



CITY OF CAMBRIDGE  
MASSACHUSETTS  
BOARD OF ZONING APPEAL  
831 MASSACHUSETTS AVENUE  
CAMBRIDGE, MA 02139  
617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017115-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: ✓ Variance: ✓ Appeal:       

PETITIONER: 30 Berkshire Street LLC C/O James Heffernan, Navem Partners

PETITIONER'S ADDRESS: 18 Newbury Street, 4th Floor Boston, MA 02116

LOCATION OF PROPERTY: 30 Berkshire St Cambridge, MA

TYPE OF OCCUPANCY: 3 unit dwelling ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

New Structure

**DESCRIPTION OF PETITIONER'S PROPOSAL:**

Variance: To construct three unit dwelling slightly bigger than the building that was damaged by fire in violation of dimensional standards.

As previously approved by the Board of Zoning of Appeal on August 28, 2017 (case no. BZA-013619-2017).

(To the extent required) Special Permit: To park cars within 5 feet from property line.

*(Approved on 8/28/17 - still v.l.d.)*

**SECTIONS OF ZONING ORDINANCE CITED:**

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 6.000 Section 6.44.1.B & G (Parking Setbacks).

Original Signature(s):

  
(Petitioner(s) / Owner)

James Heffernan  
(Print Name)

Address:

30 Berkshire Street LLC  
40 Navem Partners LLC  
18 Newbury St., 4th Floor  
Boston, MA 02116

Tel. No.:

(617) 803-7622

E-Mail Address:

jheffernan@navempartners.com

Date:

4/30/19

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to  
The Secretary of the Board of Zoning Appeals.*

I/We 30 Berkshire Street, LLC

(OWNER)

Address: c/o Navem Partners LLC, 18 Newbury Street, 4th Floor, Boston, MA 02116

State that I/We own the property located at 30 Berkshire Street, Units 1-3, Cambridge, MA  
which is the subject of this zoning application.

The record title of this property is in the name of \_\_\_\_\_  
30 Berkshire Street, LLC

\*Pursuant to a deed of duly recorded in the date 3/1/2019, Middlesex South  
County Registry of Deeds at Book 72290, Page 245 (Unit 1), 30 (Unit 2), 162 (Unit 3)  
Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

As manager of 30 Berkshire Street, LLC

\*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

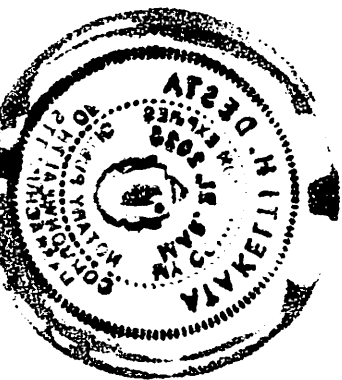
The above-name James Heffernan personally appeared before me,  
this 1st of May, 2019, and made oath that the above statement is true.

  
Notary

My commission expires March 21, 2025 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.





**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The literal enforcement of the provisions would involve a substantial hardship to the petitioner; the hardship related to the structure being damaged by a fire in the neighborhood and that the rebuilding of the structure required some expansion in order to improve the safety and visual impact of the structure.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship owed to the shape of the nonconforming lot fully occupied by a structure, where any modifications would require zoning relief.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Substantial detriment to the public good for the following reasons:

The proposed structure would benefit the public that the structure that had been damaged by fire would not only be restored but improved by the work that is proposed.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Relief could be granted without substantial detriment to the public good or nullifying or substantially derogating from the intent and purpose of the ordinance.

- \* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**



**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 30 Berkshire St Cambridge, MA  
(location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:
- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

**BZA APPLICATION FORM****DIMENSIONAL INFORMATION**APPLICANT: Navem Partners LLCPRESENT USE/OCCUPANCY: MultifamilyLOCATION: 30 Berkshire St Cambridge, MAZONE: Residence C-1 Zone

PHONE: \_\_\_\_\_

REQUESTED USE/OCCUPANCY: Multifamily

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> <sup>1</sup>	
<u>TOTAL GROSS FLOOR AREA:</u>	3660	3813	2294	(max.)
<u>LOT AREA:</u>	3058	3058	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>	1.2	1.2	.075	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	0	Unit 2: 1010SF,	1500SF	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	37'8"	37'8"	50'0"	(min.)
DEPTH	85'0"	85'0"	0	
<u>SETBACKS IN FEET:</u>				
FRONT	16'8"	16'8"	16'8"	(min.)
REAR	43'10"	38'9"	20'0"	(min.)
LEFT SIDE	0	0	0	(min.)
RIGHT SIDE	4'6"	4'6"	7'6"	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	35'0"	35'0"	35'0"	(max.)
LENGTH	35'5"	41'0"	0	
WIDTH	36'6"	36'6"	0	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	60%	55%	30%	(min.)
<u>NO. OF DWELLING UNITS:</u>	3	3	0	(max.)
<u>NO. OF PARKING SPACES:</u>	3	3	3	(min./max)
<u>NO. OF LOADING AREAS:</u>	0	0	0	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	N/A	N/A	N/A	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

Wood fram construction, similar size to surrounding buildings.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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2019 MAY -1 PM 3:37

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS  
BZA-017115-2019

BZA APPLICATION FORM

Plan No:

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*[Signature]*  
(Petitioner(s) / Owner)  
James Heffernan

(Print Name)

Address :

30 Berkshire Street LLC  
c/o Navem Partners, LLC

Tel. No. :

18 Newbury Street 4th Floor  
Boston, MA 02116  
(617) 803-7622

E-Mail Address :

jheffernan@navempartners.com

Date : \_\_\_\_\_





project number 092 drawing number A000 revision 8 07/13/2018

**WARNING:**  
This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):  
1. the content of this document is confidential and copyright in it belongs to Joe The Architect LLC. They are permitted only to be opened, read and used by the addressee.  
2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.  
3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.  
4. any person using or relying document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.

## Index of Drawings

SHEET NUMBER	DRAWING TITLE
A000	COVER SHEET
LS001	LAND SURVEY PLAN SHOWING PROPOSED CONDOMINIUMS
SHT1	LAYOUT AND MATERIALS
SHT2	GRADING, DRAINAGE & UTILITIES
SHT3	DETAILS
A001	GENERAL NOTES, CODES, & REGULATIONS
A002	ARCHITECTURAL GENERAL INFORMATION
A020	EXISTING/DEMOLITION SITE PLAN
A021	PROPOSED SITE PLAN
A110	COMMON BASEMENT FLOOR PLAN
A111	UNIT 1 FLOOR PLAN
A112	UNIT 2 FLOOR PLAN
A113	UNIT 3 FLOOR PLAN
A114	ROOF PLAN
A120	COMMON BASEMENT REFLECTED CEILING PLAN
A121	UNIT 1 REFLECTED CEILING PLAN
A122	UNIT 2 REFLECTED CEILING PLAN
A123	UNIT 3 REFLECTED CEILING PLAN

SHEET NUMBER	DRAWING TITLE
A130	COMMON BASEMENT ARCHITECTURAL ELECTRIC & FINISH PLANS
A131	UNIT 1 ARCHITECTURAL ELECTRIC & FINISH PLANS
A132	UNIT 2 ARCHITECTURAL ELECTRIC & FINISH PLANS
A133	UNIT 3 ARCHITECTURAL ELECTRIC & FINISH PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A210	BUILDING SECTIONS
A211	BUILDING SECTIONS
A300	WALL TYPE AND WINDOW SCHEDULE AND EQUIPMENT
A400	WALL SECTIONS
A401	WALL SECTIONS
A402	WALL SECTIONS
A410	ENLARGED WALL SECTIONS
A430	DOOR LEGEND
A431	SCHEDULES
A600	BASEMENT INTERIOR ELEVATIONS
A601	BASEMENT INTERIOR ELEVATIONS
A610	UNIT 1 INTERIOR ELEVATIONS

SHEET NUMBER	DRAWING TITLE
A611	UNIT 1 INTERIOR ELEVATIONS
A620	UNIT 2 INTERIOR ELEVATIONS
A621	UNIT 2 INTERIOR ELEVATIONS
A630	UNIT 3 INTERIOR ELEVATIONS
A631	UNIT 3 INTERIOR ELEVATIONS
S0.1	GENERAL NOTES
S0.2	TYPICAL DETAILS
S0.3	TYPICAL DETAILS
S1.0	FOUNDATION PLAN
S1.1	FIRST FLOOR FRAMING PLAN
S1.2	SECOND FLOOR FRAMING PLAN
S1.3	THIRD FLOOR FRAMING PLAN
S1.4	ROOF FRAMING PLAN
S2.1	SECTIONS
S2.2	SECTIONS
F001	FIRE PROTECTION LEGEND, NOTES AND DETAILS
F002	FIRE PROTECTION LEGEND, NOTES AND DETAILS
F100	FIRE PROTECTION CEILING PLANS
F101	FIRE PROTECTION CEILING PLANS

SHEET NUMBER	DRAWING TITLE
E001	ELECTRICAL LEGEND, NOTES & SPECIFICATIONS
E002	ELECTRICAL FIRE ALARM RISER
E100	ELECTRICAL FIRE ALARM PLAN
E101	ELECTRICAL FIRE ALARM PLAN
H001	HVAC LEGEND
H002	HVAC SCHEDULES
H003	HVAC DETAIL SHEET No. 1
H004	HVAC DETAIL SHEET No. 2
H005	HVAC SEQUENCES OF CONTROL
H100	HVAC DUCTWORK PLAN
H101	HVAC DUCTWORK PLAN
H102	HVAC DUCTWORK PLANS
H200	HVAC PIPING PLANS
H201	HVAC PIPING PLANS
H202	HVAC PIPING PLANS

# For Permit

PROJECT NAME:  
**BERKSHIRE STREET RESIDENCE**

PROJECT ADDRESS:  
**30 Berkshire St., Cambridge, MA 02141**

PROJECT NO: 092

DATE: 07/13/2018



CLIENT NAME:  
**Krissy Ellsworth, Denyce Wicht, Michael Workman**

CLIENT ADDRESS:  
**30 Berkshire Street, Cambridge, MA 02141**

343 Bedford Street, Suite 4C  
Somerville, MA 02145  
t: 617 754-3633  
e: info@joehearchitect.com  
website: www.joehearchitect.com



GENERAL NOTES

1. The work shall conform to the applicable building code, and other ordinances, codes and regulations listed in the specifications or on the drawings, and required by local building authorities. The governing codes, rules and regulations are collectively referred to as "the code". The contractor shall report any inconsistencies, conflicts or omissions he may discover to the architect for interpretation prior to performing the work.

2. The general contractor shall contact owner or property manager to determine the rules of the building relative to construction; when and how deliveries can be made, what phases and types of construction may be done one regular or overtime basis, and in general any special building requirements which will affect the cost of all work borne by the general contractor. All work shall conform to all base building standard specifications and building regulations, which the contractor shall obtain prior to submission of bid.

3. The general contractor shall be responsible for the sub-contractors receipt of complete sets of these documents, as well as all future addenda, field directives and change orders, etc.

4. Any contract document between parties shall be considered part of the general conditions of this work.

5. The contractor shall coordinate with the building management the storage of all materials and shall provide protection as necessary to prevent vandalism and loss of materials by theft or damage sustained due to exposure to inappropriate environmental conditions and will make good any damage or losses at his own expense without charge to the owner.

6. Where adjacent areas beyond the immediate construction area will be occupied during the construction period, the contractor shall:
  - Conform to owners and tenant requirements for hours of construction operations, access to tenant spaces and allowable noise level during tenant business hours.
  - Construction operations shall not block hallways or means of egress for tenants of building.
  - Construction operations shall not cause interruptions of electrical services. To the tenants of the building without prior notification and approvals.
  - Properly protected all floors, mail chutes and stair doors in public areas subject to construction traffic. Shoe wiping mats will be installed at all openings between construction areas and all public spaces. All active areas shall be kept clean and free from debris.
  - Erect and maintain temporary bracing, lights, dustproof partitions, barricades, fences, and warning signs as necessary to prevent injury, noise, dust and inconvenience to other tenants, the public, and to prevent damage to adjacent construction which is to be left in place.

7. All cutting, chasing, drilling or demolition of walls, slabs, etc. Requiring the use of jack hammers or other heavy hand or power tools shall be performed after regular business hours on an overtime basis if necessary, unless the building management and any affected tenants provide a written waiver expressly permitting otherwise.

8. The contractor shall assume sole and complete responsibility for job site conditions during construction of this project including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours. The contractor shall provide public protection as necessary and required by governing agencies, having jurisdiction, until client acceptance of the premises.

9. The general contractor in solely responsible for the provision and maintenance of all bracing, shoring, enclosures, barriers or scaffolding required to provide a safe working environment as dictated by site conditions and the progress of work.

10. During the entire construction period, all exits, exit lighting, fire protection devices and alarms shall be continuously maintained, in conformance with local building code and other governing entity requirements. Unless otherwise noted, all existing, services and devices shall remain active.

11. The general contractor shall always protect the property of the client and the building owner. This includes but is not limited to windows, floor and ceiling finishes, public toilets, mail doors & bucks, electrical and air-conditioning equipment. The general contractor shall also properly protect any adjoining property, any damage to the same caused by the contractor's work or workmen must be made good, in a timely fashion, without delay. Patching and replacement of damaged work shall be done at the cost and expense of the contractor responsible for the damage. The general contractor shall be fully responsible for all his sub-contractors. If the contractor fails to complete the repairs in a timely fashion, said repairs will be made by a contractor selected by the owner's representative and back charged accordingly. Timely fashion includes, but is not limited to any amount of time which will limit the disruption of the operation of tenant's work places, the buildings operations, access and compromise safety or presents a health risk, etc.

12. The contractor shall indemnify and save harmless the landlord, the tenant, and architect against any and all claims and demands for the damage to the property of any person, firm or individual or for personal injuries (including death) arising out of, or suffered while engaged in, or caused, in whole or in part, by the execution of the work; he shall well and truly defend the landlord, tenant and architect and shall pay all monies awarded for such damages or injuries (including death), all costs including attorney's fees sustained, and shall obtain a full acquittance and release in favor of the landlord, tenant and architect, unless such liability results solely from the negligence of the landlord, tenant, architect, its agents or employees.

13. The architect shall not be held responsible for the performance of any work, nor for the means and methods of construction chosen by the general contractor or any of his sub-contractors, nor shall he guarantee the performance of their contracts.

14. The contractor shall perform daily cleaning of the job site during the construction period and shall protect finished work from damage, immediately prior to tenant occupancy, the contractor shall perform final cleaning of the work area including, but not limited to, wet wiping of furniture, casework, and wall covering, washing and waxing of VCT flooring, and the vacuuming of carpet. All cleaning shall be in accordance with manufacturers' recommendations.

15. The general contractor is responsible to coordinate work of all sub-contractors and shall perform such miscellaneous work as may be necessary for them to complete their work. It is expected that the general contractor shall also closely coordinate his work with that of all other vendors retained by the client to assure that all schedules are met and that work proceeds without delay.

16. Bidders, before submitting proposals, shall visit and carefully examine the area affected by the work to familiarize themselves with the existing conditions and the difficulties that will affect the execution of the work. Submission of a proposal will be construed as evidence that such an examination has been made, and later claims will not be recognized for extra labor, equipment, or materials, required because of difficulties encountered which could have been reasonably foreseen had such an examination been made. The general contractor shall verify all conditions and dimensions on the job site and report any and all discrepancies and/or unusual conditions to the architect prior to finalizing bids or commencement of any construction.

17. The general contractor shall make known all limitations, exclusions, or modifications to the project during the bid selections period. All limitations, exclusions, or modifications not itemized in the bid proposal documents are presumed "included", in which case no additional monies will be allocated for this work.

18. All work costs submitted for this project are furnished without obligation; the client reserves the right to accept or reject any proposal or part of any cost submitted.

19. Existing construction and dimensions shown are per existing drawings. All existing information must be verified in the field. Neither the owner nor the architects are responsible for accuracy of existing information. Existing construction conditions in areas where new work is not planned may be not completely shown.

20. Within one (1) week, (5 business days) of the award of this contracts, prior to mobilization for any work, the general contractor shall furnish a construction schedule showing chronologically the phases of his work, and all related work for the completion of the project. This schedule shall indicate all ordering lead times, length of time for each phase, its start and completion, with a projected completion date.

21. Contractor and subcontractors shall attend job meetings as required by this contract.

22. The contractor shall obtain all permits for all site development work, pay all fees for permits, and check all governing authorities' specifications for but not limited to gutters, sidewalks, poles, and other structures, including the removal or relocation of existing utilities or other physical objects shown on plans or otherwise noted.

23. All required permits must be obtained from the fire department prior to start of construction.

24. All costs for inspections and/or tests shall be the responsibility of the general contractor, unless noted otherwise.

25. The general contractor shall pay the expenses for all transportation; hoisting and elevator use charges on all his materials or equipment to the point of use, and shall be responsible for all unloading, checking and storage of the same regarding this contract.

26. The general contractor shall make all arrangements, maintain and pay all costs for temporary water, plumbing, power, lighting, heating or ventilation as he may require to properly conduct his work.

27. Do not scale these drawings; written dimensions shall govern. Should any dimensional discrepancies be encountered, clarifications shall be obtained from the office of the architect.

28. Large scale details shall govern over smaller scale plans and elevations.

29. Install all equipment and materials as per manufacturers' recommendations. Any difficulties are to be reported to the architect immediately.

30. The contractor and each subcontractor shall warrantee all work performed by him directly for a minimum period of one (1) year. All defects occurring in the guaranteed period shall be corrected at no additional cost.

31. The site and buildings shall be maintained accessible to and functional for the physically handicapped. All ramps shall be fitted with a non-slip finish.

32. The client, architect, consultants and all inspectors from pertinent agencies shall be permitted access to the job site at all times during normal working hours.

33. The general contractor shall provide all labor, materials, and equipment as necessary to execute all work as shown on these drawings except where noted as not in contract (N.I.C.). Unless otherwise noted on these drawings or in the specifications as being not in contract or existing, all items, materials, etc.. And the installation of same are a part of the contract defined by these drawings and specifications.

34. Minor details not shown or specified, but necessary for proper construction of any part of the work, shall be included as if they were indicated in the drawings, unless otherwise agreed upon. Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by the building code, or any other entity having jurisdiction over the work, the work of the more stringent nature called shall be furnished in all cases.

35. Details are intended to show the intent of the design. Minor modifications may be required to suit the field dimensions or conditions and such modifications shall be included as part of the work of the contract.

36. All work shall be executed in a workmanlike manner by mechanics and tradesmen skilled in their respective trades and in accordance with the best practices of the trades involved.

37. All work shall be plumb, level and true. The contractor lay out all work and establish all points, grades, lines and levels and assume full responsibility for the same.

38. All exterior wall dimensions are to face of concrete block or to face of stud, unless otherwise noted.

39. The contractor shall confirm the availability and delivery times for all specified items upon receipt of the contract documents. Should any of the specified items availability pose a delay to the on-time completion of the project, the contractor shall notify the client immediately and propose an equivalent substitution if such a delay is not acceptable to the client.

40. Substitution of all equals shall be only as approved by the office of the architect. Where the term "or equal" is used the architect shall be the sole judge of equality based upon the information furnished by the contractor. Substitutions must be accepted in writing before they may be used.

41. The general contractor shall have received architect's approval for each sample submitted for all exposed materials, hardware and finishes required by this contract prior to the order placement, or use.

42. If the general contractor, the owner, or the owner's representative substitutes a material, method of attachment, revises a construction detail, or in any way alters the work such that in no longer conforms to these documents, without the written acceptance of the office of the architect, such action will relieve the architect of any responsibility or liability including but not limited to aesthetic consequences, subsequent failure(s) and personal or property damage attributable to this change.

43. The architect's approval or review of separate individual item(s) shall not constitute the review of and assembly in which the item functions within.

44. "Shop drawings" that contain excessive errors or that are incomplete or inadequate may be returned "unchecked" and any costs incurred for the resultant delays will be the responsibility of the contractor.

45. Approved "shop drawings" shall not relieve the contractor of obligations or responsibilities for deviations from the requirements of these contract documents, unless the office of the architect is notified of, and specifically approves of such deviations at the time of submission.

46. Approved "shop drawings" shall not relieve the general contractor's obligation for coordination nor waive responsibility for errors and omissions in the submittals, including "field measure".

47. Unless noted otherwise a minimum of 1" (one inch) clearance between property lines and any new construction like walls, footings, etc. Shall maintained.

48. Any changes in the scope of work, or in construction details, whether due to field conditions, or omissions, by the contractor, architect or owner, shall be documented by the architect and approved, prior to execution.

49. Should the general contractor claim that an issue, directed revision or change to the original contract involves additional cost under his contract, he shall give written notice within a period of not more than three (3) weeks (15 business days), but shall not proceeding to execute the work, until written approval for the change request is received. No such claims shall be valid unless so made. Unless otherwise agreed, no payment for such claims will be made until final settlement.

50. All claims for additional work will be submitted in writing for the client's approval. The contractor shall include a complete narrative description of the work to be performed as well as, materials to be used, the room number of the area or space being worked in and under whose authorization the work to be performed was initiated.

51. The presence of a representative of the architect on the job site does not imply concurrence with or the approval of any work. The general contractor shall call to the attention of the office of the architect, in writing, with any specific items for which acceptance is required.

52. Upon substantial completion of work the general contractor shall notify the office of the architect to prepare a "punch list" of corrections and unsatisfactory and/or incomplete work conditions. Final payment will be contingent on the completion of these items under the terms of the owner-contractor agreement.

53. The contractor shall maintain at the site, for the owner, one record copy of all drawings, permits, approved shop drawings, submittals and samples on which to record all changes during construction. Access to these shall be provided for the use of all trades, client representatives and the architect, during all phases of construction.

54. During construction, actual locations shall be indicated to scale in red ink on the owner's record drawings for all runs of mechanical and electrical work including concealed work which deviates from the drawings. Upon completion of the project, including all punch list items, this information shall be neatly transferred by the contractor to a set of drawings, which shall be marked "as built set" and copies shall be provided to both the owner and the architect. Within three (3) weeks (15 business days) of the receipt of the "as built set" approval for final payment to the contractor shall be granted or reasonable cause shown why such approval has been denied.

55. Prior to the completion of his work the general contractor shall assemble and furnish the client/owner, in a loose-leaf binder(s), a complete set of manufacturers catalogues, operating instructions, maintenance instructions and similar data, as well as all guarantee(s) for all equipment and operable devices furnished or installed by the general contractor under this contract, and shall orient and instruct the personnel designated by the client/owner in the operation of all such equipment.

56. The contractor shall immediately notify the owner if mold, or asbestos is uncovered. The owner shall retain a qualified consultant who shall arrange for the prompt identification, testing, treatment, remediation and storage of the mold or asbestos as required by law and good construction practices. The architect shall bear no responsibility for work related to these materials.

57. The contractor is advised that the premise has not been tested for lead paint or other potentially hazardous materials. The contractor shall use all appropriate precautions in the carrying out of all construction operations which might disturb such materials.

58. All contractors shall carry property damage and public liability insurance as required by any governing agencies having jurisdiction and complying with statutory requirements for disability and workmen's compensation.

PROJECT DATA			
PROPERTY CLASS	CONDOMINIUM		
STATE CLASS CODE	102		
MAP/LOT	40-140-1		
NEIGHBORHOOD	WELLINGTON HARRINGTON - NEIGHBORHOOD 3		
CITY OF CAMBRIDGE ZONING ORDINANCE; INCLUDING AMMENDMENTS APPROVED BY THE CITY COUNCIL UP TO ORDINANCE #1382 ORDAINED ON MAY 25, 2016.			
ZONING MAP OF THE CITY OF CAMBRIDGE ADOPTED FEB. 13, 1961 WITH CHANGES THROUGH AND INCLUDING ORDINANCE #1372 OF OCT. 19, 2015.			
APPLICABLE CODES & REGULATIONS			
BUILDING	-780 CMR Massachusetts state building code (MSBC) 9th edition -international building code (ibc) 2015		
ENERGY	-International energy conservation code (IECC) 2015, with MA amendments		
PLUMBING	-248 CMR 10.00 Massachusetts uniform state plumbing code -Massachusetts general law (MGL) chapter 128 section 26G (auto sprinkler systems)		
ACCESSIBILITY	-521 CMR Massachusetts Architectural Access Board (MAAB) 1/27/06 - 2010 American Disability Act (ADA) standards		
DIMENSIONAL REGULATIONS DISTRICT C-1 MULTIFAMILY DWELLINGS			
	REQUIRED	EXISTING	APPROVED BY ZONING BOARD ON 9/18/207 BZA-013619-2017
MINIMUM LOT SIZE	5,000SF	3,058SF	3,058SF
TOTAL FRONTAGE	--	37'-8"	37'-8"
FLOOR AREA RATIO (FAR)	2,294SF (.75)	3,660SF (1.2)	3,813SF (1.2)
MIN. LOT AREA/ DU	1,500SF	--	UNIT 1: 977SF UNIT 2: 1,010SF UNIT 3: 1,010SF
MINIMUM LOT WIDTH	50'-0"	37'-8"	37'-8"
BUILDING HEIGHT	35'-0" MAX	35'-0"	35'-0"
MINIMUM YARD DIMENSIONS (BASED ON BUILDING HEIGHT/LENGTH)			
FRONT SETBACK: (H+L)/4	16'-8"FT	16'-8"FT	16'-8"FT
MIN SIDE SETBACK: (H+L)/5	7'-6" MIN	4'-6"FT	4'-6"FT
MIN REAR SETBACK: (H+L)/4	20'-0" MIN	43'-10"FT	38'-9"FT
OPEN SPACE MIN AS % OF GROSS FLR AREA	30% 917SF	60% 1,838SF	55% 1,687SF
PROPOSED BUILDING AREA INCLUDING BASEMENT	--	4,630SF	5,015SF
BALCONIES/DECK	--	0SF	168SF
PARKING REGULATIONS			
	REQUIRED	EXISTING	PROPOSED
PARKING SPACES PER DWELLING	1/DU	1/DU	1/DU
TOTAL PARKING SPACES	3	3	3

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contractor/consultant

stamp

revision

revision description

date

1 ZBA REVIEW 06/14/2017

2 ZBA REVIEW REV1 06/20/2017

3 FOR PRICING 09/14/2017

4 FOR PRICING 09/20/2017

5 FOR PERMIT 09/27/2017

6 NOT FOR CONSTRUCTION 06/04/2018

7 FOR PERMIT/PRICING 07/13/2018

project title

BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client

Krissy Ellsworth, Denyce Wicht, Michael Workman

30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title

GENERAL NOTES,  
CODES, & REGULATIONS

project number 092 drawing scale As indicated approver Approver

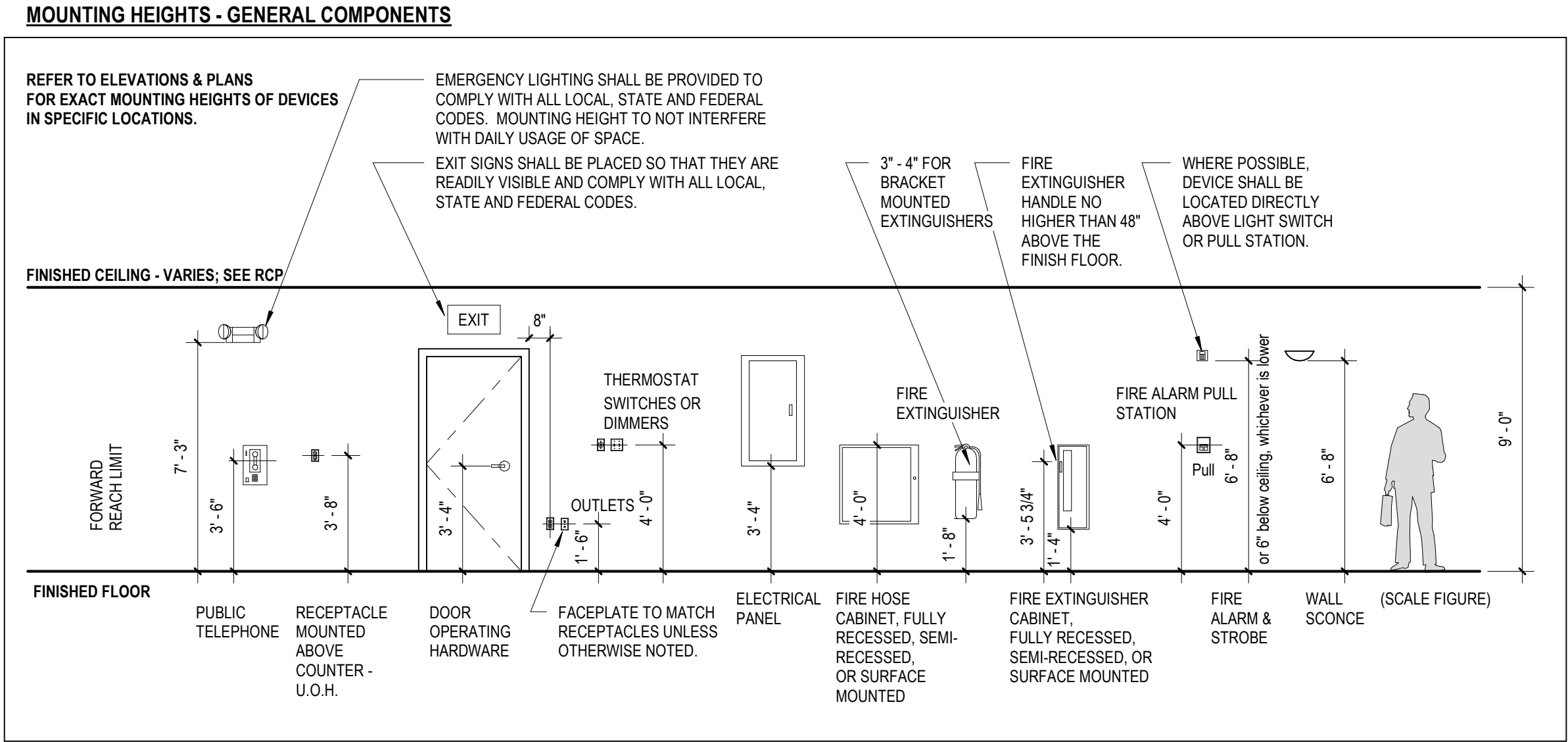
drawing number A001 revision 8



MASTER ABBREVIATIONS LIST

<b>&amp;</b> L @ CL DIA. PERP. C #  <b>A</b> A/C ACT AD ADJ AFF AGGR AL ALUM APPX ARCH ASB ASPH  <b>B</b> BD BITUM BLDG BLK BLKG BM BO BOS BR BTB <b>C</b> C CAB CB CER CF/CI  CF/OI  CG CH CI CJ  CL CLG CLR CLO CMU CONC CONT CORR CTSK CNTR CT CTR CUH  <b>D</b> D DBL DEMO DEPT DET DIA DISP DN DO DOR DS DSP DWG DWR  <b>E</b> E (E) EA EIFS  EJ EL ELEC ELVTR EMER ENCL EOS EP EQ EQPT ERD EWC EXIST EXP EXT  <b>F</b> F FA FACP FB FEC FD FDC FDN FE FEC FHC FIN FLUOR FO FOD FOM FOS FOW FPR FPPR FRG FRT FS FSP FTR FTG FURR F&I FUT	AND ANGLE AT CENTERLINE DIAMETER PERPENDICULAR CHANNEL FOUND OR NUMBER  AIR CONDITION ACOUSTIC CEILING TILE AREA DRAIN ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE ALUMINUM ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT  BOARD BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOTTTOM OF BOTTOM OF STEEL BULLET RESISTANT BACK TO BACK  CELIUS CABINET CATCH BASIN CERAMIC CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED CONTRACTOR FURNISHED/ OWNER INSTALLED CORNER GUARD COAT HOOK CAST IRON CONSTRUCTION JOINT; CONTROL JOINT CENTER LINE CEILING CLEAR CLOSET CONCRETE MASONRY UNIT CONCRETE CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CERAMIC TILE CENTER CABINET UNIT HEATER  DEEP DOUBLE DEMOLITION DEPARTMENT DETAIL DRINKING FOUNTAIN DIAMETER DISPENSER DOWN DOOR OPENING DOOR DOWNSPOUT DRY STAND PIPE DRAWING(S) DRAWER  EXISTING EXISTING EACH EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EDGE OF SLAB ELECTRICAL PANEL EQUAL EQUIPMENT EXISTING ROOF DRAIN ELECTRIC WATER COOLER EXISTING EXPOSED EXTERIOR  FAHRENHEIT FIRE ALARM FIRE ALARM CONTROL PANEL FLAT BAR FIRE EXTINGUISHER CABINET FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLUORESCENT FINISHED OPENING FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FACE OF WALL FIRE PROTECTION RISER FIREPROOF FIBER REINFORCED GYPSUM FIRE RETARDANT TREATED FULL SIZE FIRE STANDPIPE FIRE TREATED FOOTING FURRING FURNISH AND INSTALL FUTURE	<b>G</b> GA GALV GB GC GFRG GFRG GL GND GWB GYP  <b>H</b> H HB HDWD HDWE HDWR HM HORIZ HPT HR HT HGT I ID INFO INSUL INT  <b>J</b> JAN JT  <b>K</b> KIT  <b>L</b> LAB LAM LAV LKR LT  <b>M</b> MAX MAR MC MECH MEMB MTL MFR MH MIN MIR MISC MO MBT MTD MUL  <b>N</b> N NIC NO. of # NDM NTS  <b>O</b> OA OBS OC OD OFF OF/CI OF/OI OFD OHDR OH OPNG OPP ORIG  <b>P</b>  PL PLAM PLAS PLYWD PT POS PR PRCST PTD PTD/R  <b>Q</b> QT  <b>R</b> R RAD RB RCP RD REF REFR RELOC RGTR REINF REQ'D RESIL RESTR RM RO RTU RWD RWL	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS FIBER REINFORCED CONCRETE GLASS FIBER REINFORCED GYPSUM GLASS / GLAZING GROUND GYPSUM WALL BOARD GYPSUM  HIGH HOSE BIB HARDWOOD HARDWARE HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HEIGHT  INSIDE DIAMETER; INSIDE DIMENSION INFORMATION INSULATION INTERIOR  JANITOR JOINT  KITCHEN  LABORATORY LAMINATE LAVATORY LOCKER LIGHT  MAXIMUM MARBLE MEDICINE CABINET MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MARBLE TILE MOUNTED MULLION  NEW NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE  OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER (DIM.) OFFICE OWNER FURNISHED/CONTRACTOR INSTALLED OWNER FURNISHED/OWNER INSTALLED OVERFLOW DRAIN OVERHEAD DOOR OPPOSITE HAND OPENING OPPOSITE ORIGINAL  PLATE PLASTIC LAMINATE PLASTER PLYWOOD PAINT POINT OF SALE PAIR PRECAST PAPER TOWEL DISPENSER COMBINATION PAPER TOWEL DISPENSER AND RECEPTACLE  QUARRY TILE  RISER; RIGHT RADIUS RESILIENT BASE REFLECTED CEILING PLAN ROOF DRAIN REFERENCE REFRIGERATOR RELOCATE REGISTER REINFORCED REQUIRED RESILIENT RESTROOM ROOM ROUGH OPENING ROOFTOP UNIT REDWOOD RAIN WATER LEADER	<b>S</b> SAFB SC SCD SCHED SD SPD SECT SH SHR SHT SIM SND SNR SNT SOB SO SPEC SQ SS SSK SST ST STA STD STL STN STOR STRL SUSP SYM  <b>T</b> T TB TBD TC TEL TEMP TER T&G THK TOC TOP TOS TOW TPD TV TYP  <b>U</b> UL  UNF UON UR  <b>V</b> VT VERT VEST VIF  <b>W</b> W W/ WB WC WD W/O WP WSCT WT	SOUND ATTENUATION BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SMOKE DETECTOR SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSE SANITARY NAPKIN RECEPTACLE SEALANT SYMBOL ON BACKGROUND SOUTH SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STAINLESS STEEL STONE TILE STATION STANDARD STEEL STAIN STORAGE STRUCTURAL SUSPENDED SYMMETRICAL  TILE TOWEL BAR TO BE DETERMINED TOP OF CURB TELEPHONE TEMPORARY TERRAZZO TONGUE AND GROOVE THICK TOP OF CONCRETE TOP OF PAVEMENT TOP OF SLAB; TOP OF STEEL TOP OF WALL TOILET PAPER DISPENSER TELEVISION TYPICAL  UNDERWRITERS' LABORATORIES UNFINISHED UNLESS OTHERWISE NOTED URNAL  VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD  WEST WITH WALL BASE WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT WEIGHT
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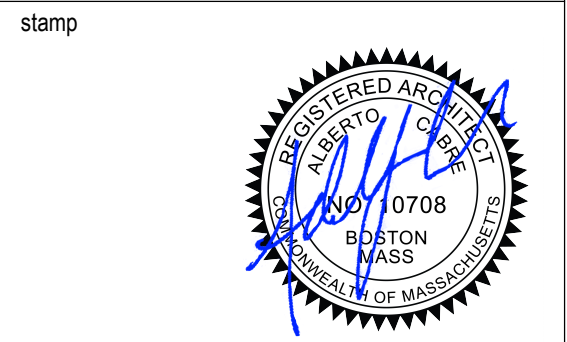
THE PRECEDING LIST OF ABBREVIATIONS IS PRESENTED AS A GENERAL GUIDE AND DOES NOT NECESSARILY SHOW ALL ABBREVIATIONS USED. OTHER GENERALLY ACCEPTED ABBREVIATIONS MAY BE FOUND AMONG THE DRAWINGS. ALL ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED WITHIN THIS DRAWING SET.



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revision	revision description	date
1	ZBA REVIEW	06/14/2017
2	ZBA REVIEW REV1	06/20/2017
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

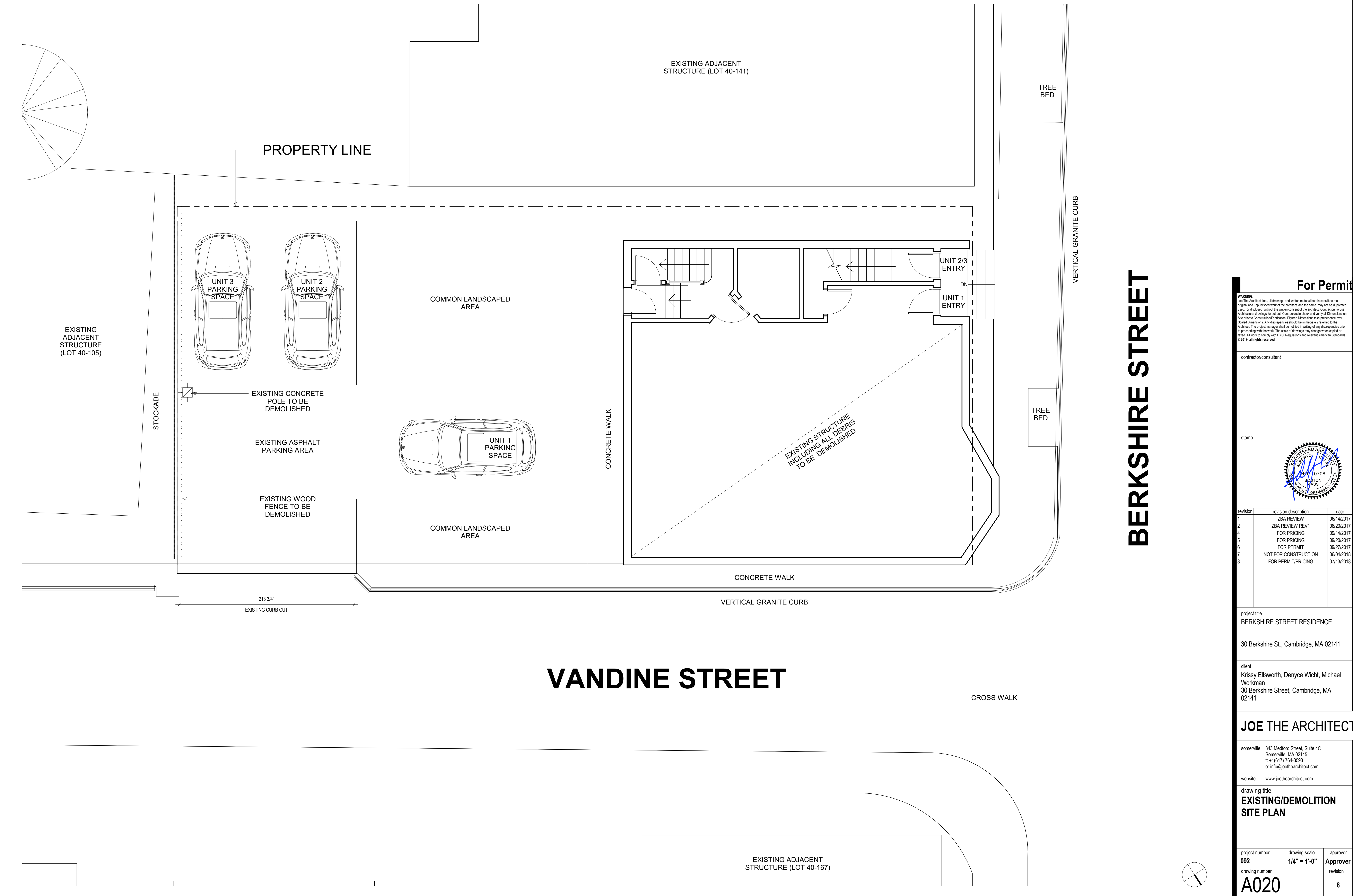
website www.joethearchitect.com

drawing title  
**ARCHITECTURAL  
GENERAL INFORMATION**

project number <b>092</b>	drawing scale <b>As indicated</b>	approver <b>Approver</b>
drawing number <b>A002</b>	revision	8



C:\Users\alex\Documents\PLF\092 - BERKSHIRE STREET RESIDENCE\_SitePlan.dwg 7/13/2018 4:51:34 PM C:\Users\alex\Documents\PLF\092 - BERKSHIRE STREET RESIDENCE\_SitePlan.dwg



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stamp

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8	FOR PERMIT/PRICING	07/13/2018

project title

BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client

Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

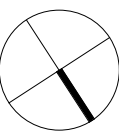
somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

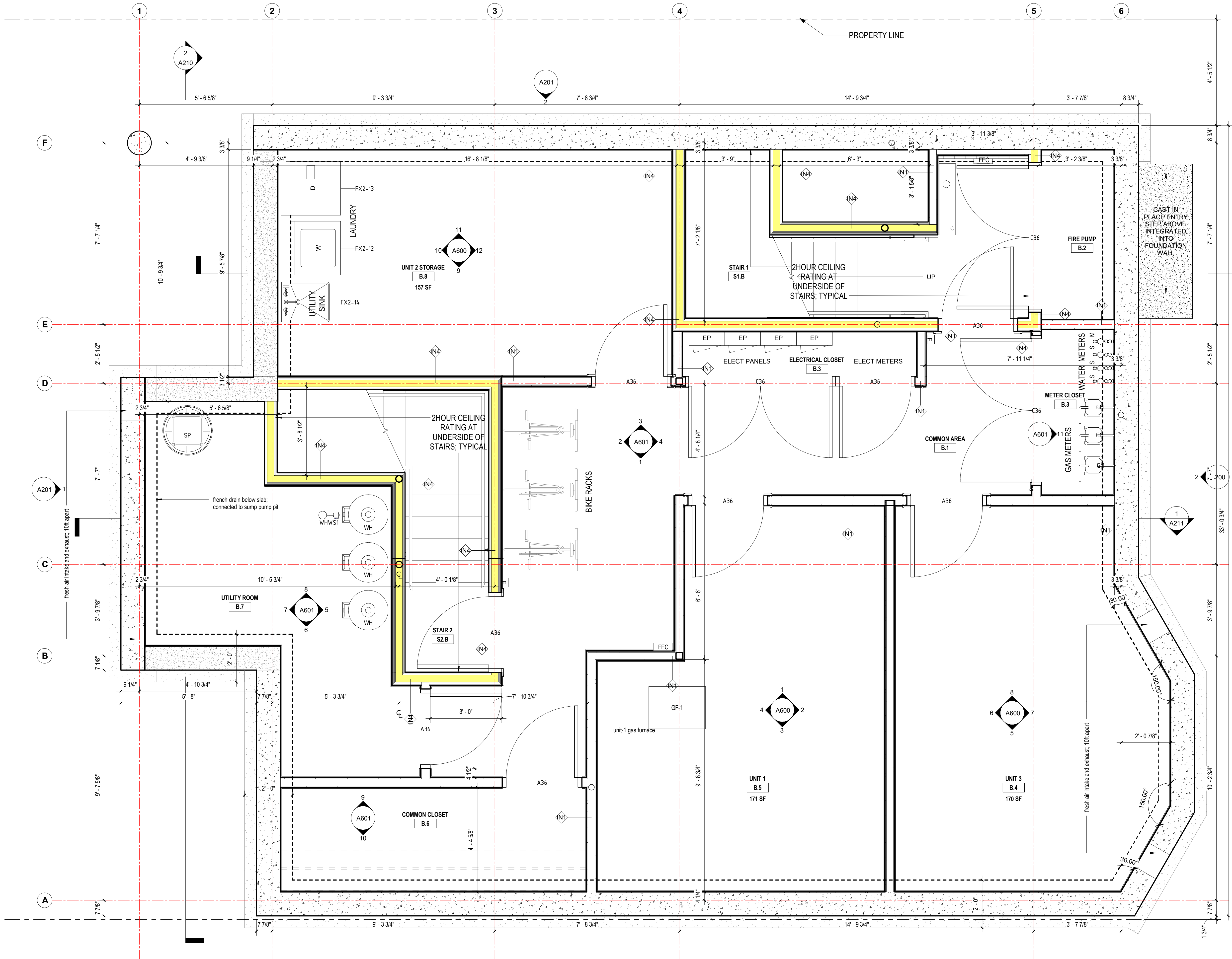
drawing title

EXISTING/DEMOLITION  
SITE PLAN

project number	drawing scale	approver
092	1/4" = 1'-0"	Approver
drawing number		revision
A020		8







1 COMMON BASEMENT FLOOR PLAN  
1/2" = 1'-0"

### Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "x" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "clr." mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to each other U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GWB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior walls and ceilings.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to provide HVAC systems distribution shop drawings for architect and owner approval and coordination.
- G.C. to keep a continuous building thermal envelope - wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.
- G.C. to coordinate all electrical power for kitchen islands.
- Coordinate with all Consultant drawings as there may be additional items not seen on Architectural Floor Plans.

### Construction Legend

Existing Construction to Remain

Existing Construction to be Removed

New Construction

Existing Door Assembly to Remain

Existing Door Assembly to be Removed

New Door Assembly

Not in Contract

Demolition

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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
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project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

### JOE THE ARCHITECT

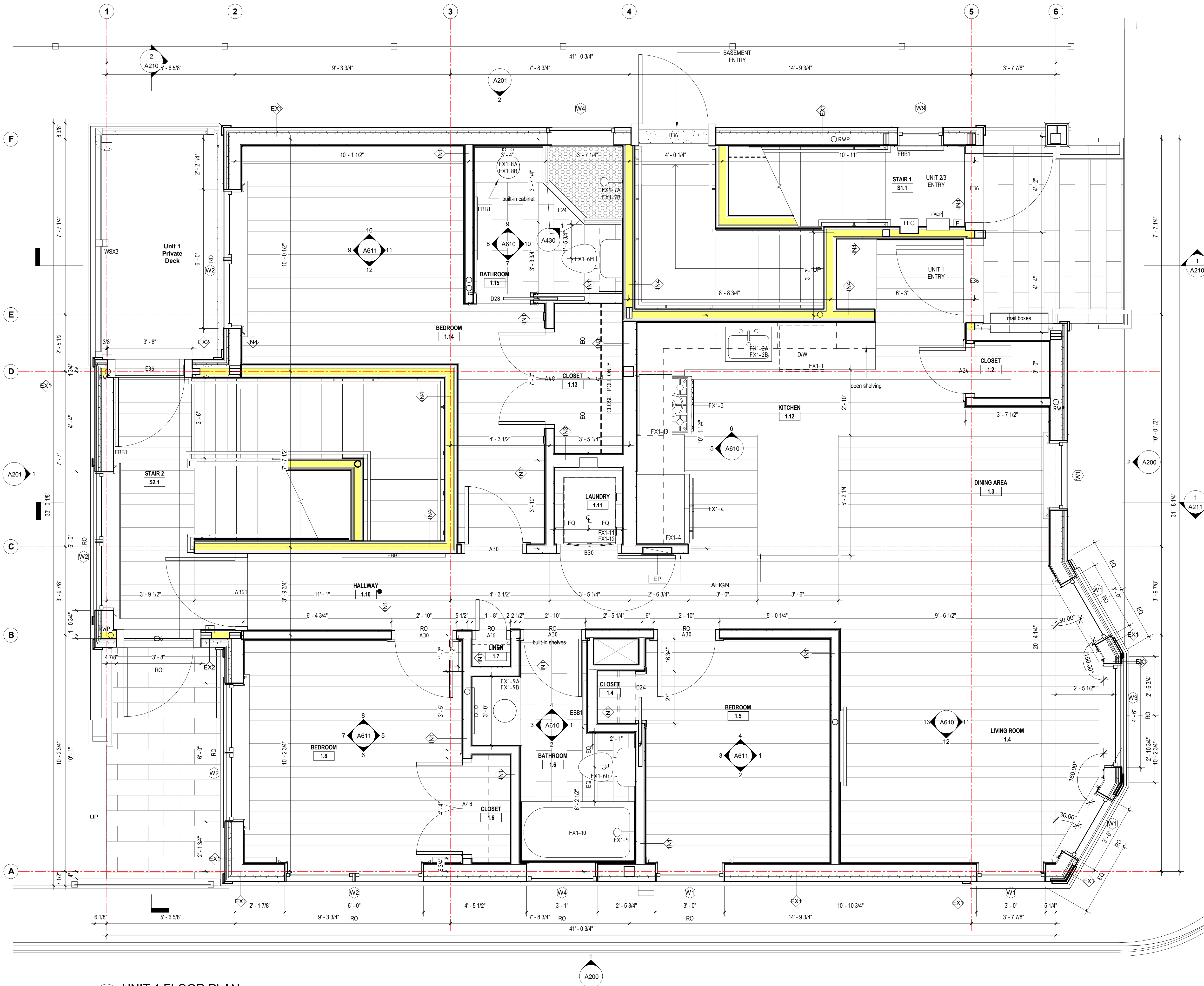
somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
COMMON BASEMENT FLOOR PLAN

project number	drawing scale	approver
092	As indicated	AS
drawing number		revision
A110		8



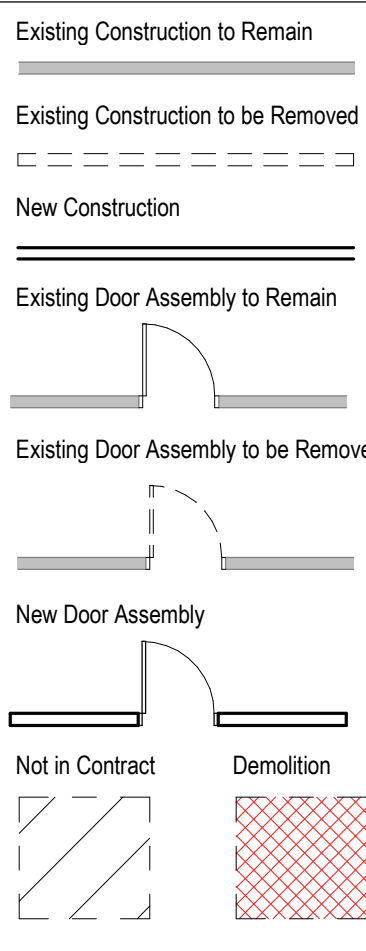


1 UNIT 1 FLOOR PLAN  
1/2" = 1'-0"

### Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "x" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall coverings.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "cl." mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to each other U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
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- G.C. to coordinate all electrical power for kitchen islands.
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### Construction Legend



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Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

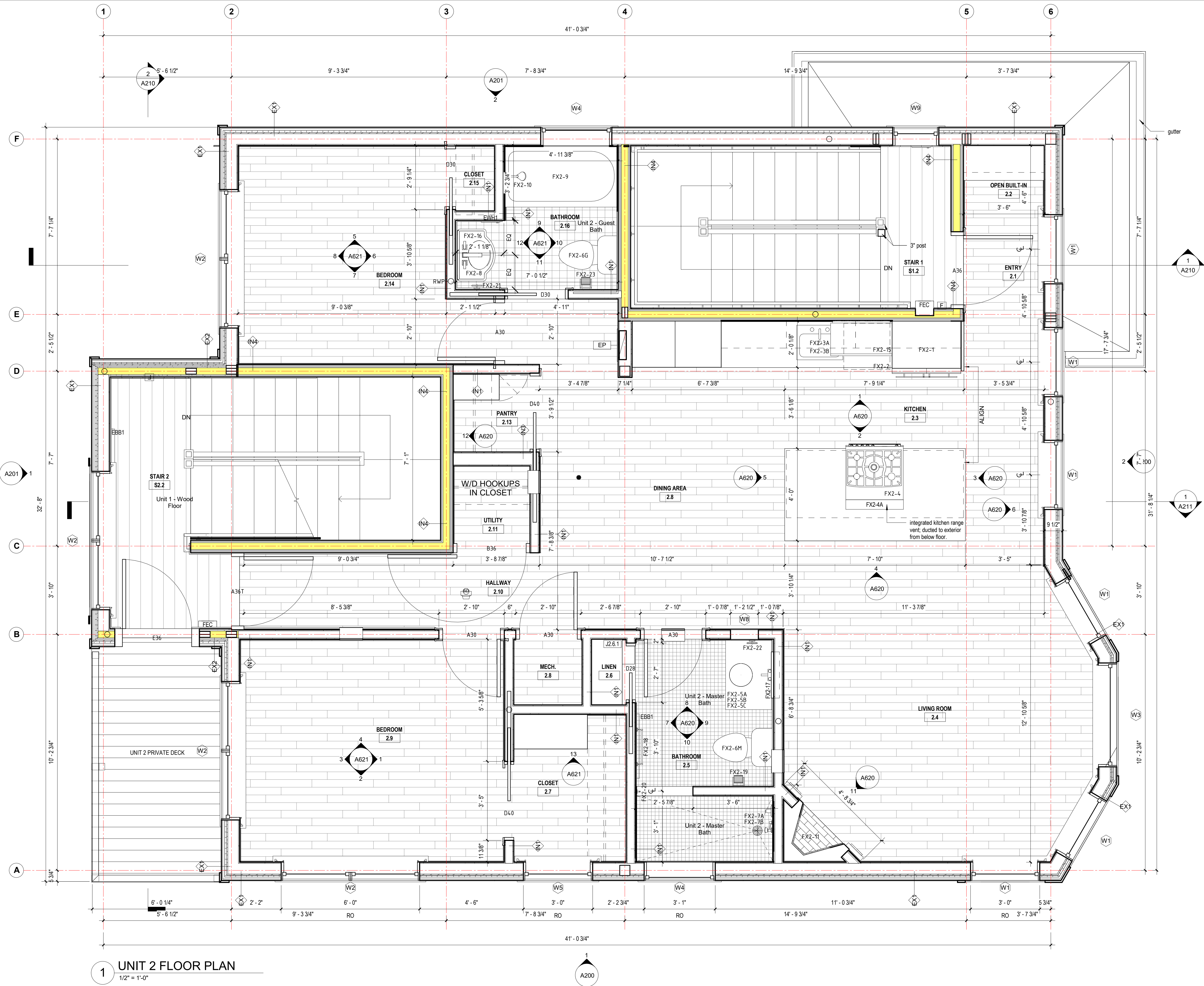
drawing title  
UNIT 1 FLOOR PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	

A111

8

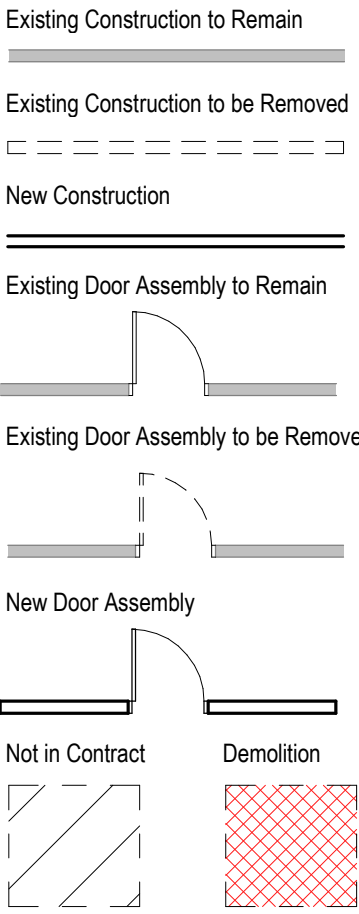




## Construction Notes

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- See sheet A430 for partition type schedule and information.
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- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N. Provide flush drywall type access panels in partitions as required for service of building systems.
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- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GWB on all wet areas.
- All doors on 2H rated walls to be 1 1/2" rated door.
- G.C. to install acoustic insulation on all interior walls and ceilings.
- G.C. to coordinate all floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to provide HVAC systems distribution shop drawings for architect and owner approval and coordination.
- G.C. to keep a continuous building thermal envelope - wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.
- G.C. to coordinate all electrical power for kitchen islands.
- Coordinate with all Consultant drawings as there may be additional items not seen on Architectural Floor Plans.

## Construction Legend



## For Permit

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contractor/consultant

stamp



revision	revision description	date
1	ZBA REVIEW	06/14/2017
2	ZBA REVIEW REV1	06/20/2017
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

**JOE THE ARCHITECT**

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
**UNIT 2 FLOOR PLAN**

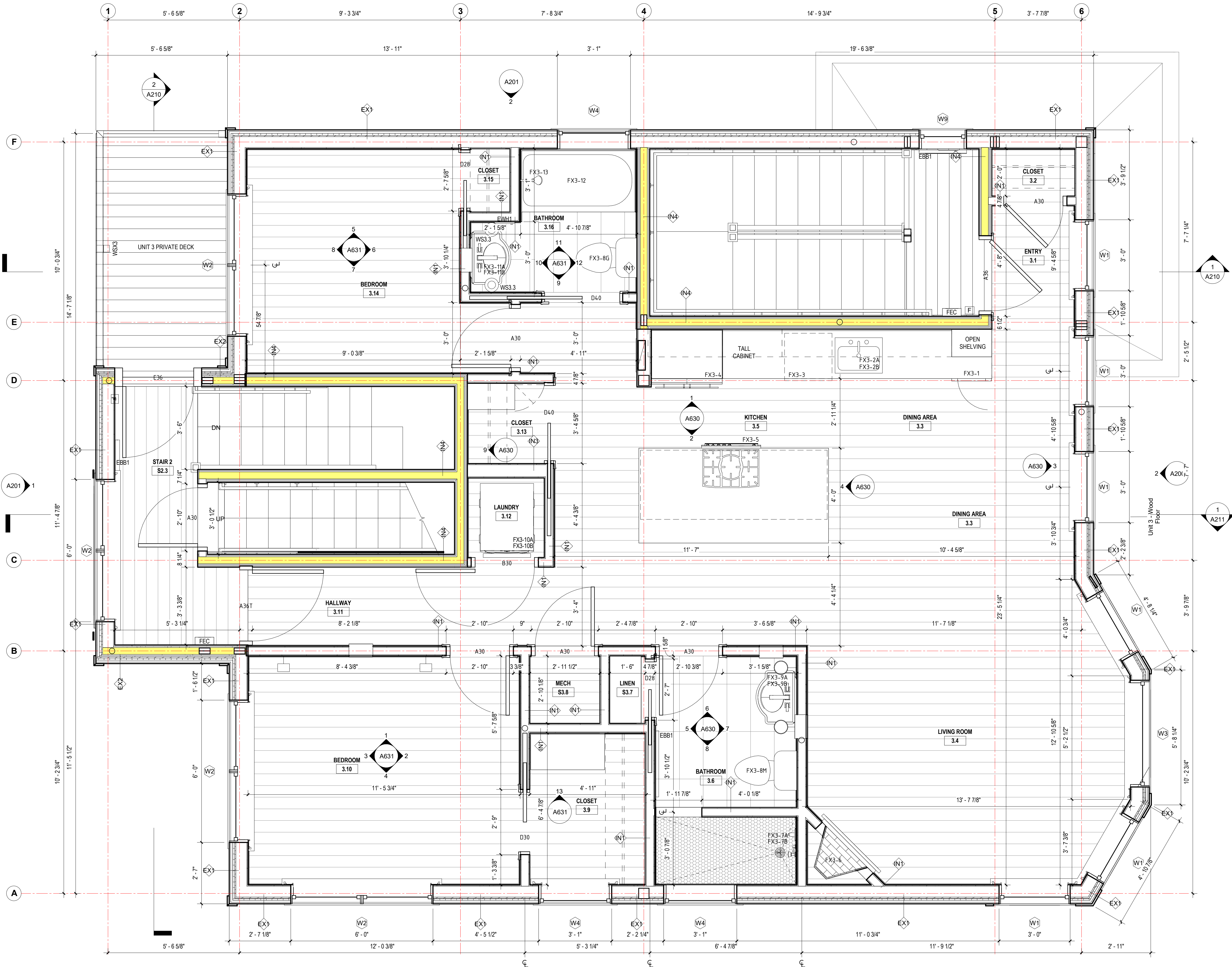
project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	

**A112**

8



C:\Users\alex\Documents\PLF 092 - BERKSHIRE STREET RESIDENCE\_Silverst.Alex@gmail.com.rvt 7/13/2018 4:51:43 PM

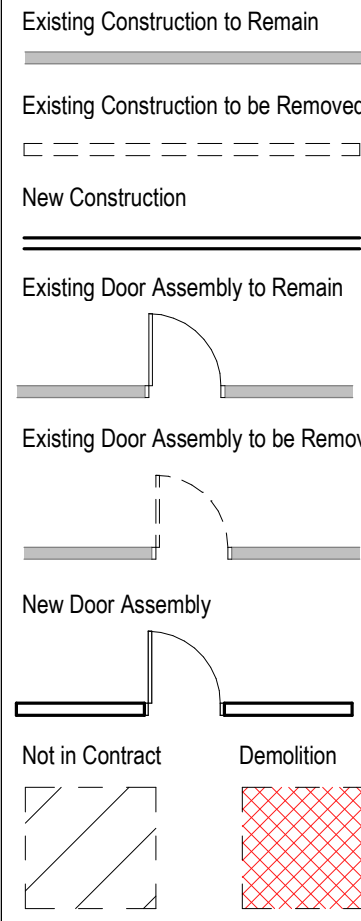


1 UNIT 3 FLOOR PLAN  
1/2" = 1'-0"

## Construction Notes

- See sheet A002 for abbreviations and typical mounting heights.
- See sheet A430 for partition type schedule and information.
- Use type "x" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush drywall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "clr." mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to each other U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings. Maintain integrity of existing fire resistant rated assemblies for all penetrations.
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stamp



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5	FOR PRICING	09/20/2017
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project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

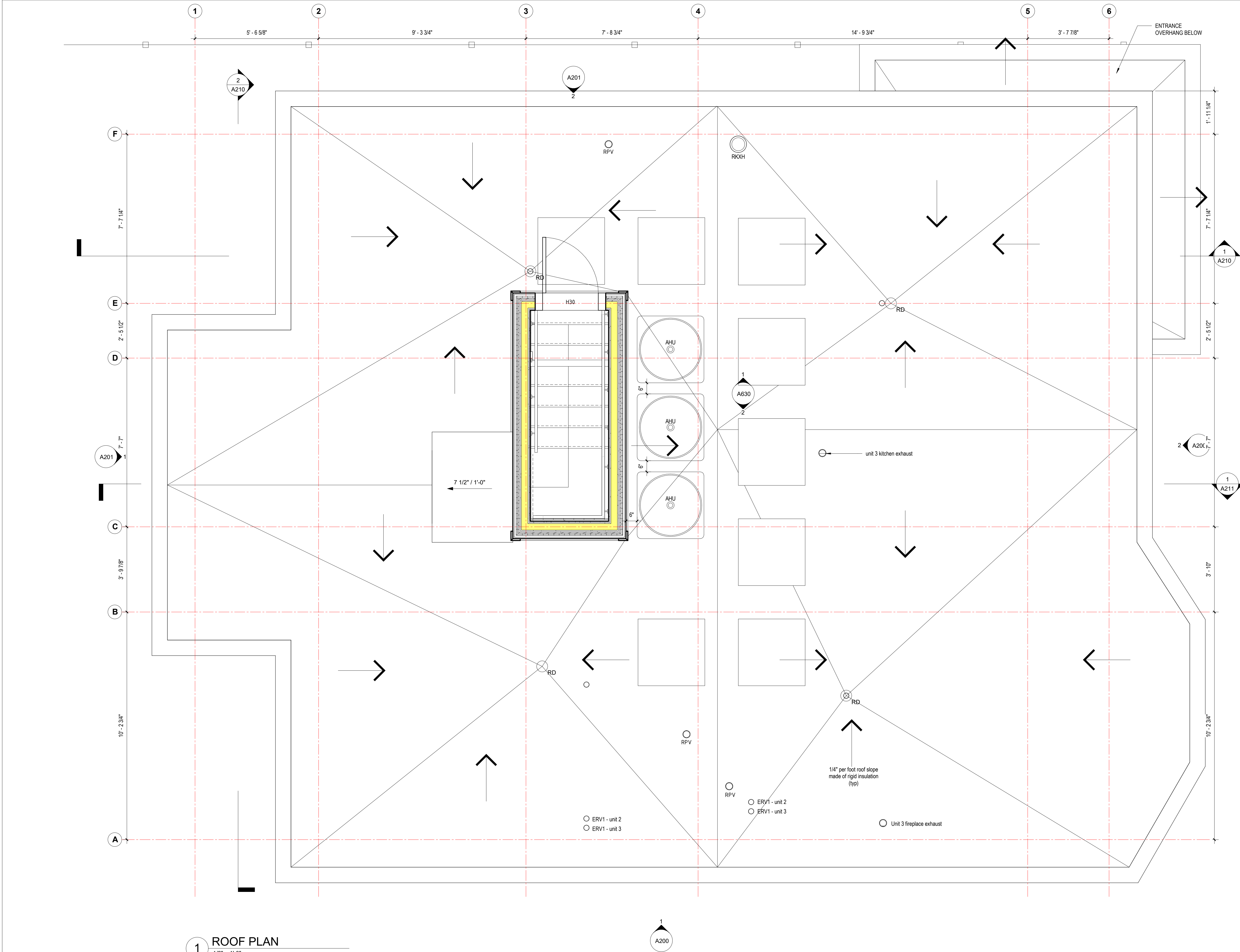
drawing title  
UNIT 3 FLOOR PLAN

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	

A113

8

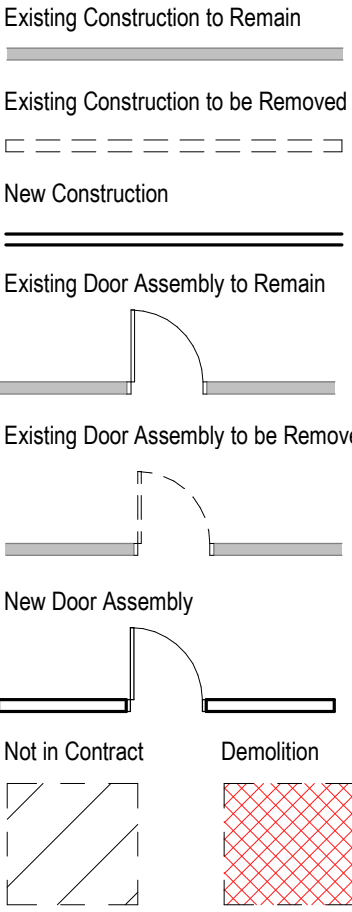




### Construction Notes

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- Provide flush drywall type access panels in partitions as required for service of building systems.
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### Construction Legend



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project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

**JOE THE ARCHITECT**

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

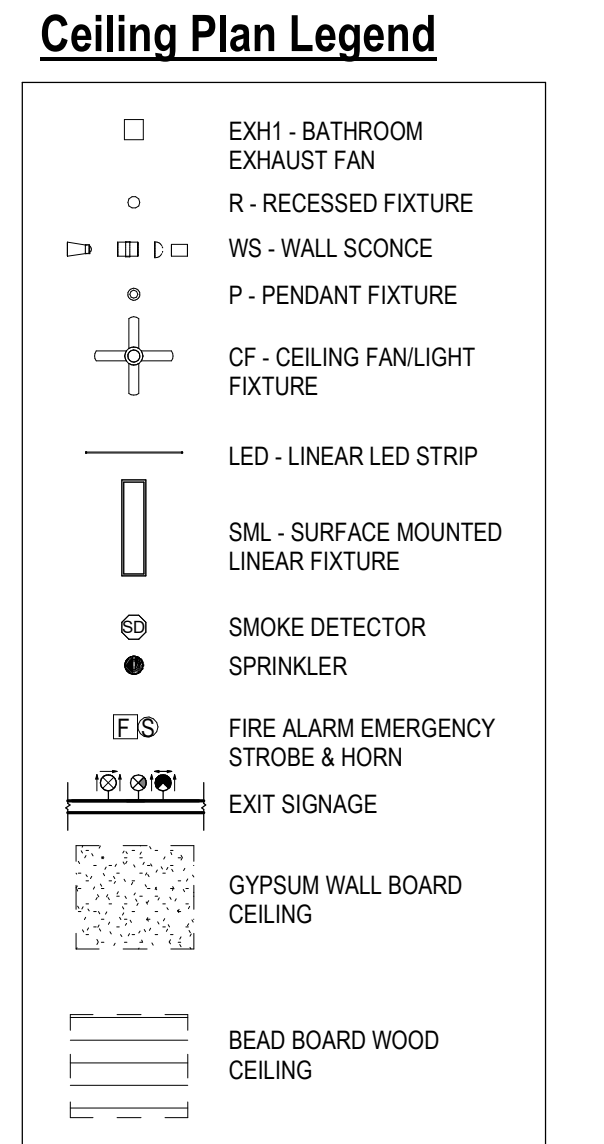
drawing title  
**ROOF PLAN**

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	

**A114**

8





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stamp



project title	
BERKSHIRE STREET RESIDENCE	
30 Berkshire St., Cambridge, MA 02141	
client	
Krissy Ellsworth, Denyce Wicht, Michael Workman	
30 Berkshire Street, Cambridge, MA 02141	

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: [info@joethearchitect.com](mailto:info@joethearchitect.com)

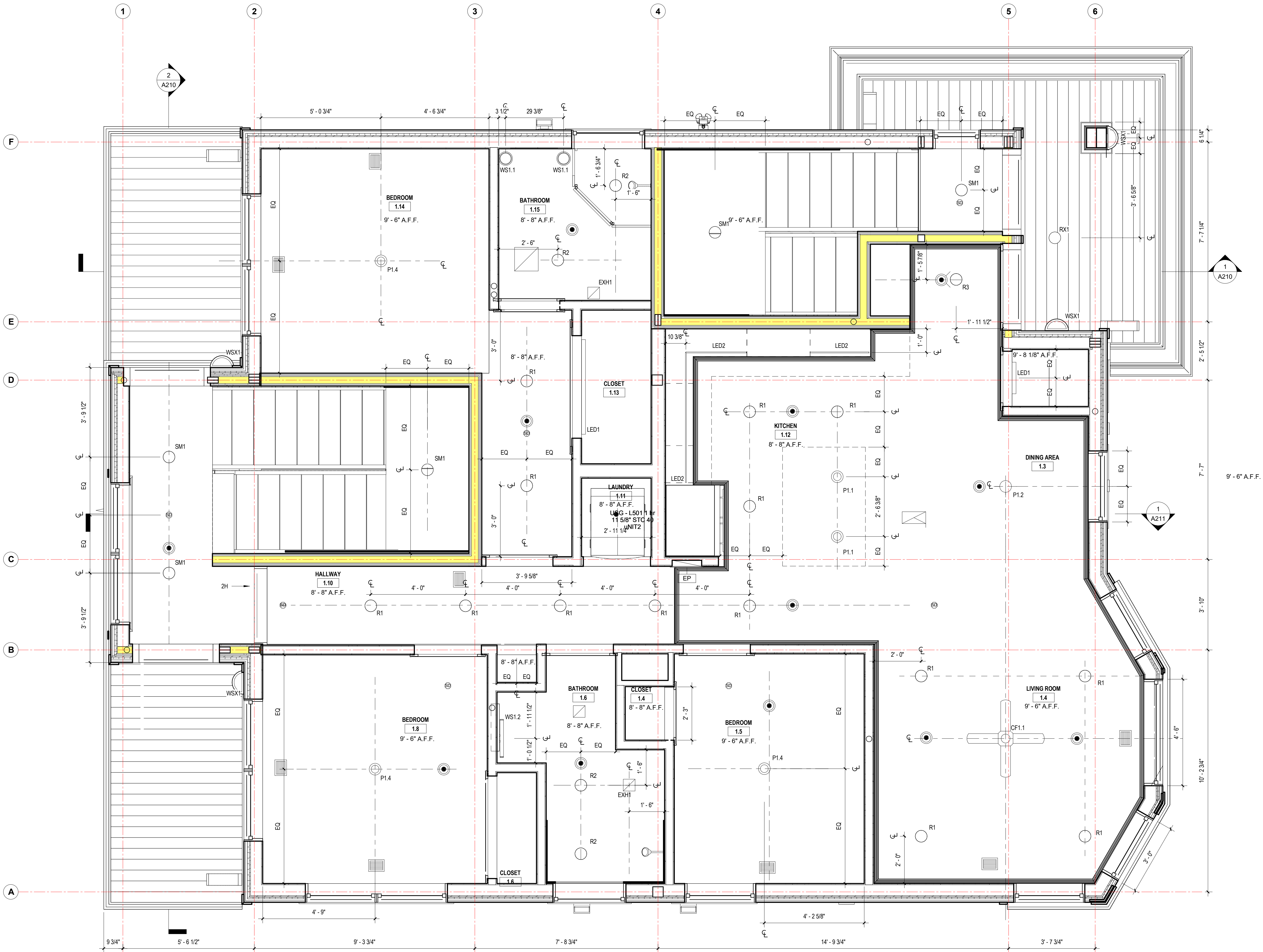
website [www.joethearchitect.com](http://www.joethearchitect.com)

drawing title  
**COMMON BASEMENT  
REFLECTED CEILING  
PLAN**

project number <b>092</b>	drawing scale <b>As indicated</b>	approver <b>Approver</b>
drawing number <b>A120</b>		revision <b>8</b>

# A120





### Reflected Ceiling Notes

1. LIGHTING, ELECTRICAL EQUIPMENT, HVAC EQUIPMENT, AND SPRINKLERS ARE TO BE MOUNTED ON CENTER OF ACT UNLESS OTHERWISE DIMENSIONED ON REFLECTED CEILING PLAN
2. UNLESS OTHERWISE NOTED MULTIPLE SWITCHES IN A SINGLE LOCATION SHALL BE GANGED IN A SINGLE BOX AND COVERED WITH A SINGLE PLATE
3. PROVIDE EMERGENCY LIGHTING INTEGRAL IN FIXTURES. "BUG EYES" ARE NOT ACCEPTABLE, U.O.N.
4. PROVIDE COATING MIXTURE OVER (E) FIREPROOFING TO PREVENT PARTICLES FROM FALLING
5. S.M.D., S.E.D., S.P.D., S.F.P.D. FOR RELEVANT INFO AND COORDINATION OF MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ITEMS.
6. ALIGN FIRE ALARM AND ALL OTHER ELECTRIC DEVICES, w/LIGHTING AS INDICATED IN DRAWINGS.
7. ALIGN CEILING DEVICES INCLUDING SMOKE DETECTORS, SPRINKLER HEADS, ETC., WITH CEILING MOUNTED LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CENTER ALL BETWEEN ELEMENTS OR WITHIN GRID IN BOTH DIRECTIONS U.O.N. AT TYP. EXPOSED CEILING. - RUN ALL ELECTRICAL CONDUITS TIGHT TO UNDERSIDE OF DECK IN JOIST BAYS. RUN ALL ELECTRICAL CONDUIT NEATLY AND PARALLEL TO STRUCTURE U.O.N. - RUN EXPOSED DUCTWORK AS HIGH AS POSSIBLE & TIGHT TO PARALLEL TO INTERIOR PARTITIONS AND/OR STRUCTURE WHERE APPLICABLE U.O.N. - PENDANT LIGHTS ARE TO BE MTD TO UNDERSIDE OF DECK U.O.N. - SPRINKLER LINES ARE TO BE MTD TO UNDERSIDE OF DECK. - PAINT ALL EXPOSED STEEL STRUCTURE & METAL DECK U.O.N. - REFER TO RCP AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION
8. ALL FIRE SPRINKLER PIPING TO BE PAINTED BLACK U.O.N.
9. PROVIDE UNISTRUT SUPPORTS AT ALL FIXTURES MOUNTED BELOW HVAC EQUIPMENT
10. INSTALL WATER RESISTANT GWB AT ALL WET LOCATION CEILINGS.
11. COORDINATE ALL LIGHTING WITH CROWN MOULDING.
12. G.C. TO COORDINATE CEILING HEIGHT WITH ARCHITECT AFTER FINAL HVAC SYSTEM SELECTED BY OWNER.
13. SEE ARCHITECTURAL ELECTRICAL FOR SWITCHING.
14. ALL HVAC DUCTWORK IN BASEMENT TO BE EXPOSED UNLESS OTHERWISE NOTED.
15. SEE INTERIOR ELEVATIONS FOR LOCATION OF WALL REGISTERS.
16. COORDINATE WITH ALL CONSULTANT DRAWINGS AS ALL ITEMS MAY NOT BE DISPLAYED ON ARCHITECTURAL REFLECTED CEILING PLANS.

### Ceiling Plan Legend

- EXH1 - BATHROOM EXHAUST FAN
- R - RECESSED FIXTURE
- WS - WALL SCONCE
- P - PENDANT FIXTURE
- CF - CEILING FAN/LIGHT FIXTURE
- LED - LINEAR LED STRIP
- SM1 - SURFACE MOUNTED LINEAR FIXTURE
- SMOKE DETECTOR
- SPRINKLER
- FIRE ALARM EMERGENCY STROBE & HORN
- EXIT SIGNAGE
- GYPSUM WALL BOARD CEILING
- BEAD BOARD WOOD CEILING

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revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
UNIT 1 REFLECTED  
CEILING PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	

A121

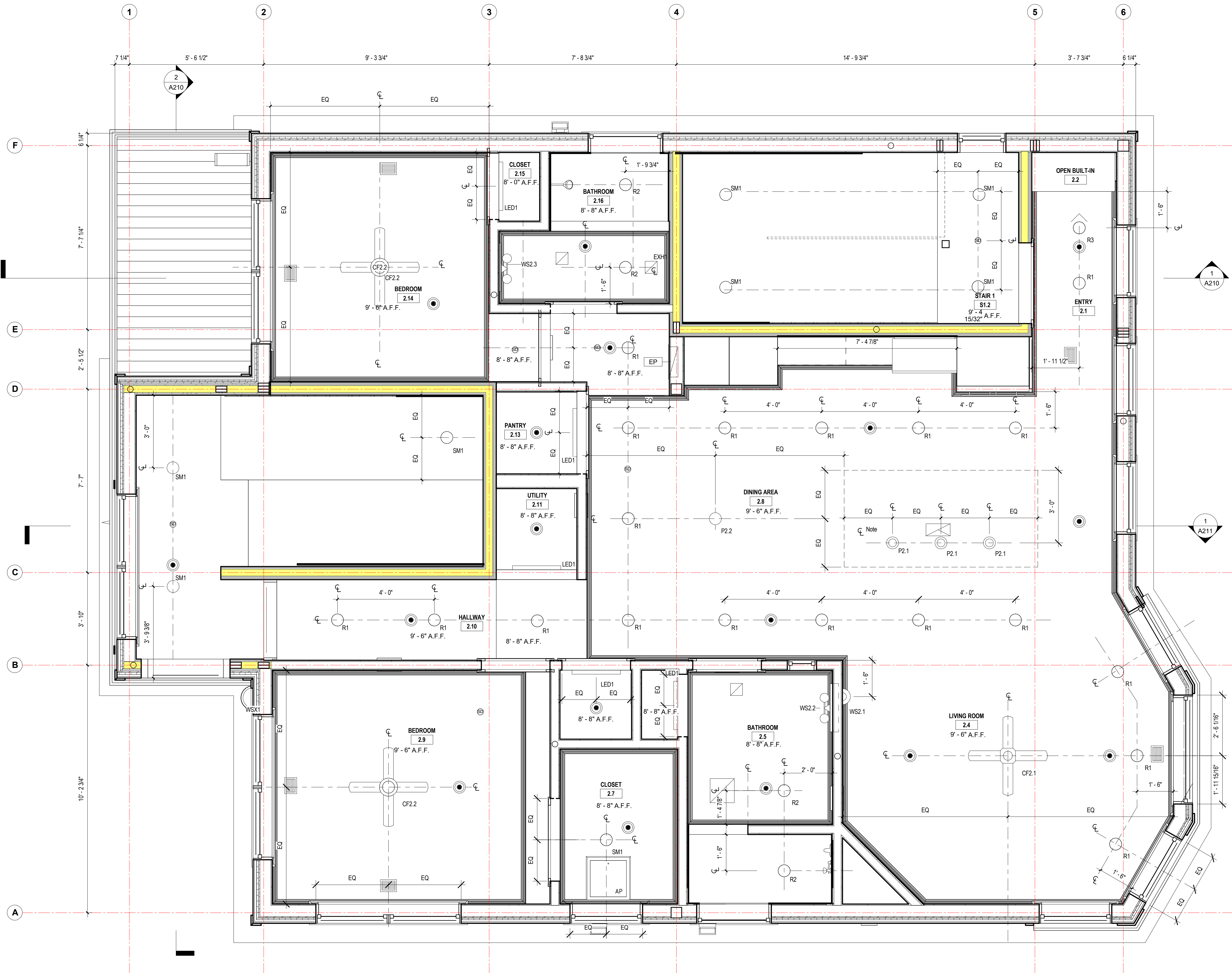
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### UNIT 1 REFLECTED CEILING PLAN

1/2" = 1'-0"



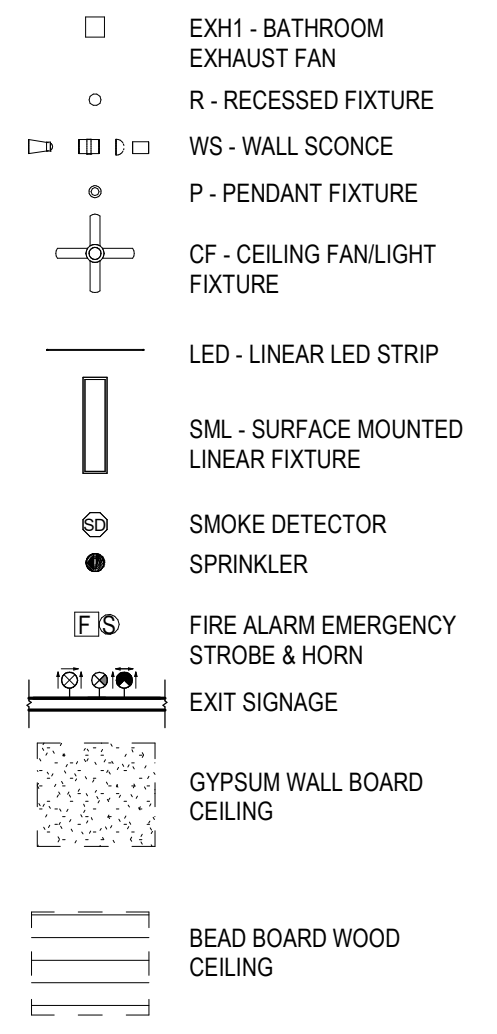
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Reflected Ceiling Notes

1. LIGHTING, ELECTRICAL EQUIPMENT, HVAC EQUIPMENT, AND SPRINKLERS ARE TO BE MOUNTED ON CENTER OF ACT UNLESS OTHERWISE DIMENSIONED ON REFLECTED CEILING PLAN
2. UNLESS OTHERWISE NOTED MULTIPLE SWITCHES IN A SINGLE LOCATION SHALL BE GANGED IN A SINGLE BOX AND COVERED WITH A SINGLE PLATE
3. ALL GWB CEILINGS TO BE PAINTED WHITE EGGSHELL, U.O.N.
4. PROVIDE EMERGENCY LIGHTING INTEGRAL IN FIXTURES. "BUG EYES" ARE NOT ACCEPTABLE, U.O.N.
5. PROVIDE COATING MIXTURE OVER (E) FIREPROOFING TO PREVENT PARTICLES FROM FALLING
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9. AT TYP. EXPOSED CEILING - RUN ALL ELECTRICAL CONDUITS TIGHT TO UNDERSIDE OF DECK IN JOIST BAYS. RUN ALL ELECTRICAL CONDUIT NEATLY AND PARALLEL TO STRUCTURE U.O.N. - RUN EXPOSED DUCTWORK AS HIGH AS POSSIBLE & TIGHT TO PARALLEL TO INTERIOR PARTITIONS AND/OR STRUCTURE WHERE APPLICABLE U.O.N. - PENDANT LIGHTS ARE TO BE MTD TO UNDERSIDE OF DECK U.O.N. - SPRINKLER LINES ARE TO BE MTD TO UNDERSIDE OF DECK - PAINT ALL EXPOSED STEEL STRUCTURE & METAL DECK U.O.N. REFER TO RCP AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION
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Ceiling Plan Legend



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stamp



revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
UNIT 2 REFLECTED  
CEILING PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	

A122

8

1 SECOND FLOOR REFLECTED CEILING

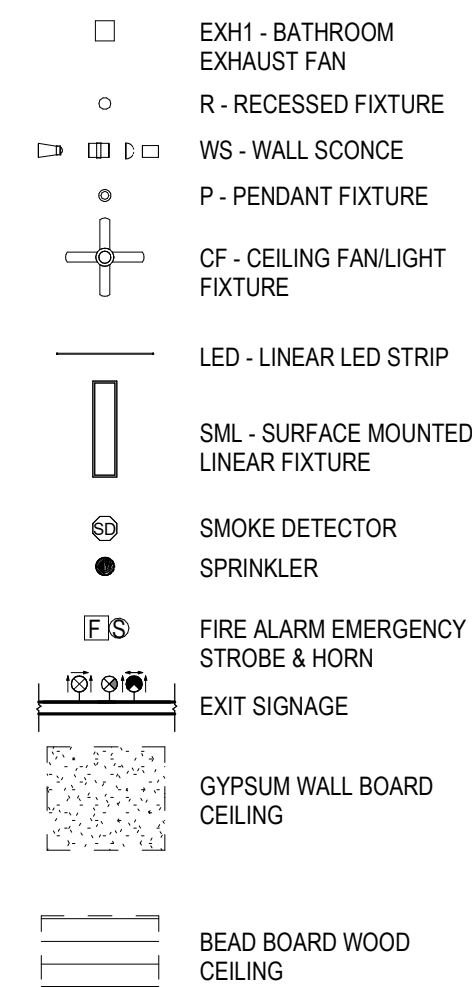
1/2" = 1'-0"



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17. COORDINATE WITH ALL CONSULTANT DRAWINGS AS ALL ITEMS MAY NOT BE DISPLAYED ON ARCHITECTURAL REFLECTED CEILING PLANS.
- 18.

Ceiling Plan Legend



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e: info@joethearchitect.com

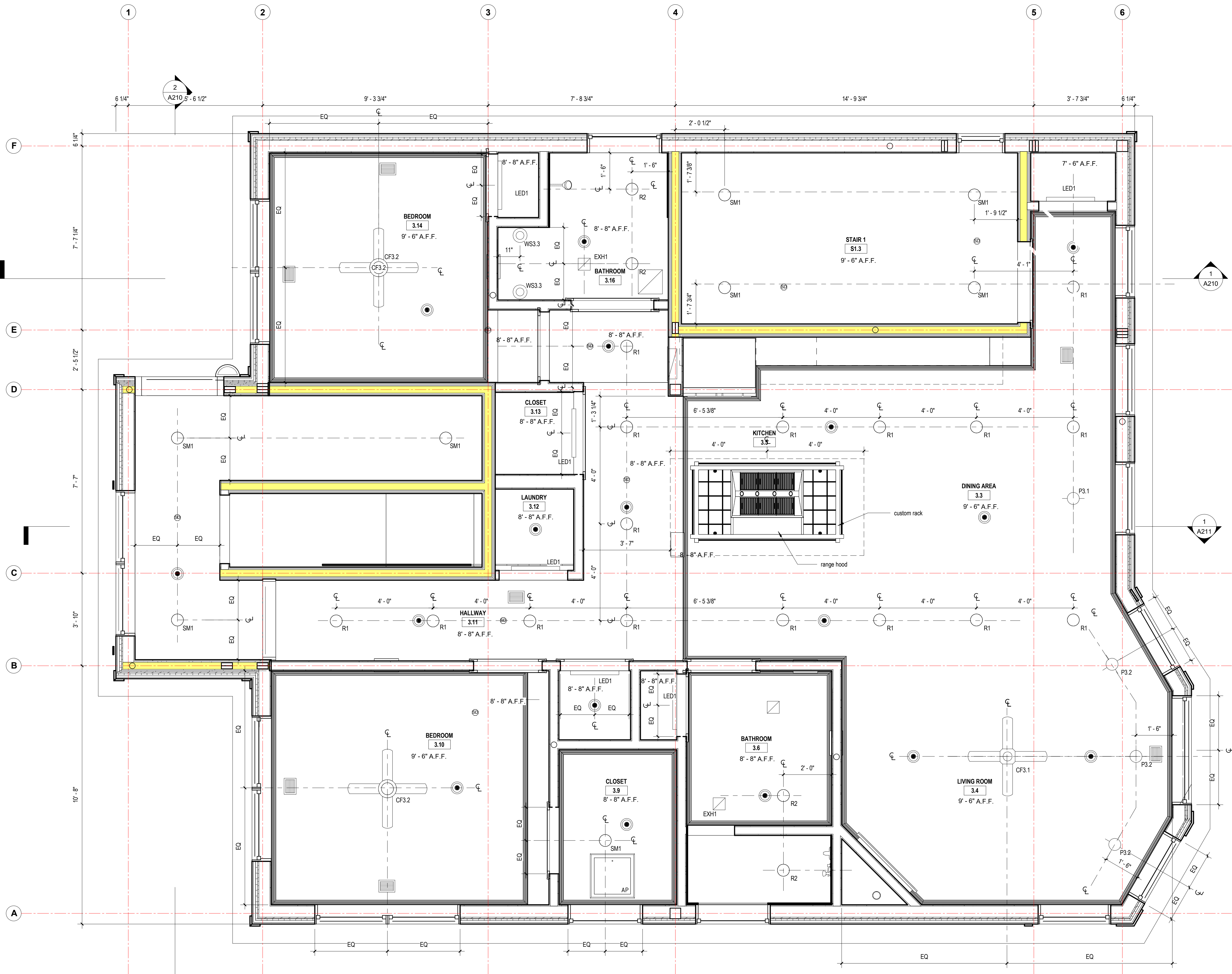
website www.joethearchitect.com

drawing title  
UNIT 3 REFLECTED  
CEILING PLAN

project number	drawing scale	approver
092	As indicated	Approver
drawing number	revision	

A123

8



1 UNIT 3 REFLECTED CEILING PLAN  
1/2" = 1'-0"



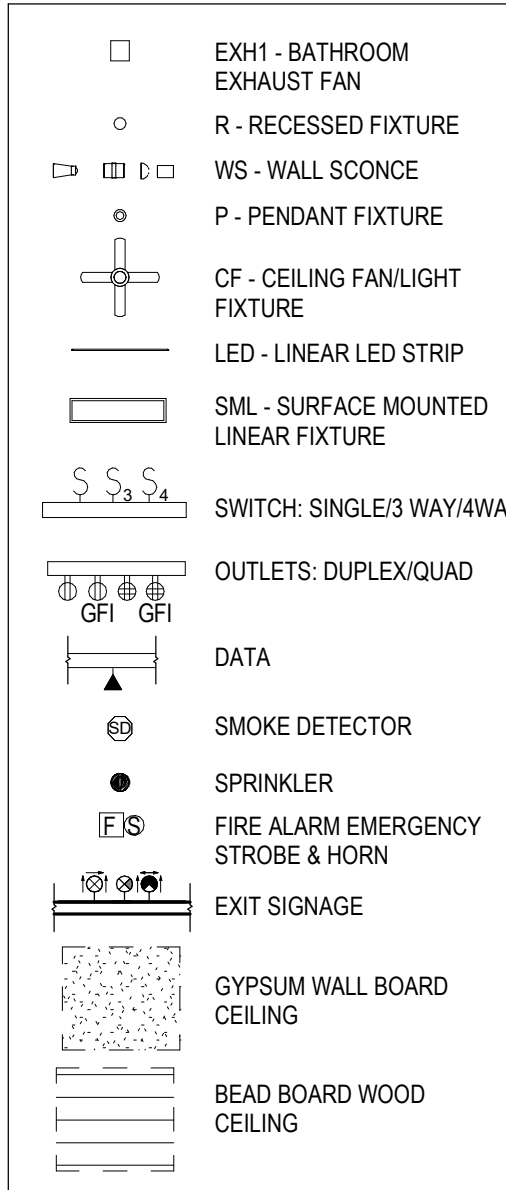




LEVEL 1 FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area walls	TBD
PT2	Paint - 2	Common Area trim	TBD
PT3	Paint - 3	Common Area ceiling	TBD
PT1.1	Paint - 1.1	Unit 1 walls throughout (excluding bathrooms)	Benjamin Moore 1548 Classic Grey - Eggshell
PT1.2	Paint - 1.2	Unit 1 bathrooms walls	Benjamin Moore OC-65 Chantilly Lace - Eggshell
PT1.3	Paint - 1.3	Unit 1 trim	Benjamin Moore OC-117 Simply White - Semi-gloss
PT1.4	Paint - 1.4	Unit 1 ceiling	Benjamin Moore OC-117 Simply White - Flat
T1.1	Tile - 1.1	Kitchen backsplash	US Ceramics White Ice 2x8
T1.2	Tile - 1.2	Fireplace surround	MS International Grecian White 3x6 Polished Marble
T1.3	Tile - 1.3	Master bathroom floor	Splendor 12x24 Armani Grey Natural w/ tec mist power grout
T1.4	Tile - 1.4	Master bathroom shower floor	Splendor 3" Hex Armani Grey Natural
T1.5	Tile - 1.5	Master bathroom shower surround & half walls; Guest bathroom floor	Cer. Timeless 12x24 Matte Calacutta w/ tec silverado power grout
T1.6	Tile - 1.6	Guest bathroom shower surround & half walls	Alaska White 4x8 Flat Gloss w/ tec silverado power grout
T1.7	Tile - 1.7	Guest bathroom floor	Cer. Timeless 12x24 Matte Calacutta w/ tec silverado power grout
T1.8	Tile - 1.8	Guest bathroom shower walls	Alaska White 2x8 Bull nose gloss with tec silverado power grout
WD1	Hardwood Flooring - 1	Common Area Flooring (Levels 1 - 3 & Stairs)	TBD
WD1.1	Hardwood Flooring - 1.1	Unit 1 Flooring throughout	Hallmark Floors, Alta Vista Collection; Laguna
WD1.2	Exterior Decking - 1.2	Exterior Decks	Azek TBD
WB1	Base Board	Unit 1 throughout	TBD
ST1.1	Stone - 1.1	Unit 1 stone at deck	TBD
ST0	Stone - 0	Common tones at steps	TBD

LIGHTING FIXTURE SCHEDULE												
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp		Control	Mounting	Remarks
					W	D	H	No.	Type			
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass		52" Dia		2	LED	60	ON/OFF	Ceiling
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - MO56		56" Dia	20 1/4"	4/2		25/60	ON/OFF	Ceiling
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN		52" Dia	11.5"	1	HAL	100	ON/OFF	Ceiling
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD		52" Dia	11.5"			ON/OFF	Ceiling	
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD		52" Dia	11.5"			ON/OFF	Ceiling	
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"	6	LED	22	SENSOR	7'-6" AFF
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH				1	LED	10	SENSOR	White Finish
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDPS-60W-FPC2T				1	LED	2.2/f	DIMMABLE	Under Cabinet
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM				1	LED	1.9	ON/OFF	Under Rail
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small		8 1/2" Dia	8"	1	LED	40	DIMMABLE	6'-0" AFF
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"		30"	4	LED	25	DIMMABLE	7'-6" AFF
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"	24"	13"	3	LED	60	DIMMABLE	Ceiling
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1		10" Dia	9"	1	LED	60	DIMMABLE	6'-0" AFF
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"		35"	4	LED	60	DIMMABLE	7'-6" AFF
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier		36" Dia	35"	6	CFL	10	DIMMABLE	7'-6" AFF
P3.2	3	Living Room Pendant - Unit 3								DIMMABLE		
R1	49	Recessed Downlight	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE	White Finish
R2	12	Recessed Downlight - Bathrooms	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE	White Finish
R3	2	Recessed Downlight - Directional	USAI	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21				1	LED	15	DIMMABLE	White Finish
RX1	1	Recessed Downlight - Exterior	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	TIMER	White Finish
SM1	21	Surface Mounted Downlight	USAI	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2				1	LED			White Finish
SML1	10	Surface Mounted Troffer- 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH				1	LED	22	ON/OFF	White Finish
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830				1	LED	18	ON/OFF	White Finish
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF	5'-6" AFF; Verical
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF	6'-6" AFF; Horizontal
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD									
WS2.2	1											
WS2.3	1											
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3								ON/OFF		
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"	1	CFL	13	DIMMABLE	5'-6" AFF; Upward
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3								ON/OFF		
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth						TIMER		
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth						ON/OFF		
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO		6" Dia	39"	1	LED	30	TIMER	N/A
Grand total: 175												

## Electrical Fixture Legend



## For Permit

WARNING: Joe The Architect, Inc., all drawings and written material herein constitute the original and unpublished work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Stated Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or revised. All work to comply with I.B.C. Regulations and relevant American Standards. © 2017- all rights reserved

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stamp



revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

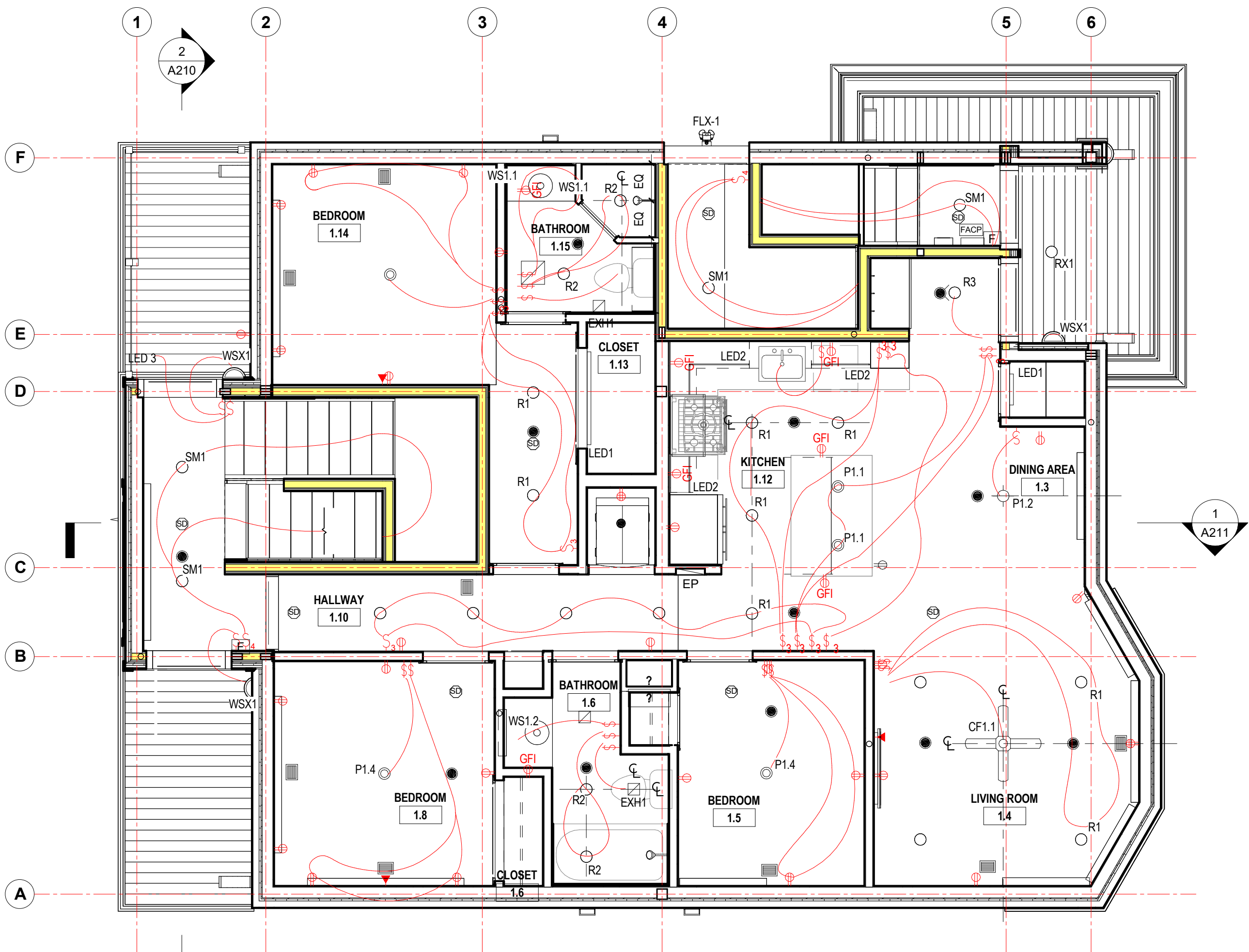
website www.joethearchitect.com

drawing title  
**UNIT 1 ARCHITECTURAL  
ELECTRIC & FINISH  
PLANS**

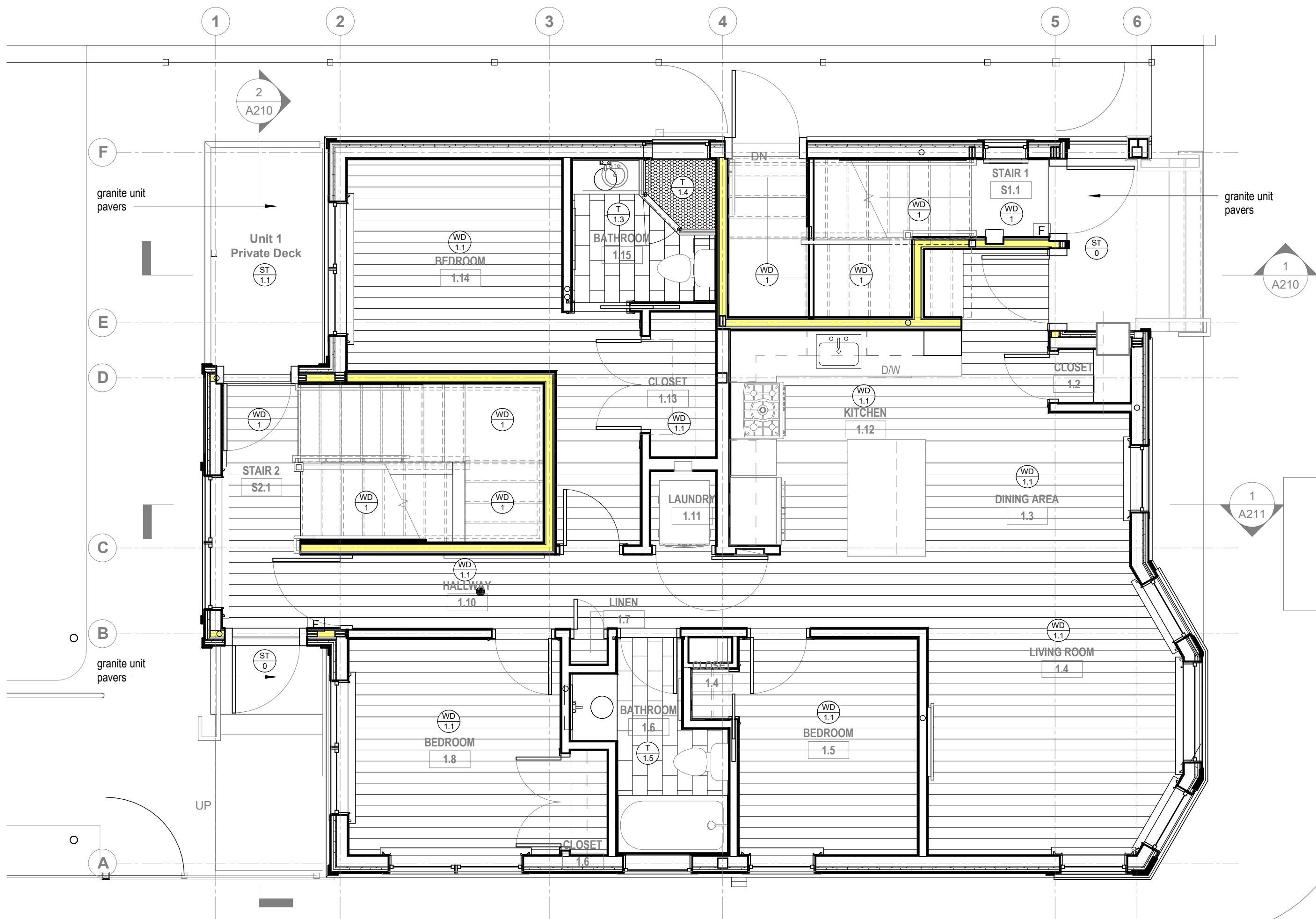
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drawing number		revision

# A131

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2 UNIT 1 ELECTRICAL LAYOUT  
1/4" = 1'-0"

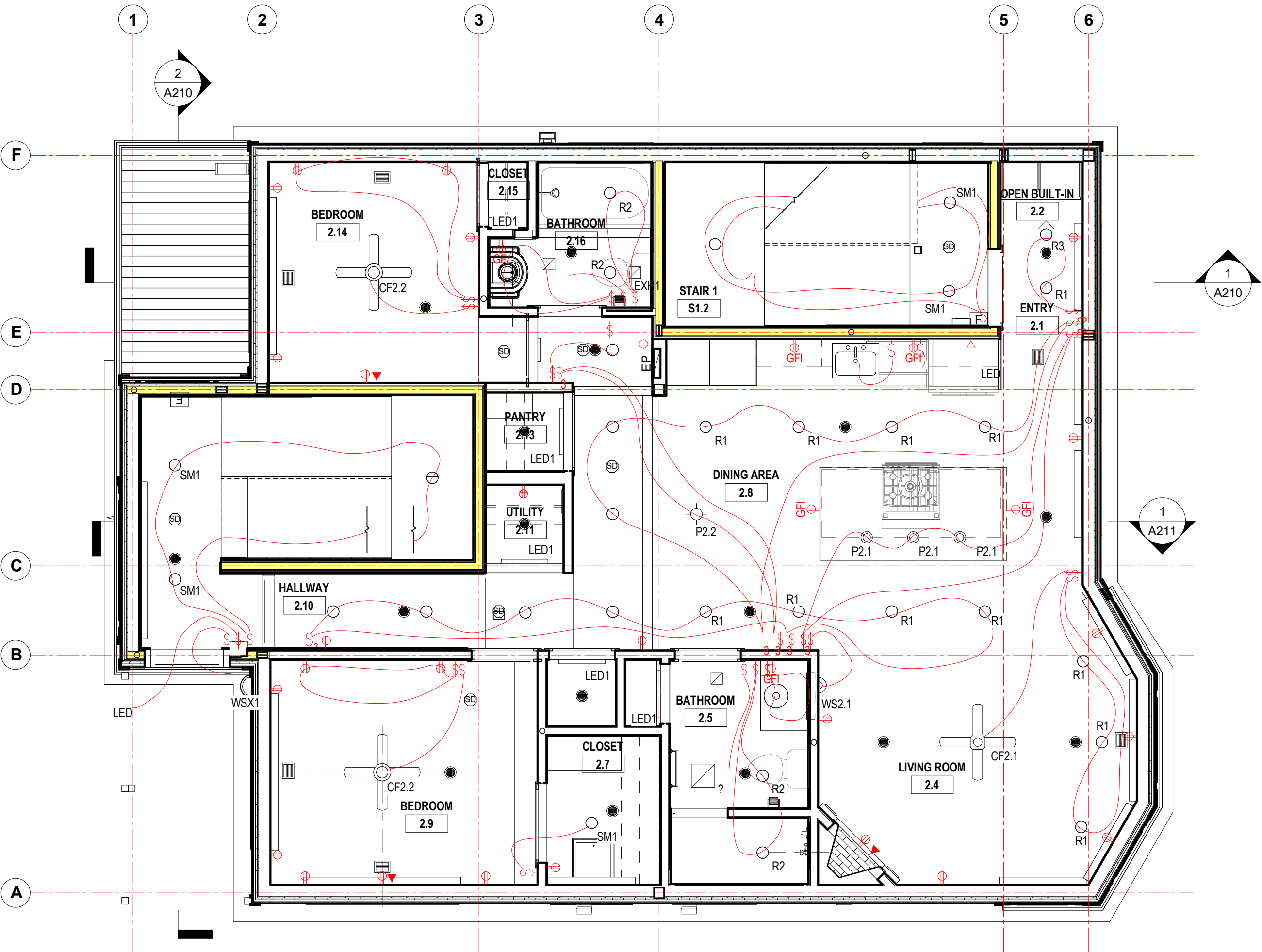


1 UNIT 1 FINISH PLAN  
1/4" = 1'-0"

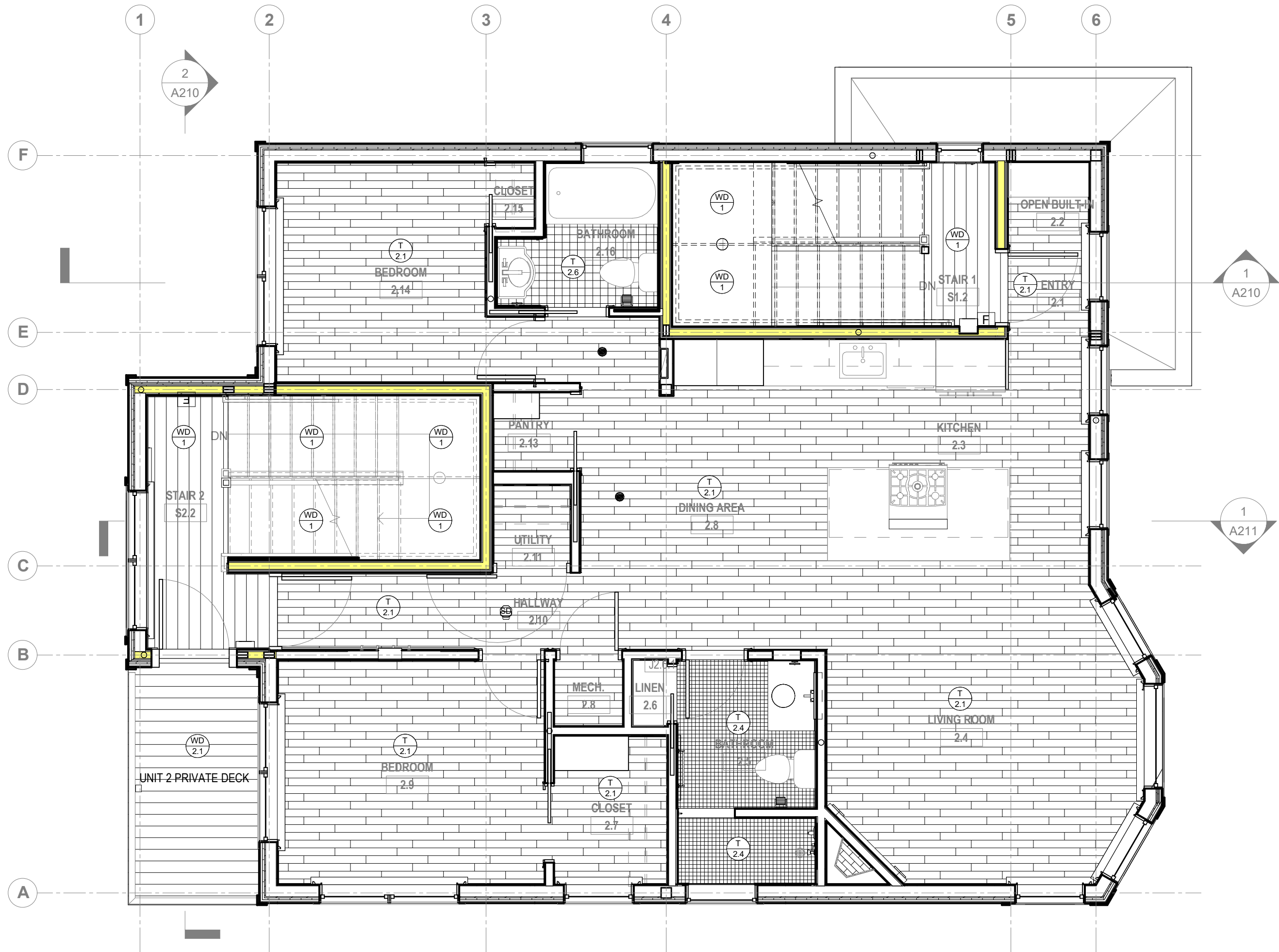


LEVEL 2 FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area walls	TBD
PT2	Paint - 2	Common Area trim	TBD
PT3	Paint - 3	Common Area ceiling	TBD
PT2.1	Paint - 2.1	Unit 2 walls: hallways, living, dining, kitchen	Benjamin Moore 962 Gray Mist- Eggshell
PT2.2	Paint - 2.2	Unit 2 master bedroom walls	Benjamin Moore 2147-60 Dark Linen - Eggshell
PT2.3	Paint - 2.3	Unit 2 trim	Benjamin Moore OC-117 Simply White - Semi-gloss
PT2.4	Paint - 2.4	Unit 2 ceiling	Benjamin Moore OC-117 Simply White - Flat
PT2.5	Paint - 2.5	Unit 2 master bathroom walls	TBD
PT2.6	Paint - 2.6	Unit 2 guest bedroom walls	TBD
PT2.7	Paint - 2.7	Unit 2 guest bathroom walls	TBD
T2.1	Tile - 2.1	Unit 2 Flooring throughout	Legno 6x36 Scur
T2.2	Tile - 2.2	Kitchen backsplash	Evolution Series 2x8 white
T2.3	Tile - 2.3	Fireplace surround	Golden Sand Quartzite interlocking 6x24
T2.4	Tile - 2.4	Master bathroom floor	White pinwheel mosaic; TBD
T2.5	Tile - 2.5	Master bathroom shower walls	Bacoli Marmi Bianco Venatino Gioia 3x6 Polished
T2.6	Tile - 2.6	Guest bathroom floor	Seneca Tile Periwinkle 6x6 ceramic tile w/ delorean grey power grout
T2.7	Tile - 2.7	Guest bathroom shower surround	Neri white 3x6 white subway tile
T2.8	Tile - 2.8	Guest bathroom accent tile 1; 2 rows	Cepac Tile Serenity tranquil sky, basket weave
T2.9	Tile - 2.9	Guest bathroom accent tile 2; trim	Neri white rope
T2.10	Tile - 2.10	Guest bathroom accent tile 3; shower niche	Cepac Tile; TBD
WD1	Hardwood Flooring	Common Area Flooring (Levels 1 - 3 & Stairs)	TBD
WD2.1	Exterior Decking - 2.1	Exterior Decks	Azek TBD
BB2	Beardboard panneling	Unit 2 bathrooms & entry built in as indicated	White
WB2	Baseboard	Unit 2 throughout	TBD

LIGHTING FIXTURE SCHEDULE													
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp			Control	Mounting	Remarks
					W	D	H	No.	Type	Watts			
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass		52" Dia		2	LED	60	ON/OFF	Ceiling	
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - MO56		56" Dia	20 1/4"	4/2		25/60	ON/OFF	Ceiling	
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN		52" Dia	11.5"	1	HAL	100	ON/OFF	Ceiling	
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling	
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling	
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"	6	LED	22	SENSOR	7'-6" AFF	Bronze Finish
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH				1	LED	10	SENSOR		White Finish
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDP5-60W-FPCZT				1	LED	2.2/ft	DIMMABLE	Under Cabinet	Clear
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM				1	LED	1.9	ON/OFF	Under Rail	T.B.D.
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small		8 1/2" Dia	8"	1	LED	40	DIMMABLE	6'-0" AFF	
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"		30"	4	LED	25	DIMMABLE	7'-6" AFF	
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"	24"	13"	3	LED	60	DIMMABLE	Ceiling	
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1		10" Dia	9"	1	LED	60	DIMMABLE	6'-0" AFF	
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"		35"	4	LED	60	DIMMABLE	7'-6" AFF	
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier		36" Dia	35"	6	CFL	10	DIMMABLE	7'-6" AFF	
P3.2	3	Living Room Pendant - Unit 3									DIMMABLE		
R1	49	Recessed Downlight	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R2	12	Recessed Downlight - Bathrooms	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish
R3	2	Recessed Downlight - Directional	USAI	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21				1	LED	15	DIMMABLE		White Finish
RX1	1	Recessed Downlight - Exterior	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	TIMER		White Finish
SM1	21	Surface Mounted Downlight	USAI	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2				1	LED				White Finish
SML1	10	Surface Mounted Troffer- 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH				1	LED	22	ON/OFF		White Finish
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830				1	LED	18	ON/OFF		White Finish
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF	5'-6" AFF; Verical	
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF	6'-6" AFF; Horizontal	
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD								DIMMABLE		
WS2.2	1												
WS2.3	1												
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3									ON/OFF		
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"	1	CFL	13	DIMMABLE	5'-6" AFF; Upward	
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3									ON/OFF		
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth							TIMER		
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth							ON/OFF		
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO		6" Dia	39"	1	LED	30	TIMER	N/A	T.B.D.
Grand total: 175													

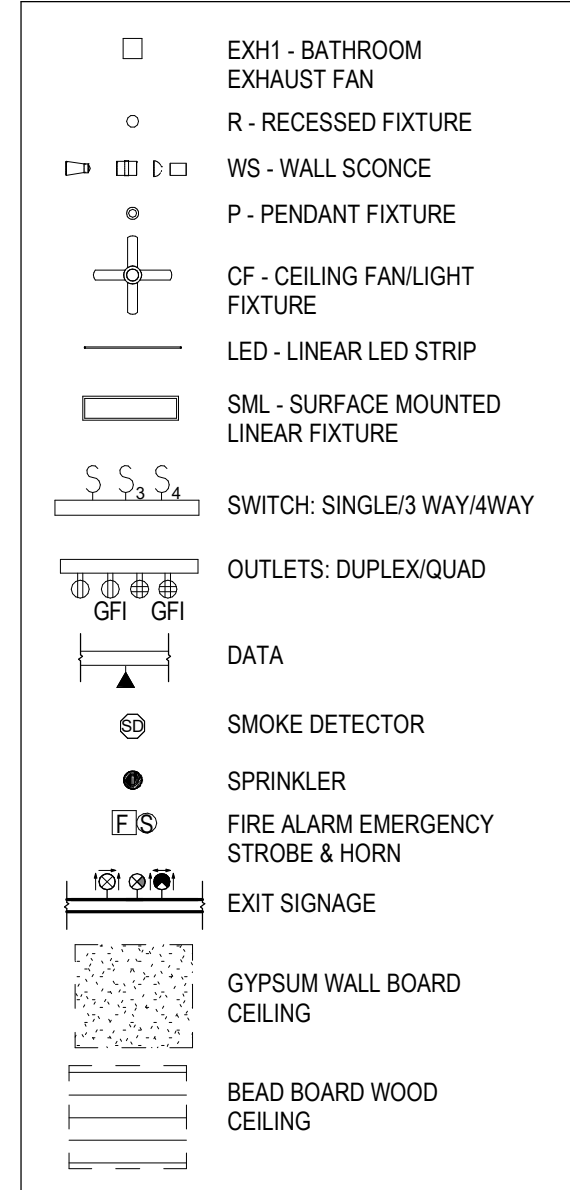


2 UNIT 2 ELECTRICAL LAYOUT  
1/4" = 1'-0"



1 UNIT 2 FINISH PLAN  
1/4" = 1'-0"

## Electrical Fixture Legend

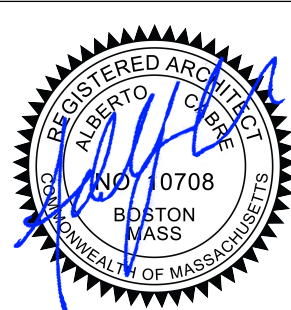


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stamp



revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
UNIT 2 ARCHITECTURAL  
ELECTRIC & FINISH  
PLANS

project number	drawing scale	approver
092	As indicated	AS
drawing number		revision

A132

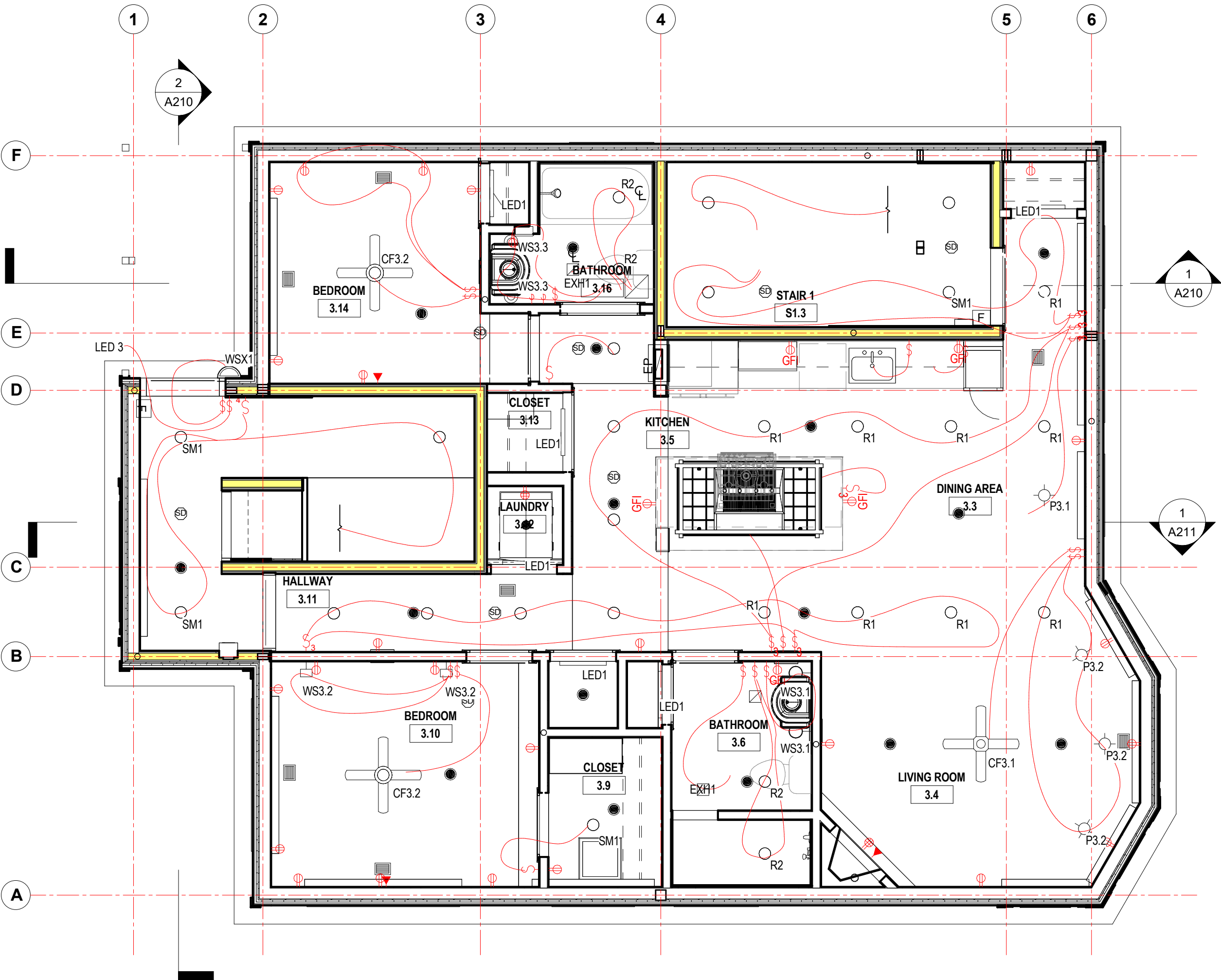
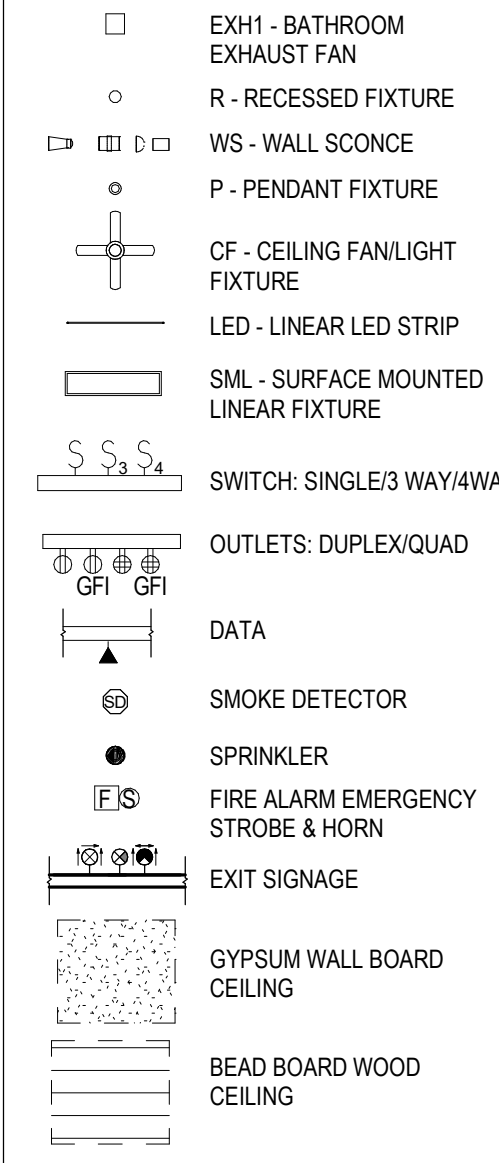
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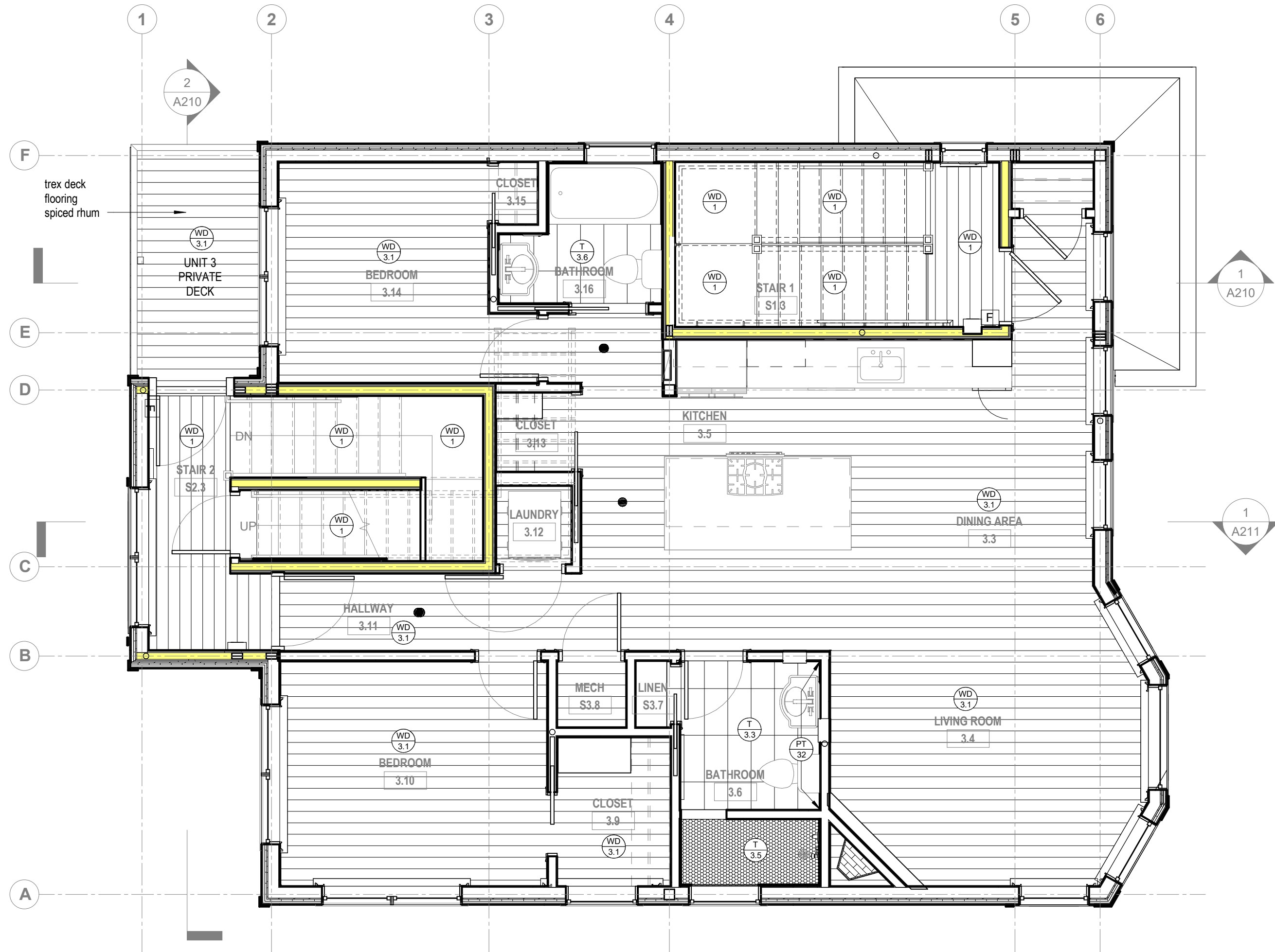
LEVEL 3 FINISH LEGEND			
TAG	MATERIAL	LOCATION	DESCRIPTION
PT1	Paint - 1	Common Area walls	TBD
PT2	Paint - 2	Common Area trim	TBD
PT3	Paint - 3	Common Area ceiling	TBD
PT3.1	Paint - 3.1	Unit 3 throughout (excluding bathrooms)	TBD
PT3.2	Paint - 3.2	Unit 3 bathroom walls	TBD
PT3.3	Paint - 3.3	Unit 3 trim	Benjamin Moore OC-117 Simply White - Semi-gloss
PT3.4	Paint - 3.4	Unit 3 ceiling	Benjamin Moore OC-117 Simply White - Flat
T3.1	Tile - 3.1	Kitchen backsplash	TBD
T3.2	Tile - 3.2	Fireplace surround	Tile; TBD
T3.3	Tile - 3.3	Master Bathroom flooring	Craft Series 12x24 Cotton
T3.4	Tile - 3.4	Master Bathroom shower surrounds	Craft Series 12x24 Cotton with Tec Silverado Power Grout
T3.5	Tile - 3.5	Master Bathroom shower floor	Craft Series wool Basketweave Mosaic with Tec Mist Power Grout
T3.6	Tile - 3.6	Guest Bathroom floor	Bits & Pieces 12x24 Pewter Smoke Matte with Tec Warm Taupe Power Grout
T3.7	Tile - 3.7	Guest Bathroom walls	Alaska White 4x8 Flat Gloss with Tec Warm Taupe Power Grout
T3.8	Tile - 3.8	Guest Bathroom walls	Alaska White 2x8 Bullnose Gloss with Tec Warm Taupe Power Grout
WD1	Hardwood Flooring	Common Area Flooring (Levels 1 - 3 & Stairs)	TBD
WD1	Hardwood Flooring	Unit 3 Flooring throughout (excluding bathrooms)	TBD
WD3.1	Exterior Decking - 3.1	Exterior Decks	Azek TBD
WB3	Baseboard	Unit 3 throughout	TBD

LIGHTING FIXTURE SCHEDULE														
Type Mark	Count	Description	Manufacturer	Model	Dimensions			Lamp		Control	Mounting	Remarks		
					W	D	H	No.	Type				Watts	
CF1.1	1	Ceiling Fan - Unit 1 - Living Room	Westinghouse Lighting Corporation	7801665 Matte Black w/ Frosted Glass		52" Dia		2	LED	60	ON/OFF	Ceiling		
CF2.1	1	Ceiling Fan - Unit 2 - Living Room	Craftmade Modern	Midoro - MO56		56" Dia	20 1/4"	4/2		25/60	ON/OFF	Ceiling		
CF2.2	2	Ceiling Fan - Unit 2 - Bedrooms	minkaAire	F519-BN		52" Dia	11.5"	1	HAL	100	ON/OFF	Ceiling		
CF3.1	1	Ceiling Fan - Unit 3 - Living Room	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling		
CF3.2	2	Ceiling Fan - Unit 3 - Bedrooms	minkaAire	F524-ABD		52" Dia	11.5"				ON/OFF	Ceiling		
FLX-1	1	Exterior Flood	Lithonia Lighting	OFLR 6LC 120 MO BZ	4 1/8"	7 5/8"	8 1/8"	6	LED	22	SENSOR	7'-6" AFF	Bronze Finish	
LED1	15	LED Closet Fixture	Bartco	BLT210-22-30-5-S2-SM-WH				1	LED	10	SENSOR		White Finish	
LED2	3	LED Under Cabinet Strip	Juno	SL212-20FT-30K-80CRI/DLDP5-60W-FPCZT				1	LED	2.2/ft	DIMMABLE	Under Cabinet	Clear	
LED3	3	LED Under Rail Strip	Klik	LPXL-28-F00-30K-1.9-A-FLD-SIM				1	LED	1.9	ON/OFF	Under Rail	T.B.D.	
P1.1	2	Kitchen Pendant - Unit 1	West Elm	Sculptural Glass Globe Pendant -Small		8 1/2" Dia	8"	1	LED	40	DIMMABLE	6'-0" AFF		
P1.2	1	Dining Room Pendant - Unit 1	Lighting Connection	Geometric Cage Lantern	20"		30"	4	LED	25	DIMMABLE	7'-6" AFF		
P1.4	3	Guest Bedrooms - Unit 1	Latitude Run	SKU: LRUN6557	24"	24"	13"	3	LED	60	DIMMABLE	Ceiling		
P2.1	3	Kitchen Pendant - Unit 2	Elk Group International	10435/1		10" Dia	9"	1	LED	60	DIMMABLE	6'-0" AFF		
P2.2	1	Dining Room Pendant - Unit 2	Meyda Lighting	25" Hyde Park T Mission 4 LT Chandelier	25"		35"	4	LED	60	DIMMABLE	7'-6" AFF		
P3.1	1	Dining Room Pendant - Unit 3	West Elm	Eclipse Chandelier		36" Dia	35"	6	CFL	10	DIMMABLE	7'-6" AFF		
P3.2	3	Living Room Pendant - Unit 3									DIMMABLE			
R1	49	Recessed Downlight	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish	
R2	12	Recessed Downlight - Bathrooms	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	DIMMABLE		White Finish	
R3	2	Recessed Downlight - Directional	USAI	B3RAF-15L2-30KS-25-S-WH-NCIC-UNV-D21				1	LED	15	DIMMABLE		White Finish	
RX1	1	Recessed Downlight - Exterior	USAI	P3RDF-15L2-30KS-F-WH-NC-120V-D21				1	LED	15	TIMER		White Finish	
SM1	21	Surface Mounted Downlight	USAI	BLRD5-12C3-30KS-50-S-WH-RB-UNV-D2				1	LED				White Finish	
SML1	10	Surface Mounted Troffer- 1X4	Lithonia Lighting	CLX-L48-3000LM-SEF-FDL-120-GZ10-30K-80C RI-WH				1	LED	22	ON/OFF		White Finish	
SML2	7	Surface Mounted Troffer - 2X2	Lithonia Lighting	2TLX2-20L-FW-A12-120-EZ1-LP830				1	LED	18	ON/OFF		White Finish	
WS1.1	2	Wall Sconce - Master Bathroom - Unit 1	Modern Forms	WS-W81625	25"	2 3/4"	3"	N/A	LED	20	ON/OFF	5'-6" AFF; Verical		
WS1.2	1	Wall Sconce - Guest Bathroom - Unit 1	Modern Forms	WS-W81619	19"	2 3/4"	3"	N/A	LED	15	ON/OFF	6'-6" AFF; Horizontal		
WS2.1	1	Wall Sconce - Living Room - Unit 2	TBD								DIMMABLE			
WS2.2	1													
WS2.3	1													
WS3.1	2	Wall Sconce - Master Bathroom - Unit 3									ON/OFF			
WS3.2	2	Wall Sconce - Master Bedroom - Unit 3	West Elm	Arc Mid-Century Sconce - Single	4"	6"	6"	1	CFL	13	DIMMABLE	5'-6" AFF; Upward		
WS3.3	2	Wall Sconce - Guest Bathroom - Unit 3									ON/OFF			
WSX1	7	Wall Sconce - Exterior - Entry	Norwell Lighting	Weymouth							TIMER			
WSX3	3	Wall Sconce - Exterior - Private Deck	Norwell Lighting	Weymouth							ON/OFF			
XP1	8	Exterior Post - Bollard	Lumen Pulse	MOB3201-120-L30-40K-S-Finish-NO		6" Dia	39"	1	LED	30	TIMER	N/A	T.B.D.	
Grand total: 175														

## Electrical Fixture Legend



2 UNIT 3 ELECTRICAL LAYOUT  
1/4" = 1'-0"



1 UNIT 3 FINISH PLAN  
1/4" = 1'-0"

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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
UNIT 3 ARCHITECTURAL  
ELECTRIC & FINISH  
PLANS

project number	drawing scale	approver
092	As indicated	AS
drawing number		revision

A133

8





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revision	revision description	date
1	ZBA REVIEW	06/14/2017
2	ZBA REVIEW REV1	06/20/2017
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
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30 Berkshire St., Cambridge, MA 02141

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Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

**JOE THE ARCHITECT**

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

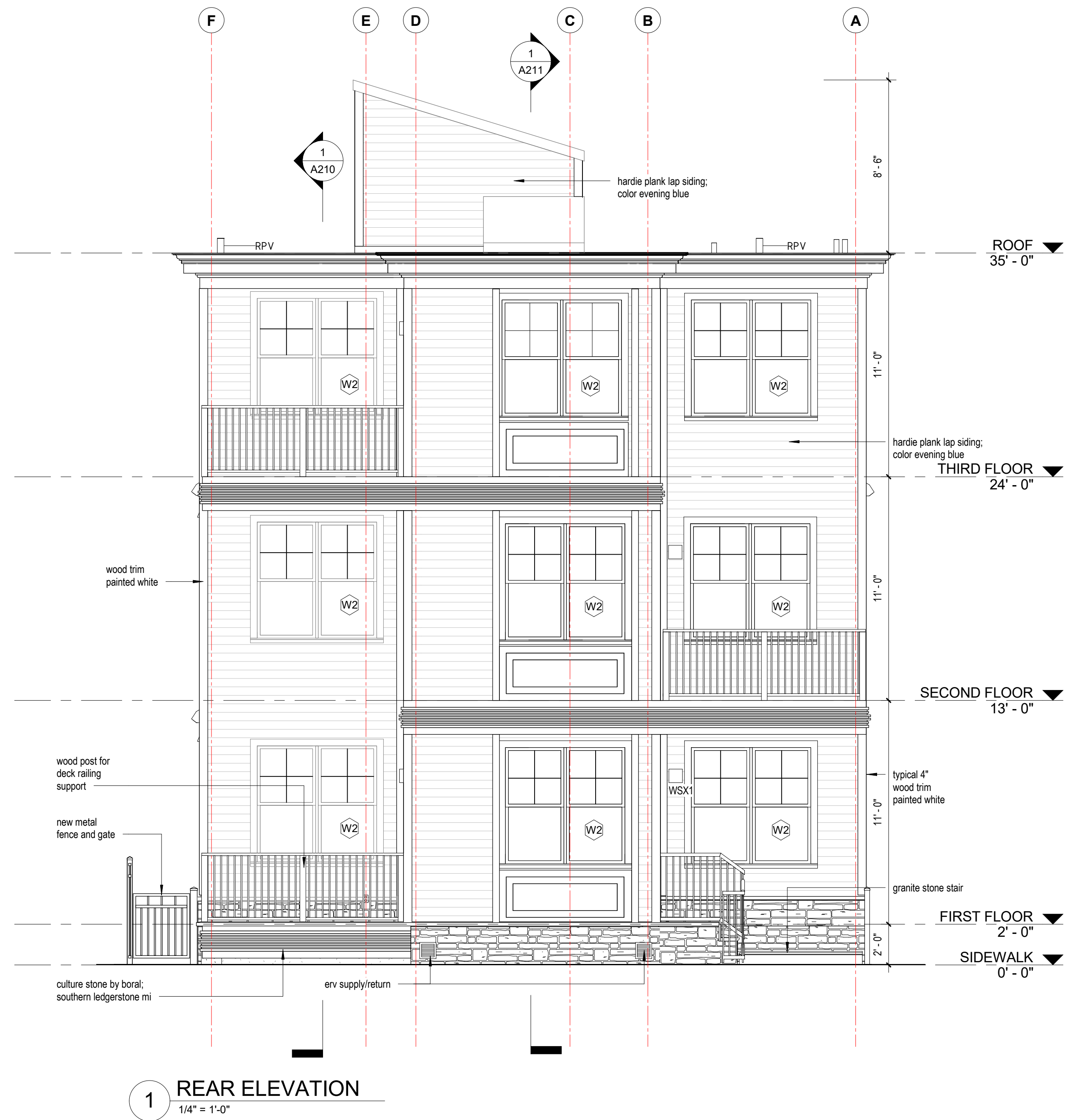
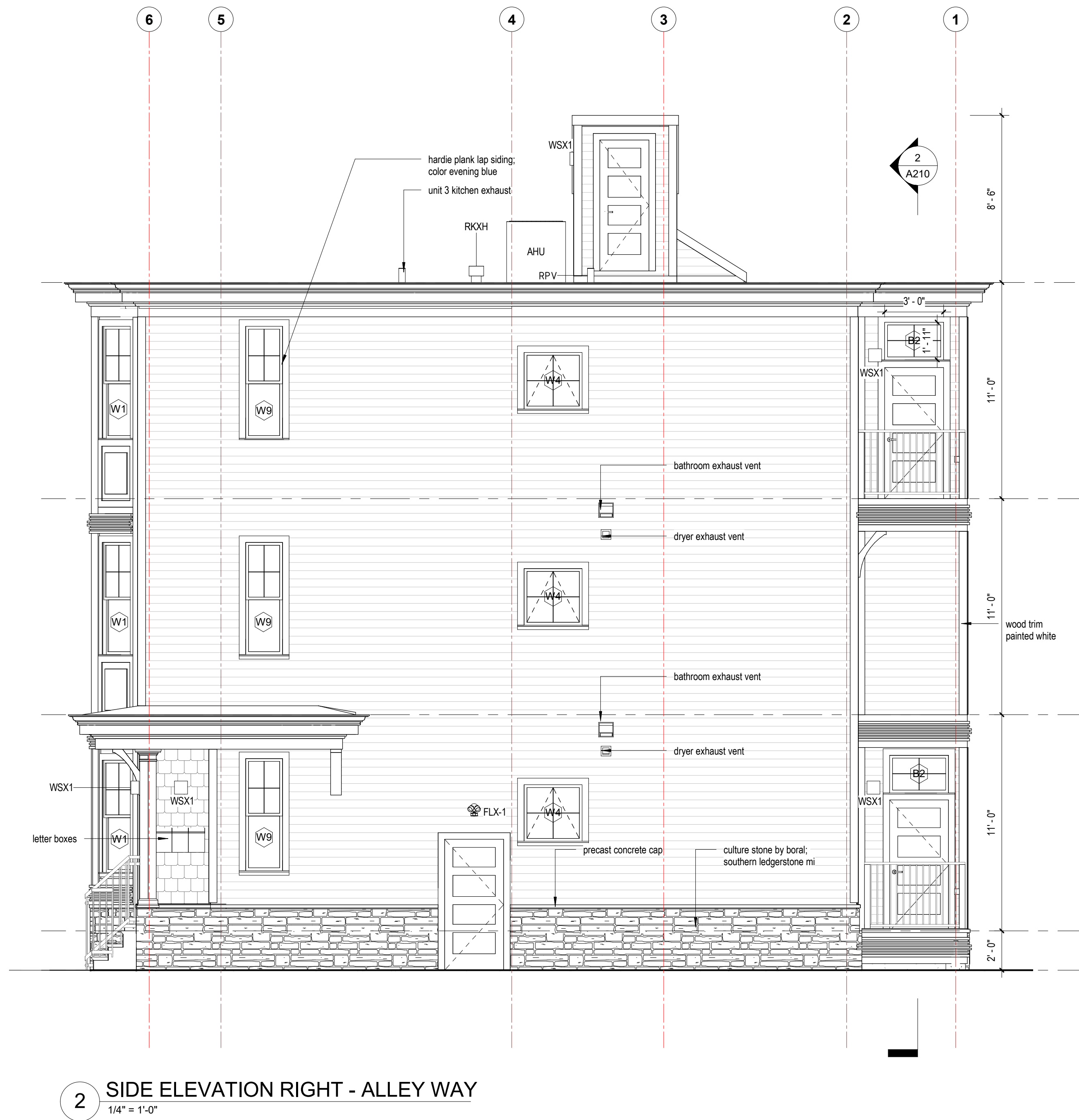
drawing title  
**EXTERIOR ELEVATIONS**

project number <b>092</b>	drawing scale <b>1/4" = 1'-0"</b>	approver <b>AS</b>
drawing number	revision	

**A200**

8

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8	FOR PERMIT/PRICING	07/13/2018

project title

BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client

Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

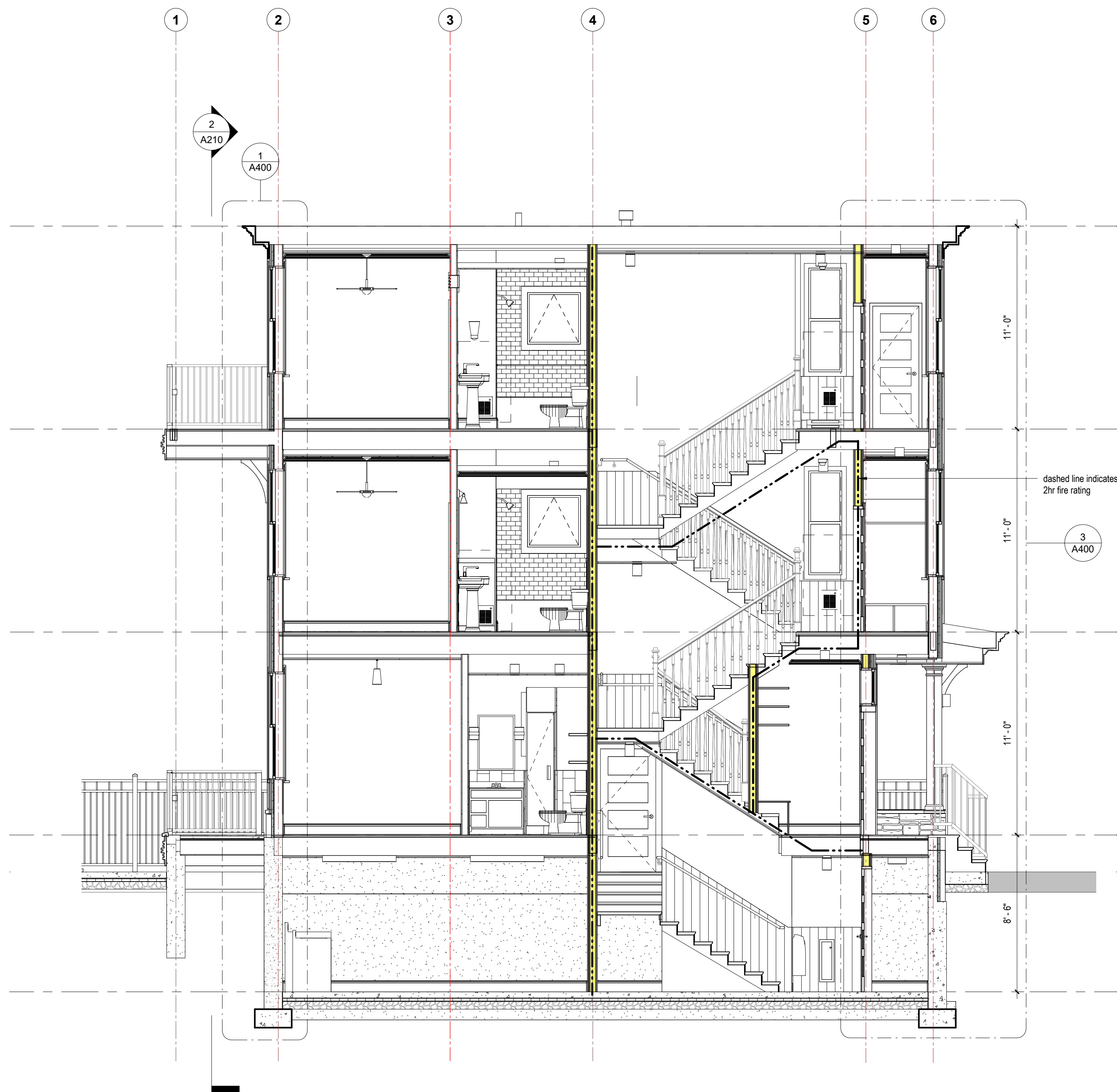
drawing title

EXTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/4" = 1'-0"	Approver
drawing number	revision	
A201	8	



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1 BUILDING SECTION  
1/4" = 1'-0"



2 BUILDING SECTION  
1/4" = 1'-0"

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project title  
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30 Berkshire St., Cambridge, MA 02141

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Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

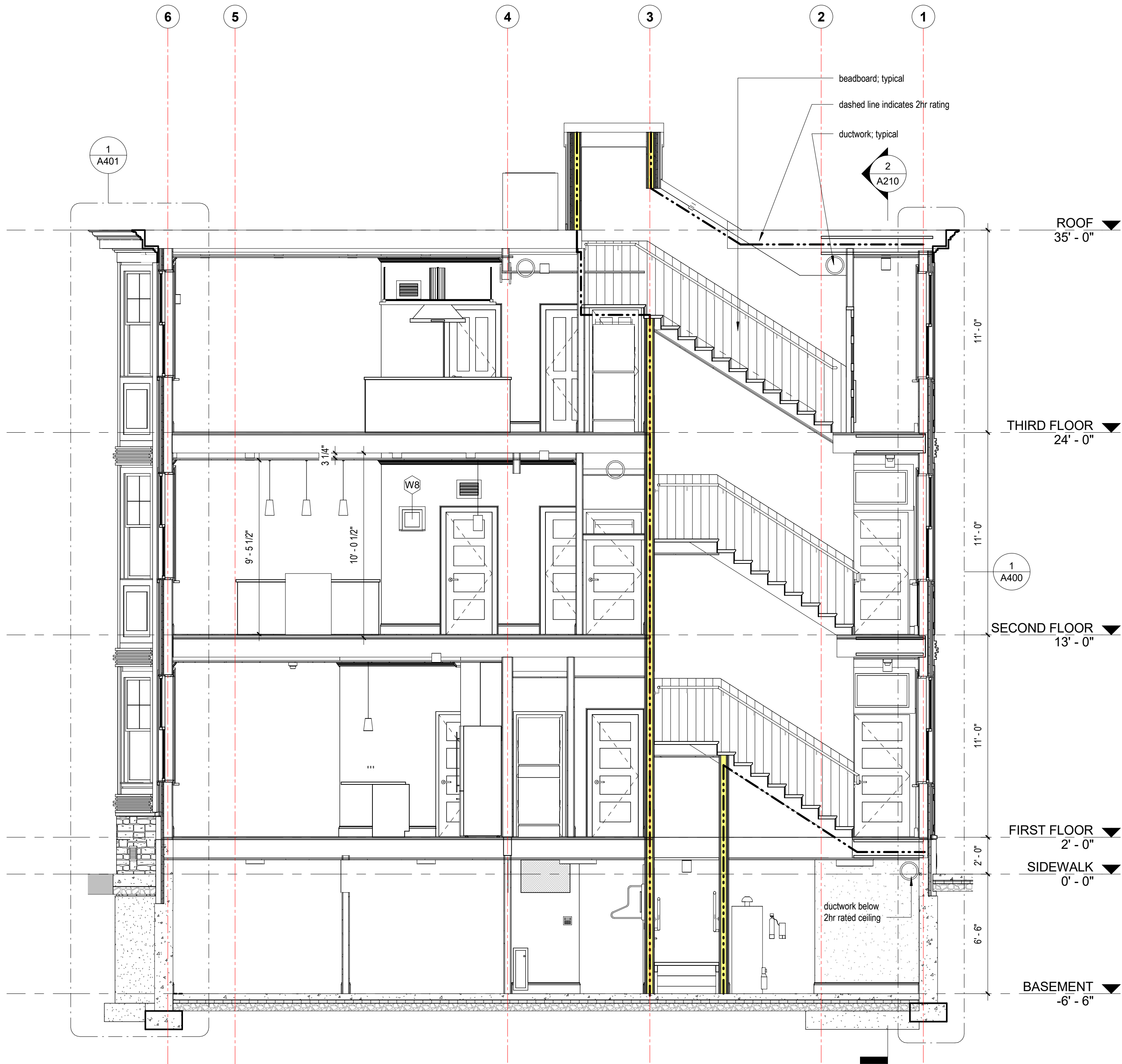
drawing title  
BUILDING SECTIONS

project number 092	drawing scale 1/4" = 1'-0"	approver Approver
drawing number	revision	8

A210



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1 BUILDING SECTION  
1/4" = 1'-0"

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30 Berkshire St., Cambridge, MA 02141

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Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

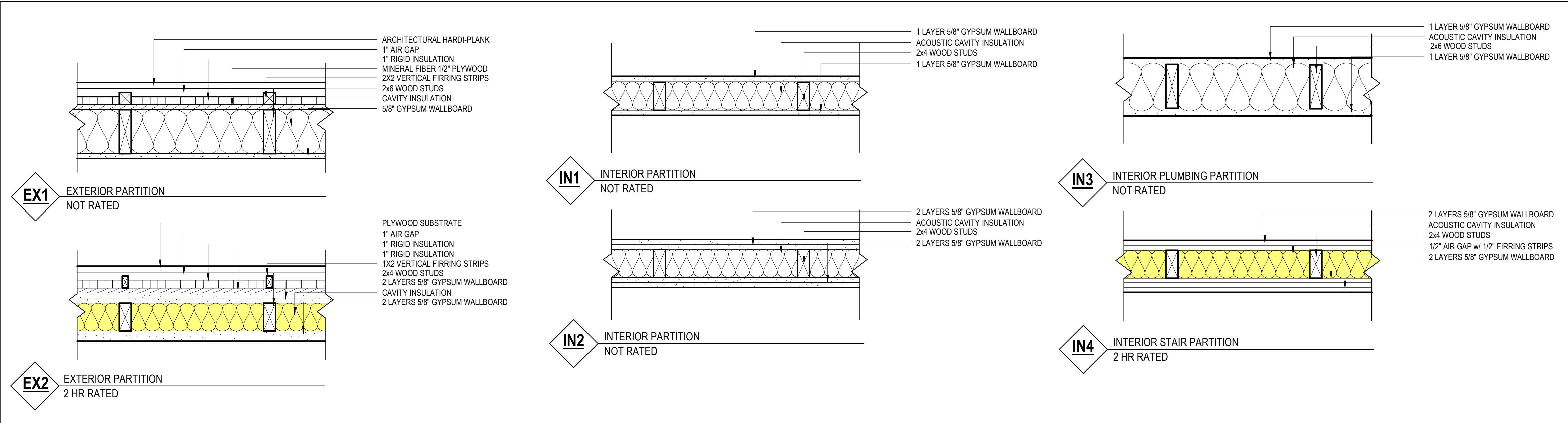
website www.joethearchitect.com

drawing title  
BUILDING SECTIONS

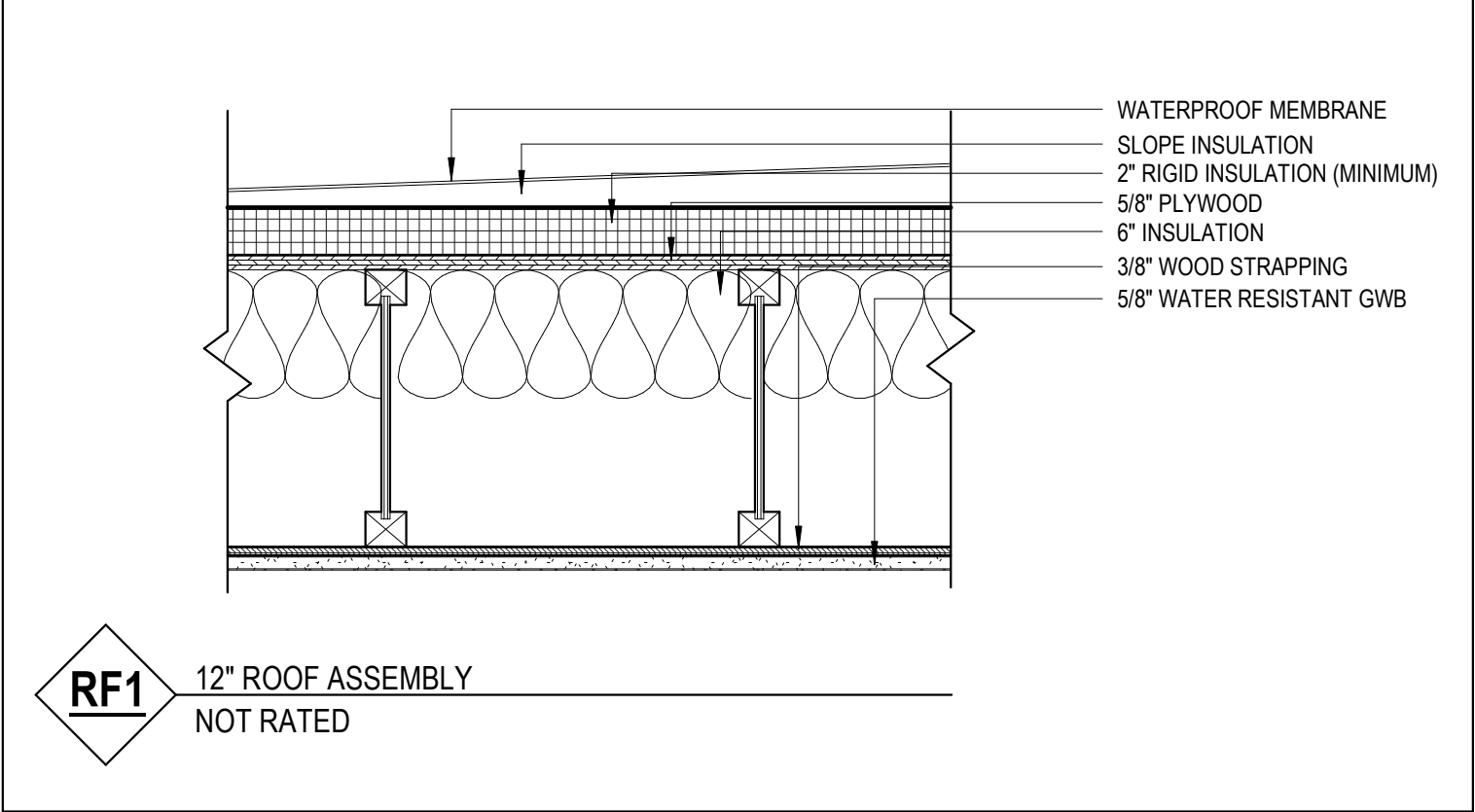
project number	drawing scale	approver
092	1/4" = 1'-0"	Approver
drawing number	revision	

A211 8

WALL TYPE LEGEND



ROOF TYPE LEGEND



Window Notes

1.

Unit 1 to have painted maple interior - black
2.

Unit 2 to have painted maple interior - white; W8 window type to be painted maple - white on both sides.
3.

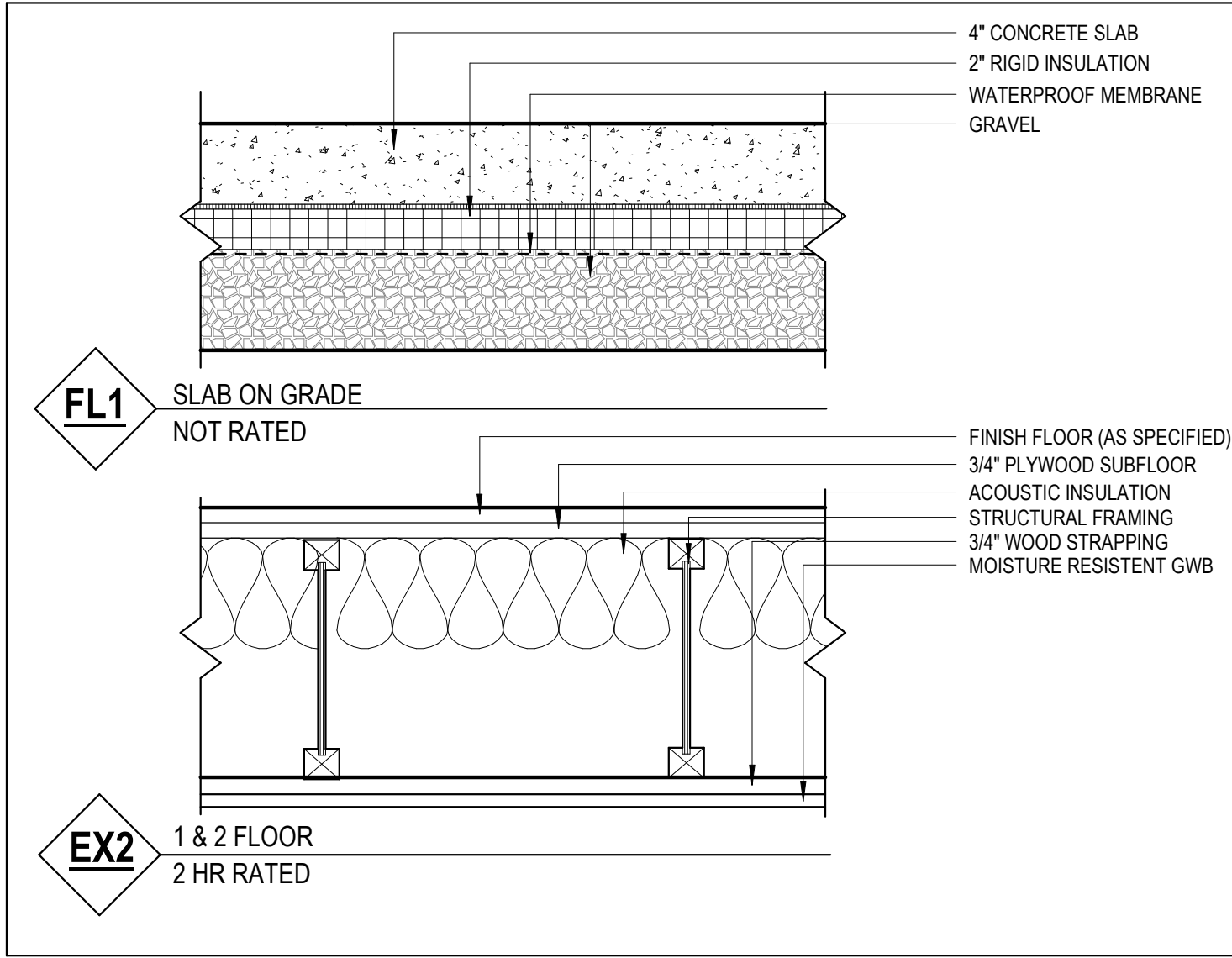
Unit 3 to have painted maple interior - sandstone

WALL TYPE NOTES

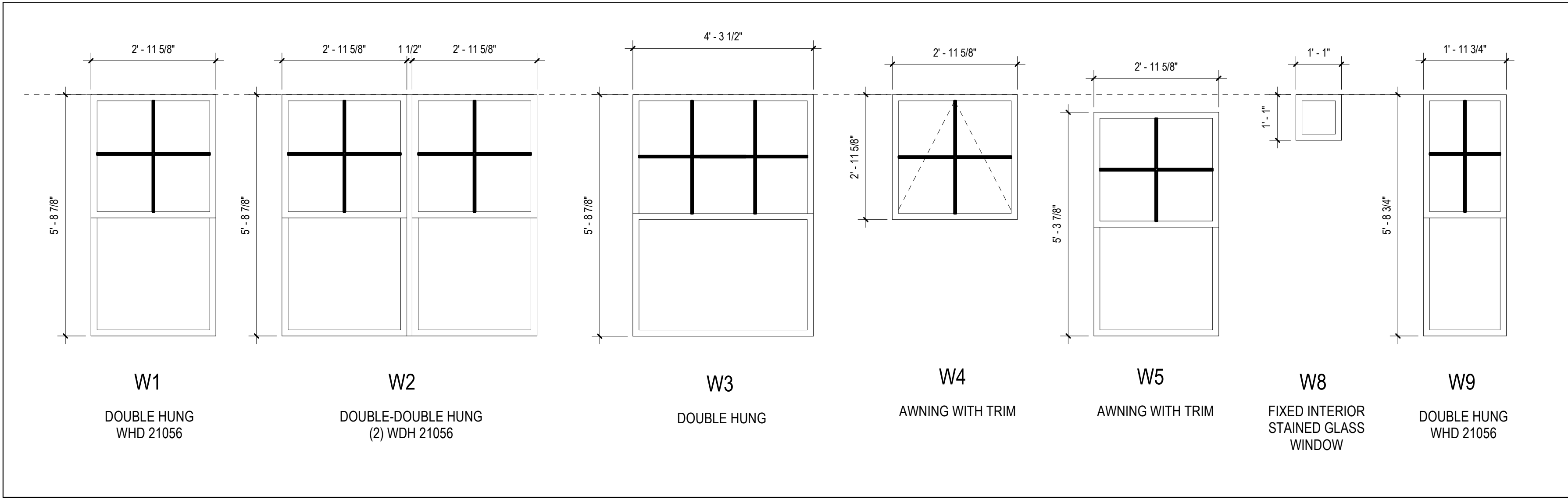
1.

See sheet A002 for abbreviations and typical mounting heights.

FLOOR TYPE LEGEND



WINDOW LEGEND



TYPE MARK	SIZE		QUANTITY	TYPE	Manufacturer	Model
	WIDTH	HEIGHT				
B2	3'-1 1/2"	2'-0 1/2"	6	35" x 24.5"	Andersen Corporation	400- Series
U	3'-0"	2'-0"	6	36" x 24"	Andersen Corporation	400- Series
W	2'-6"	4'-0"	1	30" x 48"	Andersen Corporation	400- Series
W1	3'-0"	5'-10"	17	36" x 70"	Andersen Corporation	400- Series
W2	6'-0"	5'-10"	12	72" x 70"	Andersen Corporation	400- Series
W3	4'-6"	5'-10"	3	54" x 70"	Andersen Corporation	400- Series
W4	3'-1"	3'-0"	7	37" x 36"	Andersen Corporation	400- Series
W5	3'-0"	5'-4 1/2"	1	36" x 65"	Andersen Corporation	400- Series
W8	1'-2 1/2"	1'-2 1/2"	1	12" x 12"	Andersen Corporation	400- Series
W9	2'-0"	5'-10"	3	24" x 70"	Andersen Corporation	400- Series
W14	1'-0"	0'-8"	10	REGISTER 8X12	Andersen Corporation	400- Series
W15	3'-1 1/2"	1'-6 1/2"	3	32" x 18" 2" Trim		

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project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
**WALL TYPE AND WINDOW SCHEDULE AND EQUIPMENT**

project number	drawing scale	approver
092	As indicated	AS
drawing number	revision	

A300

8





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1 WALL SECTION  
3/8" = 1'-0"

2 ENLARGED EXTERIOR ELEVATION  
3/8" = 1'-0"

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BERKSHIRE STREET RESIDENCE  
  
30 Berkshire St., Cambridge, MA 02141  
  
client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com  
  
website www.joethearchitect.com

drawing title  
WALL SECTIONS

project number 092	drawing scale 3/8" = 1'-0"	approver AS
drawing number		revision 8

A401





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project title  
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client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

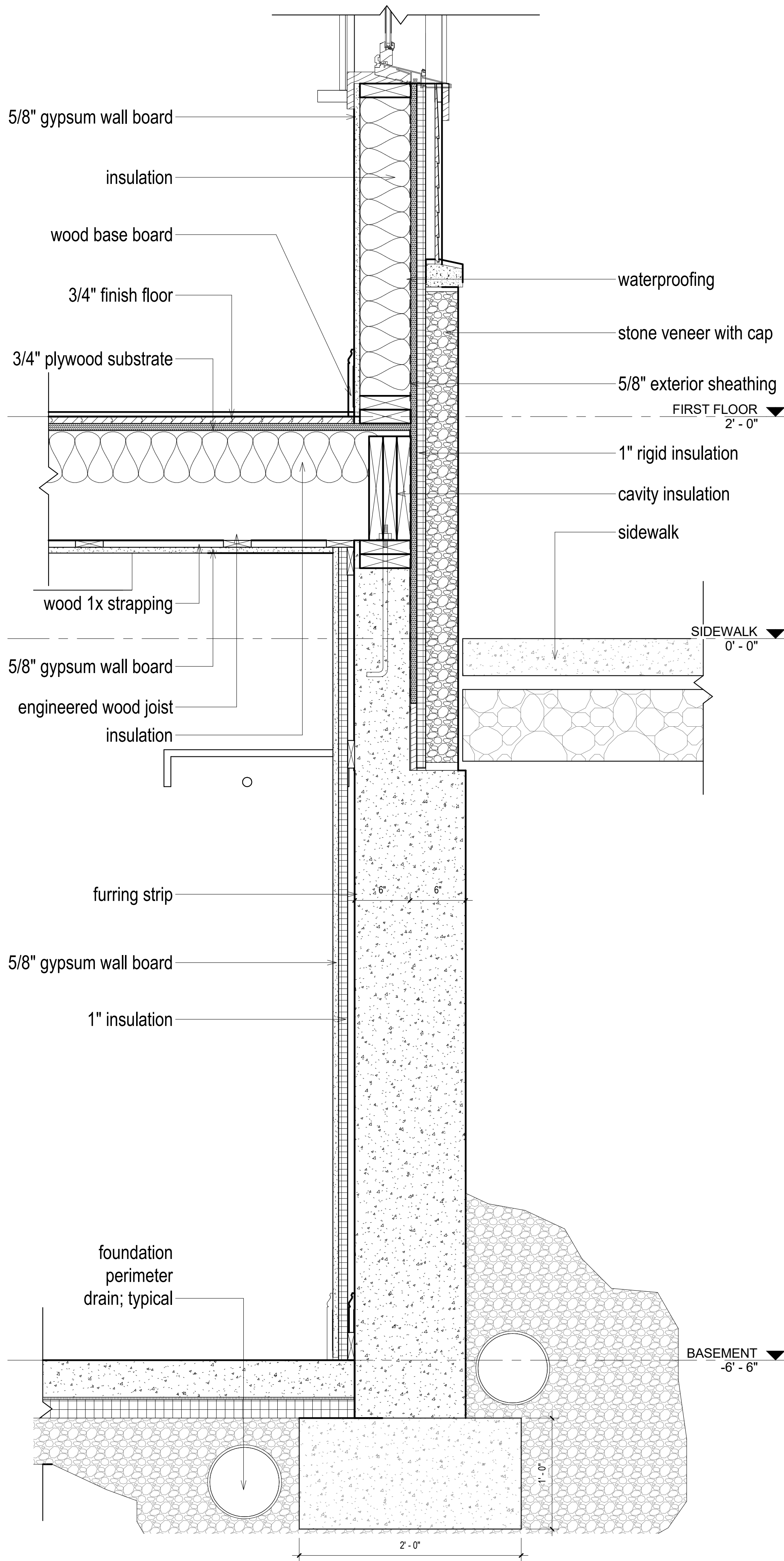
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Somerville, MA 02145  
t: +1(617) 764-3593  
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drawing title  
WALL SECTIONS

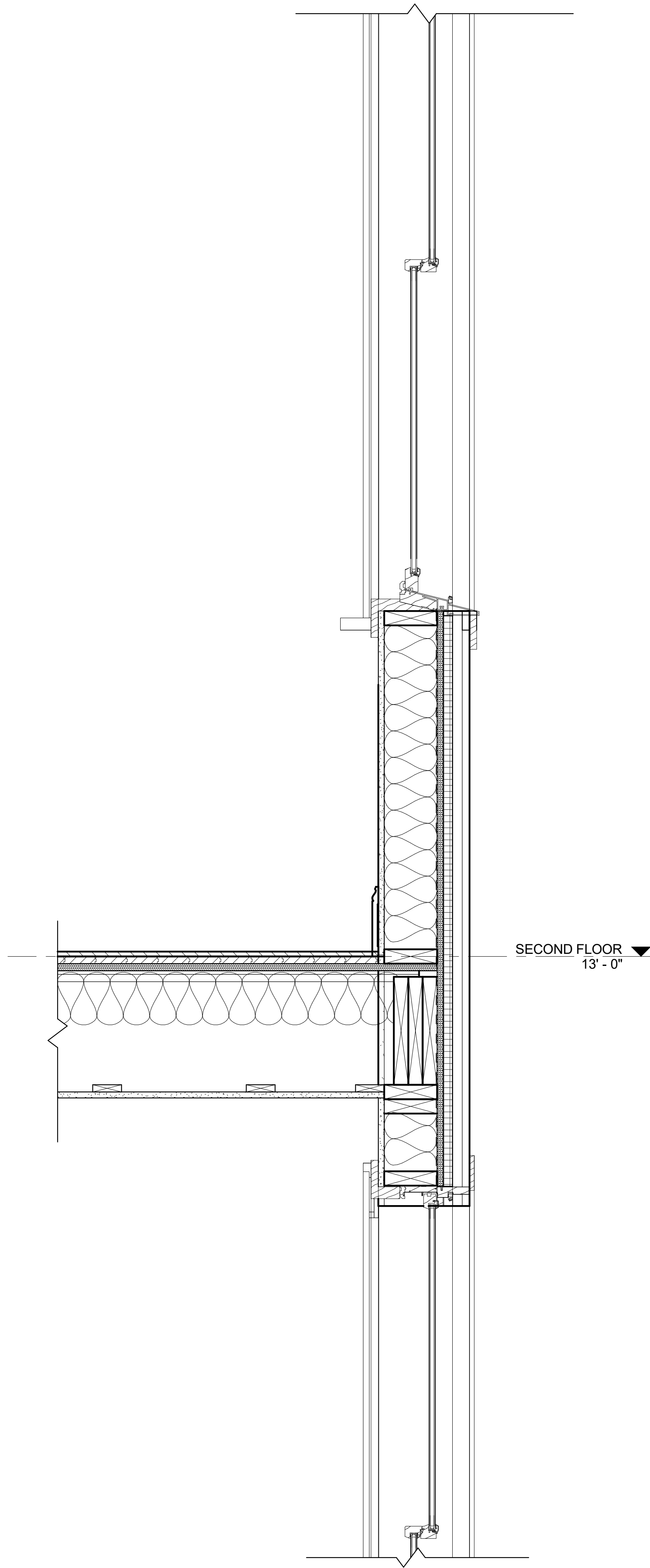
project number 092	drawing scale 3/8" = 1'-0"	approver AS
drawing number		revision 8

A402

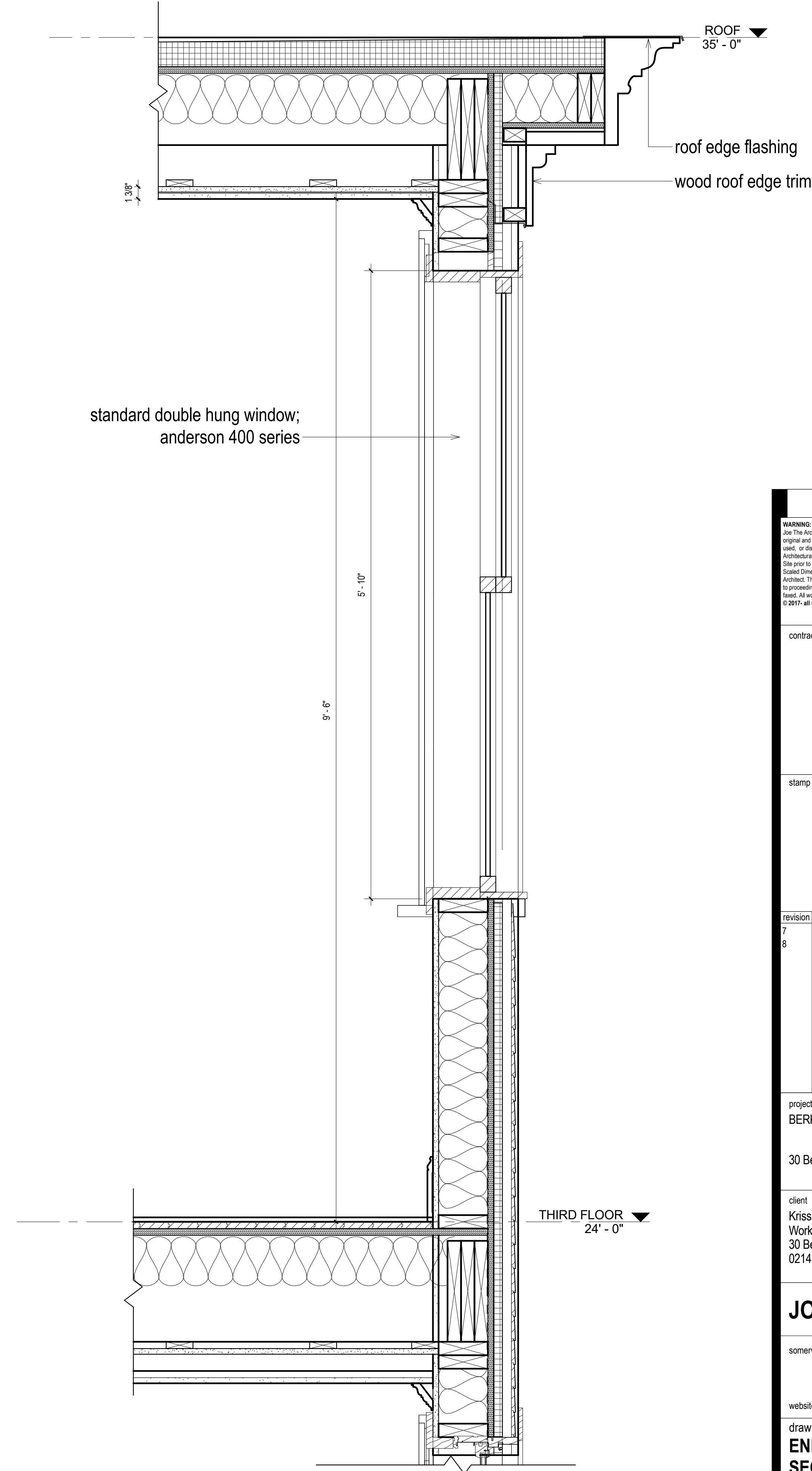




1 WALL SECTION  
1 1/2" = 1'-0"



2 WALL SECTION  
1 1/2" = 1'-0"



3 WALL SECTION  
1 1/2" = 1'-0"

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Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

**JOE THE ARCHITECT**

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
**ENLARGED WALL SECTIONS**

project number	drawing scale	approver
092	1 1/2" = 1'-0"	Approver
drawing number	revision	

**A410**

8



DOOR LEGEND



DOOR AND FRAME SCHEDULE												
Type Mark	Count	DOOR										COMMENTS
		OPENING				PANEL						
		WIDTH	HEIGHT	R.O. WID	R.O. HGT	TYPE	THICK	Double?	Unequal?	CONFIG	PANEL WIDTH	
A16	1	1' - 4"	6' - 8"	1' - 8"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
A24	1	2' - 0"	6' - 8"	2' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
A30	14	2' - 6"	6' - 8"	2' - 10"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
A36	10	3' - 0"	6' - 8"	3' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
A36T	3	3' - 0"	6' - 8"	3' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
A48	2	4' - 0"	6' - 8"	4' - 4"	6' - 10"	P4H	0' - 1 9/16"	Yes	No	PAIR		
B30	2	2' - 6"	6' - 8"	2' - 10"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
B36	1	3' - 0"	6' - 8"	3' - 4"	6' - 10"	P4H	0' - 1 3/4"	No	No	SINGLE		
C36	3	6' - 0"	6' - 8"	6' - 3 5/32"	6' - 9 9/16"	P4H	0' - 1 9/16"	Yes	No	PAIR		
D24	1	2' - 0"	6' - 8"	2' - 3"	6' - 9 1/2"	P4H	0' - 1 3/8"	No	No	SINGLE		
D28	4	2' - 4"	6' - 8"	2' - 7"	6' - 9 1/2"	P4V	0' - 1 3/8"	No	No	SINGLE		

DOOR AND FRAME SCHEDULE												
Type Mark	Count	DOOR										COMMENTS
		OPENING				PANEL						
		WIDTH	HEIGHT	R.O. WID	R.O. HGT	TYPE	THICK	Double?	Unequal?	CONFIG	PANEL WIDTH	
D30	3	2' - 6"		2' - 9"				No	No	SINGLE		
D40	4	3' - 2"	6' - 8"	3' - 5"	6' - 9 1/2"		0' - 1 3/8"	No	No	SINGLE		
E36	6	3' - 0"	6' - 8"	3' - 8"	7' - 0"	P4H	0' - 1 3/4"	No	No	SINGLE		
F18	1	2' - 0 1/8"	6' - 1 1/2"									
H30	1	2' - 6"	6' - 8"	3' - 2"	7' - 0"	P4H	0' - 1 3/4"	No	No	SINGLE		
H36	1	3' - 0"	6' - 8"	3' - 8"	7' - 0"	P4H	0' - 1 3/4"	No	No	SINGLE		
J30	3											
Grand total: 61												

DOOR NOTES

1. 3rd floor door panels to be 4 panels vertical
2. Unit 1 door hardware to be Schlage Latitude series; matte black lever hardware.
3. Unit 2 door hardware to match kitchen hardware; oil-rubbed bronze.
4. Unit 2 entry doors to match knobs pull style and finish from common area side.
5. Unit 3 door hardware TBD.

For Permit

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contractor/consultant		
stamp		
revision	revision description	date
4	FOR PRICING	09/14/2017
5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client  
Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title DOOR LEGEND		
project number 092	drawing scale As indicated	approver AS
drawing number A430	revision 8	

Multi-Category Schedule			
Type Mark	Manufacturer	Model	Description
FX1-1	Bosch	SHXM98W75N	800 Series – Stainless Steel 24" Bar Handle Dishwasher
FX1-2A	Frigidaire	FPUR2919-D10	Frigidaire Undermount Stainles Stel Kitchen Sink, 10m Radius Corners, 16 Gauge, Dep Basin, 27"
FX1-2B	Delta	9159-BL-DST	Trinsic Single Handle Pull-Down Kitchen Faucet; Matte Black
FX1-3	Bosch	HGI8054UC	800 Series – Stainless Steel 30" Gas Slide-in Range
FX1-4	Bosch	B21CT80SNS	800 Series – Stainless Steel 36" Counter-Depth 3-Door Refrigerator
FX1-5	Moen	MT3293	ALIGN™ MOENTROL® Single-Handle Tub/Shower Trim Only
FX1-6G	TOTO	cst744sl#01	Drake 2 Piece 1.6GPF Single Flush Elongated Toilet in Cotton White
FX1-6M	TOTO	cst744sl#01	Drake 2 Piece 1.6GPF Single Flush Elongated Toilet in Cotton White
FX1-7A	Delta	T17259-SSLHD	Trinsic Bathroom 17 Series MC Shower Trim
FX1-7B	Universal	58480-PK	Showering Components Shower Faucet with H2okinetic Technology
FX1-8A	Delta	559HA-DST	Trinsic Bathroom Single hole Bathroom Faucet with Drain Assembly and Diamond Seal Technology
FX1-8B	Neuman	EBDG7757	36" Single Bathroom Vanity Set with Mirror
FX1-9A	New Yorker	KBCL1066	36" Single Bathroom Vanity Set
FX1-9B	Trinsic	3559-MPU-DST	Bathroom Widespread Bathroom Faucet with Drain Assembly and Diamond Seal Technology
FX1-10	American Standard	2461.028W	Cambridge 5ft. Left Drain Bathtub in White
FX1-11	Electrolux	EFLS627U TT / IW	Electrolux FRONT LOAD WASHERS EFLS627U TT / IW
FX1-12	Electrolux	EFME627U TT / IW	Electrolux ELECTRIC FRONT LOAD DRYER EFME627U TT / IW
FX1-13	Bosch	HMVP053U	Benchmark Series – Stainless Steel 30" Over The Range Convection Microwave
FX2-1	Kenmore	70343	Kenmore 70343 27.2 cu. ft. French Door Refrigerator - Stainless Steel
FX2-2	Kenmore	14753	Kenmore Elite 14753 24" Built-In Dishwasher - Stainless Steel
FX2-3A	Sterling	11722-1	Under-mount Kitchen Sink
FX2-3B	Kohler	K-99262	Artifacts Kitchen Sink Faucet Swing Spout w/Spray
FX2-4	Kenmore	32603	Kenmore 32603 4.5 cu. ft. Slide-In Gas Range - Stainless Steel
FX2-4A	Thermador	UCVM30RS	30 Inch Downdraft Ventilation Masterpiece Series
FX2-5A	Fairmont	1504-V30	Smithfield 30" Vanity Med Grey
FX2-5B	Kohler	K-10577-4P	Bancroft Widespread Bathroom Sink Faucet
FX2-5C	Fairmont	T-3122	3/4" Marble/Granite Top
FX2-6G	Kohler	K-6925	Adair Class Five Toilet
FX2-6M	Kohler	K-3639	Kohler Archer Toilet
FX2-7A	Kohler	K-72421	Awaken B110 Multifunction Handshower
FX2-7B	Kohler	T10595-4P-CP	Bancraft Trans Valve Trim White Cermatic Level Handel
FX2-8	Kohler	K-2362-8	Cimarron Pedestal Bathroom Sink
FX2-9	Kohler	K-716	Villager 5' Bath
FX2-10	Kohler	K-TS461-4V	Memoirs Stately Rite-Temp Bath and Shower Valve Trim
FX2-11	Chaska	CSK-29-L	Chaska 29-Log Directc Vent Gas Fireplace Insert
FX2-12	Kenmore	41262	Front-Load Washer - White
FX2-13	Kenmore	81282	Kenmore Electric Dryer - White
FX2-14	TBD	TBD	TBD
FX2-15	Kenmore	80333	Kenmore 80333 1.7 cu. ft. Over-the-Range Microwave - Stainless Steel
FX2-16	Kohler	K-454-4V	Memoirs Stately Widespread Bathroom Sink Faucet
FX2-17	Fairmont	1504-MC24	Smithfield 24" Medicine Cabinet
FX2-18	Kohler	K-11411	Bancroft 24" Towel Bar
FX2-19	Kohler	K-11415	Bancroft Toilet Tissue Holder
FX2-20	Kohler	10555	Devonshire Robe Hook
FX2-21	TBD	TBD	Towel Ring
FX2-22	TBD	TBD	Towel Ring
FX2-23	Kohler	K-490	Memoirs Stately Toilet Tissue Holder
FX3-1	Kalamera	KRC-46DZB-TGD	Wine refrigerator 46 Bottle Dual Zone Built-in and Freestanding
FX3-2A	Franke	PTX110-25	Pescar Kitchen Sink
FX3-2B	Delta	9159-AR-DST	Trinsic Single Handle Pull-Down Kitchen Faucet
FX3-3	Bosch	SHS5AV55UC	Ascenta Scoop Handle Dishwasher
FX3-4	Bosch	B21CL80SNS	800 Series Counter-Depth 4-Door Refrigerator
FX3-5	Bosch	HGI8054UC	800 Series Gas Slide-in Range
FX3-6	Chaska	CSK-29-L	Chaska 29-Log Directc Vent Gas Fireplace Insert
FX3-7A	Mirabelle	MIRBR8010BN	BOCA RATON COLLECTION TRANSFER VALVE TRIM KIT
FX3-7B	Mirabelle	MIRHS4020ECP	CUSTOM SHOWERING 5 FUNCTION HANDSHOWER
FX3-8G	American Standard	207AA.104	Estate Vormax Right Height Elongated Toilet; White
FX3-8M	American Standard	207AA.104	Estate Vormax Right Height Elongated Toilet; White
FX3-9A	American Standard	0282.008	"Retrospect" Pedestal Bathroom Sink WHITE 8" CC
FX3-9B	Mirabelle	MIRWSCBR801CP	Bcoa Raton Bathroom Sink Faucet; Polished Chrome
FX3-10A	LG	WM3770H_A	4.5 cu.ft. Front Load Washer w/ TurboWash
FX3-10B	LG	DLEX3370_/DLGX3371_	Ultra Large Capacity SteamDryer™ w/ NFC Tag On
FX3-11A	American Standard	0282.008	Estate Vormax Right Height Elongated Toilet; White
FX3-11B	Mirabelle	MIRWSCBR801CP	Bcoa Raton Bathroom Sink Faucet; Polished Chrome
FX3-12	American Standard	2460.028W	Cambridge 5' Whirlpool and Bathing Pool
FX3-13	Mirabelle	MIRBR8030ECP	Boca Raton collection single-handel tub and shower trim kit chrome

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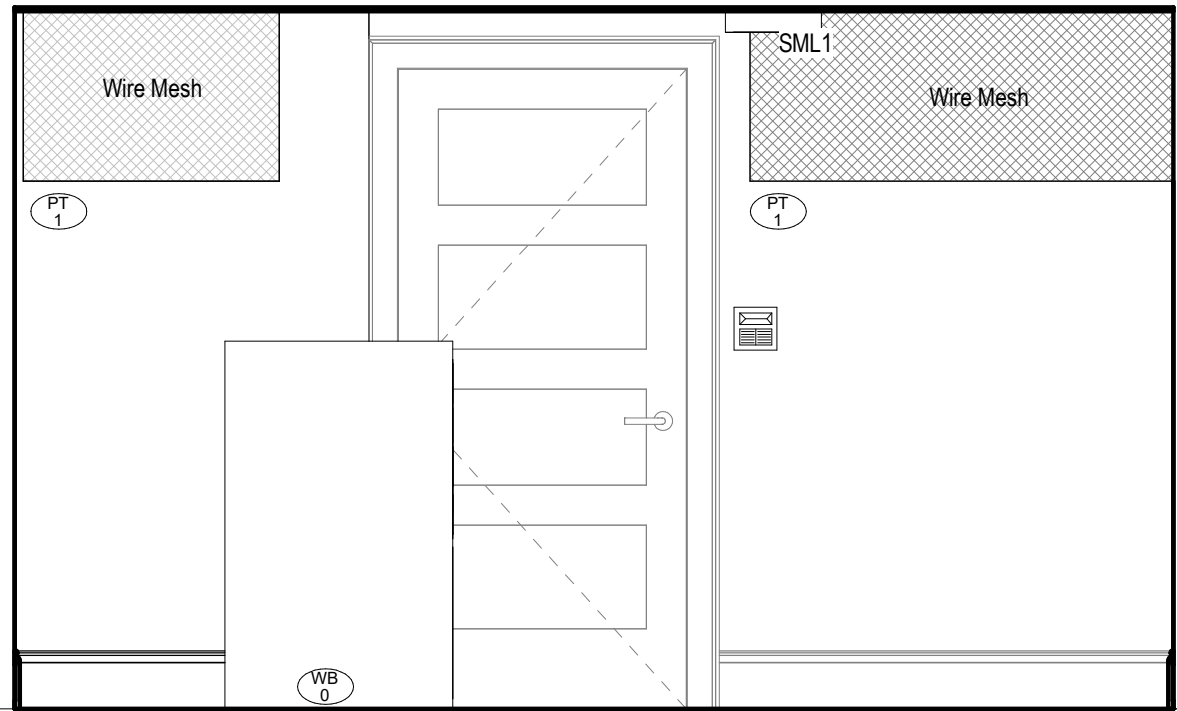
contractor/consultant		
stamp		
revision	revision description	date
8	FOR PERMIT/PRICING	07/13/2018

project title
BERKSHIRE STREET RESIDENCE
30 Berkshire St., Cambridge, MA 02141
client
Krissy Ellsworth, Denyce Wicht, Michael Workman
30 Berkshire Street, Cambridge, MA 02141

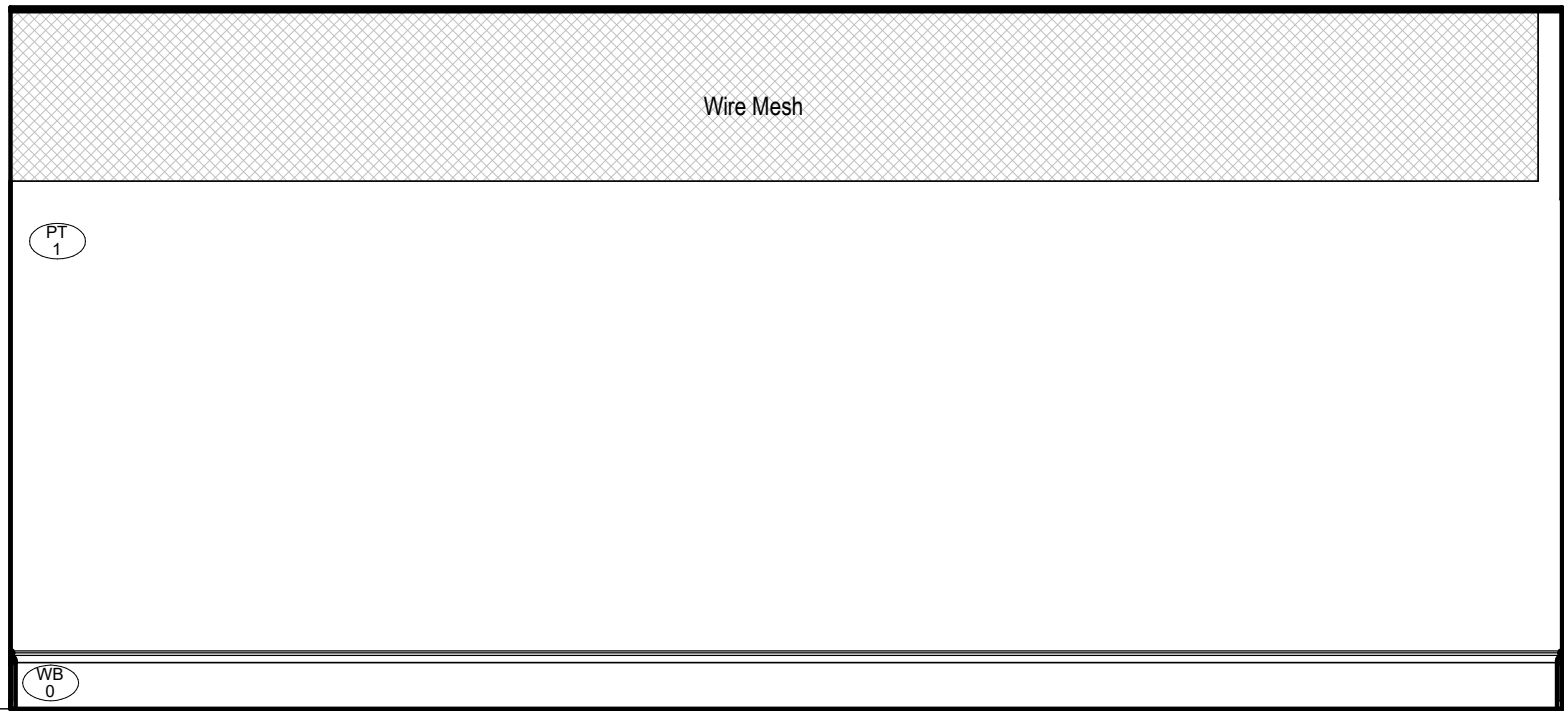
JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(617) 764-3593 e: info@joethearchitect.com	
website www.joethearchitect.com	
drawing title <b>SCHEDULES</b>	
project number <b>092</b>	drawing scale
approver <b>Approver</b>	
drawing number <b>A431</b>	revision <b>8</b>

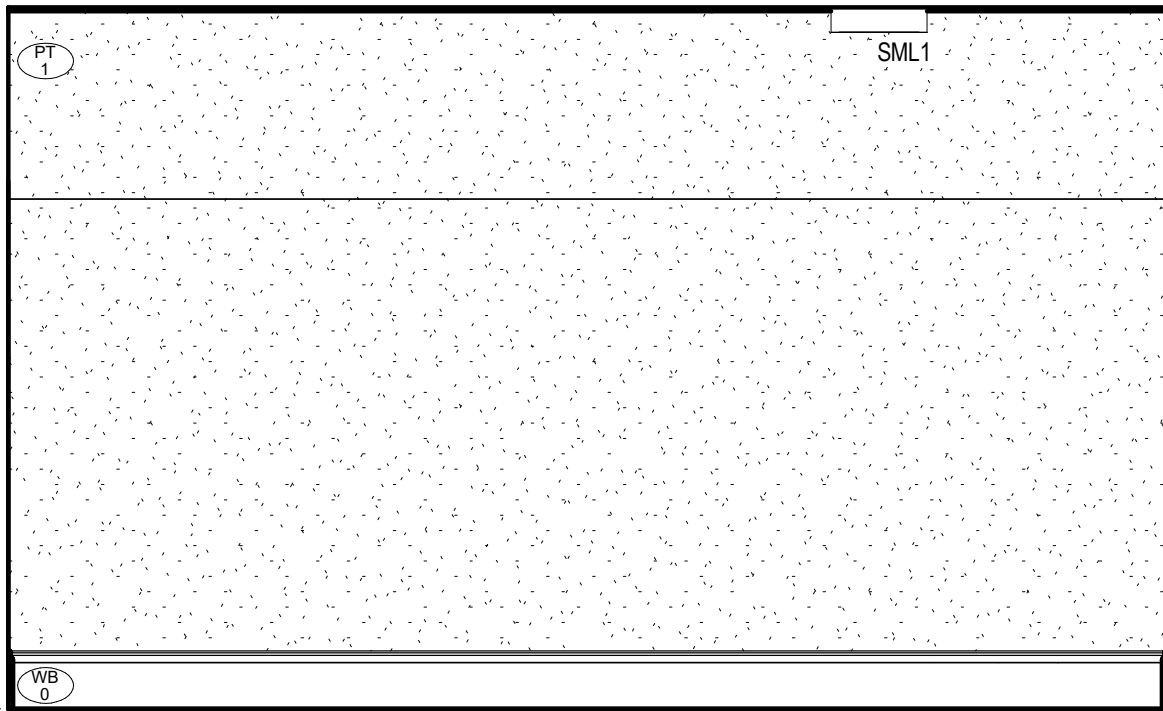




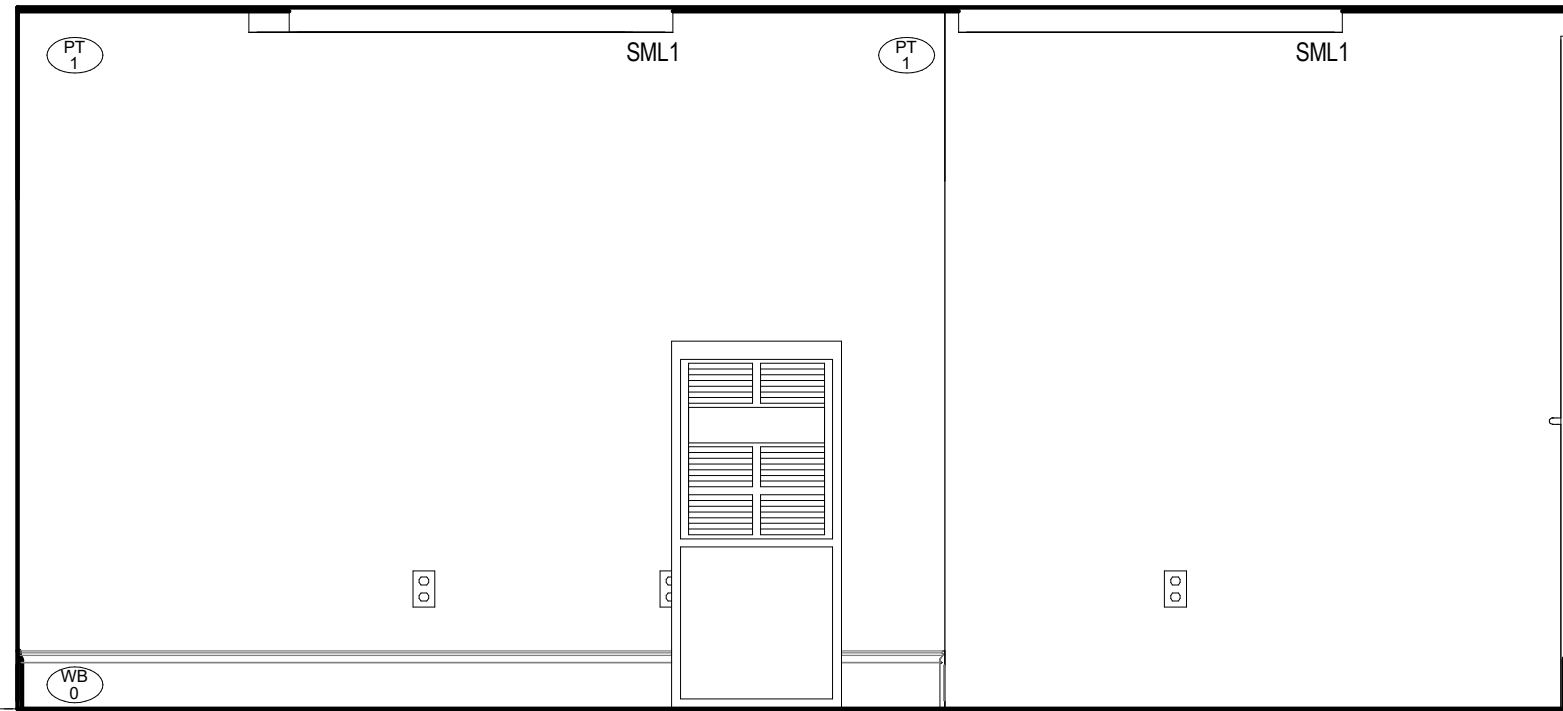
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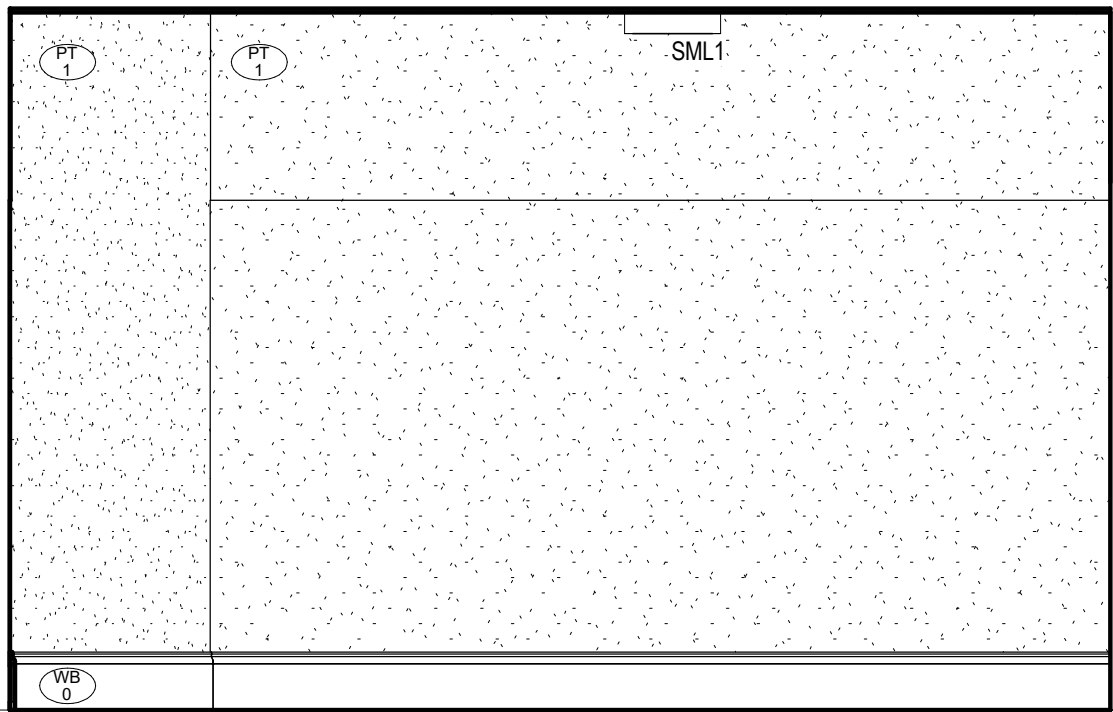
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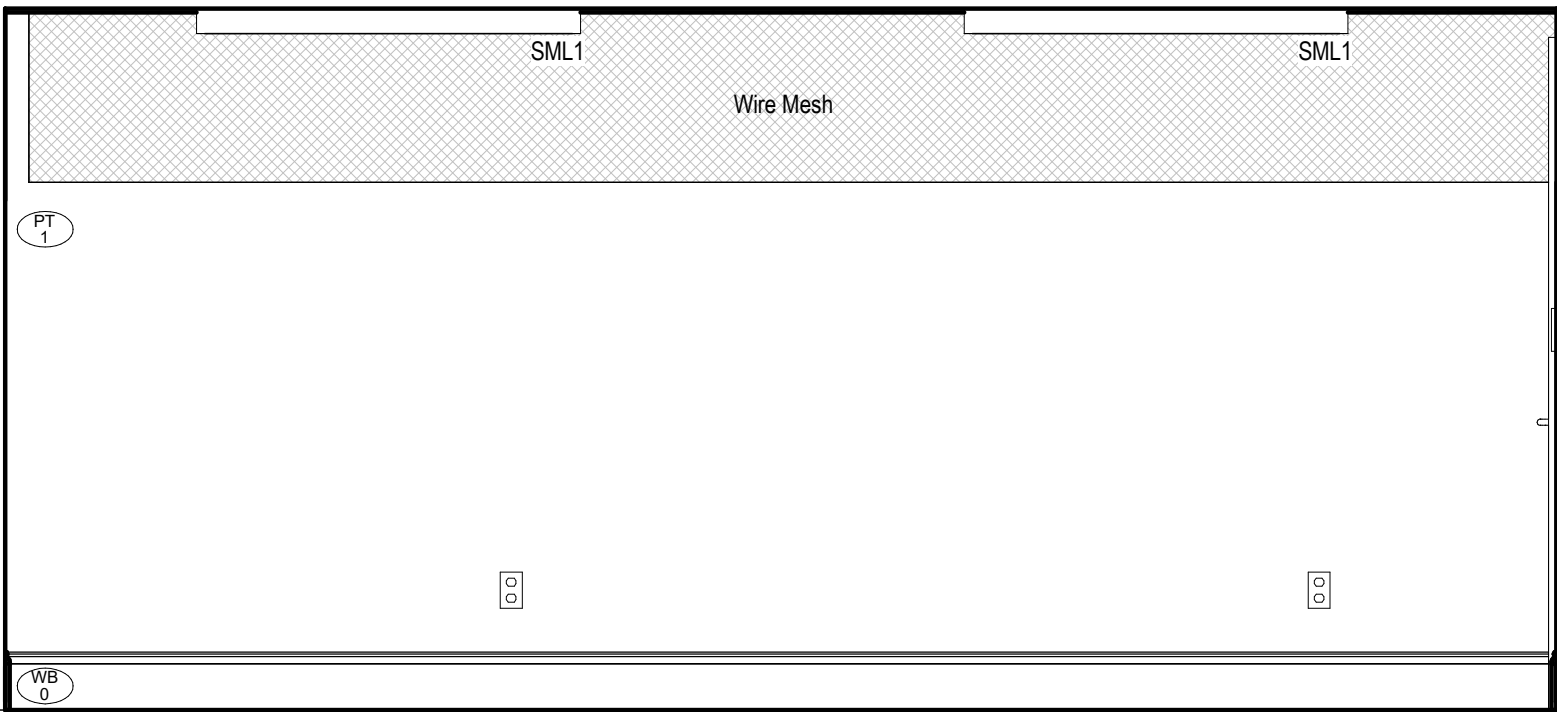
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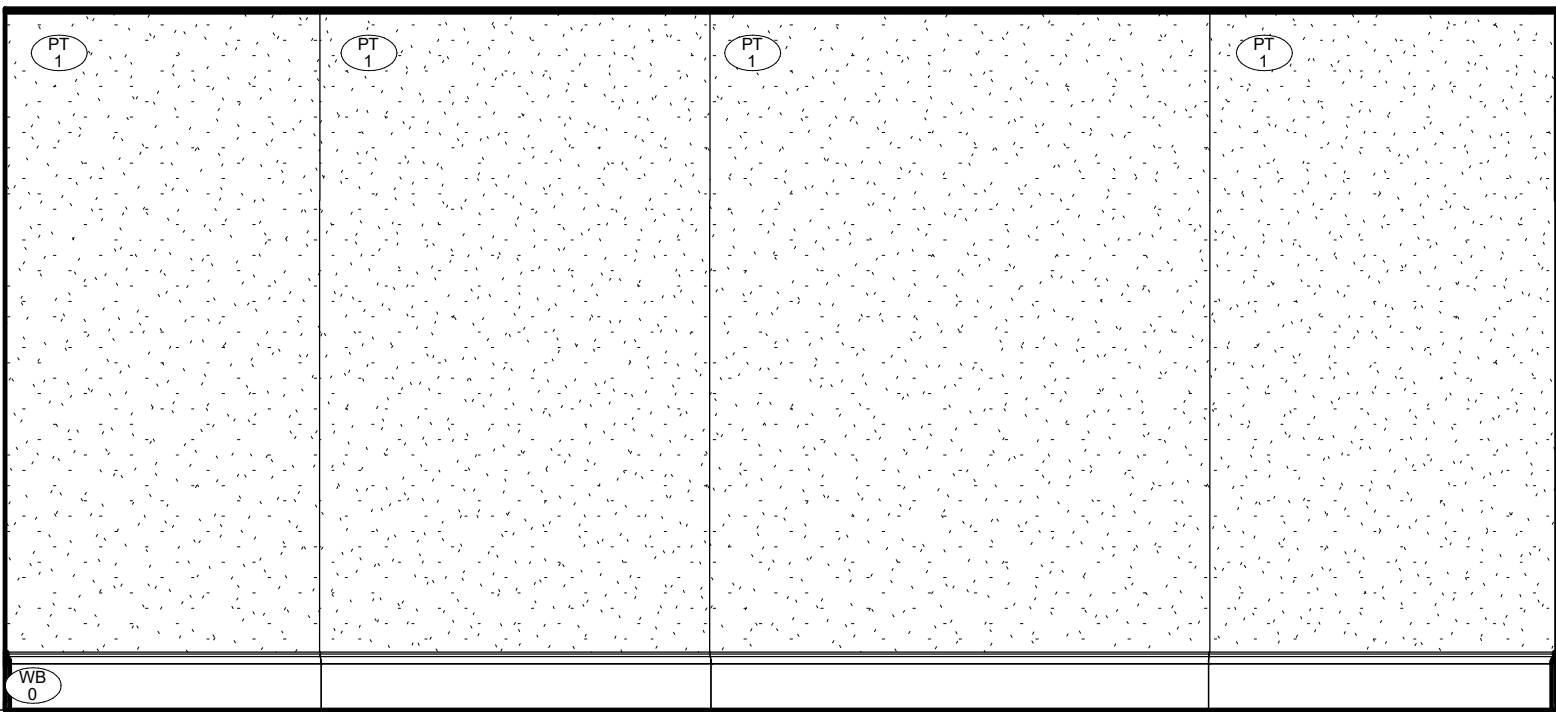
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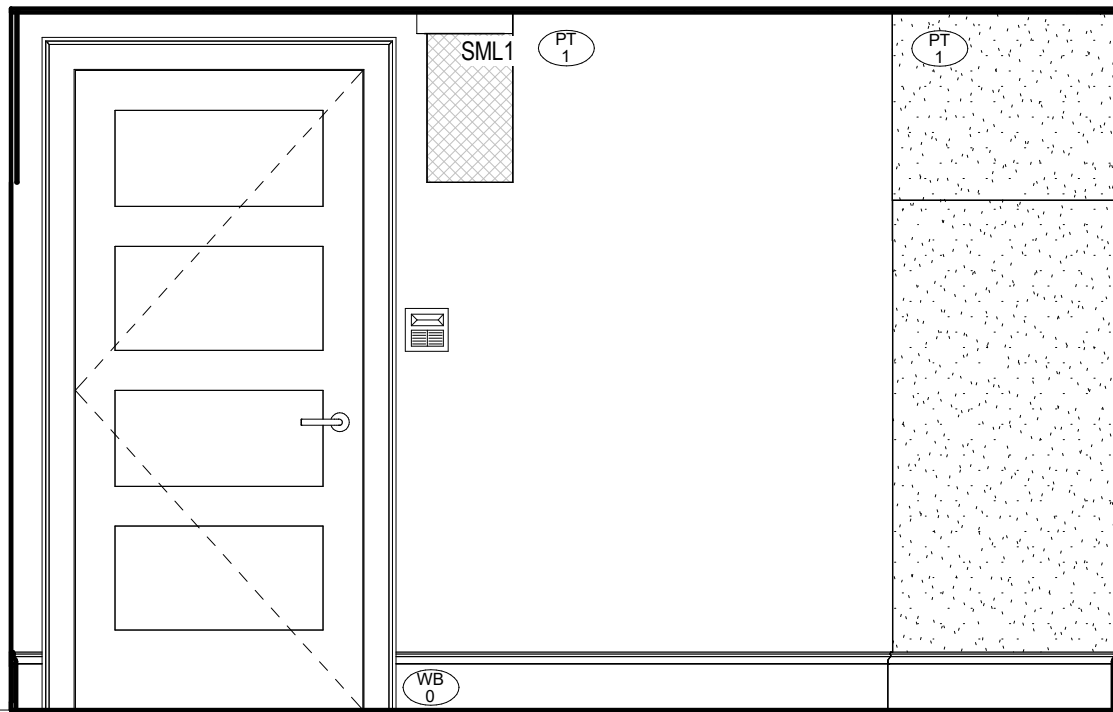
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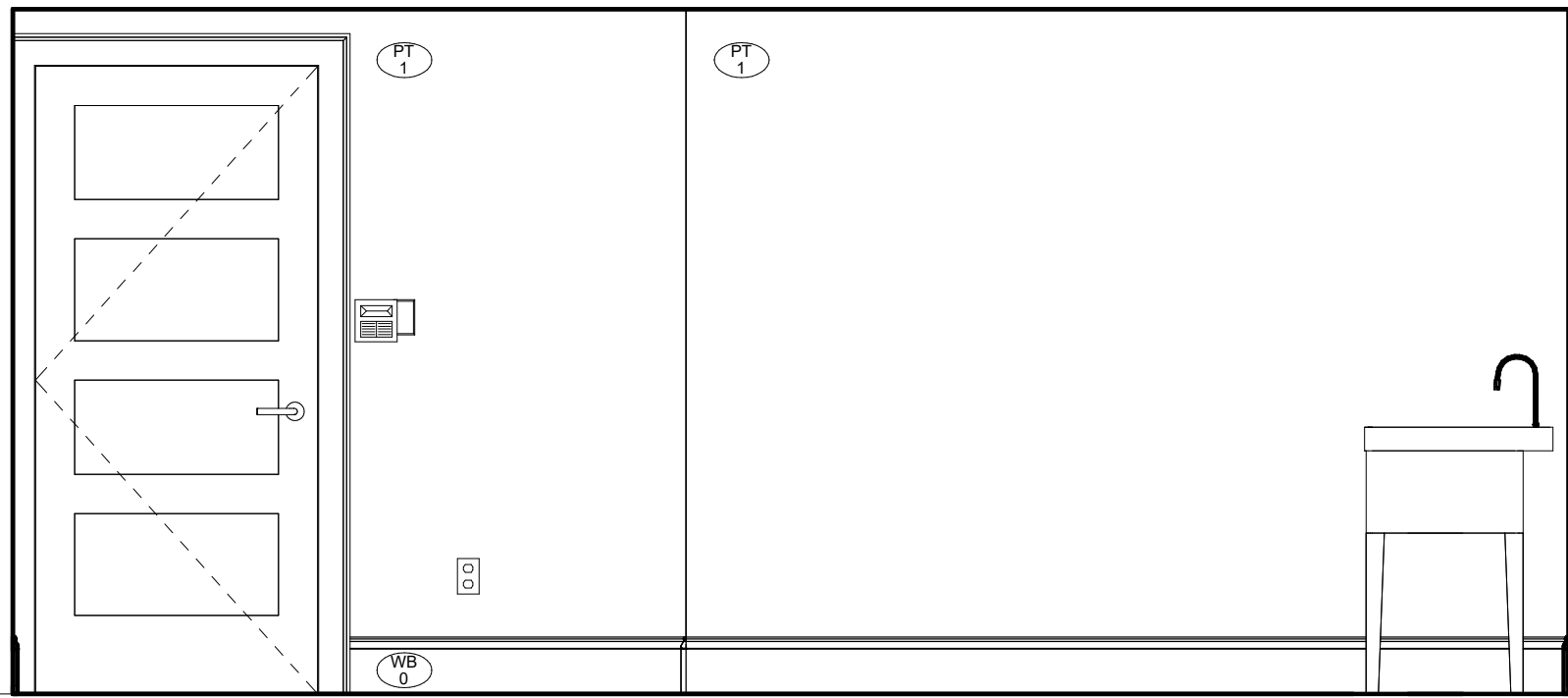
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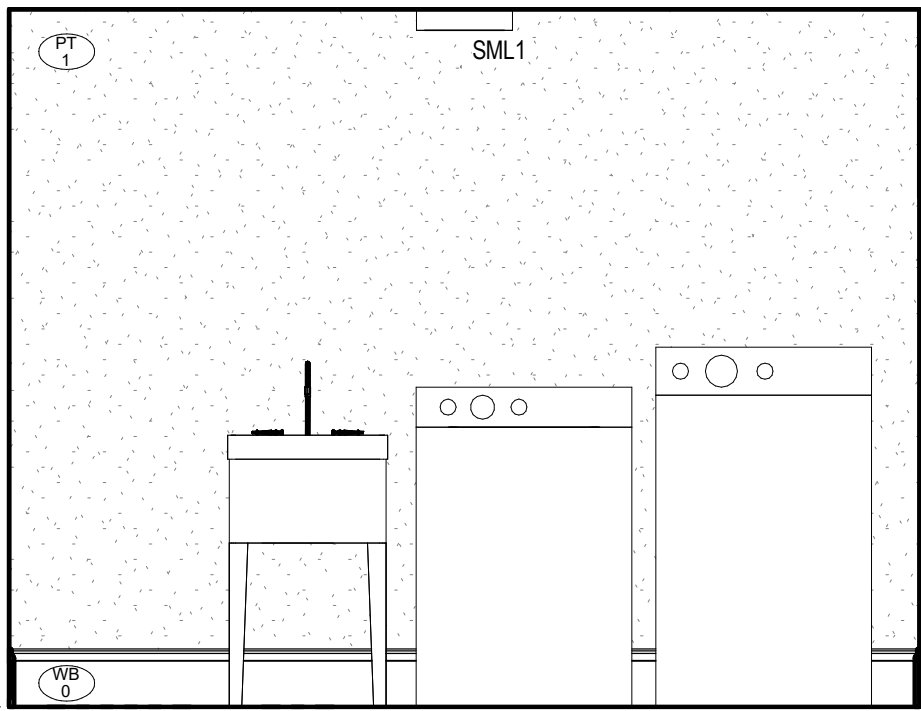
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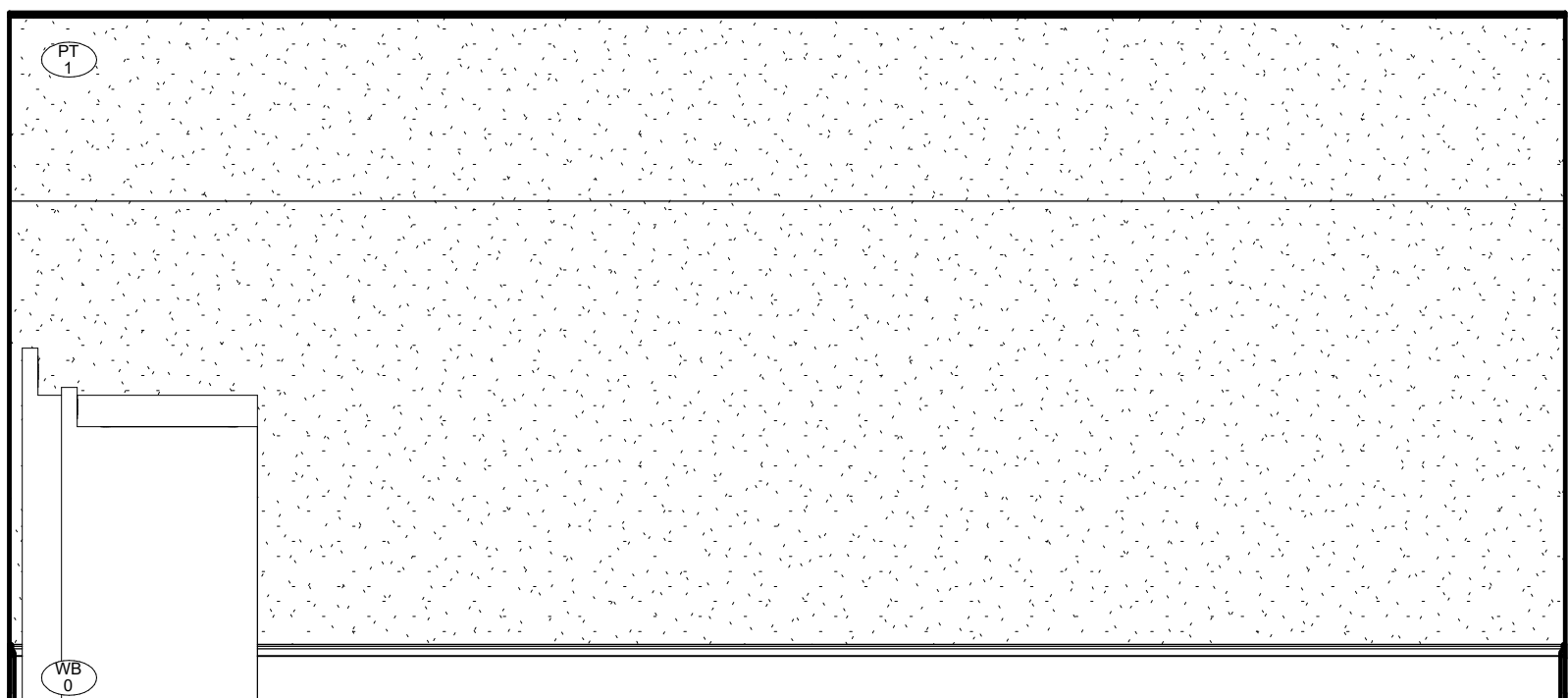
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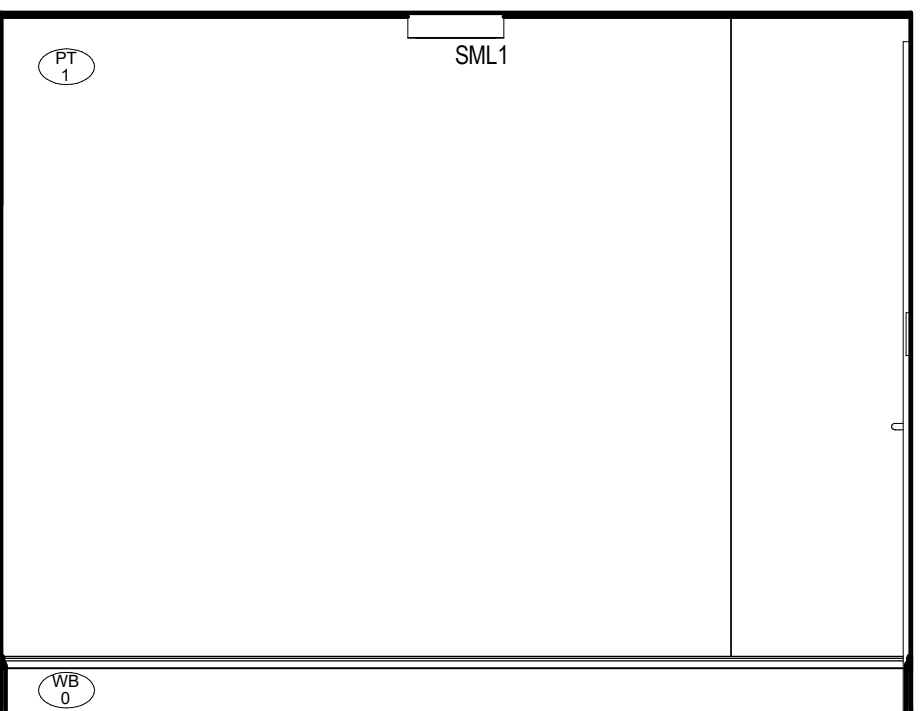
9 B.7 - UNIT 3 STORAGE 1  
1/2" = 1'-0"



10 B.7 - UNIT 3 STORAGE 2  
1/2" = 1'-0"



11 B.7 - UNIT 3 STORAGE 3  
1/2" = 1'-0"



12 B.7 - UNIT 3 STORAGE 4  
1/2" = 1'-0"

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stamp



revision	revision description	date
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project title  
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## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
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t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

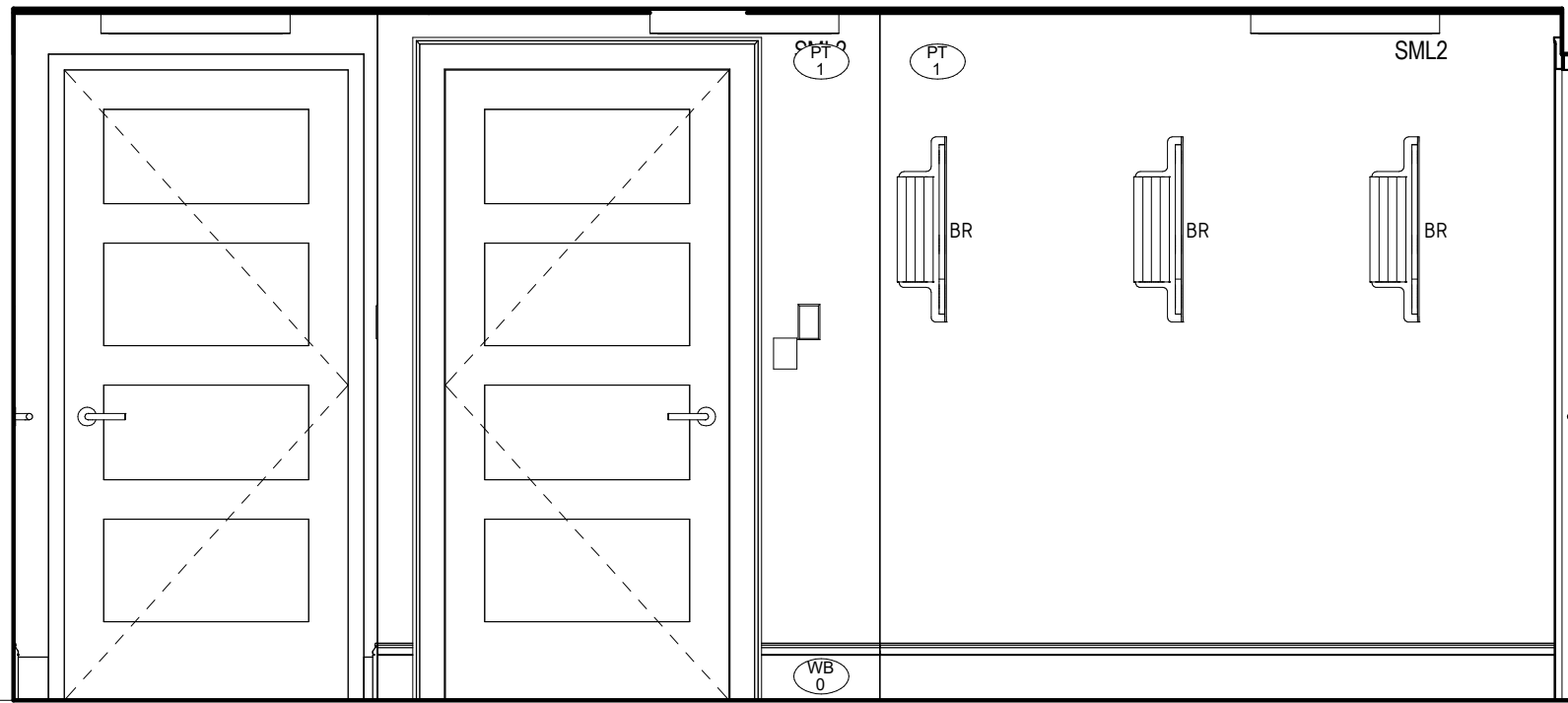
drawing title  
**BASEMENT INTERIOR ELEVATIONS**

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	

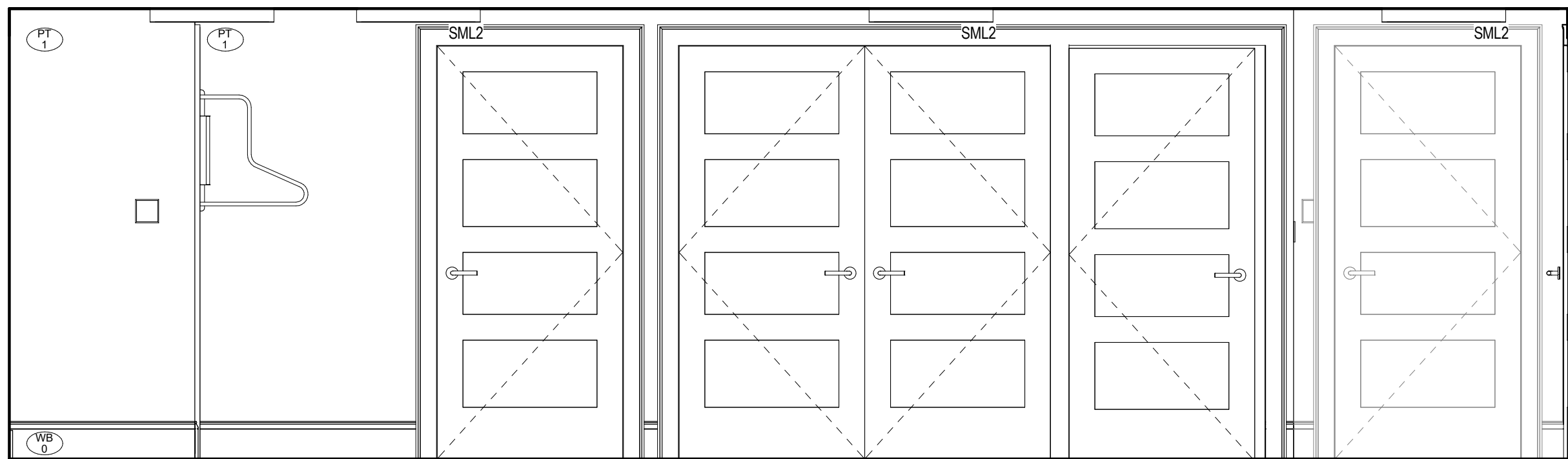
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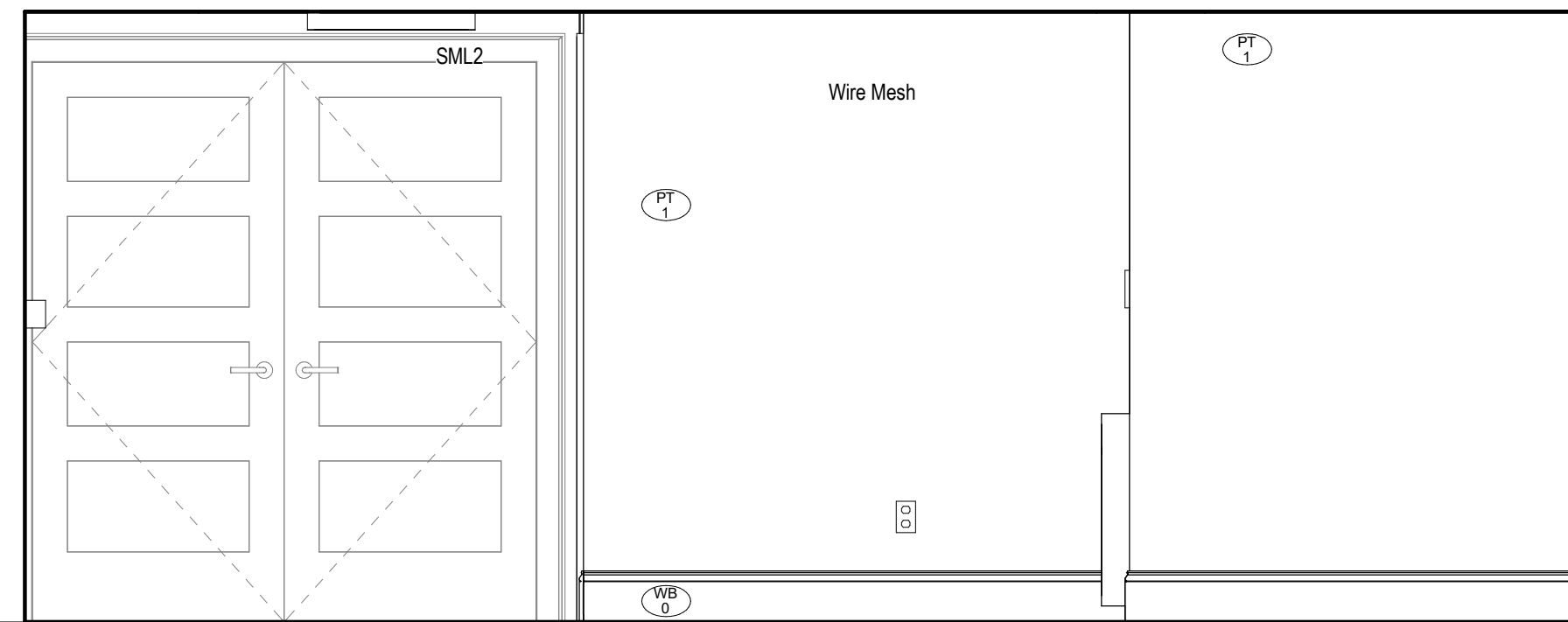
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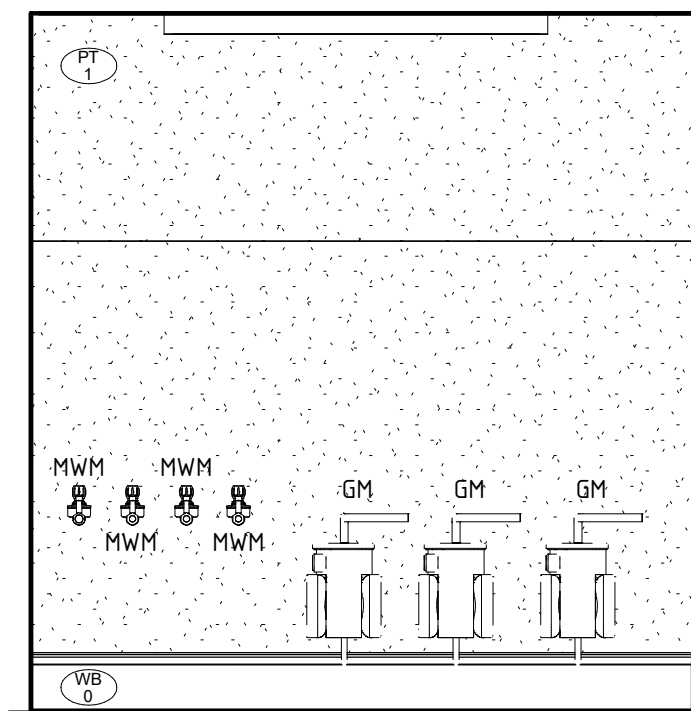
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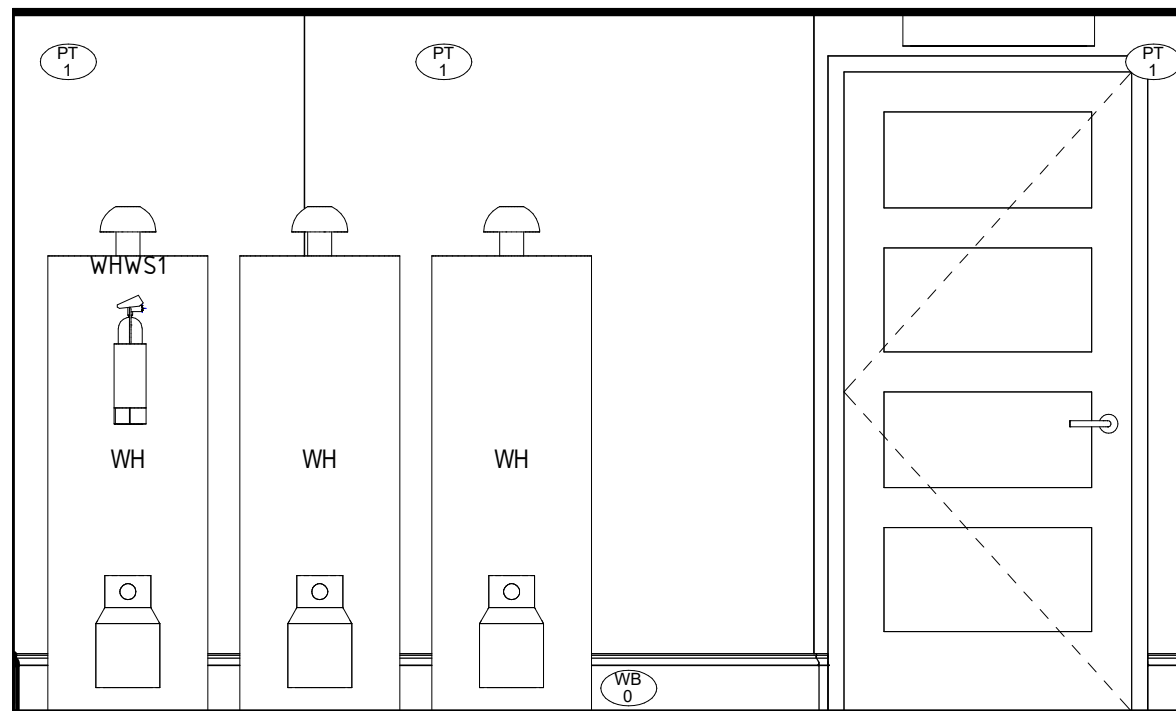
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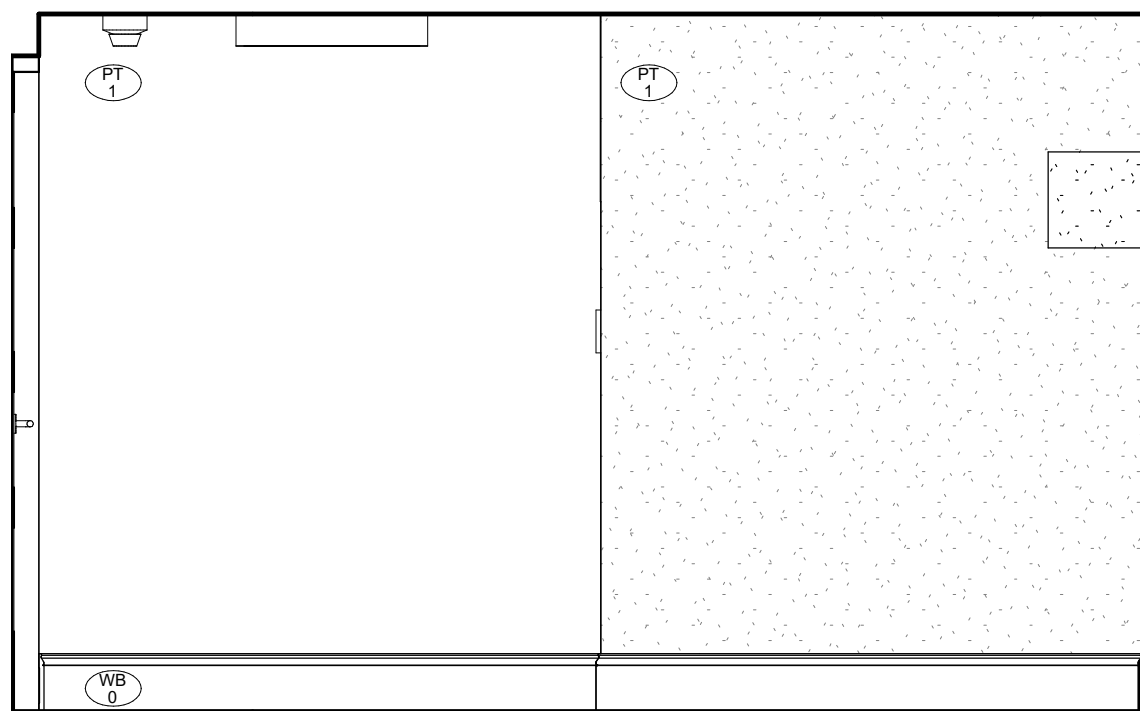
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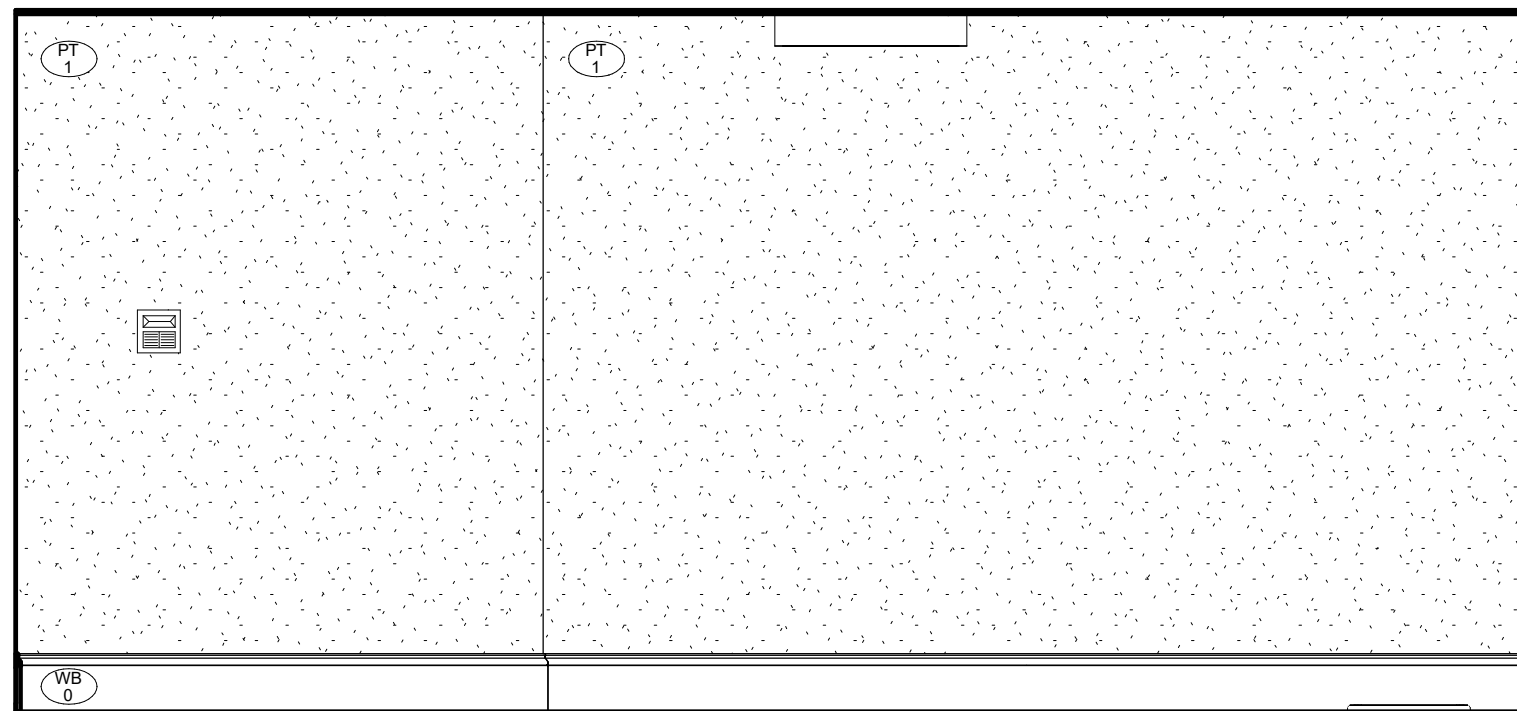
11 B.3 METER CLOSET  
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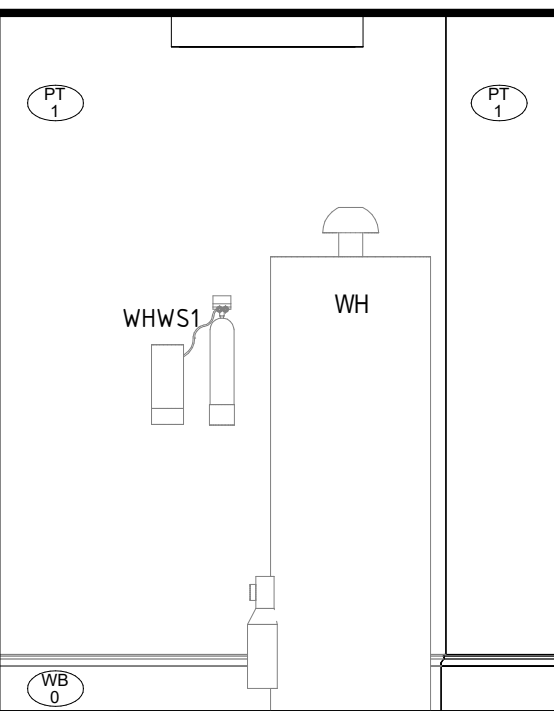
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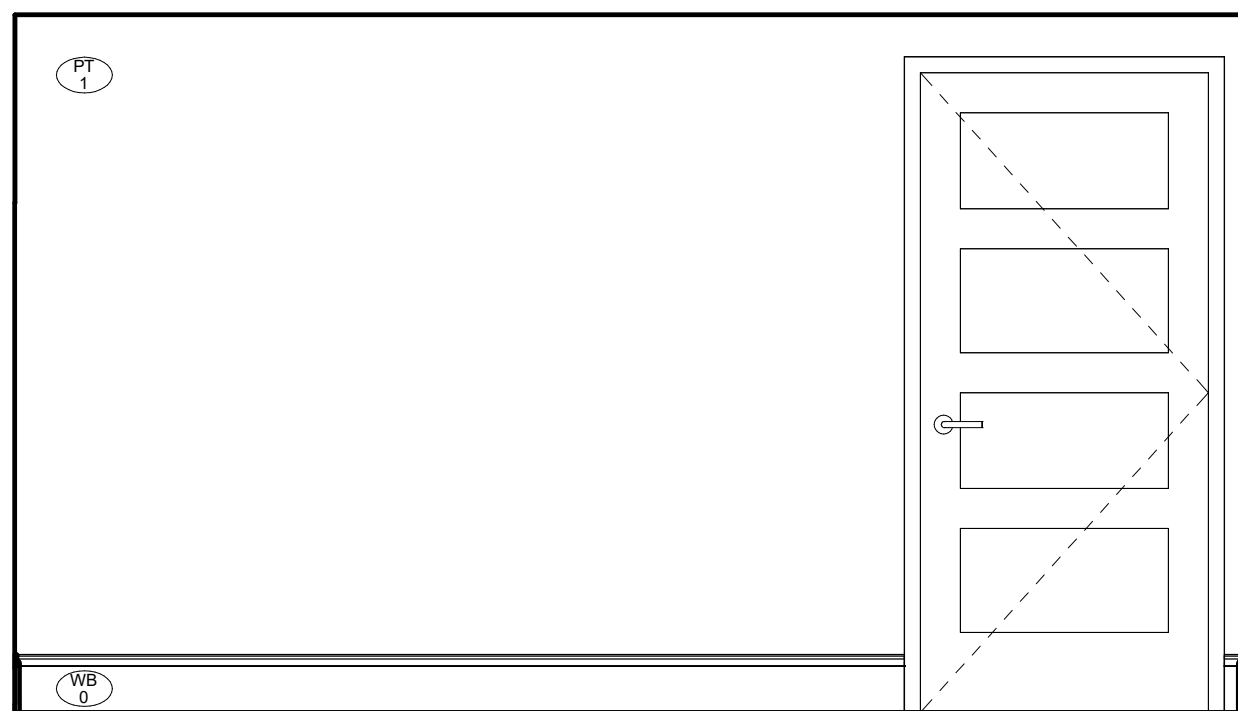
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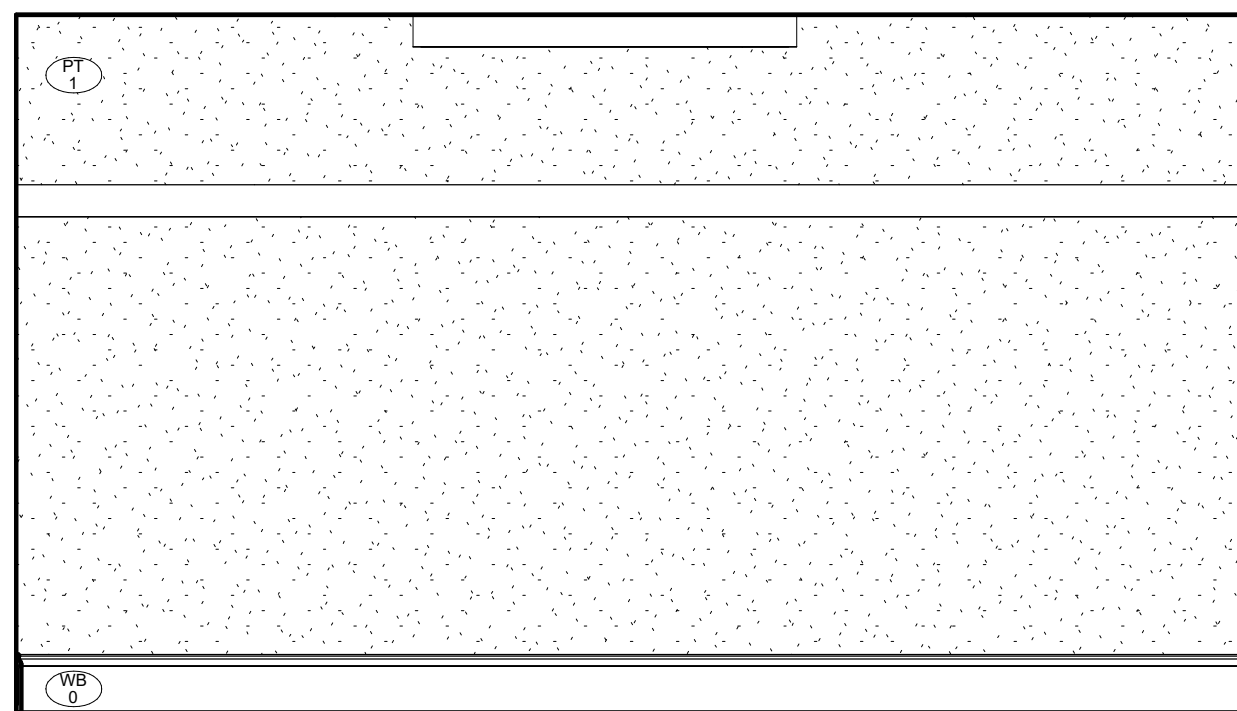
7 B.6 - UTILITY ROOM 3  
1/2" = 1'-0"



8 B.6 - UTILITY ROOM 4  
1/2" = 1'-0"



9 B.6 - COMMON CLOSET 1  
1/2" = 1'-0"



10 B.6 - COMMON CLOSET 2  
1/2" = 1'-0"

BASEMENT  
-6' - 6"

BASEMENT  
-6' - 6"

BASEMENT  
-6' - 6"

BASEMENT  
-6' - 6"

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stamp



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project title  
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## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title  
**BASEMENT INTERIOR  
ELEVATIONS**

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	

A601

8





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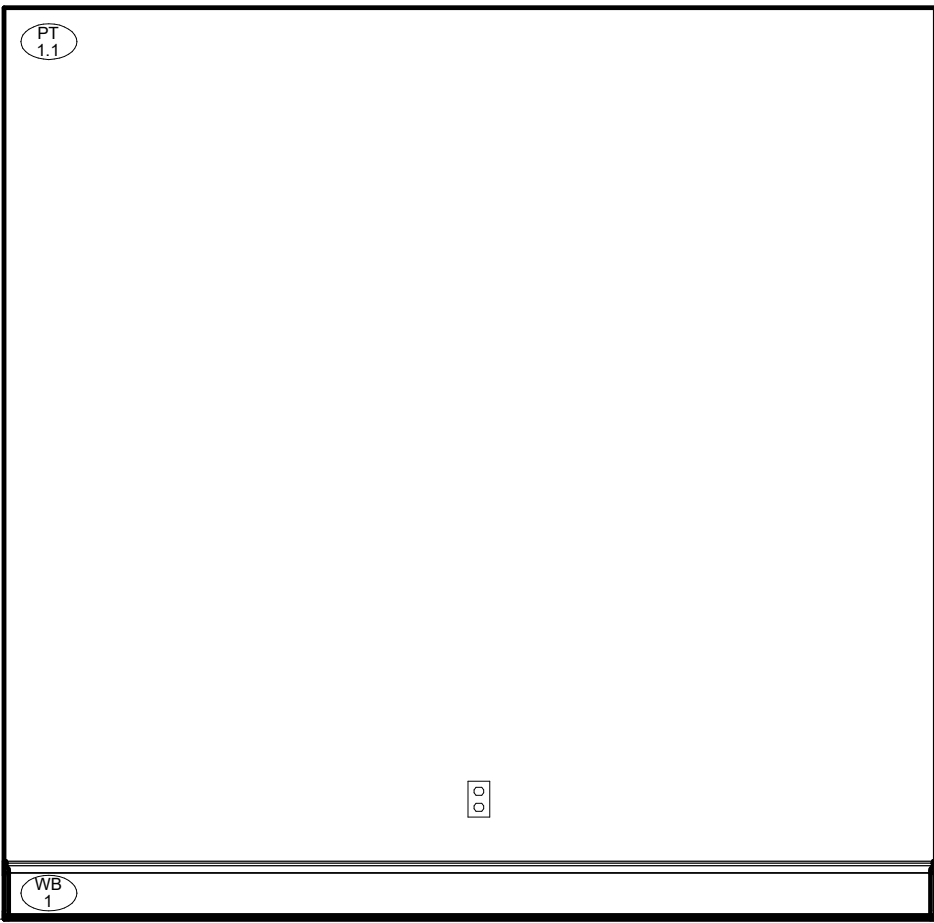
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Workman  
30 Berkshire Street, Cambridge, MA  
02141

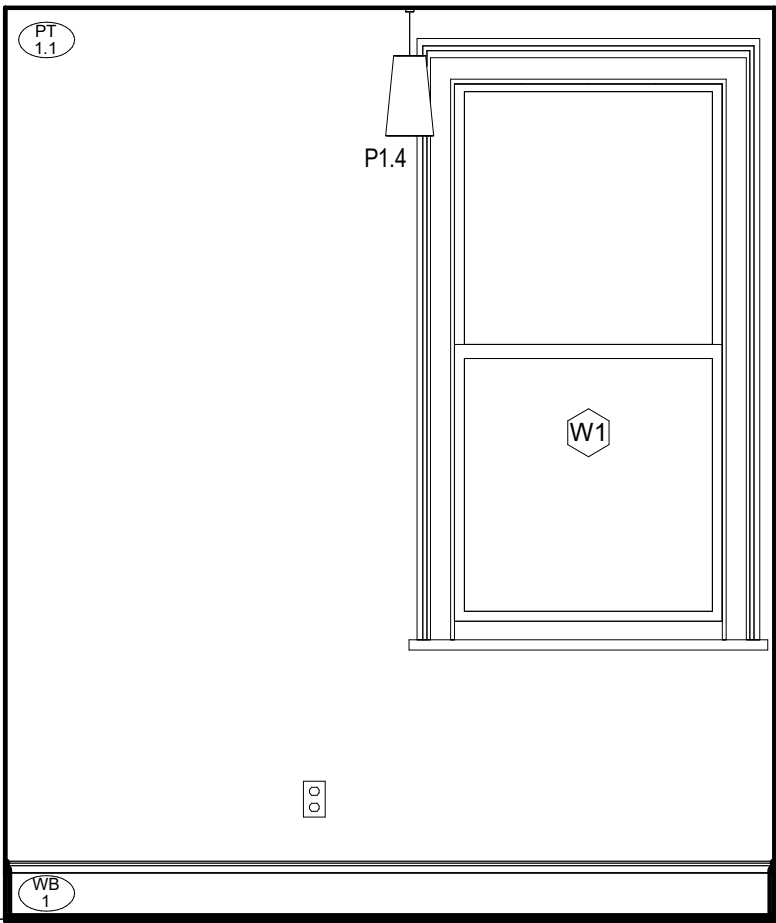
website [www.joethearchitect.com](http://www.joethearchitect.com)

project number <b>092</b>	drawing scale <b>1/2" = 1'-0"</b>	approver <b>Approver</b>
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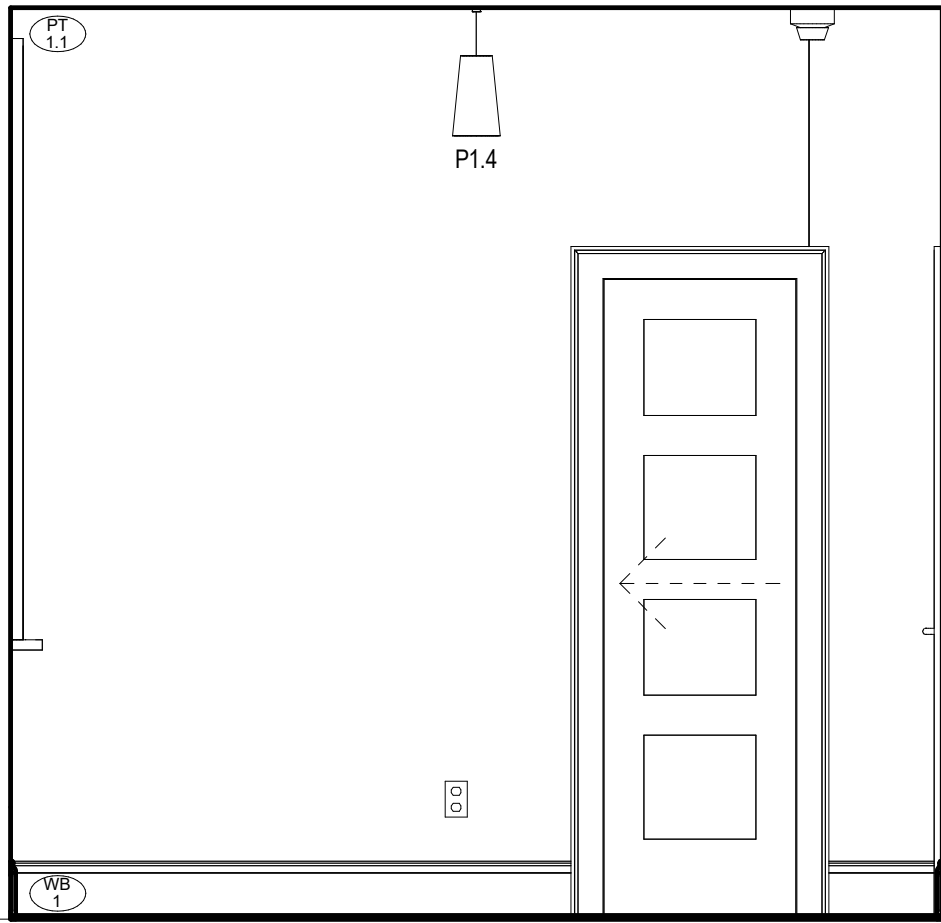
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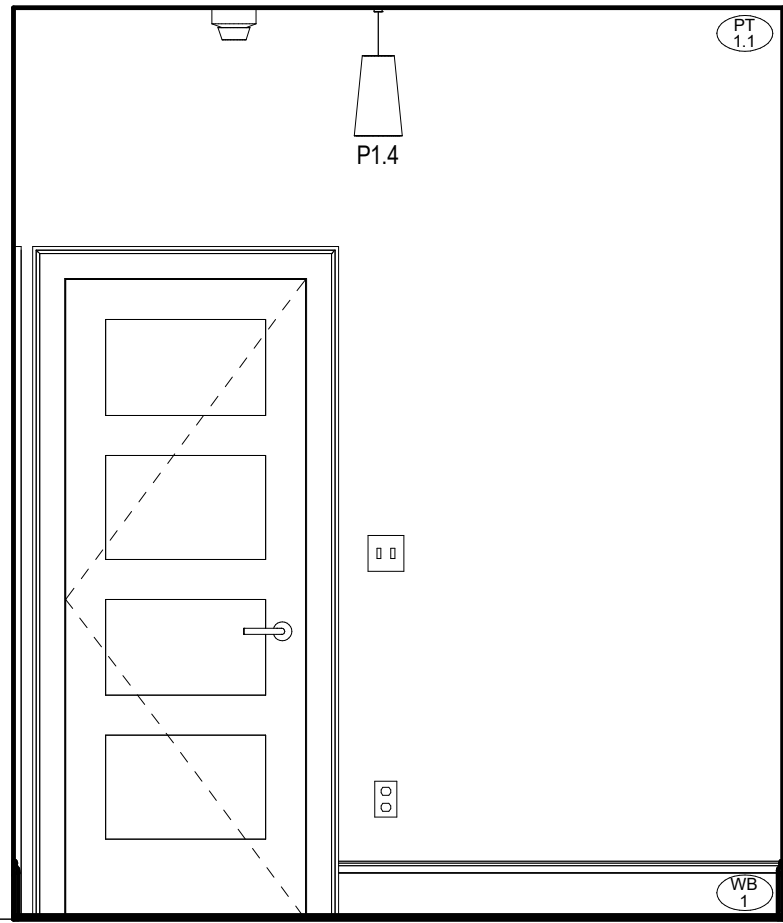
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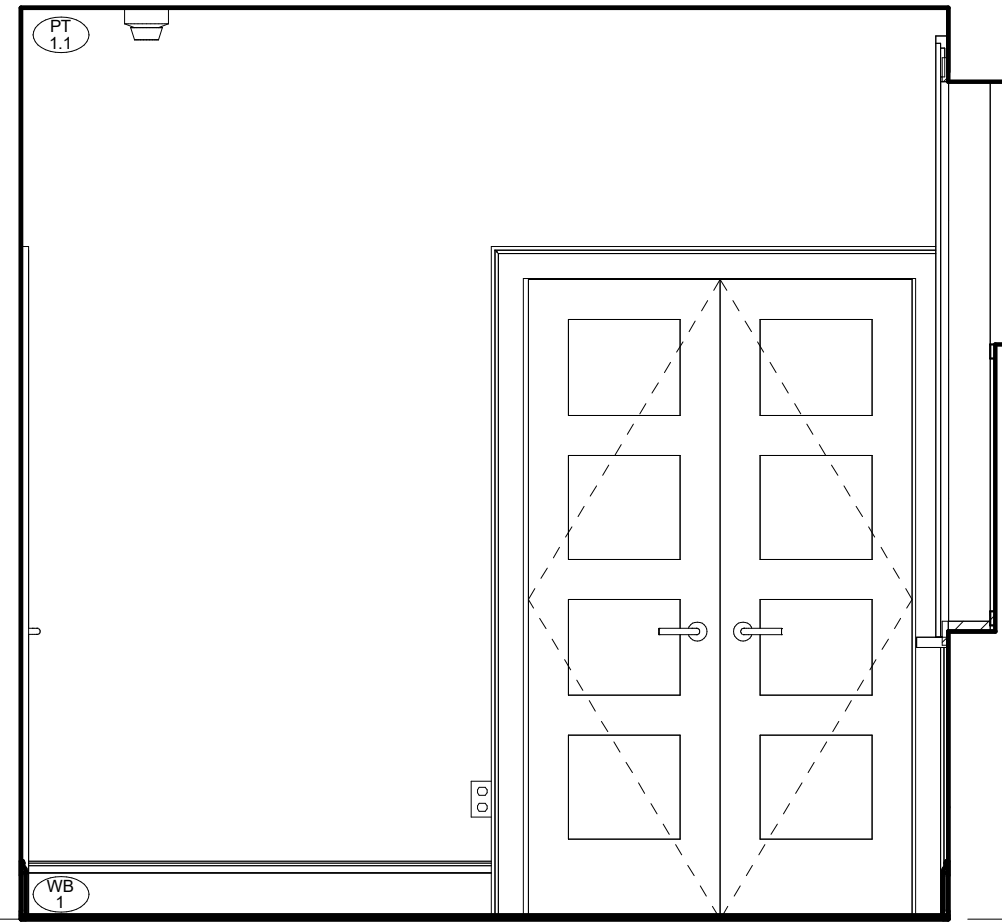
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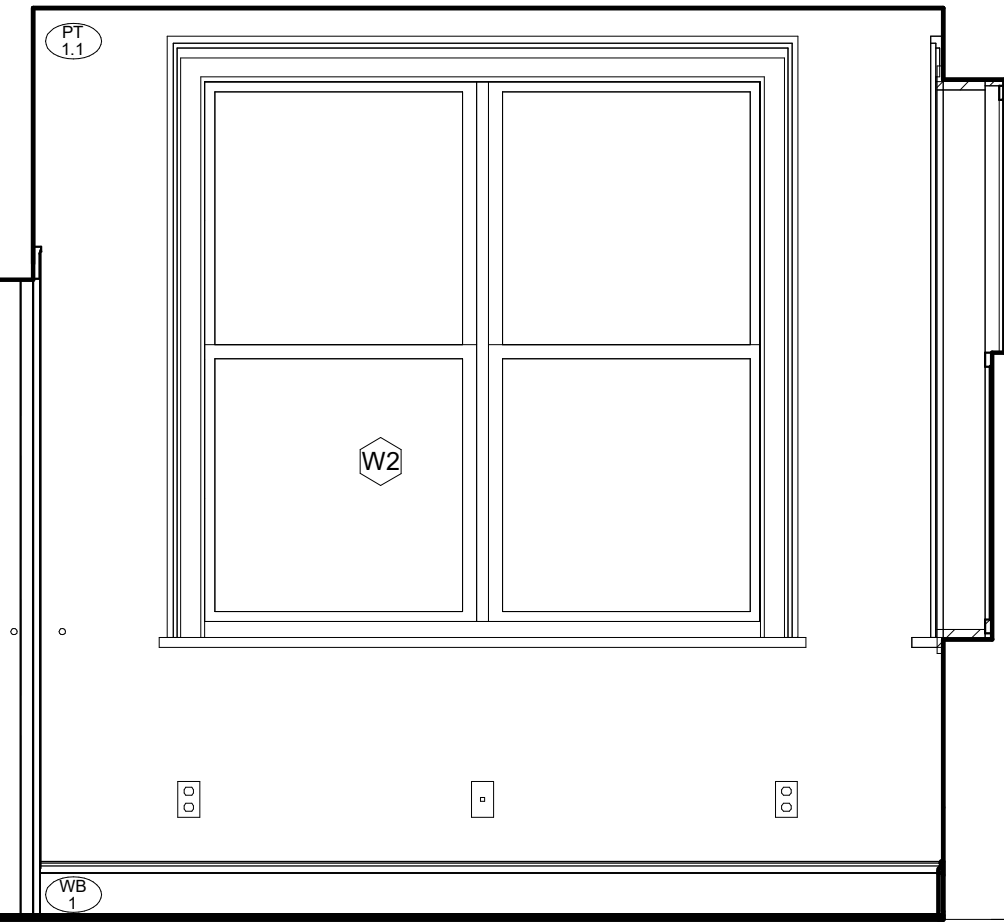


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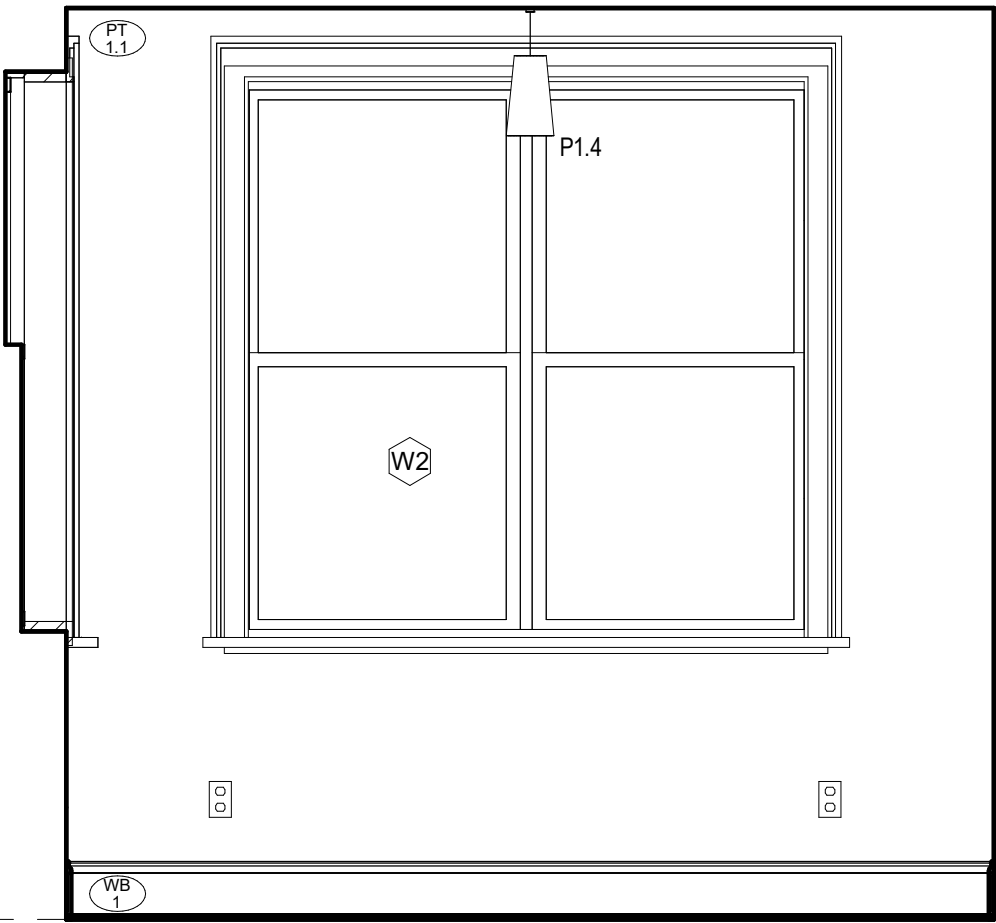


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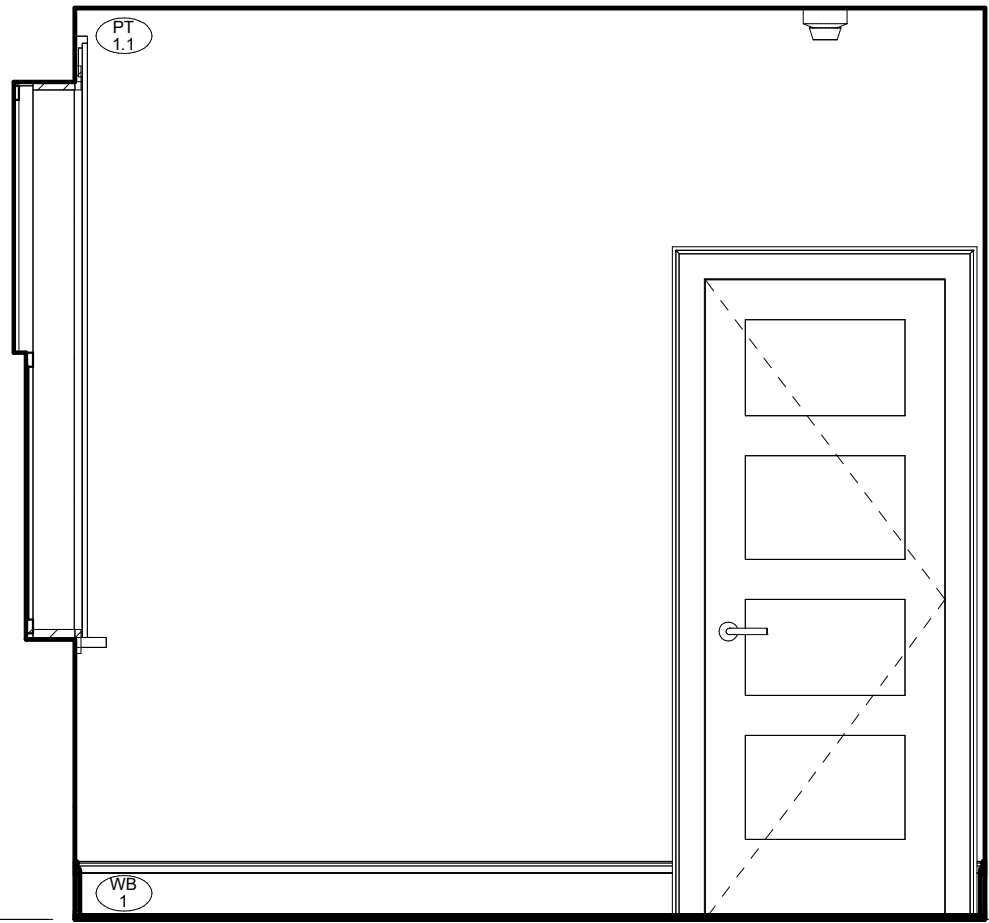
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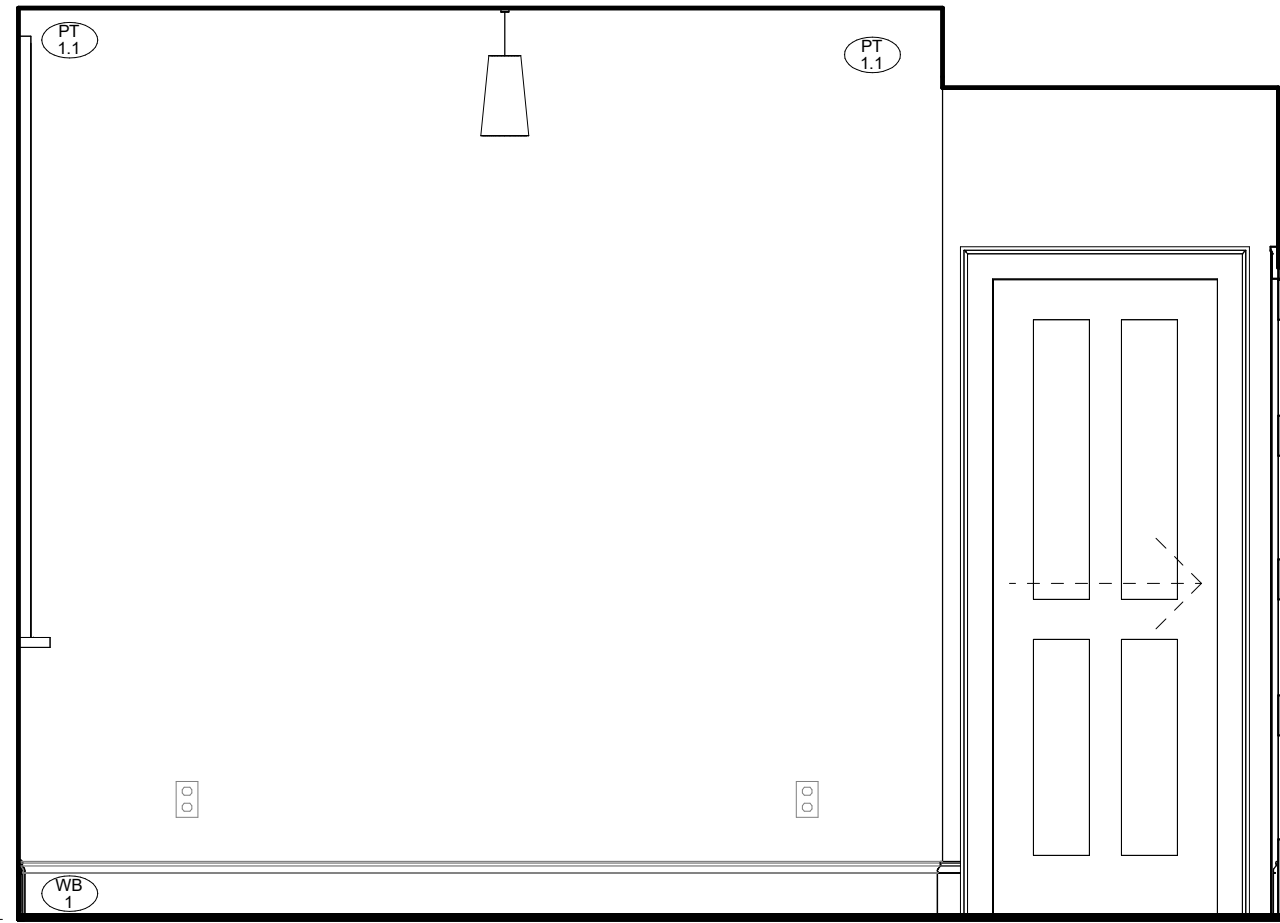
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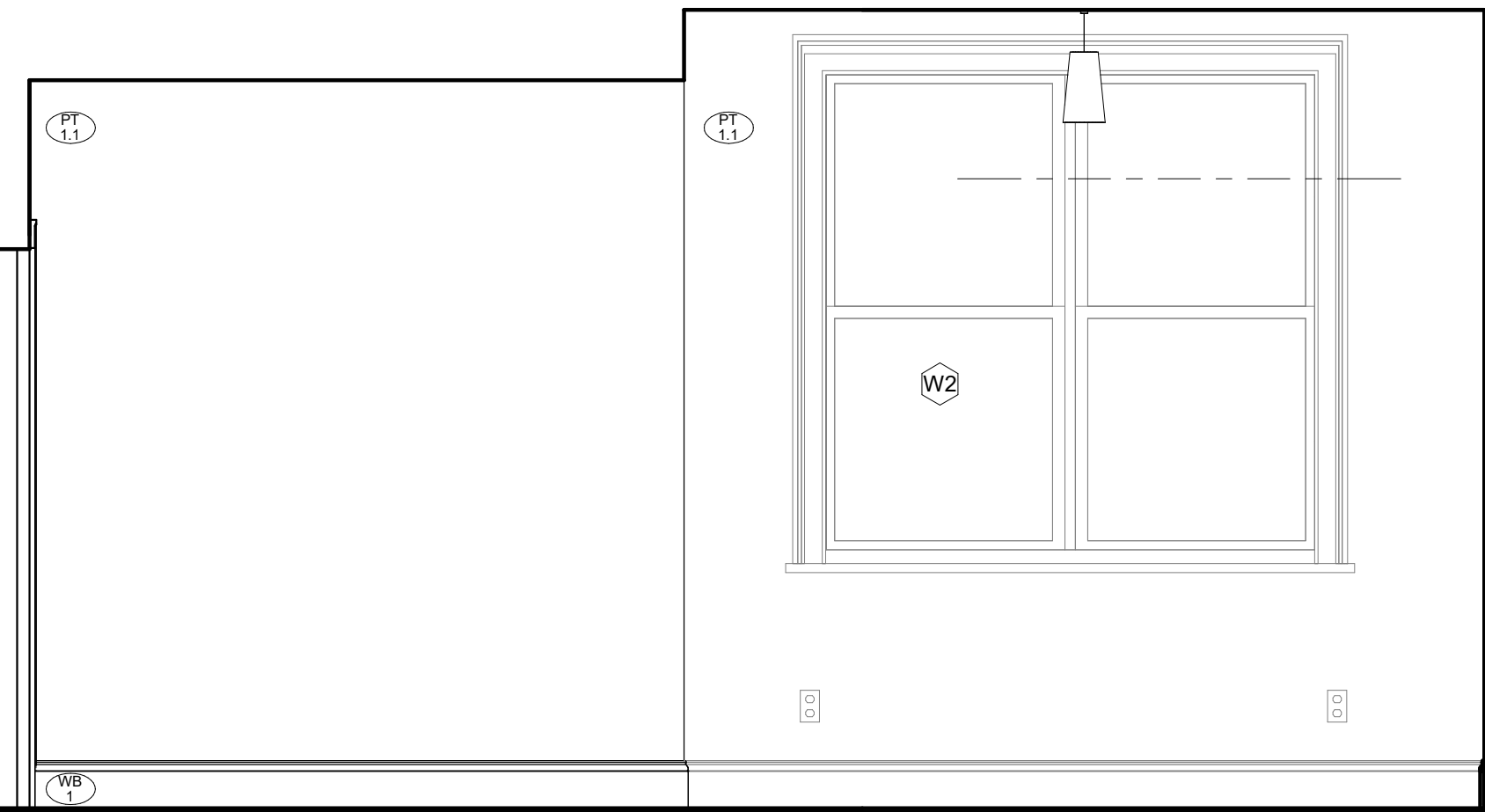


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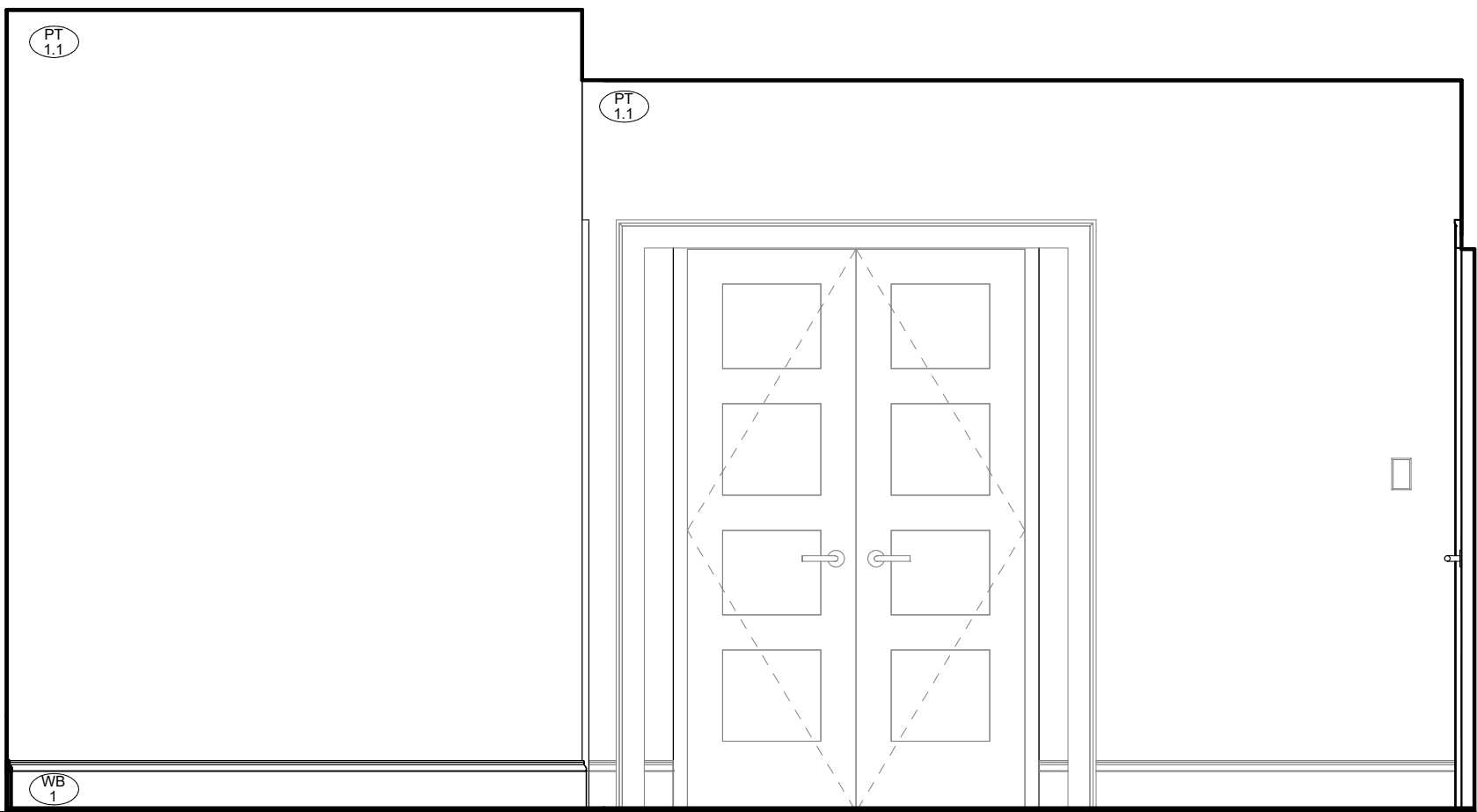


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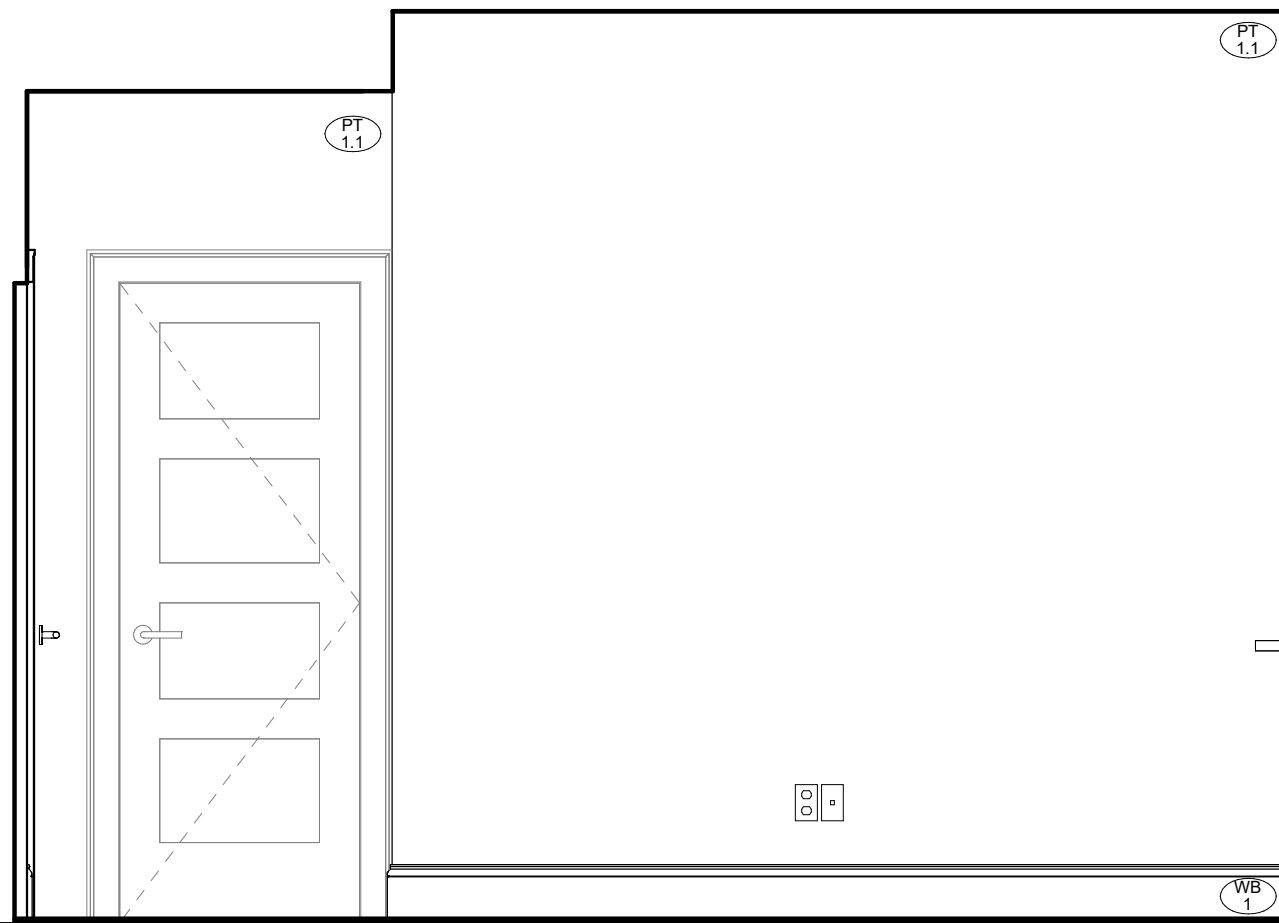
FIRST FLOOR  
2' - 0"



9 1.14 UNIT 1 BEDROOM 1  
1/2" = 1'-0"



11 1.14 UNIT 1 BEDROOM 3  
1/2" = 1'-0"



12 1.14 UNIT 1 BEDROOM 4  
1/2" = 1'-0"

FIRST FLOOR  
2' - 0"

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Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

## JOE THE ARCHITECT

somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

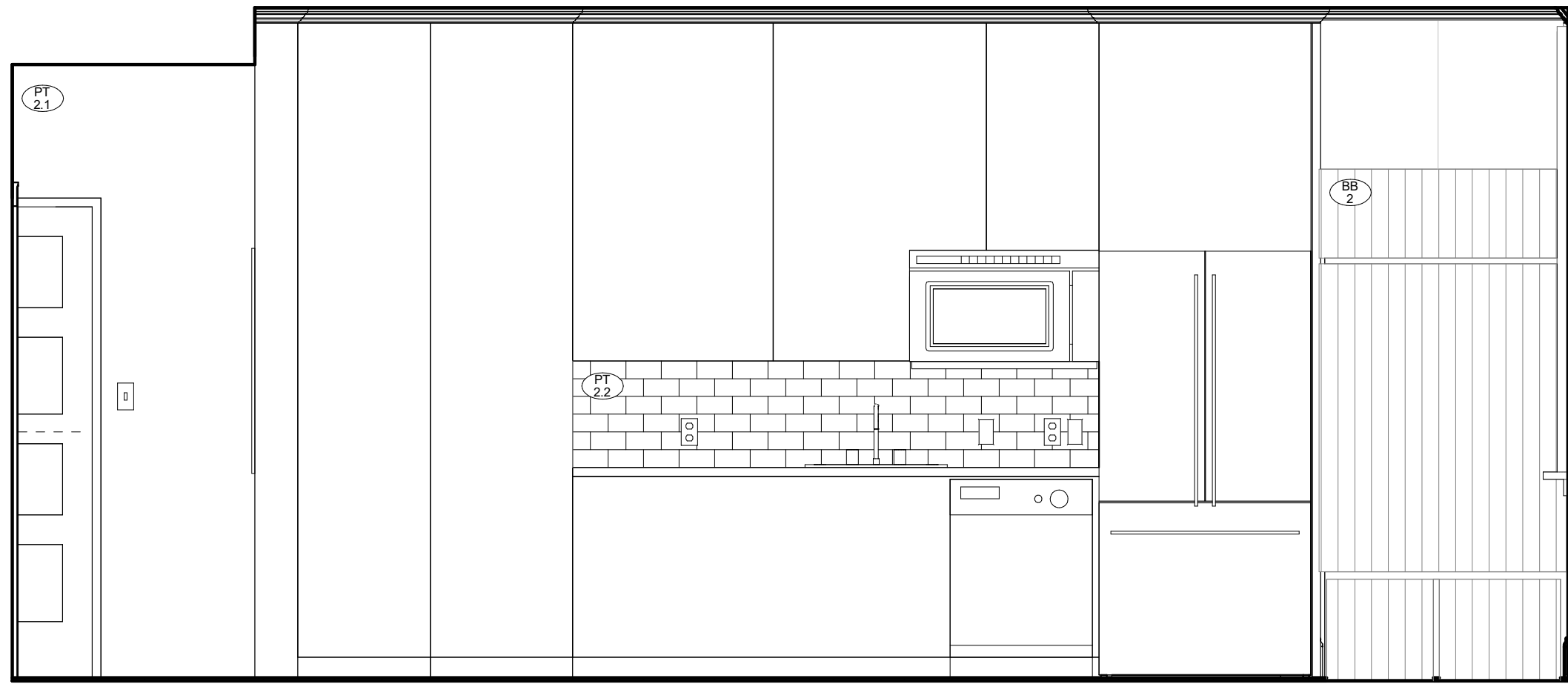
drawing title  
UNIT 1 INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	

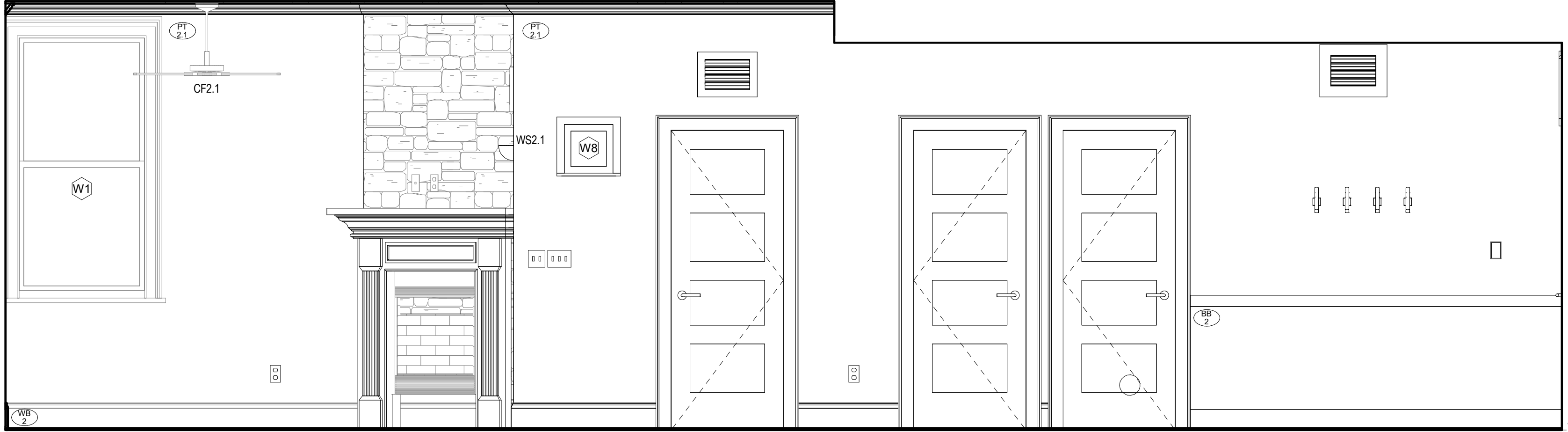
A611

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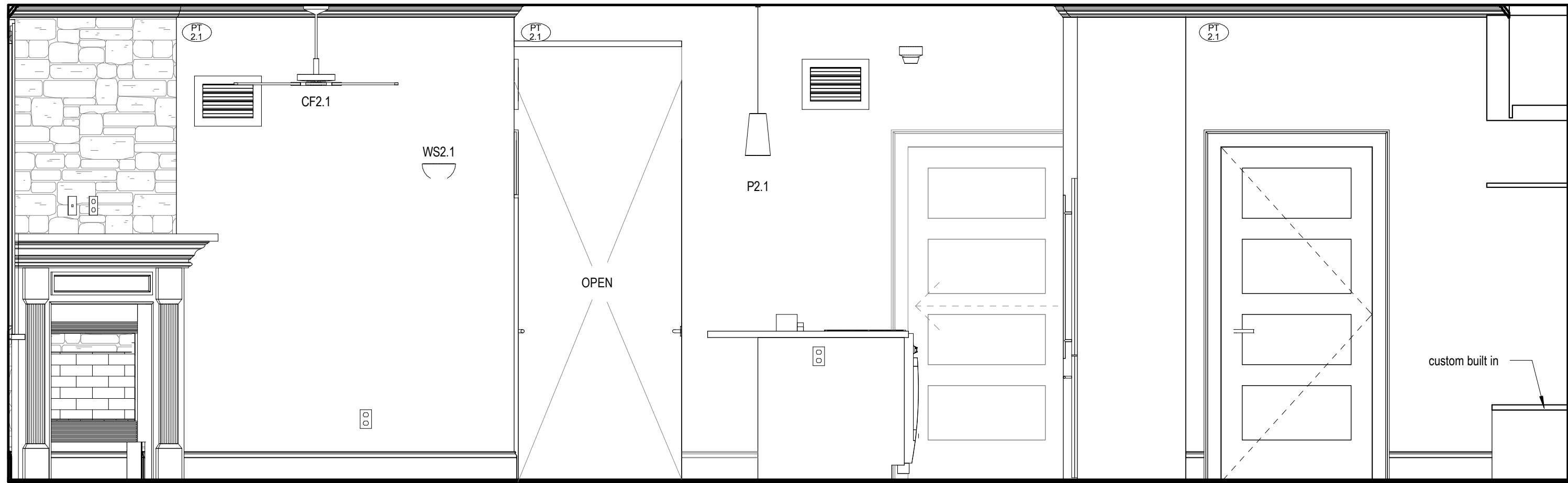




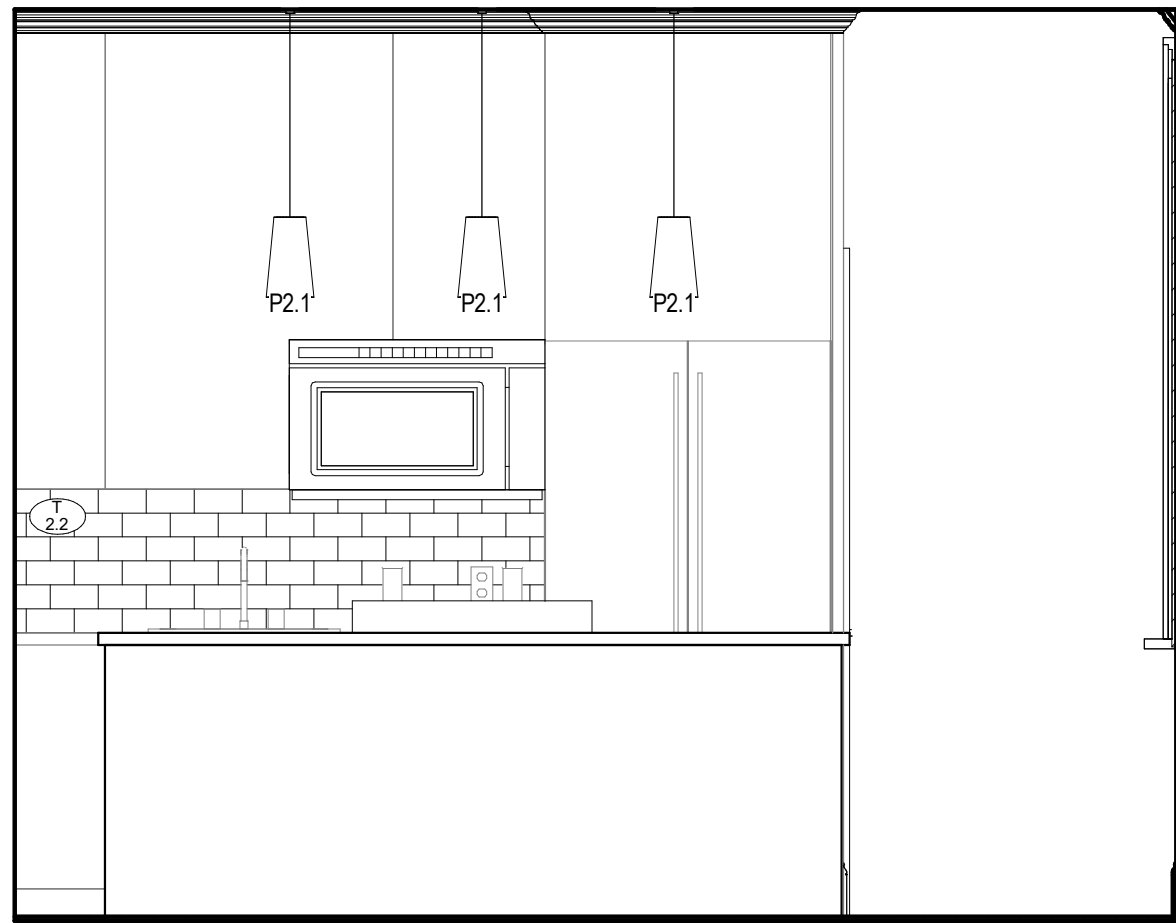
1 2.1 - UNIT 2 KITCHEN 1  
1/2" = 1'-0"



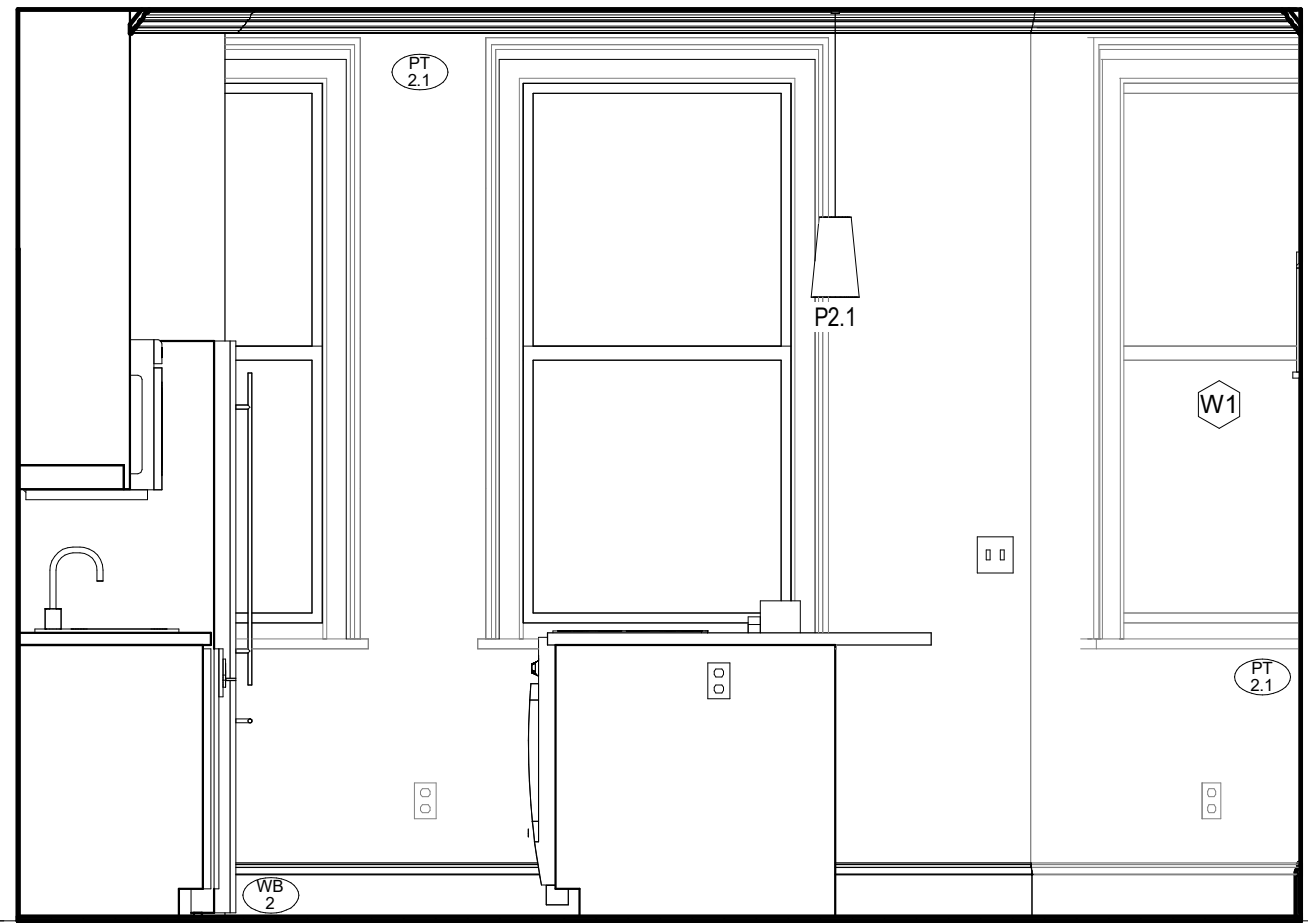
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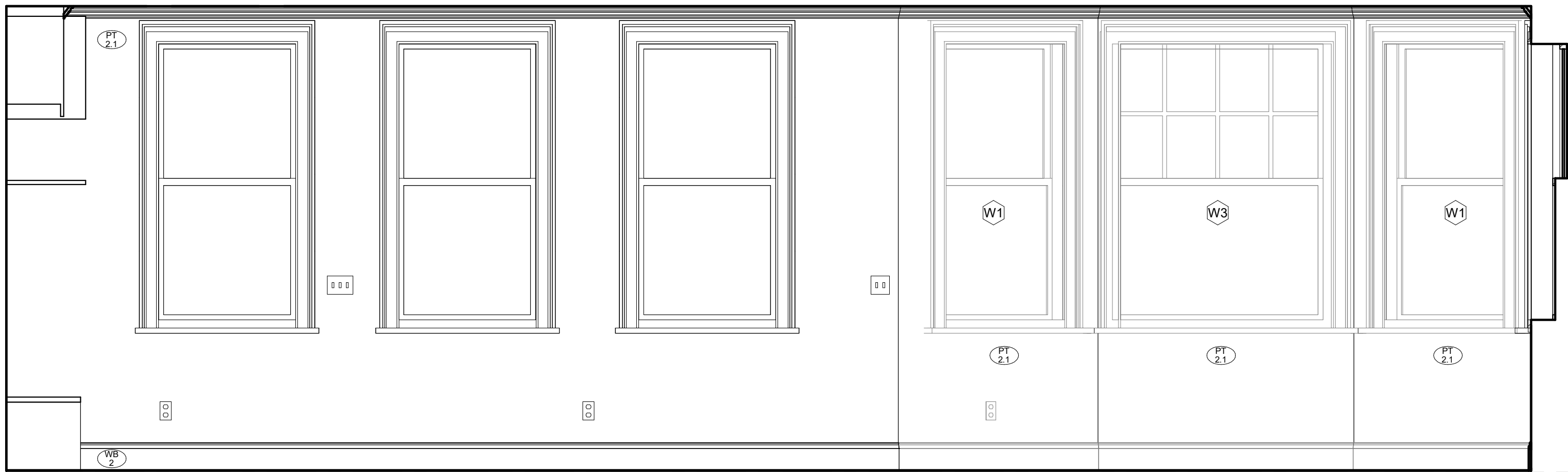
3 2.1 - UNIT 2 KITCHEN 4  
1/2" = 1'-0"



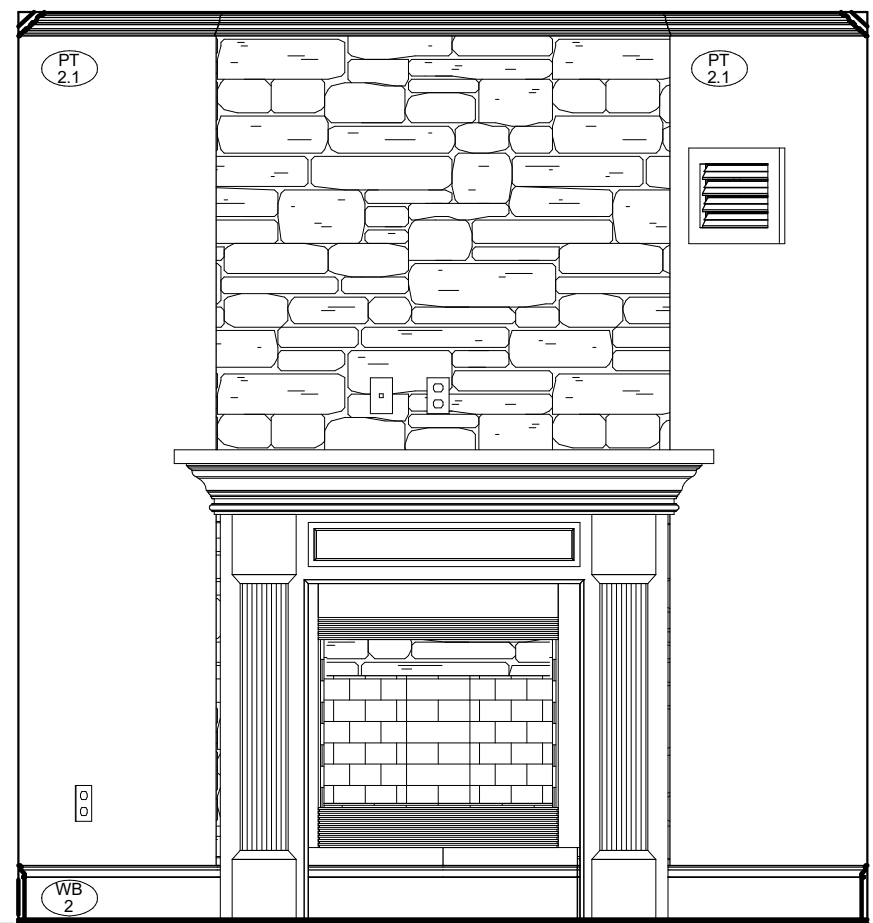
4 2.1 - UNIT 2 KITCHEN 5  
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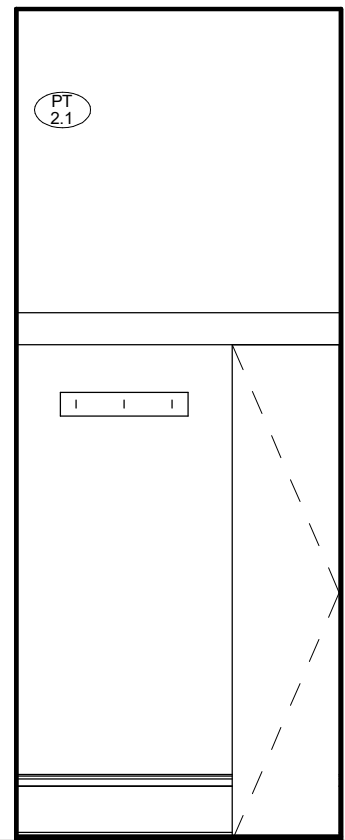
5 2.1 - UNIT 2 KITCHEN 3  
1/2" = 1'-0"



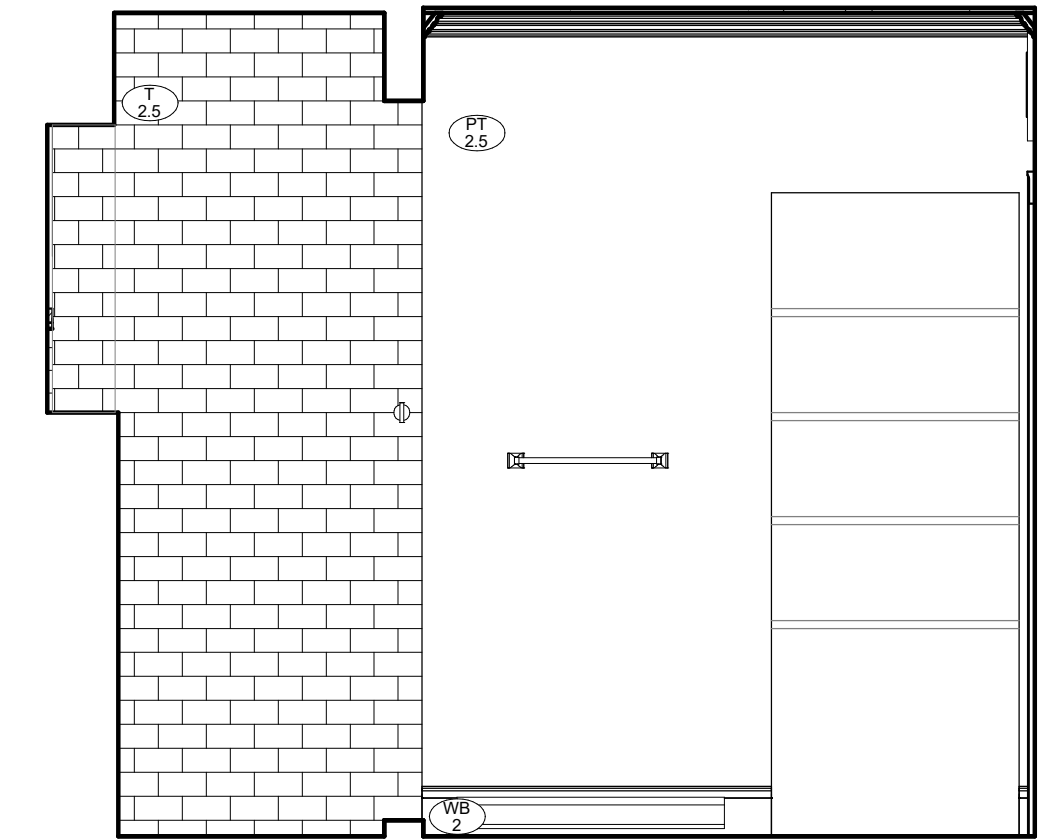
6 2.1 - UNIT 2 KITCHEN 6  
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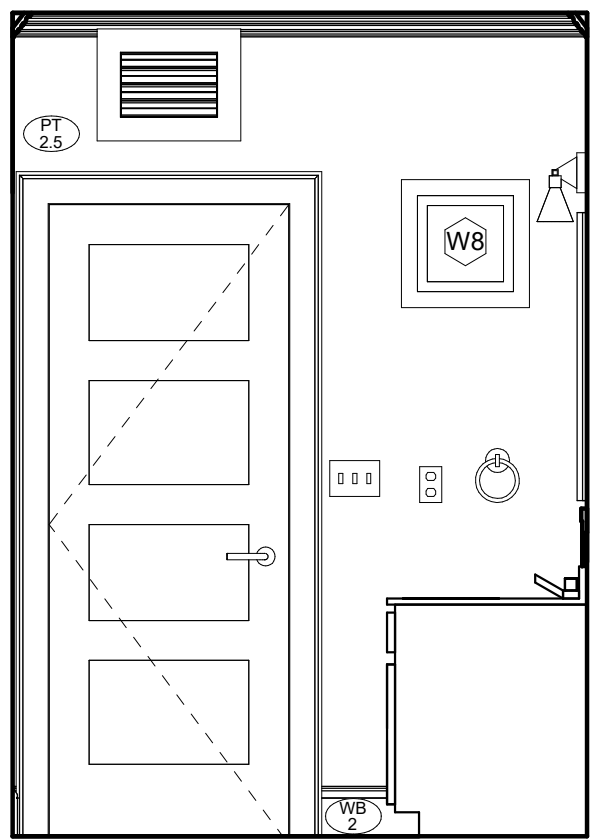
11 2.1 - UNIT 2 KITCHEN 7  
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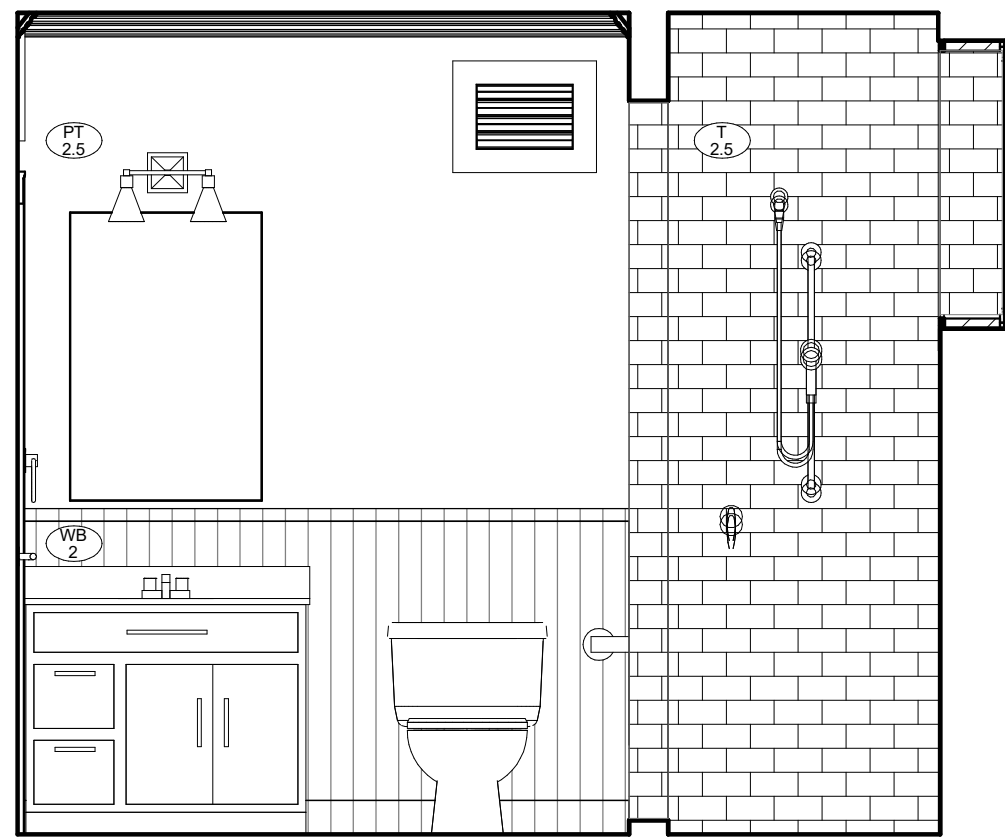
12 2.13 - UNIT 2 PANTRY  
1/2" = 1'-0"



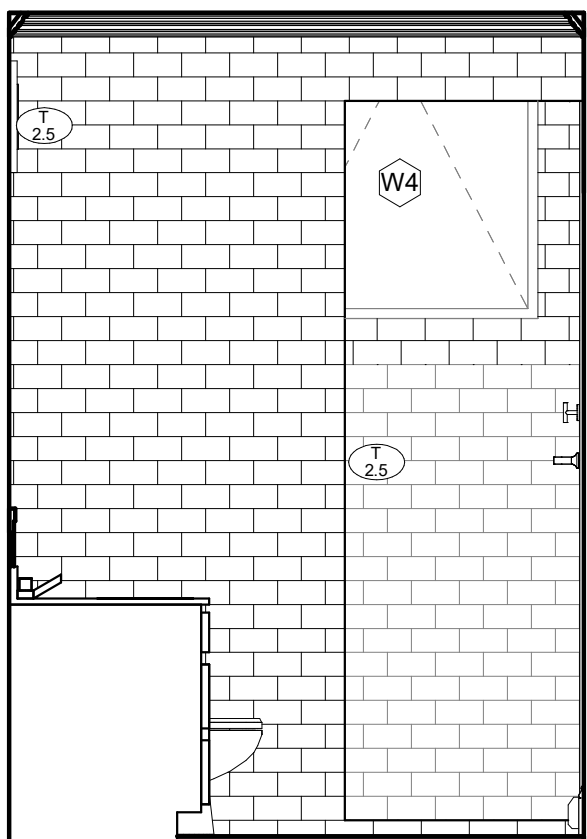
7 2.3 - UNIT 2 BATHROOM 1  
1/2" = 1'-0"



8 2.3 - UNIT 2 BATHROOM 2  
1/2" = 1'-0"



9 2.3 - UNIT 2 BATHROOM 3  
1/2" = 1'-0"



10 2.3 - UNIT 2 BATHROOM 4  
1/2" = 1'-0"

SECOND FLOOR  
13' - 0"

SECOND FLOOR  
13' - 0"

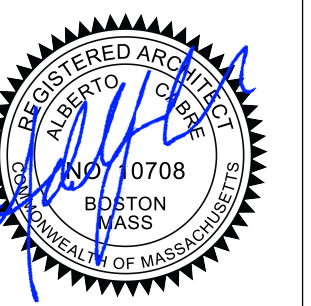
SECOND FLOOR  
13' - 0"

SECOND FLOOR  
13' - 0"

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revision	revision description	date
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5	FOR PRICING	09/20/2017
6	FOR PERMIT	09/27/2017
7	NOT FOR CONSTRUCTION	06/04/2018
8	FOR PERMIT/PRICING	07/13/2018

project title  
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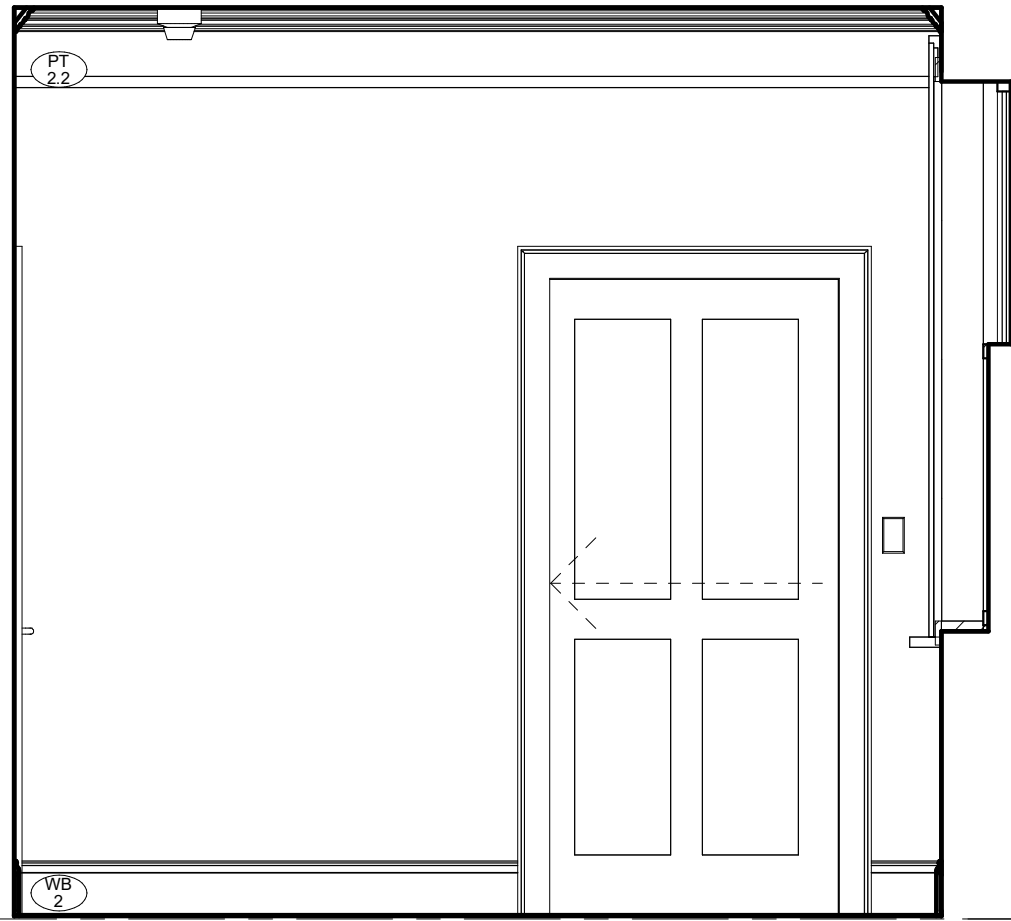
website www.joethearchitect.com

drawing title  
**UNIT 2 INTERIOR ELEVATIONS**

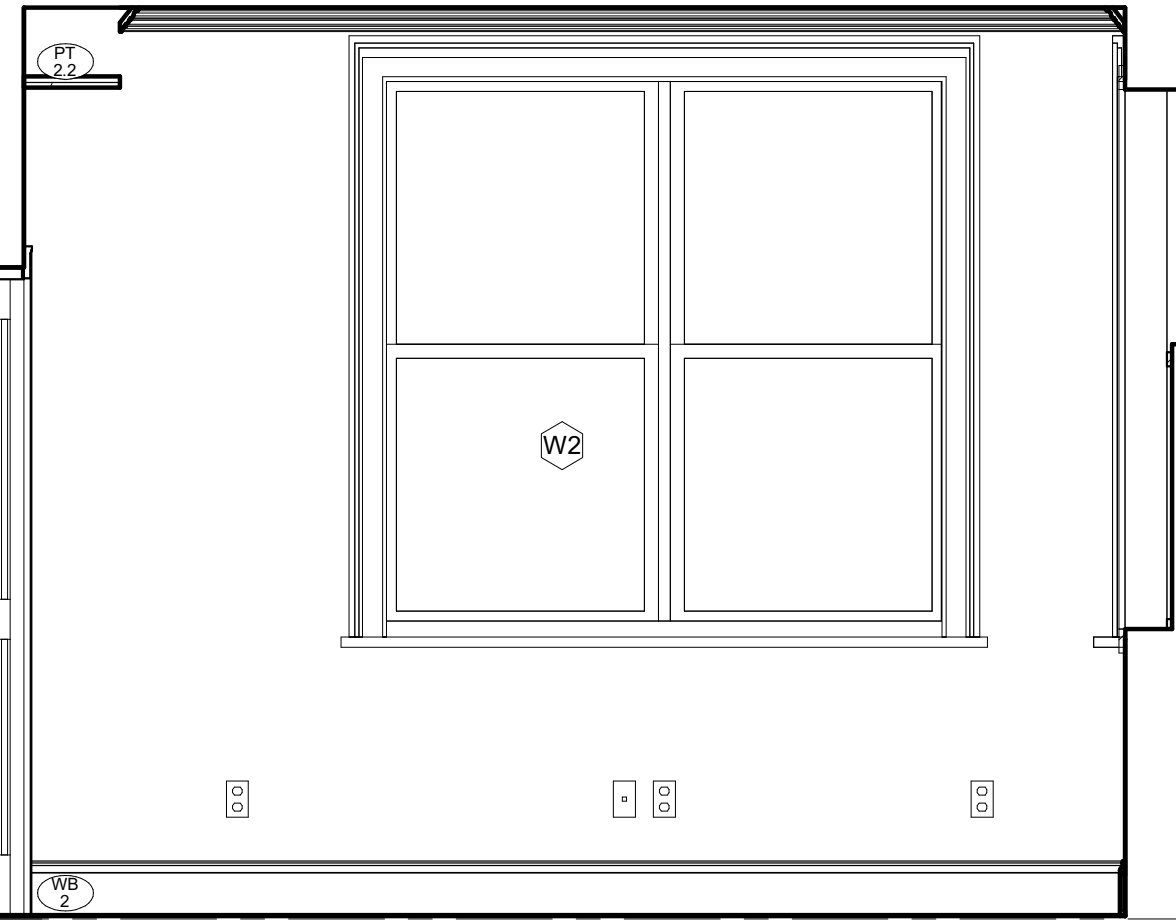
project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	

A620

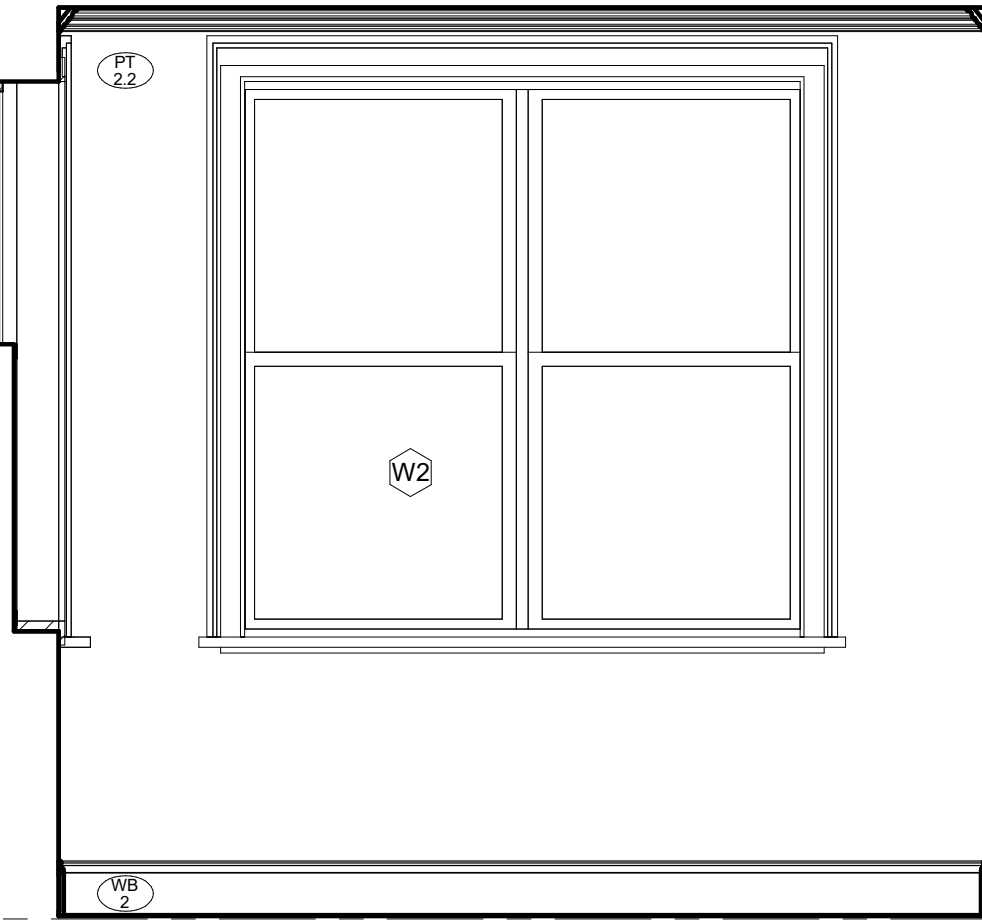
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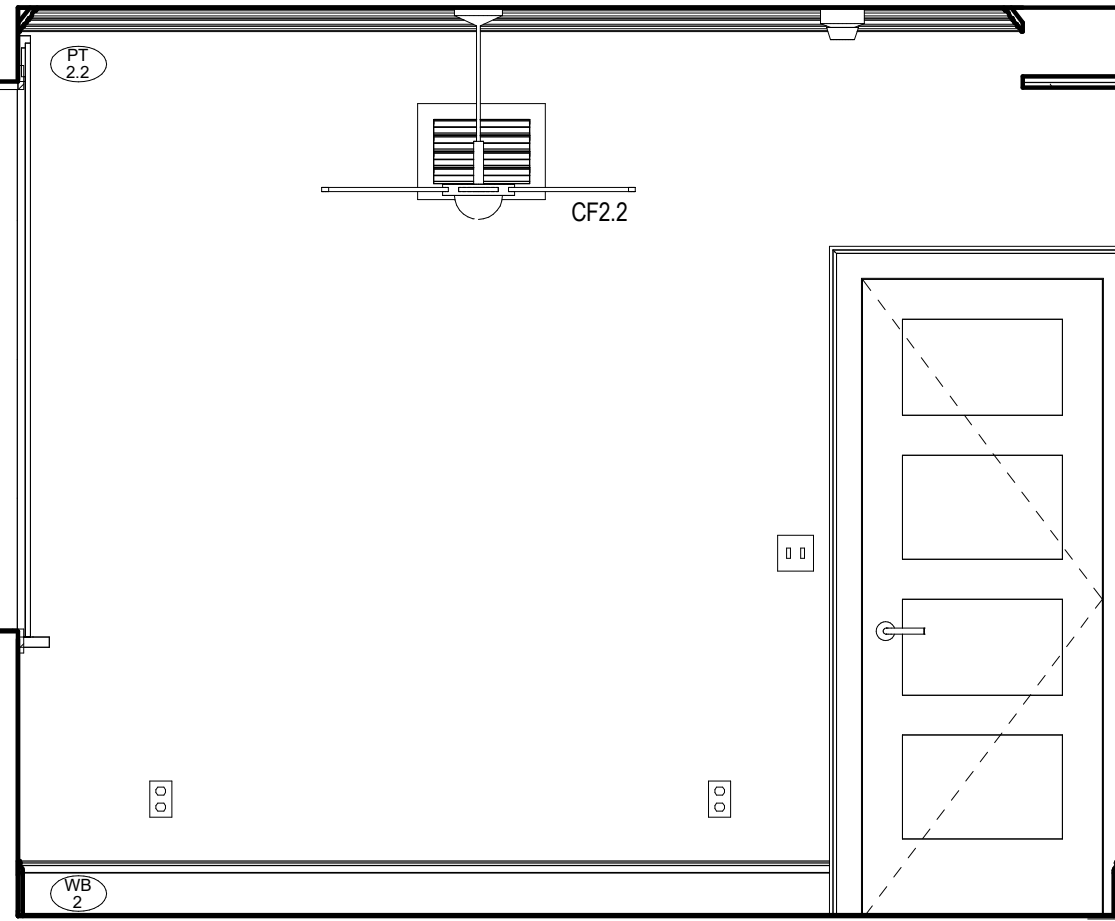
1 2.9 UNIT 2 BEDROOM 1  
1/2" = 1'-0"



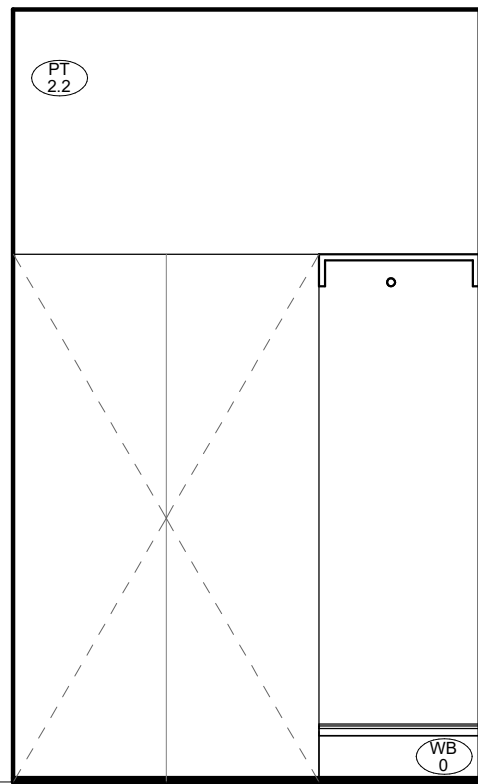
2 2.9 UNIT 2 BEDROOM 2  
1/2" = 1'-0"



3 2.9 UNIT 2 BEDROOM 3  
1/2" = 1'-0"

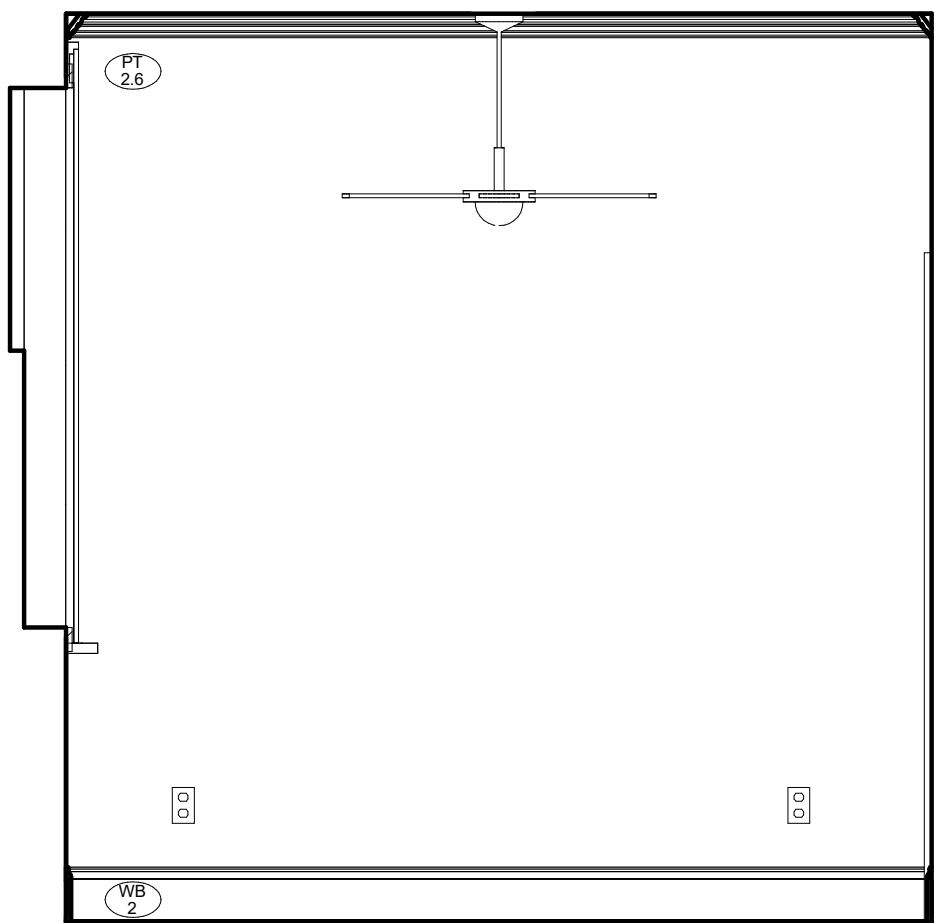


4 2.9 UNIT 2 BEDROOM 4  
1/2" = 1'-0"

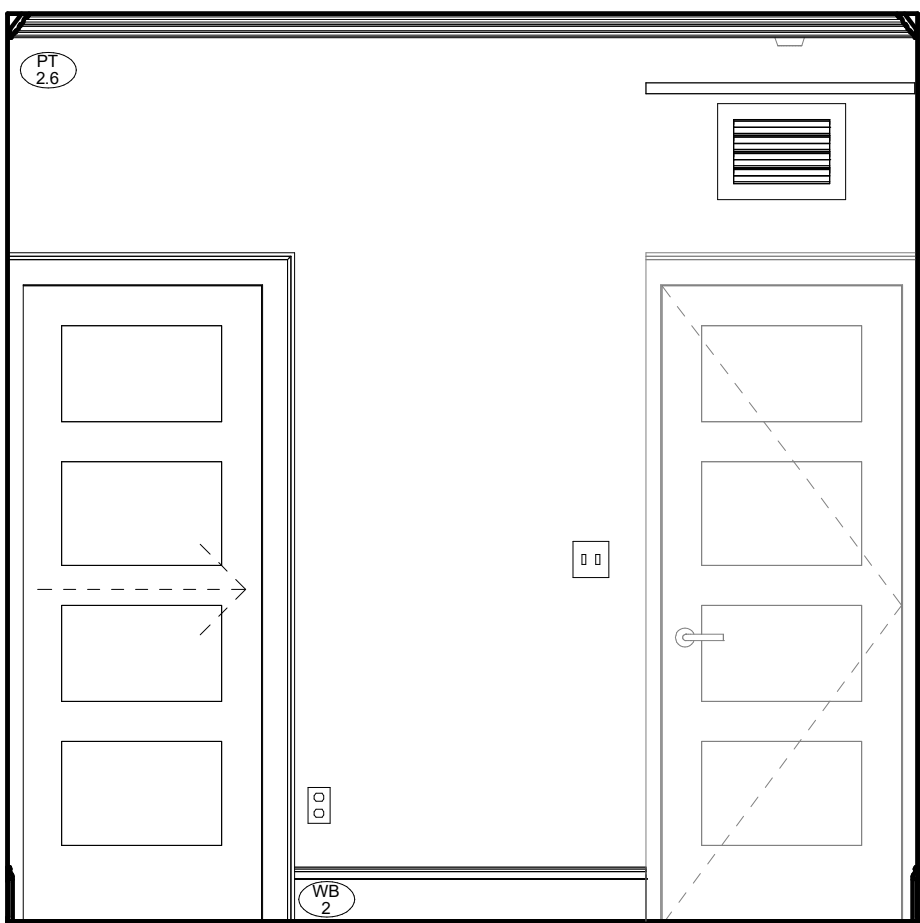


13 2.7 UNIT 2 CLOSET  
1/2" = 1'-0"

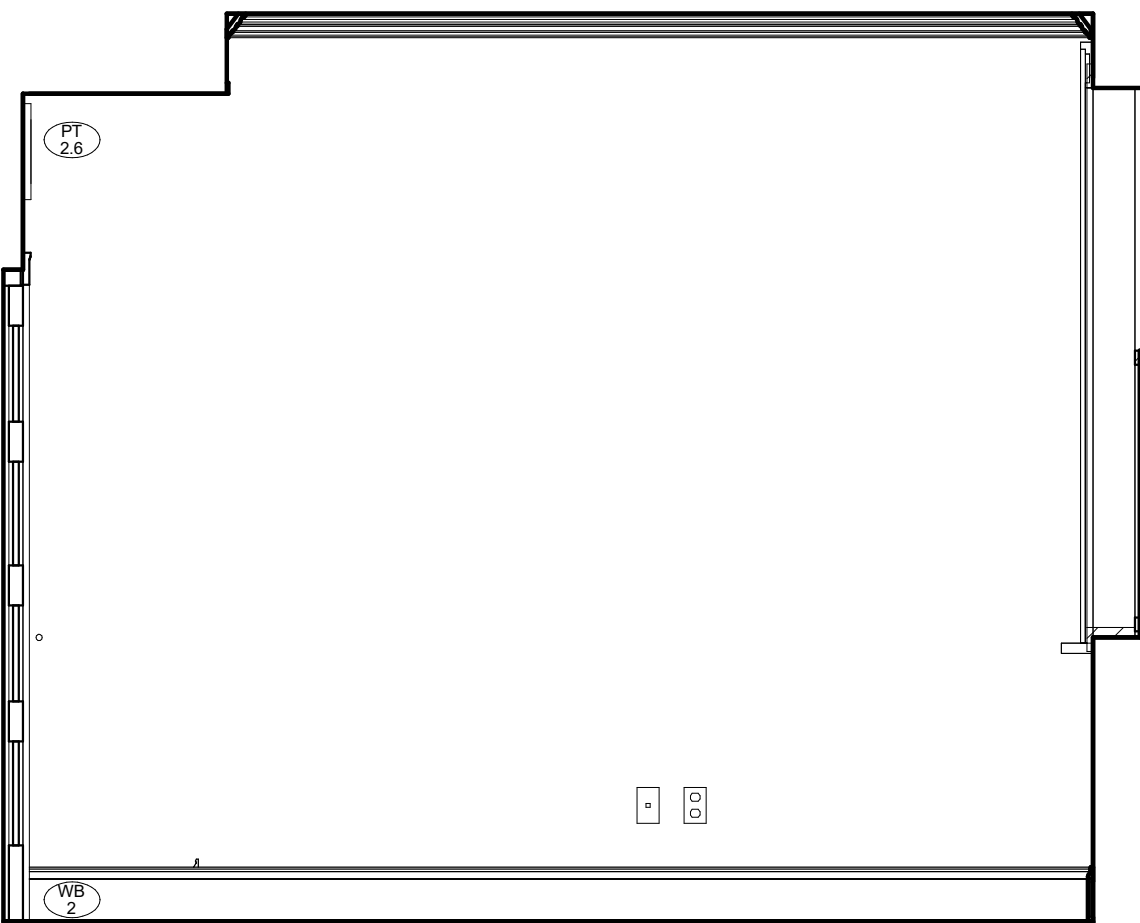
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13' - 0"



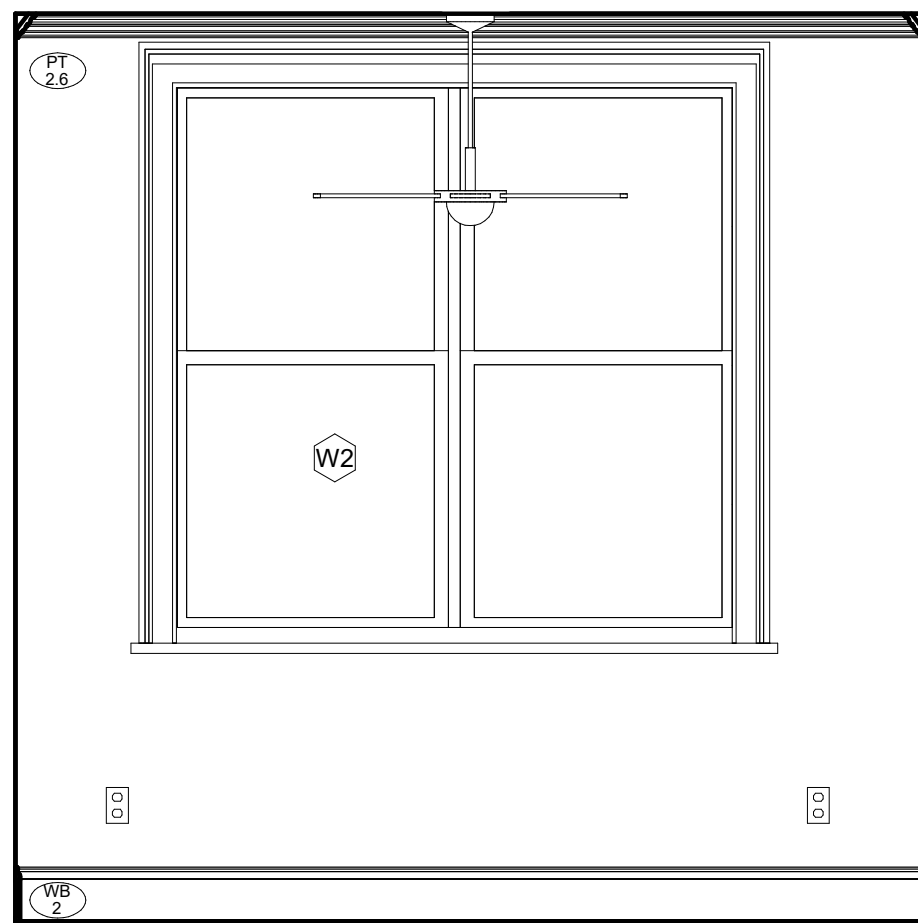
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1/2" = 1'-0"



6 2.14 UNIT 2 BEDROOM 2  
1/2" = 1'-0"

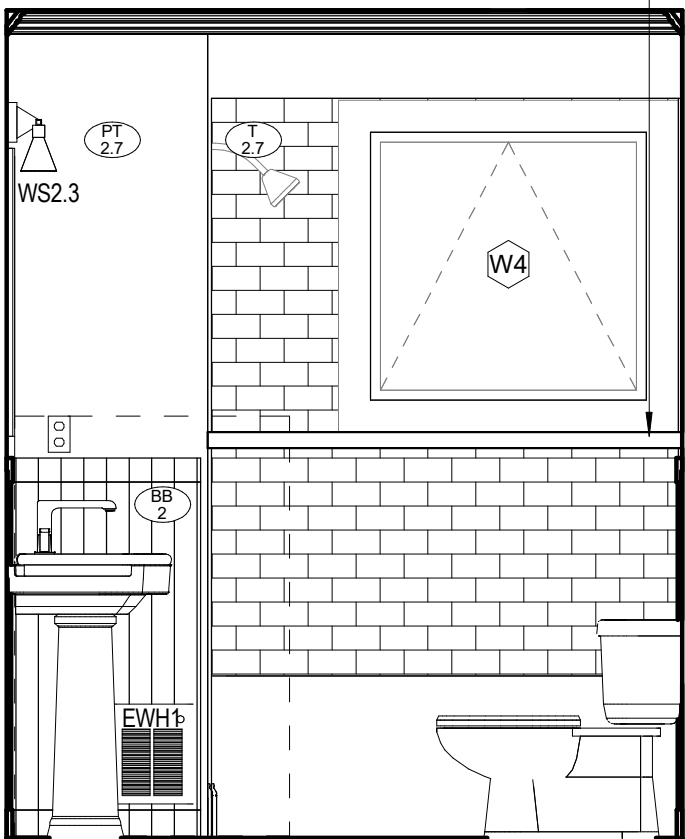


7 2.14 UNIT 2 BEDROOM 3  
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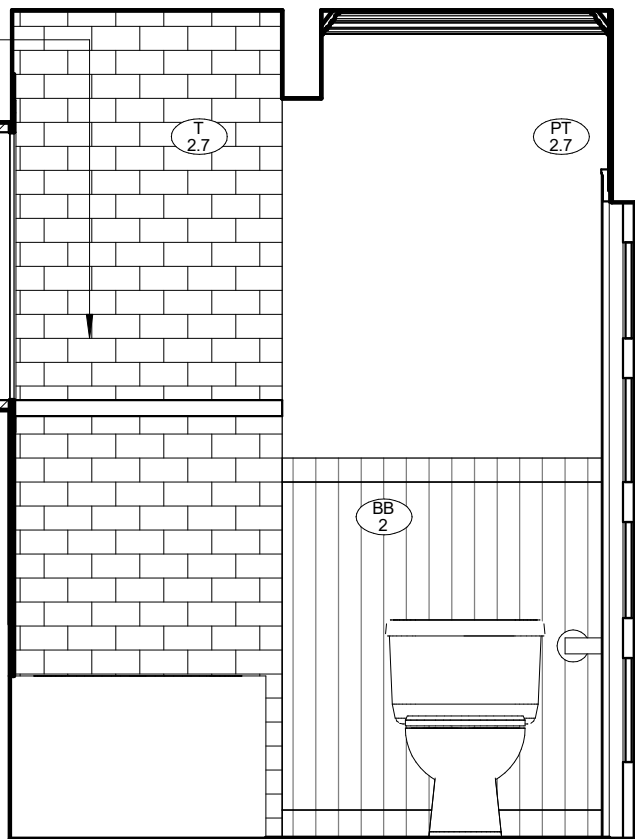


8 2.14 UNIT 2 BEDROOM 4  
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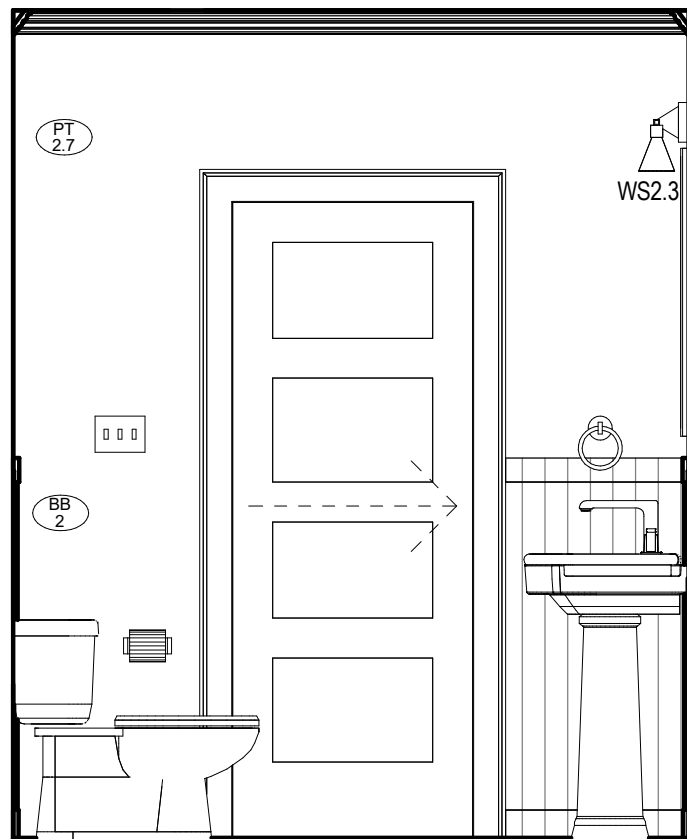
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13' - 0"



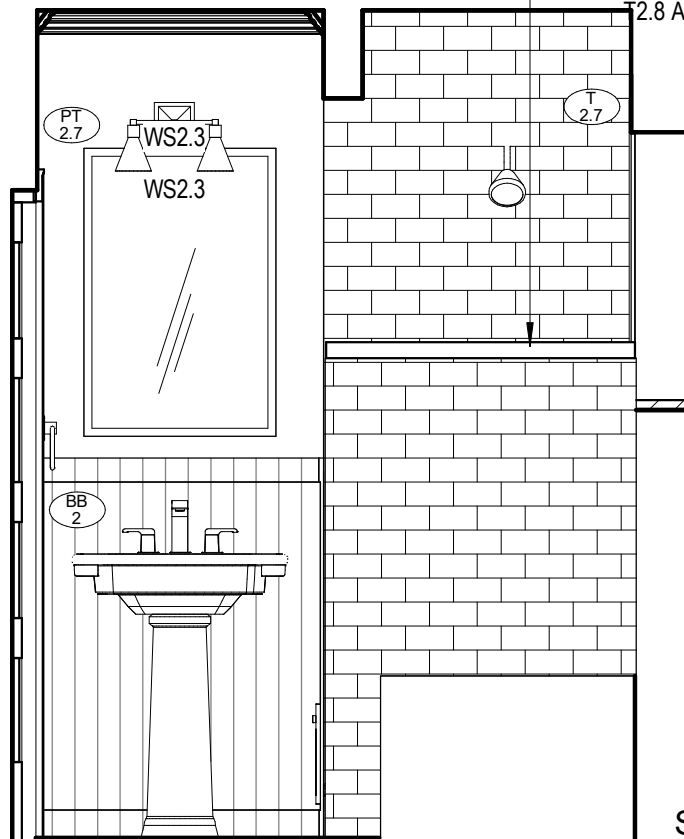
9 2.16 UNIT 2 BATHROOM 1  
1/2" = 1'-0"



10 2.16 UNIT 2 BATHROOM 2  
1/2" = 1'-0"



11 2.16 UNIT 2 BATHROOM 3  
1/2" = 1'-0"



12 2.16 UNIT 2 BATHROOM 4  
1/2" = 1'-0"

SECOND FLOOR  
13' - 0"

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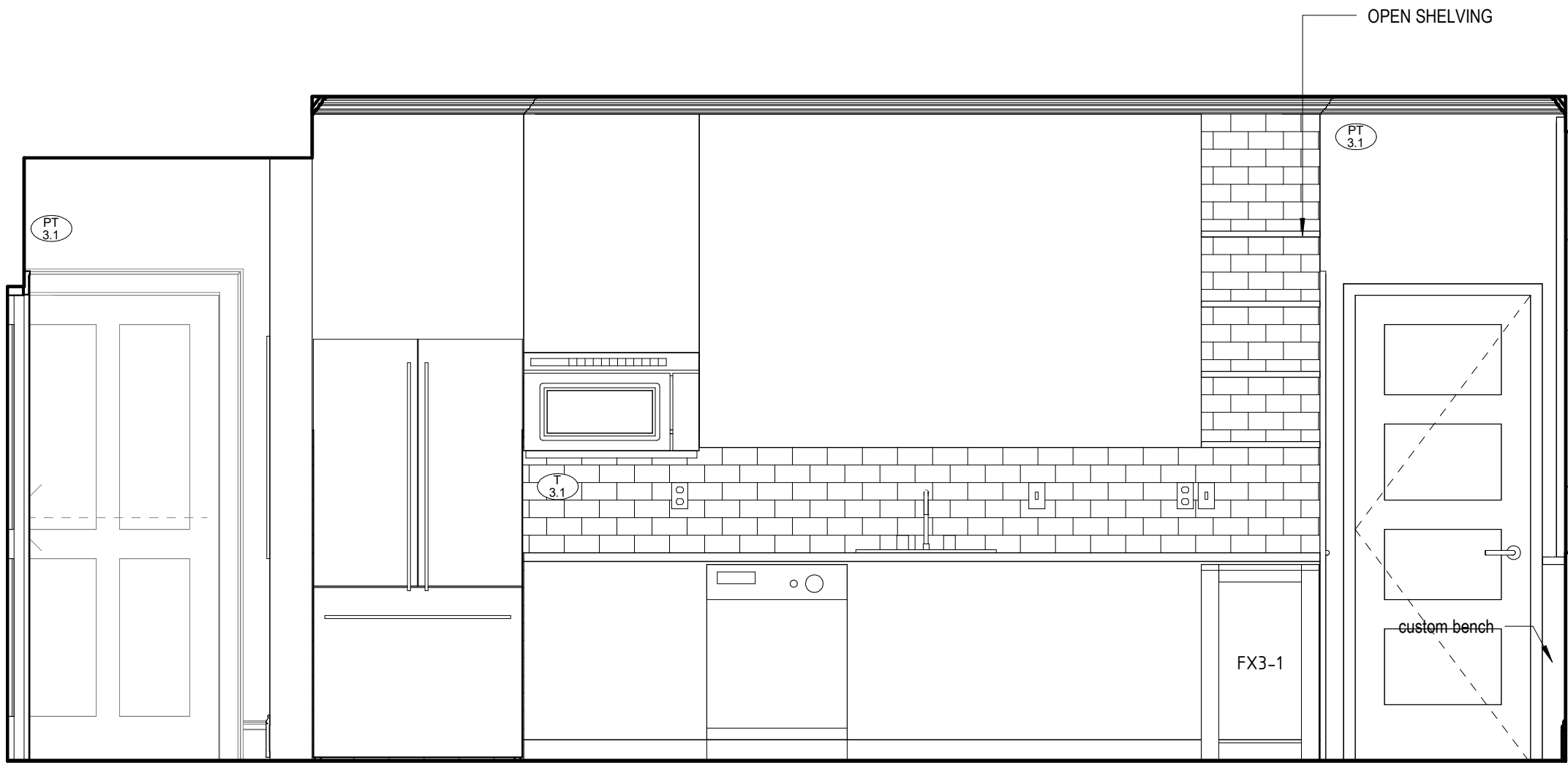
website www.joethearchitect.com

drawing title  
**UNIT 2 INTERIOR ELEVATIONS**

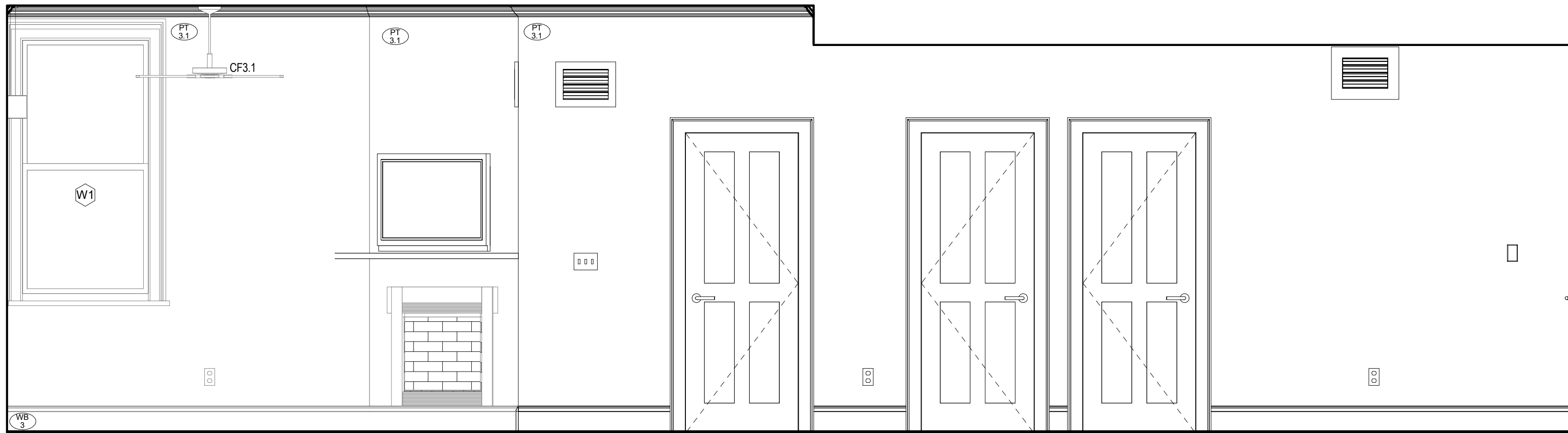
project number 092 drawing scale 1/2" = 1'-0" approver Approver

drawing number A621 revision 8

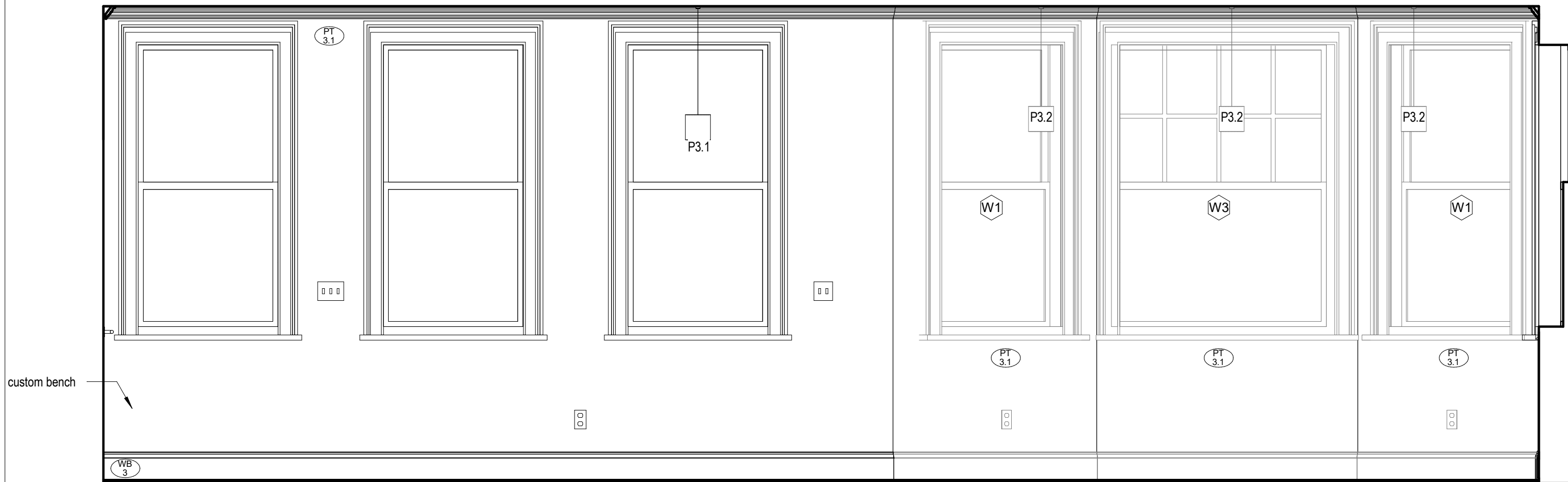




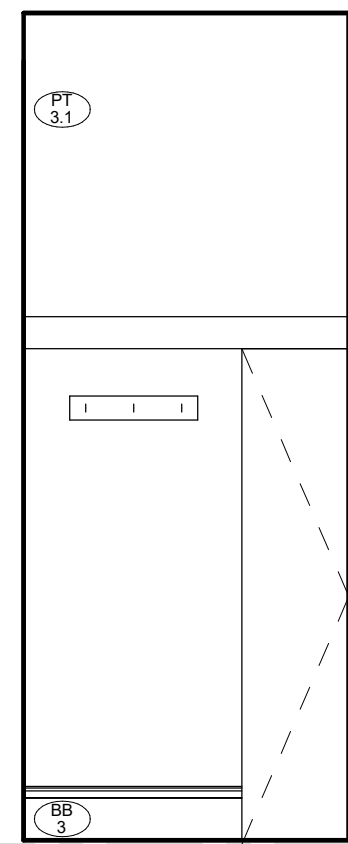
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1/2" = 1'-0"



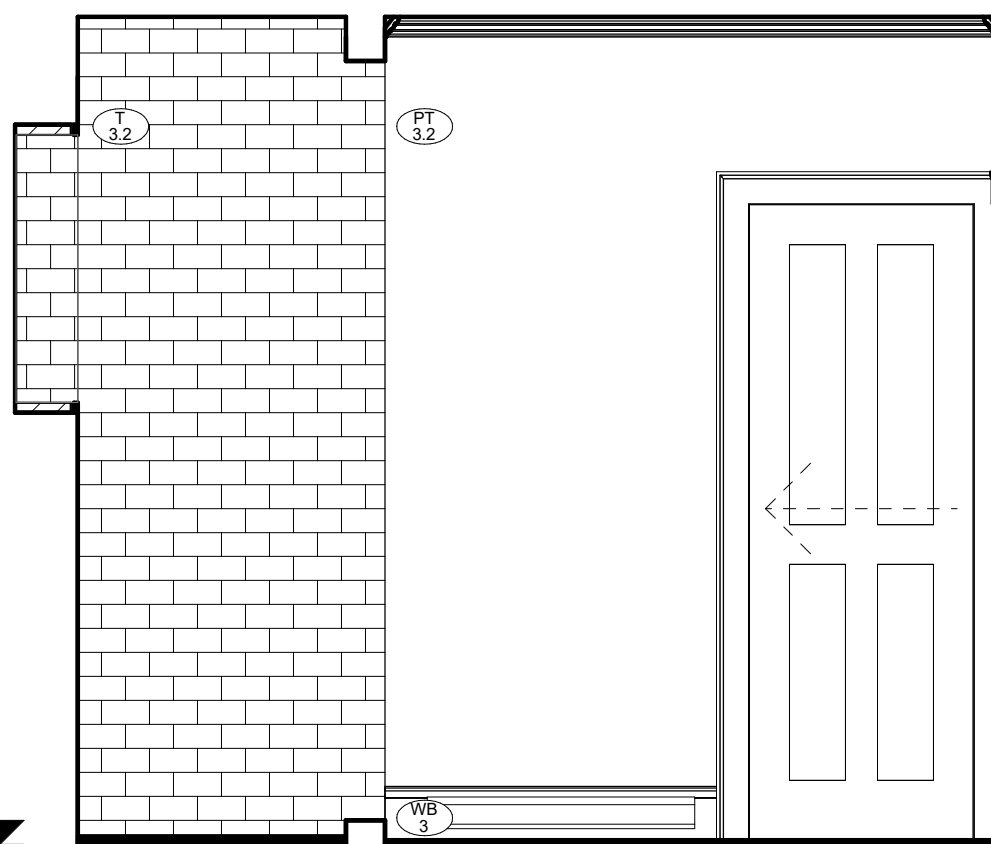
2 3.5 - UNIT 3 KITCHEN B  
1/2" = 1'-0"



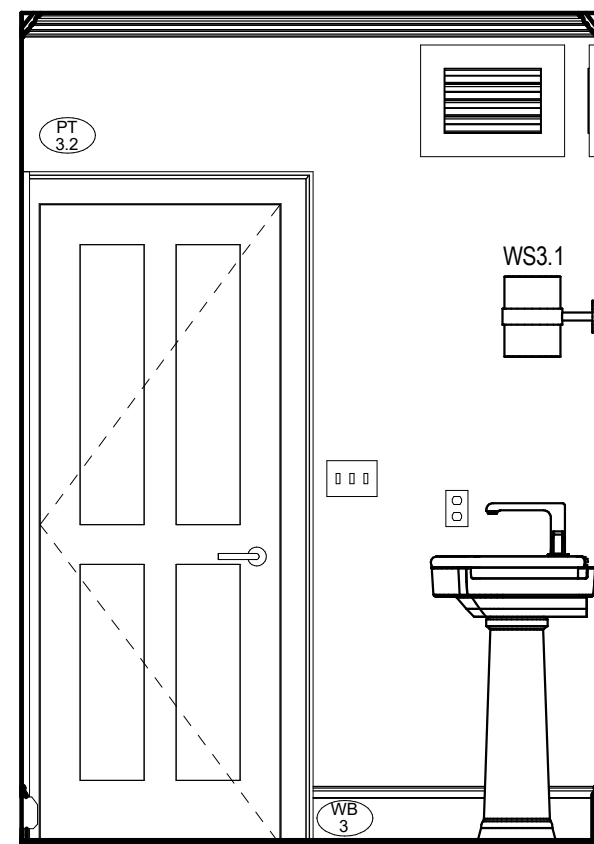
3 3.5 - UNIT 3 KITCHEN C  
1/2" = 1'-0"



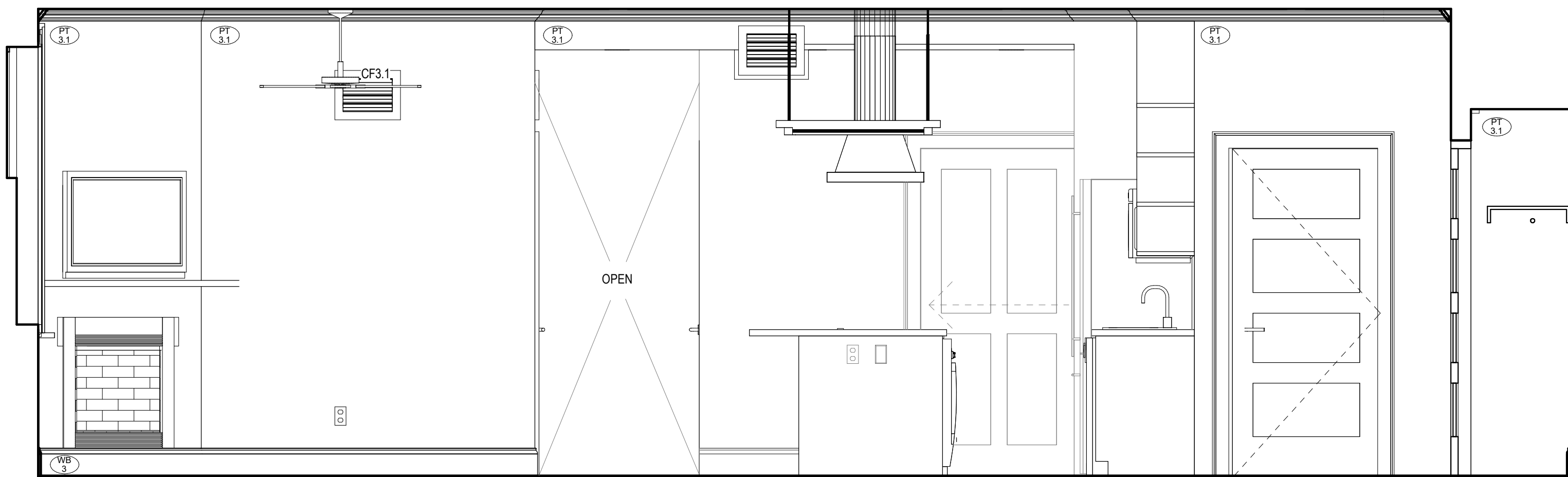
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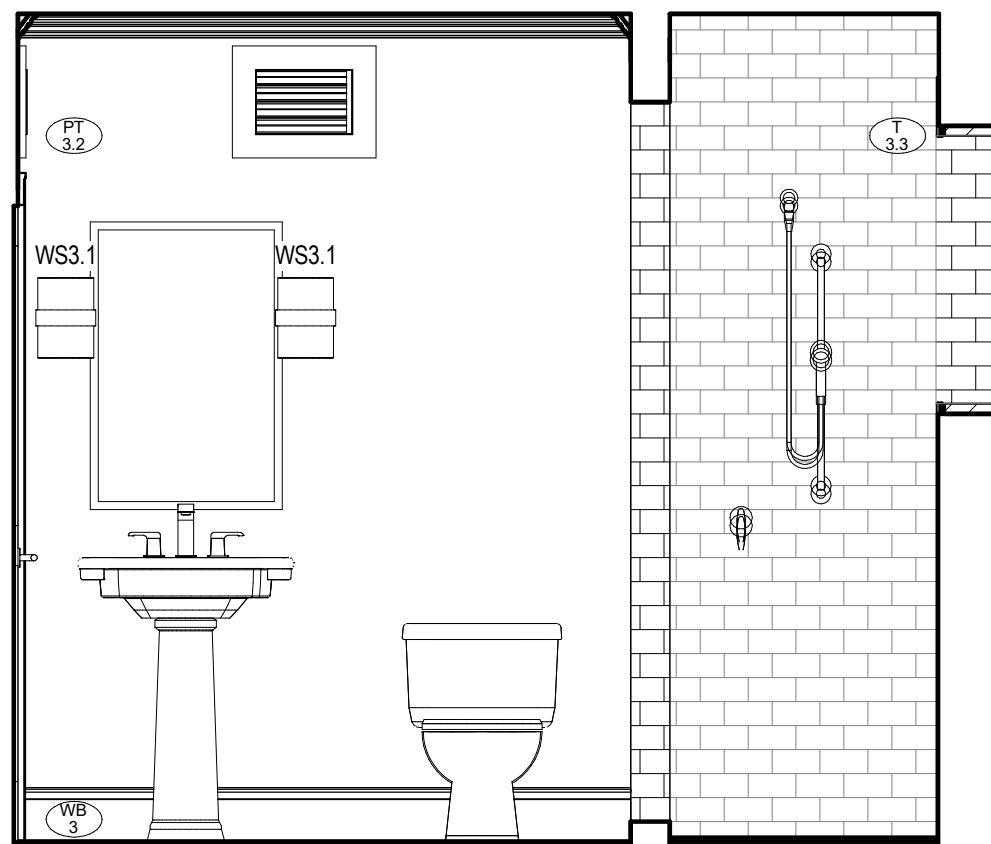
5 3.6 - UNIT 3 BATHROOM A  
1/2" = 1'-0"



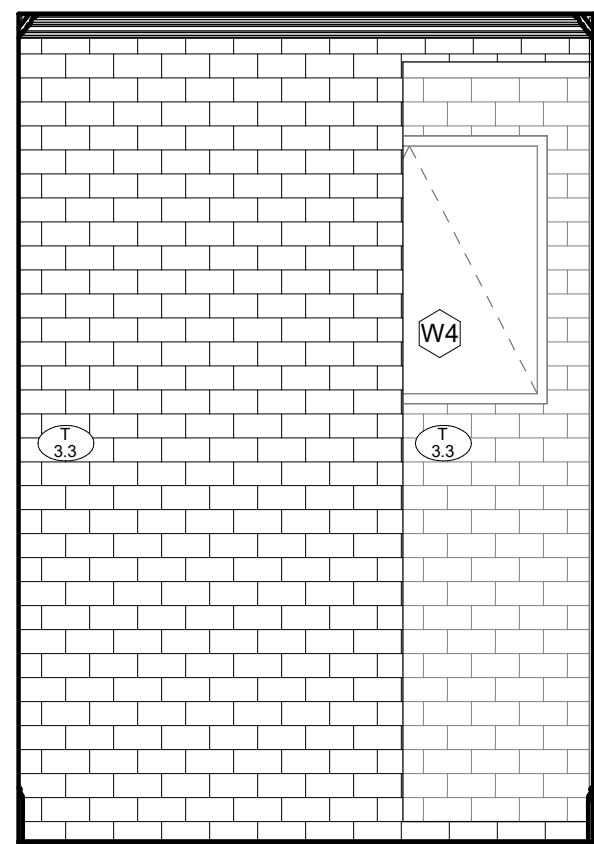
6 3.6 - UNIT 3 BATHROOM B  
1/2" = 1'-0"



4 3.5 - UNIT 3 KITCHEN D  
1/2" = 1'-0"



7 3.6 - UNIT 3 BATHROOM C  
1/2" = 1'-0"



8 3.6 - UNIT 3 BATHROOM D  
1/2" = 1'-0"

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revision	revision description	date
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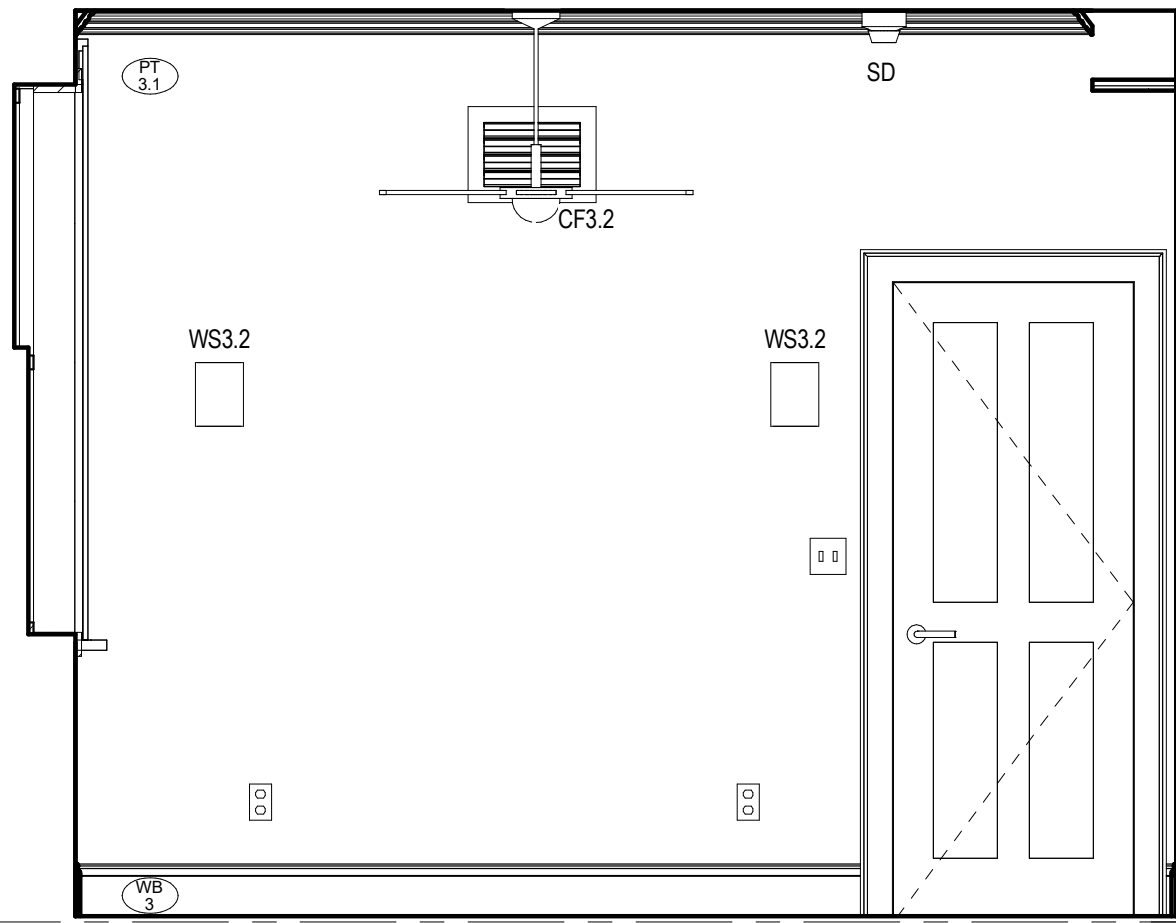
website www.joethearchitect.com

drawing title  
UNIT 3 INTERIOR ELEVATIONS

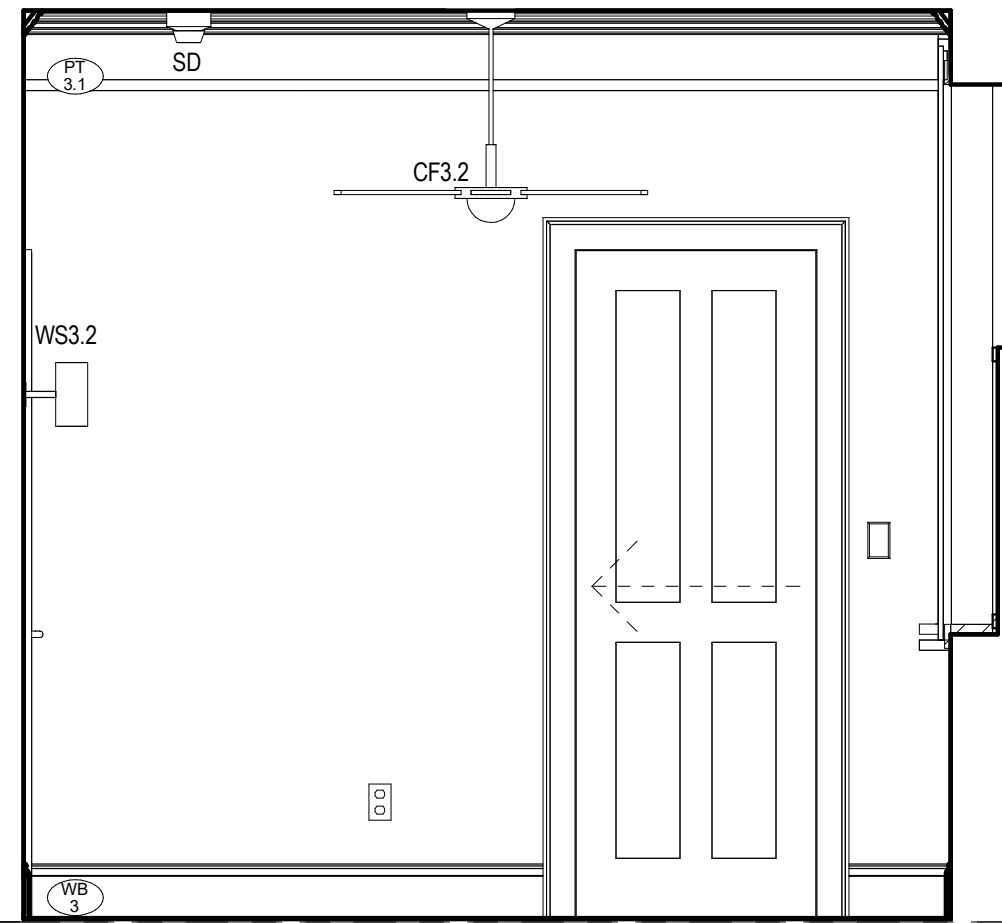
project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	

A630

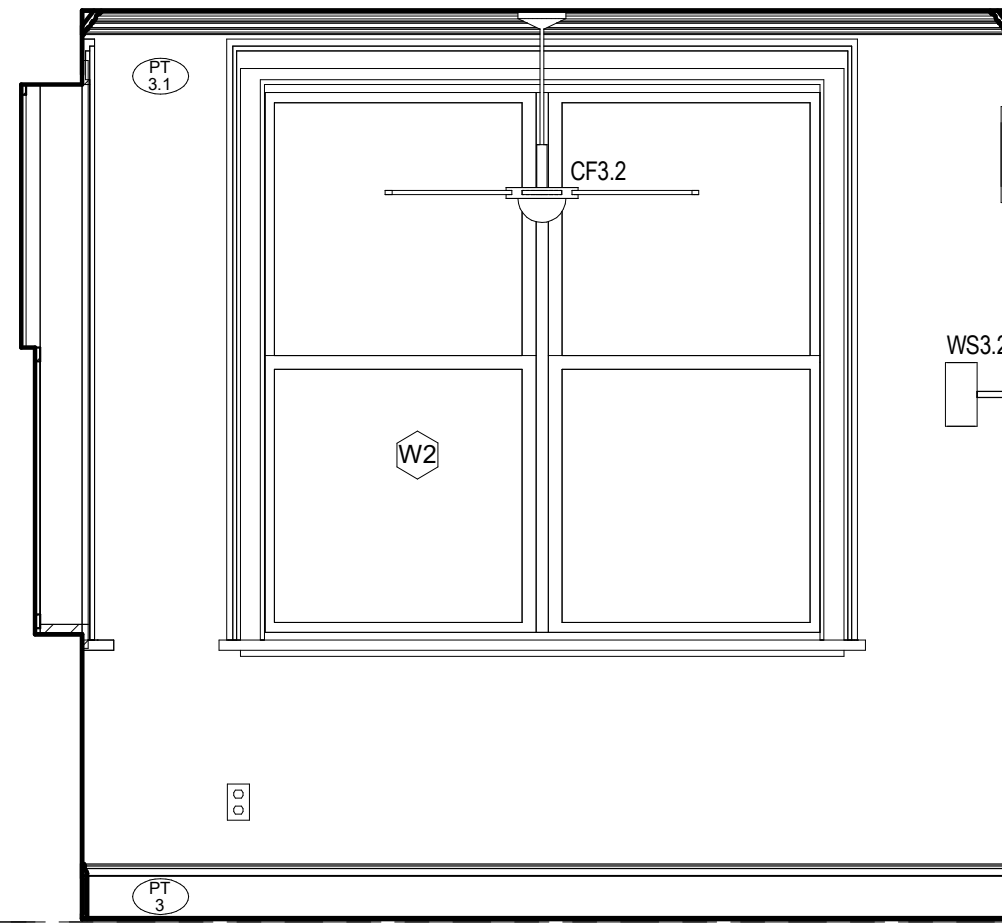
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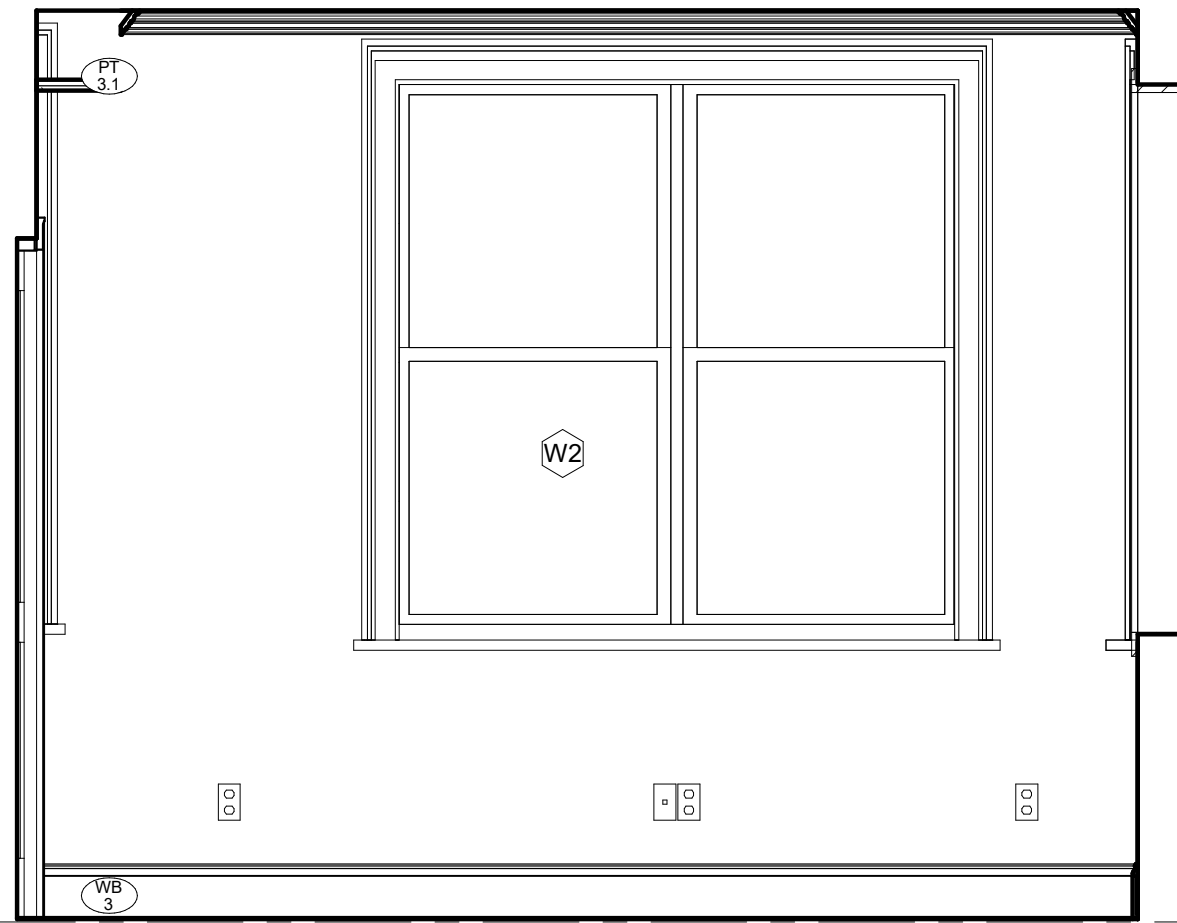
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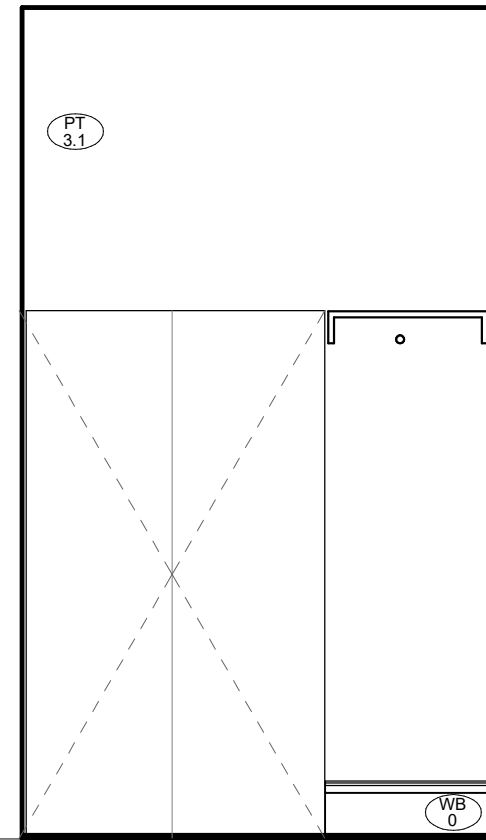
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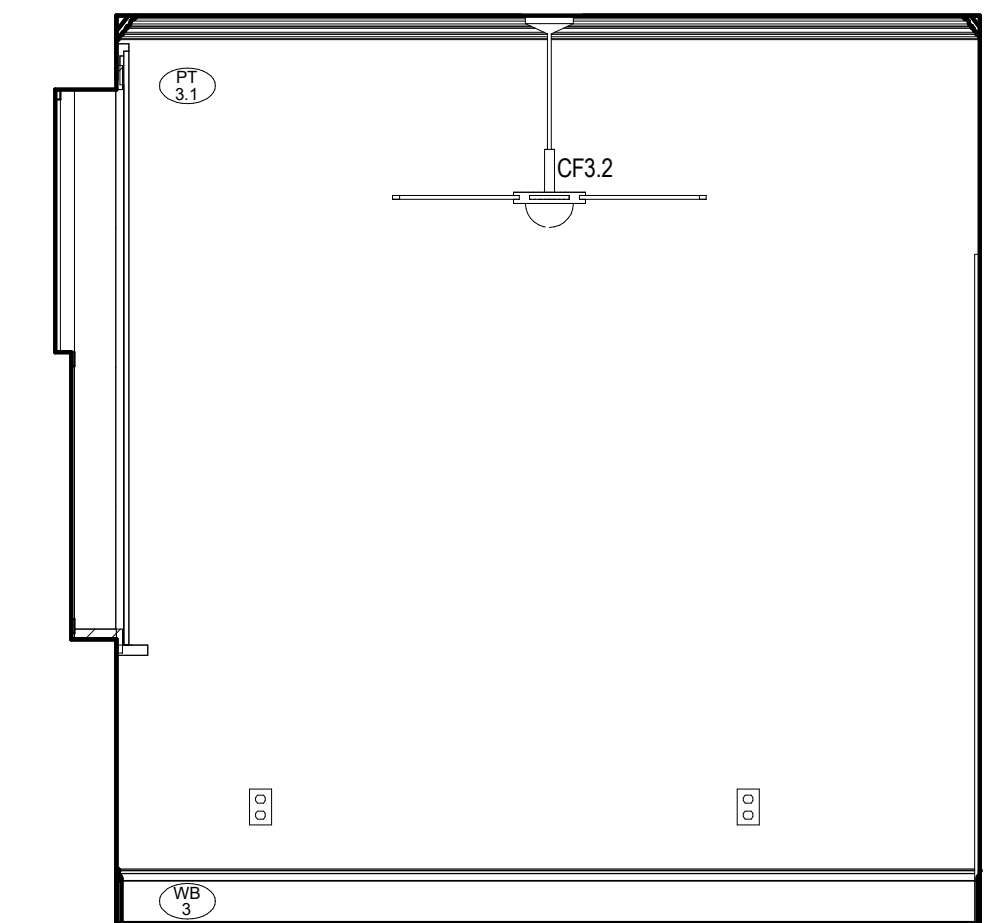
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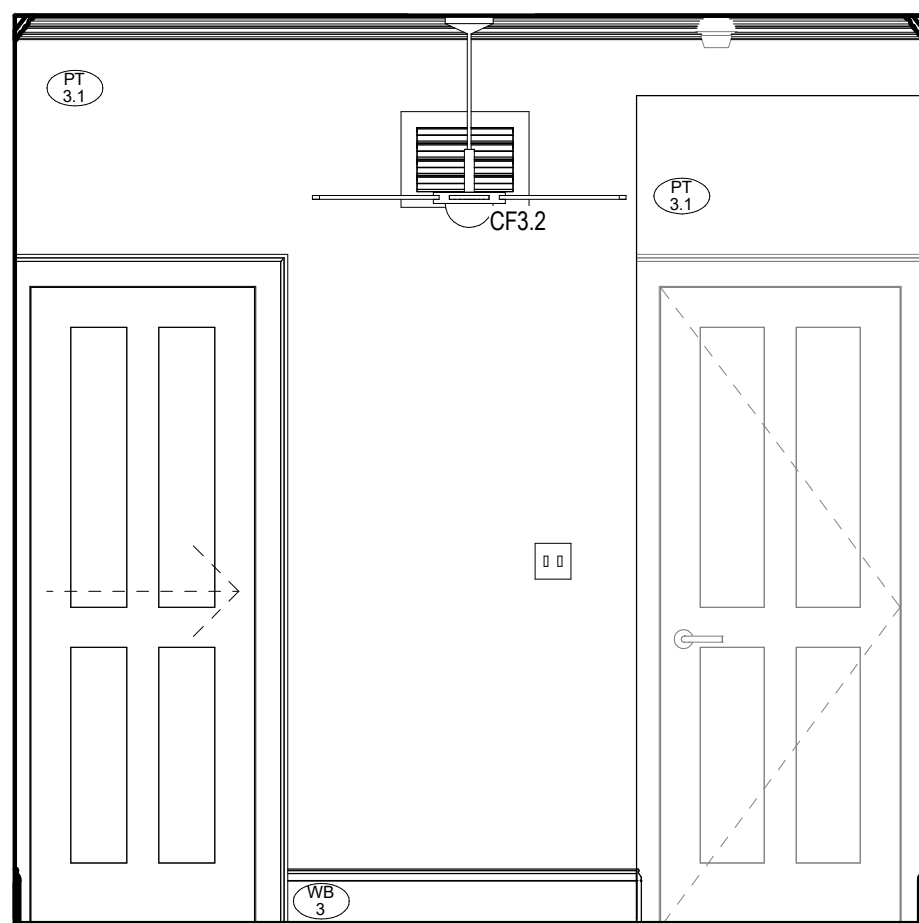
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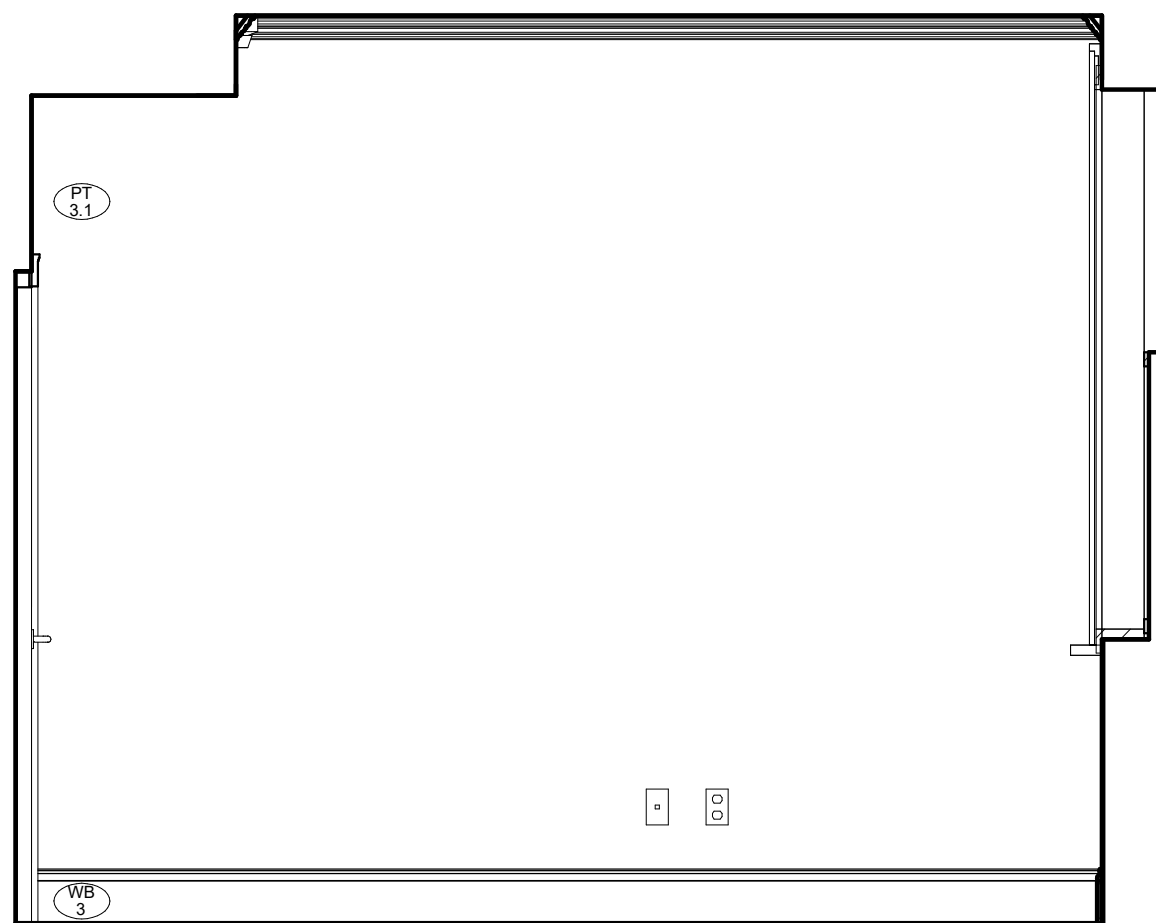
13 Elevation 2 - a  
1/2" = 1'-0"



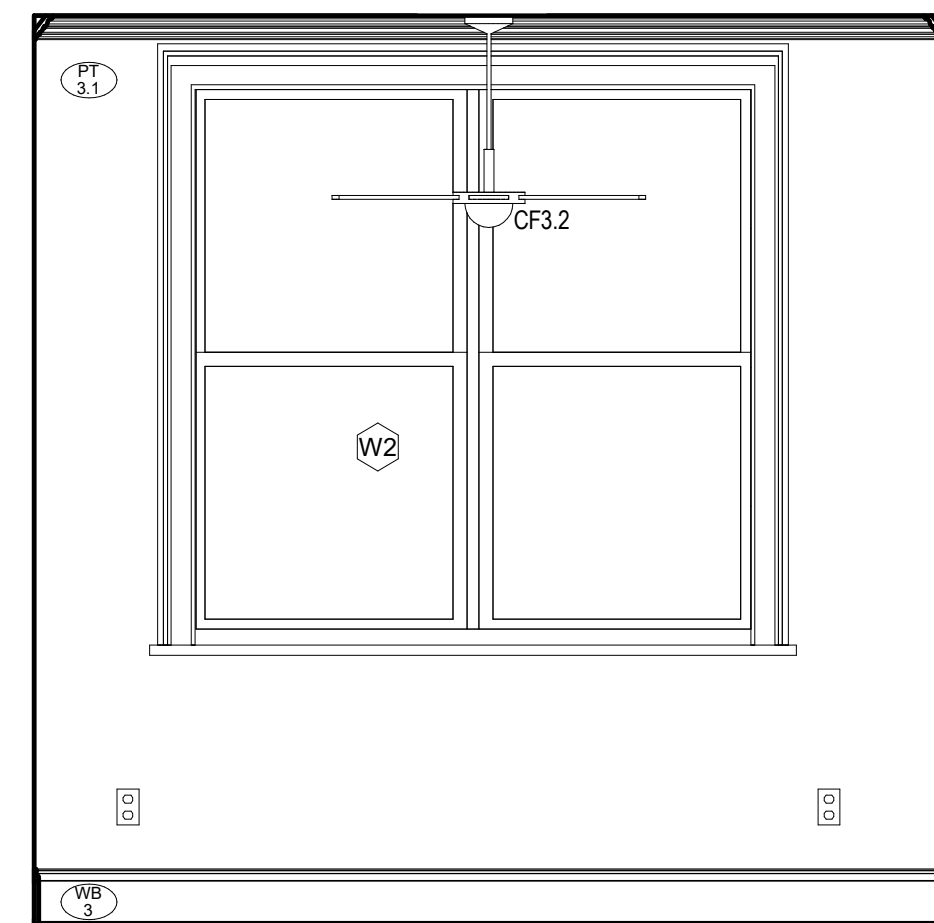
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1/2" = 1'-0"



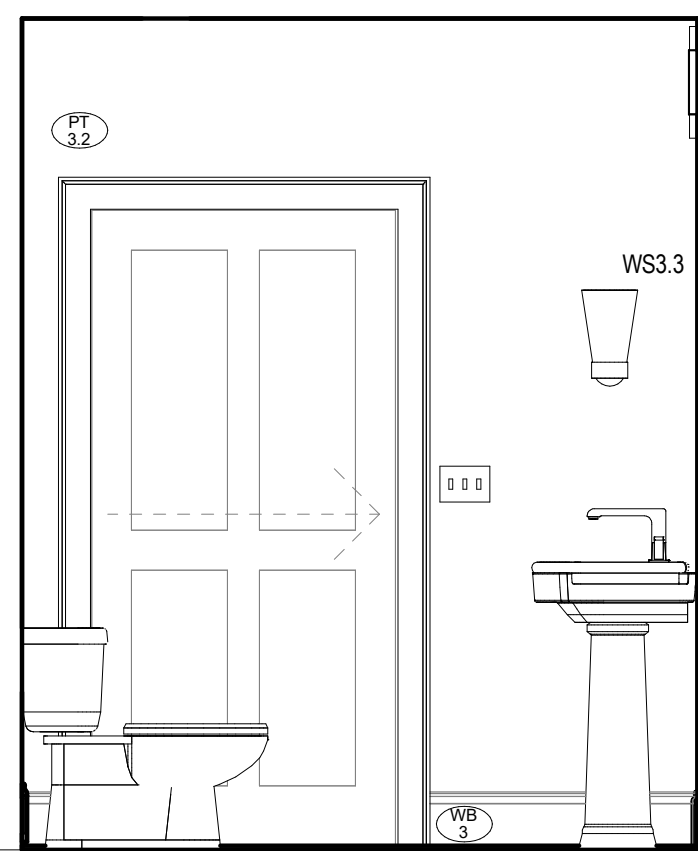
6 3.14 UNIT 3 BEDROOM 2  
1/2" = 1'-0"



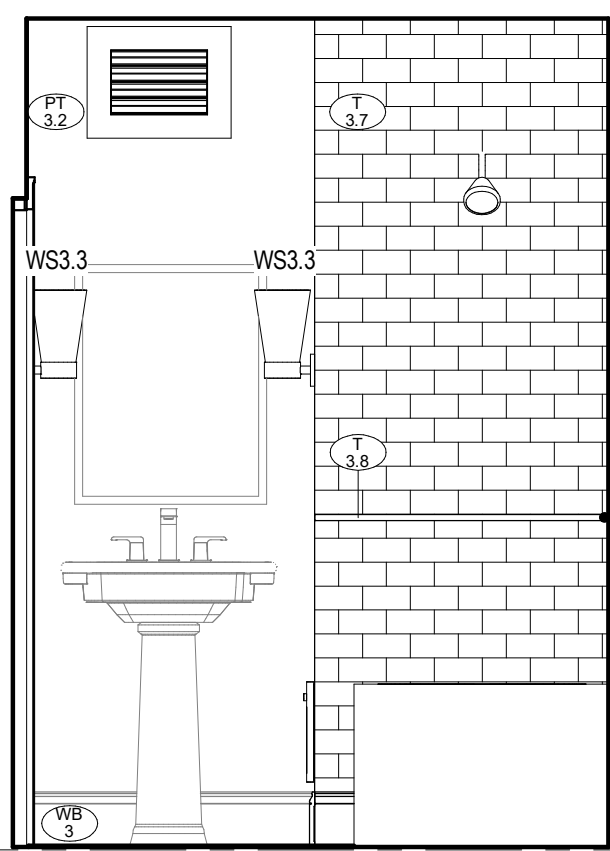
7 3.14 UNIT 3 BEDROOM 3  
1/2" = 1'-0"



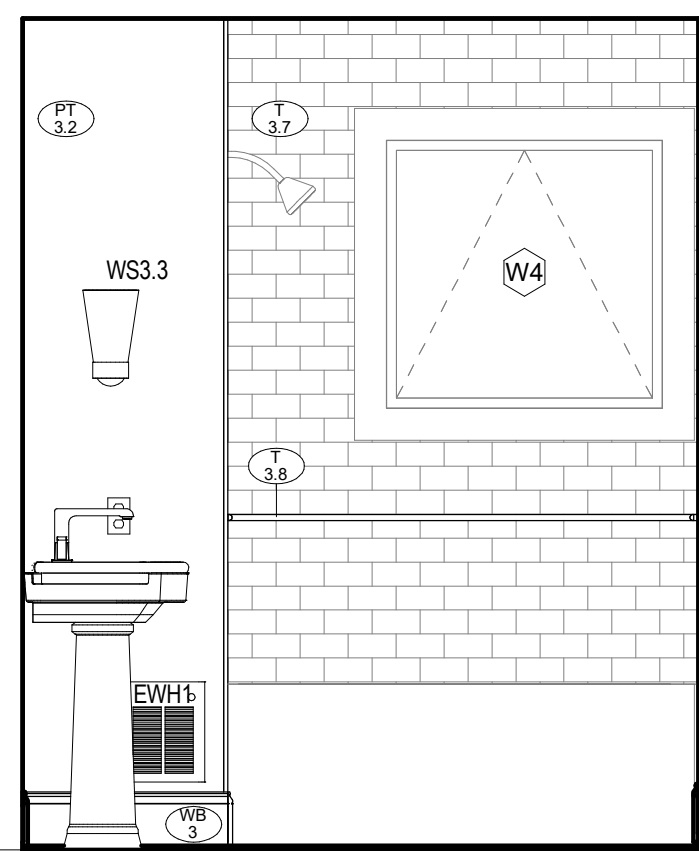
8 3.14 UNIT 3 BEDROOM 4  
1/2" = 1'-0"



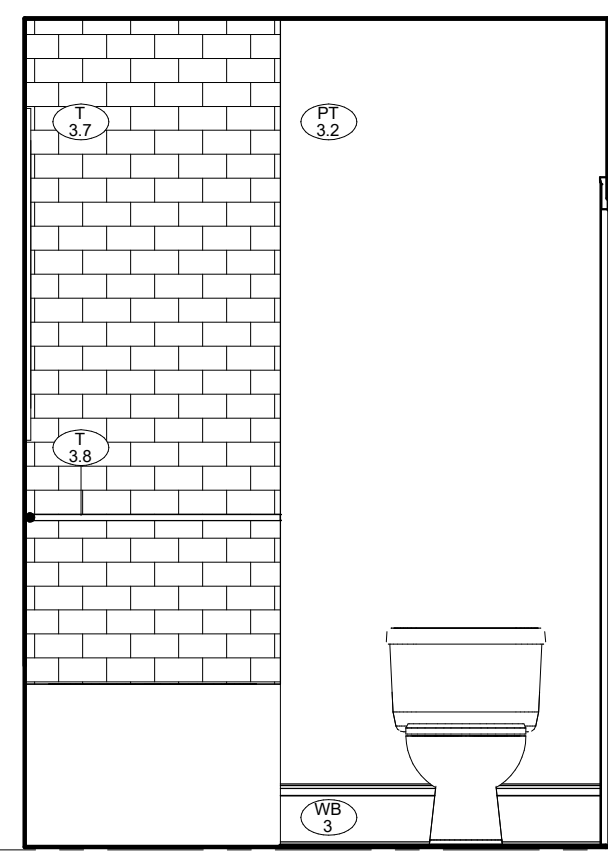
9 3.16 UNIT 3 BATHROOM 1  
1/2" = 1'-0"



10 3.16 UNIT 3 BATHROOM 2  
1/2" = 1'-0"



11 3.16 UNIT 3 BATHROOM 3  
1/2" = 1'-0"



12 3.16 UNIT 3 BATHROOM 4  
1/2" = 1'-0"

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drawing title  
UNIT 3 INTERIOR ELEVATIONS

project number	drawing scale	approver
092	1/2" = 1'-0"	Approver
drawing number	revision	

A631

8





▲ 1



▲ 1P



▲ 2



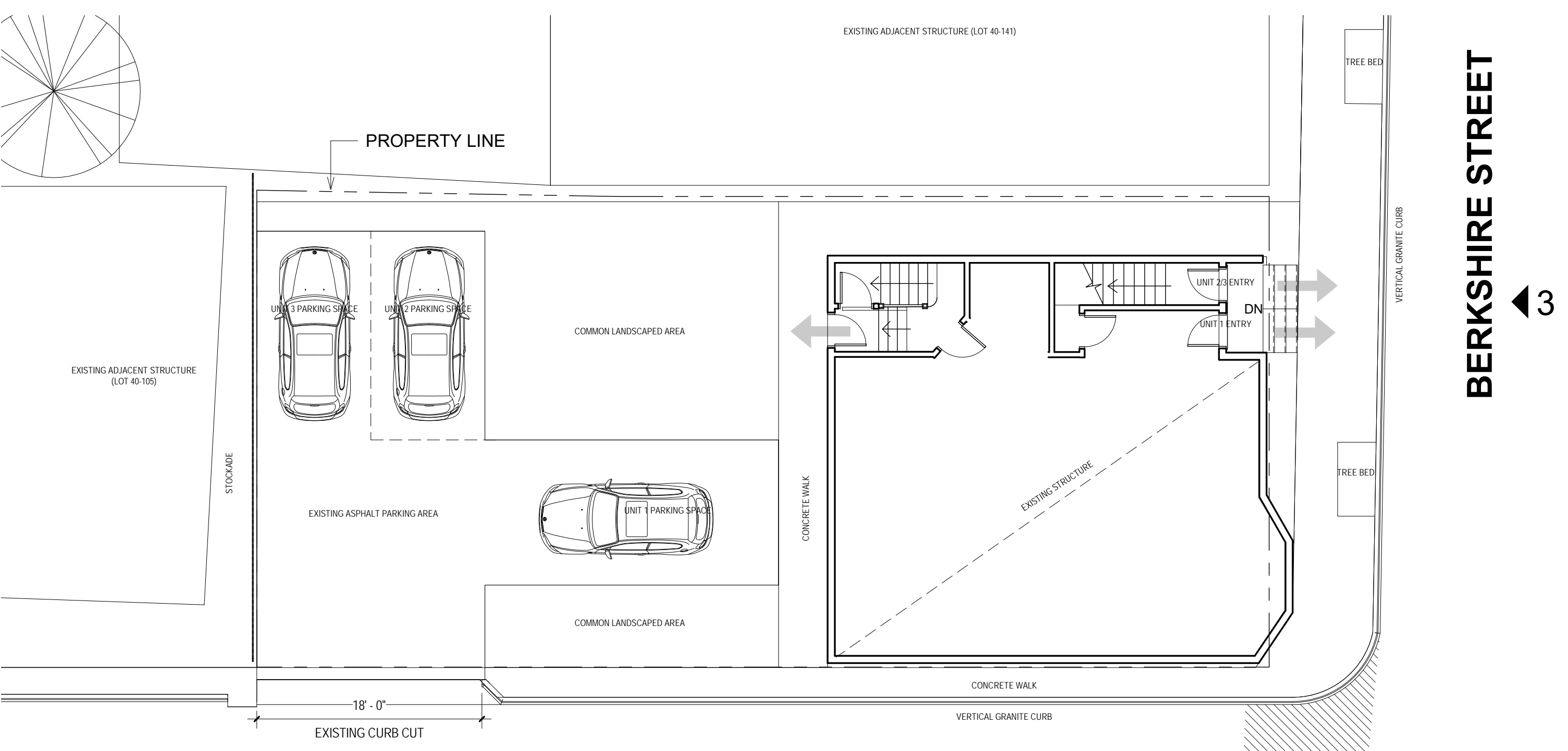
▲ 2P



▲ 3



▲ 3P

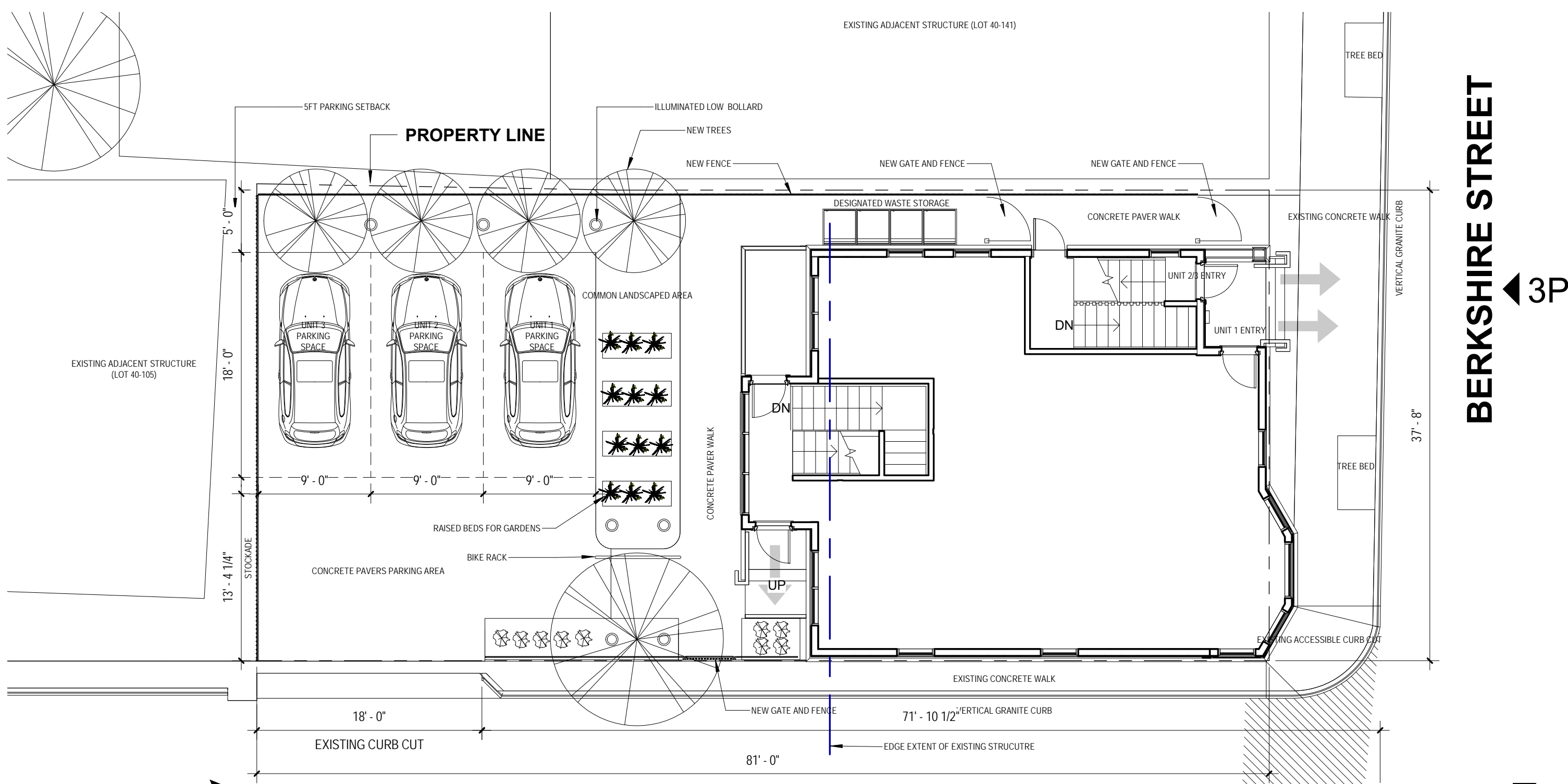


2▼

VANDINE STREET

▲ 1

### EXISTING SITE CONTEXT



2P▼

VANDINE STREET

▲ 1P

### PROPOSED SITE CONTEXT

drawing scale 1/8" = 1'-0" project number 092 drawing number AP201 revision

For Zoning

BERKSHIRE STREET RESIDENCE

30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

SITE CONTEXT



PROJECT DATA			
PROPERTY CLASS	CONDOMINIUM		
STATE CLASS CODE	102		
MAP/LOT	40-140-1		
NEIGHBORHOOD	WELLINGTON HARRINGTON - NEIGHBORHOOD 3		
CITY OF CAMBRIDGE ZONING ORDINANCE; INCLUDING AMMENDMENTS APPROVED BY THE CITY COUNCIL UP TO ORDINANCE #1382 ORDAINED ON MAY 25, 2016.			
ZONING MAP OF THE CITY OF CAMBRIDGE ADOPTED FEB. 13, 1961 WITH CHANGES THROUGH AND INCLUDING ORDINANCE #1372 OF OCT. 19, 2015.			
DIMENSIONAL REGULATIONS DISTRICT C-1 MULTIFAMILY DWELLINGS			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	5,000SF	3,058SF	3,058SF
TOTAL FRONTAGE	--	37'-8"	37'-8"
FLOOR AREA RATIO (FAR)	2,294SF (.75)	3,660SF (1.2)	3,813SF (1.2)
MIN. LOT AREA/ DU	1,500SF	--	UNIT 1: 977SF UNIT 2: 1,010SF UNIT 3: 1,010SF
MINIMUM LOT WIDTH	50'-0"	37'-8"	37'-8"
BUILDING HEIGHT	35'-0" MAX	35'-0"	35'-0"
MINIMUM YARD DIMENSIONS (BASED ON BUILDING HEIGHT/LENGTH)			
FRONT SETBACK: (H+L)/4	16'-8"FT	16'-8"FT	16'-8"FT
MIN SIDE SETBACK: (H+L)/5	7'-6" MIN	4'-6"FT	4'-6"FT
MIN REAR SETBACK: (H+L)/4	20'-0" MIN	43'-10"FT	38'-9"FT
OPEN SPACE MIN AS % OF GROSS FLR AREA	30% 917SF	60% 1,838SF	55% 1,687SF
PROPOSED BUILDING AREA INCLUDING BASEMENT	--	4,630SF	5,015SF
BALCONIES/DECK	--	0SF	168SF
PARKING REGULATIONS			
	REQUIRED	EXISTING	PROPOSED
PARKING SPACES PER DWELLING	1/DU	1/DU	1/DU
TOTAL PARKING SPACES	3	3	3
PARKING NOTES: 1. SPECIAL PERMIT GRANTING AUTHORITY MAY REQUIRE VISITOR SPACES IN EXCESS OF THE MINIMUM.			

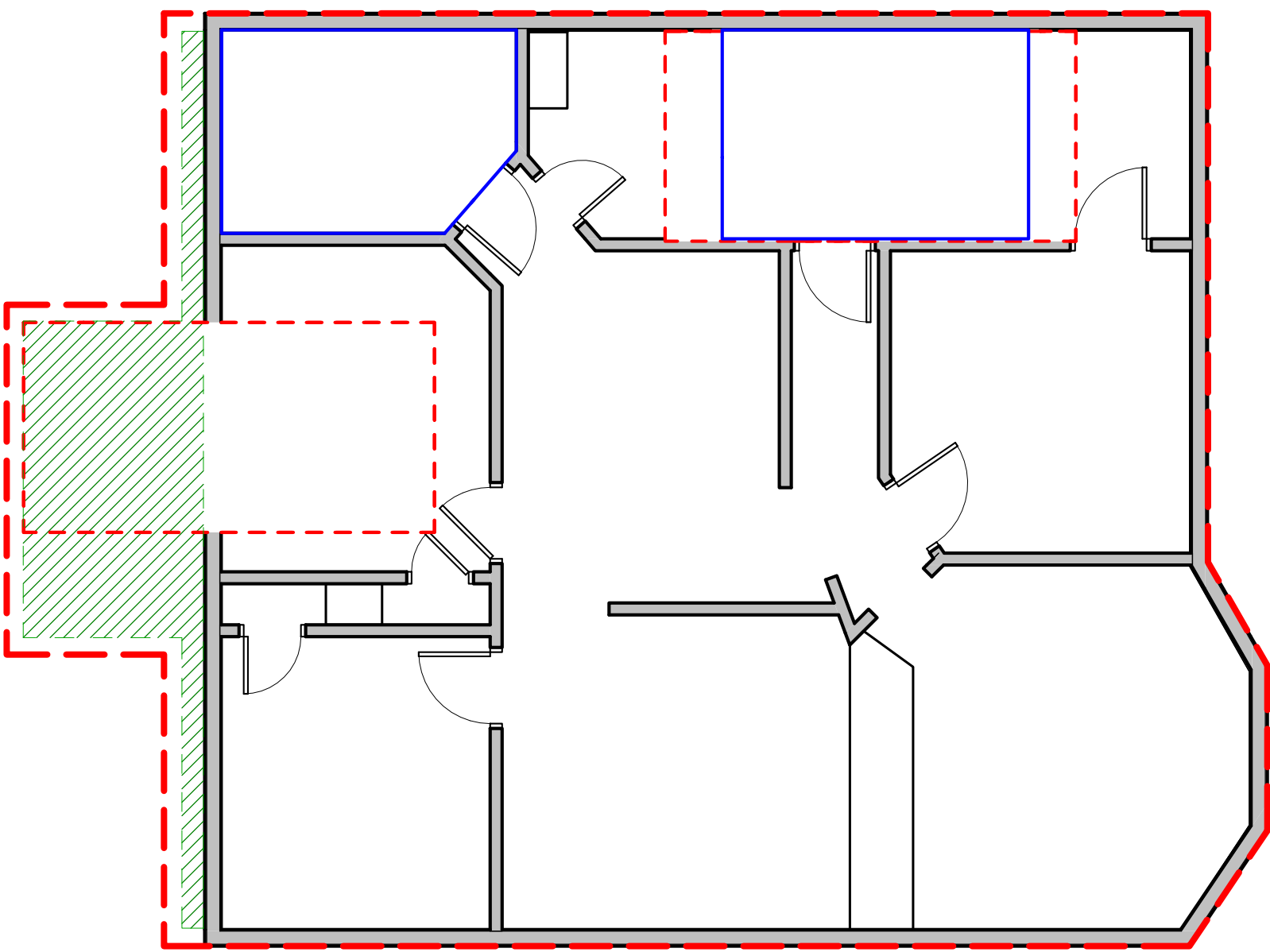
Stair Internal Area Comparison		
	Existing Stair Diagram <small>Rear Stair   Front Stair</small>	Existing Stair Non Code Compliant
Basement		25sf
First Floor		70+45=115sf
Second Floor		70+78=148sf
Third Floor		69+49=118sf
Total		406sf Existing
	New Stair Diagram <small>Rear Stair   Front Stair</small>	New Stair Code Compliant
Basement		57sf+62sf= 119sf
First Floor		105+98=203sf
Second Floor		105+105=210sf
Third Floor		104+106=210sf
Total		742sf New
	Area Difference Diagram <small>Rear Stair   Front Stair</small>	Area Delta Due to Code
Basement		119-25=94sf
First Floor		203-115=88sf
Second Floor		210-118=62sf
Third Floor		210-118=92sf
Total		336sf Delta

- New Building Footprint
- New Stair Circulation
- Additional SF Delta Driven By Code Compliant Stair

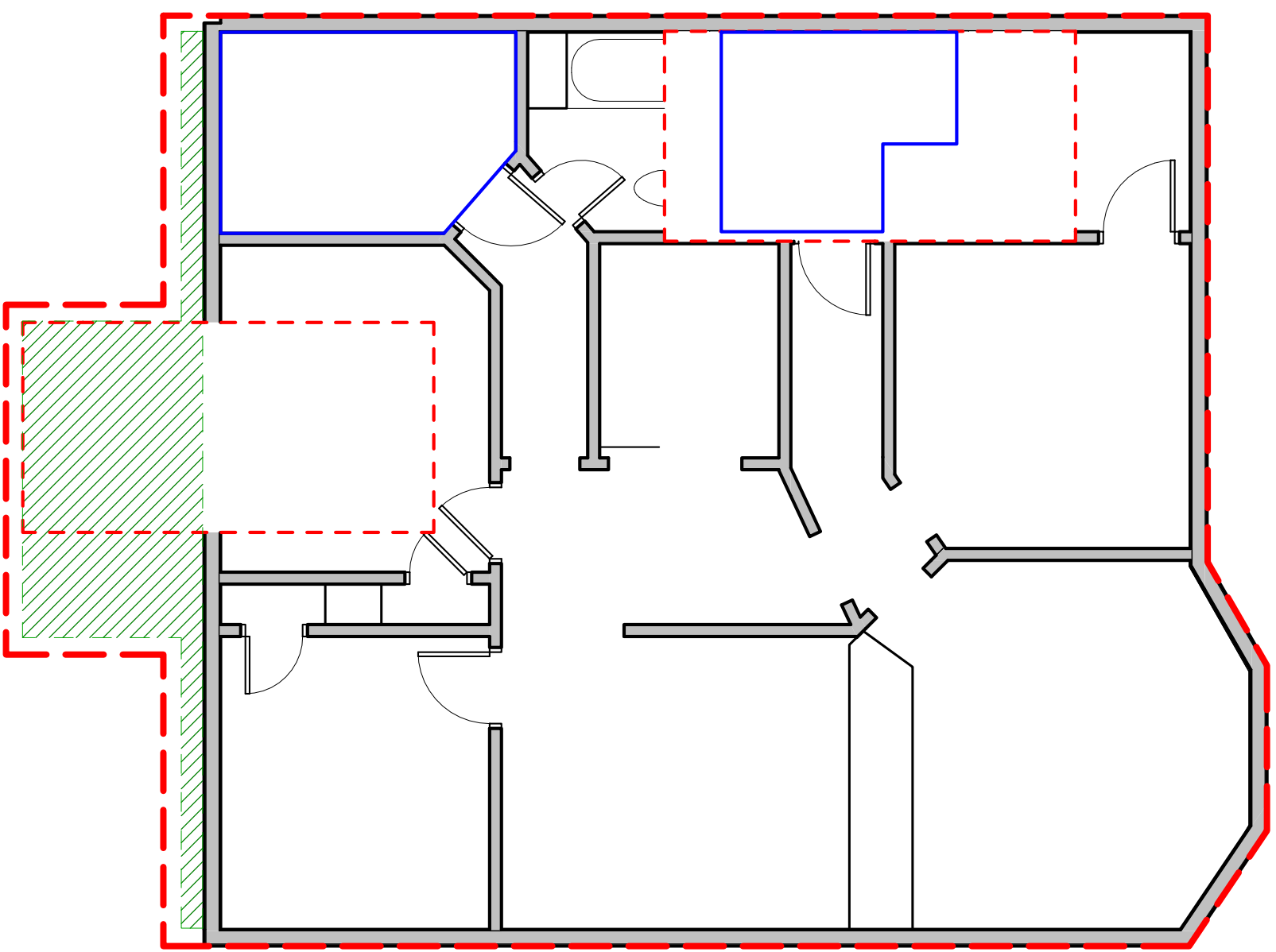
NARRATIVE

Diagrams depicted on this sheet indicate the existing building vertical circulation square footage which is not compliant to current code. Rebuilding the vertical circulation to the current code requirments within the existing building volume will result in a loss of livable square footage.

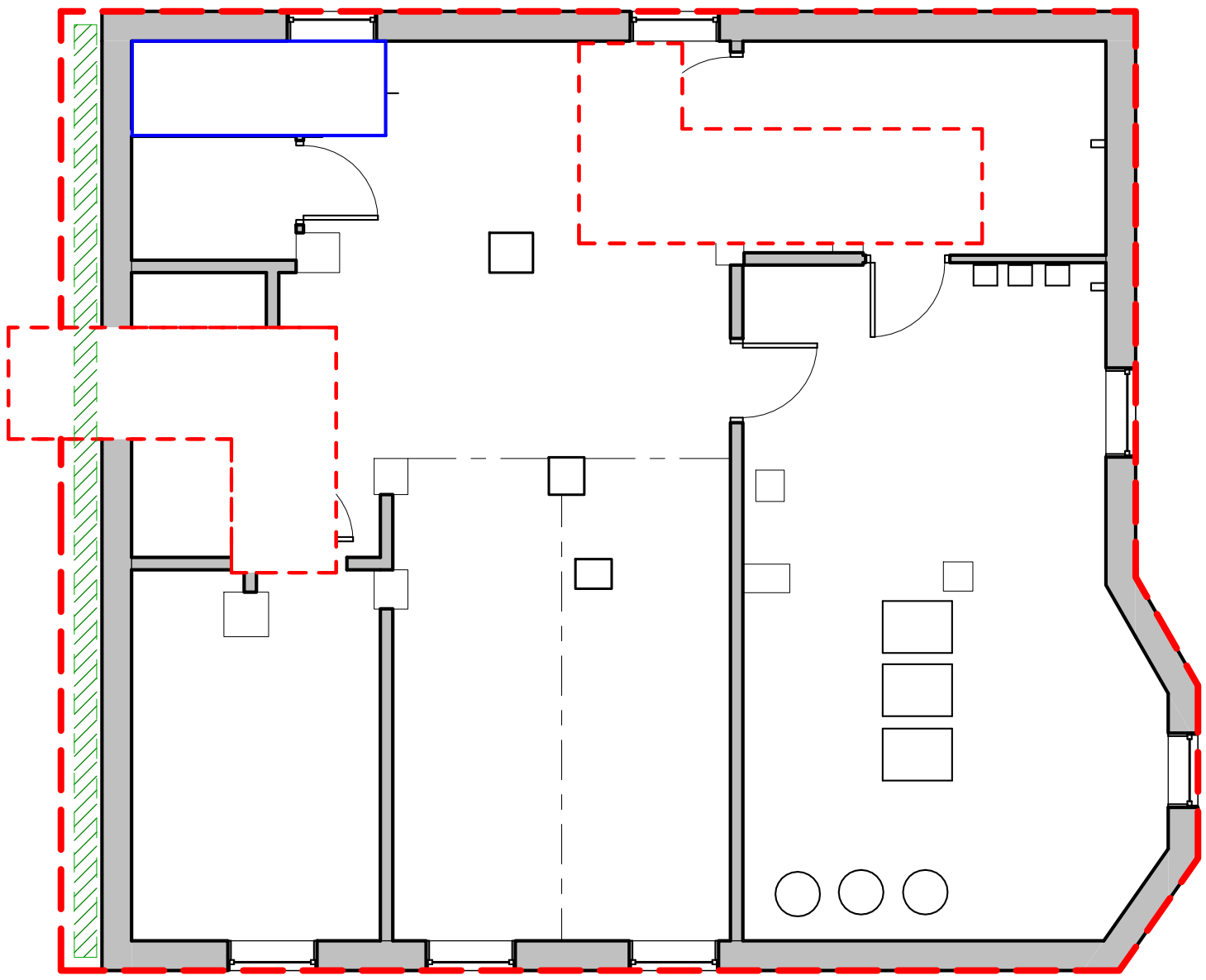
The area calculations above depict what the total area of a compliant stair would require. The proposed building footprint has been expanded to account for the lose in living space required to build code compliant circulation and retain equivalent livable square footage in the building.



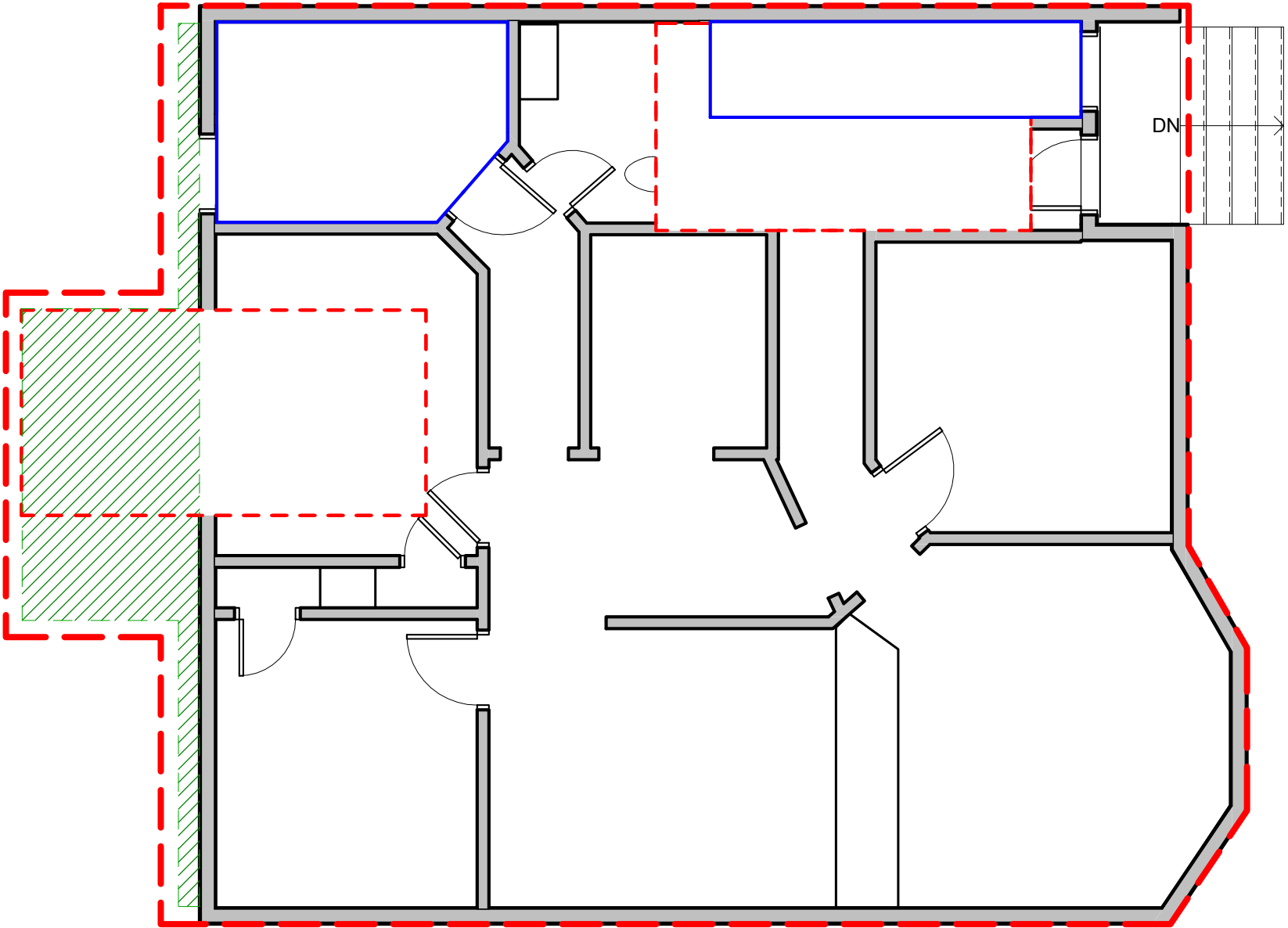
SECOND FLOOR



THIRD FLOOR



BASEMENT



FIRST FLOOR

For Zoning

BERKSHIRE STREET RESIDENCE

30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

CODE ANALYSIS DIAGRAMS

drawing scale As indicated project number 092 drawing number APZ02 revision





▲ 1P



▲ 2P



▲ 3P



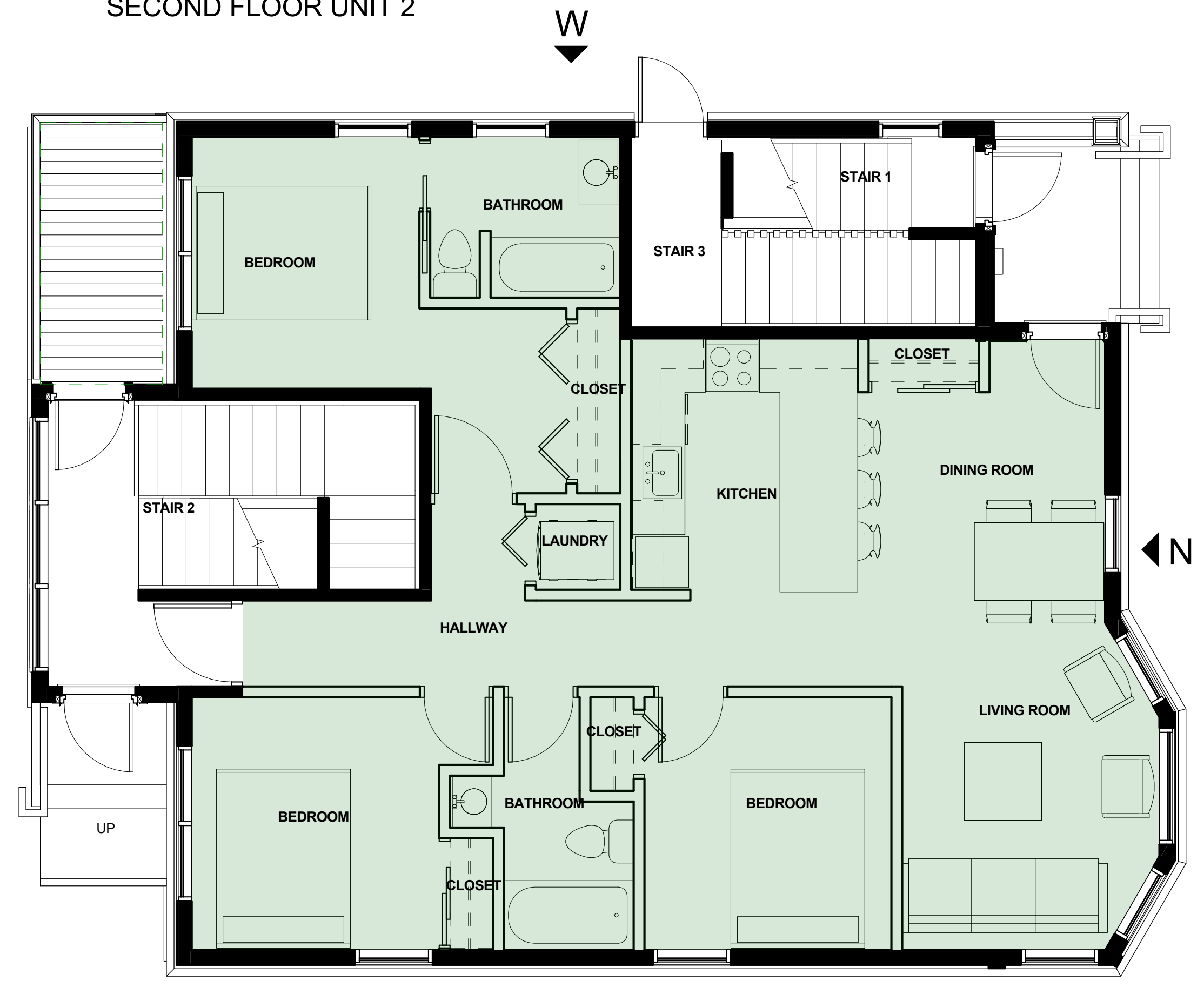
THIRD FLOOR UNIT 3



SECOND FLOOR UNIT 2



BASEMENT SHARED STORAGE AND UTILITY



FIRST FLOOR UNIT 1

drawing scale As indicated project number 092 drawing number AP203 revision

For Zoning

BERKSHIRE STREET RESIDENCE

30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

RESIDENTIAL UNIT PLANS





BERKSHIRE STREET VIEW



VANDINE STREET VIEW



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

Not For Construction

BERKSHIRE STREET RESIDENCE

30 BERKSHIRE STREET, CAMBRIDGE, MA 02141

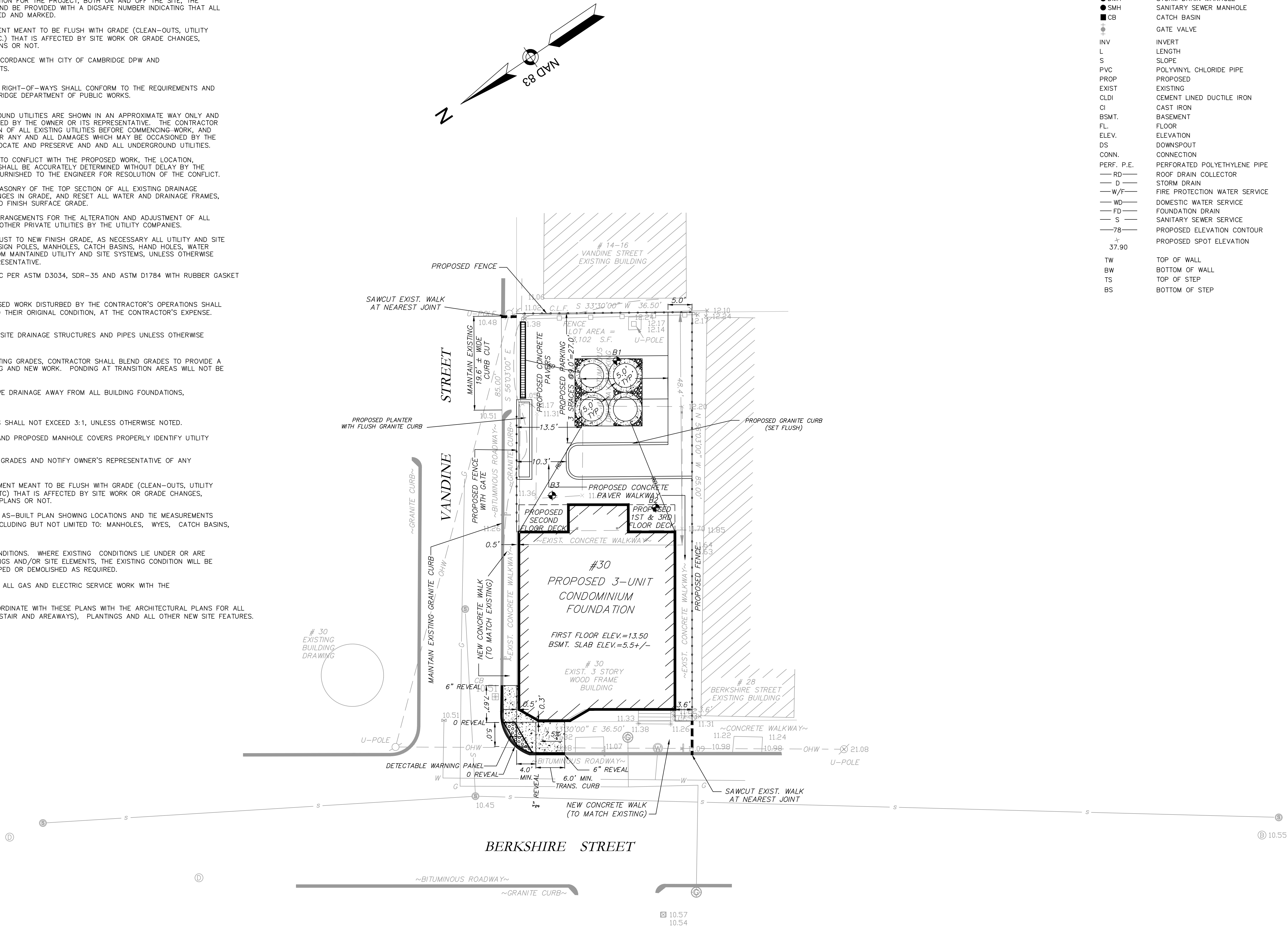
ELEVATIONS & AERIAL VIEWS

drawing scale 1/8" = 1'-0" project number 092 drawing number AP204 revision



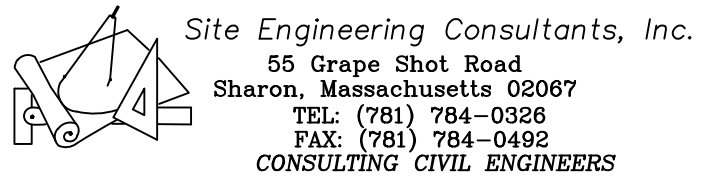
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- SMH SANITARY SEWER MANHOLE
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- ⊕ GATE VALVE
- INV INVERT
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- S SLOPE
- PVC POLYVINYL CHLORIDE PIPE
- PROP PROPOSED
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- CLDI CEMENT LINED DUCTILE IRON
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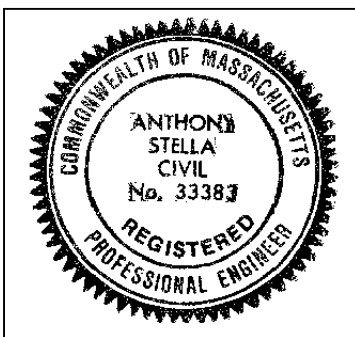


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contractor/consultant

stamp



revision

project title

BERKSHIRE STREET RESIDENCE

30 Berkshire St., Cambridge, MA 02141

client

Krissy Ellsworth, Denyce Wicht, Michael Workman  
30 Berkshire Street, Cambridge, MA 02141

JOE THE ARCHITECT

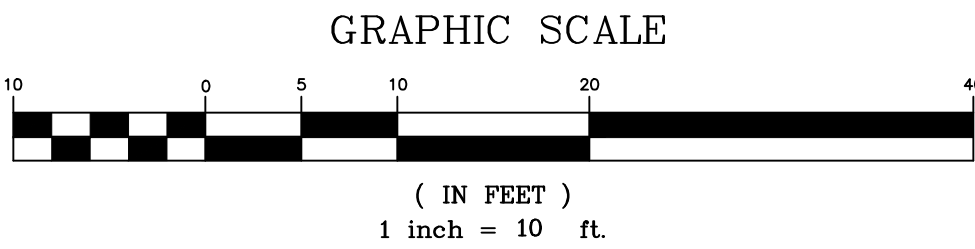
somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

website www.joethearchitect.com

drawing title

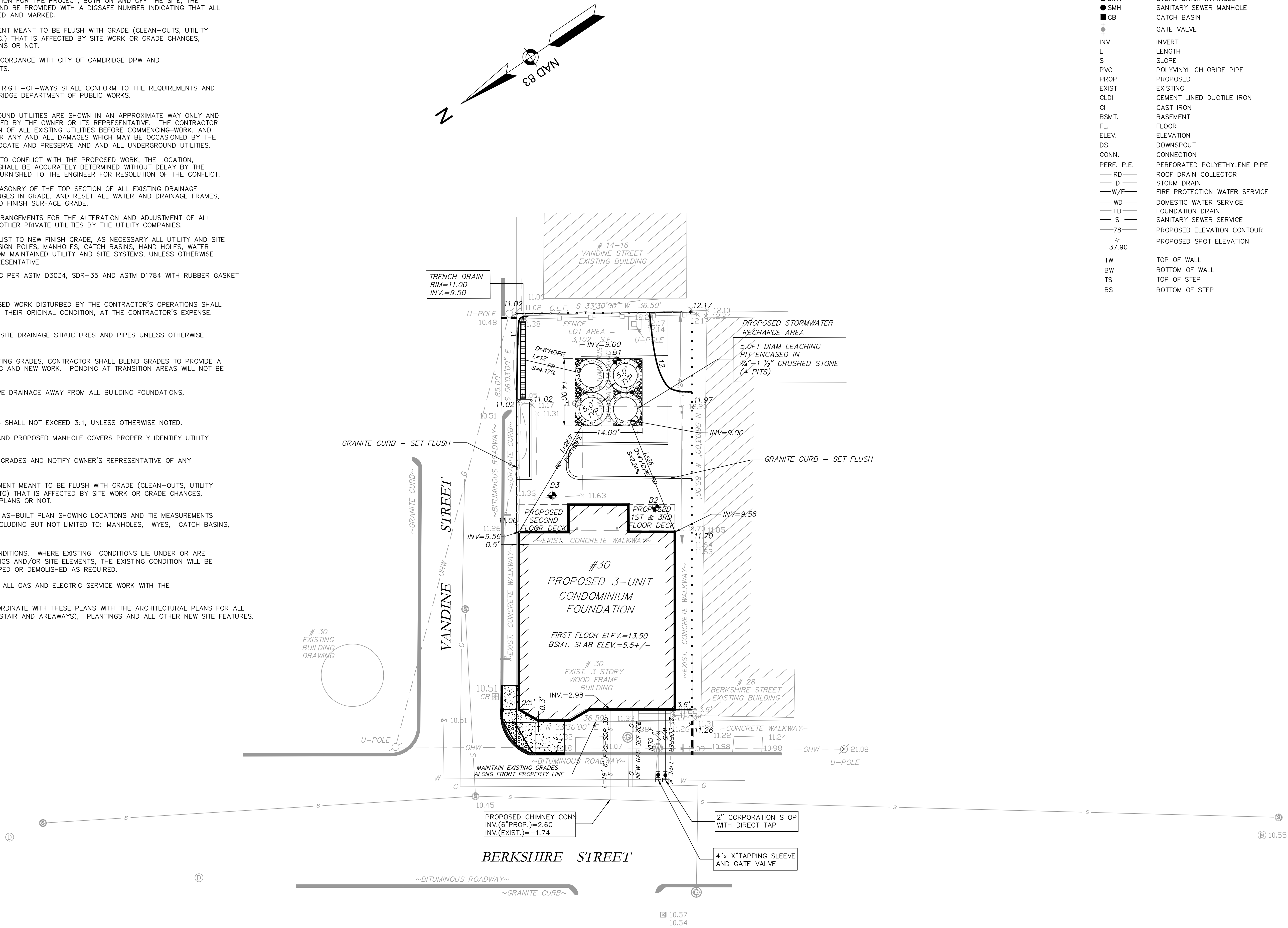
LAYOUT  
&  
MATERIALS

project number	drawing scale	approver
092	As indicated	
drawing number		revision



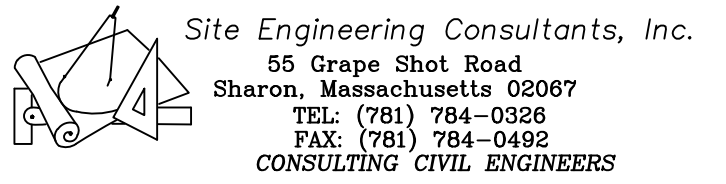
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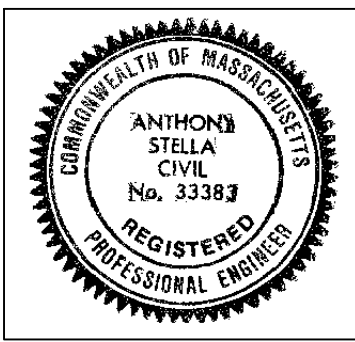


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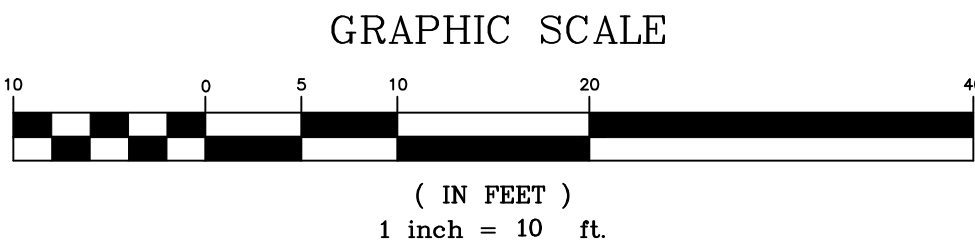
somerville 343 Medford Street, Suite 4C  
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website www.joethearchitect.com

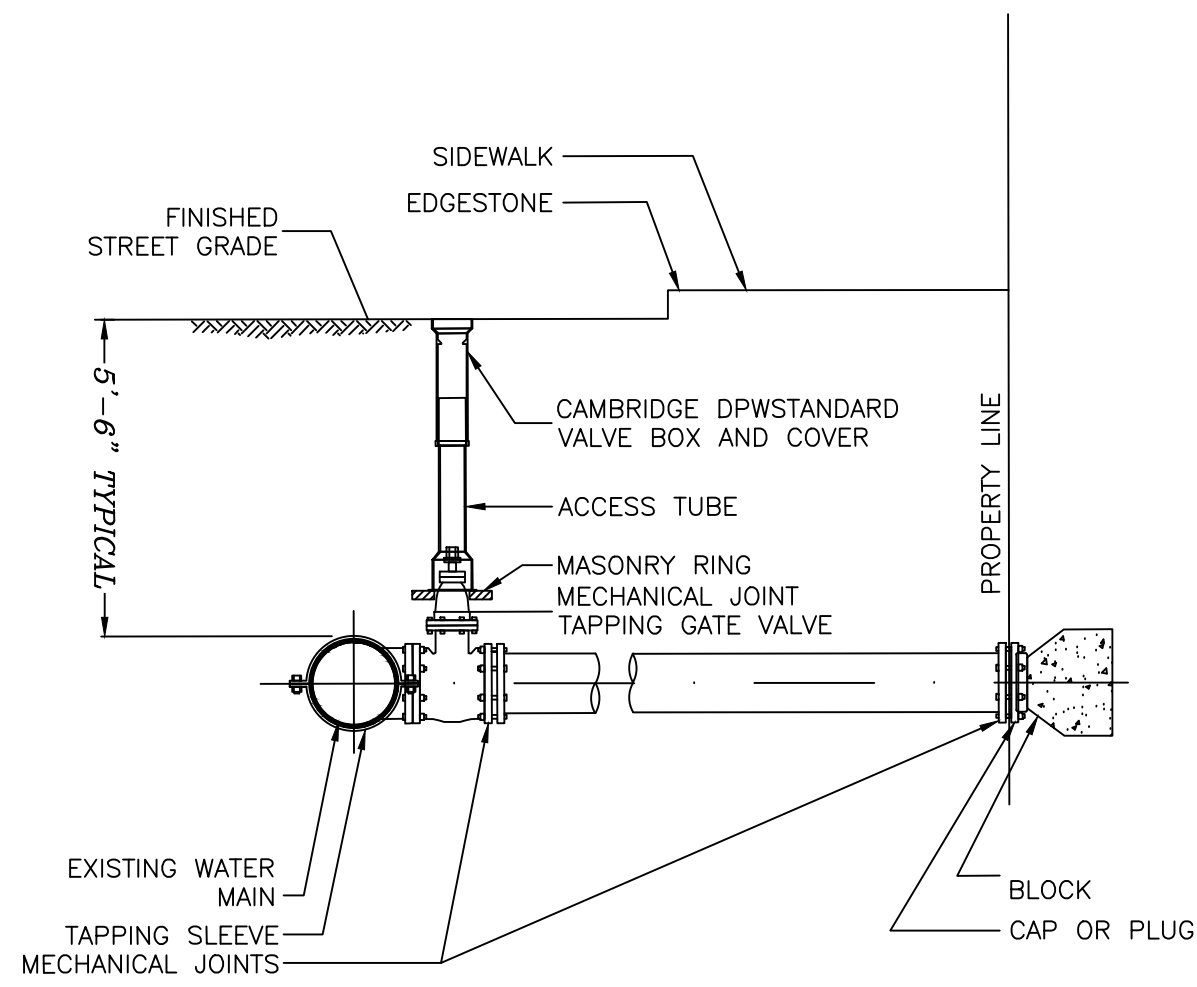
drawing title

GRADING,  
DRAINAGE  
& UTILITIES

project number	drawing scale	approver
092	As indicated	
drawing number		revision



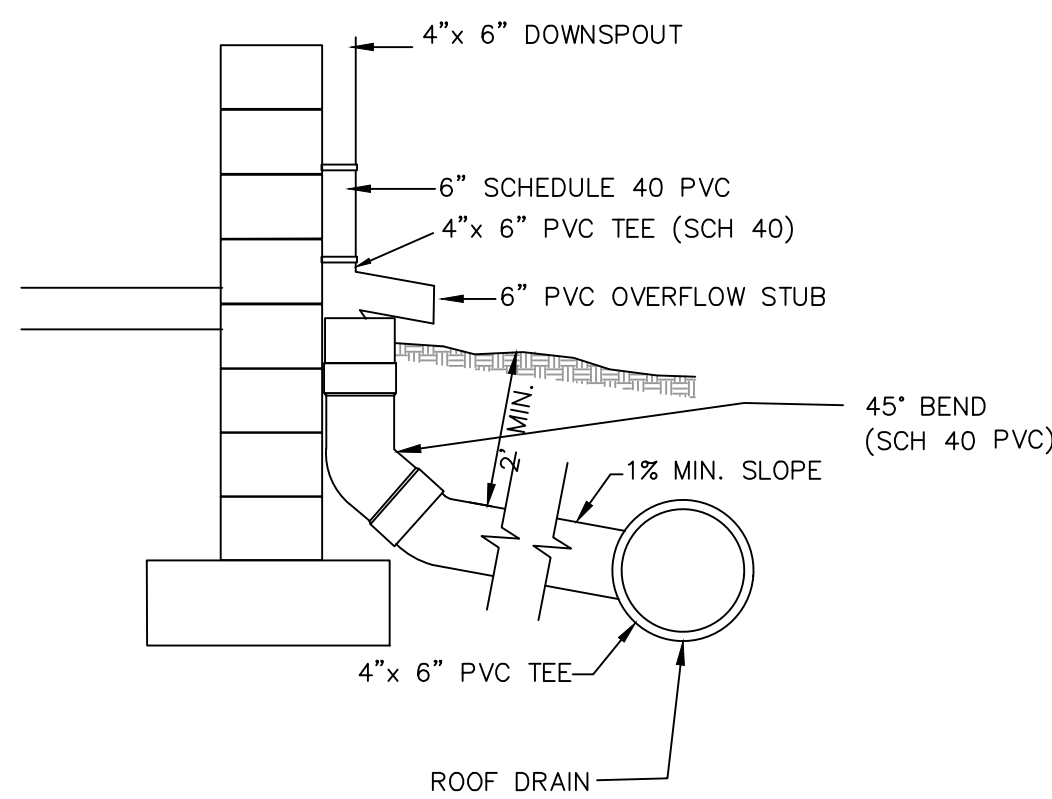




NOTES:  
- CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.  
- USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.  
- SIZE OF BLOCK OR MEGALUG TO BE DESIGNED FOR SPECIFIC CONDITIONS.

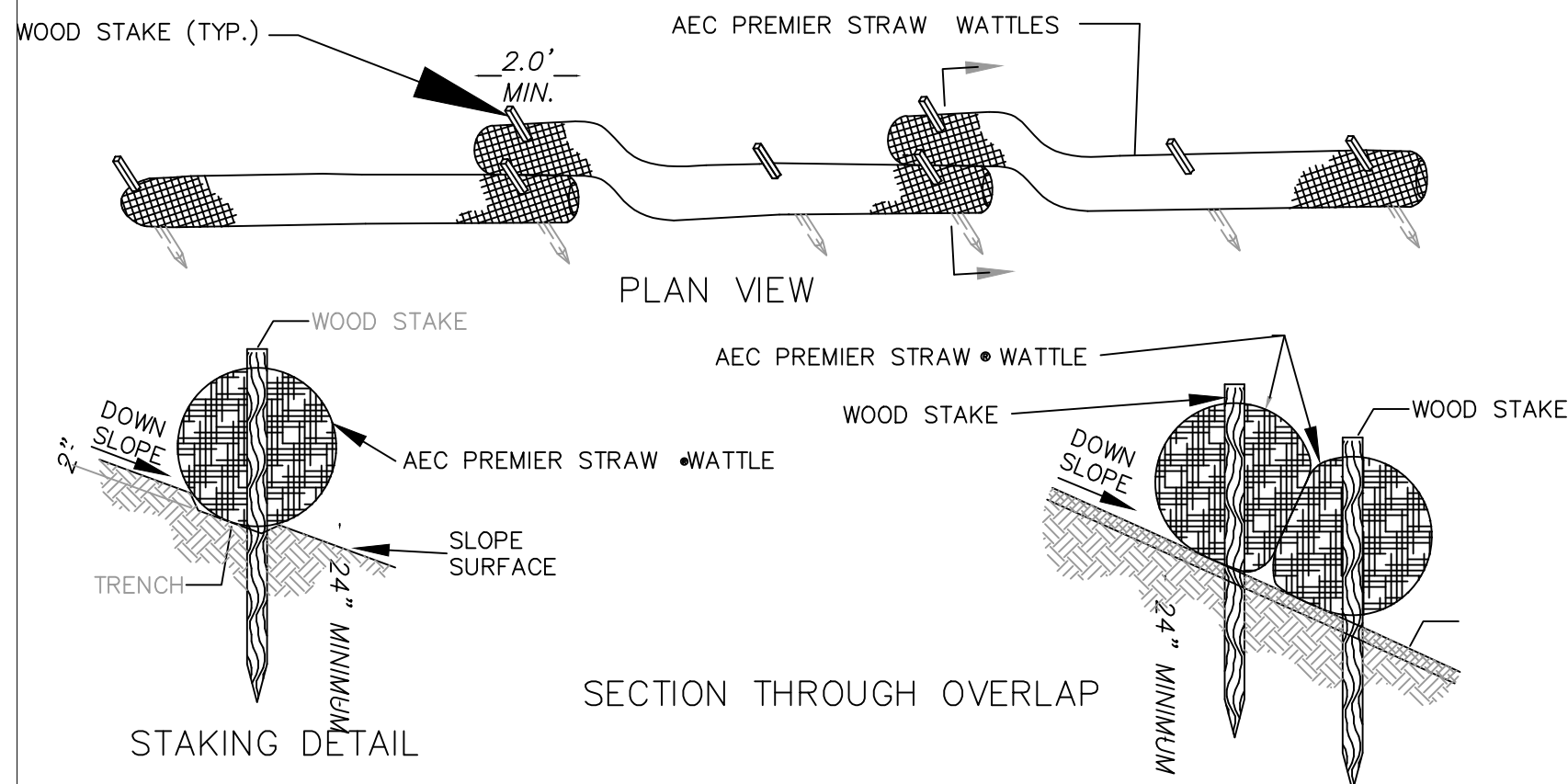
TAPPING SLEEVE AND GATE VALVE DETAIL

N.T.S.



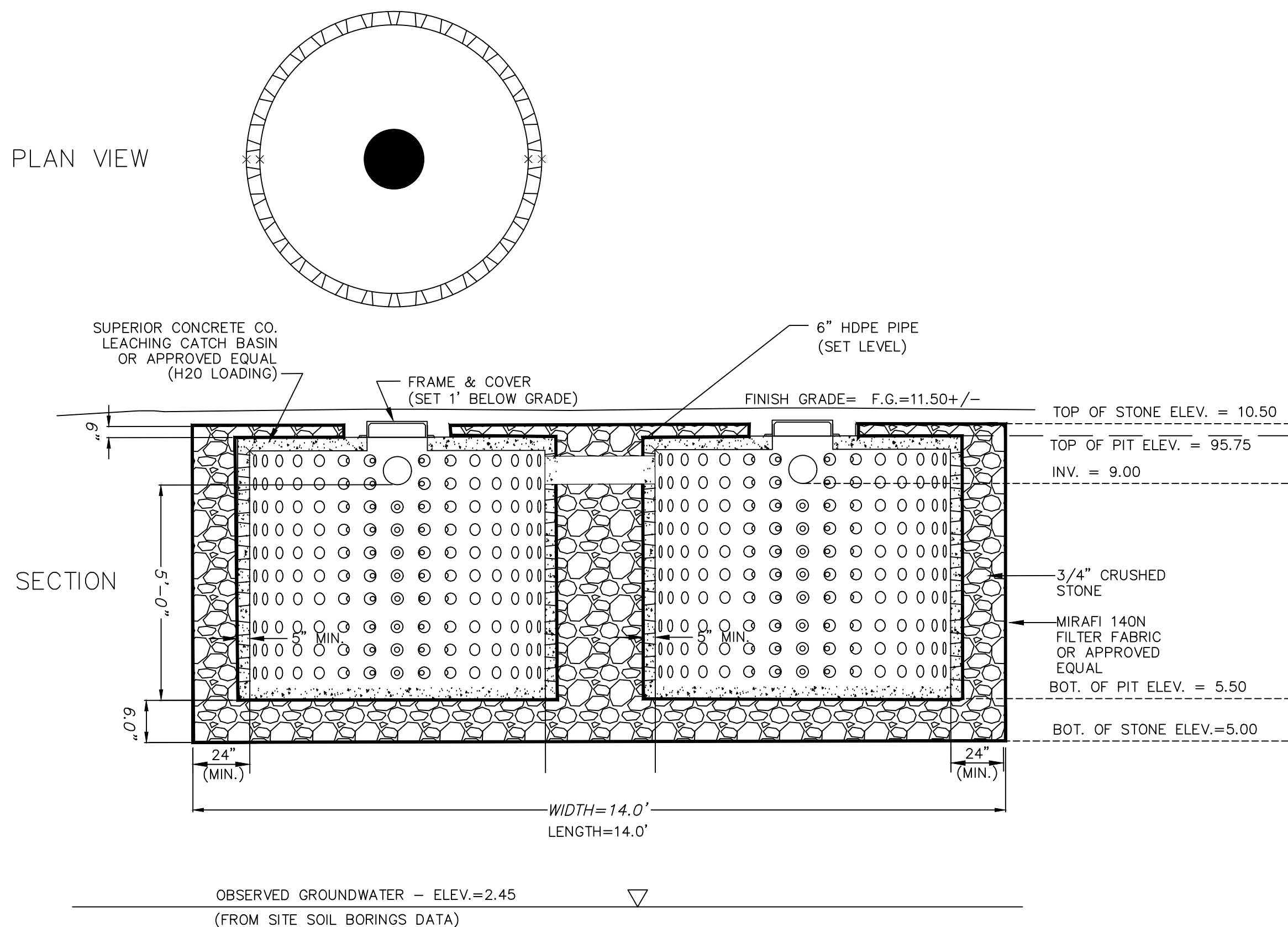
ROOF DRAIN COLLECTOR DETAIL

N.T.S.



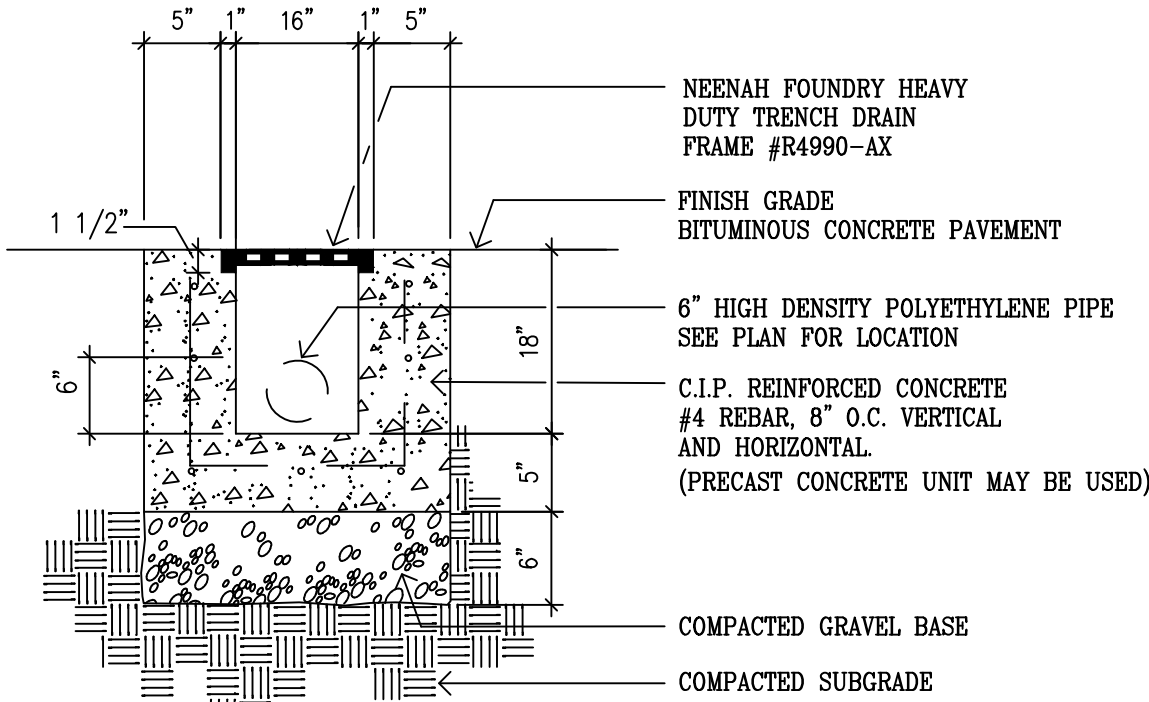
EROSION CONTROL BARRIER DETAILS (STRAW WATTLE)

N.T.S.



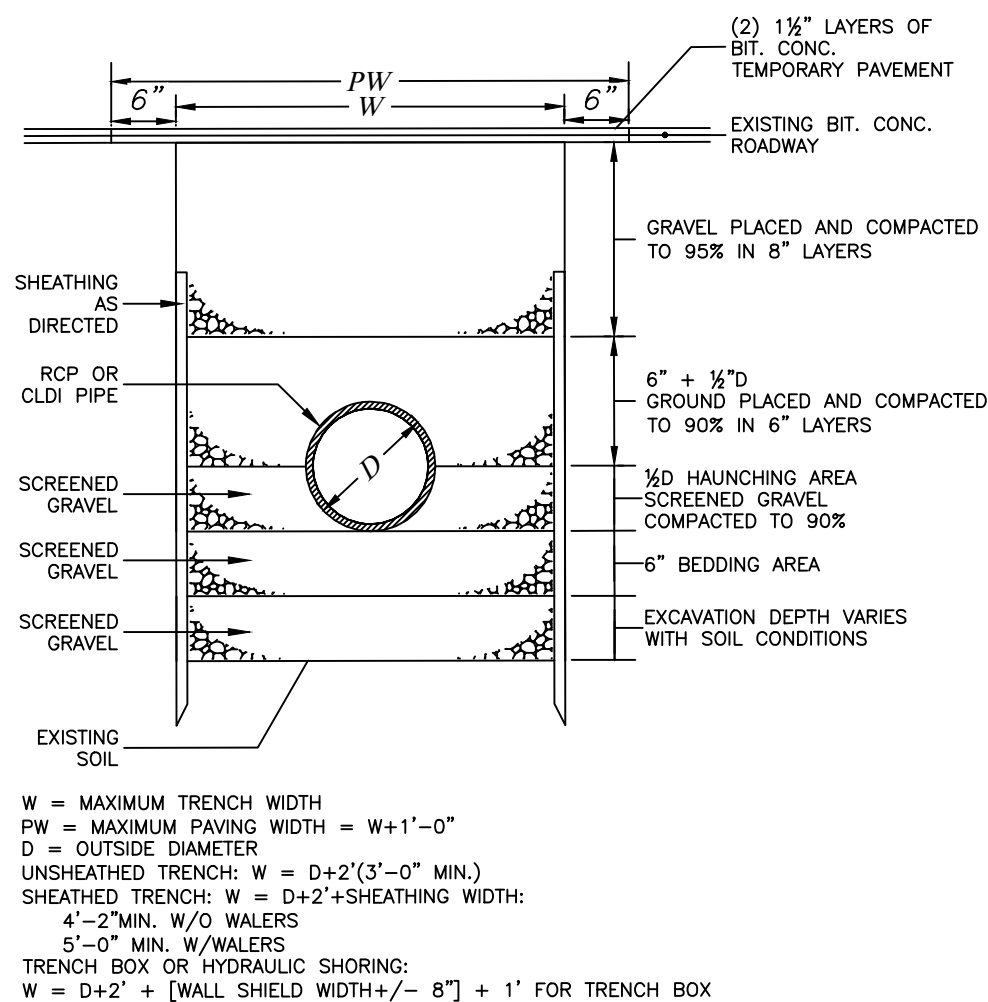
LEACHING CHAMBER RECHARGE SYSTEM STORMWATER RECHARGE CROSS SECTION DETAIL, TYP.

N.T.S.



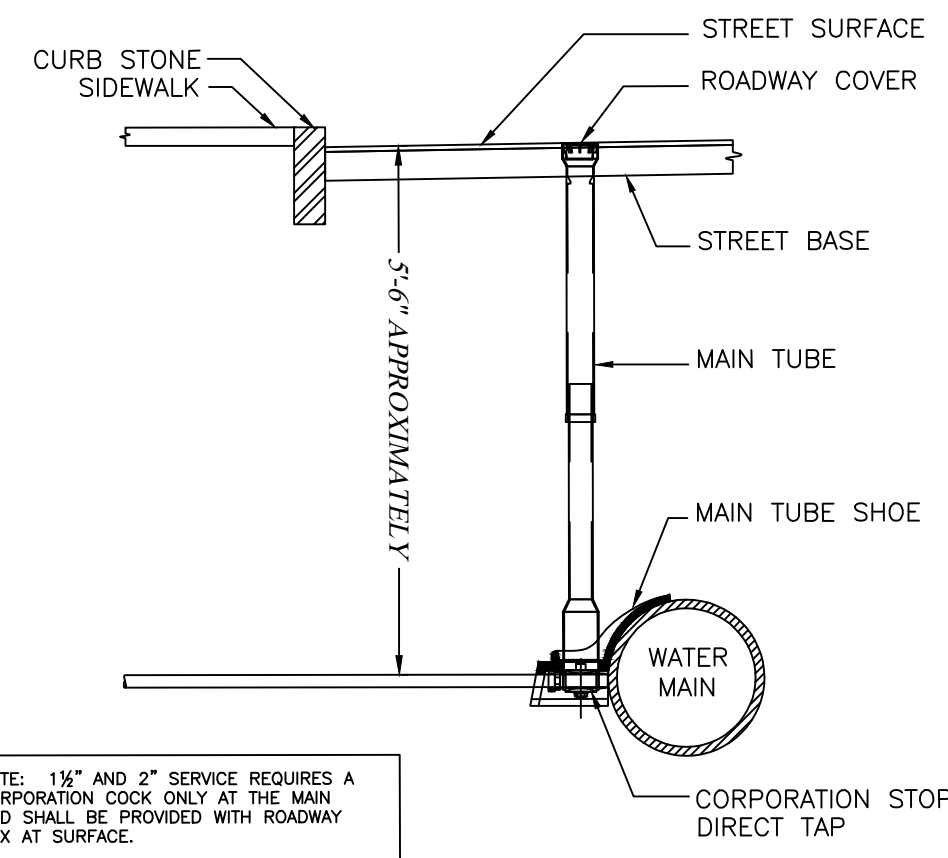
TRENCH DRAIN DETAIL

N.T.S.



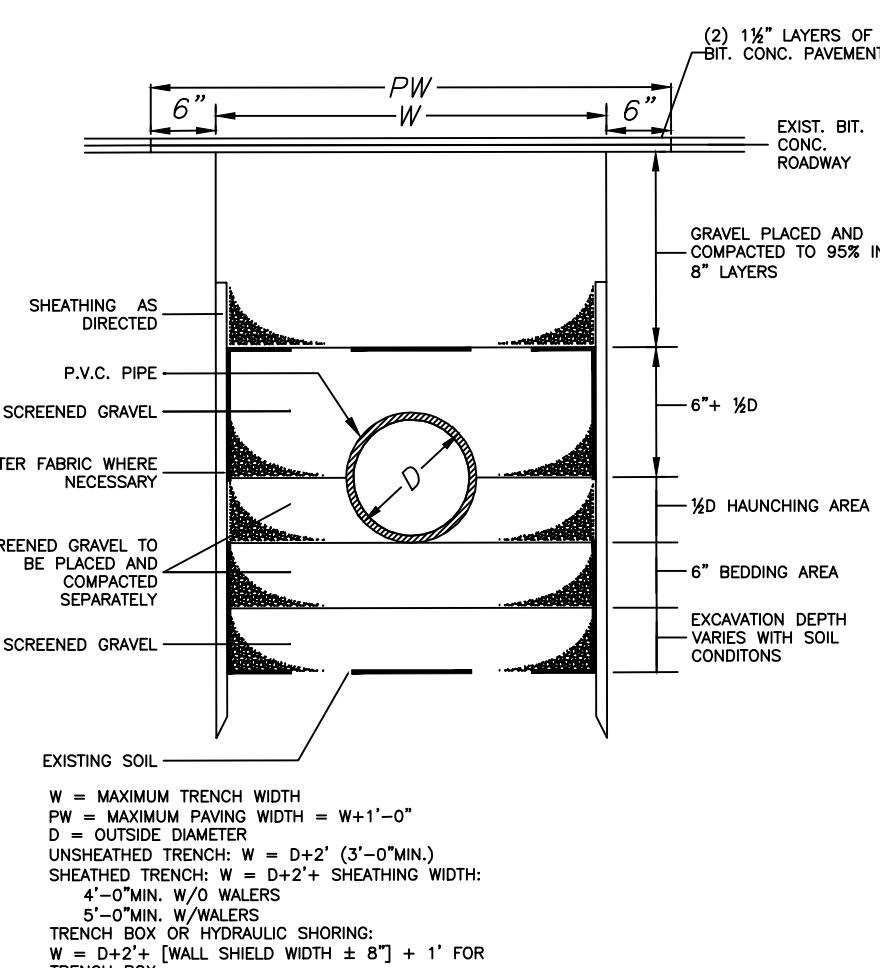
TRENCH SECTION - RCP/CLDI PIPE

N.T.S.



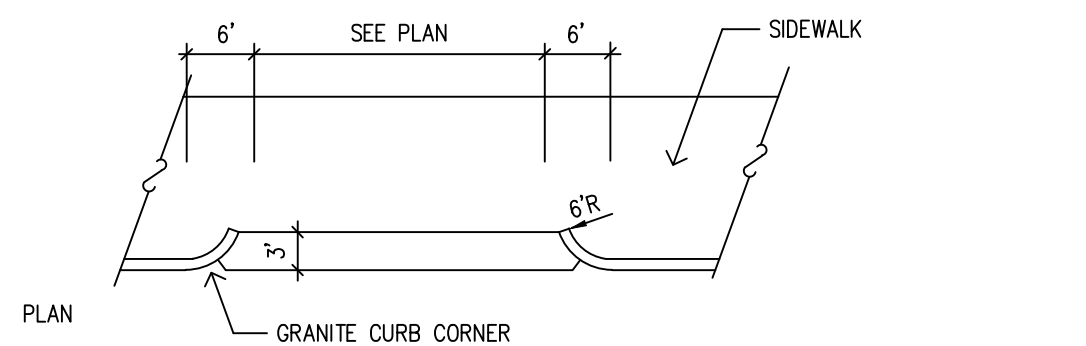
TYPICAL WATER SERVICE CONNECTION 1-1/2" TO 2" WATER SERVICE LINES

N.T.S.



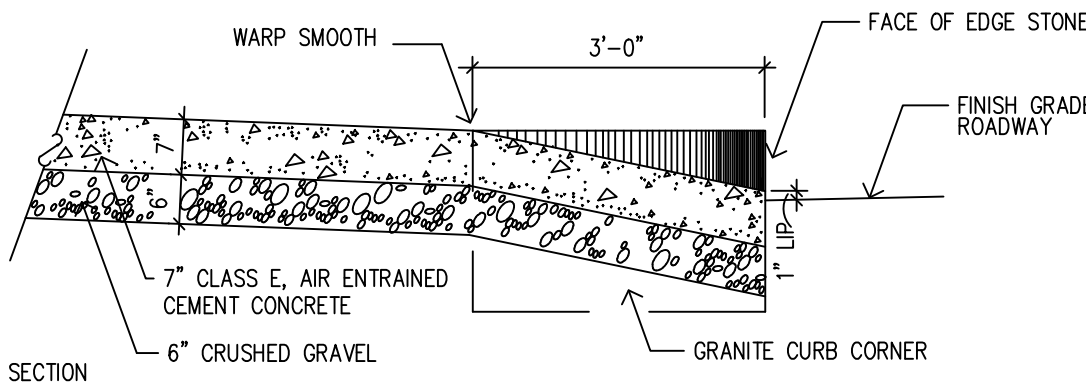
TRENCH SECTION - PVC PIPE

N.T.S.



CURB CUT

N.T.S.

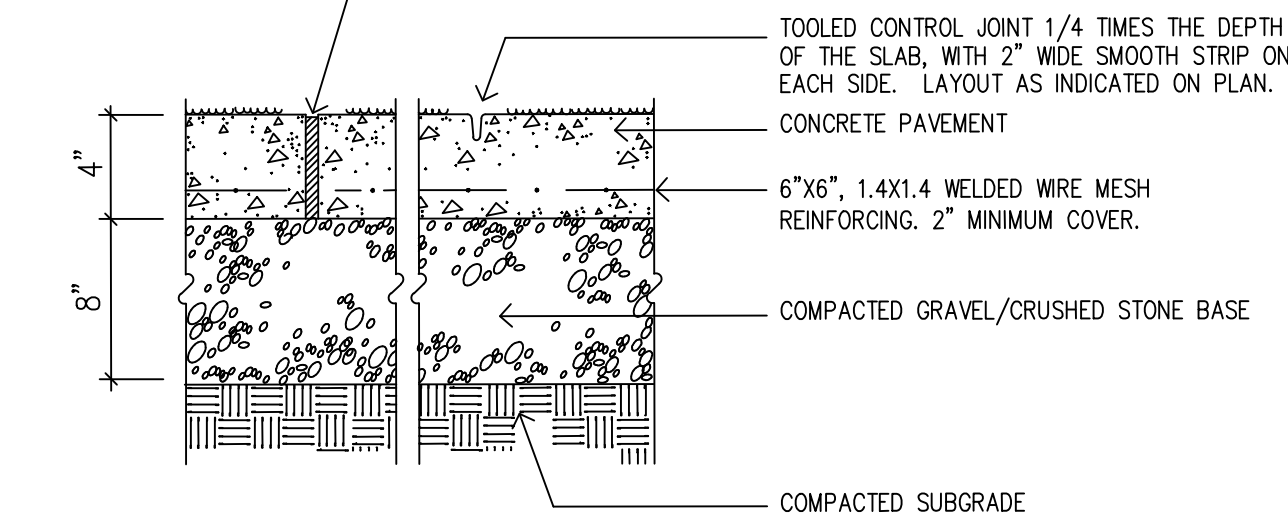


BITUMINOUS CONCRETE PAVEMENT DETAIL

N.T.S.

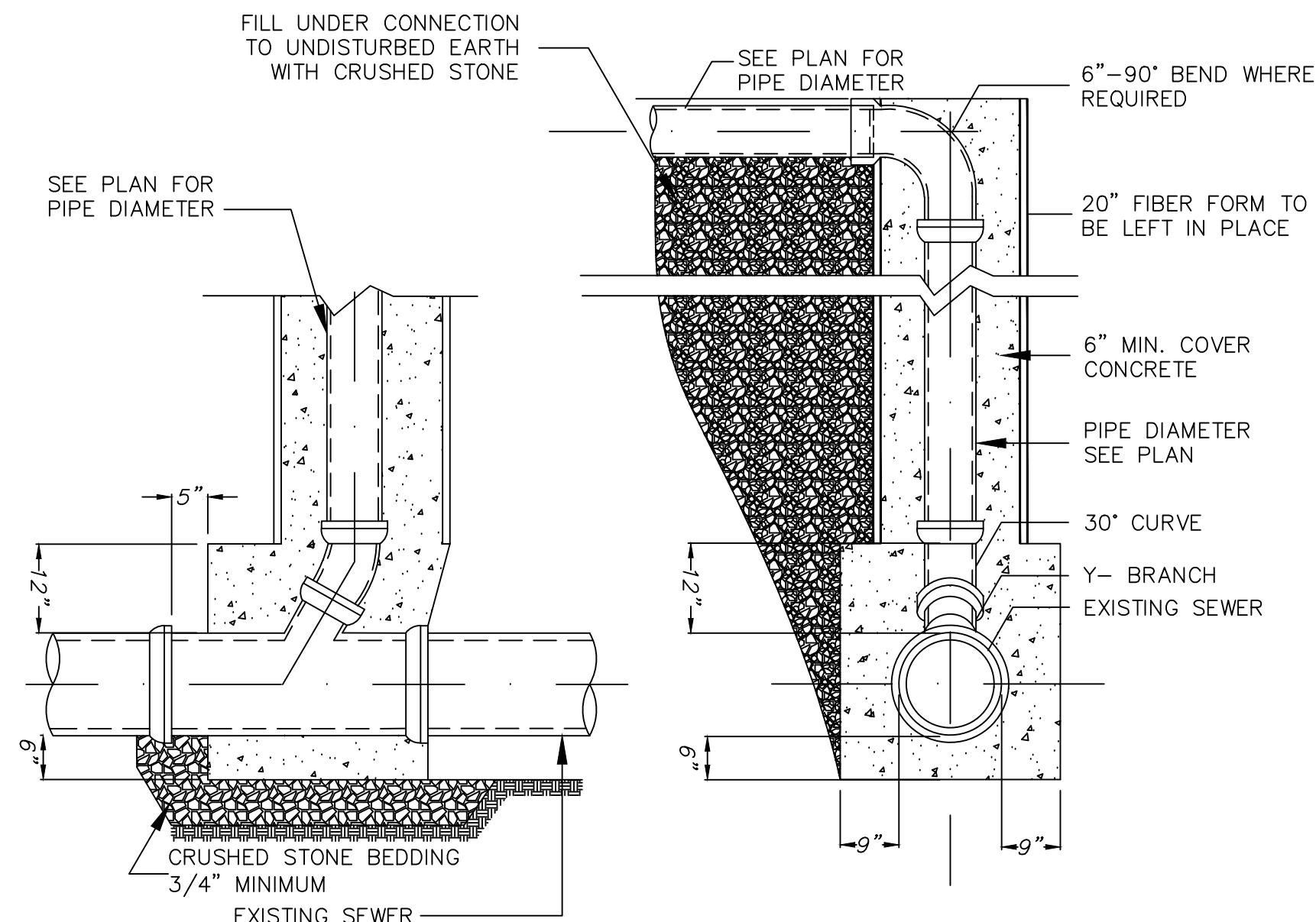
1/2" EXPANSION JOINT WITH PRE-MOULDED FILLER. RECESS FILLER 1/2". PROVIDE JOINTS AT 30' ON CENTER MAX. UNLESS NOTED. PROVIDE EXPANSION JOINT WHERE PAVEMENT ABUTS STRUCTURES, VERTICAL SURFACES, AND AS NOTED. SEAL ALL EXPANSION JOINTS WITH APPROVED WATERPROOF SEALANT.

PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO THE TRAFFIC FLOW UNLESS OTHERWISE NOTED



CEMENT CONCRETE WALKWAY PAVEMENT DETAIL

N.T.S.



SEWER CHIMNEY CONNECTION DETAIL

N.T.S.

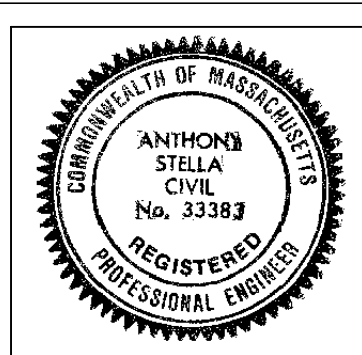
Site Engineering Consultants, Inc.  
55 Grape Shot Road  
Sharon, Massachusetts 02067  
TEL: (781) 764-0386  
FAX: (781) 764-0492  
CONSULTING CIVIL ENGINEERS

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contractor/consultant

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somerville 343 Medford Street, Suite 4C  
Somerville, MA 02145  
t: +1(617) 764-3593  
e: info@joethearchitect.com

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drawing title

DETAILS

project number drawing scale approver

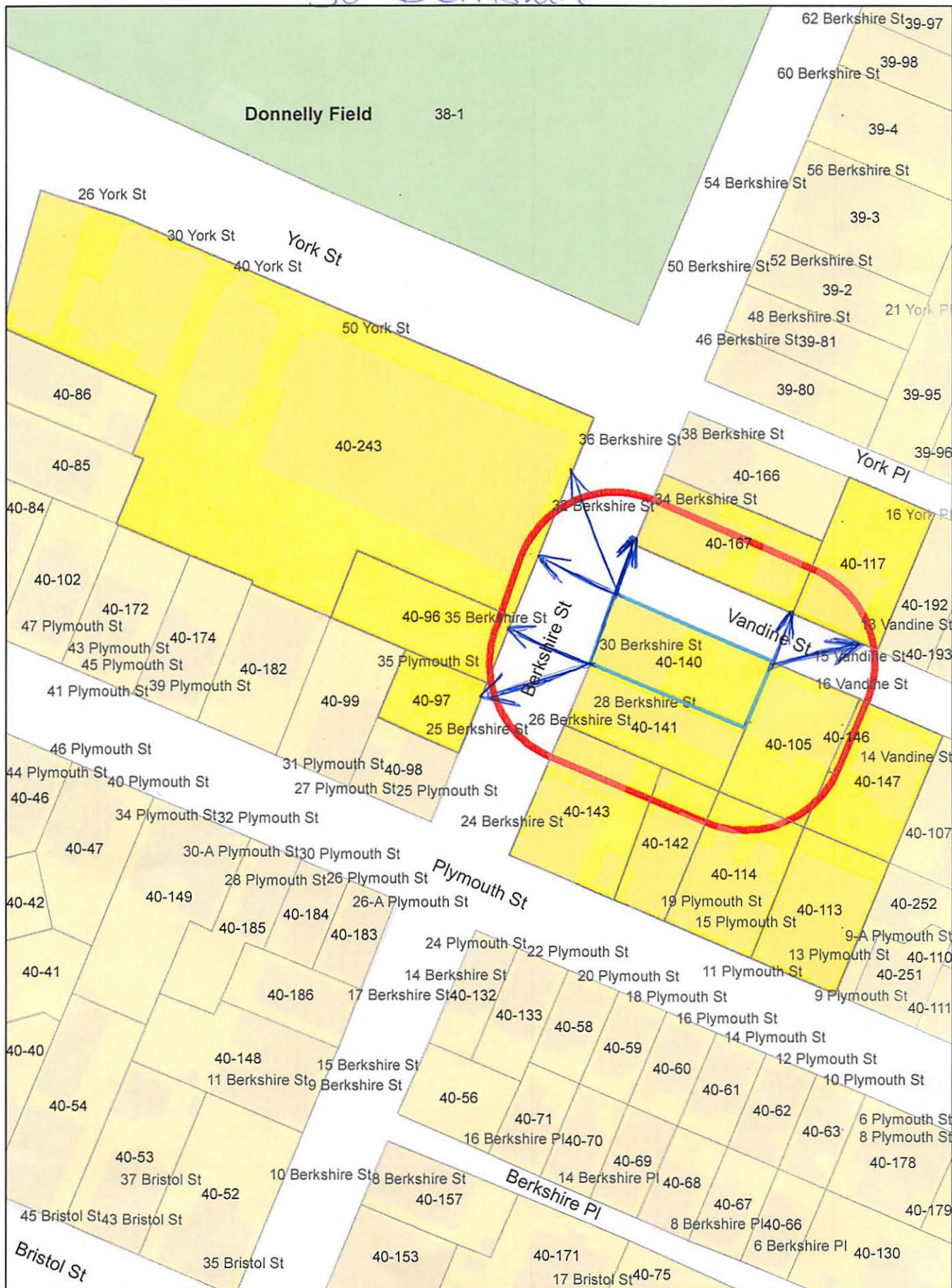
drawing number revision







30 Berkshire St.



30 Berkshire St

Petitioner

40-96  
KHF PLYMOUTH LLC  
1551 CENTRAL ST  
STOUGHTON, MA 02072

40-97  
DELL'OLIO, RICHARD, ANDREW, LINDA, CARON  
C/O 25-27 BERKSHIRE LLC  
228 WESTERN AVE  
CAMBRIDGE, MA 02139

NAVEM PARTNERS  
C/O JAMES HEFFERMAN  
18 NEWBURY STREET - 4<sup>TH</sup> FL.  
BOSTON, MA 02116

40-113  
13 PLYMOUTH LLC  
900 CUMMINGS DR., SUITE 215U  
BEVERLY, MA 01915

40-114  
PEONY REALTY, LLC  
64 PARKER STREET  
NEWTON, MA 02459

40-117  
JEAN SKOPETZ LLC  
71 HINSTON RD  
EAST WEYMOUTH, MA 02189

40-142  
LUZ, HERCULANO F. & MARIA M. LUZ  
19 PLYMOUTH ST  
CAMBRIDGE, MA 02141

40-143  
BAIROS, JOAO DE ANDRADE  
59 PLYMOUTH ST  
CAMBRIDGE, MA 02141

40-105  
ANNAcone, ANGELO L. AND  
MARION J. ANNAcone  
2 HENRY STREET  
MEDFORD, MA 02155

40-167  
GENTILE, JEAN F. A LIFE ESTATE  
34 BERKSHIRE ST  
CAMBRIDGE, MA 02141

40-243  
JAS CONSOLIDATED PROPERTIES LLC C/O JAS  
CORPORATION  
1035 CAMBRIDGE ST., #12  
CAMBRIDGE, MA 02141

40-141  
JEFFREY, CHRISTINA  
C/O 28 BERKSHIRE STREET LLC  
30 KATHERINE RD  
WATERTOWN, MA 02472

40-141  
AL-RAWL, AHLAM, HASSAN, DUAA, & ALI  
MOHAMMAD & CITY OF CAMBRIDGE TAX TITLE  
28 BERKSHIRE ST., UNIT #2  
CAMBRIDGE, MA 02141

40-141  
KING, MICHAEL ANTHONY  
38 VAN HORN ST.  
WEST SPRINGFIELD, MA 01089

40-140  
ELLSWORTH, KRISSY M., RANDAL N. ELLSWORTH  
& SILVIA E. ELLSWORTH  
30 BERKSHIRE ST., UNIT #1  
CAMBRIDGE, MA 02139

40-140  
WORKMAN, MICHAEL WHEELER  
30 BERKSHIRE ST., #3  
CAMBRIDGE, MA 02141

40-140  
WICHT, DENYCE  
218 THORNDIKE ST., #203  
CAMBRIDGE, MA 02141

40-147  
GREENE, BRIAN C. & VIRGINIA E. WALLACE  
14 VANDINE ST., #1  
CAMBRIDGE, MA 02141

40-147  
LEKSA, NINA CAROLINA  
14 VANDINE ST., UNIT #3  
CAMBRIDGE, MA 02141

40-147  
BUABBUD, GEORGE & JULIE BUABBUD  
8 COUNTRY WAY  
SHREWSBURY, MA 01545

40-146  
CITY OF CAMBRIDGE  
C/O LOUIS DEPASQUALE,  
CITY MANAGER

40-146  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR

KRISSY M. ELLSWORTH, DENYCE WICHT  
MICHAEL WORKMAN  
30 BERKSHIRE STREET  
CAMBRIDGE, MA 02141