

BZA APPLICATION FORM

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: SHRUTI KULKARNI

PETITIONER'S ADDRESS: 103 TERRACE STREET, BOSTON, MA 02120

LOCATION OF PROPERTY: 30 VASSAL LANE, CAMBRIDGE, MA 02138

TYPE OF OCCUPANCY: RESIDENTIAL

ZONING DISTRICT: RESIDENCE B

REASON FOR PETITION:

 Additions

 New Structure

 Change in Use/Occupancy

 Parking

 Conversion to Addi'l Dwelling Unit's

 Sign

 Dormer

 Subdivision

 X Other: REPLACE WINDOW

DESCRIPTION OF PETITIONER'S PROPOSAL:

ENLARGE KITCHEN WINDOW ON THE EXISTING REAR FACADE OF THE HOUSE.

SECTIONS OF ZONING ORDINANCE CITED:

Article 8 Section 22.1(c)

Article 10 Section 10.40

Article Section

Applicants for a Variance must complete Pages 1-5

Applicants for a Special Permit must complete Pages 1-4 and 6

Applicants for an Appeal to the BZA of a Zoning determination by the Inspectional Services Department must attach a statement concerning the reasons for the appeal

Original Signature(s):


(Petitioner(s)/Owner)

SHRUTI KULKARNI

(Print Name)

Address:

103 TERRACE STREET, BOSTON, MA 02120

Tel. No.:

267-608-8458

E-Mail Address:

shruti@nedesignbuild.com

Date: 5-4-21

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We MARION B. REINE AND KATHLEEN M. REINE
(OWNER)

Address: 30 VASSAL LANE, CAMBRIDGE MA 02138

State that I/We own the property located at 30 VASSAL LANE, CAMBRIDGE
which is the subject of this zoning application.

The record title of this property is in the name of _____
MARION B. REINE AND KATHLEEN M. REINE

*Pursuant to a deed of duly recorded in the date 6-15-2005 Middlesex South
County Registry of Deeds at Book 45395, Page 347; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Marion B. Reine 5-5-21
K Reine

**SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT***

***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name MARION B. REINE and KATHLEEN M. REINE
this 5 of May, 2021, and made oath that the above statement is true.

Bala Shahi

Notary

My commission expires 09/09/2027 (Notary Seal).



BALA SHAHI
Notary Public
Commonwealth of Massachusetts
My Commission Expires
September 9, 2027

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 30 Vassal Lane (location) would not be a detriment to the public interest because:

- A) Requirements of the Ordinance can or will be met for the following reasons:

No other work is being proposed that does not follow the requirements of all ordinances.

- B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

N/A

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

N/A

- D) Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Applicant can see no way in which the welfare of the occupants or the citizens of the city will be adversely affected.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Applicant can see no way in which the proposed changes would create an issue at odds with the intent of the ordinance.

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: SHRUTI KULKARNI **PRESENT USE/OCCUPANCY:** RESIDENTIAL

LOCATION: 30 VASSAL LANE, CAMBRIDGE, MA 02138 **ZONE:** RESIDENCE B

PHONE: 267-608-8458 **REQUESTED USE/OCCUPANCY:** NO CHANGE

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
<u>TOTAL GROSS FLOOR AREA:</u>	<u>1,874</u>	<u>1,874</u>	<u>1,500</u> (max.)
<u>LOT AREA:</u>	<u>1,562</u>		<u>5,000</u> (min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:²</u>	<u>1.19</u>	<u>1.19</u>	<u>0.75</u> (max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	<u>1,562</u>	<u>1,562</u>	(min.)
<u>SIZE OF LOT:</u>			<u>50</u> (min.)
WIDTH	<u>28</u>		
DEPTH	<u>50</u>		
<u>Setbacks in Feet:</u>			
FRONT	<u>6.8</u>	<u>6.8</u>	<u>13</u> (min.)
REAR	<u>14</u>	<u>14</u>	<u>13</u> (min.)
LEFT SIDE	<u>3.3</u>	<u>3.3</u>	<u>7.95</u> (min.)
RIGHT SIDE	<u>0</u>	<u>0</u>	<u>7.95</u> (min.)
<u>SIZE OF BLDG.:</u>			<u>36</u> (max.)
HEIGHT	<u>37.2</u>	<u>37.2</u>	
LENGTH	<u>53</u>	<u>53</u>	
WIDTH	<u>24</u>	<u>24</u>	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:³</u>			(min.)
<u>NO. OF DWELLING UNITS:</u>	<u>1</u>		(max.)
<u>NO. OF PARKING SPACES:</u>	<u>1</u>		(min./max)
<u>NO. OF LOADING AREAS:</u>			(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	<u>0'</u>		(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

DIMENSIONAL FORM

Project Address: 30 Vassal Lane, Cambridge, MA 02138 **Application Date:** 5/4/2020

	Existing	Allowed or Required (max/min)	Proposed	Permitted
Lot Area (sq ft)	1,562	5,000	No Change	
Lot Width (ft)	28	50	No Change	
Total Gross Floor Area (sq ft)	1,874	1,500	No Change	
Residential Base				
Non-Residential Base				
Inclusionary Housing Bonus				
Total Floor Area Ratio	1.19	.75	No Change	
Residential Base				
Non-Residential Base				
Inclusionary Housing Bonus				
Total Dwelling Units	1	1	No Change	
Base Units				
Inclusionary Bonus Units				
Base Lot Area / Unit (sq ft)				
Total Lot Area / Unit (sq ft)				
Building Height(s) (ft)	37.2	36	No Change	
Front Yard Setback (ft)	6.8	13	No Change	
Side Yard Setback (ft)	3.3	7.95	No Change	
Side Yard Setback (ft)	0	7.95	No Change	
Rear Yard Setback (ft)	14	13	No Change	
Open Space (% of Lot Area)	70	30	No Change	
Private Open Space				
Permeable Open Space				
Other Open Space (Specify)				
Off-Street Parking Spaces	0	0	No Change	
Long-Term Bicycle Parking				
Short-Term Bicycle Parking				
Loading Bays				

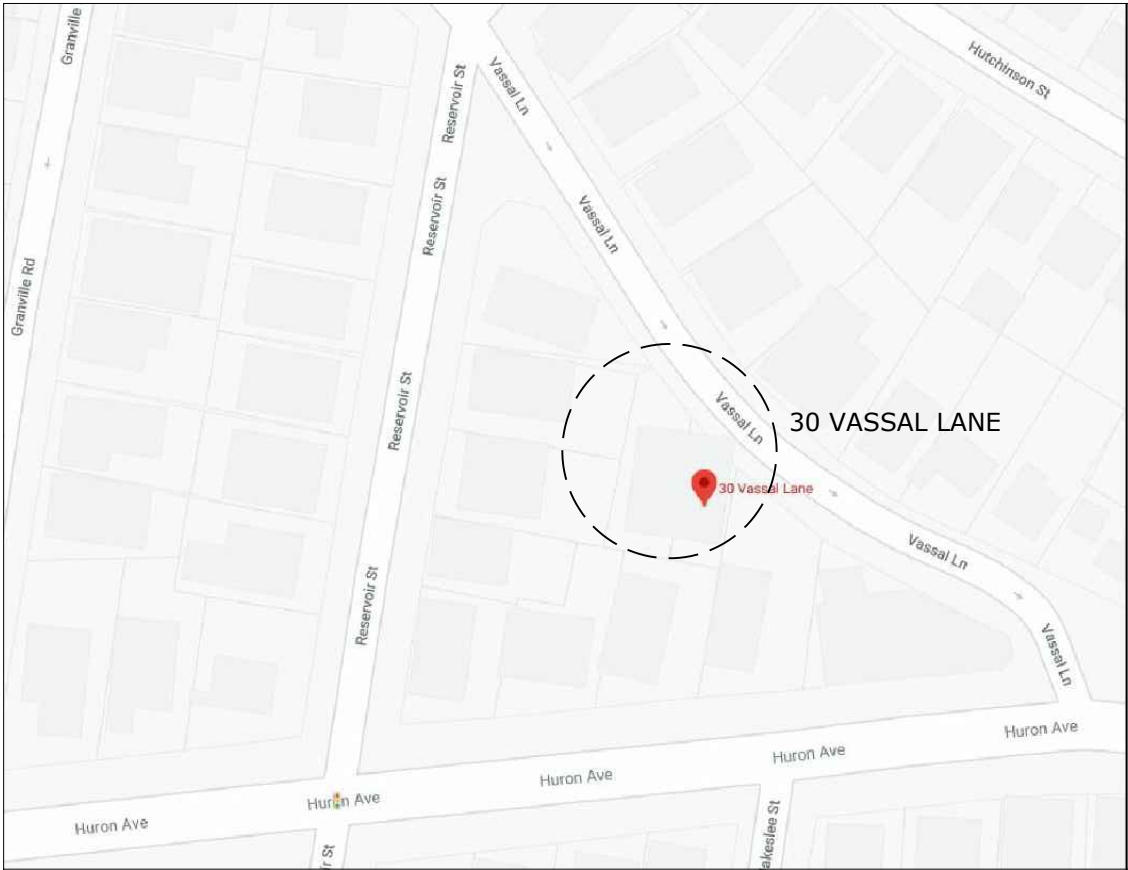
Use space below and/or attached pages for additional notes:

REINE RESIDENCE RENOVATIONS

30 VASSAL LANE, CAMBRIDGE, MA



DRAWING SHEET INDEX	
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LOCATION MAP

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30 VASSAL LANE
CAMBRIDGE, MA 02138

TITLE SHEET

EC SET Z	09.21.2020
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A0.0

ABBREVIATIONS

AB	ANCHOR BOLT	ELEC	ELECTRICAL	MRB	MOISTURE RESISTANT GWB	SQ	SQUARE
ACT	ACOUSTIC CEILING TILE	ELEV	ELEVATION	MTL	METAL	SRT	SMOOTH RUBBER TILE
ADD	ADDENDUM OR ADDITION	EQ	EQUAL	MULL	MULLION	SST	STAINLESS STEEL
ADJ	ADJACENT	EP	EPOXY PAINT			STL	STEEL
AFF	ABOVE FINISHED FLOOR	EXIST	EXISTING	NIC	NOT IN CONTRACT	STOR	STORAGE
ALUM	ALUMINUM	EXP	EXPANSION	NO	NUMBER	STRUCT	STRUCTURAL
ARCH	ARCHITECTURAL	EXT	EXTERIOR	NOM	NOMINAL	S&V	STAIN & VARNISH
AV	AUDIO VISUAL			NTS	NOT TO SCALE		
		FAR	FLOOR AREA RATIO			T	TREAD
BB	BLUE BOARD, BASEBOARD	FD	FLOOR DRAIN	OC	ON CENTER	TBE	TOP BEARING ELEVATION
BBM	BOND BEAM	FFE	FINISH FLOOR ELEVATION	OD	OUTSIDE DIAMETER	TC	TOP OF CURB
BD	BOARD	FIN	FINISHED	OPG	OPENING	T/D	TELEPHONE / DATA
BKSP	BACKSPLASH	FLR	FLOOR	OS	OVERFLOW SCUPPER	TDE	TOP DECK ELEVATION
BLDG	BUILDING	FND	FOUNDATION			TEL	TELEPHONE
BLK	BLOCK	FR	FRAME	PERIM	PERIMETER	TEMP	TEMPERED SAFETY GLASS
BLKG	BLOCKING	FS	FINISH SCHEDULE	PL	PLATE	TFE	TOP FOOTING ELEVATION
BM	BEAM	FT	FEET	PLAM	PLASTIC LAMINATE	TLT	TOILET
BOT	BOTTOM	FTG	FOOTING	PLAS	PLASTER	TFW	TOP FOUNDATION WALL
BR	BRICK	FTR	FIN TUBE RADIATION EQUIP	PLAST	PLASTIC	T&G	TONGUE & GROOVE
BRG	BEARING	FURN	FURNITURE	PLUMB	PLUMBING	THRES	THRESHOLD
BSMT	BASEMENT	FURR	FURRING	PLWD	PLYWOOD	TME	TO MATCH EXISTING
		FV	FIELD VERIFY	PNL	PANEL	TO	TOP OF
				PNT	PAINTED	TOC	TOP OF CONCRETE
C	CHANNEL			PRE-FAB	PRE-FABRICATED	TOM	TOP OF MASONRY
CAB	CABINET	GA	GAUGE	PRE-FIN	PRE-FINISHED	TOP	TOP OF PRECAST
CB	CEMENT BOARD	GALV	GALVANIZED	PT	PRESSURE TREATED	TOS	TOP OF SLAB
CBLK	CONCRETE BLOCK	GB	GRAB BAR	PTN	PARTITION	TOW	TOP OF WALL
CEM	CEMENT	GSF	GROSS SQUARE FEET			TPD	TEMPERED
CH	CEILING HEIGHT	GYP	GYPSUM BOARD	R	RISER	TPG	TOILET PAPER HOLDER
CJ	CONTROL JOINT	GWB	GYPSUM WALL BOARD	RCB	REINFORCED CONCRETE BLOCK	TYP	TYPICAL
CL	CENTER LINE			RD	REFLECTED CEILING PLAN		
CLG	CEILING	HDCP	HANDICAP	RCP	REFLECTED CEILING PLAN	UC	UNDERCUT
CLR	CLEAR	HDR	HEADER	RD	ROOF DRAIN	UH	UNIT HEATER
CMU	CONCRETE MASONRY UNIT	HDWD	HARDWOOD	REF	REFRIGERATOR	UNO	UNLESS NOTED OTHERWISE
COL	COLUMN	HEAT	HEATING	REINF	REINFORCED	UV	UNIT VENTILATOR
CONC	CONCRETE	HM	HOLLOW METAL	REQD	REQUIRED		
CONST	CONSTRUCTION	HT	HEIGHT	REV	REVERSE	VARN	VARNISHED
CONT	CONTINUOUS	HVAC	HEATING, VENTILATING, & AC	RF	RESILIENT FLOORING	VCT	VINYL COMPOSITION TILE
CONTR	CONTRACTOR	HW	HOT WATER	RFS	ROOM FINISH SCHEDULE	VENT	VENTILATOR
CPT	CARPET			RL	RAIN LEADER	VER	VERIFY
CS	CAST STONE	IN	INCH	RM	ROOM	VET	VINYL ENHANCED TILE
CT	CERAMIC TILE	INSUL	INSULATION	RO	ROUGH OPENING	VIF	VERIFY IN FIELD
C TO C	CENTER TO CENTER	INT	INTERIOR	RSF	RESILIENT SHEET FLOORING	VSE	VENEER SHELF ELEVATION
				RT	RUBBER TILE		
DEMO	DEMOLITION	LINO	LINOLEUM	RUB	RUBBER		
DH	DOUBLE HUNG	LT	LIGHT	RV	ROOF VENT	W	WIDE
DIA	DIAMETER	L-FT	LINEAR FEET	RWL	RAINWATER LEADER	W/	WITH
DIM	DIMENSION	LWCB	LIGHT WEIGHT CONC BLOCK			WC	WATER CLOSET
DIV	DIVISION			S	SINK	WD	WOOD
DN	DOWN	MAX	MAXIMUM	SB	SPLASH BLOCK	WDP	WOOD PANELING
DR	DOOR	MC	MEDICINE CABINET	SCH	SCHEDULE	WDW	WINDOW
DS	DOWNSPOUT	MECH	MECHANICAL	SCP	SKIM COAT PLASTER	W/O	WITHOUT
DT	DRAIN TILE	MEMB	MEMBRANE	SECT	SECTION	WP	WATER PROOF
DTL	DETAIL	MFR	MANUFACTURER	SF	SQUARE FEET	WSCT	WAINSCOT
DW	DISH WASHER	MICRO	MICROWAVE	SHWR	SHOWER	WT	WEIGHT
DWG	DRAWING	MIN	MINIMUM	SIM	SIMILAR	WWM	WELDED WIRE MESH
		MIR	MIRROR	SOG	SLAB ON GRADE		
E	EXISTING	MISC	MISCELLANEOUS	SOW	SCOPE OF WORK		
EA	EACH	MO	MASONRY OPENING	SPEC	SPECIFICATION		
		MR	MOISTURE & MOLD RESISTANT				

SYMBOLS

		Demo Note / Plan Note
		Demo Wall
		New Wall
		Window Number
		Door Number
		Wall Type
		Smoke Detector
		CO2 Detector
		Thermostat
		Ceiling light
		Recessed ceiling light
		Scone light/ Wall light
		Single receptacle outlet
		Four-Plex receptacle outlet
		Double receptacle outlet
		Double lamp flood light
		Exhaust Fan
		A/C Register
		Computer Data/ LAN outlet
		Electric Panel
		Smoke +CO2 Combination
		Pendant Light
		Telephone Jack
		Cable/ TV
		Existing Service

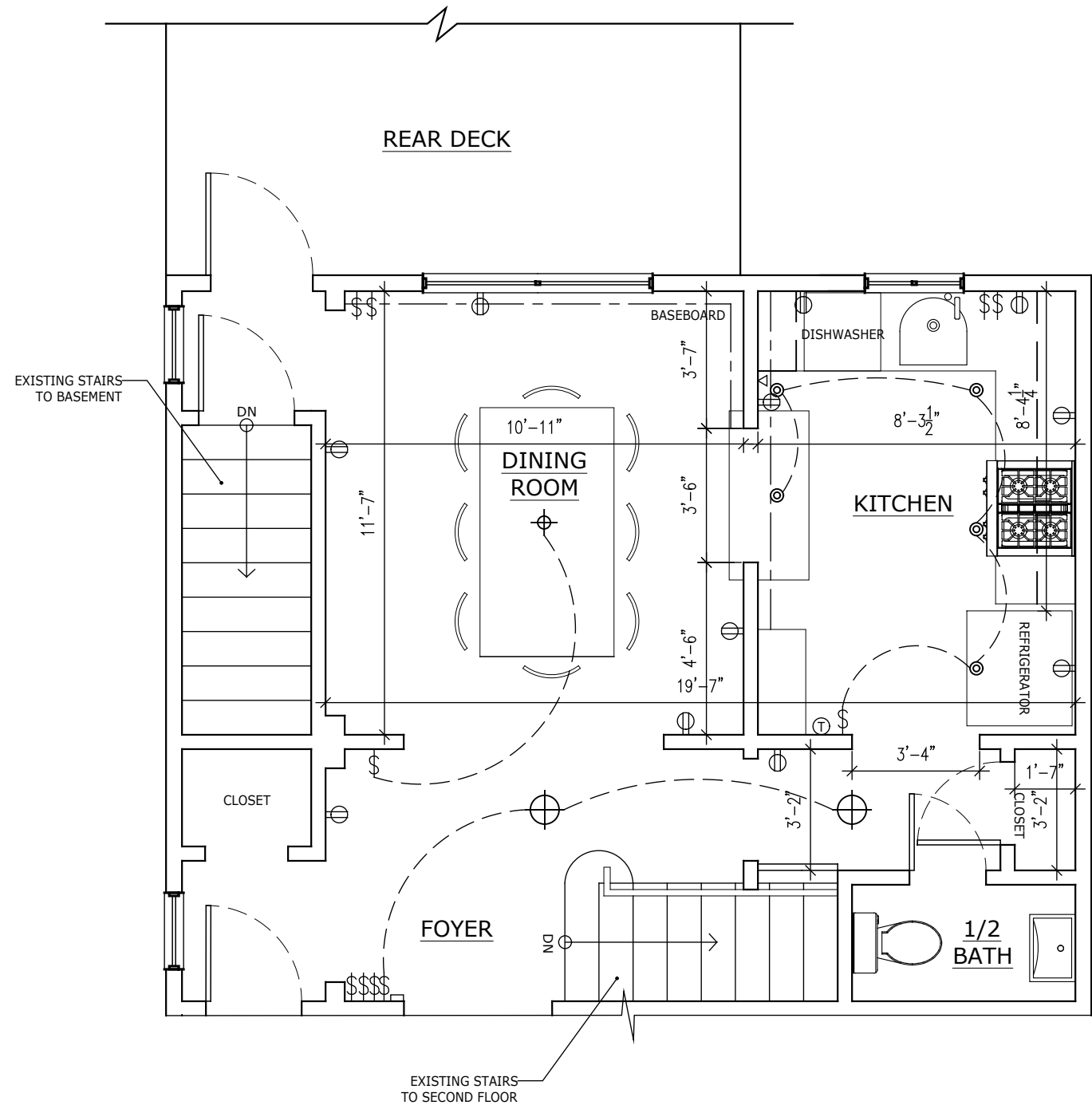
REINE RESIDENCE RENOVATIONS
30 VASSAL LANE
CAMBRIDGE, MA 02138

ABBREVIATION SHEET

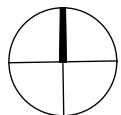
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1 EXISTING KITCHEN PLAN
SCALE: 1/4" = 1'-0"



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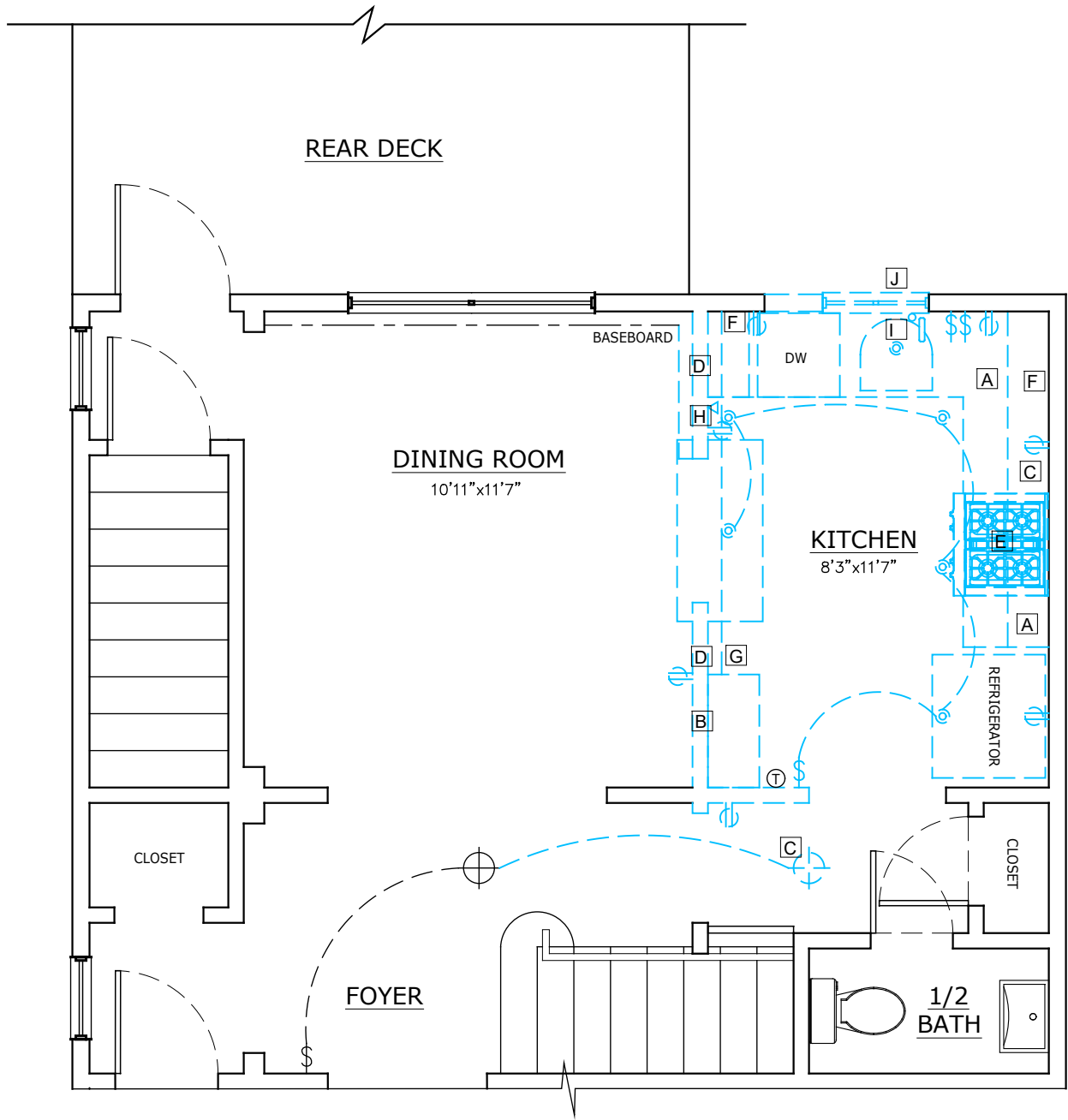
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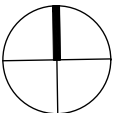
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1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SCOPE:

- A. DEMO ALL KITCHEN CABINETS.
- B. REMOVE EXISTING KITCHEN FLOORING ONLY IN THE WALL-DEMO AREA.
- C. REMOVE EXISTING LIGHT FIXTURES, SWITCHES AND OUTLETS.
- D. DEMO EXISTING WALL BETWEEN KITCHEN AND DINING.
- E. REMOVE WALL OVEN AND RANGE
- F. DEMO EXISTING BACKSPLASH.
- G. REMOVE HEATING BASEBOARD IN THE KITCHEN.
- H. REMOVE INTERCOM SYSTEM AND RELOCATE TELEPHONE JACK.
- I. REMOVE SINK AND ALL PLUMBING FIXTURES.
- J. REMOVE EXISTING WINDOW IN THE KITCHEN.



REINE RESIDENCE RENOVATIONS
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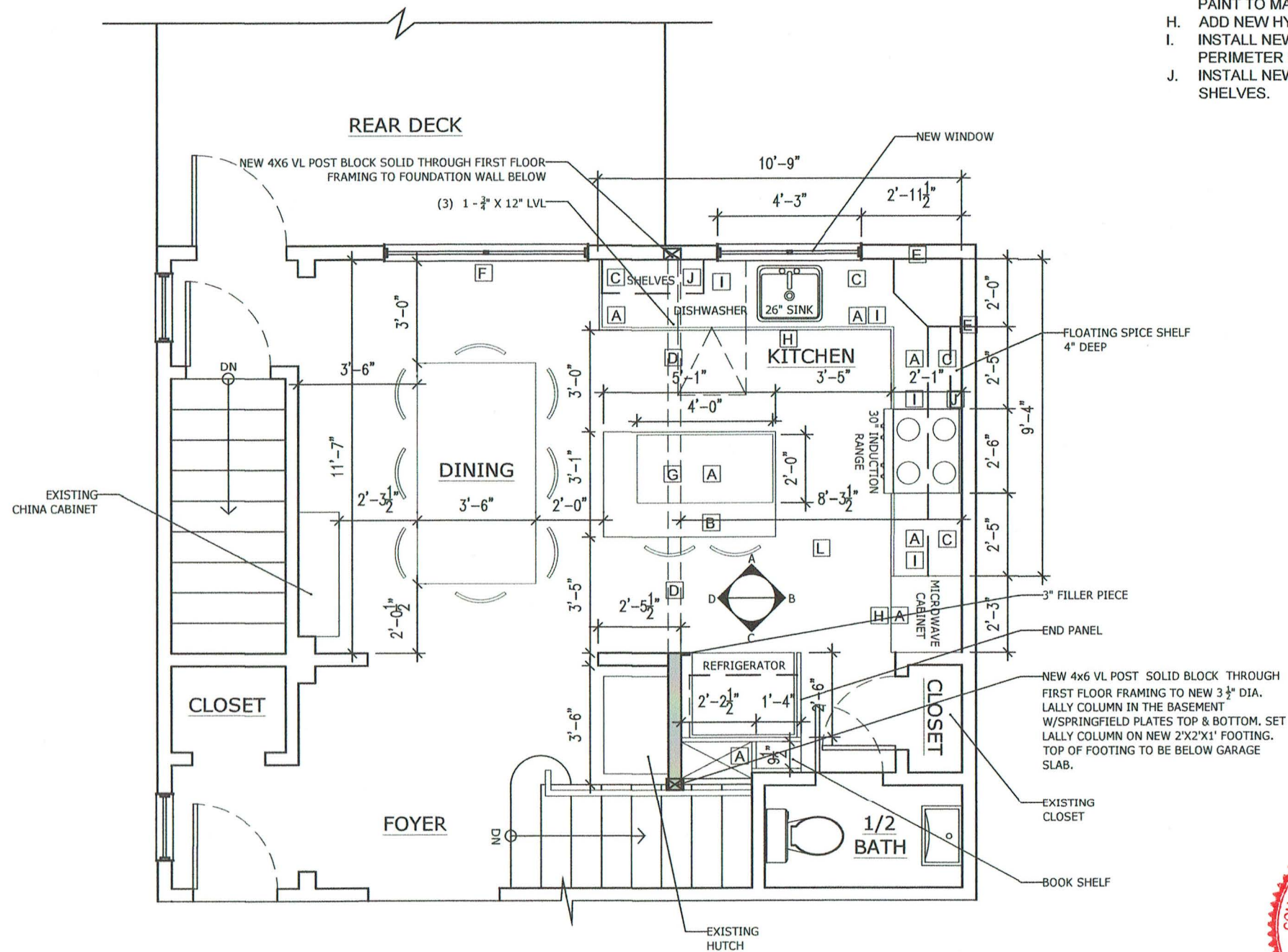
DEMOLITION PLAN

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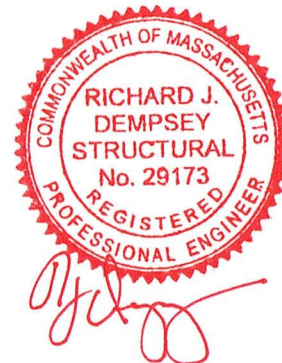
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1 PROPOSED KITCHEN PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES

- INSTALL NEW CUSTOM CABINETRY.
- INSTALL NEW BUTCHER BLOCK ON ISLAND.
- INSTALL NEW BACKSPLASH.
- PATCH IN NEW FLOORING AND REFINISH. EXISTING FLOORING IN KITCHEN ONLY.
- INSULATE THE REQUIRED WALLS.
- ADD A NEW BASEBOARD OR SHORTEN THE EXISTING BASEBOARD IF POSSIBLE.
- NEW BEAM CONSISTING OF (3) 1 1/2" X 12 LVLs. PAINT TO MATCH WITH THE CEILING PAINT.
- ADD NEW HYDRONIC TOE-KICK HEATERS.
- INSTALL NEW QUARTZ COUNTERTOPS ON PERIMETER CABINETS.
- INSTALL NEW MAPLE FINISHED FLOATING SHELVES.



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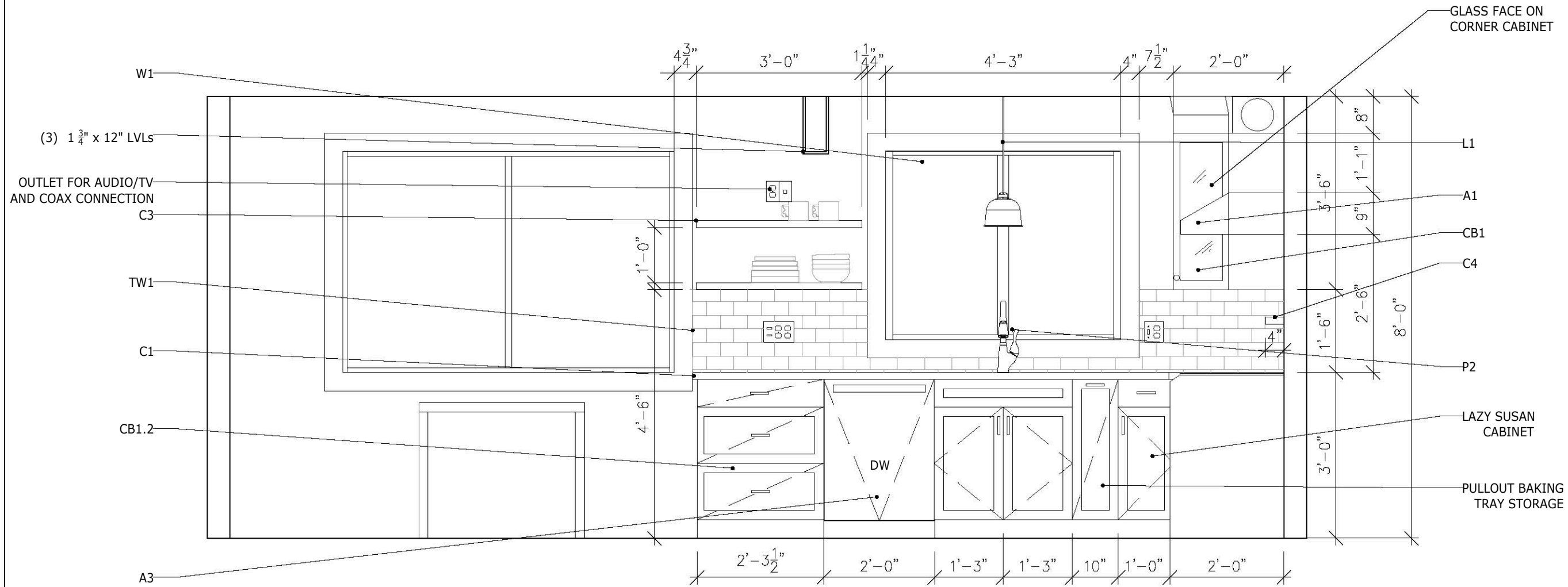
PROPOSED KITCHEN PLAN

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1 PROPOSED INTERIOR ELEVATION A
SCALE: 1/2" = 1'-0"

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30 VASSAL LANE
CAMBRIDGE, MA 02138

PROPOSED INTERIOR
ELEVATION

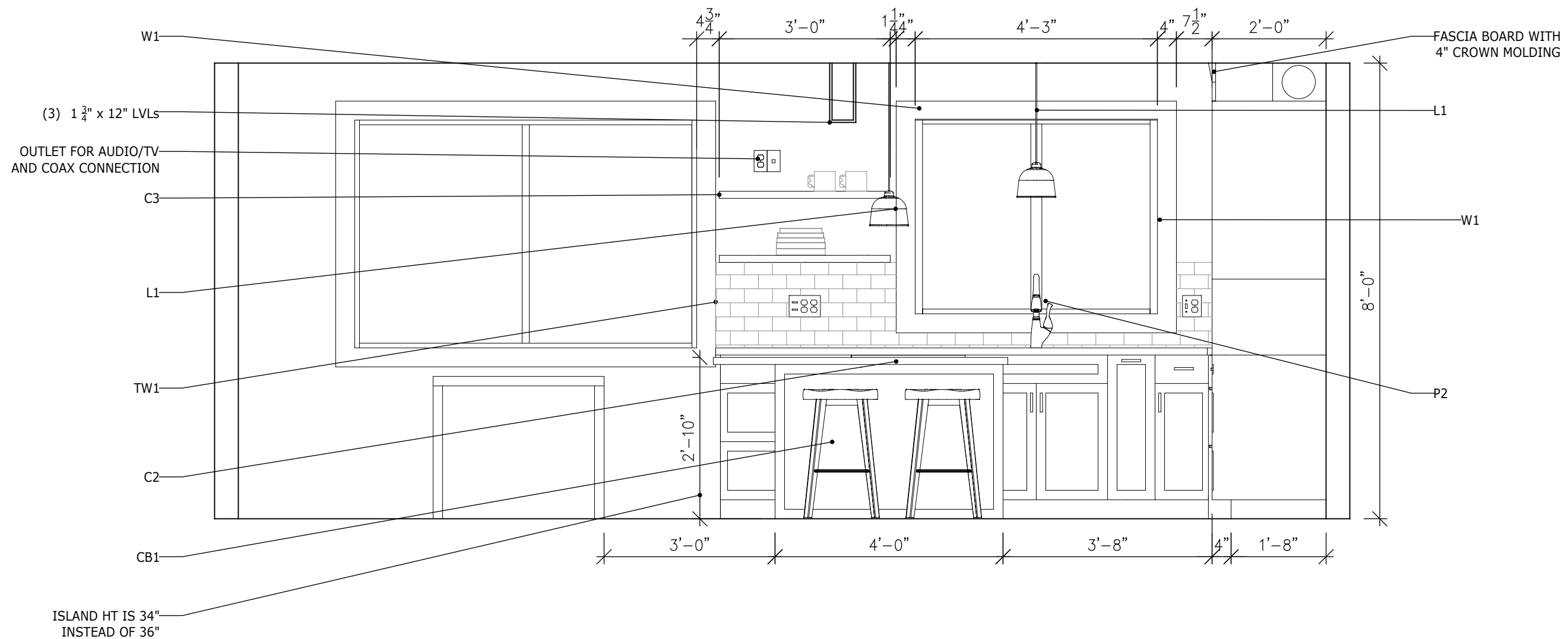
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A3.0

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1

PROPOSED INTERIOR ELEVATION A W/ISLAND

SCALE: 1/2" = 1'-0"

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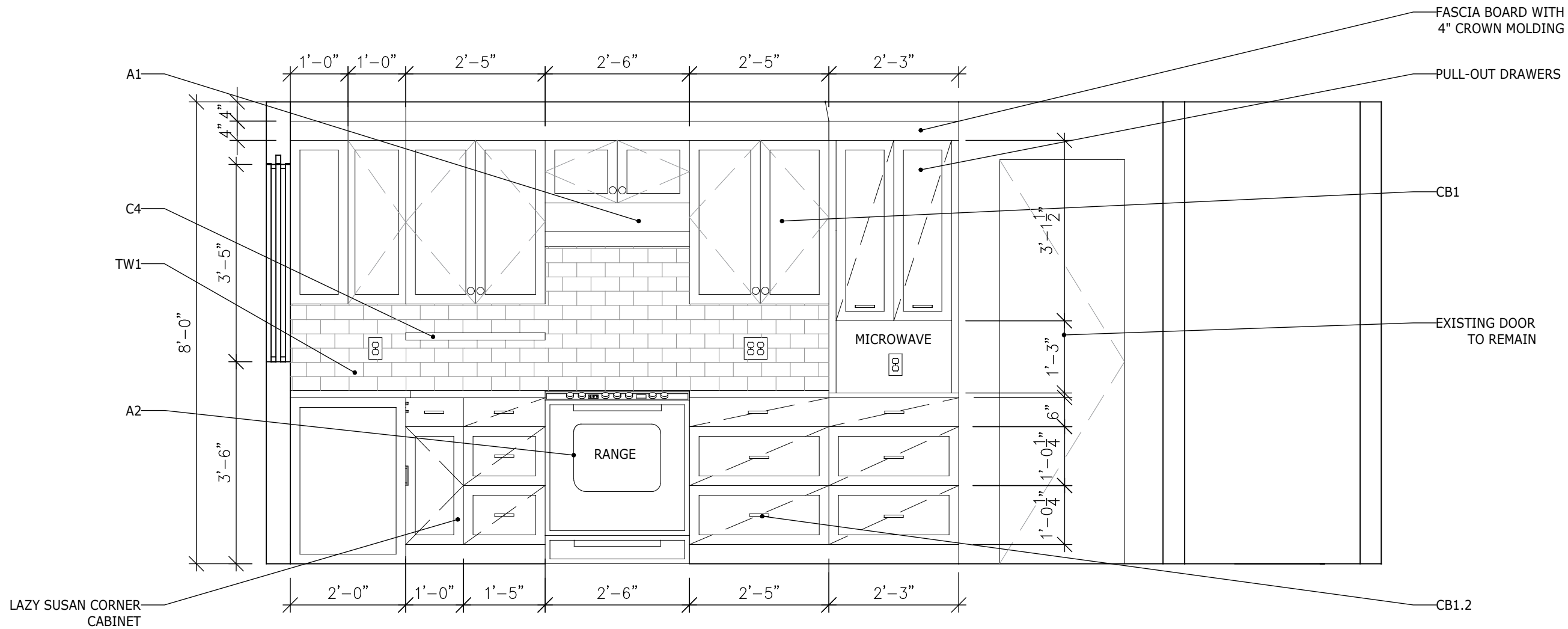
PROPOSED INTERIOR
ELEVATION

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A3.1



1 PROPOSED INTERIOR ELEVATION B
SCALE: 1/2" = 1'-0"

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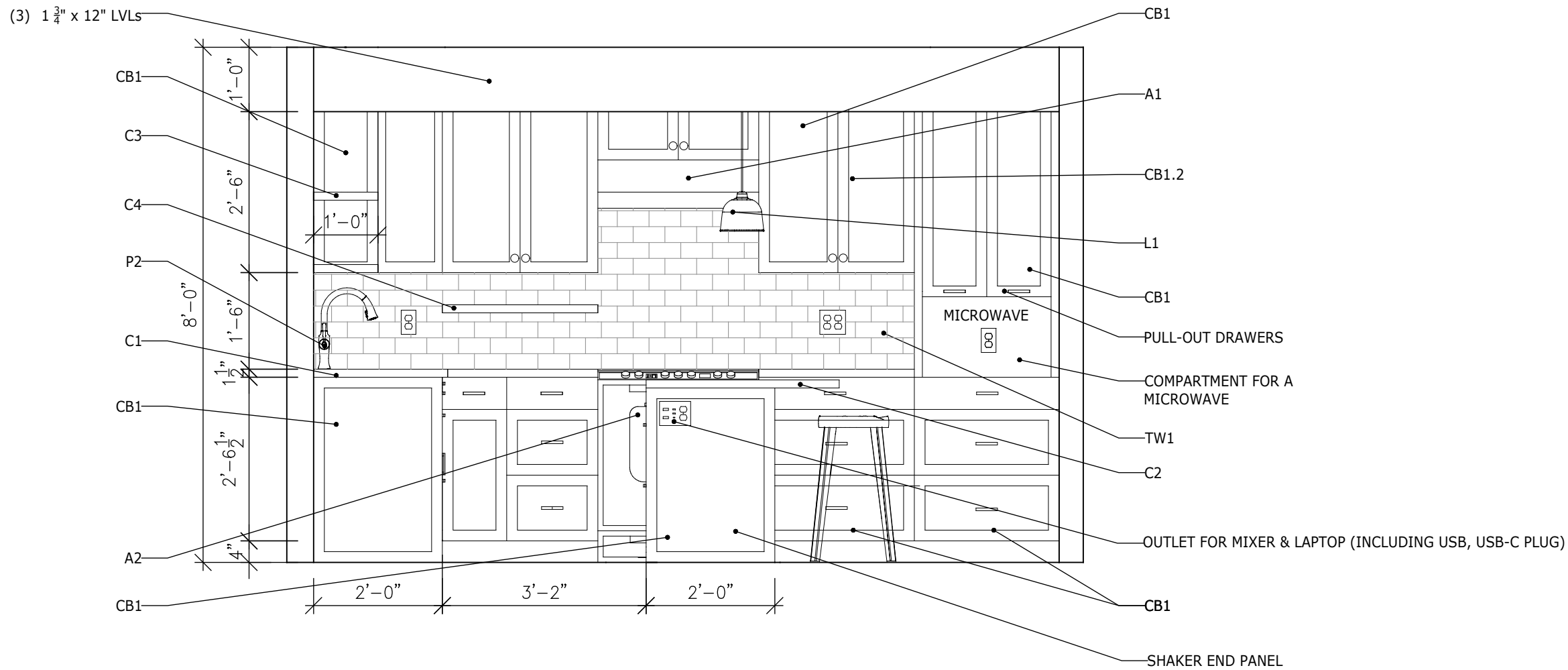
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A3.2



1 PROPOSED INTERIOR ELEVATION B W/ISLAND
SCALE: 1/2" = 1'-0"

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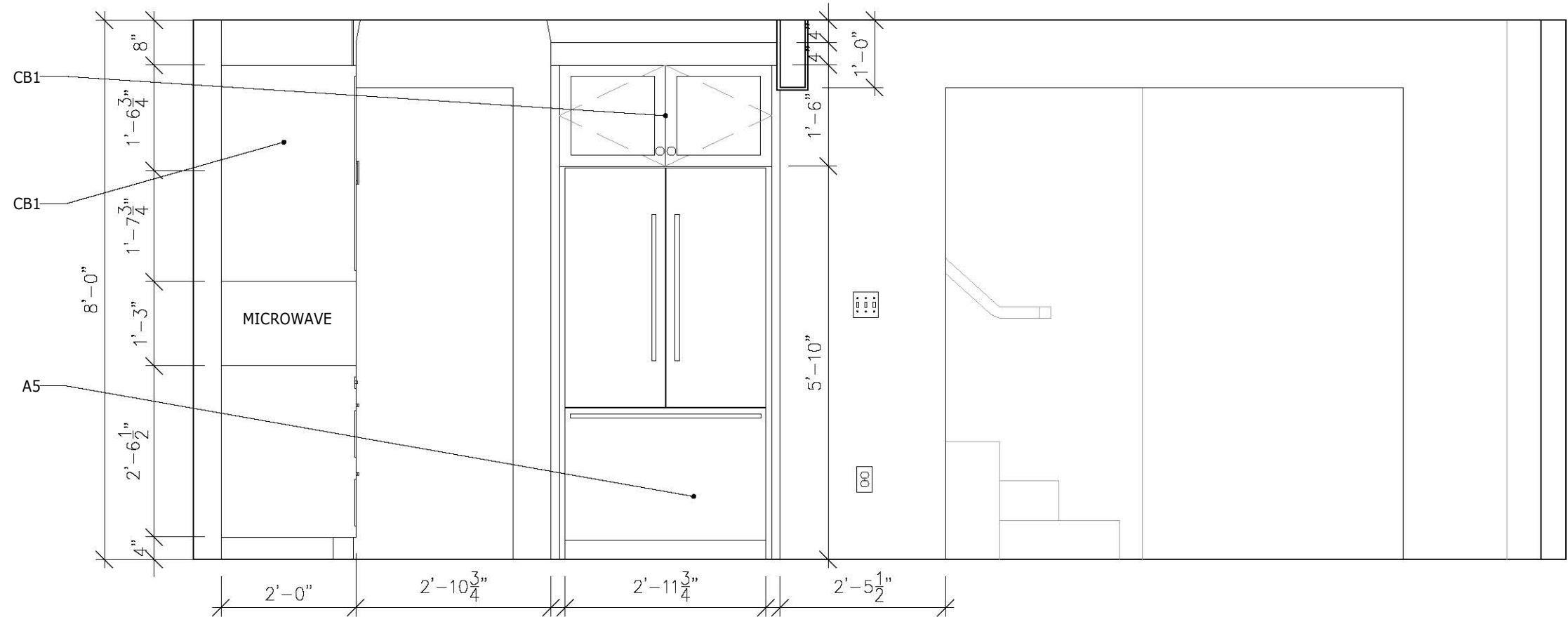
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1 PROPOSED INTERIOR ELEVATION C
SCALE: 1/2" = 1'-0"

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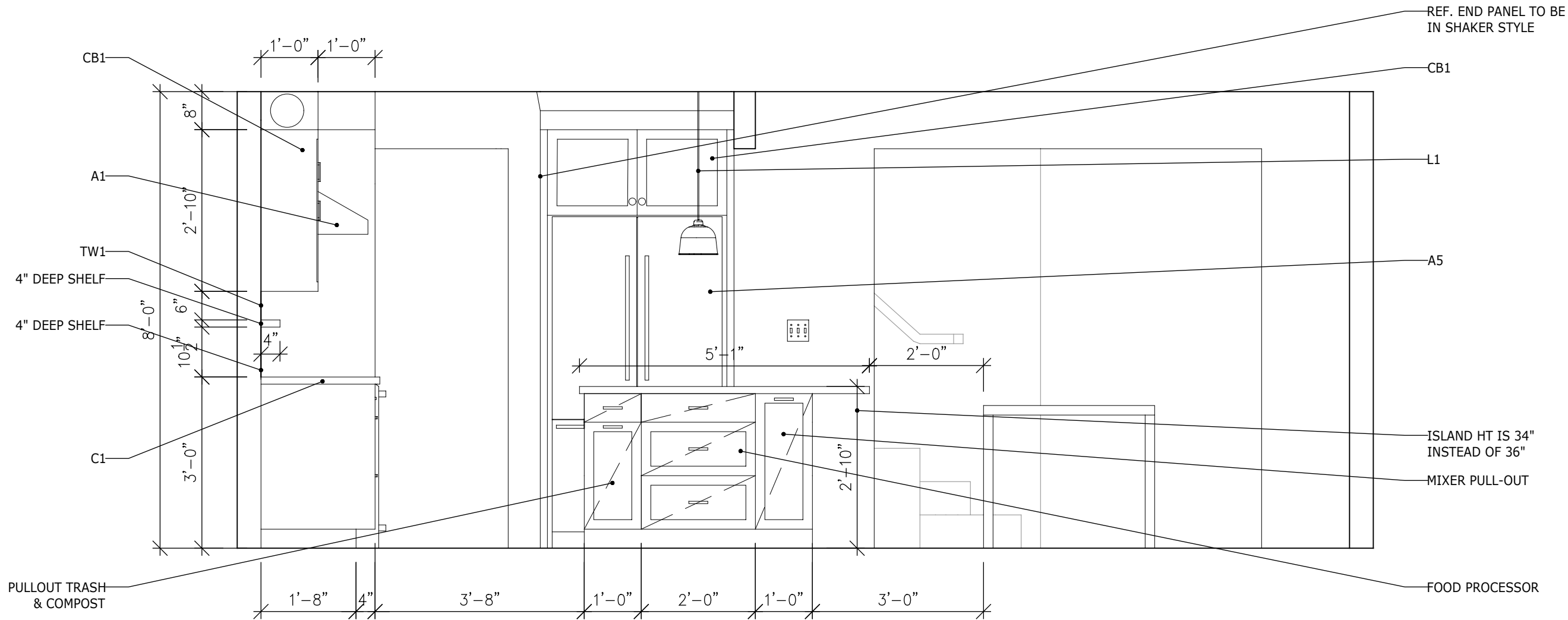
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PROPOSED INTERIOR ELEVATION C W/ISLAND

SCALE: 1/2" = 1'-0"

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H I C # 1 6 7 8 5 5

REINE RESIDENCE RENOVATIONS
30 VASSAL LANE
CAMBRIDGE, MA 02138

PROPOSED INTERIOR
ELEVATION

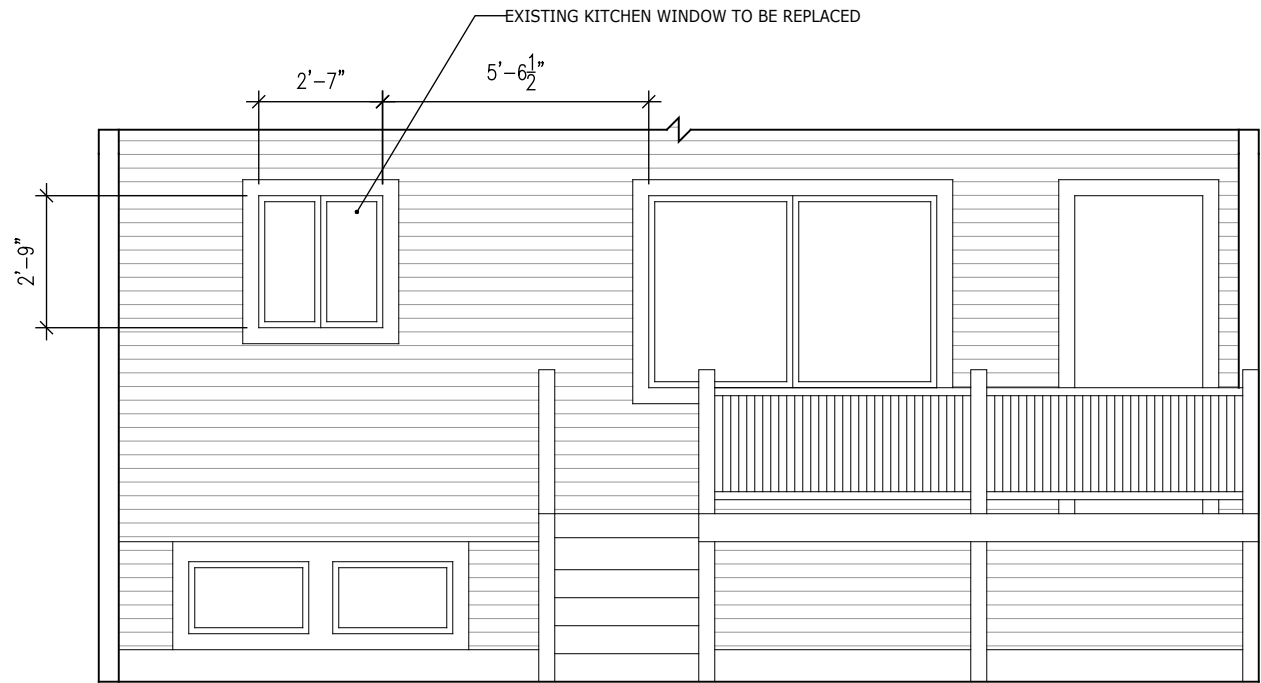
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PERMIT SET	

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CHECKED BY: SK

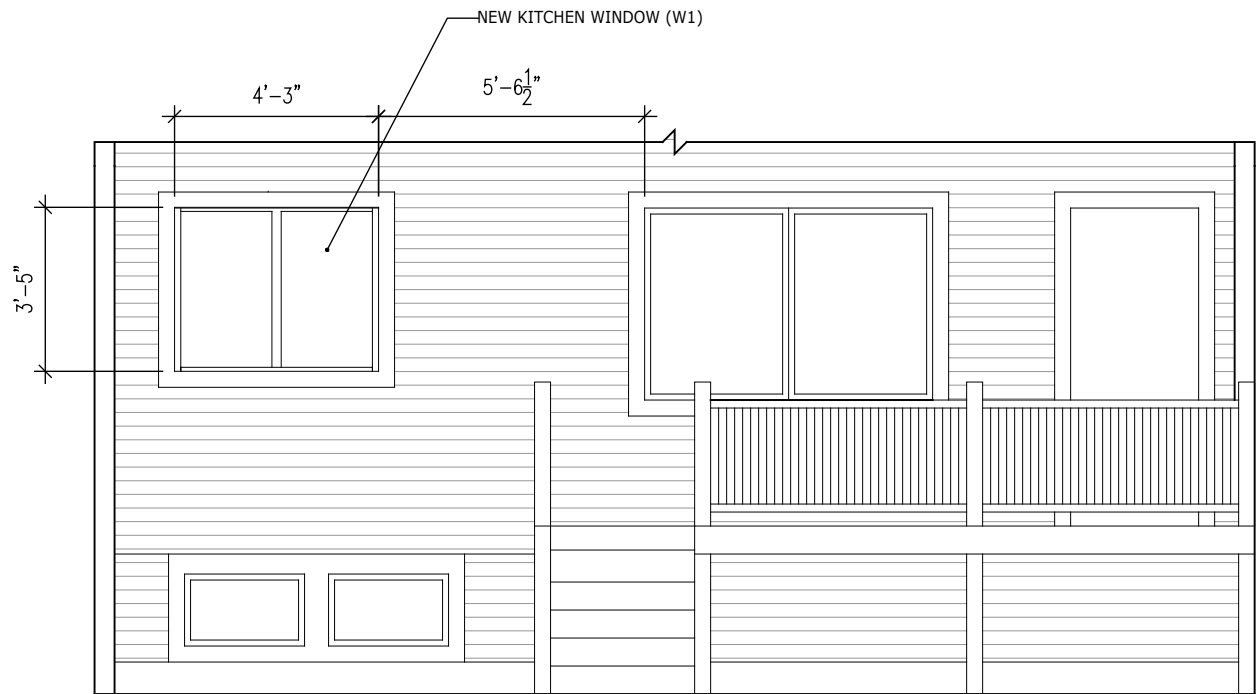
SHEET NUMBER:

A3.5

[illegible]



① ELEVATION OF EXISTING WINDOW TO BE REPLACED
SCALE: 1/4" = 1'-0"



② ELEVATION OF PROPOSED WINDOW ADDITION
SCALE: 1/4" = 1'-0"

REINE RESIDENCE RENOVATIONS
30 VASSAL LANE
CAMBRIDGE, MA 02138

PROPOSED EXTERIOR
ELEVATION

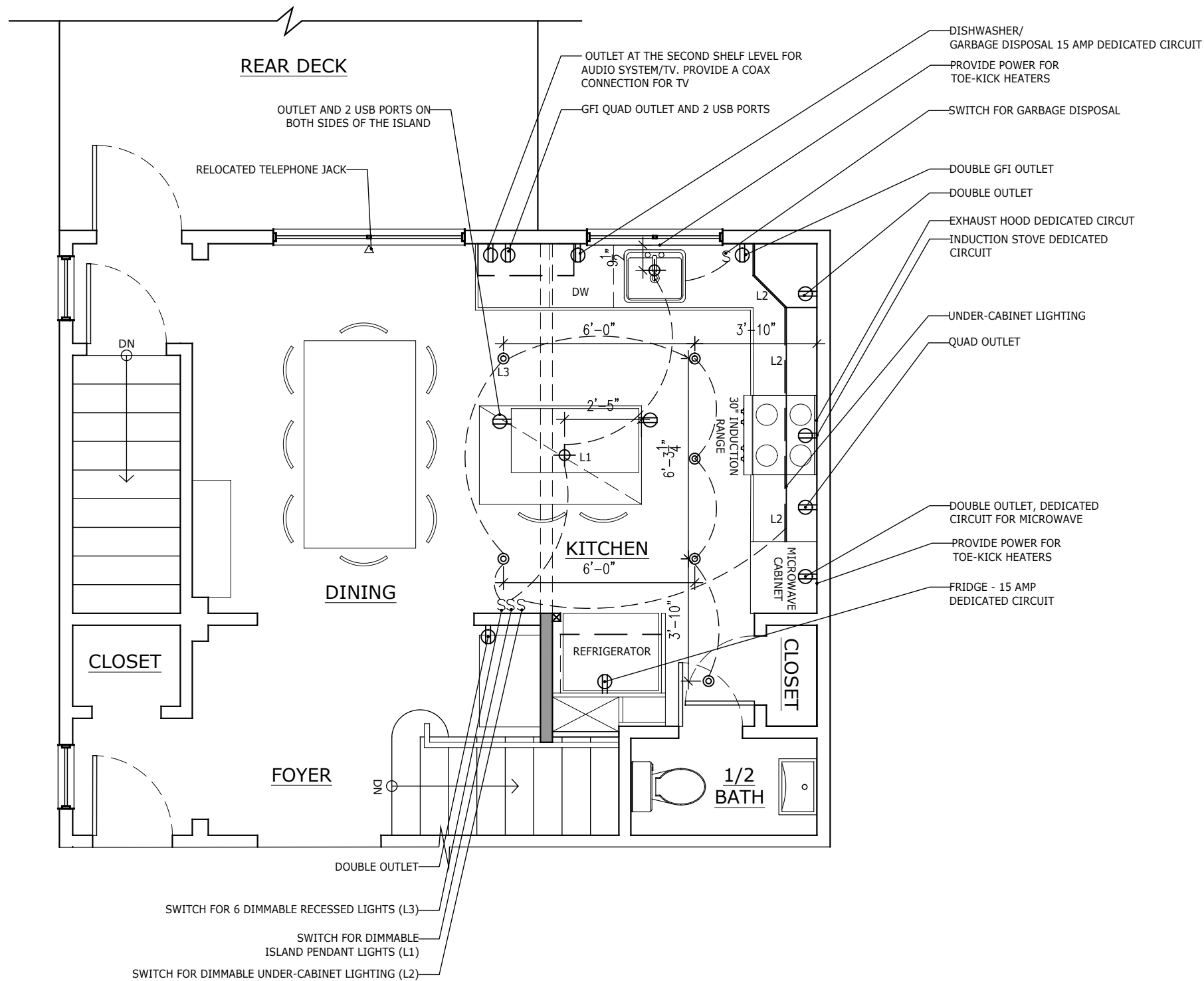
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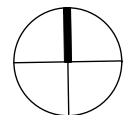
SHEET NUMBER:

A3.7

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1 PROPOSED RCP PLAN
SCALE: 1/4" = 1'-0"



nedc

DESIGN + CONSTRUCTION

CUSTOM RESIDENTIAL
REMODEL / ADDITIONS
103 TERRACE STREET
BOSTON, MA 02120
TEL: 617.708.0676
WWW.NEDESIGNBUILD.COM

H I C # 1 6 7 8 5 5

REINE RESIDENCE RENOVATIONS
30 VASSAL LANE
CAMBRIDGE, MA 02138

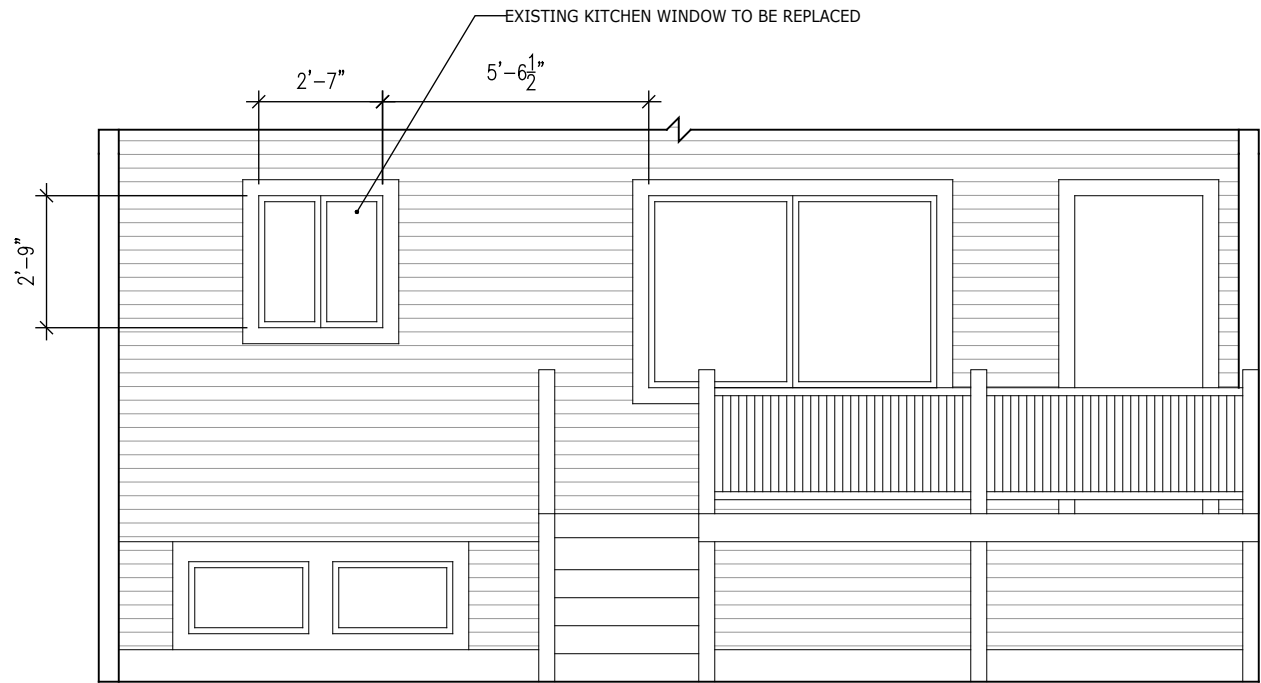
PROPOSED RCP PLAN

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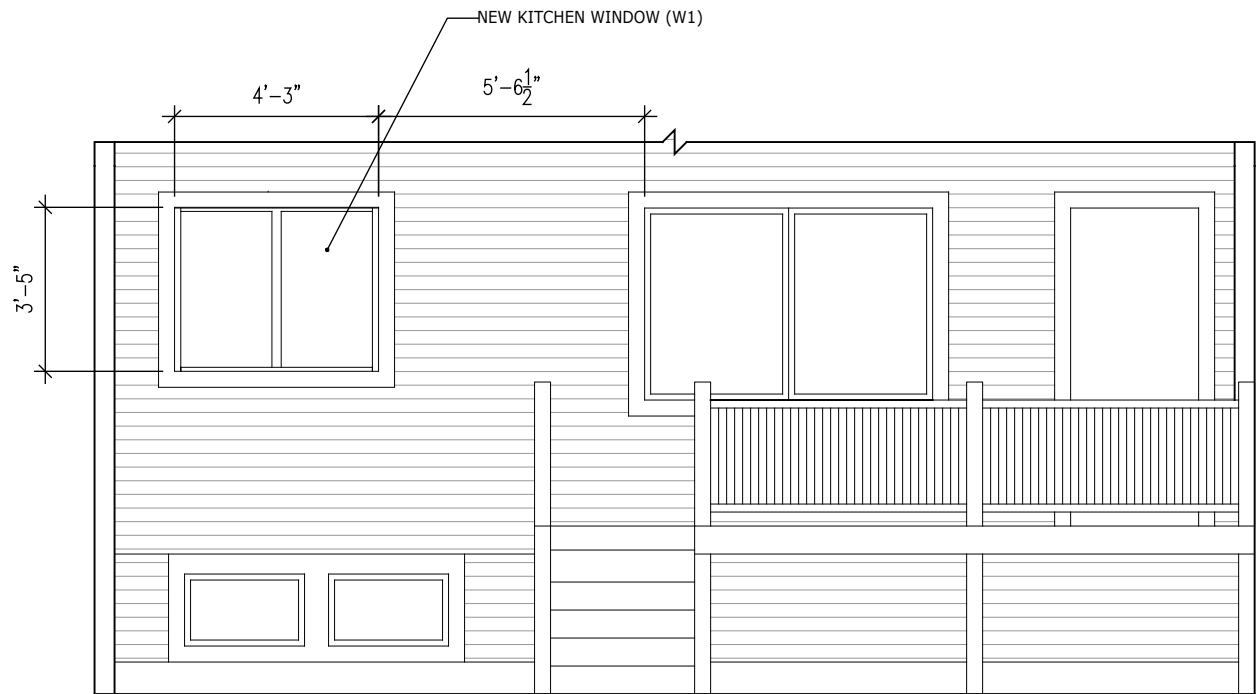
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CHECKED BY: SK

SHEET NUMBER:

E1.0



① ELEVATION OF EXISTING WINDOW TO BE REPLACED
SCALE: 1/4" = 1'-0"



② ELEVATION OF PROPOSED WINDOW ADDITION
SCALE: 1/4" = 1'-0"

REINE RESIDENCE RENOVATIONS
30 VASSAL LANE
CAMBRIDGE, MA 02138

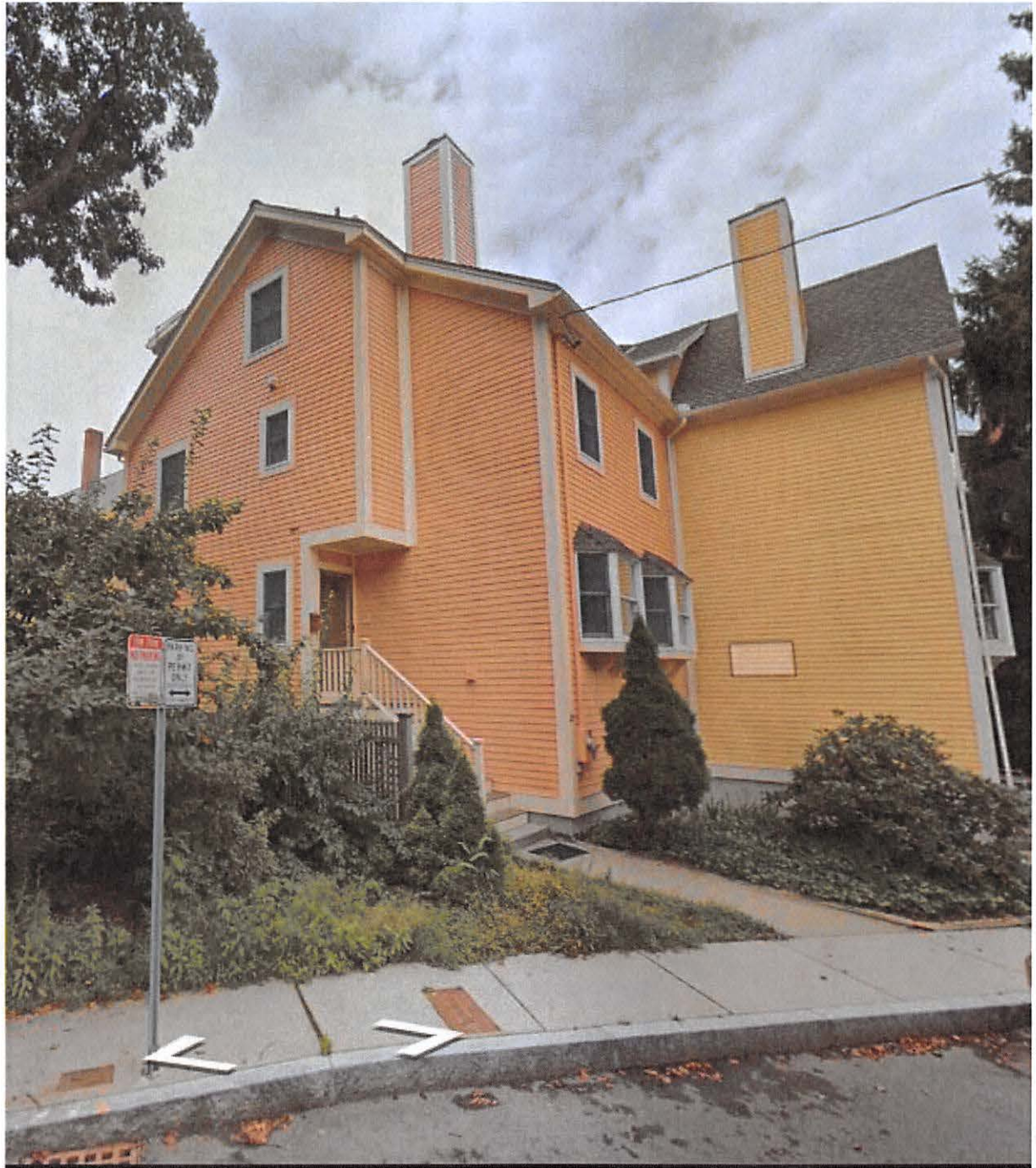
PROPOSED EXTERIOR
ELEVATION

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A3.7

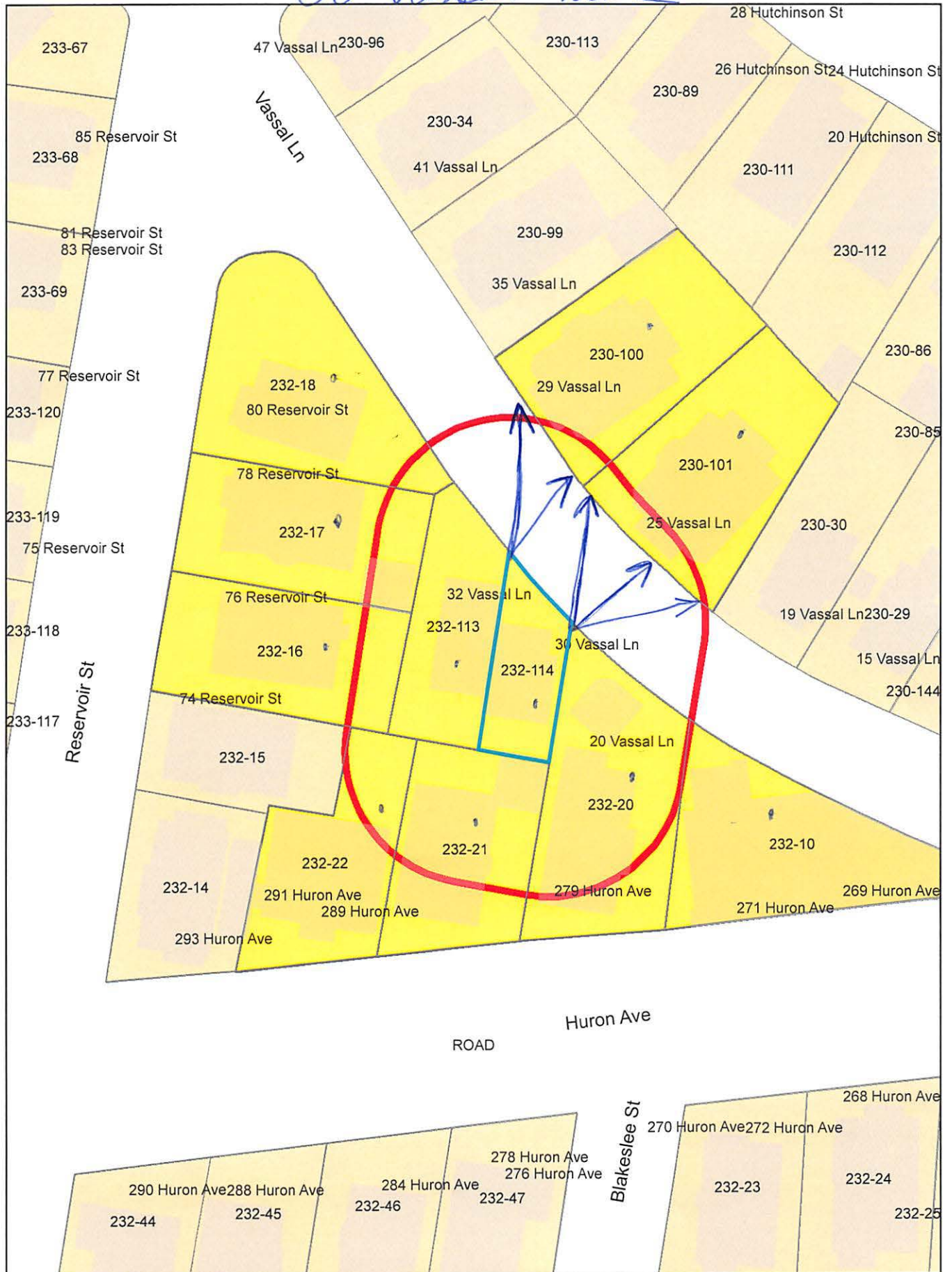








30 Vassal lane



30 Vassal lane

Petitioner

232-17
MCVARISH, VIRGINIA A. & CHARLES BAHNE, JR.
78 RESERVOIR ST., UNIT #1
CAMBRIDGE, MA 02138

232-20
RONAYNE, JOSEPH STEPHEN, JR. &
MIREYA NADAL-VICENS
279 HURON AVE
CAMBRIDGE, MA 02138-1303

NEDC
C/O JOSH LAPAN
103 TERRACE STREET
BOSTON, MA 02120

232-114
REINE, MARION B. & KATHLEEN M. REINE
30 VASSAL LN
CAMBRIDGE, MA 02138

232-17
ALTOBELLO, E. JOHN,
TRUSTEE THOMAS J. DALEY, TRUSTEE
78 RESERVOIR ST., #3
CAMBRIDGE, MA 02138

SHRUTI KULKARNI
103 TERRACE STREET
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232-22
TSAI, LILY & EDWARD YOUNG
165 SOMERSET STREET
BELMONT, MA 02478

230-101
BAKER, EDWARD L., JR & PAMELA T. BAKER, TRS
25 VASSAL LN., #1
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230-101
LEVENTHAL, FRED M. & JEAN H. LEVENTHAL
TRS, THE HOLLIS REALTY TRUST
25 VASSAL LN., #2
CAMBRIDGE, MA 02138

230-101
SIMPSON, SUSANNE B.
25 VASSAL LANE, #3
CAMBRIDGE, MA 02138

232-21
KELLY, MARY S.
TRUSTEE OF 287 HURON AVENUE MONINEE TR.
C/O DAVID SULLIVAN
2254 SUTTON TERRACE
THE VILLAGES, FL 32162

232-16
KIBBE, DAVID P. &
GWENDOLYN M. STEWART KIBBE
76 RESERVOIR ST #2
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232-21
PILEANU, IOANA JORGE CASTELLANOS
287 HURON AVE UNIT #2
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232-16
PALIN, WILLIAM E.
MEGAN BRIELLE LEONARD-PALIN
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232-10
LORDAN, GEORGE P. TRUSTEE
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HABBAL, FAWWAZ
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CAMBRIDGE, MA 02138

230-100
CREATIVE PROPERTIES ON CENTRE LLC
56 JUNIPER RD
BELMONT, MA 02478

232-113
FERRARI, RAFFAELE & ANNA LEONOVA
32 VASSAL LN
CAMBRIDGE, MA 02138

232-18
QUINN, DAVID B.
80 RESERVOIR ST.
CAMBRIDGE, MA 02138-6836