



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2020 SEP 24 PM 2:37
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 92108

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: Marc Resnick, Trustee, M Lady Realty Trust C/O Beantown Companies

PETITIONER'S ADDRESS: 100 Felton Street, Ste 201, MA, Waltham 02453

LOCATION OF PROPERTY: 293 Rindge Ave., Cambridge, MA

TYPE OF OCCUPANCY: 2-Family Residential

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Dormer/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Adding a dormer to the street side of the third floor of the existing building, which adds 27 gross square feet, changing the FAR from .828 to .835.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 10	Section: 40
Article: 5	Section: 31
Article: 8	Section: 22

Original
Signature(s):

(Petitioner (s) / Owner)

Marc Resnick, Trustee

(Print Name)

Address:

Tel. No. 6174599128
E-Mail Address: baratta.beantown@gmail.com

Date: _____

BZA APPLICATION FORM - OWNERSHIP INFORMATION

*To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.*

I/We Marc Resnick, Trustee, M Lady Realty Trust
(OWNER)

Address: 100 Felton Street, Waltham, MA 02453

State that I/We own the property located at 293 Rindge Avenue, Cambridge, MA,
which is the subject of this zoning application.

The record title of this property is in the name of M Lady Realty Trust

*Pursuant to a deed of duly recorded in the date December 19, 2019, Middlesex South
County Registry of Deeds at Book 73857, Page 595; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

(Signature)
**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

**Written evidence of Agent's standing to represent petitioner may be requested.*

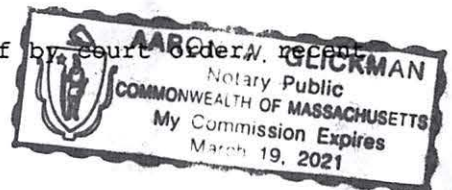
Commonwealth of Massachusetts, County of Middlesex

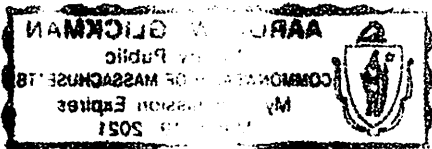
The above-name Marc Resnick personally appeared before me,
this 23rd of September, 2020, and made oath that the above statement is true.

(Signature) Notary

My commission expires 3/19/21 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, deed, or inheritance, please include documentation.





BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 293 Rindge Ave., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The change will not be detrimental on the neighborhood, as the change in square feet is minor, the footprint of the building remains the same, and no change in the amount of dwelling units is proposed.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The amount of units and parking spaces stays the same, so no impact will be had on traffic. The means of egress stay the same.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The change is de minimis and does not create and additional units/occupants, or change in parking, or change in the footprint of the building.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The work will be done according to all building codes and with deference to the neighbors with regards to noise levels and hours that the work will be done. There are currently no occupants in the building.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The change will not drastically change the look of the building and every effort will be used to maintain the same look of the neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Marc Resnick, Trustee, M Lady Realty Trust**Present Use/Occupancy:** 2-Family Residential**Location:** 100 Felton Street, Ste 201**Zone:** Residence B Zone**Phone:** 6174599128**Requested Use/Occupancy:** 2-Family Residential

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	2898	2925	N/A	(max.)
<u>LOT AREA:</u>	3,501	3,501	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	.828	.835	.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>	N/A	N/A	N/A	
<u>SIZE OF LOT:</u>				
WIDTH	N/A	N/A	N/A	
DEPTH	N/A	N/A	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	N/A	N/A	N/A	
REAR	N/A	N/A	N/A	
LEFT SIDE	N/A	N/A	N/A	
RIGHT SIDE	N/A	N/A	N/A	
<u>SIZE OF BUILDING:</u>				
HEIGHT	N/A	N/A	N/A	
WIDTH	N/A	N/A	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	N/A	N/A	N/A	
<u>NO. OF DWELLING UNITS:</u>	N/A	N/A	N/A	
<u>NO. OF PARKING SPACES:</u>	N/A	N/A	N/A	
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

* * * * *

(6:00 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,
Andrea A. Hickey, Jim Monteverde, and
Jason Marshall

CONSTANTINE ALEXANDER: The Chair will call Case
Number 92108 -- 293 Rindge Avenue. Anyone here wishing to
be heard on this case? Apparently not. The Chair --

SEAN O'GRADY: Gus, there's no --

CONSTANTINE ALEXANDER: I'm sorry?

SEAN O'GRADY: There's nobody here for that.

CONSTANTINE ALEXANDER: Okay. Thanks, Sean. The
Chair would advise the Board that we have a letter in the
file from a Michele M. Herrata (phonetic), Esquire [so it
must be an attorney].

"I represent the petitioner and owner in the above
zoning relief petition -- " that's 293 Rindge Avenue "--
and on behalf of the petitioner, filed the above captioned
application. We are requesting a continuance on our
petition, so that we may rework the dormers in our plans to
better comply with Cambridge building codes."

You better! I see so you have so far observed

1 that the plans that were submitted were so far out of
2 compliance with the dormer guidelines that this case was
3 going to go nowhere.

4 But, with that commentary, they didn't request a
5 date. What's our schedule like, Sisia?

6 SISIA DAGLIAN: Well, we're full through the end
7 of this year. We have January 14.

8 CONSTANTINE ALEXANDER: January 14?

9 SISIA DAGLIAN: Yep. Or the twenty-eighth.

10 CONSTANTINE ALEXANDER: Okay. Let's try the
11 fourteenth.

12 SISIA DAGLIAN: Okay.

13 CONSTANTINE ALEXANDER: Okay. The Chair moves
14 that we continue this case as a case not heard, which means
15 any five members of the Board can sit on the case, until
16 7:00 p.m. on January 14, subject to the following
17 conditions:

18 1. That the petitioner sign a waiver of time for
19 decision, and that is a form that the city provides. And
20 you -- the petitioner is advised that if this form as signed
21 has not been delivered to the Inspectional Services
22 Department by 5:00 p.m. on Monday a week from today, 5:00

1 p.m. a week from today, this case will be dismissed.

2 So I urge the petitioner if they want to proceed
3 with this case, that they have to in the next week get that
4 waiver of time for decision form to be signed. It can be
5 obtained from Maria Pacheco at the Inspectional Services
6 Department. That's the first condition.

7 The second condition is that a new sign advising
8 of the new time, January 14 -- the new date January 14 --
9 the new time, 7:00 p.m., be posted for the 14 days prior to
10 January 14, as was the case for the hearing tonight.

11 And lastly, to the extent that will be new plans,
12 dimensional forms and the like, and there will be, those
13 must be in our files no later than 5:00 p.m. on the Monday
14 before January 14. If this does not occur, we will not hear
15 the case on January 14.

16 SEAN O'GRADY: Gus? This is Sean speaking.

17 CONSTANTINE ALEXANDER: Yeah.

18 SEAN O'GRADY: James Williamson is asking to
19 speak. Did you want to hear him?

20 CONSTANTINE ALEXANDER: Who? I'm sorry, who wants
21 to be heard from?

22 SEAN O'GRADY: James Williamson is asking to

1 speak.

2 CONSTANTINE ALEXANDER: Is she (sic) an abutter?

3 Well, let's let her speak. She can speak. Go ahead.

4 Hello?

5 JAMES WILLIAMSON: Hello. Hello?

6 CONSTANTINE ALEXANDER: Yes.

7 SEAN O'GRADY: Just put his hand down.

8 CONSTANTINE ALEXANDER: What?

9 SEAN O'GRADY: He's putting his hand up again.

10 Hang on.

11 CONSTANTINE ALEXANDER: Okay. I -- we -- I don't
12 see the hands going up on this end on my screen, so --

13 SEAN O'GRADY: Yep. Hang on one second. James,
14 are you there?

15 JAMES WILLIAMSON: Yeah, I think -- can you hear
16 me now?

17 CONSTANTINE ALEXANDER: [James Williamson.] Yes,
18 we can hear you, James.

19 JAMES WILLIAMSON: Thank you. Appreciate the
20 opportunity to just ask a question. Because I was
21 interested in this case, which I'm just now learning is
22 going to be continued.

1 I also had an interest in another case that I also
2 learned only today would probably be continued -- that's the
3 544 Mass Ave case.

4 And I just wonder if there could be -- I'd
5 appreciate the opportunity to ask about this now -- if there
6 could be some clarification, the way that these hearings are
7 being done now seems different, and it's quite confusing
8 that the continued cases, which typically would be heard
9 first in the past now being scheduled for 7:00 and the
10 regular cases being scheduled for 6:00, and it was not clear
11 at all that that -- that at 7:00 there would be a transition
12 to the continued cases.

13 I wonder just if there could be some clarification
14 of what's going on with that, and if it could be made --

15 CONSTANTINE ALEXANDER: I think there should be --

16 JAMES WILLIAMSON: -- clear.

17 CONSTANTINE ALEXANDER: -- I think there should
18 be, James, and I'm not the person to be able to provide it.
19 I don't know why the schedules are such now that the
20 continued cases are at 7:00 and the regular agenda starts at
21 6:00 and then we break it up with the continued cases.
22 Sisia, do you know why they're doing this?

1 SISIA DAGLIAN: No, I don't.

2 CONSTANTINE ALEXANDER: I'll ask Maria, James, or
3 you can ask her as well.

4 JAMES WILLIAMSON: Well, I appreciate -- at least
5 hopefully that could be clarified, and then -- so it would
6 be less confusing in the future. And I appreciate the
7 opportunity to ask about it.

8 CONSTANTINE ALEXANDER: No, I think your point is
9 well-taken. We have cases with a 6:00, 7:00 dichotomy going
10 into January. So it might be a while before we get back to
11 --

12 JAMES WILLIAMSON: Okay.

13 CONSTANTINE ALEXANDER: -- a more rational --

14 JAMES WILLIAMSON: Okay.

15 CONSTANTINE ALEXANDER: -- more rational way of
16 doing it.

17 JAMES WILLIAMSON: Well, it's been a pleasure to
18 see both of you up there on the podium.

19 BRENDAN SULLIVAN: Jim, this is Brendan Sullivan.
20 I think what happened is that when we could not meet, and we
21 basically had to continue all the cases that were in line,
22 that we continued them to 7:00, which was our normal

1 procedure.

2 When we started to come back and have live
3 hearings -- current hearings -- it was suggested that we
4 might do it a little bit earlier, at 6:00, because of some
5 of the inconsistencies with the -- you know, doing it by
6 Zoom and all that other stuff, and that it would make for a
7 much longer night.

8 So would it be okay if we started at 6:00 instead
9 of 7:00? And the Board members -- and I think some of the
10 other people who chimed in said yes, 6:00 made more sense,
11 so that we weren't here after midnight. And, however those
12 7:00 slots that were for the continued cases as per before,
13 sort of stayed there.

14 So what that did is it created a situation where
15 we were starting at 6:00. The other ones had already been
16 advertised for 7:00, the continued ones, and let's stay with
17 the 6:00 for the regular agenda, and then at 7:00 or
18 thereabouts after 7:00 break, and then pick up the
19 continued.

20 So that's really what the uneven is, and that's
21 how it occurred.

22 CONSTANTINE ALEXANDER: Yeah, but that was -- and

1 that's true. That's the way we had to do it when we first
2 started reconvening our hearings back in the summer.

3 But now that we have worked through the cases that
4 have been continued at 7:00, I think we should -- and I'll
5 speak with Maria -- going back to an approach that you
6 mentioned, James, in which we had used prior to the
7 pandemic.

8 And that is we start at 6:00 -- we'll start at
9 6:00, not 7:00 -- 6:00 with continued cases, and then
10 immediately follow with the regular agenda. I'll see what
11 we can do about that. But it'll be a while before that gets
12 implemented.

13 JAMES WILLIAMSON: All right, well thanks for
14 looking into it and for explaining it, and I'm going to say
15 good neighbor with the understanding that the 544 Mass Ave
16 case, which is a continued case -- it's my understanding
17 that it's my understanding that they're going to be
18 requesting a continuance?

19 CONSTANTINE ALEXANDER: Yeah, you are correct.
20 And we will take that case up -- actually as the next case.
21 But that case is going to be continued.

22 JAMES WILLIAMSON: Okay, well thank you. Thanks,

1 thanks very much.

2 CONSTANTINE ALEXANDER: Thank you, James.

3 JAMES WILLIAMSON: Take care, everybody.

4 CONSTANTINE ALEXANDER: Okay. Should we take the
5 vote on the -- since I talked to Jim -- Okay, that I had
6 made a motion about continuing this case until January 14,
7 and imposing the various conditions to that. We need to
8 take a vote to approve that. Brendan?

9 BRENDAN SULLIVAN: Brendan Sullivan yes to the
10 continuance.

11 ANDREA HICKEY: Andrea Hickey --

12 JIM MONTEVERDE: Jim Monte --

13 ANDREA HICKEY: -- yes. Andrea Hickey yes to the
14 continuance.

15 JIM MONTEVERDE: And Jim Monteverde yes to the
16 continuance.

17 JASON MARSHALL: Jason Marshall yes to the
18 continuance.

19 CONSTANTINE ALEXANDER: And the Chair votes yes as
20 well. So the case is continued until the fourteenth of
21 January. 544 Mass Ave...

22

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The third floor is only accessible by an unsafe staircase that cannot be brought to code without creating dormers. The proposed changes, including dormers, would bring the FAR closer to being in compliance with existing zoning codes. Unfortunately, it is not possible to completely bring the property into compliance without tearing down the structure and rebuilding it, which is financially not feasible. Without the dormers, the upper floor is unsafe for occupants and presents a danger to them and their guests.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The shape of the land is uneven and the property lines crooked. The property was built to be perpendicular with the street, as is customary for the neighborhood, but that means the structure is very close to lot lines (including an easement area on one side, created due to the abutter's property encroaching on this parcel). The structure is currently lawfully nonconforming, and cannot be fixed without a complete rebuild because of how the land is shaped and how the structure is built on it. Even a rebuild would be difficult due to the narrowness of the property lines and the crookedness of the property.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The relief will not affect the neighborhood in any way and is for the public good as it addresses safety concerns on the property.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The relief requested would put the property more in compliance with the zoning ordinance. Further, it fixes substantial safety concerns in the property. It will not affect abutters or the general look of the property.

- * If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: Marc Resnick, Trustee, M Lady Realty Trust **PRESENT USE/OCCUPANCY:** 2-Family Residential

LOCATION: 293 Rindge Avenue **ZONE:** Residence B

PHONE: 617-782-7800 **REQUESTED USE/OCCUPANCY:** 2-Family Residential

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>	<u>2898 sq ft</u>	<u>2717 sq ft</u>	<u> </u> (max.)
<u>LOT AREA:</u>	<u>3501 sq ft</u>		<u>5000 sq ft</u> (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	<u>.828</u>	<u>.776</u>	<u>.5</u> (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>1750.5 sq ft</u>	<u>N.C.</u>	<u>2500 sq ft</u> (min.)
<u>SIZE OF LOT:</u>			<u>50'</u> (min.)
	<u>WIDTH</u>		
	<u>DEPTH</u>		
<u>Setbacks in Feet:</u>			<u>15'</u> (min.)
	<u>FRONT</u>		
	<u>REAR</u>		<u>25'</u> (min.)
	<u>LEFT SIDE</u>		<u>7'-6"</u> (min.)
	<u>RIGHT SIDE</u>		<u>7'-6"</u> (min.)
<u>SIZE OF BLDG.:</u>			<u>35'</u> (max.)
	<u>HEIGHT</u>	<u>+/-30'-10"</u>	
	<u>LENGTH</u>		
	<u>WIDTH</u>		
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>	<u>58%</u>	<u>60%</u>	<u>40%</u> (min.)
<u>NO. OF DWELLING UNITS:</u>	<u>2</u>	<u>N.C.</u>	<u>2</u> (max.)
<u>NO. OF PARKING SPACES:</u>	<u>0</u>	<u>N.C.</u>	<u>2</u> (min./max)
<u>NO. OF LOADING AREAS:</u>	<u>0</u>	<u>N.C.</u>	<u> </u> (min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>N.A.</u>		<u> </u> (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

293 Rindge Road Renovation

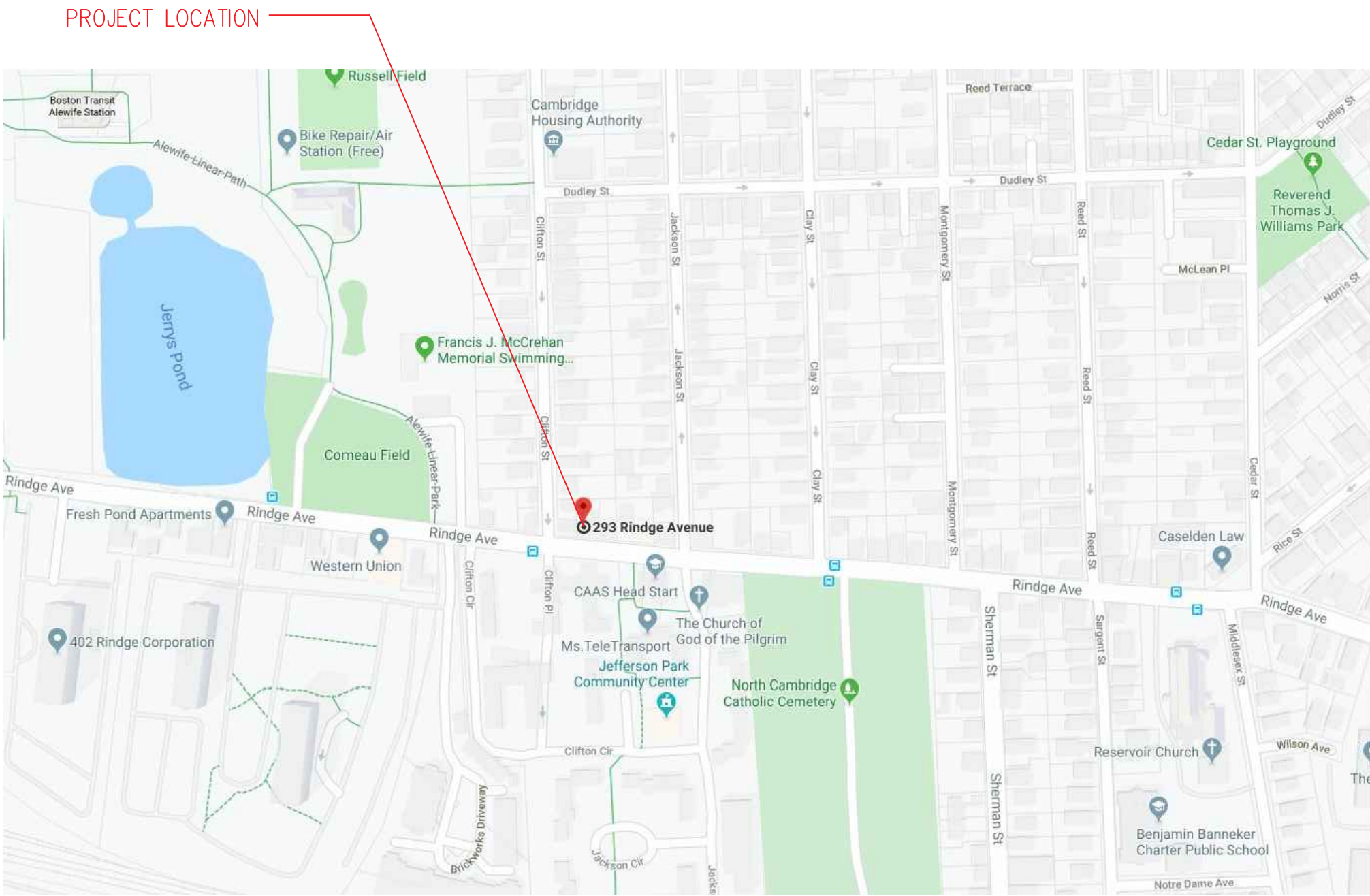
293 Rindge Road, Cambridge, MA

Owner:

The Beantown Companies
100 Felton St, Suite 201
Waltham, MA 02453

Architect:

Seger Architects, Inc.
10 Derby Square
Salem, MA 01970
Phone: 978-744-0208



LOCUS PLAN : NOT TO SCALE

PROJECT INFORMATION	
PROJECT:	RENOVATION
LOCATION:	293 RINDGE AVENUE, CAMBRIDGE, MA 02140
JURISDICTION:	CITY OF CAMBRIDGE
DESCRIPTION OF WORK:	RENOVATION OF TWO FAMILY RESIDENTIAL BUILDING. ADDITION OF 3RD FLOOR DORMER. REMOVE CHIMNEYS. REPLACE REAR DECK/MEANS OF EGRESS.
APPLICABLE CODES:	2015 – IRC w/ MA STATE 9TH EDITION AMENDMENTS MA STATE ELECTRICAL CODE MA STATE PLUMBING CODE MA STATE MECHANICAL CODE
ZONING:	B – TWO FAMILY OR SEMI-DETACHED DWELLINGS
BUILDING USE GROUP:	RESIDENTIAL
CONSTRUCTION TYPE:	TYPE 5B UNPROTECTED
LOT SIZE:	3,501 SF
NOTE:	AS A DESIGN BUILD PROJECT, THE ELECTRICAL, PLUMBING, AND HVAC ARE THE RESPONSIBILITY OF THE GC.
	EXISTING BUILDING 2,898 GAF SF, 0.828 FAR PROPOSED BUILDING 2,925 GAF SF, 0.835 FAR

SYMBOLS	
	ELEVATION KEY SHEET NUMBER
	BUILDING SECTION KEY SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	PARTITION TYPE
	DOOR NUMBER
	ROOM NUMBER
	REVISION # SYMBOL
	ELEVATION TARGET
	SMOKE DETECTOR
	Co2 DETECTOR

DRAWING INDEX	
SHEET	DESCRIPTION
Architectural	
	COVER
EX-1.1	EXISTING BASEMENT, 1ST AND 2ND FLOOR PLANS
EX-1.2	EXISTING 3RD FLOOR AND ROOF PLANS
EX-2.1	EXISTING ELEVATIONS
A-1.1	PROPOSED BASEMENT, 1ST AND 2ND FLOOR PLANS
A-1.2	PROPOSED THIRD FLOOR AND ROOF PLANS
A-2.1	PROPOSED EXTERIOR ELEVATIONS

GENERAL NOTES

- These documents are the property of the architect and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the architect.
- To the best of the architects' knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- It is the intent of the architect to delineate these documents as accurate as possible for the purpose of graphic representation. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall take full responsibility for any incorrect work and any repair of said work as a result of scaling the documents.
- All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the architect of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The architect shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to repair or replace.
- The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the architects' attention.
- The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- The general contractor shall field verify all existing site conditions, along with dimensions, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owners' attention in written format.
- The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- Deviations from these documents in the construction phase shall be reviewed by the architect and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owner's expectations.
- The owner shall furnish any and all reports received from the geotechnical engineer (soil reports), on the study of the proposed site, to the architect, structural engineer and general contractor. In the event the geotechnical reports do not exist, the soil condition shall be assumed to be a minimum design soil pressure stated by the structural engineer of record for the purpose of structural design. General contractor shall assure the soil conditions meet or exceed this criteria.
- Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate agreement.
- The architect shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.

Segerarchitects, inc

10 Derby Square, Suite 3N,
Salem, Massachusetts 01970
Telephone: 978-744-0208
www.segerarchitects.com

PROJECT ARCHITECT

SEAL

PROJECT CONSULTANTS

293 RINDGE AVE.
RENOVATION

293 Rindge
Avenue
Cambridge, MA,
02140

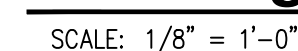
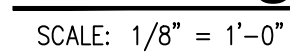
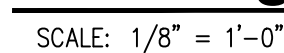
PROJECT INFORMATION		
OWNER INFORMATION		
No.	Description	Date
PROJECT REVISIONS		
Job No.:	2019--034	
Date:	August 3, 2020	
Scale:	As Noted	
Designed By:	JM	
Drawn By:	JM	
Checked By:	JAS	
Approved By:	JAS	
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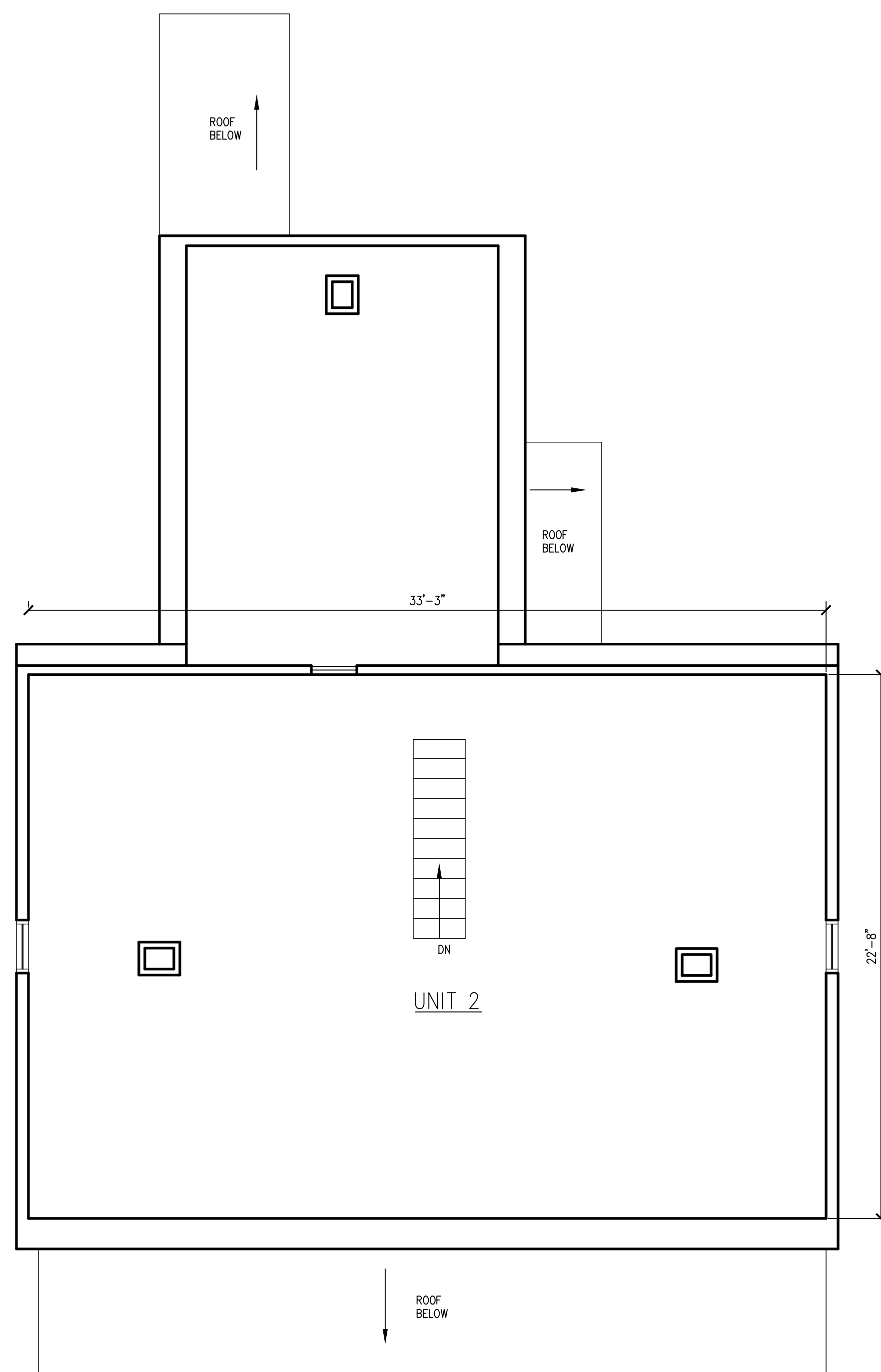
Cover Sheet

SHEET NAME

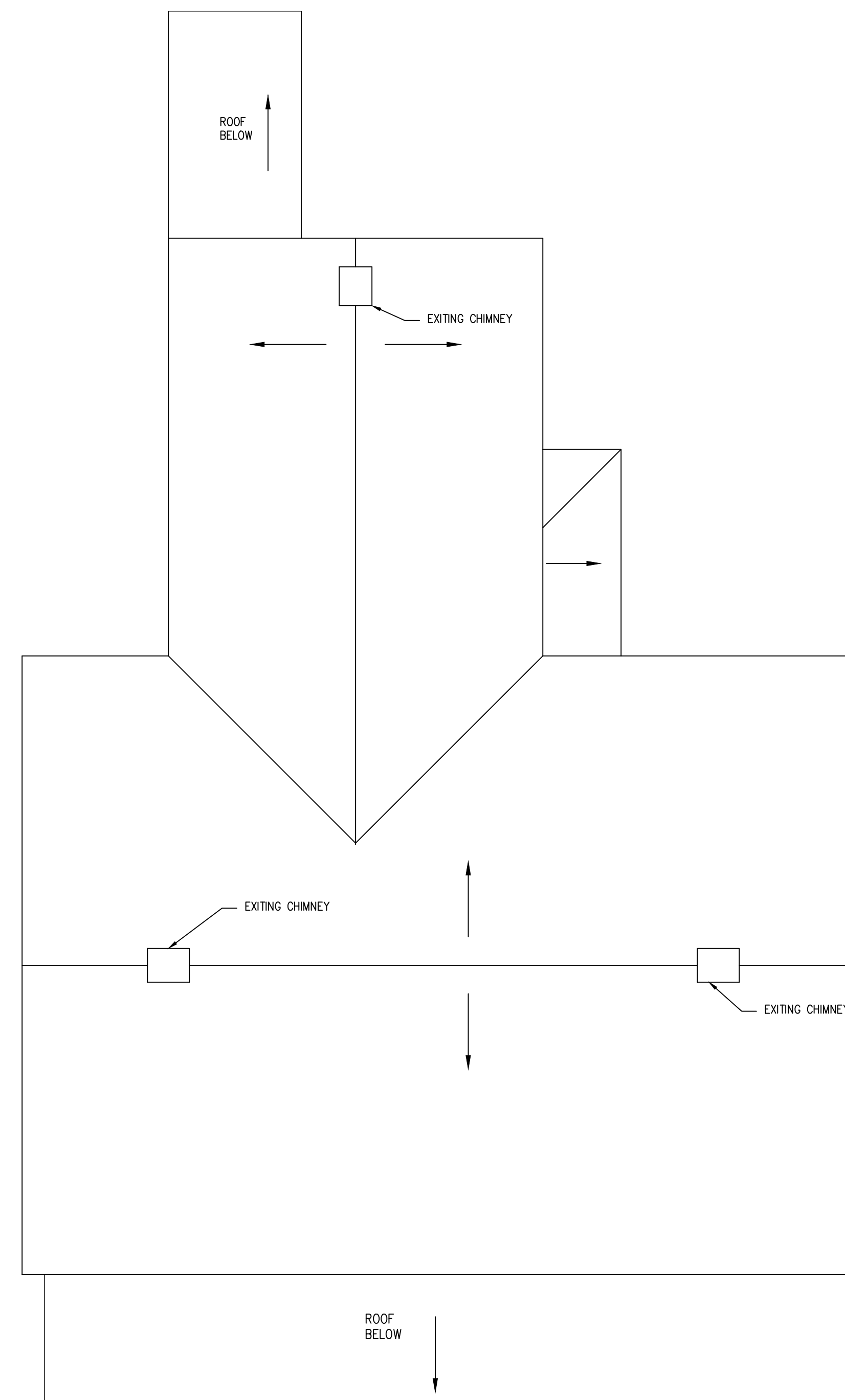
COVER

SHEET NO.





SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

SEAL

PROJECT CONSULTANTS

293 Rindge
Avenue
Cambridge, MA,
02140

PROJECT INFORMATION

OWNER INFORMATION

No.	Description	Date
PROJECT REVISIONS		

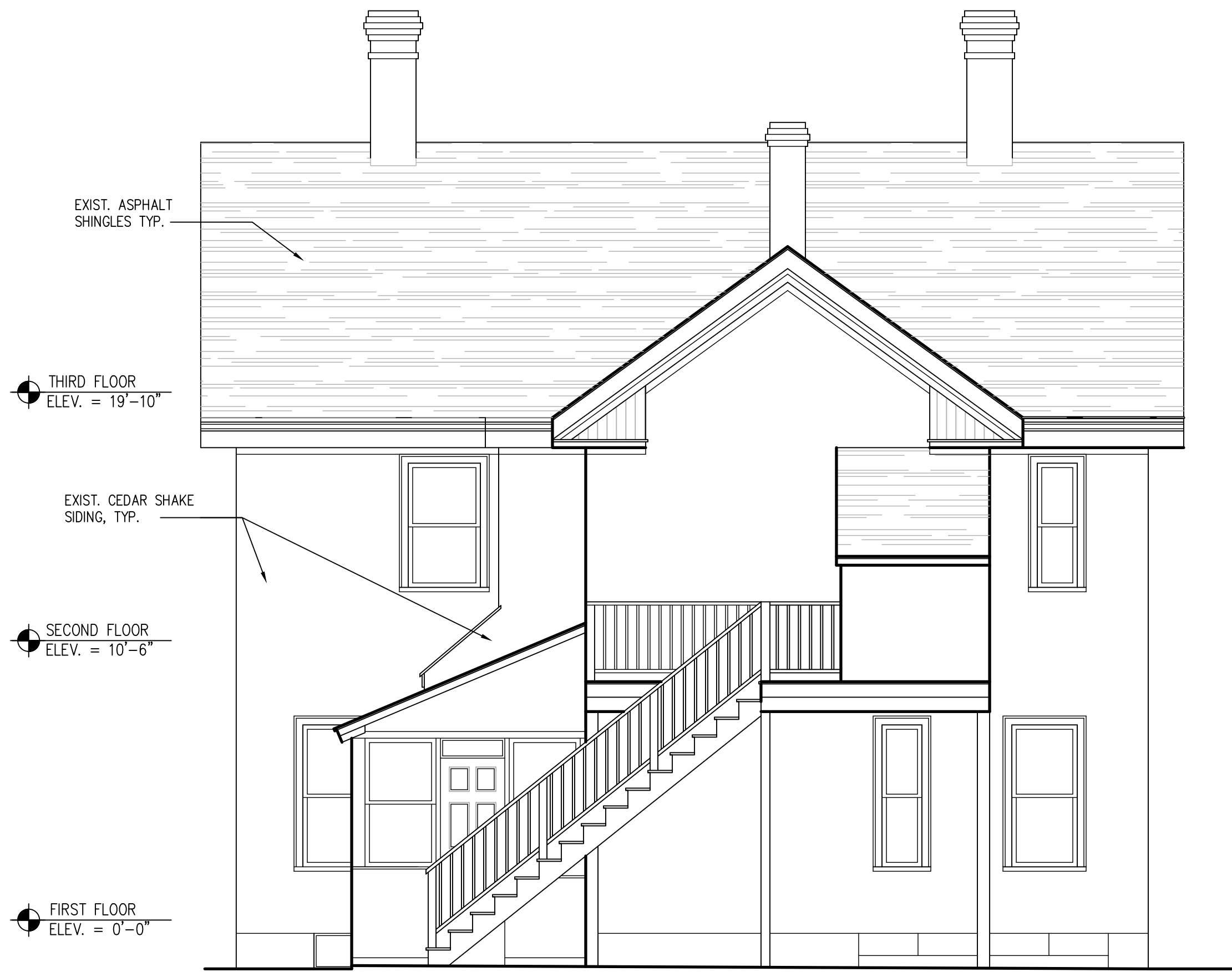
PROJECT REVISIONS

Job No.:	2019-034
Date:	August 3, 2020
Scale:	As Noted
Designed By:	JM
Drawn By:	JM
Checked By:	JAS
Approved By:	JAS
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SHEET NAME

EX-1.2

SHEET NO.



North Elevation

SCALE: 1/4" = 1'-0"



West Elevation

SCALE: 1/4" = 1'-0"



South Elevation (Rindge Ave.)

SCALE: 1/4" = 1'-0"



East Elevation

SCALE: 1/4" = 1'-0"

Segerarchitects, inc

10 Derby Square, Suite 3N,
Salem, Massachusetts 01970
Telephone: 978-744-0208
www.segerarchitects.com

PROJECT ARCHITECT

REGISTERED ARCHITECT
COMMONWEALTH OF MASSACHUSETTS
No. 30108
CAMBRIDGE, MA

SEAL

PROJECT CONSULTANTS

293 RINDGE AVE.
RENOVATION

293 Rindge
Avenue
Cambridge, MA,
02140

PROJECT INFORMATION

OWNER INFORMATION

No.	Description	Date

Job No.: 2019-034

Date: August 3, 2020

Scale: As Noted

Designed By: JM

Drawn By: JM

Checked By: JAS

Approved By: JAS

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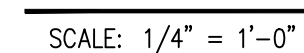
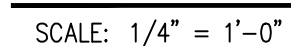
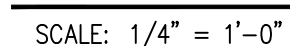
Exterior Elevations

SHEET NAME

EX-2.1

SHEET NO.

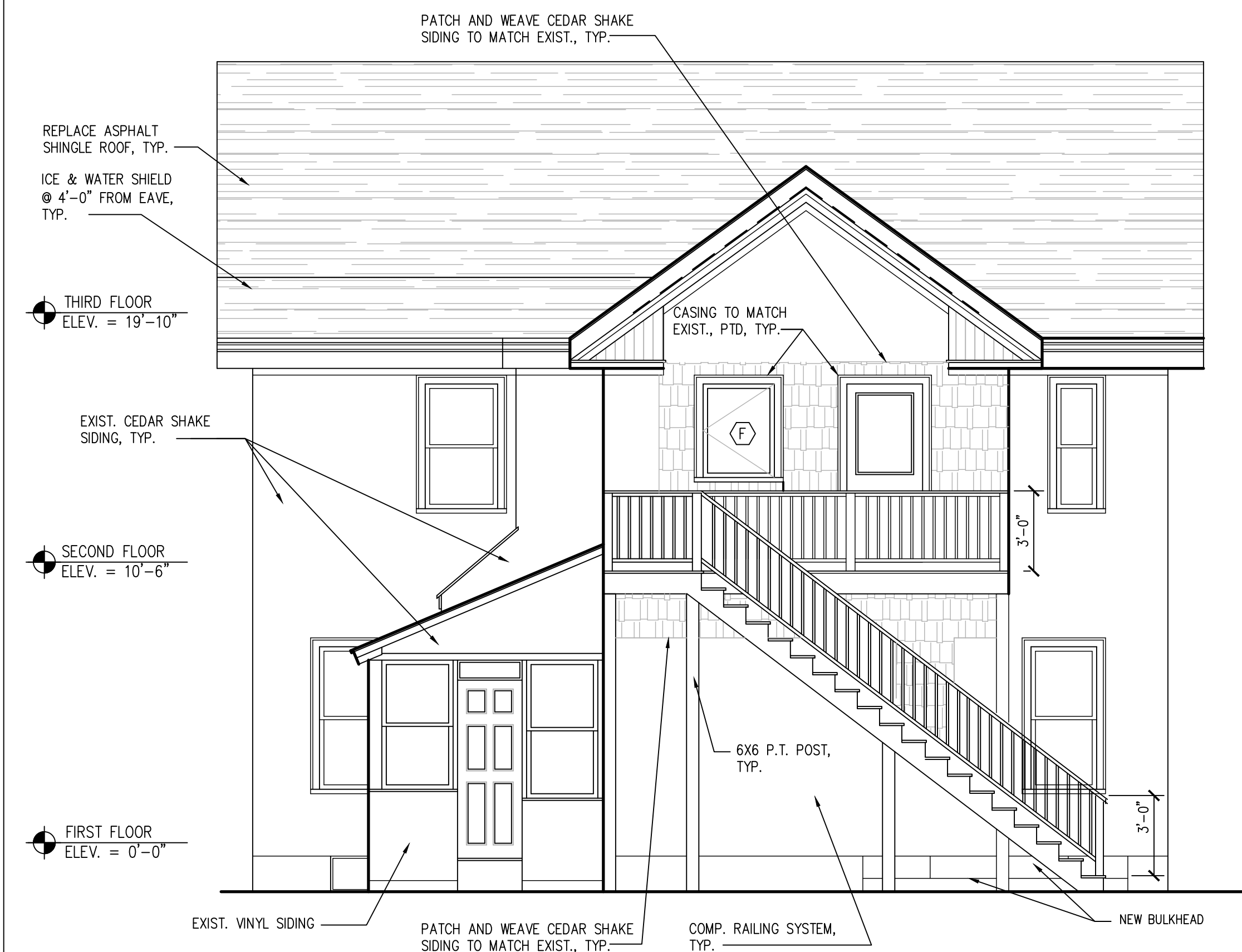
ZONING BOARD SUBMITTAL SET - 08/03/2020



LIFE SAFETY LEGEND	
Ⓒ	COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
Ⓔ	SMOKE DETECTOR

No.	Description	Date
PROJECT REVISIONS		

Job No.:	2019-034
Date:	August 3, 2020
Scale:	As Noted
Designed By:	JM
Drawn By:	JM
Checked By:	JAS
Approved By:	JAS
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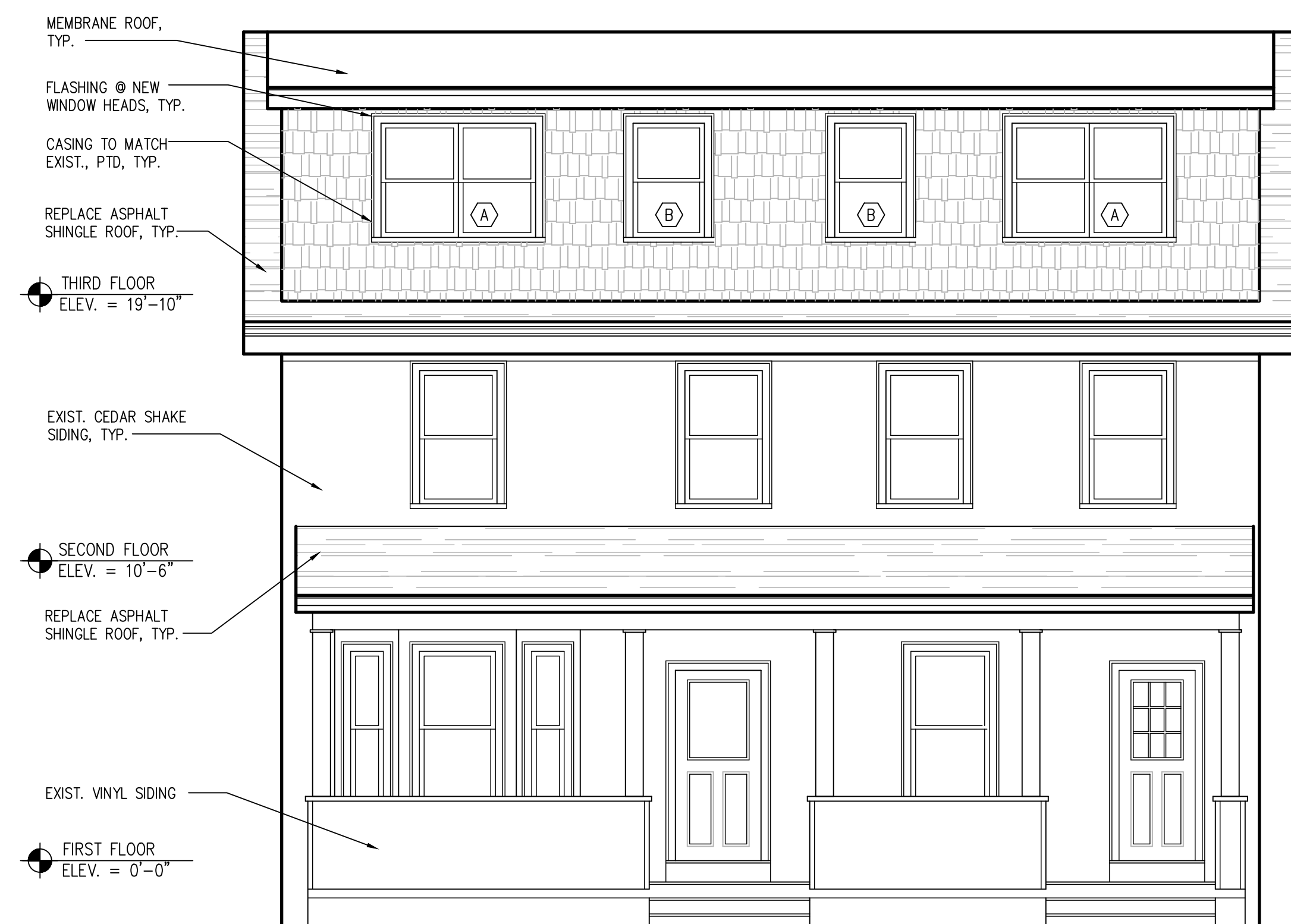
North Elevation

SCALE: $1/4" = 1'-0"$



West Elevation

SCALE: 1/4" = 1'-0"



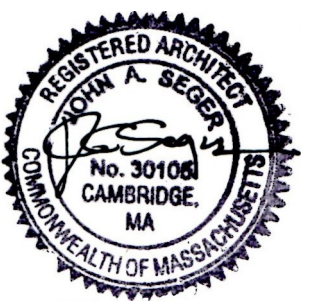
South Elevation (Rindge Ave.)

SCALE: 1/4" = 1'-0"



East Elevation

SCALE: 1/4" = 1'-0"



293 RINDGE AVE.
RENOVATION

293 Rindge
Avenue
Cambridge, MA,
02140

No.	Description	Date
PROJECT REVISIONS		

Job No.:	2019-034
Date:	August 3, 2020
Scale:	As Noted
Designed By:	JM
Drawn By:	JM
Checked By:	JAS
Approved By:	JAS
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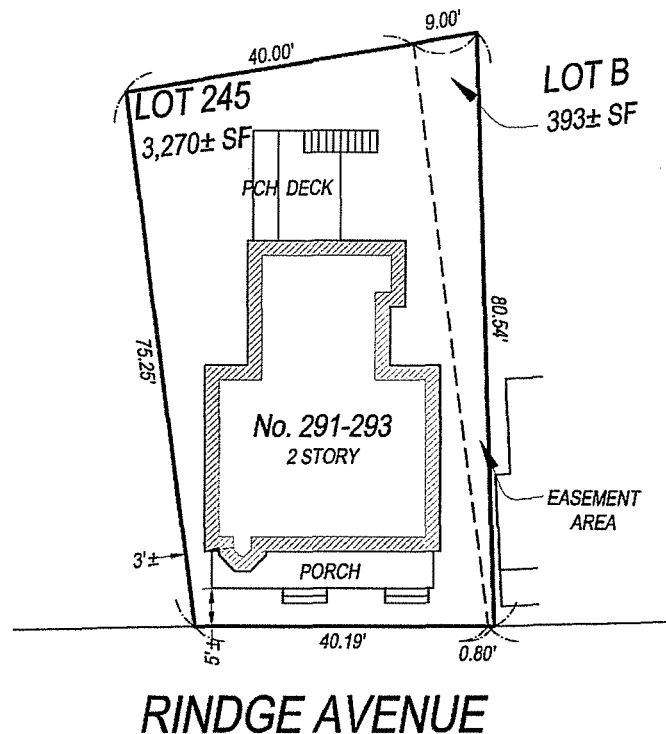
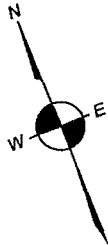
Exterior Elevations

MORTGAGE INSPECTION PLAN

LOCATION: 293 RINDGE AVENUE
CITY, STATE: CAMBRIDGE, MA
APPLICANT: RINDGE AVE TRUST
CERTIFIED TO: MIDDLESEX FEDERAL SAVINGS, N.A.; RINDGE AVE TRUST
DATE: 12-17-2019



19-10733
BOSTON
SURVEY, INC.
P.O. BOX 290220
CHARLESTOWN, MA 02129
T (617) 242-1313; F (617) 242-1616
WWW.BOSTONSURVEYINC.COM



SCALE: 1" = 20'

FLOOD DETERMINATION

According to Federal Emergency Management Agency maps, the major improvements on this property fall in an area designated as ZONE: X

COMMUNITY PANEL No. 25017C0419E
EFFECTIVE DATE: 6/4/2010

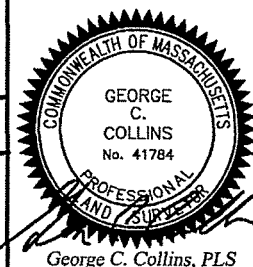
REFERENCES

DEED REF: 41604/378
PLAN REF: 6/37 & 1951/68

NOTE: To show an accurate scale this plan must be printed on legal sized paper (8.5" x 14")

The permanent structures are approximately located on the ground as shown. They either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction, or are exempt from violation enforcement action under M.G.L. Title VII, Chapter 40A, Section 7, and that there are no encroachments of major improvements across property lines except as shown and noted hereon.

This is not a boundary or title insurance survey. This plan should not be used for construction, recording purposes or verification of property lines.





293 Kinross Ave. - 132A-92108

THE THRONE
KING
PLASTIC TOILETS
1-817-877-7780
www.thetroneking.com

NO PARKING
ANYTIME

DANGER
KEEP OUT

DANGER
KEEP OUT









[illegible]

293 Rindge Ave

Petitioner

193-17
PINTO, JOAO
344 NORFOLK STREET
CAMBRIDGE, MA 02139

193-20
CALDWELL, PATRICIA
13 CLIFTON ST
CAMBRIDGE, MA 02140

193-209
RESNICK, MARC
TRUSTEE OF M LADY REALTY TRUST
100 FELTON STREET SUITE 201
WALTHAM, MA 02453

193-208
WILSON, GEORGE, Z.
289 RINDGE AVE
CAMBRIDGE, MA 02140

268A-47
CAMBRIDGE HOUSING AUTHORITY
675 MASSACHUSETTS AVE
CAMBRIDGE, MA 02139

193-219
KYLE, SCOTT & CHRISTINE KYLE
15 CLIFTON ST., #1
CAMBRIDGE, MA 02140

193-219
SMITH, LILLIAN M.
15 CLIFTON ST., #2
CAMBRIDGE, MA 02140

193-14
MORIN, GISELE
405 ALEWIFE BROOK PARKWAY #426
SOMERVILLE, MA 02144

193-166
TANG, SHANNON
297 RINDGE AVE
CAMBRIDGE, MA 02140

193-15
DESIGN SYNERGY GROUP, LLC
30 MAGNOLIA STREET
ARLINGTON, MA 02474

193-165
COUSSEILLANT, MARIE L.
9 CLIFTON ST.
CAMBRIDGE, MA 02140-2428



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name:

Ben Hermine

(Print)

Date:

10/14/20

Address:

293 Rindge Ave

Case No.

BZA-92108

Hearing Date:

11/5/20

Thank you,
Bza Members



100 Felton Street Suite 201 * Waltham, MA 02453 * Ph: 617-782-7800 * Fx: 978-274-1450

October 30, 2020

Board of Zoning Appeal
City of Cambridge
831 Mass Avenue
Cambridge, MA

Re: Case No BZA92108-2020

To Whom it May Concern:

I represent the petitioner and owner in the above zoning relief petition, M Lady Realty Trust, and on their behalf filed the above captioned application. We are requesting a continuance on our petition so that we may rework the dormers in our plans to better comply with Cambridge building codes.

Thank you for your time and attention to this matter.

Regards,

Michelle M. Baratta, Esq.
Baratta.beantown@gmail.com
617.459.9128



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2020 NOV -2 AM 11:53
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-92108-2020

Address: 293 Rindge Ave

☐ Owner, ☐ Petitioner, or ☐ Representative: Michelle Baratta
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☐ Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 11/2/20

Michelle Baratta
Signature

293 Rindge Road Renovation

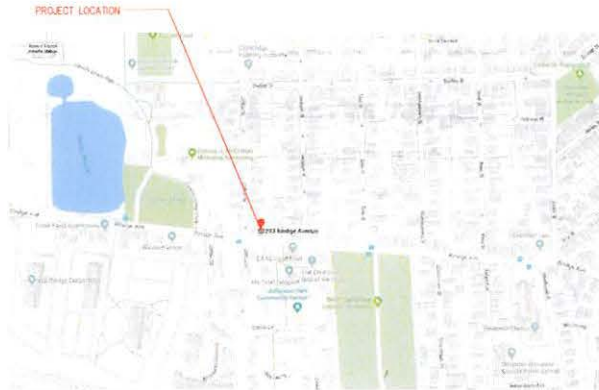
293 Rindge Road, Cambridge, MA

Owner:

The Beantown Companies
100 Felton St, Suite 201
Waltham, MA 02453

Architect:

Seeger Architects, Inc.
10 Derby Square
Salem, MA 01970
Phone: 978-744-0208



LOCUS PLAN : NOT TO SCALE

PROJECT INFORMATION

PROJECT	RENOVATION
LOCATION	293 RINDGE AVENUE, CAMBRIDGE, MA 02140
ARRANGEMENT	CITY OF CAMBRIDGE
DESCRIPTION OF WORK	RENOVATION OF TWO FAMILY RESIDENTIAL BUILDING, REMOVE CHIMNEYS, REBUILD REAR DECK, REMOVE SUN PORCH, ADD 9400 CHIMNEYS.
APPLICABLE CODES	2015 - IRC w/ MA STATE 8TH EDITION AMENDMENTS MA STATE ELECTRICAL CODE MA STATE PLUMBING CODE MA STATE MECHANICAL CODE B - TWO FAMILY OR SEMI-DETACHED DWELLINGS
ZONING	RESIDENTIAL
BUILDING USE GROUP	TYP. 50 UNIMPROVED
CONSTRUCTION TYPE	AS A DESIGN-BUILD PROJECT, THE ELECTRICAL, PLUMBING, AND HVAC ARE THE RESPONSIBILITY OF THE GC.

SYMBOLS

	ELEVATION KEY SHEET NUMBER
	DOOR NUMBER
	ROOM NUMBER
	BUILDING SECTION KEY SHEET NUMBER
	REVISION # SYMBOL
	ELEVATION TARGET
	SMOKE DETECTOR
	GAS DETECTOR
	PARTITION TYPE

DRAWING INDEX

SHEET	DESCRIPTION
Architectural	
COVER	
EX-1.1	EXISTING BASEMENT, FIRST & SECOND FLOOR PLANS
EX-1.2	EXISTING THIRD FLOOR AND ROOF PLANS
EX-2.1	EXISTING EXTERIOR ELEVATIONS
A-1.1	PROPOSED BASEMENT, FIRST & SECOND FLOOR PLANS
A-1.2	PROPOSED THIRD FLOOR AND ROOF PLANS
A-2.1	PROPOSED EXTERIOR ELEVATIONS

GENERAL NOTES

- These documents are the property of the architect and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the architect.
- To the best of the architect's knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- It is the intent of the architect to delineate these documents as accurate as possible for the purpose of graphic representation. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall take full responsibility for any incorrect work and any repair of said work as a result of scaling the documents.
- All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the architect of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The architect shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to repair or replace.
- The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the architect's attention.
- The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- The general contractor shall field verify all existing site conditions, along with dimensions, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owner's attention in written format.
- The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- Deviations from these documents in the construction phase shall be reviewed by the architect and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owner's expectations.
- The owner shall furnish any and all reports received from the geotechnical engineer (soil reports), on the study of the proposed site, to the architect, structural engineer and general contractor. In the event the geotechnical reports do not exist, the soil condition shall be assumed to be a minimum design soil pressure stated by the structural engineer of record for the purpose of structural design. General contractor shall assure the soil conditions meet or exceed this criteria.
- Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate agreement.
- The architect shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.

SUBMITTAL SET - NOT FOR CONSTRUCTION

Seeger
Architects, Inc.
10 Derby Square, Suite 3N,
Salem, Massachusetts 01970
Telephone: 978-744-0208
www.seegerarchitects.com

PROJECT ARCHITECT

SEAL

PROJECT CONSULTANTS

293 RINDGE AVE.
RENOVATION
293 Rindge
Avenue
Cambridge, MA,
02140

PROJECT INFORMATION

OWNER INFORMATION

No.	Description	Date
PROJECT REVISIONS		

JOB NO.	2019-034
DATE	November 17, 2020
SCALE	As Noted
DESIGNED BY	JAS
DRAWN BY	JAS
CHECKED BY	JAS
APPROVED BY	JAS
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Cover
Sheet

SHEET NAME

COVER

SHEET NO.

No.	Description	Date
PROJECT REVISIONS		

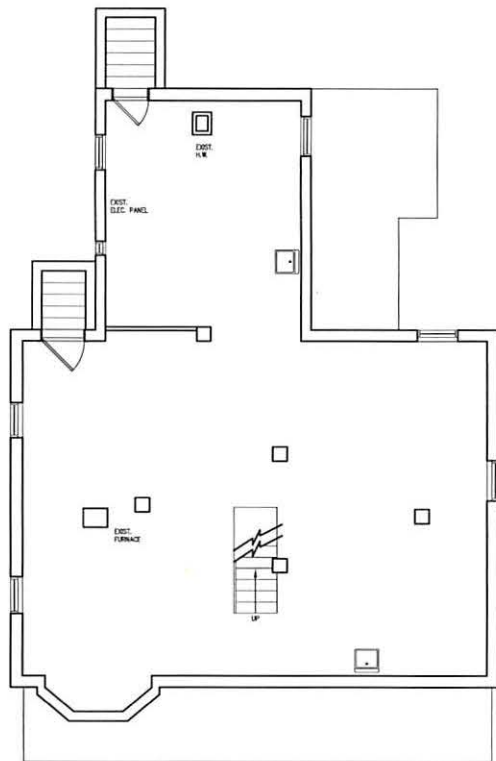
Job No.	2019-034
Date	November 17, 2020
Drawn By	As Noted
Designed By	JAS
Drawn By	JAS
Checked By	JAS
Approved By	JAS

**Existing
Basement, First
and
Second Floor
Plans**

SHEET NAME

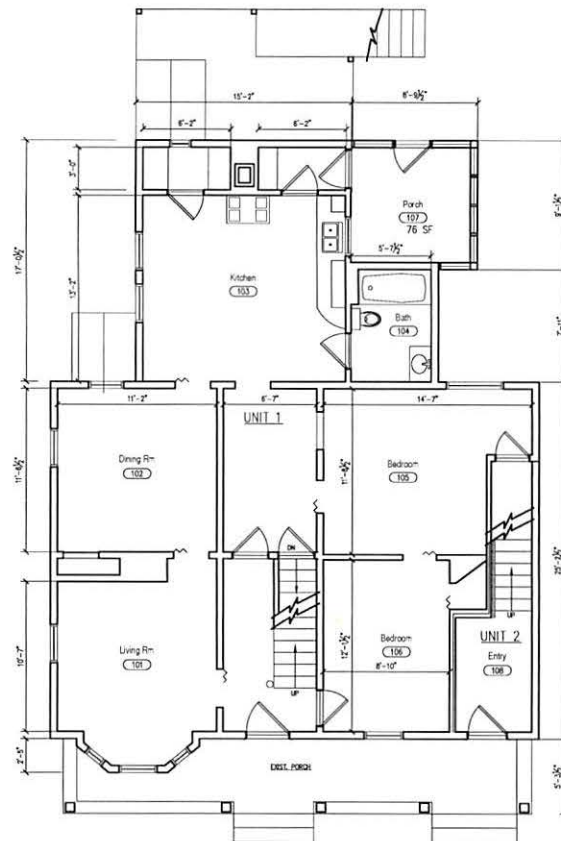
EX-1.1

SHEET NO.



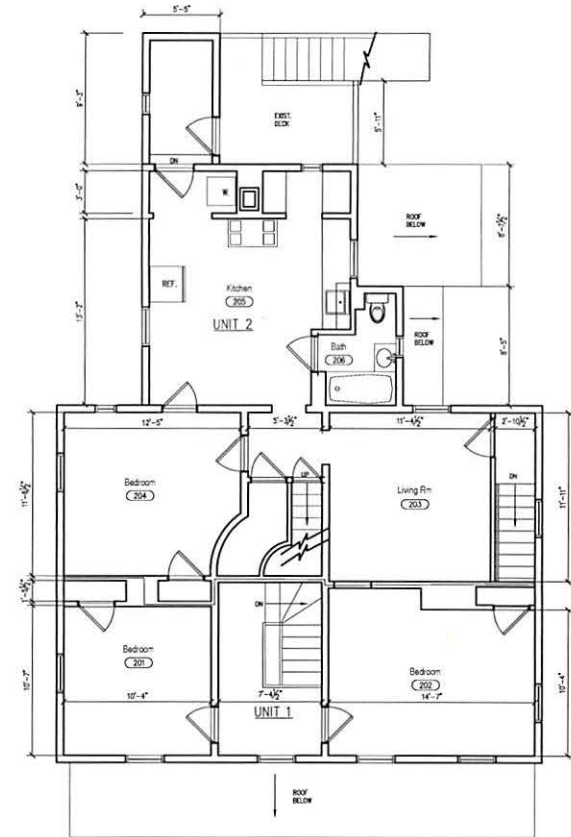
Existing Basement Plan

SCALE: 1/8" = 1'-0"



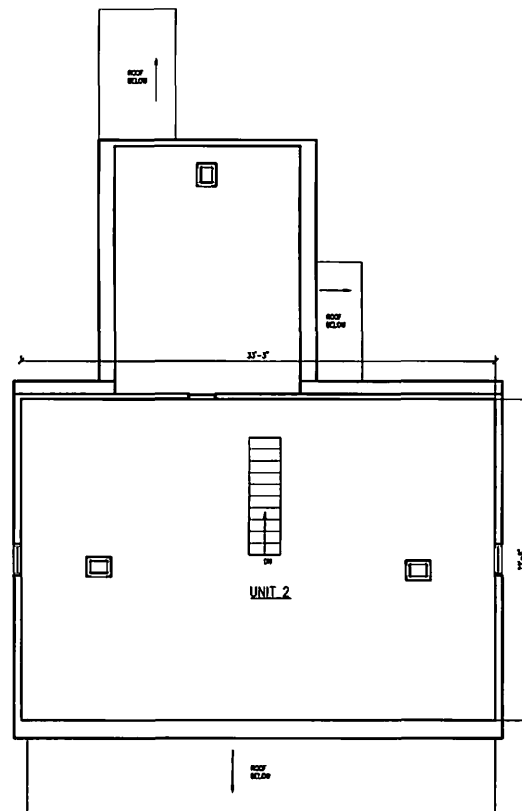
Existing First Floor Plan

SCALE: 1/8" = 1'-0"



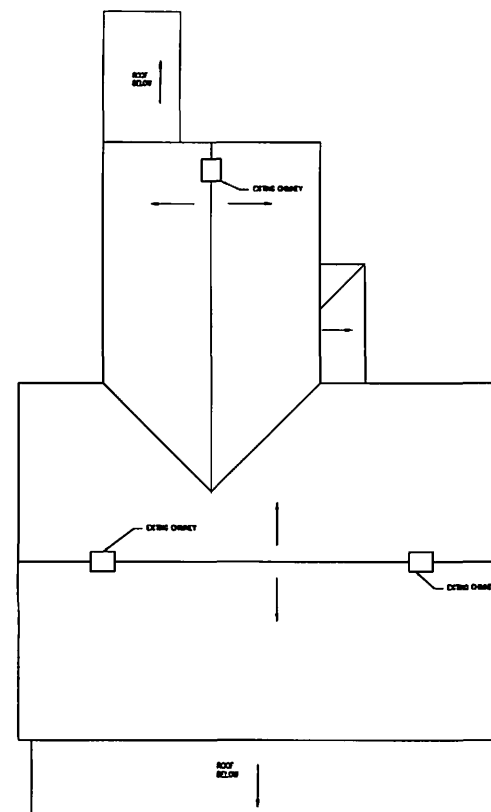
Existing Second Floor Plan

SCALE: 1/8" = 1'-0"



Existing Attic Plan

SCALE: 1/8" = 1'-0"



Roof Plan

SCALE: 1/8" = 1'-0"

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architects, inc.
10 Derby Square, Suite 201,
Salem, Massachusetts 01970
Telephone: 978-744-0208
www.seegerarchitects.com

PROJECT ARCHITECT

REAL

PROJECT CONSULTANTS

293 RINDGE AVE.
RENOVATION
293 Rindge
Avenue
Cambridge, MA,
02140

PROJECT INFORMATION

OWNER INFORMATION

No.	Description	Date

PROJECT REVISIONS

Job No.	2019-034
Date	November 17, 2020
By	As Noted
Designed By	JAS
Drawn By	JAS
Checked By	JAS
Approved By	JAS
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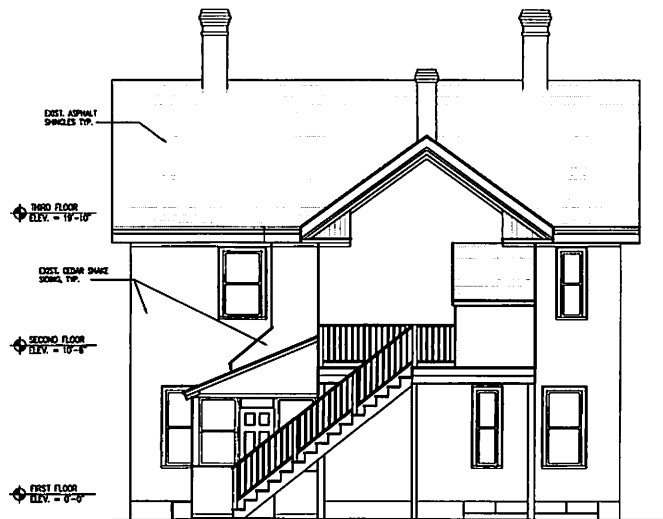
Existing
Third Floor
and
Roof Plans

SHEET NAME

EX-1.2

SHEET NO.

SUBMITTAL SET - NOT FOR CONSTRUCTION



North Elevation

SCALE: 1/4" = 1'-0"



West Elevation

SCALE: 1/4" = 1'-0"



South Elevation (Rindge Ave.)

SCALE: 1/4" = 1'-0"



East Elevation

SCALE: 1/4" = 1'-0"

Seeger
architects, inc.
10 Derby Square, Suite 2N,
Salem, Massachusetts 01970
Telephone 978-744-0205
www.seegerarchitects.com

PROJECT ARCHITECT

SEAL

PROJECT CONSULTANTS

293 RINDGE AVE.
RENOVATION
293 Rindge
Avenue
Cambridge, MA,
02140

PROJECT INFORMATION

OWNER INFORMATION

No.	Description	Date

PROJECT REVISIONS

Job No.	2019-034
Date	November 17, 2020
Scale	As Noted
Designed By	JAS
Drawn By	JAS
Checked By	JAS
Approved By	JAS
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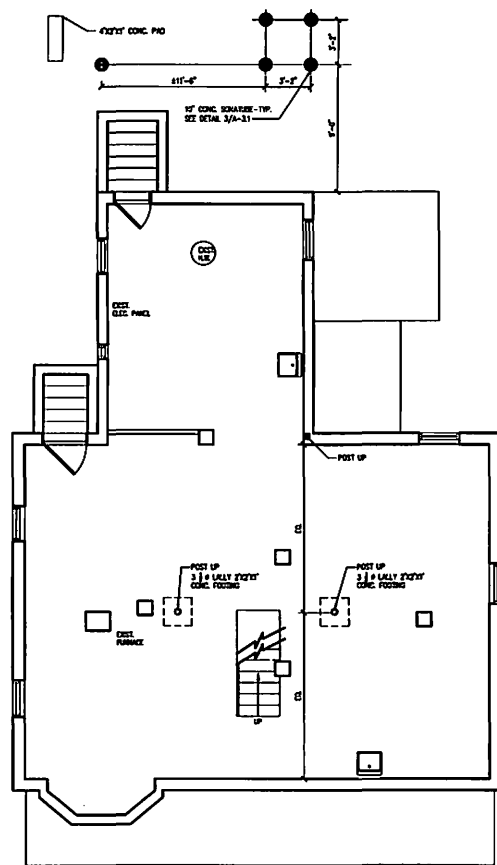
**Exterior
Elevations**

SHEET NAME

EX-2.1

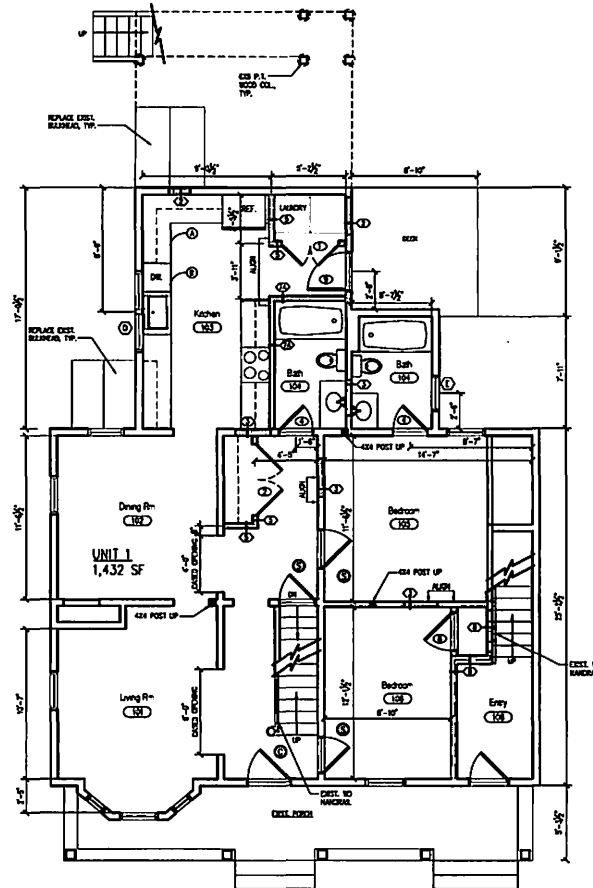
SHEET NO

SUBMITTAL SET - NOT FOR CONSTRUCTION



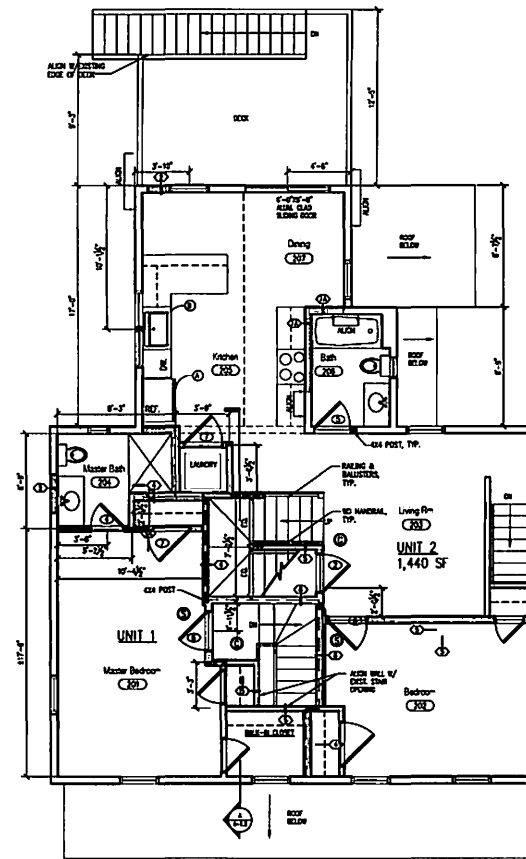
Basement Plan

SCALE: 1/4" = 1'-0"



First Floor Plan

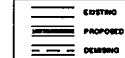
SCALE: 1/4" = 1'-0"



Second Floor Plan

SCALE: 1/4" = 1'-0"

WALL KEY



LIFE SAFETY LEGEND

- ① COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR
- ② SMOKE DETECTOR

Seger Architects, Inc.
10 Derby Square, Suite 304
Salem, Massachusetts 01970
Telephone: 978-744-0200
www.segerarchitects.com

PROJECT ARCHITECT

REAL

PROJECT CONSULTANTS

293 RINDGE AVE. RENOVATION
293 Rindge Avenue
Cambridge, MA, 02140

PROJECT INFORMATION

OWNER INFORMATION

No.	Description	Date

Job No.	2019-034
Date	November 17, 2020
Drawn By	AK
Checked By	JAS
Approved By	JAS

Basement, First and Second Floor Plans

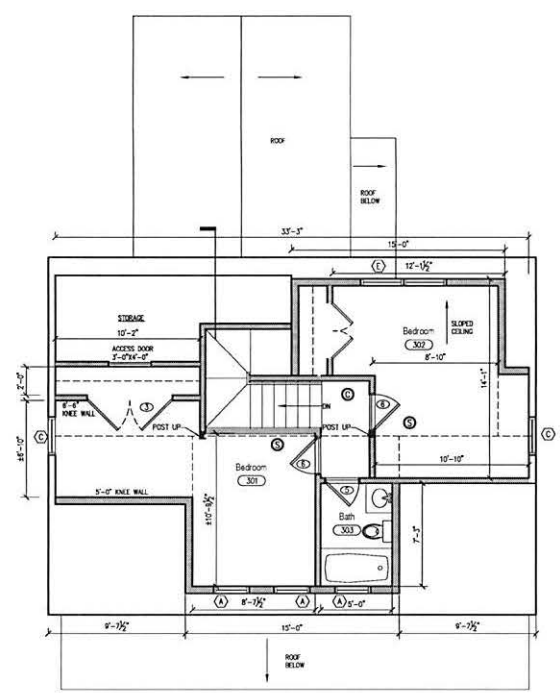
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A-1.1

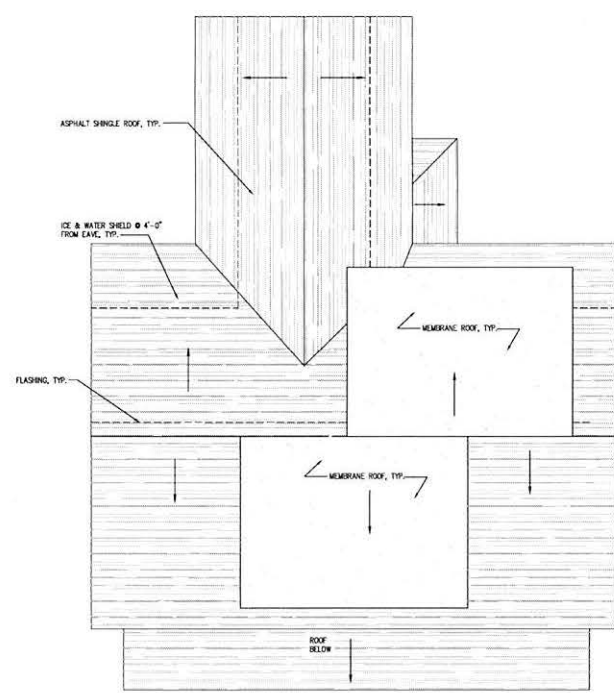
SHEET NO

SUBMITTAL SET - NOT FOR CONSTRUCTION

WALL KEY	
	EXISTING
	PROPOSED
	DEMISING



Third Floor Plan
SCALE: 1/4" = 1'-0"



Roof Plan
SCALE: 1/8" = 1'-0"

Seger
architects, inc.
10 Derby Square, Suite 2N,
Salem, Massachusetts 01970
Telephone: 978-744-0208
www.segerarchitects.com

PROJECT ARCHITECT

SEAL

PROJECT CONSULTANTS

293 RINDGE AVE.
RENOVATION
293 Rindge
Avenue
Cambridge, MA,
02140

OWNER INFORMATION

No.	Description	Date
PROJECT REVISIONS		

Job No.	2019-034
Date	November 17, 2020
Client	As Noted
Designed By	JAS
Drawn By	JAS
Checked By	JAS
Approved By	JAS
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**Third Floor
and
Roof Plans**

SHEET NAME

A-1.2

SHEET NO.

1	Plan changes	02/03
No	Overlaid	Date
PROJECT REVISIONS		

Job No.	2019-034
Date	November 17, 2020
Scale	As Noted
Designed By	JAS
Drawn By	JAS
Checked By	JAS
Approved By	JAS
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Exterior Elevations

SHEET NAME

A-2.1

SHEET NO.

