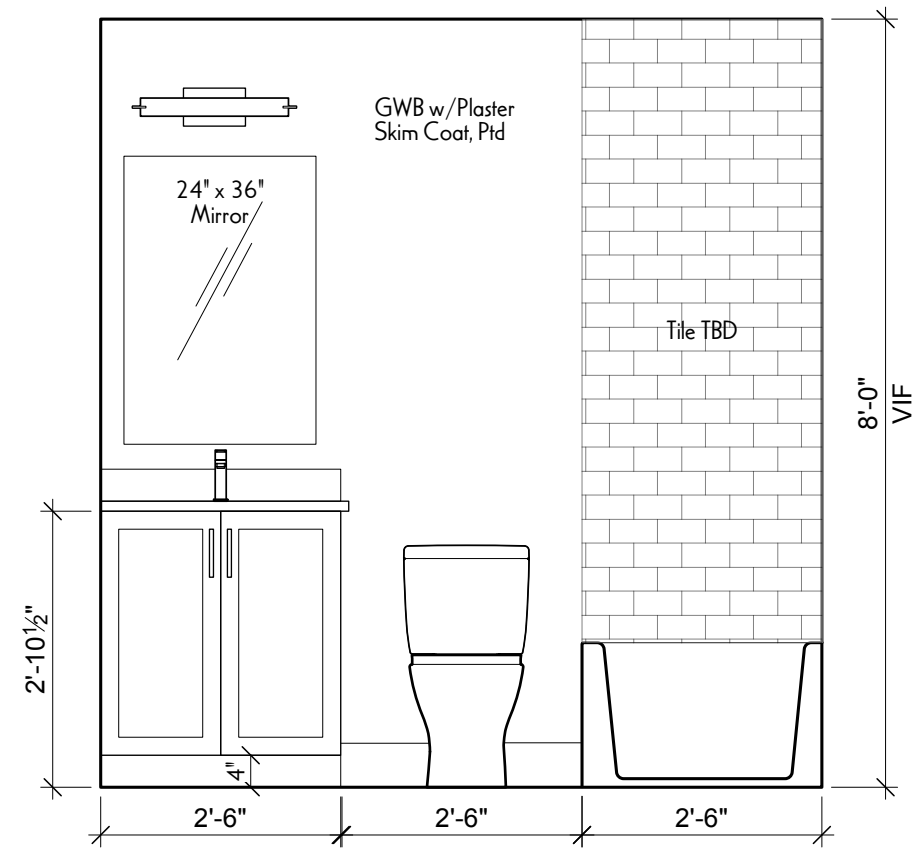
**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone: (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27Jay St.       |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |

Construction Set

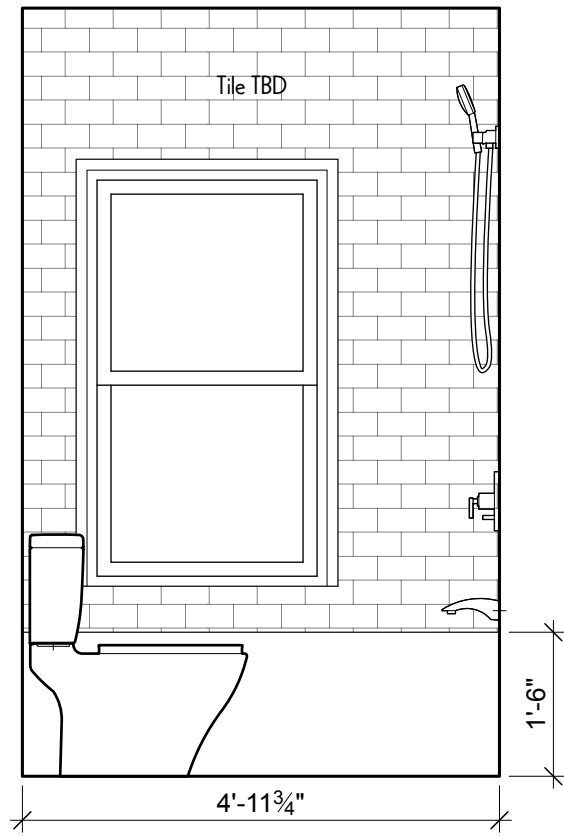
Proposed Elevations

**A4.3**



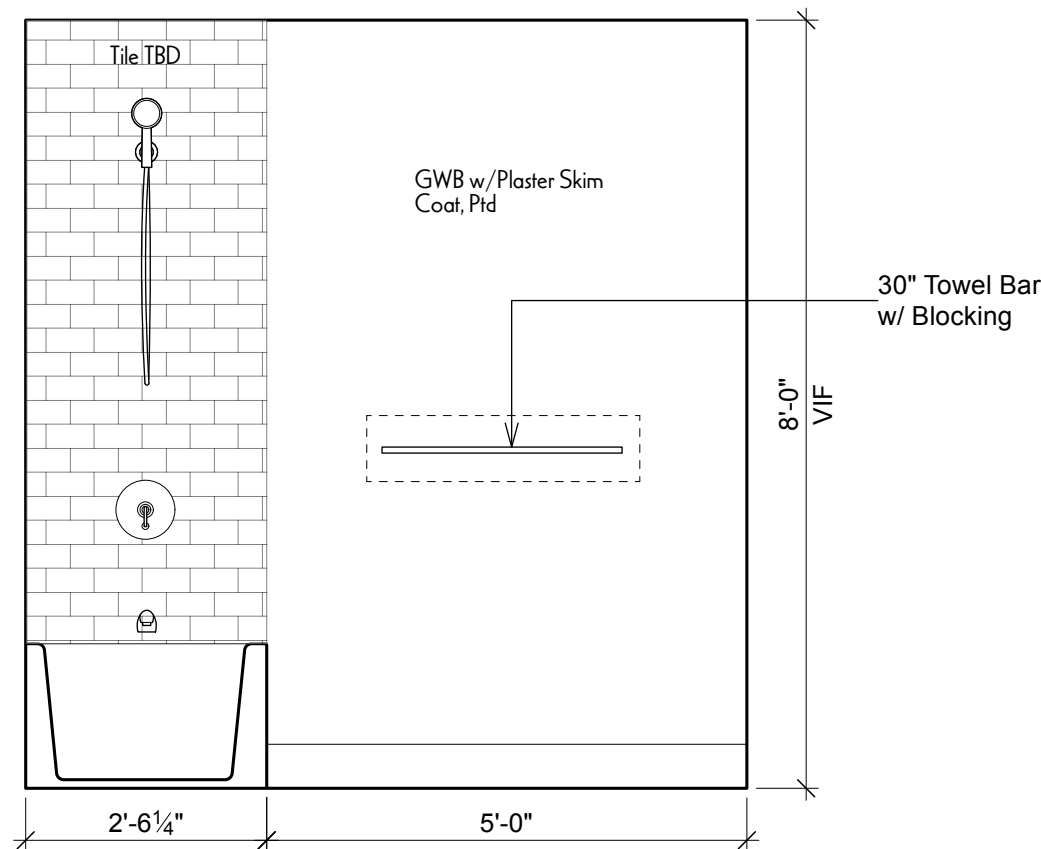
A

**Proposed 2nd Floor Guest Bath Elevation**  
Scale: 1/2" = 1'-0"



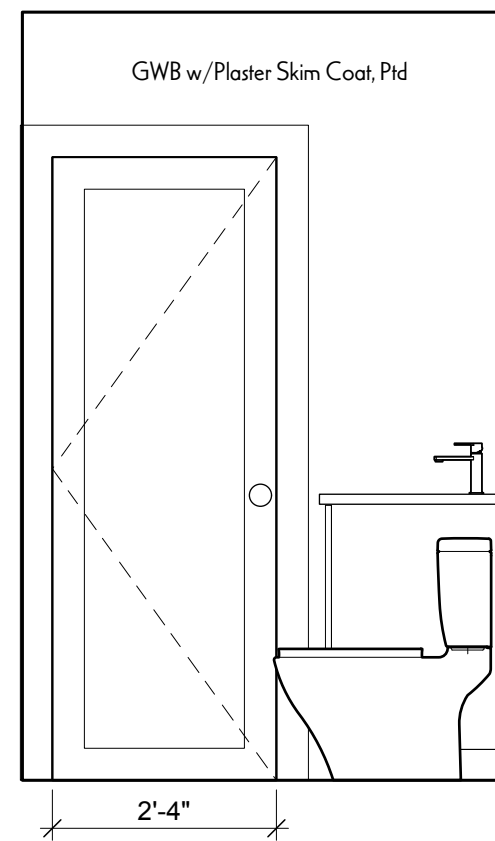
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**Proposed 2nd Floor Guest Bath Elevation**  
Scale: 1/2" = 1'-0"



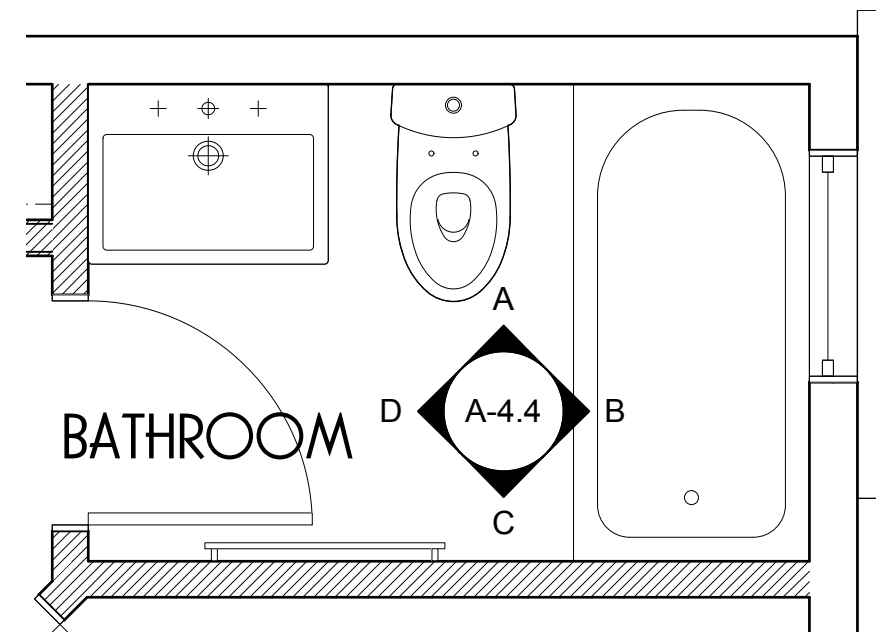
C

**Proposed 2nd Floor Guest Bath Elevation**  
Scale: 1/2" = 1'-0"



D

**Proposed 2nd Floor Guest Bath Elevation**  
Scale: 1/2" = 1'-0"



1

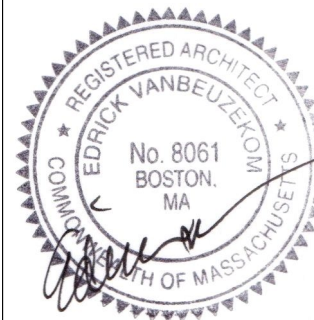
**KeyPlan**  
Scale: 1/2" = 1'-0"

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**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

Project no.: 27Jay St.  
Drawn by: PM, EvB, AF, MG  
Date: 12/20/2023  
Checked by: EvB

Construction Set  
Proposed Elevations

**A4.4**



Scale: 1/2" = 1'-0"



Scale: 1/2" = 1'-0"



Scale: 1/2" = 1'-0"



Scale: 1/2" = 1'-0"



Scale: 1/2" = 1'-0"

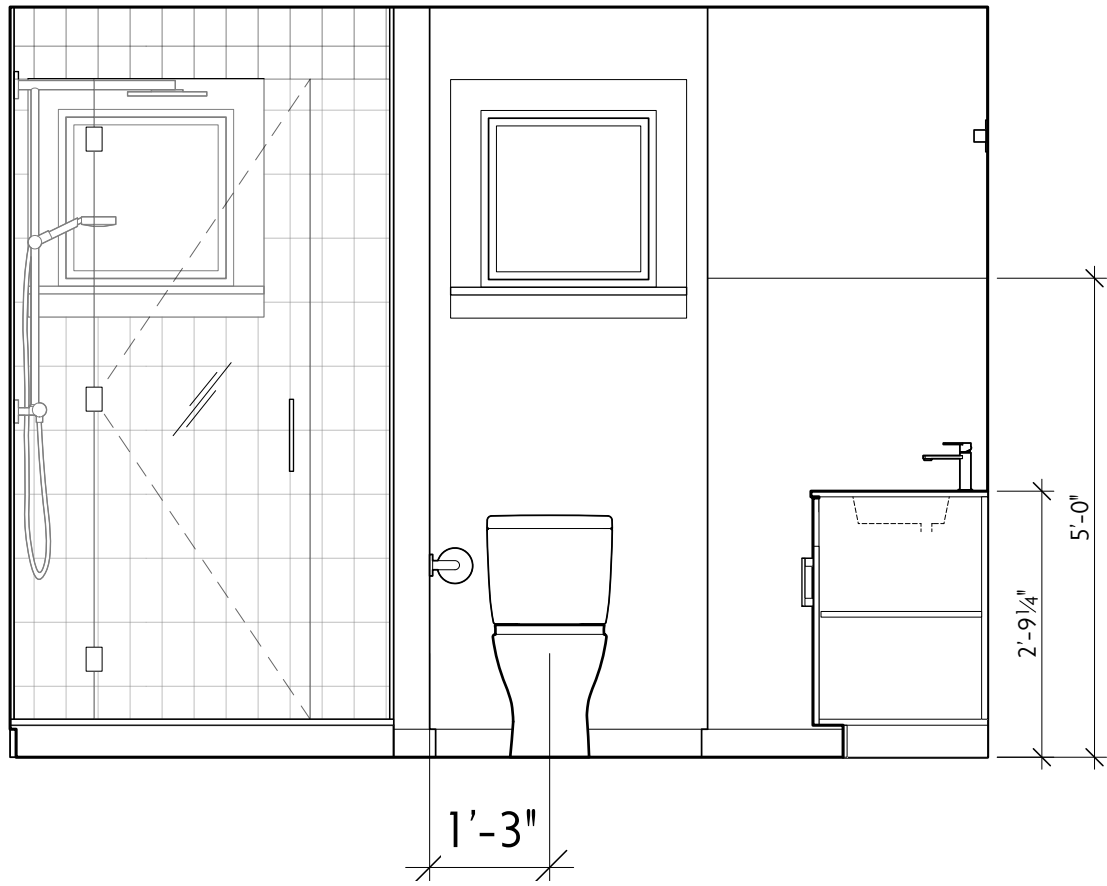
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Property Address:  
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Cambridge, MA 02139

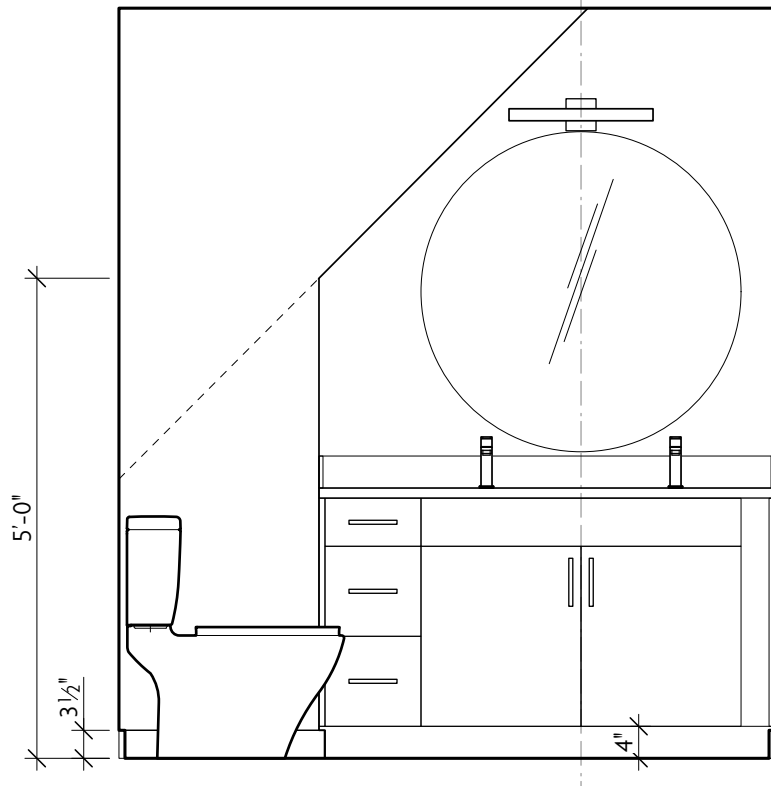
Construction Set

### Proposed Elevations

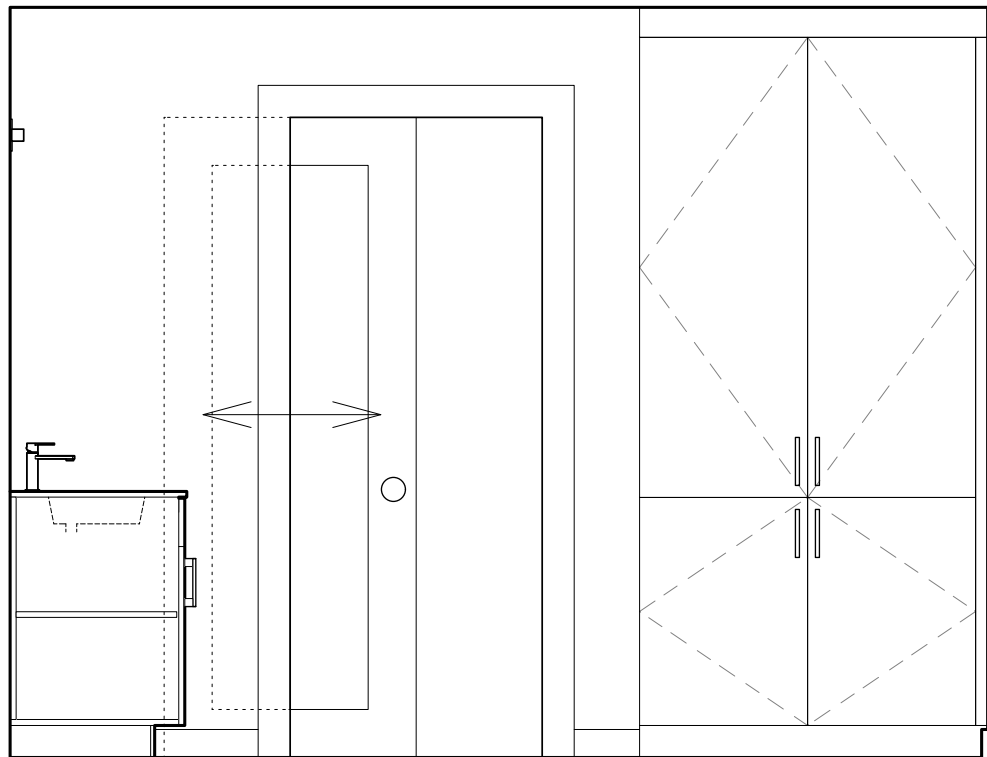
## A4.5



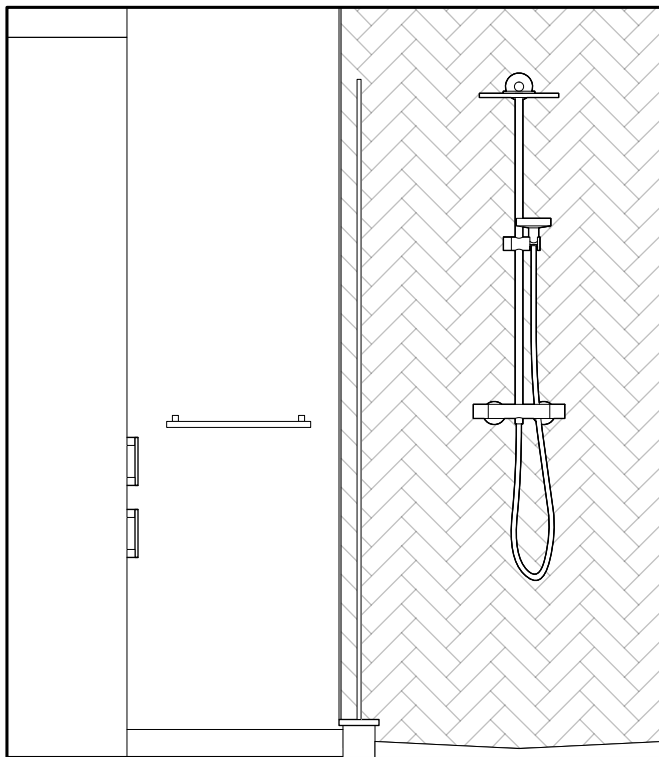
A Proposed 3rd Floor Bath Elevation  
Scale: 1/2" = 1'-0"



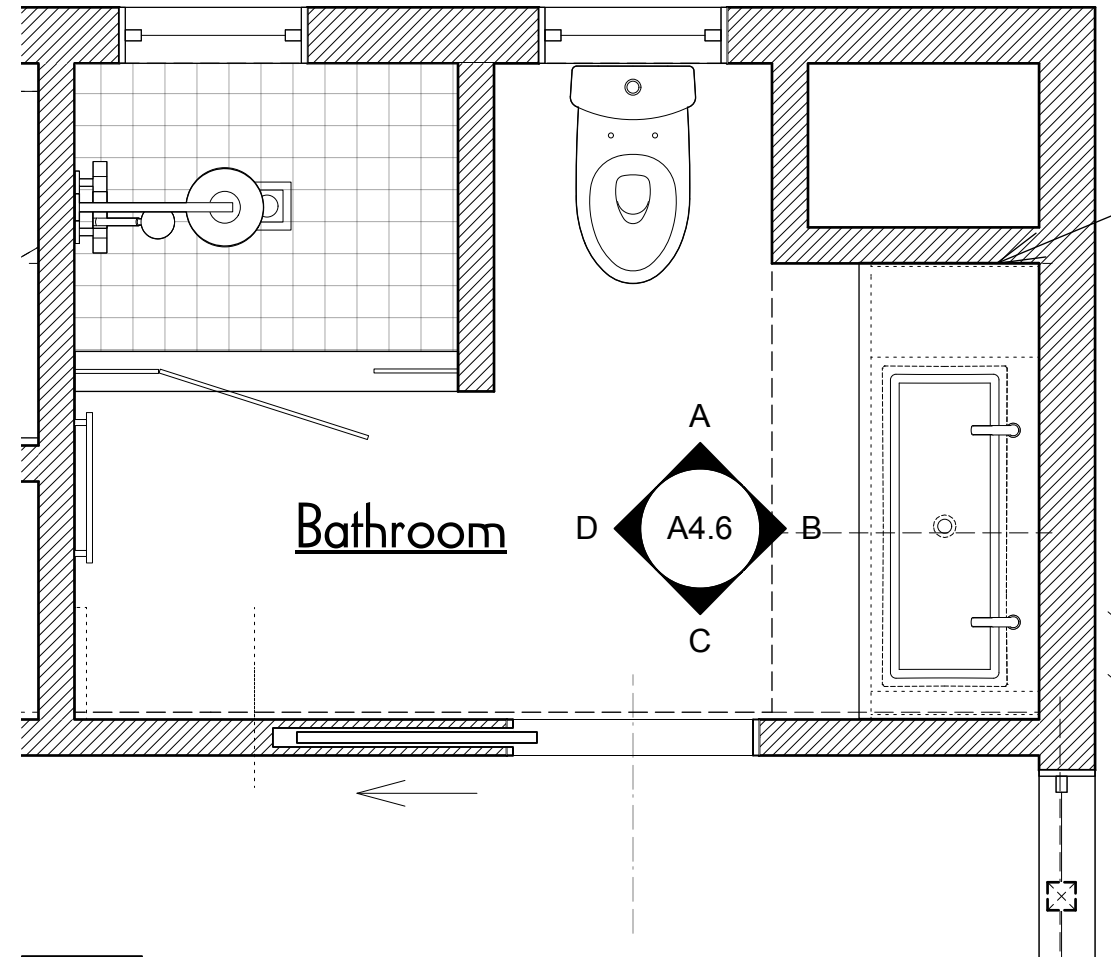
B Proposed 3rd Floor Bath Elevation  
Scale: 1/2" = 1'-0"



C Proposed 3rd Floor Bath Elevation  
Scale: 1/2" = 1'-0"



D Proposed 3rd Floor Bath Elevation  
Scale: 1/2" = 1'-0"



1 Key Plan  
Scale: 1/2" = 1'-0"

#### GENERAL NOTES

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Owner:  
**Treetop Group**  
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Property Address:  
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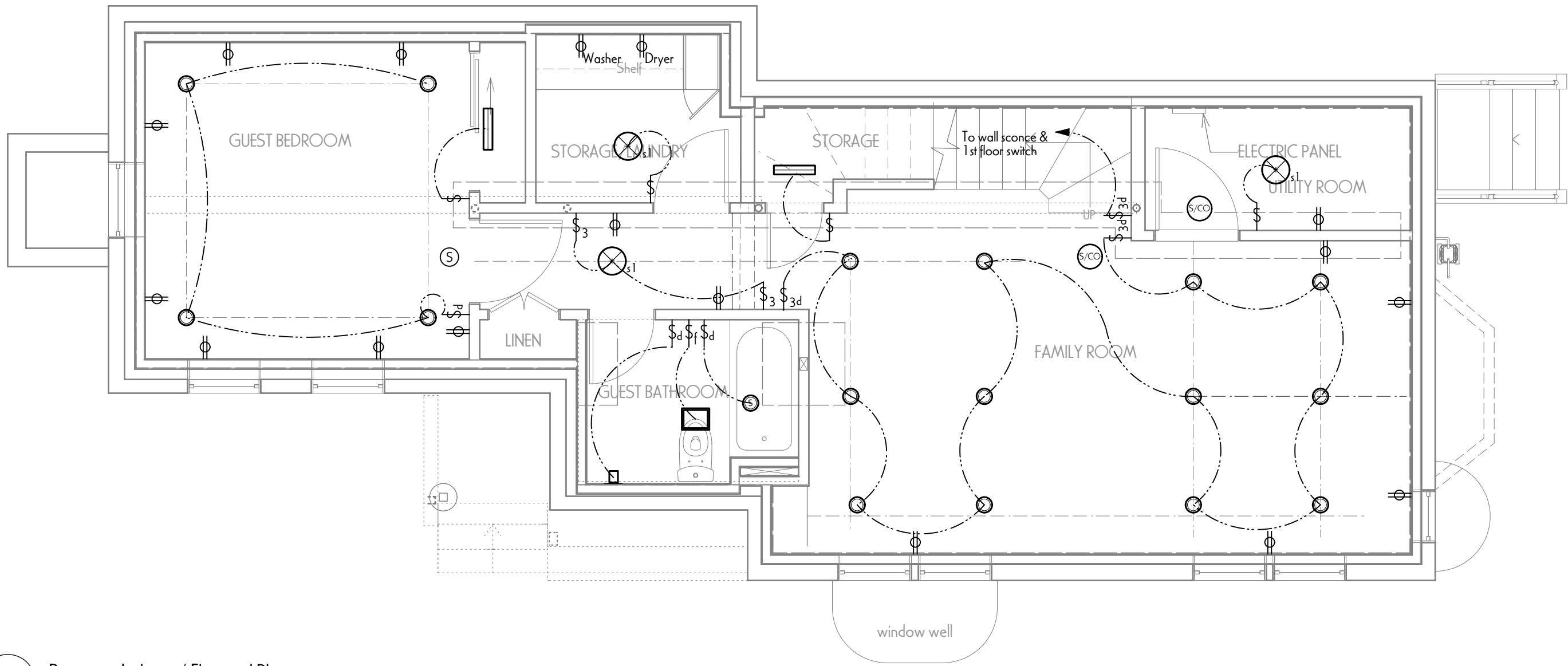
**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone: (617) 623 2222

Project no.: 27 Jay St.  
Drawn by: PM, EvB, AF, MG  
Date: 12/20/2023  
Checked by: EvB  
Revisions:

Construction Set  
Proposed Elevations

**A4.6**





1 Basement Lighting / Electrical Plan  
Scale: 1/4" = 1'-0"

| LIGHTING FIXTURE SCHEDULE |   |                        |      |
|---------------------------|---|------------------------|------|
| Symbol                    | Fixture Type                                | Manufacturer / Model # | Lamp |
|                           | Surface mounted mini pendant                |                        |      |
|                           | Surface mounted pendant                     |                        |      |
|                           | Recessed downlight                          |                        |      |
|                           | Wallwasher recessed downlight               |                        |      |
|                           | Recessed shower downlight                   |                        |      |
|                           | Surface mounted fixture - type 1            |                        |      |
|                           | Wall mounted sconce light                   |                        |      |
|                           | Reading Light                               |                        |      |
|                           | Bathroom vanity fixture                     |                        |      |
|                           | LED Undercabinet Strip                      |                        |      |
|                           | Bathroom Exhaust fan                        |                        |      |
|                           | LED closet fixture                          |                        |      |
|                           | Track lighting fixture                      |                        |      |
|                           | Monopoint light                             |                        |      |
|                           | Exterior wall sconce                        |                        |      |
|                           | Exterior wall sconce w/ motion detector     |                        |      |
|                           | Ceiling Fan & Light                         |                        |      |
|                           | Exterior LED Floodlights with motion sensor |                        |      |

| ELECTRICAL SYMBOLS |   |
|--------------------|---|
| Symbol             | Description   |
|                    | Duplex receptacle - 18"H. typical unless otherwise noted.     |
|                    | Ground fault intercept duplex receptacle                      |
|                    | Quadruplex receptacle - 18"H. typical unless otherwise noted. |
|                    | Standard lightswitch  |
|                    | Preset dimmer lightswitch                                     |
|                    | 3-way lightswitch   |
|                    | Preset dimmer lightswitch on 3-way circuit                    |
|                    | Fan control switch  |
|                    | Cable TV  |
|                    | Ethernet cable (CAT 6)  |
|                    | Wall mounted speaker (TBD)                                    |
|                    | Telephone receptacle  |
|                    | Doorbell  |
|                    | Doorbell Chime  |
|                    | Smoke detector w/ battery backup.                             |
|                    | Combination Smoke / CO detector w/ battery backup.            |

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Owner:  
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Property Address:  
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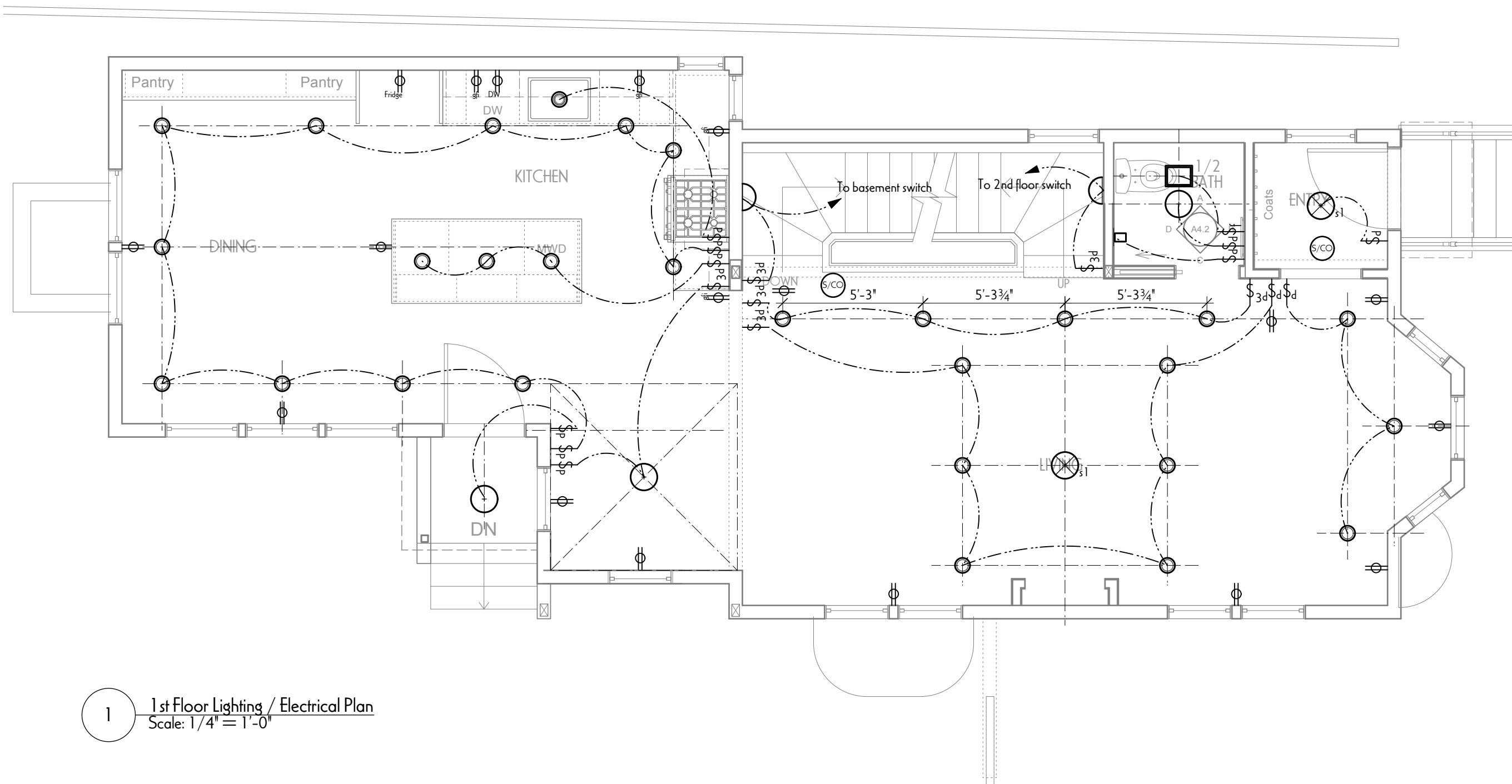


**EvB Design**  
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phone : (617) 623 2222

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| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set  
Proposed Electrical Plans

E1.0



1 1st Floor Lighting / Electrical Plan  
Scale: 1/4" = 1'-0"

| LIGHTING FIXTURE SCHEDULE |   |                        |      |
|---------------------------|---|------------------------|------|
| Symbol                    | Fixture Type                                | Manufacturer / Model # | Lamp |
|                           | Surface mounted mini pendant                |                        |      |
|                           | Surface mounted pendant                     |                        |      |
|                           | Recessed downlight                          |                        |      |
|                           | Wallwasher recessed downlight               |                        |      |
|                           | Recessed shower downlight                   |                        |      |
|                           | Surface mounted fixture - type 1            |                        |      |
|                           | Wall mounted sconce light                   |                        |      |
|                           | Reading Light                               |                        |      |
|                           | Bathroom vanity fixture                     |                        |      |
|                           | LED Undercabinet Strip                      |                        |      |
|                           | Bathroom Exhaust fan                        |                        |      |
|                           | LED closet fixture                          |                        |      |
|                           | Track lighting fixture                      |                        |      |
|                           | Monopoint light                             |                        |      |
|                           | Exterior wall sconce                        |                        |      |
|                           | Exterior wall sconce w/ motion detector     |                        |      |
|                           | Ceiling Fan & Light                         |                        |      |
|                           | Exterior LED Floodlights with motion sensor |                        |      |

| ELECTRICAL SYMBOLS |   |
|--------------------|---|
| Symbol             | Description   |
|                    | Duplex receptacle - 18"H, typical unless otherwise noted.     |
|                    | Ground fault intercept duplex receptacle                      |
|                    | Quadruplex receptacle - 18"H, typical unless otherwise noted. |
|                    | Standard lightswitch  |
|                    | Preset dimmer lightswitch                                     |
|                    | 3-way lightswitch   |
|                    | Preset dimmer lightswitch on 3-way circuit                    |
|                    | Fan control switch  |
|                    | Cable TV  |
|                    | Ethernet cable (CAT 6)  |
|                    | Wall mounted speaker (TBD)                                    |
|                    | Telephone receptacle  |
|                    | Doorbell  |
|                    | Doorbell Chime  |
|                    | Smoke detector w/ battery backup.                             |
|                    | Combination Smoke / CO detector w/ battery backup.            |

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| Checked by:  | EvB             |
| Revisions:   |                 |
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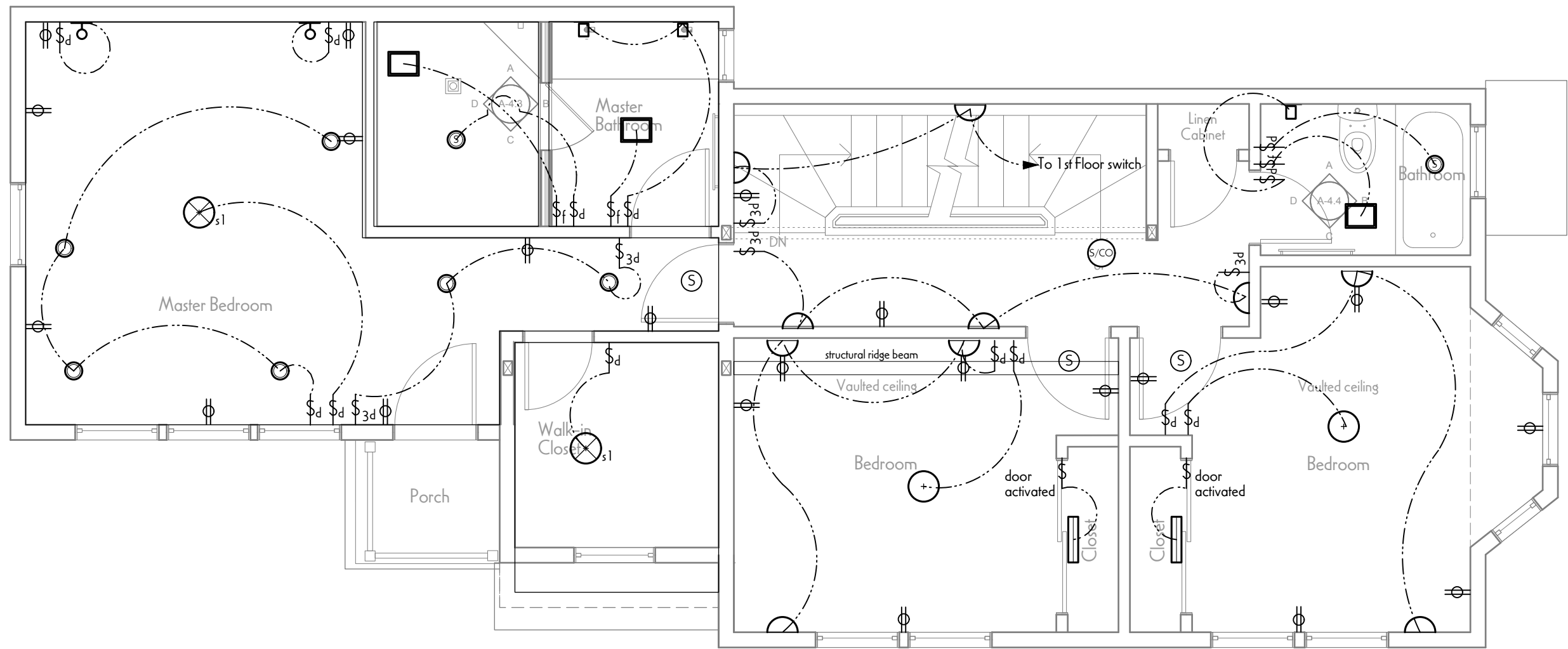
Construction Set  
Proposed Electrical Plans

**E1.1**



Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



1 2nd Floor Lighting / Electrical Plan  
Scale: 1/4" = 1'-0"

| LIGHTING FIXTURE SCHEDULE |   |                        |      |
|---------------------------|---|------------------------|------|
| Symbol                    | Fixture Type                                | Manufacturer / Model # | Lamp |
|                           | Surface mounted mini pendant                |                        |      |
|                           | Surface mounted pendant                     |                        |      |
|                           | Recessed downlight                          |                        |      |
|                           | Wallwasher recessed downlight               |                        |      |
|                           | Recessed shower downlight                   |                        |      |
|                           | Surface mounted fixture - type 1            |                        |      |
|                           | Wall mounted sconce light                   |                        |      |
|                           | Reading Light                               |                        |      |
|                           | Bathroom vanity fixture                     |                        |      |
|                           | LED Undercabinet Strip                      |                        |      |
|                           | Bathroom Exhaust fan                        |                        |      |
|                           | LED closet fixture                          |                        |      |
|                           | Track lighting fixture                      |                        |      |
|                           | Monopoint light                             |                        |      |
|                           | Exterior wall sconce                        |                        |      |
|                           | Exterior wall sconce w/ motion detector     |                        |      |
|                           | Ceiling Fan & Light                         |                        |      |
|                           | Exterior LED Floodlights with motion sensor |                        |      |

| ELECTRICAL SYMBOLS |   |
|--------------------|---|
| Symbol             | Description   |
|                    | Duplex receptacle - 18"H. typical unless otherwise noted.     |
|                    | Ground fault intercept duplex receptacle                      |
|                    | Quadruplex receptacle - 18"H. typical unless otherwise noted. |
|                    | Standard lightswitch  |
|                    | Preset dimmer lightswitch                                     |
|                    | 3-way lightswitch   |
|                    | Preset dimmer lightswitch on 3-way circuit                    |
|                    | Fan control switch  |
|                    | Cable TV  |
|                    | Ethernet cable (CAT 6)  |
|                    | Wall mounted speaker (TBD)                                    |
|                    | Telephone receptacle  |
|                    | Doorbell  |
|                    | Doorbell Chime  |
|                    | Smoke detector w/ battery backup.                             |
|                    | Combination Smoke / CO detector w/ battery backup.            |

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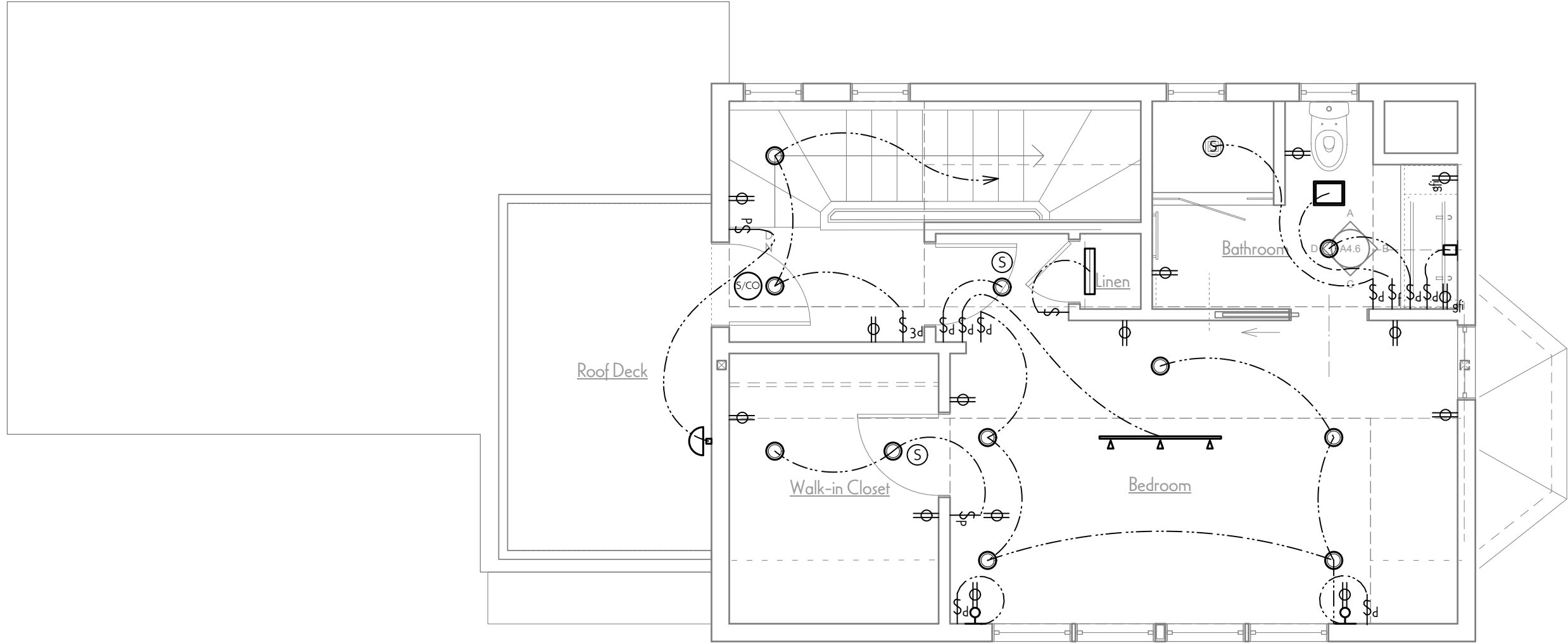
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| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set  
Proposed Electrical Plans

E1.2

Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



1 2nd Floor Lighting / Electrical Plan  
Scale: 1/4" = 1'-0"

| LIGHTING FIXTURE SCHEDULE |   |                        |      |
|---------------------------|---|------------------------|------|
| Symbol                    | Fixture Type                                | Manufacturer / Model # | Lamp |
|                           | Surface mounted mini pendant                |                        |      |
|                           | Surface mounted pendant                     |                        |      |
|                           | Recessed downlight                          |                        |      |
|                           | Wallwasher recessed downlight               |                        |      |
|                           | Recessed shower downlight                   |                        |      |
|                           | Surface mounted fixture - type 1            |                        |      |
|                           | Wall mounted sconce light                   |                        |      |
|                           | Reading Light                               |                        |      |
|                           | Bathroom vanity fixture                     |                        |      |
|                           | LED Undercabinet Strip                      |                        |      |
|                           | Bathroom Exhaust fan                        |                        |      |
|                           | LED closet fixture                          |                        |      |
|                           | Track lighting fixture                      |                        |      |
|                           | Monopoint light                             |                        |      |
|                           | Exterior wall sconce                        |                        |      |
|                           | Exterior wall sconce w/ motion detector     |                        |      |
|                           | Ceiling Fan & Light                         |                        |      |
|                           | Exterior LED Floodlights with motion sensor |                        |      |

| ELECTRICAL SYMBOLS |   |
|--------------------|---|
| Symbol             | Description   |
|                    | Duplex receptacle - 18"H. typical unless otherwise noted.     |
|                    | Ground fault intercept duplex receptacle                      |
|                    | Quadruplex receptacle - 18"H. typical unless otherwise noted. |
|                    | Standard lightswitch  |
|                    | Preset dimmer lightswitch                                     |
|                    | 3-way lightswitch   |
|                    | Preset dimmer lightswitch on 3-way circuit                    |
|                    | Fan control switch  |
|                    | Cable TV  |
|                    | Ethernet cable (CAT 6)  |
|                    | Wall mounted speaker (TBD)                                    |
|                    | Telephone receptacle  |
|                    | Doorbell  |
|                    | Doorbell Chime  |
|                    | Smoke detector w/ battery backup.                             |
|                    | Combination Smoke / CO detector w/ battery backup.            |

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**EvB Design**  
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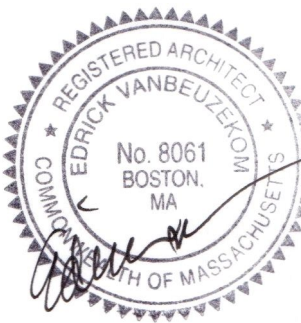
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| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set  
Proposed Electrical Plans

E1.3

Owner:  
**Treetop Group**  
100 Tower Office Park  
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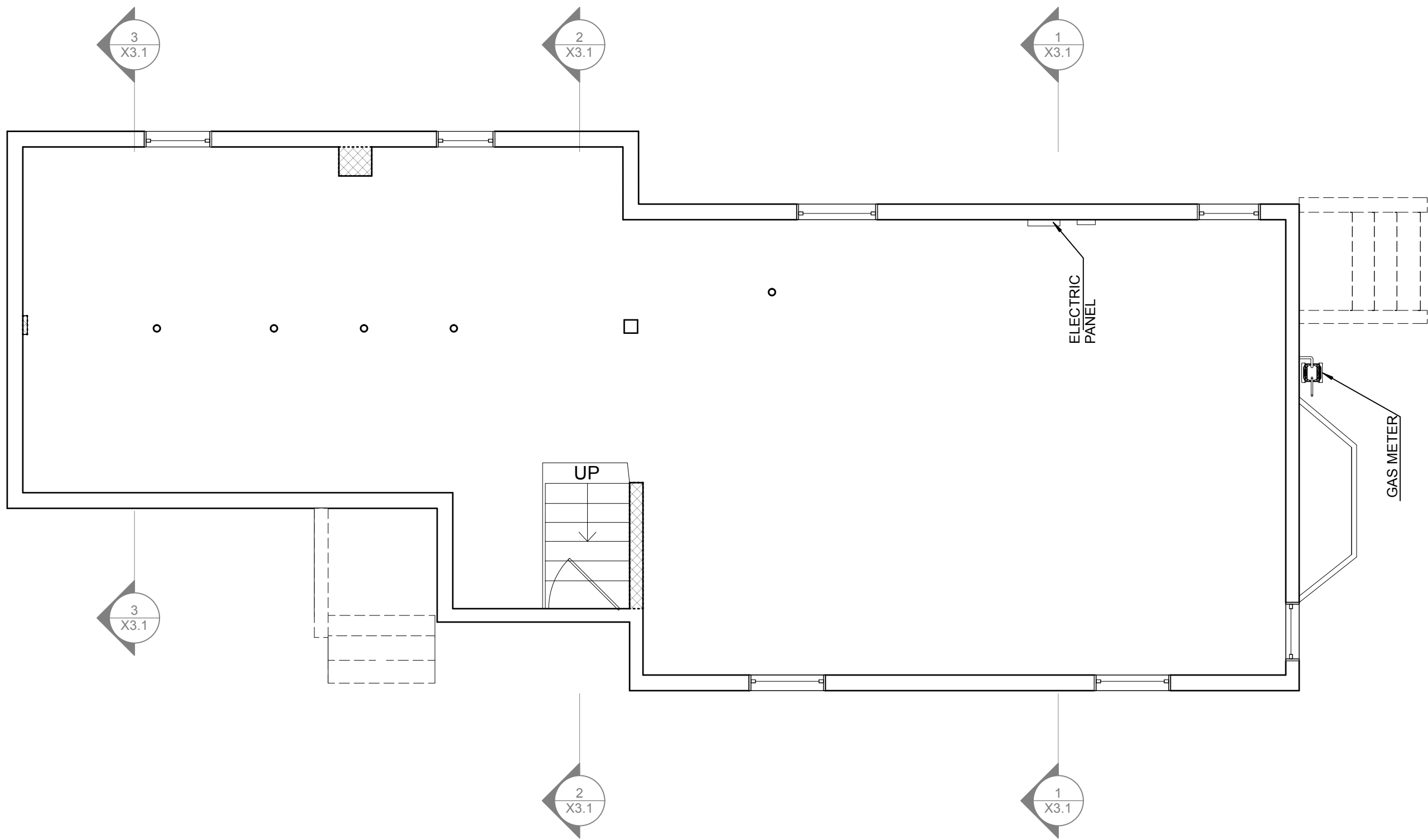
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| Checked by:  | EvB             |
| Revisions:   |                 |
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Construction Set

Existing Plans

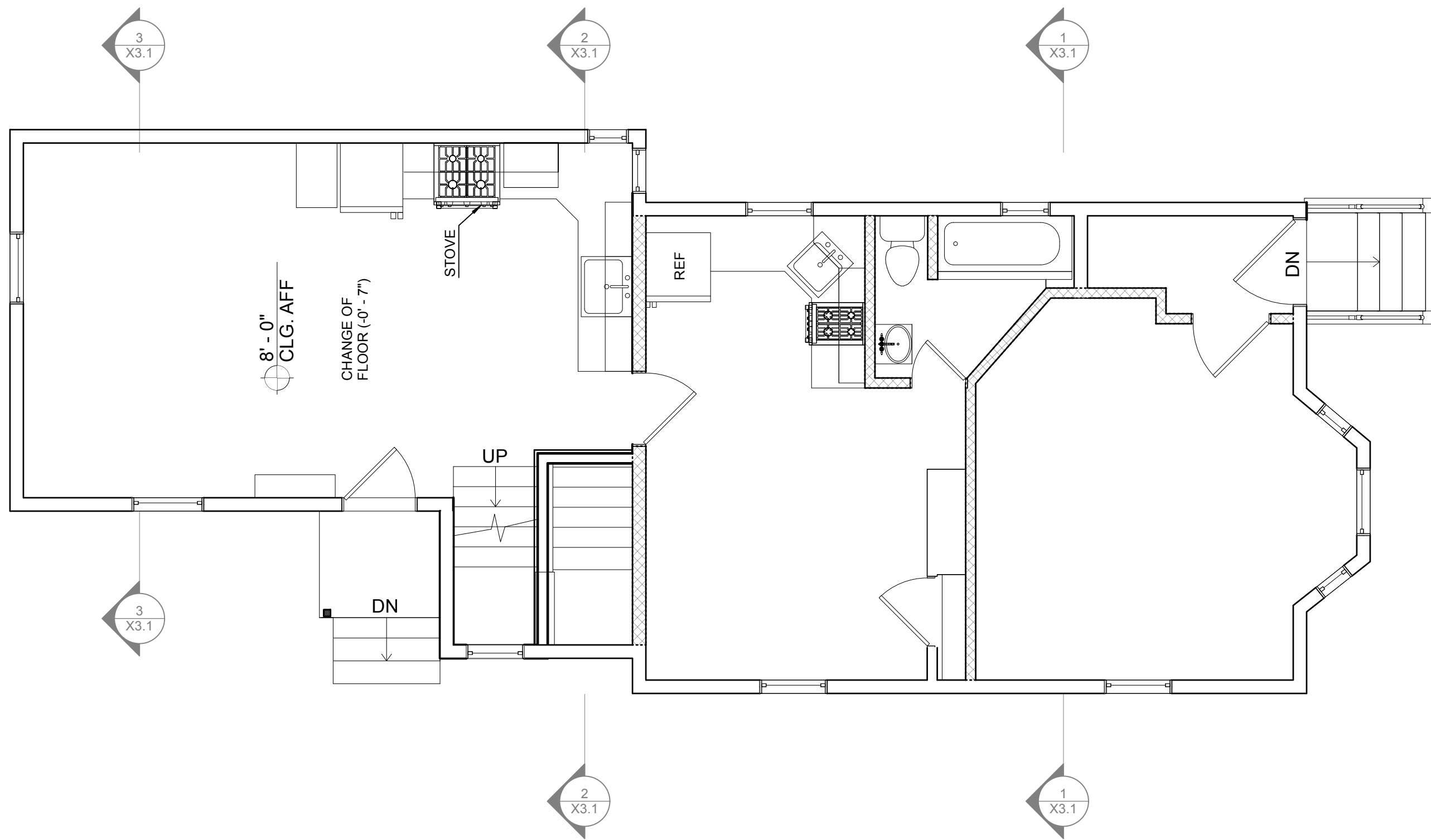
X1.0



1 Existing Basement Floor Plan  
Scale: 1/4" = 1'-0"

- GENERAL NOTES**
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- GRAPHIC KEY:**
- Existing wall to be removed
  - Existing wall to remain
  - Existing fixture/finish to be removed
  - Denotes demolition
  - New wall, typical



1 Existing First Floor Plan  
Scale: 1/4" = 1'-0"

- GENERAL NOTES**
- 1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
  - 2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
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- GRAPHIC KEY:**
- Existing wall to be removed
  - Existing wall to remain
  - Existing fixture/finish to be removed
  - Denotes demolition
  - New wall, typical

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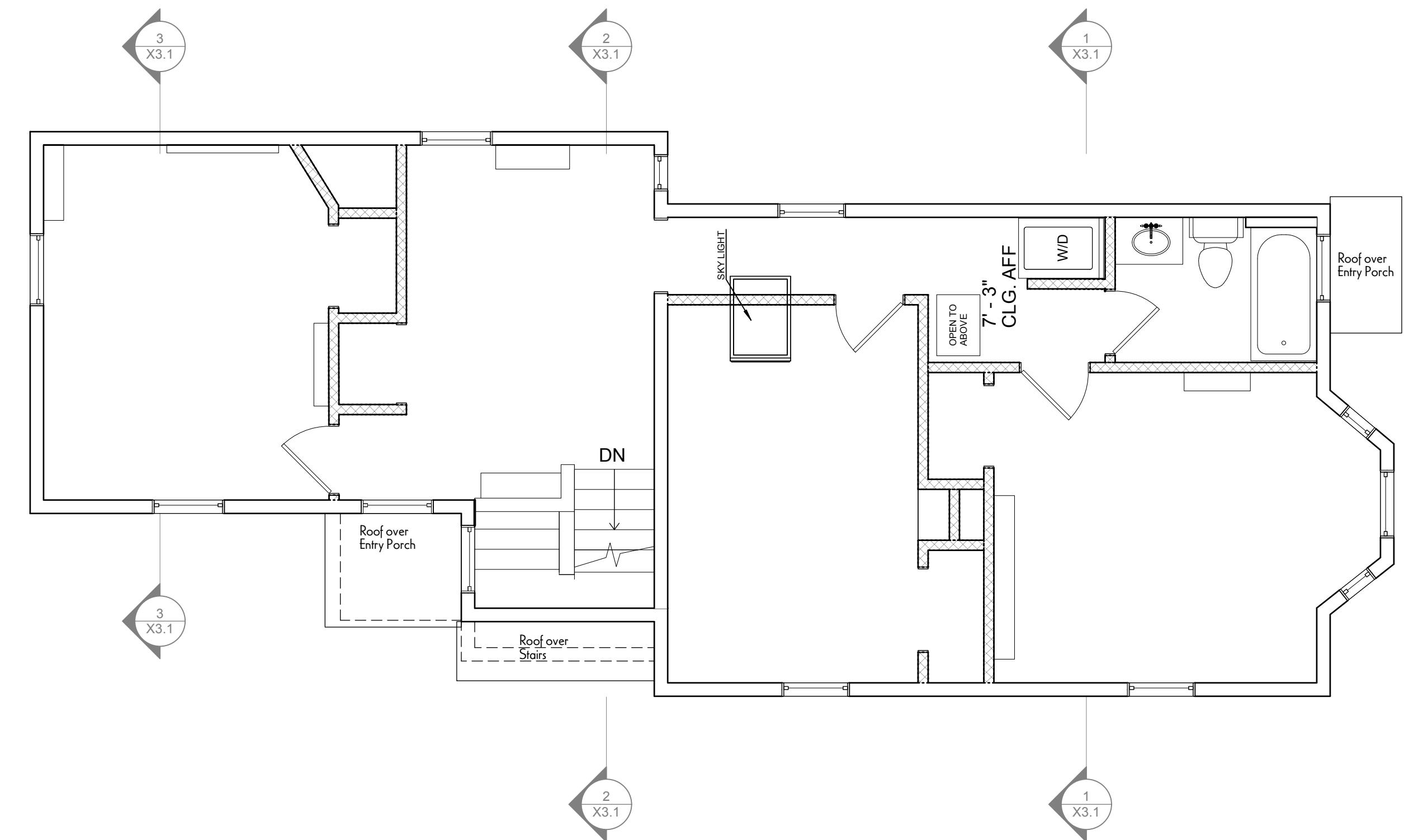
Construction Set

Existing Plans

X1.1

Owner:  
**Treetop Group**  
100 Tower Office Park  
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Property Address:  
27 Jay St.  
Cambridge, MA 02139



1 Existing Second Floor Plan  
Scale: 1/4" = 1'-0"

- GENERAL NOTES**
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- GRAPHIC KEY:**
- Existing wall to be removed
  - Existing wall to remain
  - Existing fixture/finish to be removed
  - Denotes demolition
  - New wall, typical



**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |
|              |                 |

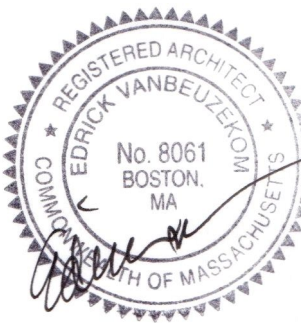
Construction Set

Existing Plans

X1.2

Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



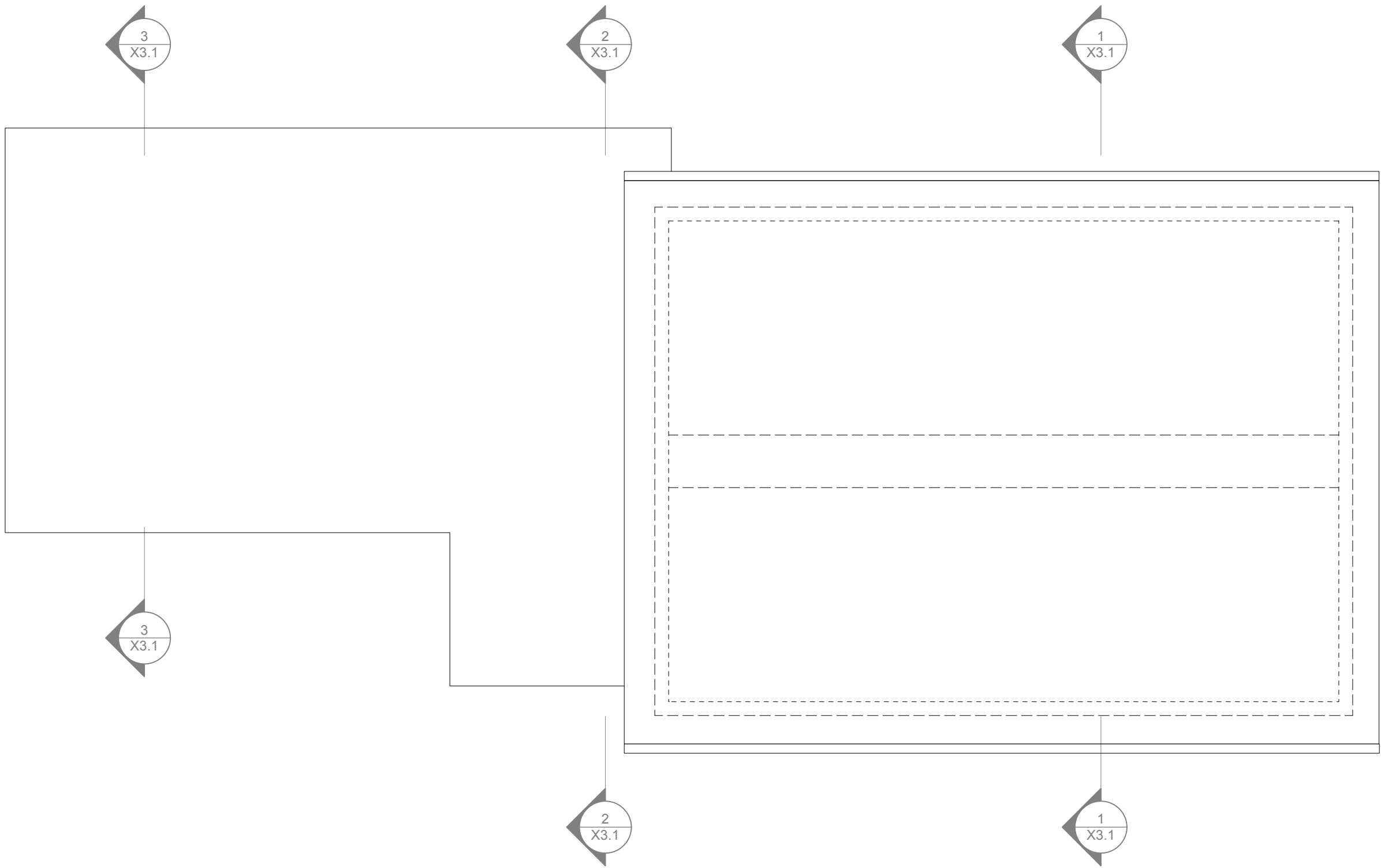
**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

|              |                 |
|--------------|-----------------|
|              |                 |
| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set

Existing Plans

X1.3



1 Existing Roof Plan  
Scale: 1/4" = 1'-0"

GENERAL NOTES

1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations prior to 01/01/2023. Except as noted below:
4. All new roof assemblies, and all third floor work shall comply with the current code and regulations required by the state of Massachusetts, and the city of Cambridge, including but not limited to the new energy stretch code

GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demolition
- New wall, typical



Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



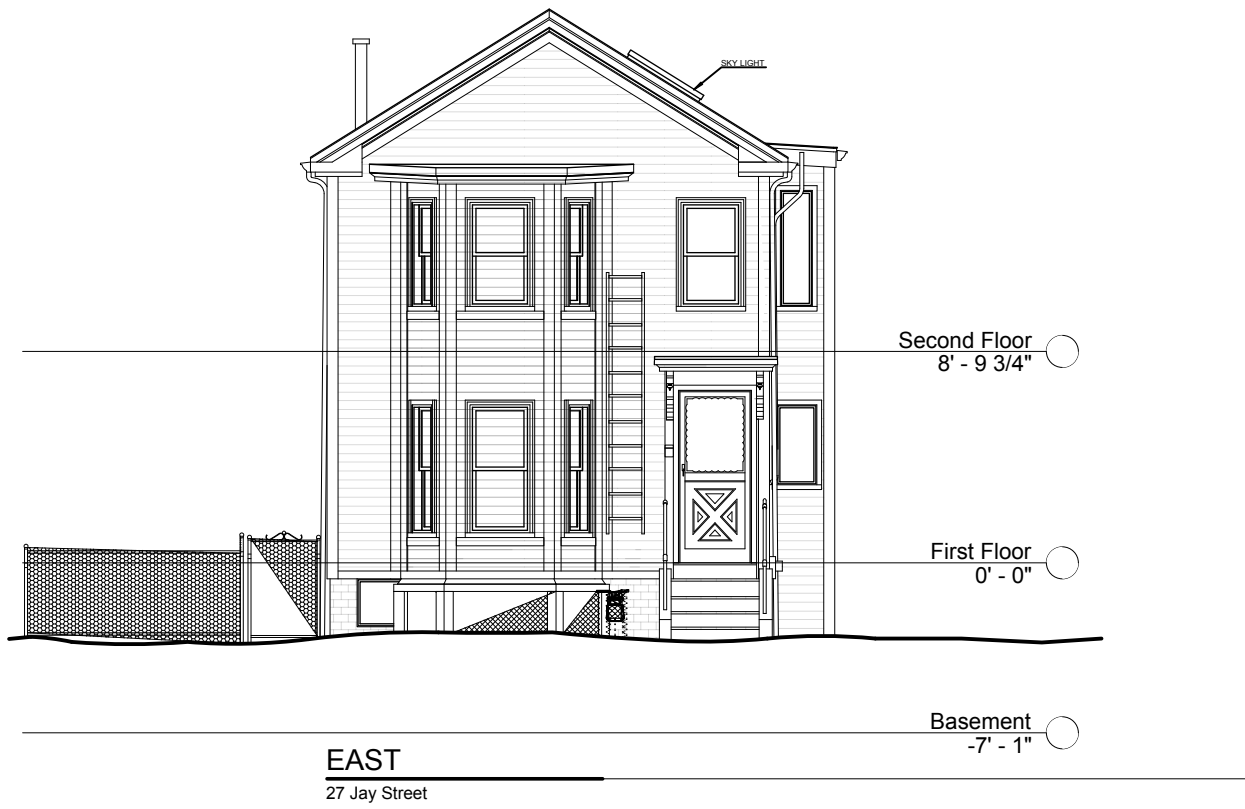
**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27 Jay St.      |
| Drawn by:    | PM, EvB, AF, MG |
| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |

Construction Set

Existing Elevations

X2.1



1 Existing East (Front) Elevation  
Scale: 1/8" = 1'-0"



2 Existing South (Side) Elevation  
Scale: 1/8" = 1'-0"

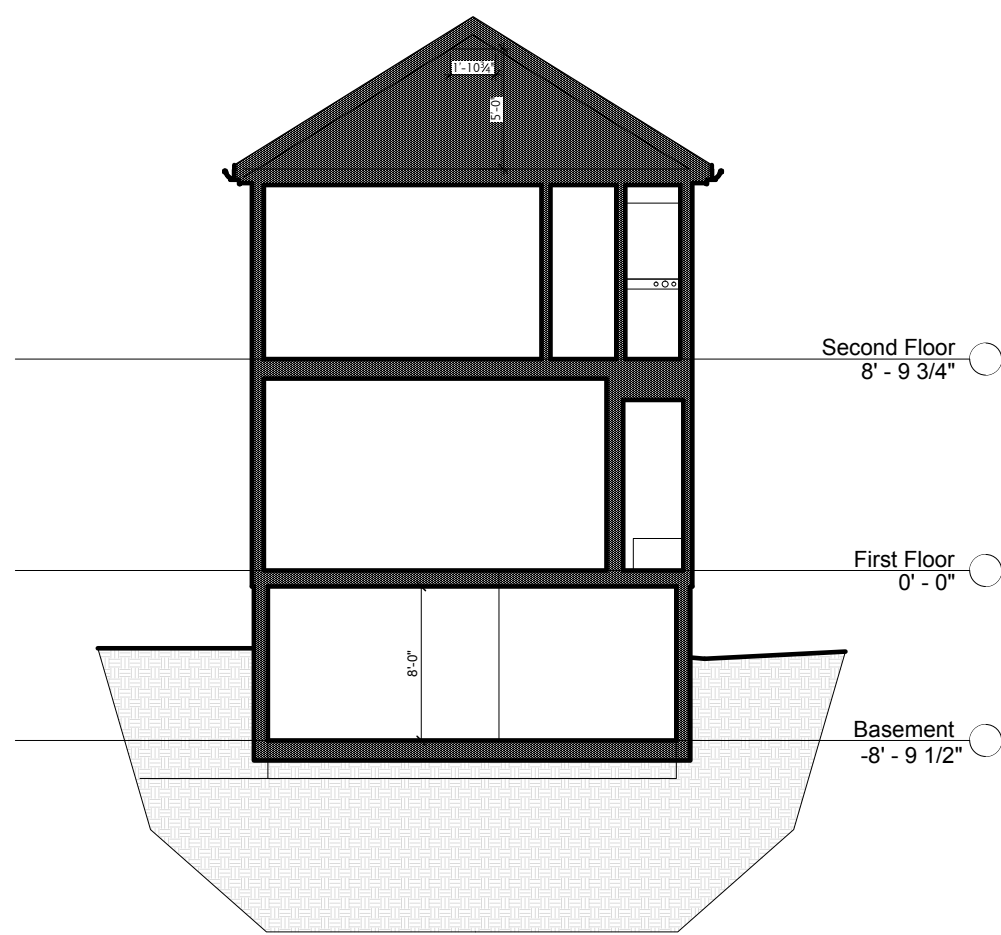


3 Existing West (Rear) Elevation  
Scale: 1/8" = 1'-0"

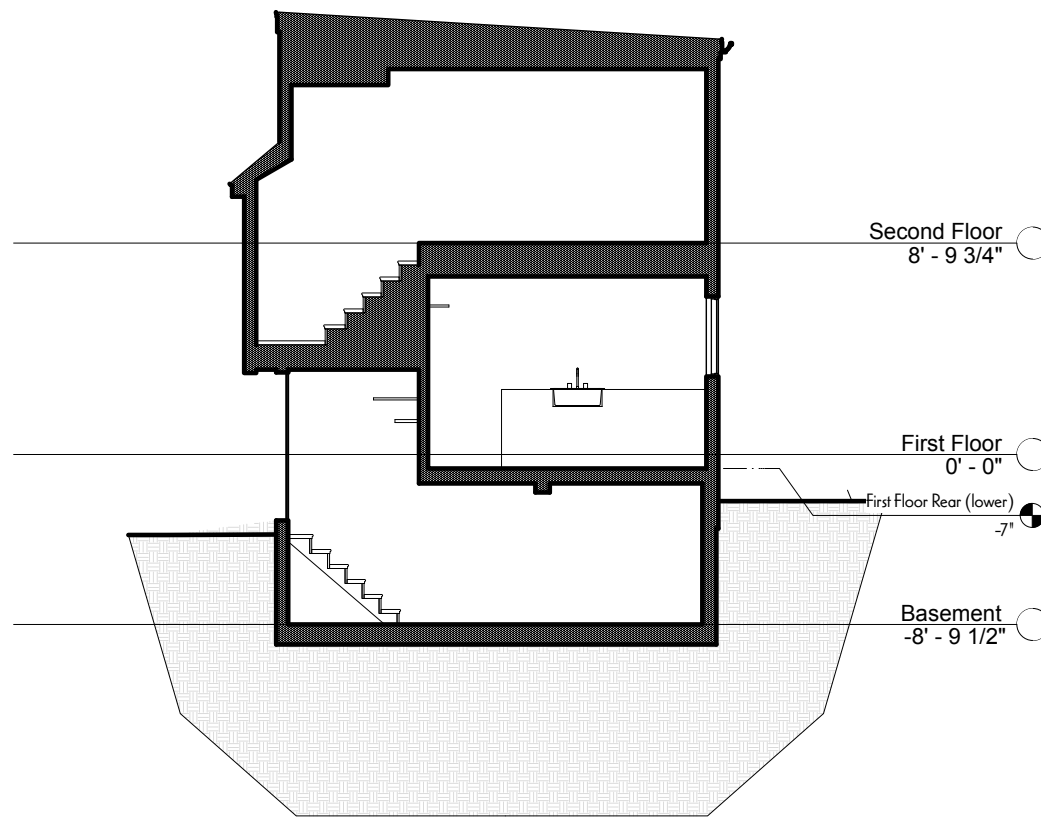


4 Existing North (Side) Elevation  
Scale: 1/8" = 1'-0"

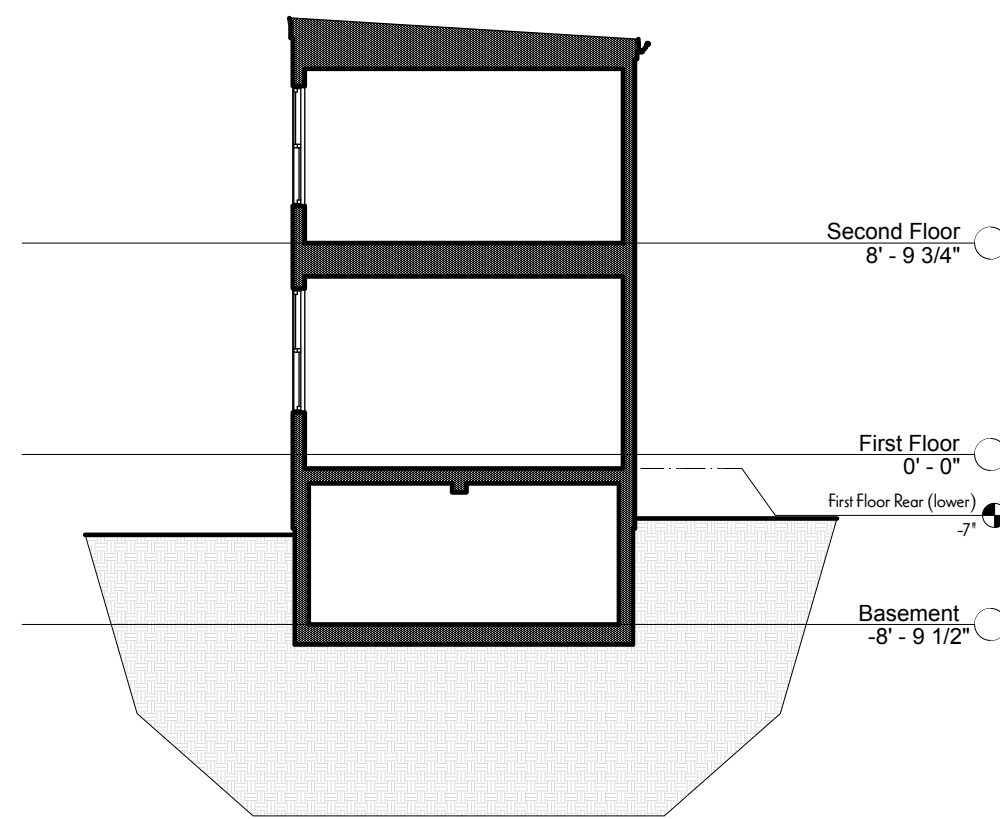




1 Existing Section 1  
Scale: 1/8" = 1'-0"



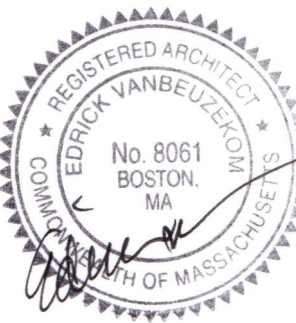
2 Existing Section 2  
Scale: 1/8" = 1'-0"



3 Existing Section 3  
Scale: 1/8" = 1'-0"

Owner:  
**Treetop Group**  
100 Tower Office Park  
Suite 1  
Woburn, MA

Property Address:  
27 Jay St.  
Cambridge, MA 02139



**EvB Design**  
1310 Broadway, Suite 200  
Somerville, MA 02144  
phone : (617) 623 2222

|              |                 |
|--------------|-----------------|
| Project no.: | 27 Jay St.      |
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| Date:        | 12/20/2023      |
| Checked by:  | EvB             |
| Revisions:   |                 |
|              |                 |
|              |                 |
|              |                 |
|              |                 |

|                   |
|-------------------|
| Construction Set  |
| Existing Sections |

X3.1



This is a detailed street map of a residential area in Chicago. The map shows a grid of streets including Howard St, Jay St, and Western Ave. A red oval highlights a specific area, and a blue rectangle highlights a smaller area within it. Arrows indicate a path or direction of travel.

**Streets and Addresses:**

- Howard St:** 123-51, 123-29, 123-30, 123-31, 123-32, 123-33, 123-35, 123-36, 123-37, 123-38, 123-39, 123-40, 123-41, 123-42, 123-43, 123-44, 123-45, 123-46, 123-47, 123-48, 123-49, 123-50.
- Jay St:** 41 Jay St, 39 Jay St, 37 Jay St, 35 Jay St, 33 Jay St, 31 Jay St, 29 Jay St, 27 Jay St, 25 Jay St, 23 Jay St, 21 Jay St, 20-A Jay St, 20 Jay St, 18 Jay St, 16-A Jay St, 19 Jay St.
- Western Ave:** 123-2, 123-3, 123-4, 123-5, 123-6, 123-7, 123-9, 123-13, 123-15, 123-16, 123-17, 123-18, 123-22, 123-71, 123-72, 123-78, 125-2, 125-3, 125-4, 125-116, 125-117, 125-118, 125-119, 125-120, 125-121, 125-122, 125-23.

**Other Labels:**

- 60 Howard St
- 58 Howard St
- 56 Howard St
- 52 Howard St
- 54 Howard St
- 50 Howard St
- 48 Howard St
- 46 Howard St
- 44 Howard St
- 42 Howard St
- 40 Howard St
- 38 Howard St
- 36 Howard St
- 34 Howard St
- 32 Howard St
- 30 Howard St
- 28 Howard St
- 205 Western Ave
- 199 Western Ave
- 189 Western Ave
- 179 Western Ave
- 175 Western Ave
- 24 Howard St
- 194 Western Ave
- 218 Western Ave
- 126-126
- 122-172
- 122-173
- 122-33
- 123-90
- 123-70
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- 123-16
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- 125-83
- 125-8

27 Jay St.

Petitioner

123-32  
BATISHCHEV, OLEG & ALLA BATISHCHEVA  
35-41 JAY ST UNIT A  
CAMBRIDGE, MA 02139

123-36  
DOTTIN, REUBEN N., JR.,  
TR. OF R & R TRUST  
321A WESTERN AVE  
CAMBRIDGE, MA 02139-0000

123-35  
JAO, CINDY Y. BRIAN C. WU  
27 JAY ST  
CAMBRIDGE, MA 02139

123-90  
CAMBRIDGE CITY OF  
C/O CAMBRIDGE HOSPITAL  
1493 CAMBRIDGE ST  
CAMBRIDGE, MA 02139

123-32  
ROHM, MAXIMO & JANINA MARIA MACADAM  
C/O DRIANA VAN DAELE  
P.O. BOX 380253  
CAMBRIDGE, MA 02238

123-33  
29A JAY STREET, LLC  
ATTN: DR. MICHELE KLOPNER  
6638 VAN WINKLE DR.  
FALLS CHURCH, VA 22044

123-33  
RICHMAN, KATHY  
31B JAY STREET  
CAMBRIDGE, MA 02139

123-47  
CARRINGTON, EDRIC R. &  
ISELMA CARRINGTON,  
TRS OF THE DYNASTY II REALTY TRUST  
42 HOWARD ST  
CAMBRIDGE, MA 02139-2910

123-43  
YELLIN, ELRON  
34 HOWARD ST UNIT 2  
CAMBRIDGE, MA 02139

123-70  
BAO, CHANNA & GUO NU BAO  
199 WESTERN AVE UNIT 1  
CAMBRIDGE, MA 02139

123-70  
BARENTS, BRANDY DYER &  
KEVIN PATRICK BARENTS  
199 WESTERN AVENUE UNIT 3  
CAMBRIDGE, MA 02139

123-70  
MUZYKEWICZ, MARCY  
199 WESTERN AVE UNIT 2  
CAMBRIDGE, MA 02139

123-43  
KLAUBER, BLAKE TRUSTEE OF SPEIDEN  
FAMILY IRREVOCABLE TRUST  
34 HOWARD ST UNIT 1  
CAMBRIDGE, MA 02139

123-32  
WANG HAISHENG FRANK  
EFFENBERGER ET AL  
35 JAY ST UNIT B  
CAMBRIDGE, MA 02139

123-33  
29-33 JAY STREET UNIT 31A LLC  
332 FRANKLIN ST APT 401  
CAMBRIDGE, MA 02139

123-33  
AVIDAN Yael  
29-33 JAY ST - UNIT 31C  
CAMBRIDGE, MA 02139

123-17  
LEAKE, ASHLEY ELIZABETH  
28 JAY ST  
CAMBRIDGE, MA 02139

123-33  
BLYAKHER ARKADY & GABRIELA PREGERNIG  
33 JAY ST - UNIT 33  
CAMBRIDGE, MA 02139

123-44  
PALLIN DANIEL LAURA MUIR TR  
52 KINNIARD ST  
CAMBRIDGE, MA 02139

123-45  
CALLON, WYNNE A. ANDREW T. MILLAR  
38 HOWARD ST  
CAMBRIDGE, MA 02139

123-37  
GRAHAM, SAUNDRA  
TRS 189-191 WESTERN AVENUE REALTY TR  
189-191 WESTERN AVE  
CAMBRIDGE, MA 02139

123-33  
STONE, JULIET K.  
29 JAY ST UNIT B  
CAMBRIDGE, MA 02139

123-46  
PHILLIPS, TONI N.  
TRS THE TONI N. PHILLIPS REVOCABLE TR  
40 HOWARD ST  
CAMBRIDGE, MA 02139

123-32  
HANLON, EDWARD P. ALENA PETRELLA  
41 JAY ST UNIT D  
CAMBRIDGE, MA 02139

123-15  
26 JAY STREET LLC  
358 ATHENS ST  
BOSTON, MA 02127

## Here's Your Custom Structure Design with Urban Sheds

1 message

**Urban Sheds** <no-reply@urban-sheds.com>  
 Reply-To: no-reply@urban-sheds.com  
 To: cindyjao@gmail.com

Tue, Apr 29, 2025 at 3:42 PM



Urban Sheds

Hi Cindy Jao,  
 Thank you for designing your custom shed!

### Next Steps:

- Ready to move forward? Click the model URL below to place your deposit. Your local Urban Sheds builder will reach out to schedule construction.
- Have questions or need a project review? [Schedule a Free Consultation](#) with an Urban Sheds Installation Expert.

Request: #3498    **April 29, 2025**

Payment Method: **N/A**

### Billing Address

Name: Cindy Jao  
 Email: [cindyjao@gmail.com](mailto:cindyjao@gmail.com) Phone: (617)-504-2001  
 Street Address: [27 Jay St](#)  
 Town / City: Cambridge State: MA Zip code: 02139

### Shipping Address

Name: Cindy Jao  
 Email: [cindyjao@gmail.com](mailto:cindyjao@gmail.com) Phone: (617)-504-2001  
 Street Address: [27 Jay St](#)  
 Town / City: Cambridge State: MA Zip code: 02139

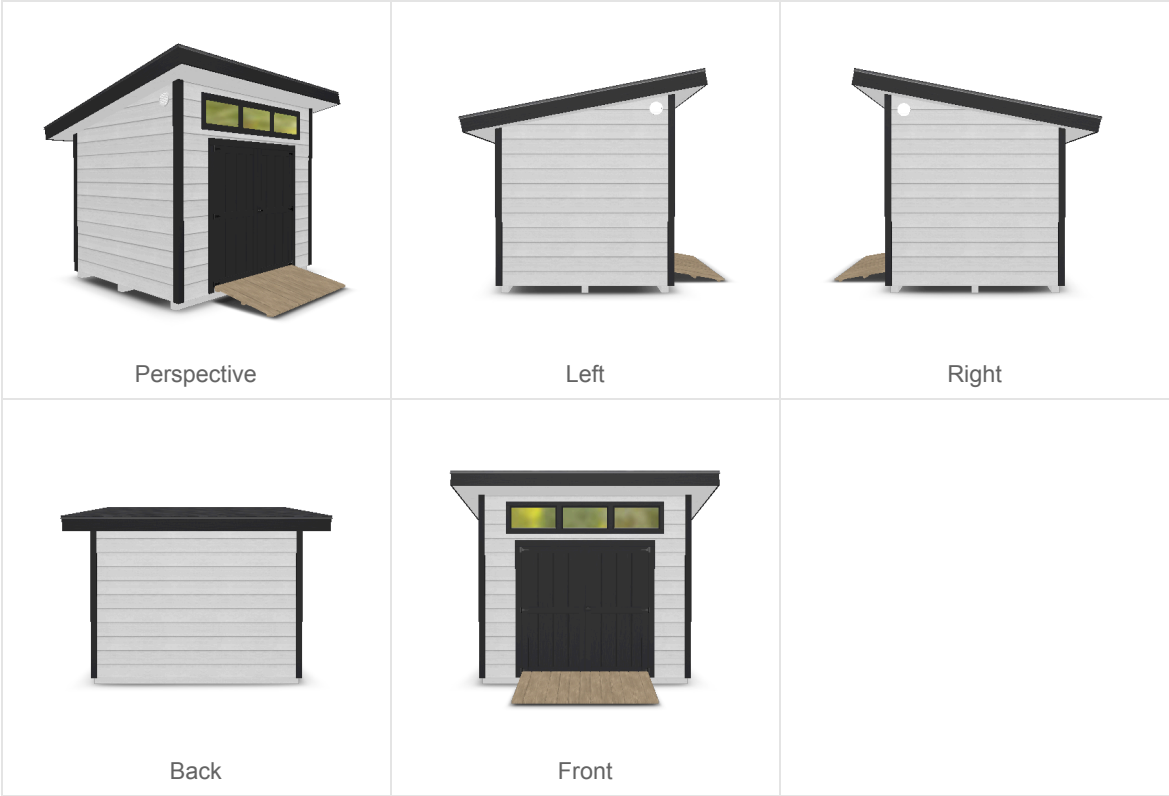
### Building Info - **Modern**

|                       |                 |               |                         |              |               |
|-----------------------|-----------------|---------------|-------------------------|--------------|---------------|
| Layout                | Transom Package | Siding & Trim | LP Lap                  | Siding Color | White         |
| Width x Length ( ft ) | <b>8 x 10</b>   | Roof          | Shingle (Architectural) | Trim Color   | Tricorn Black |
| Height ( ft )         | <b>7</b>        |               |                         | Roof Color   | Black         |

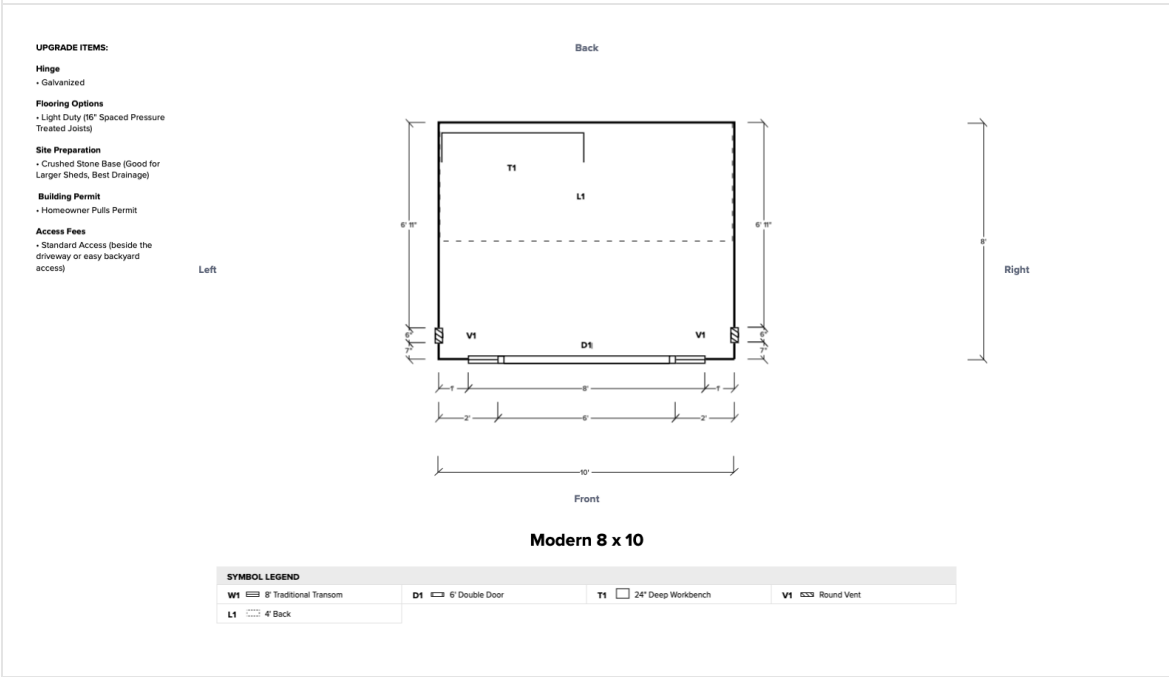
View Model: [Model URL](#)

### Images





## 2D Floor Plan



| Product           |   | Price      |
|-------------------|---|------------|
| Style:            | Modern  |            |
| Structure Details |   |            |
| Layout:           | Transom Package   | (included) |
| Size:             | 8 x 10  | \$4,686.00 |
| Siding & Trim:    | Siding Material: LP Lap   | \$1,171.50 |
|                   | Siding Color: White   | \$702.90   |
|                   | Trim Color: Tricorn Black                                       | (included) |
| Roof:             | Material: Shingle (Architectural)                               | (included) |
|                   | Color: Black  | (included) |
| Exteriors         |   |            |
| Left:             | One Round Vent (Top: 0, Bottom: 7' 9", Left: 6' 11", Right: 6") | \$30.00    |

|  |  |                             |
|--|--|-----------------------------|
| Right:                                   | One Round Vent (Top: 8", Bottom: 7' 8", Left: 6", Right: 6' 11")                           | <b>\$30.00</b>              |
| Front:                                   | One 8' Traditional Transom (Top: 2", Bottom: 6' 10", Left: 1' 3", Right: 1' 3")            | <b>\$720.00</b>             |
|  | One 6' Double Door with 6' Ramp (Left: 1' 8", Right: 1' 8")<br>- Door color: Tricorn Black | <b>\$650.00</b><br>\$150.00 |
|  | One 6' Ramp  | <b>\$250.00</b>             |
| <b>Upgrades, Flooring &amp; Interior</b> |  |                             |
| Back:                                    | One 24" Deep Workbench (Left: 5' 1", Right: 1") (5 linear feet)                            | <b>\$225.00</b>             |
| Hinge:                                   | Galvanized   | <b>(included)</b>           |
| Flooring Options:                        | Light Duty (16" Spaced Pressure Treated Joists)  | <b>(included)</b>           |
| Site Preparation:                        | Crushed Stone Base (Good for Larger Sheds, Best Drainage)                                  | <b>\$1,405.80</b>           |
| Building Permit:                         | Homeowner Pulls Permit   | <b>(included)</b>           |
| Access Fees:                             | Standard Access (beside the driveway or easy backyard access)                              | <b>(included)</b>           |
| Roof Overhang:                           | Large  | <b>\$234.30</b>             |
| Loft:                                    | 4' Back  | <b>\$374.88</b>             |
| Studs:                                   | Basic Wood Stud Interior   | <b>(included)</b>           |

|                         |                    |
|-------------------------|--------------------|
| <b>Product:</b>         | <b>\$10,630.38</b> |
| <b>Subtotal:</b>        | <b>\$10,630.38</b> |
| <b>Grand Total:</b>     | <b>\$10,630.38</b> |
| <b>Due Today:</b>       | <b>\$10,630.38</b> |
| <b>Future Payments:</b> | <b>\$0.00</b>      |

### Lot to contact:

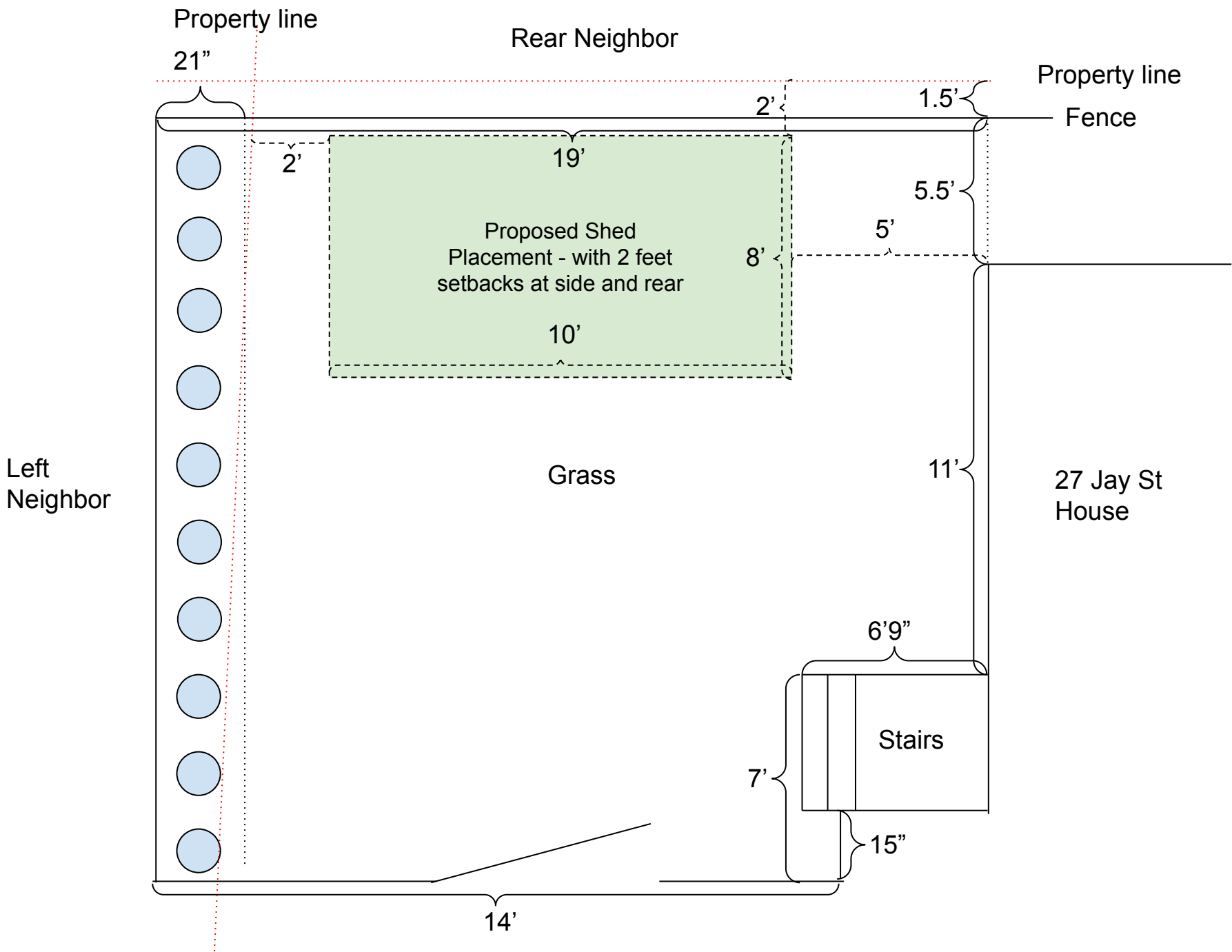
Location name: Massachusetts

Location address: [55 Brackenbury St, Malden MA 02148](#)



Urban Sheds

Powered by **ShedPro**







27 Jay St  
624-1141881







