

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 106913

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: X

Appeal:

PETITIONER: 33 Gore LLC C/O Sarah Like Rhatigan, Esq., Trilogy Law LLC

PETITIONER'S ADDRESS: 12 Marshall Street, MA, Boston 02108

LOCATION OF PROPERTY: 33 Gore St., Cambridge, MA

TYPE OF OCCUPANCY: Multi-family residential

ZONING DISTRICT: Business A/Residence C
Zone/ECHO

REASON FOR PETITION:

/Additions/ /Conversion to Additional Dwelling Units/

DESCRIPTION OF PETITIONER'S PROPOSAL:

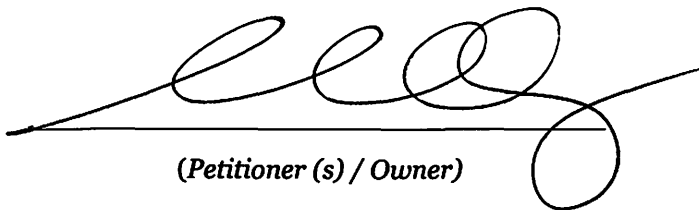
Expansion by building up and constructing addition squaring off the right-rear side of a pre-existing, non-conforming two-family dwelling, adding two-residential units to the building, which is situated on a merged lot.

Expansion by building up and constructing addition squaring off the right-rear side of a pre-existing, non-conforming two-family dwelling, adding two-residential units to the building, which is situated on a merged lot. Special permit relief necessary to extend ECHO and Res C-2B zoning to the entire lot, to allow expansion of building height up within setbacks, for a waiver of parking requirements, and to allow two tandem parking spaces in the existing driveway.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 3.000	Section: 3.32.1 (Extension of Less Restrictive Dimensional Provisions)
Article: 5.000	Section: 5.13 (Distance Between Buildings)
Article: 5.000	Section 5.26 (Conversion).
Article: 5.000	Section: 5.31 (Table of Dimensional Requirements)
Article: 6.000	Section: 6.35.1 (Reduction of Required Parking)
Article: 6.000	Section: 6.43.1 (Access for Off-street Parking Spaces)
Article: 6.000	Section: 6.44.1.g (Setbacks for on grade open parking spaces)
Article: 8.000	Section: 8.22.2.c (Alteration to Non-conforming structure)

Original
Signature(s):



(Petitioner (s) / Owner)

Sarah Like Rhatigan, Esq., on behalf of Petitioner

33 Gore LLC

(Print Name)

Address: Trilogy Law LLC, 12 Marshall Street, Boston, MA 02108

Tel. No. 617-543-7009

Date: February 2, 2021

E-Mail Address: sarah@trilogylaw.com

BZA APPLICATION FORM - OWNERSHIP INFORMATION

(To be completed by **OWNER**, signed before a notary, and returned to Secretary of Board of Appeal).

I Peter Koskores, a Manager of 33 Gore LLC

(OWNER)

Addresses: **33 Gore Street, Cambridge, Massachusetts**

State that **33 Gore LLC** owns the property located at **33 Gore Street Cambridge, MA** which is the subject of this zoning application.

The record title of this property is in the name of **33 Gore LLC**

Pursuant to a deed dated **June 10, 2020** and duly recorded on **June 11, 2020** in the Middlesex South County Registry of Deeds at Book **74867**, Page **78**.

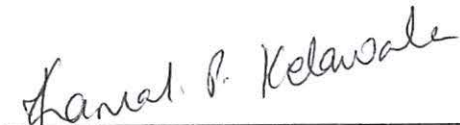


SIGNATURE BY LAND OWNER BY: Peter Koskores

Commonwealth of Massachusetts

County of Middlesex, South:

The above-named **Peter Koskores** personally appeared before me, this 29th day of **December, 2020**, and made oath that the above statement is true.



Notary Public:

My commission expires (Notary Seal).

02/27/2026



KAMAL KELAWALA-BILIMORIA
Notary Public
Commonwealth of Massachusetts
My Commission Expires Feb. 27, 2026

THE UNIVERSITY OF CHICAGO

DEPARTMENT OF THE HISTORY OF ARTS

OFFICE OF THE DEAN

CHICAGO, ILLINOIS

TO THE HONORABLE CHAIRMAN OF THE BOARD OF TRUSTEES

OF THE UNIVERSITY OF CHICAGO

IN RESPONSE TO YOUR LETTER OF THE 10TH INSTANT

RE THE MATTER OF THE DEPARTMENT OF THE HISTORY OF ARTS



BZA APPLICATION FORM - OWNERSHIP INFORMATION

(To be completed by **OWNER**, signed before a notary, and returned to Secretary of Board of Appeal).

I Peter Koskores, a Manager of 31 Gore LLC

(OWNER)

Addresses: **29-31 Gore Street, Cambridge, Massachusetts**

State that **31 Gore LLC** owns the property located at **29-31 Gore Street Cambridge, MA** which is the subject of this zoning application.

The record title of this property is in the name of **31 Gore LLC**

Pursuant to a deed dated **June 10, 2020** and duly recorded on **June 11, 2020** in the Middlesex South County Registry of Deeds at Book **74866**, Page **428**.

SIGNATURE BY LAND OWNER BY: Peter Koskores

Commonwealth of Massachusetts

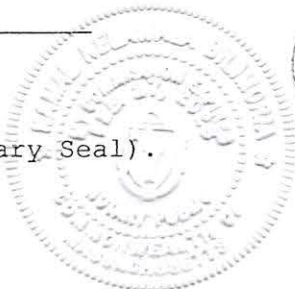
County of Middlesex, South:

The above-named **Peter Koskores** personally appeared before me, this 29th day of **December, 2020**, and made oath that the above statement is true.

Notary Public:

My commission expires (Notary Seal).

02/27/2022



KAMAL KELAWALA-BILIMORIA
Notary Public
Commonwealth of Massachusetts
My Commission Expires Feb. 27, 2026

UNITED STATES DEPARTMENT OF AGRICULTURE

WASHINGTON, D. C. 20250

OFFICE OF THE SECRETARY

REPORT

ON THE PROGRESS OF THE WORK OF THE DEPARTMENT

FOR THE YEAR 1961

AND THE ACHIEVEMENTS OF THE DEPARTMENT

IN THE FIELD OF AGRICULTURE

AND THE ACHIEVEMENTS OF THE DEPARTMENT

IN THE FIELD OF AGRICULTURE



BZA Application Form**SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

BACKGROUND AND INTRODUCTION:

The proposed renovation of this mid-19th Century, two-family dwelling seeks to expand by building up (one and a half stories) upon the existing footprint and squaring off the right-rear side of the building by 101 square feet; the renovations and expansion will result in an addition of two-residential units in the building. This pre-existing, non-conforming structure is sited on an undersized (4,470 SF) lot with narrow side yards and no front yard. Originally constructed on its own 1,035 SF lot, this property is deemed to have merged with the neighboring 31 Gore Street on account of it being held in common ownership. The neighboring 31 Gore Street property consists of a six-unit apartment building that is fully tenanted and not undergoing any changes at this time. Together, the merged lot (31 and 33 Gore Street) is located in the East Cambridge Housing Overlay District (see Section 20.40 of the Cambridge Zoning Ordinance ("CZO"), the "ECHO"), with a Base zoning in the Business A District (Residential C-2B for residential uses), with the exception of a 503 square foot triangular area (representing 11% of the area) which falls outside the ECHO, in a Residential C district.

The proposed renovation and expansion will result in an increase in total Gross Floor Area and a Floor Area Ratio of 2.0, in a dwelling unit density of 10 units, and an increase in the height of the 33 Gore Street building to 45 feet, dimensional elements which are generally allowed "as of right" under the ECHO's residential development density provisions under Section 20.40. Since the merged lot straddles the ECHO, with a small portion falling outside the overlay, and due to certain pre-existing constraints of the undersized lot, which result in technical violations of dimensional requirements and limited space for on-site parking, this project requires certain special permit relief (see Special Permit narrative), as well as variance relief, as described herein.

LITERAL ENFORCEMENT WOULD INVOLVE SUBSTANTIAL HARDSHIP REQUIRING VARIANCE:

The proposed construction increases the height of the structure to 45 feet, which is allowed residential height within this portion of the ECHO and the Residential C-2B district. This is consistent with the intent and purpose of the creation of the ECHO, to promote and incentivize residential development in this mixed commercial/residential district. In this instance, the increase in height raises an issue as to the technical compliance of the project with dimensional requirements as they relate to two issues:

(1) Minimum distance between buildings, under Section 5.13. The existing distance between the 33 Gore Street dwelling and its neighboring 31 Gore Street building is 11 feet, 1 inch and thus currently complies with Section 5.13, which requires that "the minimum distance between such buildings shall not be less than the sum of the heights of the buildings divided by six, or ten feet, whichever is greater." At its current height of 27 feet, applying the formula results in a calculation of 9.7 and thus a required minimum distance of 10 feet. The proposed construction will increase the height of the 33 Gore Street building to 45 feet, as permitted under the ECHO and Residential C-2B district. However, when applying the calculation under Section 5.13, the increase in height results in a small (2.7 foot) increase in the minimum required distance between buildings, to 12.7 feet. Although the actual minimum distance between the buildings on the lot will not change, the minimum distance between buildings changes (because defined as a function of building height), thus creating a technical non-compliance with this dimensional standard. Therefore, the Petitioner hereby seeks a variance from this Board asking that the Board allow for the project to proceed despite this technical non-conformity.

(2) Increase in height of building within setbacks, under Section 5.31. The building lies within the front and left side yard setbacks, and therefore the expansion up within these setbacks results in an extension of these non-conformities. In a Residential C-2B district, front and side yard setbacks are

defined as a function of building height. Thus, since the building height is increased, the defined setbacks technically increase as well. The Petitioner believes and has petitioned this Board accordingly, that the increase in height is an extension of a pre-existing non-conformity (as to the front and left side setbacks), and thus, under Section 8.22.2.c, should be allowed by this Board upon a finding of a special permit. If, however, this Board should disagree with this interpretation, then in the alternative, the Petitioner requests a variance to allow for this increase in height within front and side setbacks.

Literal enforcement of the CZO in this instance would result in severely constraining the ability of an owner to expand the residential density on this lot, as is envisioned and encouraged by the residential development density provisions of the ECHO, causing substantial hardship both financial and otherwise, where there are no alternative locations on the site in which to expand to provide the additional living space needed to support the financial feasibility of this project.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship described in this application is owing to the following unique circumstances: (a) the shape of the undersized lot that has been merged for zoning purposes due to common ownership, (b) the shape (height) and siting of the existing two-family structure (33 Gore Street) located very close to the left lot line and at the front lot line, and (c) the siting of the building with 11 feet, 1 inch between it and the neighboring structure. The circumstances of the merger are unique and generally not affecting other lots in the zoning district. Due to its age and deteriorated condition, the necessary improvements and upgrades to the 33 Gore Street dwelling will be extremely costly, and the expansion to increase living space will be financially necessary to offset construction costs.

Constrained by the undersized lot, and the existing shape and size of the structure and the desire to preserve the only available open space at the rear, the Petitioner's only viable option is to expand the building up. The fact that the Property lies in a Base zoning district in which both the minimum distance between buildings and the side setbacks are defined as a function of the height of the building means that this project (that increases the height of the structure) will result in a recalculated dimensional requirements, thus triggering a variance requirement.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

- 1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The requested relief may be granted without detriment to the public good. The increase in height results in changed calculations for certain dimensional requirements under the CZO (specifically, the distance between buildings and side yard setbacks), but this increase in height is a dimensional element that is expressly permitted under both the ECHO as well as the Residential C-2B district in which the project lies. Furthermore, the increased height is in keeping with the height of neighboring uses in the vicinity. The proposal does not propose to move site the buildings closer together than they exist today. The addition towards the right-rear of the building extends the existing 11 feet, 1 inch distance between buildings back towards the rear of the lot. However, this change affects the interior of a multi-family apartment lot, and will not substantially, negatively affect the residents or neighboring uses. Additionally, the increased height of the 33 Gore Street building within the left side setback will not be substantially detrimental to the public good. The substantial upgrading of all systems, new fire-code compliance (including sprinklered building) will result in improved safety and benefits for the abutters and the neighborhood. Moreover, the project will supply much-needed moderate-rate, residential rental housing that is close to public transit.

- 2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The granting of variance relief in this instance will be consistent with the intent and purpose of the ECHO, which is to encourage the further expansion of residential development within this quasi-

commercial/residential area. Section 20.41 provides as follows: "*Purpose.* It is the intent of this Section 20.40 to provide an incentive for residential development within the designated ECHO district as an extension of the existing residential neighborhood...." Moreover, consistent with the stated intent and purpose of the ordinance, as detailed in Section 1.30 of Article 1.000 Preamble of the Zoning ordinance as well as M.G.L Ch. 40A Zoning Section 10 Variances, the proposed project will: (a) Create quality housing with valued open space for the benefit of the residents and abutters; (b) not result in use or activity not otherwise permitted in the ordinance; and (c) not result in negative impacts listed in Section 1.3 regarding traffic, population density, blight, and pollution.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 33 Gore St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The project meets the requirements for the granting of the following special permits:

(i) The Petitioner seeks a special permit under Section 3.32.1, where more than one-half of the area of the lot lies in a less restricted district (the ECHO and the Business A/Residential C-2B district), to allow the less restrictive dimensional regulations under the ECHO and Business A/Residential C-2B district be "extend[ed] up to twenty-five (25) feet into the more restricted district" – in this case, thereby extending the less restrictive regulations of the ECHO and Residential C-2B to the small Res. C area of the lot;

(ii) The Petitioner seeks a special permit under Section 8.22.2.c to allow for the increase in the pre-existing non-conforming condition, specifically, the front and left side yard setback violations, allowing for the proposed construction to extend non-conforming walls up within the front and left side setbacks, while not creating any new non-conformities;

(iii) The Petitioner seeks a special permit under Section 6.35.1 to allow for a reduction of required on-site parking, where the Property currently has one legal parking space (for 8 units), and proposes to provide two tandem parking spaces (for 10 units). The Petitioner has submitted a "Memorandum – 33 Gore Street, Cambridge MA – Parking Analysis," dated January 20, 2021, prepared by Trafinfo Communications, Inc., (the "Parking Analysis") which provides data and evidence to support a finding that the project meets the criteria for a special permit parking waiver under Section 6.35.1; and

(iv) and (v) The Petitioner seeks special permits under Section 6.43.3 and 6.44.1.g to allow for parking of two cars in tandem in the existing driveway in a location within 5 feet of building walls, thus requiring relief for access and dimensional compliance.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed construction and addition of two dwelling units at this location will not substantially impact the established neighborhood character, nor cause congestion hazard or negative impacts in terms of traffic generated or patterns of access or egress. The existing neighborhood is best characterized as a mix of commercial and densely-built residential uses, situated less than a block off a major highway (Monsignor O'Brien Highway). It is located adjacent to an auto repair shop, rug store, multi-family apartment buildings, fire station, commercial parking lots, and a used car dealer. The proposed construction expands residential use in a manner that is consistent with uses in the neighborhood and will allow for revitalization, upgrading, and improvement to this small, somewhat deteriorated aged structure. The proposed construction does not alter the access or egress from the site, which will continue to be served by a single driveway. Parking will be better managed, by removing the open paved area behind the building and providing two tandem parking spaces. The addition of two residential apartments at this location will not materially impact traffic in this well-traveled area just off Monsignor O'Brien Highway.

Finally, as described in the "Parking Analysis," the project meets the requirements set forth under Section 6.35.1 to support a waiver of required on-site parking, where the evidence set forth in the Parking Analysis shows that a lesser amount of parking (specifically, providing 2 tandem parking spaces, instead of the 3 parking spaces otherwise required for the project) "will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses or otherwise adversely impact the neighborhood," and "that such lesser amount of parking will provide positive environmental or other benefits to the users of the lot and the neighborhood," namely in this case, the allowing space to landscape two green open space yards behind each of the buildings on the lot.

- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The continued operation of or development of adjacent uses would not be adversely affected by this renovation which does not materially change the nature of this proposed use (by converting from 6 to 8 units on the merged lot) or impair the adjacent large, multi-family residential apartment buildings on either side of the project, the auto repair shop and rug shop at the rear and parking lot and fire station across the street. In fact, the development of this Property will bring about welcome improvement to the neighborhood.

- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard will be created as a result of the proposed special permit relief, for the reasons described above. The expansion of the residential building is in keeping with the residential development density envisioned for the neighborhood. The parking plan that is proposed for the site is an improvement over the current conditions and provides space for two vehicles to park in tandem. The proposed plan, by limiting parking to the existing driveway, and converting areas behind both buildings to newly landscaped green spaces, will provide much improved areas for residents to enjoy the open spaces on the lot. In sum, the plan balances the need for parking with the desire to provide green open space to its residents. Additionally, the plans provide for long-term bicycle parking in the basement of the 33 Gore Street building for two bicycles, thus meeting the requirements of Section 6.107, with space for two short-term bicycle parking spaces for the rear yard. This bicycle-friendly development will support residents who are anticipated to use bicycles for transportation and avoid vehicle use altogether.

- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The requested special permit relief can be granted without impairing the integrity of the District or adjoining district, because the new basement window will be in keeping with standard residential construction and consistent with neighborhood uses.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** 33 Gore LLC**Present Use/Occupancy:** Multi-family residential**Location:** 12 Marshall Street**Zone:** Business A/Residence C
Zone/ECHO**Phone:** 617-543-7009**Requested Use/Occupancy:** Multi-family residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		7,159	8,940	8,940	(max.)
<u>LOT AREA:</u>		4,470	4,470	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.6	2.0	2.0	
<u>LOT AREA OF EACH DWELLING UNIT</u>		559	447	300	
<u>SIZE OF LOT:</u>	WIDTH	60	60	50	
	DEPTH	74	74	n/a	
<u>SETBACKS IN FEET:</u>	FRONT	0	0	10.0	
	REAR	22.2 (33 Gore)/14.6 (31 Gore)	21.2 (33 Gore)/14.6 (31 Gore)	20.0	
	LEFT SIDE	1.75	1.75	(H+L)/5	
	RIGHT SIDE	2.75	2.75	(H+L)/5	
<u>SIZE OF BUILDING:</u>	HEIGHT	27 (33 Gore)/31 (31 Gore)	45 (33 Gore)/31 (31 Gore)	45	
	WIDTH	16 ft (33 Gore)/26 ft (31 Gore)	16 ft (33 Gore)/26 ft (31 Gore)	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		9.1%	16.9%	15.0%	
<u>NO. OF DWELLING UNITS:</u>		2 (33 Gore)/6 (31 Gore) = 8 total	4 (33 Gore)/6 (31 Gore) = 10 total	14 (allowed under the ECHO)	
<u>NO. OF PARKING SPACES:</u>		1	2 (tandem)	3	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		11 feet, 1 inch	11 feet, 1 inch	12.7	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



TrafInfo Communications, Inc.
10 Tower Office Park, Suite 301
Woburn, MA 01801
www.trafinfo.com

Ph.: (888) 710-5380

MEMORANDUM

TO: Christopher Koskores, Koskores Real Estate Corp.
FROM: Sudhir Murthy, P.E., PTOE and Deanna Peabody, P.E.
DATE: January 28, 2021
SUBJECT: **33 Gore Street Cambridge, MA**
Parking Analysis

INTRODUCTION

This memorandum discusses a Parking Analysis conducted by TrafInfo as per 6.35.3 – *Parking Analysis* of Article 6.000 of the Cambridge Zoning Ordinance for 33 Gore Street in Cambridge, Massachusetts associated with the Gore Street Development (the Project). This memorandum is in support of the issuance of a special permit by The Board of Zoning Appeals for *Relief from Parking Requirements*. The purpose of this memorandum is to provide evidence that the Project will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses, or otherwise adversely impact the neighborhood. Furthermore, the Project will provide positive environmental and other benefits to users of the lot and the neighborhood. As per the Zoning Ordinance, TrafInfo consulted with the City prior to writing this memorandum to determine the scope and methodology of the *Parking Analysis* herein included with the Special Permit Application of the Project.

BACKGROUND

33 Gore Street (the Project site), located in East Cambridge, is in a triangle of a mixed use area bounded by Gore Street to the south, Third Street to the west, and Massachusetts Route 28 (Monsignor O'Brien Highway) to the north. This area is in three zoning districts: C-1 (single-and two-family detached dwellings, townhouse dwellings, multifamily dwellings), C-2B (single-and two-family detached dwellings, townhouse dwellings, multifamily dwellings (apartments, condos), some institutional uses), and BA (most types of residential dwellings, most institutional uses, offices and laboratories, most retail uses). Furthermore, the project is in the Eastern Cambridge Housing Overlay (ECHO) area intended to provide an incentive for residential development as an extension of the existing residential neighborhood and to permit housing to be developed in combination with other uses permitted on a lot where a mix of uses is desirable.

33 Gore Street currently contains a 2.25 story 2 unit multi-family residential building with an existing footprint of approximately 691 gross square footage (gsf). There is an 11'-1" driveway leading to one parking space behind the structure. The Gore Street Development proposes to expand the footprint at 33 Gore Street to approximately 792 gsf, an addition of 101 gsf. In addition to the expanded footprint at the rear of the building, the proposed work includes the complete

renovation of interior spaces with new building utilities and window locations, new 3rd and 4th stories, and excavation and underpinning of the existing foundation. The building is proposed to have a total of 4 units, an increase of 2 units from existing conditions. The driveway is proposed to remain as is, however, the parking space behind the structure is proposed to be converted to ‘green’ open space for the lot. Instead, two parking spaces are proposed in the driveway itself, although they will be in tandem. It is understood that this tandem parking configuration requires a special permit, and if allowed, will result in two legal parking spaces for the Project, one more than the number of spaces that exist on the site currently.

The adjacent structure at 31 Gore Street contains 6 residential units with open ‘green’ space behind the building. The two parcels are merged only via common ownership by Koskores Real Estate Corp. It should be noted that there are no proposed changes to the structure at 31 Gore Street. However, when looking at both sites collectively, the existing 8 residential units (6 at 31 Gore Street and 2 at 33 Gore Street) are proposed to become a total of 10 units (6 at 31 Gore Street and 4 at 33 Gore Street) by the Project.



Figure 1 – Locus Map

As per Subsection 6.36, the Cambridge Zoning Ordinance requires one (1) parking space per dwelling unit. Hence, 33 Gore Street currently requires two (2) parking spaces and would require an additional two (2) parking spaces in the proposed condition for a total of four (4) parking spaces. Since one (1) legal space currently exists and two (2) tandem spaces are proposed to exist in the

future, which with a special permit will be considered “legal”, the project is seeking a relief from the required two (2) additional parking spaces.

PARKING ANALYSIS

The first step of the Parking Analysis was to estimate the project’s parking demand. The two (2) units at 33 Gore Street are currently vacant, however, the tenants of the six units at 31 Gore Street indicated that they collectively own five (5) vehicles and three (3) bicycles. It is assumed that the vehicles are parking either on street or in a nearby garage. It should also be noted that the existing parking space on site is vacant. Assuming a similar vehicle ownership rate as 31 Gore Street, the tenants of 33 Gore Street will own a maximum of three (3) to four (4) vehicles, two of which can park on site (in tandem), resulting in a maximum off-site parking demand of one (1) to three (3) vehicles. Additionally, the tenants are anticipated to own approximately two (2) bicycles.

TraffInfo conducted a field visit on Tuesday January 19, 2021 to inventory the parking availability on Gore Street between Third Street and Massachusetts Route 28. It was noted that parking on Gore Street is by permit only except on Sundays and that the parking on Gore Street between Third Street and Massachusetts Route 28 was 100% occupied at the time of the field visit except for the handicapped parking space in front of Olive Café. There were a few available spaces in the surrounding neighborhood. Since the parking along Gore Street is by permit only, the Project will not adversely affect the neighborhood by taking parking away from the businesses in the vicinity of the Project. Furthermore, the City can monitor parking demand and grant or restrict permits, as necessary.



Figure 2 – Gore Street Looking East (Left) and Looking West (Right)

Due to the on-going COVID-19 pandemic, more people are working from home and therefore, there is currently a greater utilization of on-street parking even during normal working hours. This may change in the future with spaces on Gore Street being available if residents commute to work using their cars. Furthermore, given the amount of transit options in the area and the walkability and bike ability of the area, residents may own cars primarily for weekend leisure trips. Given the infrequent use of their cars, residents would be more amenable to park at some distance if spaces are not available on Gore Street in the immediate vicinity of 33 Gore Street.

The Zoning Ordinance states that in deciding, the Board of Appeals shall consider whether less off street parking is reasonable considering the following:

- (1) The availability of surplus off street parking in the vicinity of the use being served and/or the proximity of an MTBA transit station.*

The First Street Municipal Garage, owned by the City, is located at 11 Spring Street / 51 First Street, with access via Spring Street. It is located approximately 0.3 miles from 33 Gore Street, a 6 minute walk, according to Google Maps. The garage has 1,110 parking spaces and is open 24/7. According to the City's website there is reduced fee monthly parking for Cambridge residents. Cambridge residents may park at the First Street Parking Garage for a fee of \$100 per month May through November and \$50 per month December through April with a current Resident Parking Permit. The application form is available on the website.

The Project is near several transit options. The Lechmere Station on the MBTA Green Line is only 500 ft from the Project site, a two minute walk. The Community College Station on the Orange Line and the Kendall/MIT Station on the Red Line are also within a mile of the Project, which then connect to several additional bus routes. As shown in Figures 3 and 4, there are also several MBTA bus stops near the Project as well as the Cambridgeside Shuttle which transports passengers from the Cambridgeside Galleria to Kendal/MIT Station on the Red Line and the EZRide Shuttle which transports passengers between Cambridge and North Station with a link between Lechmere Station on the Green Line and Kendall/MIT Station on the Red Line. Table 1 lists the transit options in the vicinity of the Project along with the distance and travel times by mode to the stations.

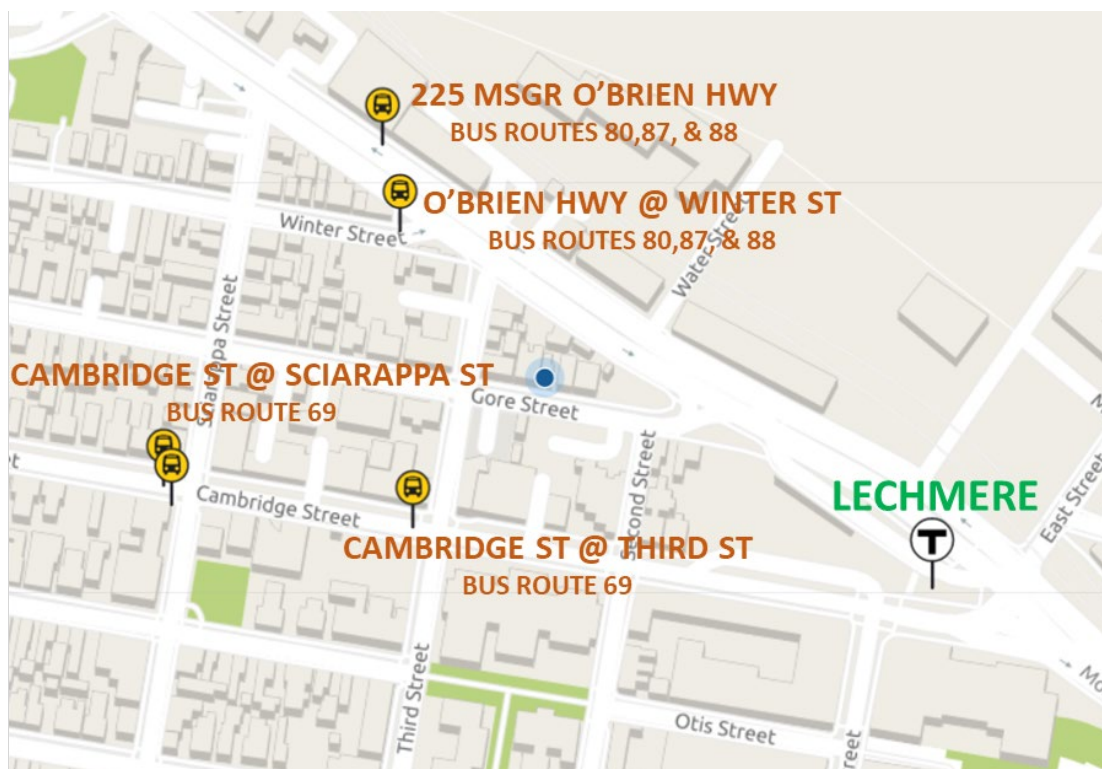


Figure 3 – Transit Options near 33 Gore Street

Table 1 – Distance and Travel Times to Nearby Transit Stations

TRANSIT STATION	DISTANCE*	WALK TIME*	BIKE TIME*
Lechmere Station, Green Line	0.1 mile	2 min	1 min
O'Brien Hwy @ Winter St Bus Route 80 (Arlington Center – Lechmere Station) Bus Route 87 (Clarendon Hill or Arlington Center – Lechmere Station) Bus Route 88 (Clarendon Hill – Lechmere Station)	0.2 mile	2 min	1 min
225 Msgr O'Brien Hwy Bus Route 80 (Arlington Center – Lechmere Station) Bus Route 87 (Clarendon Hill or Arlington Center – Lechmere Station) Bus Route 88 (Clarendon Hill – Lechmere Station)	0.1 mile	5 min	2 min
Cambridge St @ Third St Bus Route 69 (Harvard Square – Lechmere Station)	0.1 mile	2 min	1 min
Cambridge St @ Sciarappa St Bus Route 69 (Harvard Square – Lechmere Station)	0.2 mile	4 min	2 min
Community College Station, Orange Line	0.8 mile	17 min	6 min
Kendall/MIT Station, Red Line	0.7 mile	16 min	5 min

*SOURCE: GOOGLE MAPS

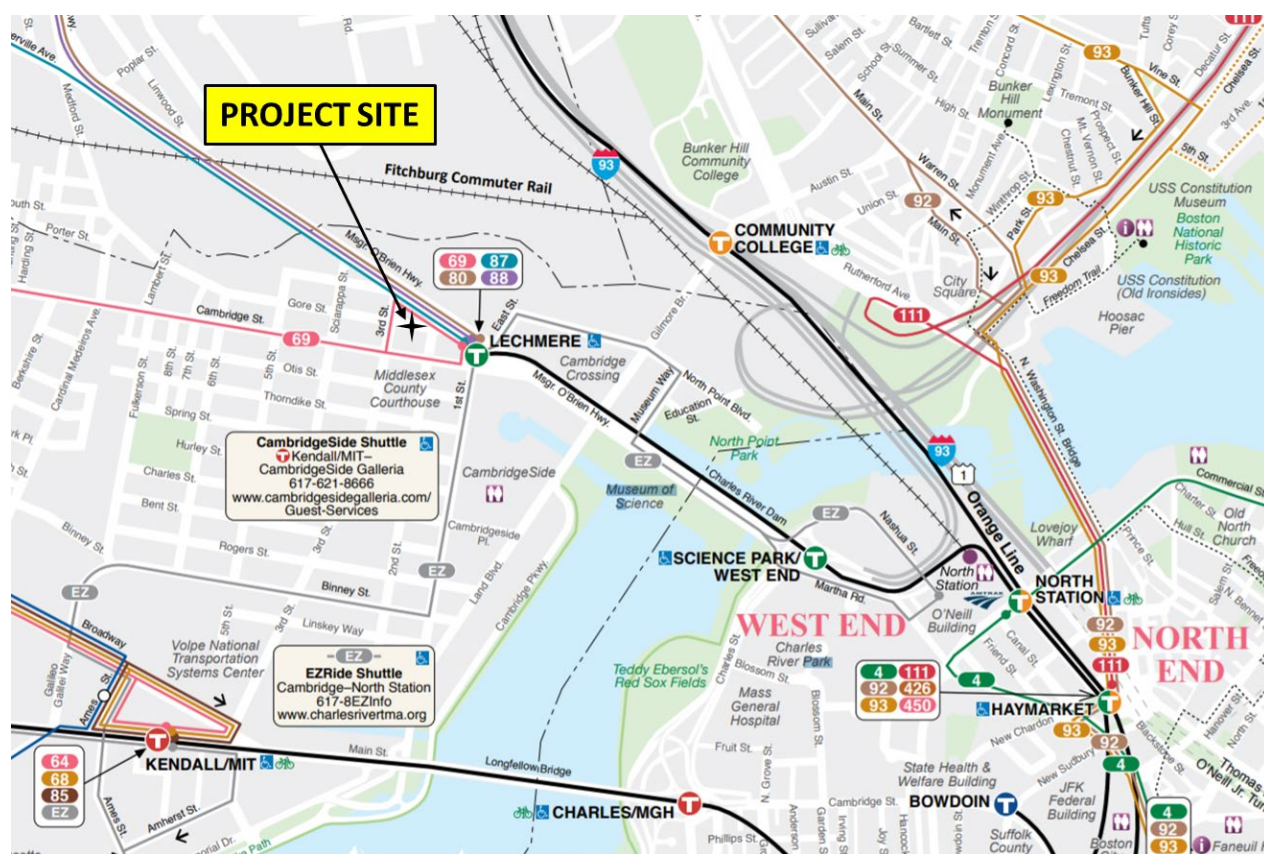


Figure 4 – MBTA Transit Map near 33 Gore Street

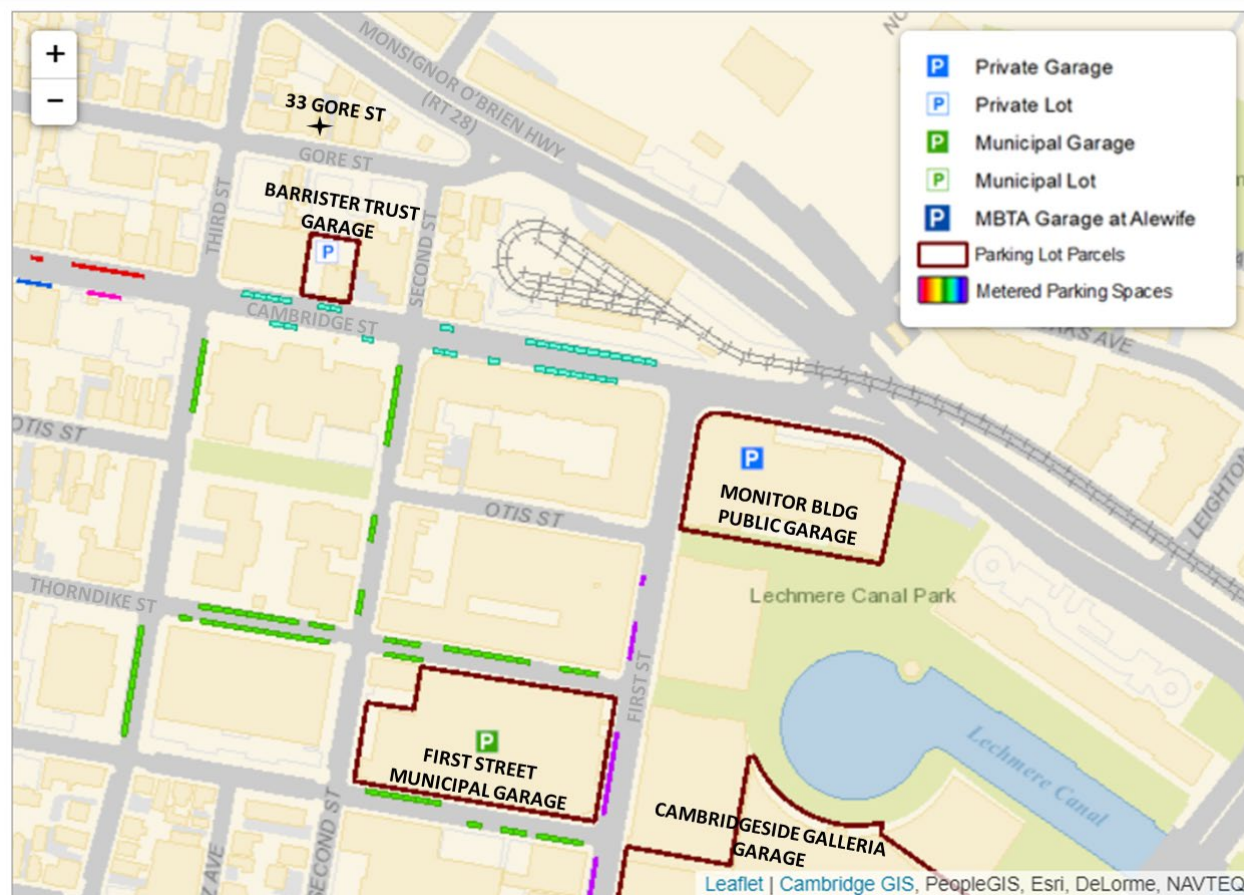
Furthermore, there are car-sharing services in the area including ZipCar which could be utilized by residents of the Project.

There are pedestrian accommodations in the area along all streets and the area is very walkable. There are 6 foot concrete sidewalks along both sides of Gore Street. Gore Street is a safety zone with a 20 mph speed limit.

There are bicycle accommodations in the area including bicycle lanes along Cambridge Street to Lechmere Station and new bike lanes and a cycle track on Massachusetts Route 28 in the vicinity of Lechmere Station. There is also a Hubway Bike sharing station at 153 Cambridge Street only 0.2 miles (4 min walk) from 33 Gore Street.

(2) The availability of public or commercial parking facilities in the vicinity of the use being served.

As mentioned above, the First Street Municipal Garage is near the Project. In addition to an opportunity for Cambridge residents to park in the garage, the garage also has public parking for \$2.00 per hour (less on weekday nights and weekends) which could be used for visitors of the Project. There are several additional private garages in the vicinity of 33 Gore Street which may provide opportunity for public parking for visitors of the residents of 33 Gore Street. These garages include the Barrister Trust garage located at 201 Cambridge Street, the Monitor Building Public Garage located at 2 Canal Park with access via Monsignor O'Brien Highway with 50 parking spaces, and the Cambridgeside Galleria located at 78-90 First Street with 2,538 parking spaces, among others. Additionally, there is metered parking in the vicinity of the Project along Cambridge Street, First Street, Thorndike Street, Second Street, and Third Street. In general, the metered parking has a 2 hour time limit and costs \$1.25 to \$1.50 per hour. At the time of TrafInfo's field visit, there were several metered parking spaces available. Figure 2 below shows the locations of public parking in the vicinity of 33 Gore Street.



SOURCE: CITY OF CAMBRIDGE TRAFFIC, PARKING, & TRANSPORTATION WEBSITE

Figure 5 – Public Parking near 33 Gore Street

- (3) *Shared use of off street parking spaces serving other uses having peak user demands at different times, provided that no more than seventy-five (75) percent of the lesser minimum parking requirements for each use shall be satisfied with such shared spaces.*

There are three existing off-street parking areas in the immediate vicinity of the Project: CVS, the Fire Station, and the City Car Dealership. These have significant utilization and hence do not offer an opportunity for shared parking.

- (4) *Age or other occupancy restrictions which are likely to results in a lower level of auto usage.*

Although there will not be age or occupancy restrictions at the site, this Project is likely to attract those that would take public transit or walk/bike given the location of the Project and general trends within the City of Cambridge in general.

According the Bicycle Trends in Cambridge report from 2014, Cambridge is well suited to bicycling and more people are using their bikes every day for commuting, shopping, and general transportation. Between 2002 and 2012, the number of people bicycling in Cambridge tripled.

Cambridge is well served by rapid transit, with 5 stops on the Red Line and one stop on the Green Line (Lechmere), serving over 100,000 riders per day. In addition, 31 bus routes travel in Cambridge and carry 85,000 riders each working day. It is understood that transit ridership has decreased since the onset of COVID-19 pandemic.

(5) Impact of the parking requirement on the physical environment of the affected lot or the adjacent lots including reduction in green space, destruction of significant existing trees and other vegetation, destruction of existing dwelling units, significant negative impact on the historic resources on the lot, impairment of the urban design objectives of the city as set forth in Section 19.30 of the Zoning Ordinance, or loss of pedestrian amenities along public ways.

The proposed project adds ‘green’ open space without losing any existing parking. With the merged properties, the additional open space will meet the requirement of 15% of the lot. Providing any additional parking within the lot will impact the proposed green space. Furthermore, given the lot size of 33 Gore Street and the adjacent 31 Gore Street, there is no feasible way to provide parking without impacting adjacent properties.

(6) The provision of required parking for developments containing affordable units, and especially for developments employing the increased FAR and Dwelling unit density provisions of Section 11.200, will increase the cost of the development, will require variance relief from other zoning requirements applicable to the development because of limitations of space on the lot, or will significantly diminish the environmental quality for all residents of the development.

Article 6.000 requires development of adequate parking facilities to meet the reasonable needs of all building and land users without establishing regulations which unnecessarily encourage automobile usage. The parking and bicycle parking standards are intended to encourage public transit, bicycle usage and walking in lieu of automobiles where a choice of travel mode exists and flexibility in providing required parking through shared or off site arrangements to accommodate the automobile in the urban environment in a less disruptive way.

Given the location of the site and the availability of other modes including walking, bicycling, riding transit, car sharing services, etc. in combination with the small site and the construction of only two additional units, it seems reasonable to issue a special permit. There is no feasible way to provide parking without impacting the residents of the site and the neighborhood.

The Project proponent is committed to providing two (2) long-term bicycle storage spaces in the basement in compliance with the City’s requirement for on-site bicycle parking.

CONCLUSIONS

The proposed Project at 33 Gore Street involves the addition of two residential units to the existing two units for a total of four residential units. Based on current automobile ownership levels at the 6-unit 31 Gore Street, the Project will have a demand of 3 to 4 cars. The Project is proposing to provide on-site parking for 2 cars parked in tandem in the driveway. This memorandum documents a *Parking Analysis* in conformance with the City of Cambridge Ordinance in support of a special permit application request relief from the parking requirements for the following reasons:

- The utilization of existing on-street parking in the immediate vicinity of the site is at 100% but this could be compounded by the on-going COVID-19 pandemic. It was noted that there were a few parking spaces unoccupied in the surrounding neighborhood.
- On-street parking in the vicinity of the Project is by permit. Therefore, the Project will not negatively affect existing businesses and other uses by taking away their parking. The City also can manage the parking permits granted.
- There are several garages with public parking in addition to metered parking along Cambridge Street and other adjacent streets near the Project which can be used by visitors to the residents of the Project. At the time of TrafInfo's field visit there was sufficient parking available.
- There is a parking garage within walking distance to the Project with reduced rates for monthly parking permits for residents of the City.
- The Project is situated within 500 feet of the Lechmere Green Line station and MBTA bus stations, and within walking distance to several MBTA bus stops and shuttle stops, as well as to the MBTA Red and Orange lines.
- All streets including Gore Street near the Project have good pedestrian accommodations with concrete sidewalks. The City of Cambridge in general is a very bikeable/walkable community.
- There are bicycle accommodations in the vicinity of the Project with delineated bike lanes on Cambridge Street and bike lanes and a new cycle track on Route 28 Monsignor O'Brien Highway. The Proponent is committed to providing two (2) long term parking spaces in the basement of 31 Gore Street with easy access via a bulkhead door.
- There is no feasible way to have the parking on site given existing property constraints. The proposed site plan layout increases the green space on site while maintaining the same one legal parking space with one additional tandem parking space. Even if the proposed green space was removed, the required parking could not be accommodated.

This is a detailed street map of a residential neighborhood in Boston, Massachusetts. The map is oriented with North at the top. The central feature is Monsignor Obrien Hwy, which runs diagonally from the top left towards the bottom right. To the left of this highway, there is a cluster of streets including Winter St, Third St, and Cambridge St. To the right, there is another cluster of streets including Water St, Second St, and Cambridge St. The map shows numerous residential lots, many of which are labeled with addresses. A red circle highlights a specific area on Gore St, and a blue rectangle highlights a specific lot within that area. The map also shows various other streets and landmarks, such as the intersection of Monsignor Obrien Hwy and Gore St, and the intersection of Monsignor Obrien Hwy and Water St.

33 Gore St.

Petitioner

20-92
LECHMERE RUG LLC,
200 MONSIGNOR O'BRIEN HWY.
CAMBRIDGE, MA 02141

20-102
DATTERO, AGNES M.
38 1/2 GORE ST.
CAMBRIDGE, MA 02141-1214

TRILOGY LAW
C/O SARAH L. RHATIGAN, ESQ.
12 MARSHALL STREET
BOSTON, MA 02108

20-103
CURLEY, PATRICK A., JR.
TR. OF ALLEN REALTY TRUST
200 MSGR O'BRIEN HIGHWAY
CAMBRIDGE, MA 02141

20-16
MEOLA, DAMIAN D.
TRUSTEE OF DMD REALTY TRUST
20 THIRD ST
CAMBRIDGE, MA 02141

20-71
CAMBRIDGE CITY OF FIRE DEPT
491 BROADWAY
CAMBRIDGE, MA 02138

20-80
GAO, QING SHENG & MEI SUN
115 FARNHAM ST
BELMONT, MA 02478-3172

20-14
FERRARO, LOUIS,
TR. OF 14 TRAPELO ROAD NOMINEE TRUST
64 FLETCHER ROAD
BELMONT, MA 02478

20-15
L. J. REALTY CORPORATION
138 WOODSIDE LANE
ARLINGTON, MA 02474

20-17
BALORDI, VIRGINIA A., LOUISE ALLEN &
PAUL BALORDI
16 THIRD ST
CAMBRIDGE, MA 02141-1210

20-12
GORE ST REAL ESTATE GROUP LLC
25 EDGE HILL RD
CHESTNUT HILL, MA 02467

20-75
YONEDA PROPERTIES II MASSACHUSETTS, LLC
2502 STEVENS CREEK BLVD
SAN JOSE, CA 95128

20-93-105
31 GORE LLC
2 LINCOLN ST
SOMERVILLE, MA 02145

20-18
ALLEN, WILLIAM E. & LOUISE M. ALLEN
14 THIRD ST.
CAMBRIDGE, MA 02141

20-82
VIGLIONE, GERARDO
TR. OF THE JOSEPH VIGLIONE REALTY TRUST
54 MOUNTAIN RD
BURLINGTON, MA 01803

20-71
CITY OF CAMBRIDGE
C/O LOUIE DEPASQUALE
CITY MANAGER

20-71
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

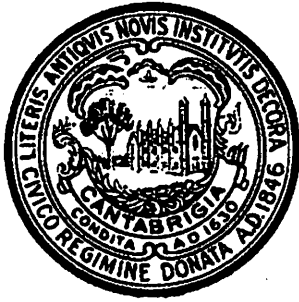
Name: Peter Koskores Date: 2-9-21
(Print)

Address: 33 Gore St.

Case No. BZA-106913

Hearing Date: 2/25/21

Thank you,
Bza Members



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

February 18, 2021

To: The Board of Zoning Appeal

From: The Planning Board

Re: BZA – 106913 – 33 Gore Street

At its regular business meeting of February 16, 2021, the Planning Board reviewed the above-referenced Board of Zoning Appeal (BZA) case as part of its General Business. After consideration of the requests in the proposal and after hearing testimony from the applicant's representative, the Planning Board voted unanimously to forward the following comments to BZA.

In general, the Board felt that the creation of additional dwelling units is positive and has no particular issue with the height and density. However, Board members raised concerns about increasing the height along the existing side yard setback, which is already very close to residential windows on the abutting lot. Board members also raised issues with the design of the front façade, which appears to be a plain rectangle with few windows and could be improved.

The Applicant informed the Board that this project is subject to review by the Cambridge Historical Commission and that the proposed design will be revised. The Planning Board recommends that the BZA give consideration to these concerns raised by the Board when reviewing a revised design.

February 22, 2021

Via Email

Board of Zoning Appeal
City of Cambridge
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA Case No. BZA106913-2021, 33 Gore Street – Request for Continuance

Dear Members of the Board:

This matter is scheduled to be heard by the Board of Zoning Appeal at a public hearing on Thursday, February 25, 2021. On behalf of the petitioners, I hereby respectfully request a continuance and ask that this matter be rescheduled for a public hearing on Thursday, April 8, 2021.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, consisting of a series of loops and a long horizontal stroke extending to the right.

Sarah Like Rhatigan, Esq.

CC: Mr. Christopher Koskores (via email)
Mr. Peter Koskores (via email)



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2021 FEB 22 PM 2:35
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-106913-2021

Address: 33 Gore St.

☐ Owner, ☐ Petitioner, or ☐ Representative: Sarah L. Khachian, Esq.
(Print Name)

hereby waives the required time limits for holding a public hearing as required by
Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts,
Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☐
Representative further hereby waives the Petitioner's and/or Owner's right to a
Decision by the Board of Zoning Appeal on the above referenced case within the time
period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of
Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the
federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C.
§1455(a), or any other relevant state or federal regulation or law.

Date: February 22, 2021

[Signature]
Signature

E Doe
33 Gore Street
March 23, 2021 at 12:09 PM
Sarah Rhatigan



To whom it may concern:

I am the Manager of Gore St Real Estate Group LLC which owns the property located at 25 Gore Street. As an abutter to the project at 33 Gore Street, I have been interested to see the proposal to renovate and improve the small two-family located two doors down from our property at 33 Gore Street. While I was supportive of the earlier proposal to build up to 4 units of housing in this location, I understand the owner has decided to do a smaller project, in order to bring the level down one-story, and create side-by-side townhouses. I am also supportive of these plans.

The owner has shared the elevations and plans for this project and I am supportive of their project and believe that this will be a great improvement for the street and our neighborhood, and recommend that you grant your support to this project.

Thank you.

Sincerely,

Emmanuel Doe, Manager

Gore St Real Estate Group LLC

March ~~13~~, 2021

Board of Zoning Appeal
City of Cambridge
831 Massachusetts Avenue, 1st Fl.
Cambridge, MA 02139

and

Cambridge Historical Commission
831 Massachusetts Avenue, 2nd Fl.
Cambridge, MA 02139

RE: 33 Gore Street, Cambridge, MA

Dear Members of the Board of Appeal and Members of the Commission:

I am the owner of the property located at 35-37 Gore Street, Cambridge. The owners of 33 Gore Street have shared their plans to expand the house by adding an additional story and squaring off the back of the house, creating two townhouse style units.

I am supportive of their plans to make these changes and improvements to the property, and recommend that the Board of Appeal and Members of the Commission approve their applications for approval.

Thank you.

Sincerely

A handwritten signature in black ink, appearing to read 'L. Ferraro', written over the word 'Sincerely'.

Louis Ferraro, Trustee

14 Trapelo Road Nominee Trust

* * * * *

(8:00 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,
Andrea A. Hickey, Matina Williams and
Jason Marshall

CONSTANTINE ALEXANDER: All right. It's now 8:00.
Now, moving around, cut the suspense for the last case. The
Chair will call Case Number 106913 -- 33 Gore Street. Is
there anyone here wishing to be heard on this matter? No
one wishes to be heard? That's probably because we are in
receipt of a letter from Sarah Rhatigan, as counsel for the
petitioner. And the letter states,

"This matter -- " [referring to the case we have
right now] "-- is scheduled to be heard by the Board of
Zoning Appeal, a public hearing on Thursday, February 25,
2021. On behalf of the petitioners, I hereby respectfully
request a continuance, and ask that this matter be
rescheduled for a public hearing on Thursday, April 8,
2021."

And this is a case not heard, so the five of us
don't necessarily have to be present on April 8. We do have
room on our calendar for this, to continue this case until

1 April 8. So I will -- the Chair proposes to make the
2 following motion.

3 The Chair moves that this case be continued as a
4 case not heard until 6:00 p.m. on April 8, subject to the
5 following conditions:

6 One, that the petitioner sign a waiver of time for
7 decision. Such waiver must be signed and returned to the
8 Inspectional Services Department -- I think we have it in
9 the file, wait a minute. The petitioner -- counsel, who's
10 experienced in these matters. Yeah, she signed one already,
11 so we don't need that. Eliminate that condition.

12 The second is that a new posting sign or a
13 modified posting sign must be maintained for the 14 days
14 prior to April 8, just as the sign for tonight's hearing was
15 maintained.

16 I should mention -- and it should be conveyed to
17 the petitioner's counsel -- that when I checked for the sign
18 it was in bad condition, barely hanging on. They should
19 take better steps to maintain a readable sign than was the
20 case before, particularly given the fact there seems to be
21 some issues on the merits of this case.

22 So that sign, I think the current sign is not in

1 condition to be modified. So our new sign should be
2 obtained and maintained for the 14 days prior to April 8.
3 And lastly to the extent there are going to be new or
4 modified plans, specifications, drawings or the like, they
5 must be in our files no later than 5:00 p.m. on the Monday
6 before April 8. Brendan, how do you vote?

7 BRENDAN SULLIVAN: Brendan Sullivan yes to the
8 continuance.

9 CONSTANTINE ALEXANDER: Andrea?

10 ANDREA HICKEY: Andrea Hickey yes to the
11 continuance.

12 CONSTANTINE ALEXANDER: Jason?

13 JASON MARSHALL: Jason Marshall yes to granting
14 the continuance.

15 CONSTANTINE ALEXANDER: Matina?

16 MATINA WILLIAMS: Matina Williams yes to granting
17 the continuance.

18 CONSTANTINE ALEXANDER: And I vote continue as
19 well. Case continued. Meeting is over. Thank you,
20 everybody.

21 COLLECTIVE: Good night.

22 CONSTANTINE ALEXANDER: Good night.

1 [08:02 p.m. End of Proceedings]

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City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

*Replacement
Bds*

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Peter Koskoros Date: 3/22/21
(Print)

Address: 33 Gore St.

Case No. BZA-106913

Hearing Date: 4/8/21

Thank you,
Bza Members



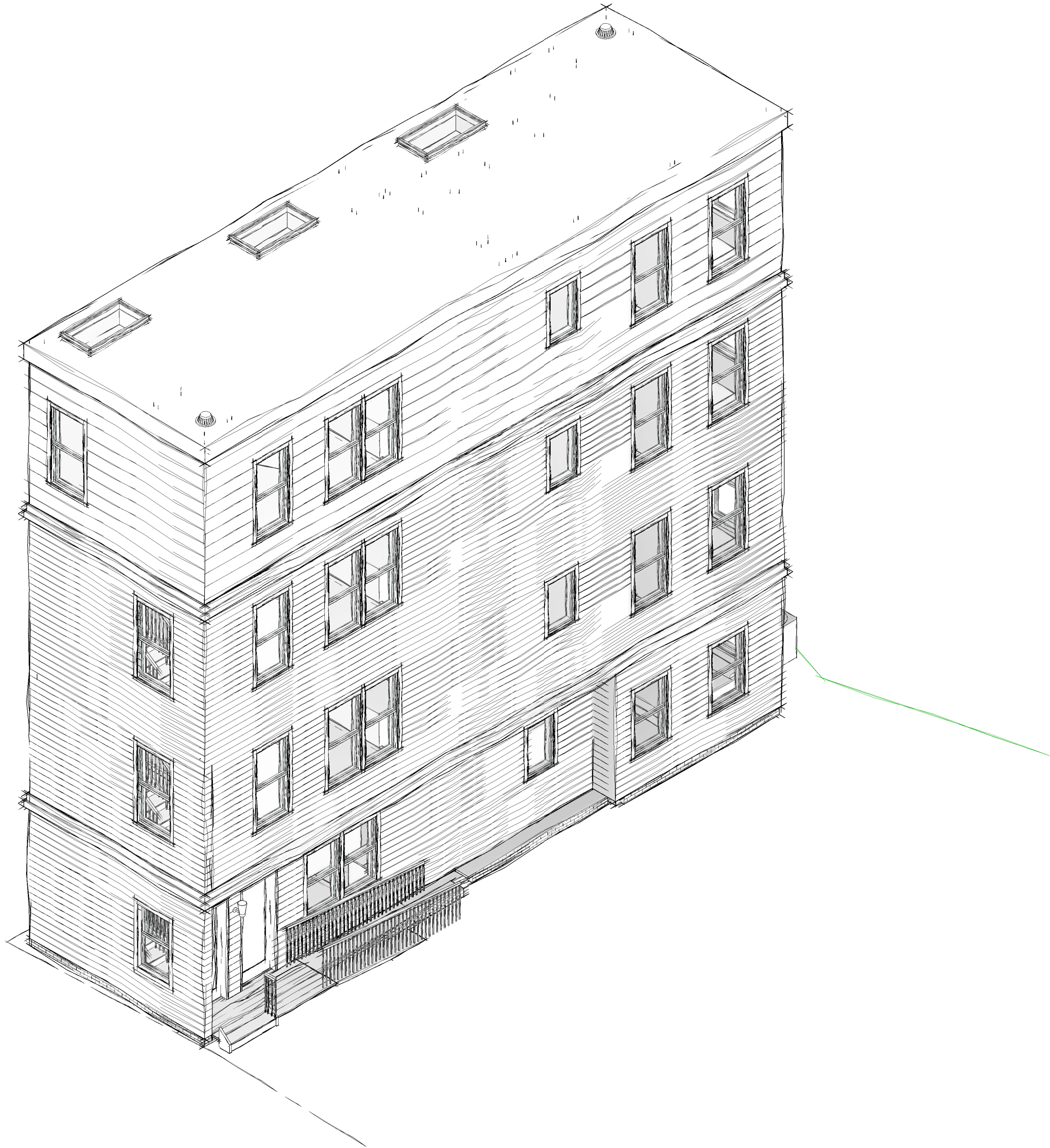
project number 308 drawing number A000 revision 1 01/21/2021

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A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A002	STANDARDS, GENERAL NOTES & ABBREVIATIONS
A010	MEANS OF EGRESS PLAN
A030	EXISTING FLOOR PLANS
A110	BASEMENT FLOOR PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
A113	THIRD FLOOR PLAN
A114	FOURTH FLOOR PLAN
A115	ROOF PLAN
A200	EXISTING EXTERNAL ELEVATIONS
A201	EXTERNAL ELEVATIONS
A202	EXTERNAL ELEVATIONS
A210	BUILDING SECTIONS

Index of Drawings



For Permit

PROJECT NAME:
Gore Street Development

PROJECT ADDRESS:
33 Gore Street, Cambridge, MA 2141

PROJECT NO: 308
1/27/2021 11:53:26 AM

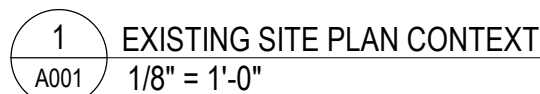
ISSUE DATE: 01/21/2021

CLIENT NAME:
33 Gore LLC, c/o Koskores Real Estate Corp.

CLIENT ADDRESS:
2 Lincoln Street, Somerville, MA 02145

JOE THE ARCHITECT
343 Medford Street, Suite 4C,
Somerville, MA 02145
t: +1(617) 764-3593
e: info@joethearchitect.com
www.joethearchitect.com

J t A

**USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)**

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

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stamp



revision	revision description	date
1	SPECIAL PERMIT	01/21/202

Gore Street Development

client information:
33 Gore LLC, c/o Koskores Real Estate
Corp.

2 Lincoln Street, Somerville, MA 02145

J t A

JOE THE ARCHITECT

343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title

**SITE CONTEXT AND
CODE ANALYSIS**

drawing title
**SITE CONTEXT AND
CODE ANALYSIS**

project number	drawing scale	approver
308	As indicated	Approver

drawing number	revision
A001	1

NOT FOR CONSTRUCTION

and
angle
@
at
AL align
CL centerline
DIA diameter
PERP. perpendicular
C channel
number or pound
/ per or divide

A
A/C air condition
ACT acoustic ceiling tile
AD area drain
ADJ adjustable
AFF above finished floor
AGGR aggregate
ALUM aluminum
AP acoustic panel
APPX approximate
APT apartment
ARCH architectural
ASB asbestos
ASPH asphalt
AVG average

B
BD board
BITUM bituminous
BLDG building
BLK block
BLKG blocking
BM beam
BO bottom of
B/O by others
BOD basis of design
BOS bottom of steel
BR bedroom
BSMT basement
BTB back to back

C
C celcius
CAB cabinet
CB catch basin
CER ceramic
CF/CI contractor furnished/
contractor installed
CF/IO contractor furnished/
owner installed
CG corner guard
CH coat hook
CI cast iron
CIP cast in place
CJ construction joint;
control joint
CL centerline
CLG ceiling
CLR clear
CLO closet
CM crown moulding
CMU concrete masonry unit
CNTR counter
COL column
CONC concrete
CONT continuous
CORR corridor
CPT carpet
CSW casework
CTSK countersunk
CT ceramic tile
CTR center
CUH cabinet unit heater
CW curtain wall

D
D deep
DBL double
DEMO demolition
DEPT department
DET detail
DF drinking fountain
DH double hung
DIA diameter
DIM dimension
DISP dispenser
DN down
DO door opening
DR door
DS downsput
DSP dry stand pipe
DW dishwasher
DWG drawing(s)
DWR drawer

E
E existing
E(E) east
EA each
EIFS exterior insulation and finish system
EJ expansion joint
EL elevation
ELEC electrical
ELVTR elevator
EMER emergency
ENCL enclosure
EOS edge of slab
EP electrical panel
EPX epoxy
EQ equal
EQPT equipment
ERD existing roof drain
EWC electrical water cooler
EXH exhaust
EXIST existing
EXP exposed
EXT exterior

F
F fahrenheit
FA fire alarm
FACP fire alarm control panel
FB flat bar
FBO furnished by others
FEC fire extinguisher cabinet
FD fire drain
FDC fire department connection
FDN foundation
FE fire extinguisher
FEC fire extinguisher cabinet
FHC fire hose cabinet
FIN finish
FLUOR fluorescent
FO finished opening
FOC face of concrete
FOM face of masonry
FOS face of stud
FOW face of wall
FPL fireplace
FPR fire protection riser

EPFR	fireproof
FRG	fiber reinforced gypsum
FRP	fiber reinforced panel
FRT	fire retardant treatment
FS	full size
FSP	fire standpipe
FTR	fire treated
FTG	footing
FURR	furring
F&I	furnish and install
FUT	future
G	
GA	gauge
GALV	galvanized
GB	grab bar
GC	general contractor
GFRC	glass fiber reinforced concrete
GFRG	glass fiber reinforced gypsum
GL	glass / glazing
GND	ground
GT	grout
GSF	gross square foot
GWB	gypsum wall board
GYP	gypsum
H	
H	high
HB	hose bib
HC	hollow core
HWD	hardwood
HDWE	hardware
HDWR	hardware
HM	hollow metal
HORIZ	horizontal
HPT	highpoint
HR	hour
HT	height
HGT	height
I	
ID	inside diameter, inside dimension
IN	inch
INFO	information
INSUL	insulation
INT	interior
J	
JAN	janitor
JT	joint
JST	joist
K	
KIT	kitchen
L	
LAB	laboratory
LAM	laminated
LAV	lavatory
LB	load
LED	light emitting diode
LF	linear feet
LH	left hand
LKR	locker
LT	light
LVL	laminated veneer lumber
LVR	louver
LVT	luxury vinyl tile
M	
MAX	maximum
MC	medicing cabinet
MDF	medium density fiberboard
MDL	modular
MECH	mechanical
MEMB	membrane
MEP	mechanical, electrical, plumbing
MFR	manufacturer
MH	manhole
MIN	minimum
MIR	mirror
MISC	miscellaneous
MLD	moulding
MO	masonry opening
MTD	mounted
MTL	metal
MUL	mullion
MWK	millwork
N	
NC	new construction
NC	not in contract
NO. or #	number
NOM	nominal
NSF	net square footage
NTS	not to scale
O	
OA	overall
OBS	obscure
OC	on center
OCC	occupancy
OD	outside diameter (DIM.)
OFF	office
OF/CI	owner furnished/contractor installed
OF/OI	owner furnished/owner installed
OFD	overflow drain
OHDR	overhead door
OH	opposite hand
OPNG	opening
OPP	opposite
ORIG	original
P	
P	pendant
PBF	prefabricated
PBL	plumbing fixture
PCC	precast concrete
PCF	pounds per cubic foot
PERF	perforated
PL	plate
PLAM	plastic laminate
PLA	plaster
PLF	pounds per linear foot
PLYWD	plywood
POS	point of sale
PR	pail
PRCST	precast
PRT	partition
PSF	pounds per square foot
PSI	pounds per square inch
PT	paint
PTD	paper towel dispenser
PTD/R	combination paper towel dispenser and receptacle
PTL	pressure treated lumber
PTR	pressure treated
PVMT	pavement

[illegible]

see discipline sheets for discipline specific symbols

A100

sheet #
sheet # sequence
sheet series
discipline

SHEET NUMBER

GRID BUBBLES

EXTERNAL ELEVATION REFERENCE

BUILDING SECTION REFERENCE

DETAIL SECTION REFERENCE

N

project north
true north

NORTH ARROW

PLAN OR DETAIL TITLE

INTERNAL ELEVATION REFERENCE

WALL SECTION REFERENCE

DETAIL CALLOUT REFERENCE

OFFICE
OFFICE
G.01
150 SF

ROOM NAME W/ ROOM NUMBER WAREA

1.2 1.2

EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

Mark

DOOR TAGS

20 R @ 7 1/2"

STAIR TAG

S1-2000

FURNITURE TAG

1.2 1.2

EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

frame type mark
hardware set
panel type

WINDOW TAG

CEILING TAG

FINISH TAG

1.2 1.2

EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

W1 11 36 48

WINDOW TAG

CEILING TAG

FINISH TAG

1.2 1.2

EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

W1 11 36 48

WINDOW TAG

CEILING TAG

FINISH TAG

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EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

W1 11 36 48

WINDOW TAG

CEILING TAG

FINISH TAG

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EGRESS DOOR TAG

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CASEWORK TAG

W1 11 36 48

WINDOW TAG

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EGRESS DOOR TAG

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WINDOW TAG

CEILING TAG

FINISH TAG

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EGRESS DOOR TAG

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EGRESS DOOR TAG

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WINDOW TAG

CEILING TAG

FINISH TAG

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EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

W1 11 36 48

WINDOW TAG

CEILING TAG

FINISH TAG

1.2 1.2

EGRESS DOOR TAG

WALL TAG

CASEWORK TAG

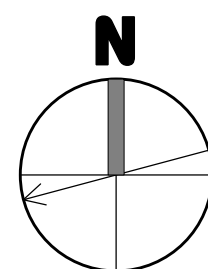
W1 11 36 48

WINDOW TAG

CEILING TAG

FINISH TAG

1. the drawings have been compiled from the best available information and are not intended to limit the scope of work, the contractor may uncover hidden conditions not shown in this contract set.
2. the contractor shall perform all work described in the drawings and specifications and shall provide all items req'd for a complete functioning system, including appropriate blocking for wall mounted fixtures, shelving, accessories, etc.
3. work shown but not included in this contract is noted "i.e.m." items to be provided by owner and installed by the contractor as so noted.
4. general contractor shall make all sub-contractors and suppliers aware of the requirements of these notes.
5. all work shall be performed in compliance with all applicable local, state and national building, life safety, electrical and plumbing codes having jurisdiction over this project.
6. general contractor shall be responsible for securing all permits necessary for the completion of the work shown throughout the contract documents.
7. general contractor shall lay out in the field the entire work to be performed to verify dimensional relationships before proceeding with the construction and shall verify all existing conditions and locations / benchmarks before proceeding with work / installation.
8. general contractor shall be responsible for the coordination of the dimensional requirements between the work of the required trades and sub-contractors.
9. drawings shall not be scaled for dimensions and / or sizes. drawings may have been reproduced at a scale different than that originally drawn.
10. general contractor shall be responsible for all existing conditions including dimensions, structure, utility lines, etc., any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying of a product, material or method of assembly is to be brought to the attention of the architect immediately. sk drawings will be issued when or as required.
11. g.c. & all trades, are responsible for coordination of the locations of all mech., elec., plum, fixtures & devices. if conflict exist no drawings, exact locations shall be for architectural drawings or per field instruction of architect.
12. g.c. & ea. trade sub-contractors are responsible for reviewing & coordinating all trades' equipment and distribution including pipes, conduit, etc. to ensure that fit in the allocated space, any conflict should be brought to the attention of the architect and appropriate engineer immediately, in writing.
13. protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all existing, framing, etc. that is damaged or disturbed during the course of the work, including shop applied finishes. existing finishes disturbed during the course of the work shall be repaired such that patches will not be detectable & the new surface will be continuous w/ adjacent surfaces. wall surfaces shall be smooth, durable, and stable, free of cracks, holes, dents etc.
14. where new walls or construction are to meet existing, repair or replace existing adjacent finishes as req., such that the joint is smooth, flush and invisible when complete.
15. g.c. & trades shall cut out penetrations for mep/pt, security and data systems, through wall, through ceiling, through floor and through roof as required. patching of all surfaces w/ materials that match and seal cut out shall be accomplished under the base contract, wherever specifically shown or not, each trade is responsible for providing appropriate fire rated, fire rated caulk, etc. for all penetrations in fire rated separations in order to maintain/restrict fire rating.
16. dimensions:
 1. - all partition dimensions shown are to face of stud @ new wall construction u.o.n.
 2. - dimensions noted as "clr." mean clear dim. to face of finish.
 3. - all horiz. dims are shown on plans and vert. dims on interior & exterior elevations where relevant.
 4. - vertical dimensions are to t.o. subfloor, u.o.n.
17. align electrical devices including switches, outlets, fire alarm devices, emergency lighting, etc., vertically & horizontally, wherever in close proximity to each other, and unless prevented by code. see mounting heights schedule for pty. heights. see elevations for specific exceptions. align ceiling devices including smoke detectors, sprinkler heads, etc., with ceiling mounted lighting fixtures and other ceiling devices. center all between elements or within grid in both directions u.o.n.
18. ea. trade is responsible for sealing air tight any penetrations made through air & vapor barriers.
19. all metal & membrane flashings to be lapped positively to drain.
20. separate dissimilar metals.



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revision	revision description	date
1	SPECIAL PERMIT	01/21/2020

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information:
33 Gore LLC, c/o Koskores Real Estate
Corp.

2 Lincoln Street, Somerville, MA 02145

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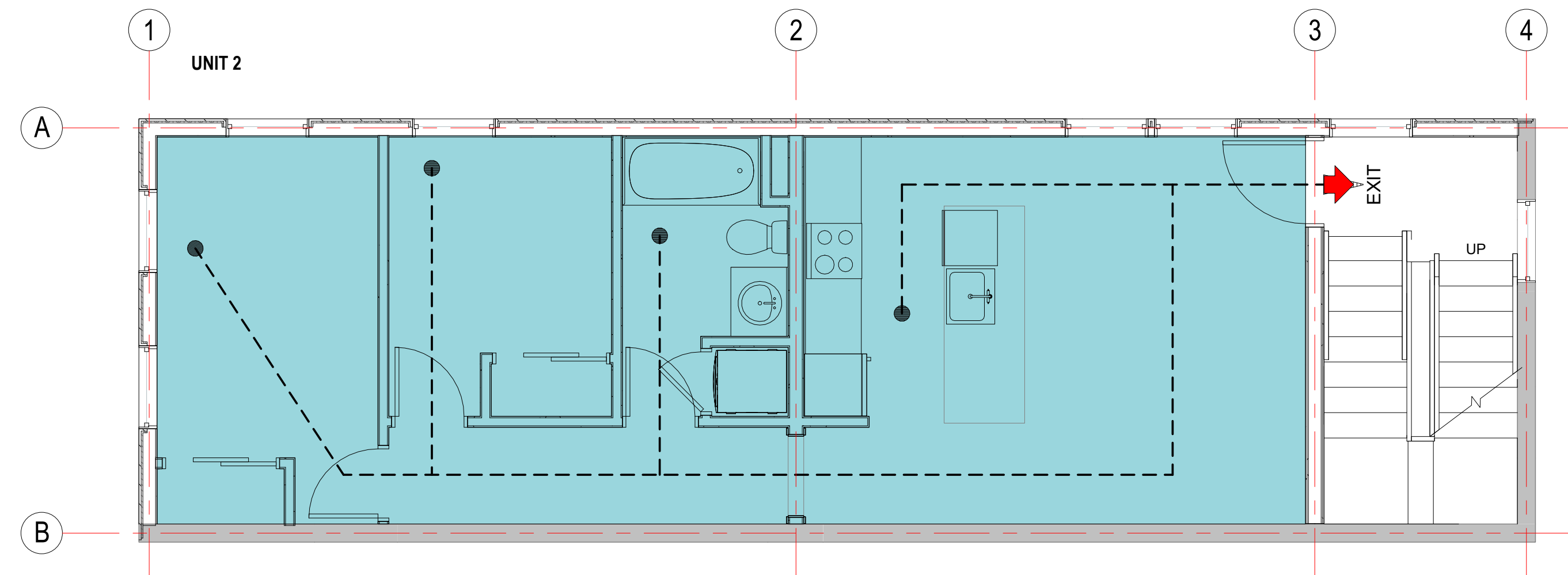
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t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
**STANDARDS, GENERAL
NOTES &
ABBREVIATIONS**

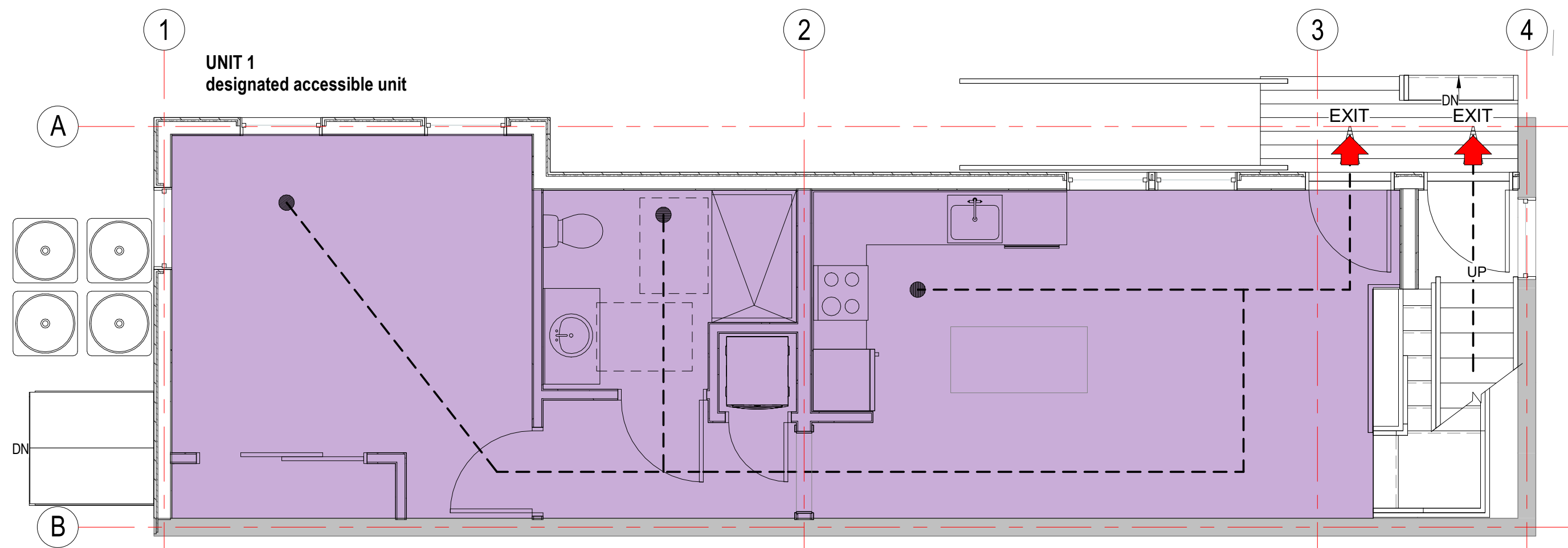
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drawing number A002		revision 1

A002

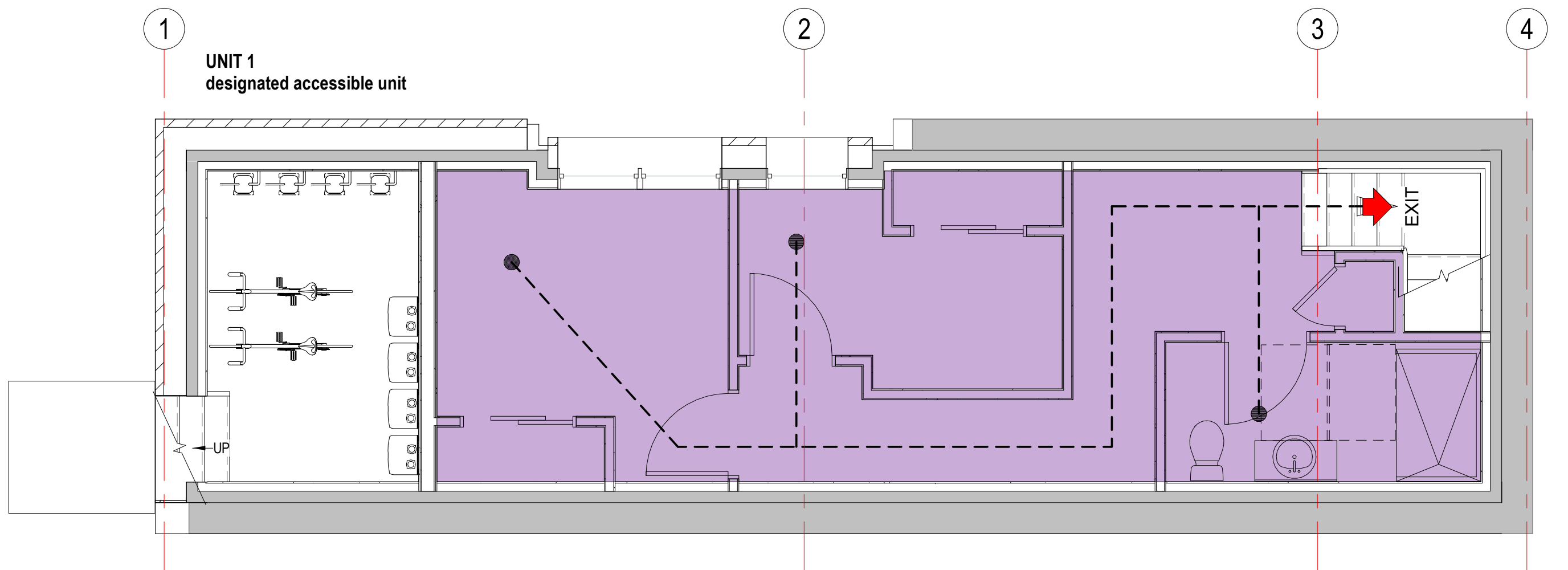
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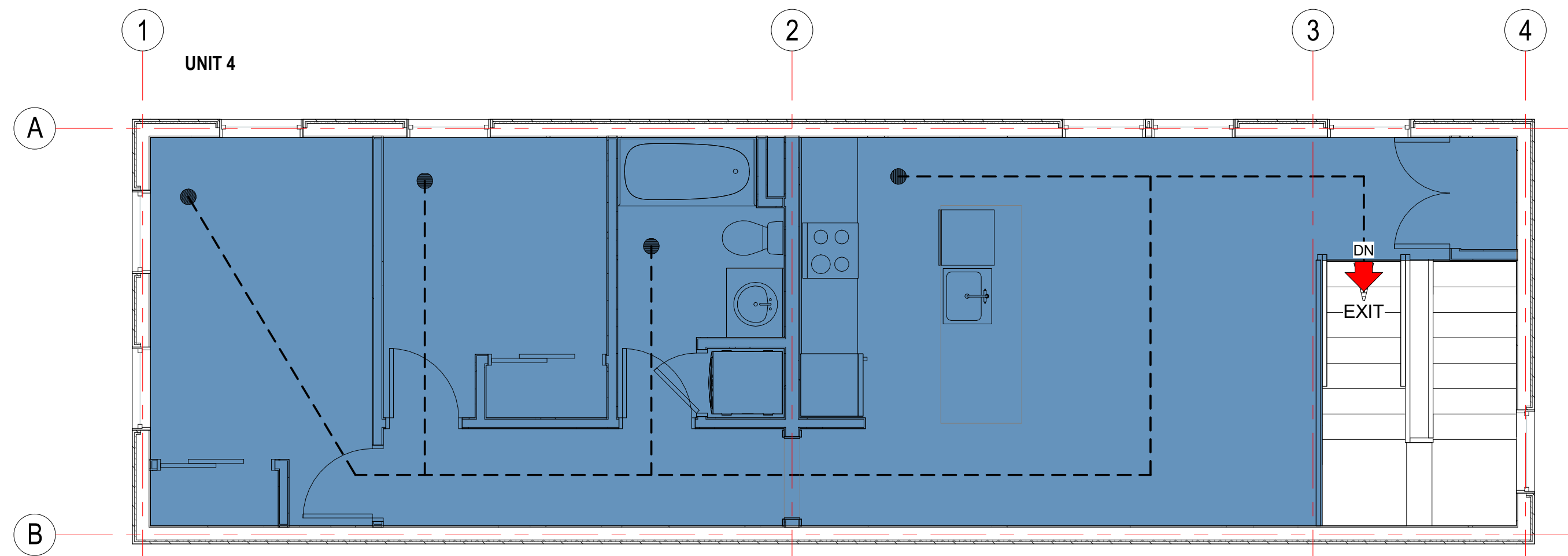
3 Second Floor Egress Plan
A010 1/4" = 1'-0"



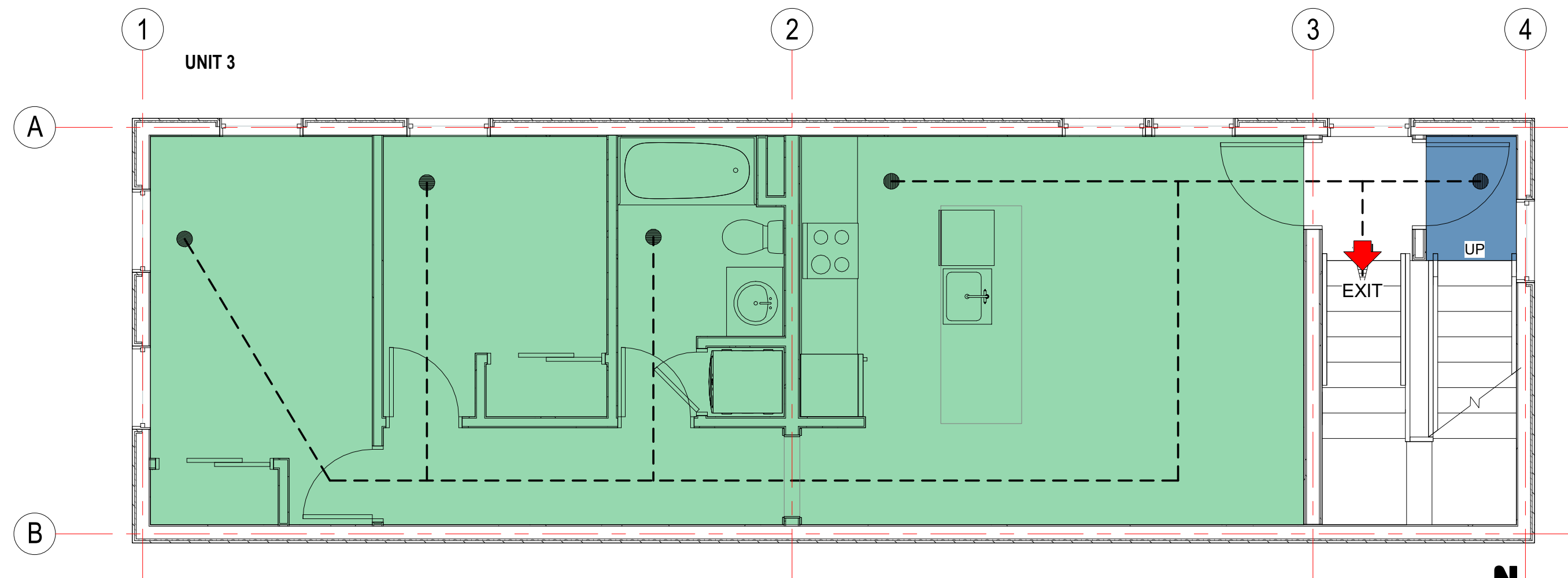
1 First Floor Egress Plan
A010 1/4" = 1'-0"



2 Basement Egress Plan
A010 1/4" = 1'-0"



5 Fourth Floor Egress Plan
A010 1/4" = 1'-0"



4 Third Floor Egress Plan
A010 1/4" = 1'-0"

GENERAL NOTES AND LEGENDS EGRESS NOTES

- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
- the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/client. this information has not been independently verified by Joe The Architect, LLC.
- refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
- refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
- refer to plumbing drawings if applicable for all plumbing fixture counts.
- refer to structural drawings if applicable for all structural loads.

GENERAL NOTES AND LEGENDS LIFE SAFETY

- • • U sprinkler | standard; concealed; upright
- FS fire alarm pull station
- FACP fire alarm control panel
- RFB fire alarm remote panel
- FEC fire extinguisher cabinet
- FE fire extinguisher wall hung
- FSH fire alarm horn & strobe
- SD photoelectric smoke detector
- CM carbon monoxide detector
- SM smoke / carbon monoxide detector
- EL emergency lighting; battery pack
- EXIT exit signage with direction indicator
- building exit arrow indicator
- egress path of travel indicator
- egress exit triangle indicator
- egress exit triangle indicator; horizontal exit
- egress exit triangle indicator; exit discharge
- door mark indicator number

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revision	revision description	date
1	SPECIAL PERMIT	01/21/2021

project title:
Gore Street Development

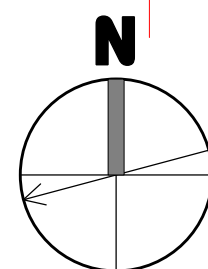
33 Gore Street, Cambridge, MA 2141

client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

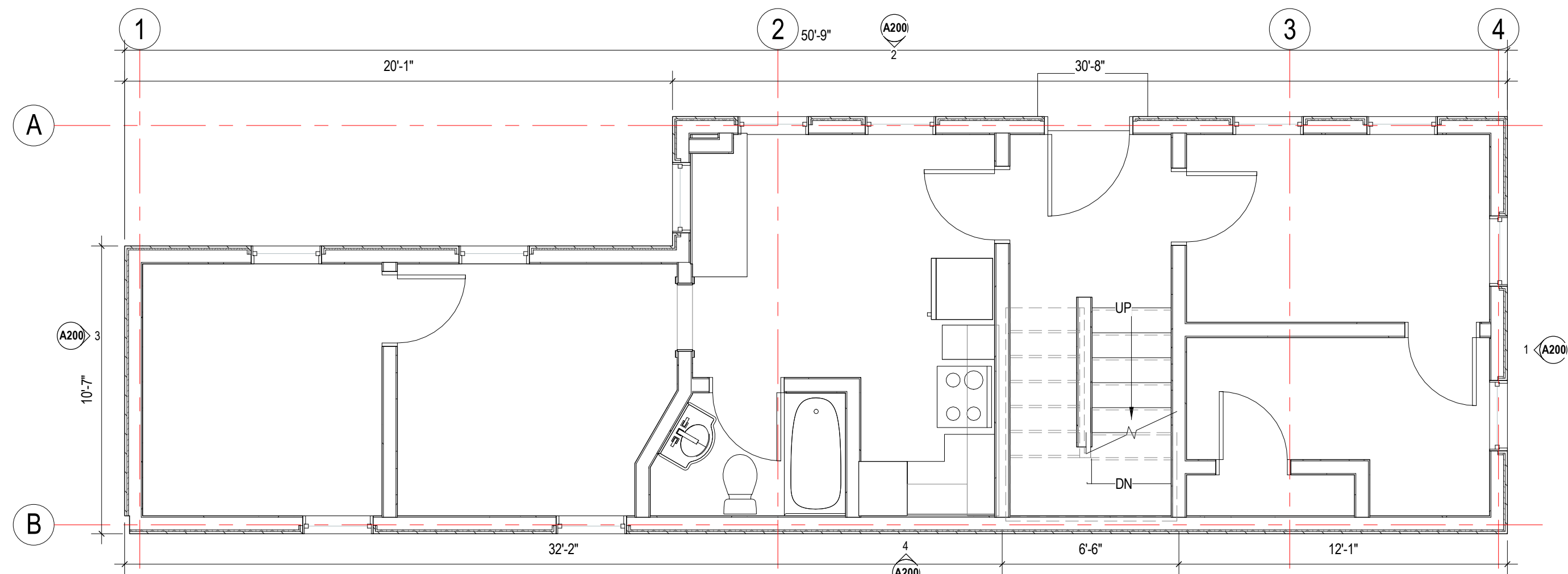
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drawing title
**MEANS OF EGRESS
PLAN**

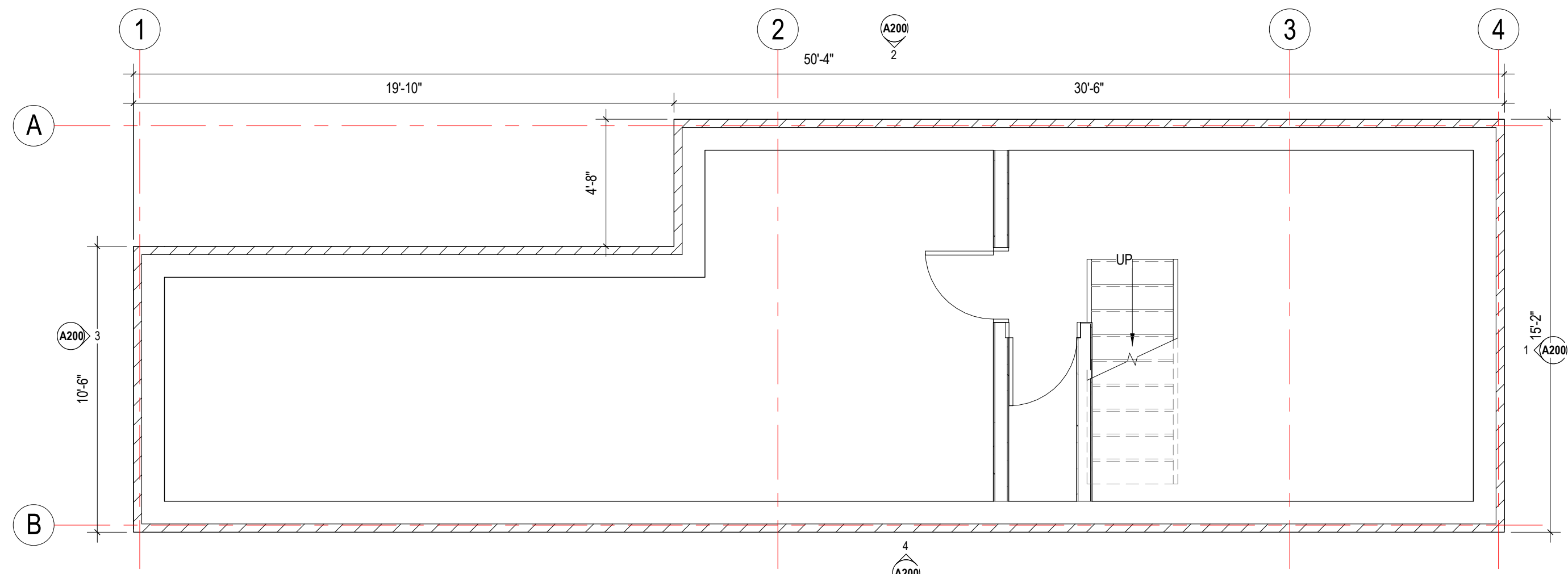
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drawing number A010	revision 1	



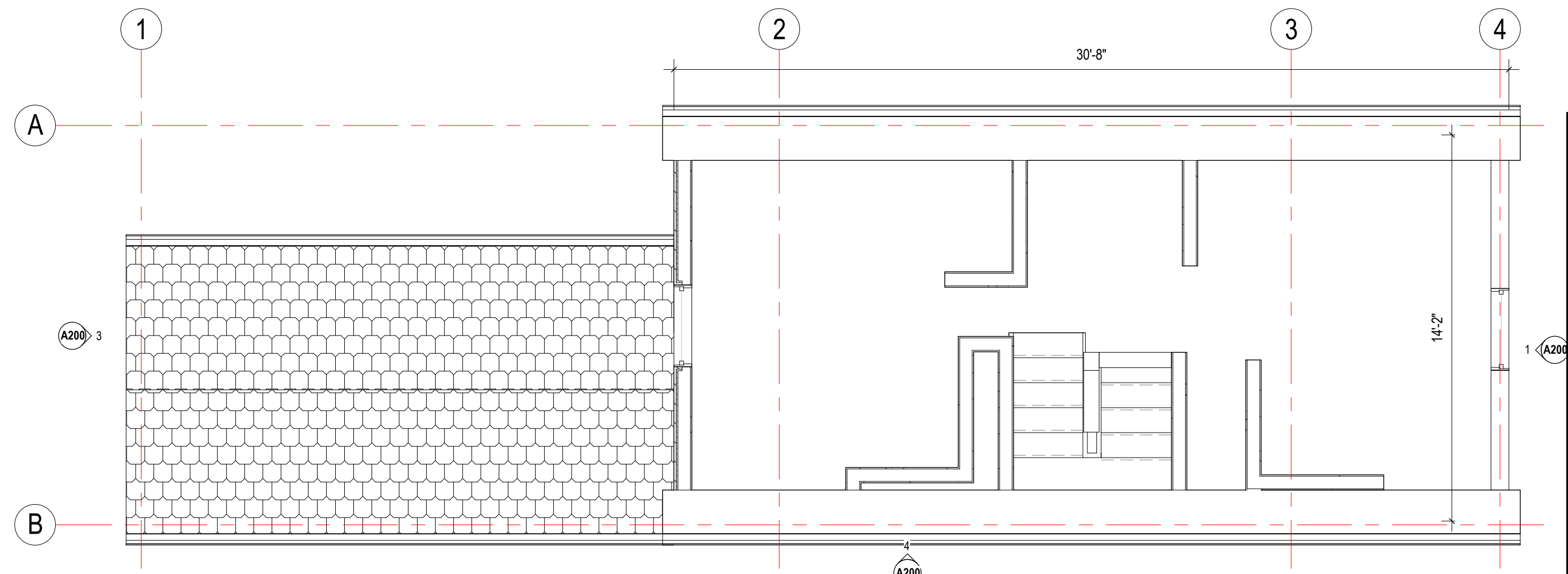
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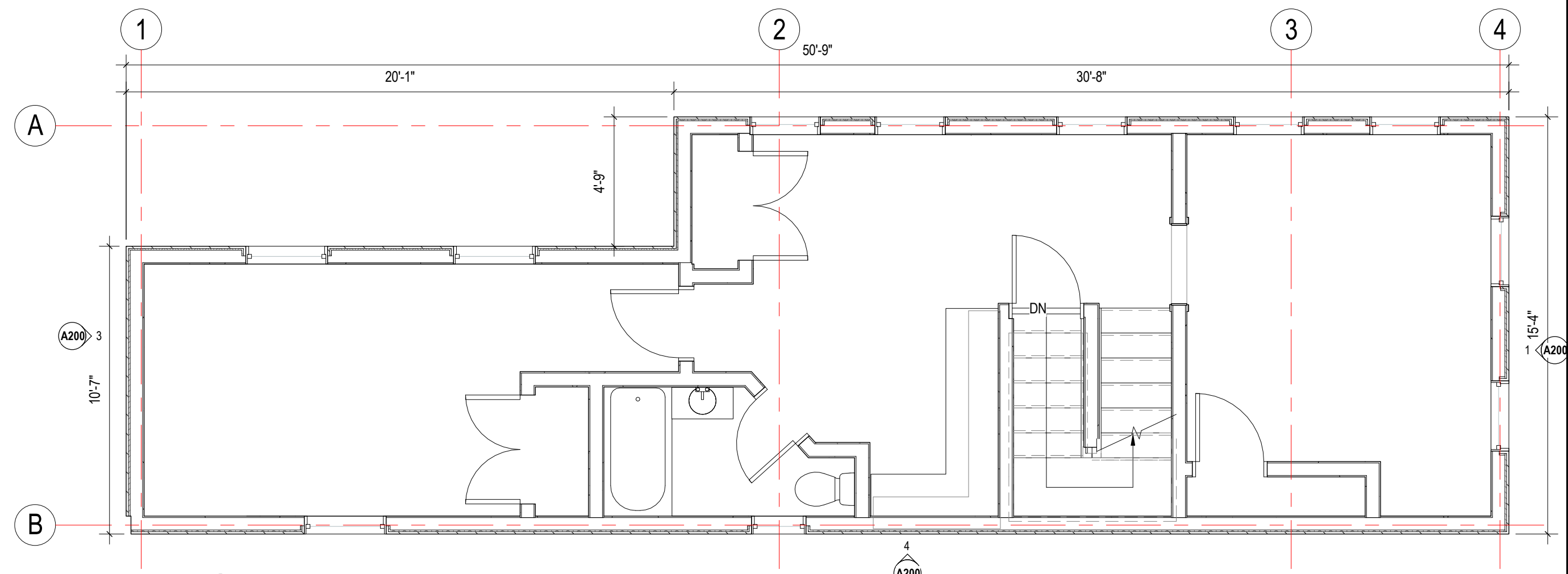
1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



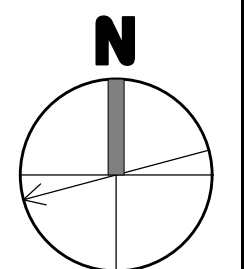
4 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



3 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



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1	SPECIAL PERMIT	01/21/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information:
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2 Lincoln Street, Somerville, MA 02145

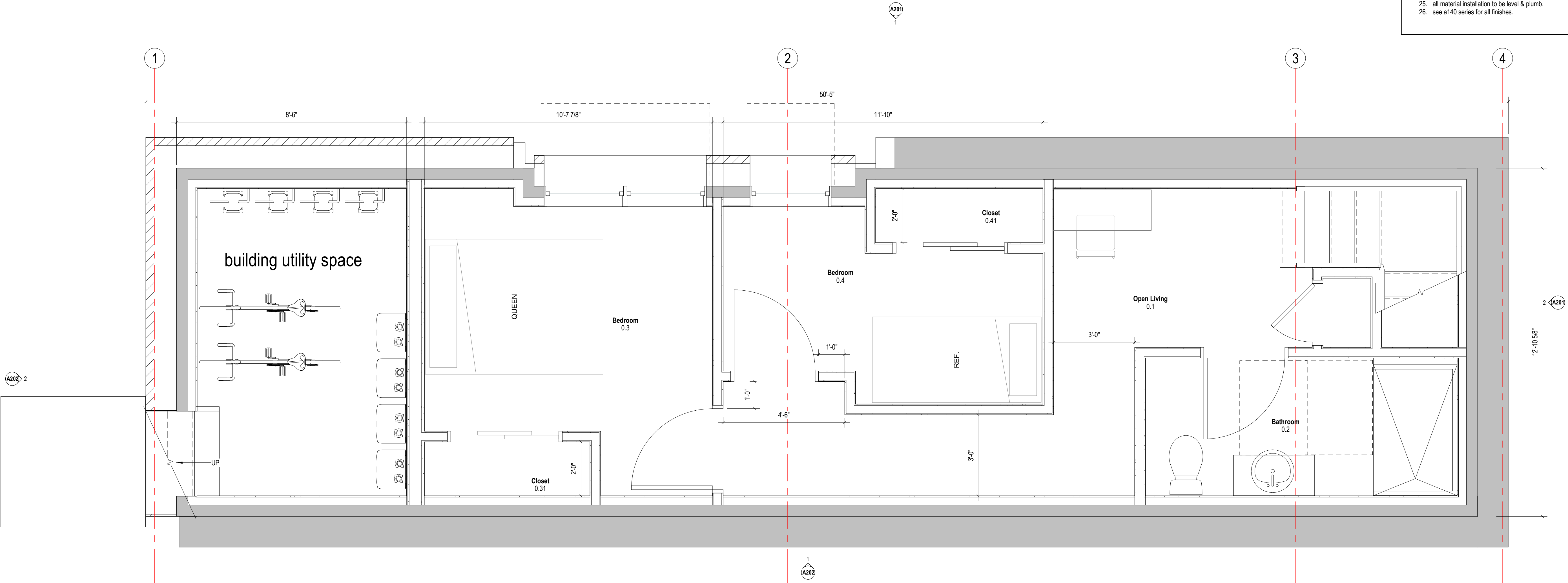
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drawing title
EXISTING FLOOR PLANS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
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drawing number A030	revision 1
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- GENERAL NOTES AND LEGENDS**
- DEMOLITION**
- see interior elevations for additional information on wall finish materials and typical mounting heights required.
 - see general construction notes on sheet a000.
 - see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
 - all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
 - existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule. coordinate areaway drains and floor drains with plumbing drawings.
 - provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
 - all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
 - see door schedule for all door sizes, door info and details.
 - all glass within 16" a f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
 - all existing walls to be patched where existing walls were removed.
 - provide leveling compound over all existing concrete floor areas to receive new floor covering. no flooring transitions are to exceed 1/2" in height.
 - provide in-wall blocking as required.
 - provide in-wall blocking for all future built-in casework where indicated.
 - patch existing gwb at all locations where a partition has been removed.
 - at all areas of mep/tp equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
 - seal air tight any penetrations made through air & vapor barriers.
 - paint all (n) and (e) gwb & plaster finishes in work area unless noted
 - interior dimensions are indicated to finish wall (cmu or gypsum board) materials. u.n.o.
 - mep/tp elements shown are schematic and are provided for reference. only refer to mep/tp drawings & specifications for more information.
 - exterior masonry dimensions are indicated to centerline of joints.
 - window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
 - provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
 - all material installation to be level & plumb.
 - see a140 series for all finishes.

CONSTRUCTION LEGEND

existing full height solid, glazed or part glazed partition to remain.

existing full height solid, glazed or part glazed partition to be demolished

new full height solid, glazed or part glazed partition to be demolished

existing door to be demolished

existing wall finish to be removed, to be read in conjunction with proposed works

existing door to remain

new door

demolition hatch

partial area demolition

NIC - Not In Construct Hatch

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revision	revision description	date
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project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

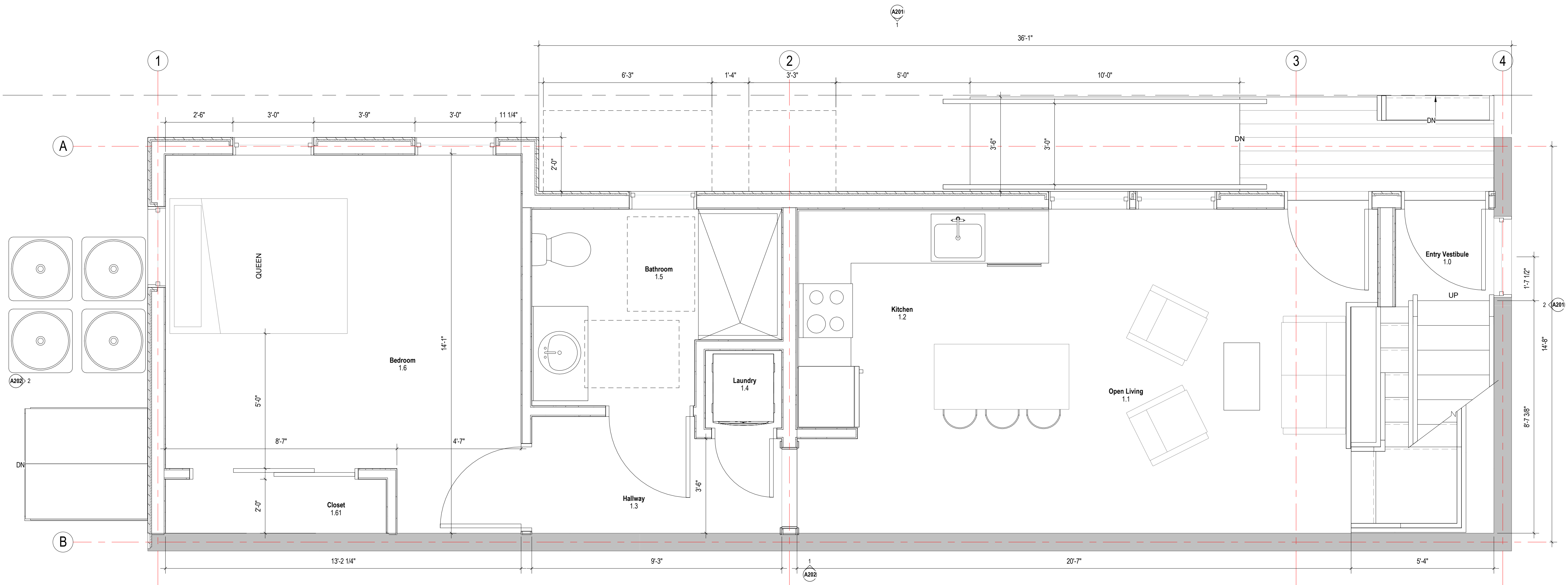
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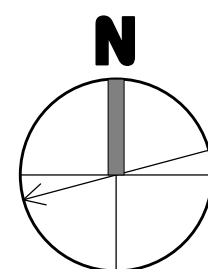
drawing title
BASEMENT FLOOR PLAN

project number 308	drawing scale As indicated	approver Approver
drawing number A110	revision 1	

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1 FIRST FLOOR PLAN
A111 1/2" = 1'-0"



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1	SPECIAL PERMIT	01/21/2021

project title:
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client information:
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2 Lincoln Street, Somerville, MA 02145

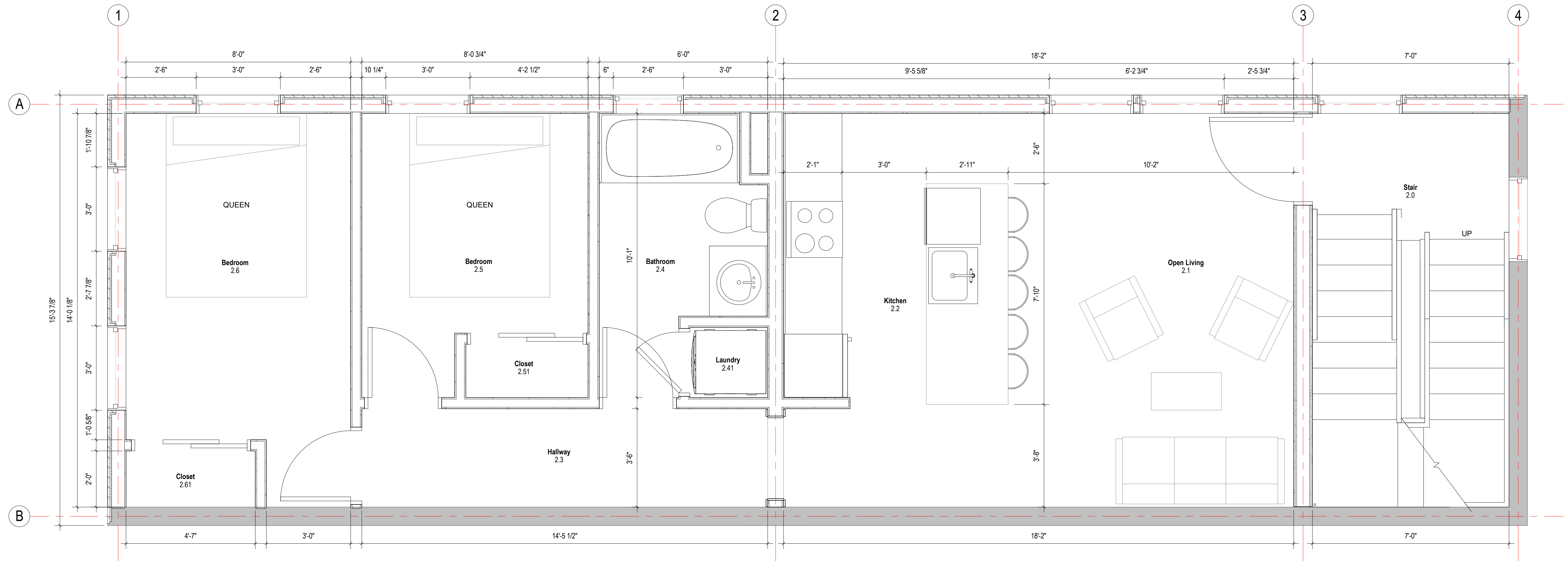
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t: +1(617) 764-3593 e: askjoe@joethearchitect.com
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drawing title
FIRST FLOOR PLAN

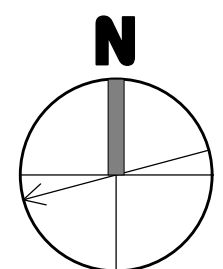
project number 308	drawing scale 1/2" = 1'-0"	approver Approver
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drawing number A111	revision 1
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NOT FOR CONSTRUCTION



1 SECOND FLOOR PLAN
1/2" = 1'-0"



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1	SPECIAL PERMIT	01/21/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 2141

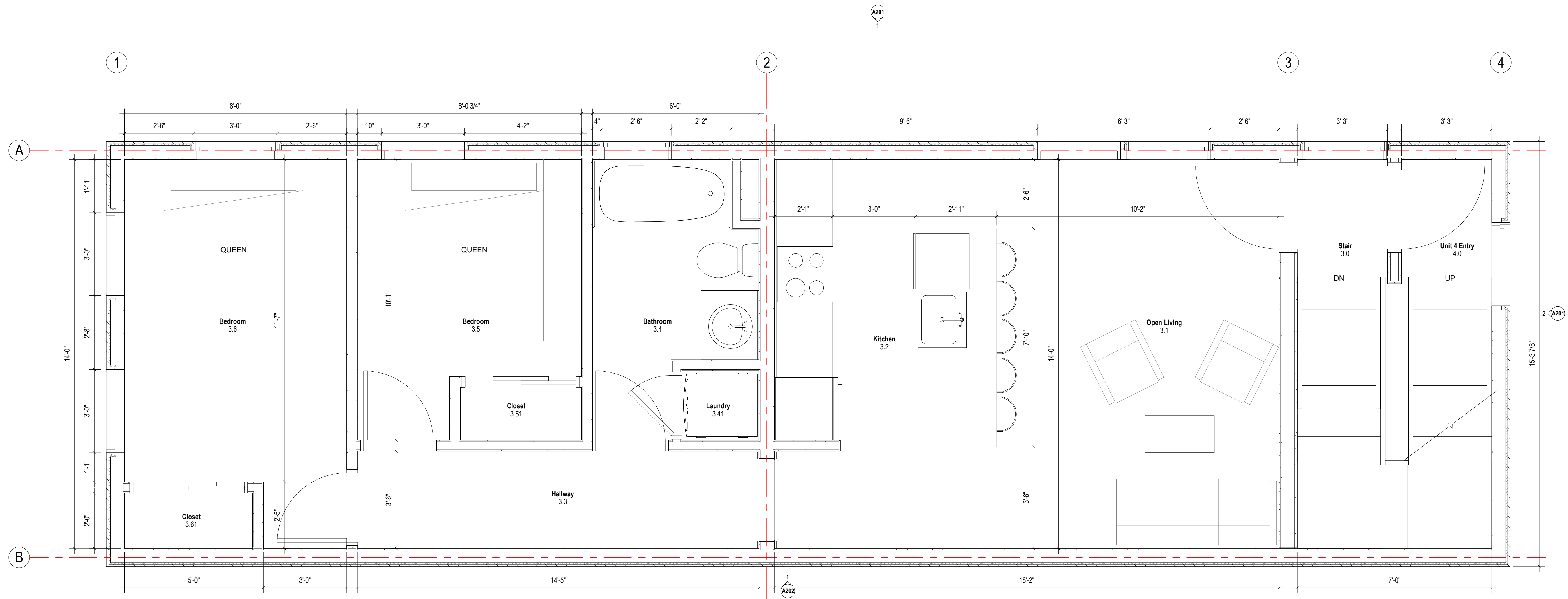
client information:
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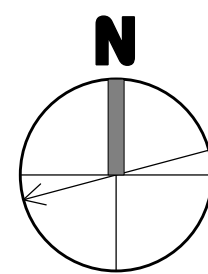
drawing title
SECOND FLOOR PLAN

project number 308	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A112	revision 1	

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1 THIRD FLOOR PLAN
A113
1/2" = 1'-0"



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stamp:



revision	revision description	date
1	SPECIAL PERMIT	01/21/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

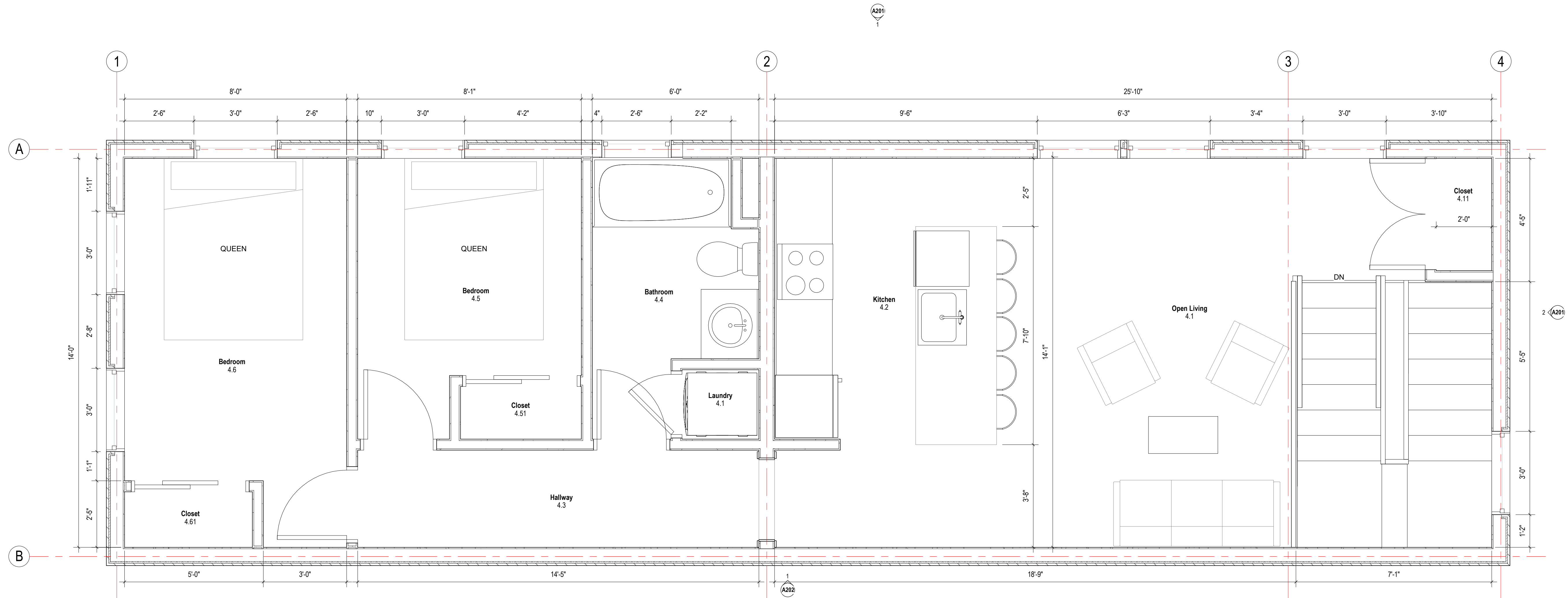
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343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
THIRD FLOOR PLAN

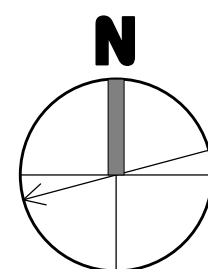
project number 308	drawing scale 1/2" = 1'-0"	approver Approver
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drawing number A113	revision 1
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1 FOURTH FLOOR PLAN
A114 1/2" = 1'-0"



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project title:
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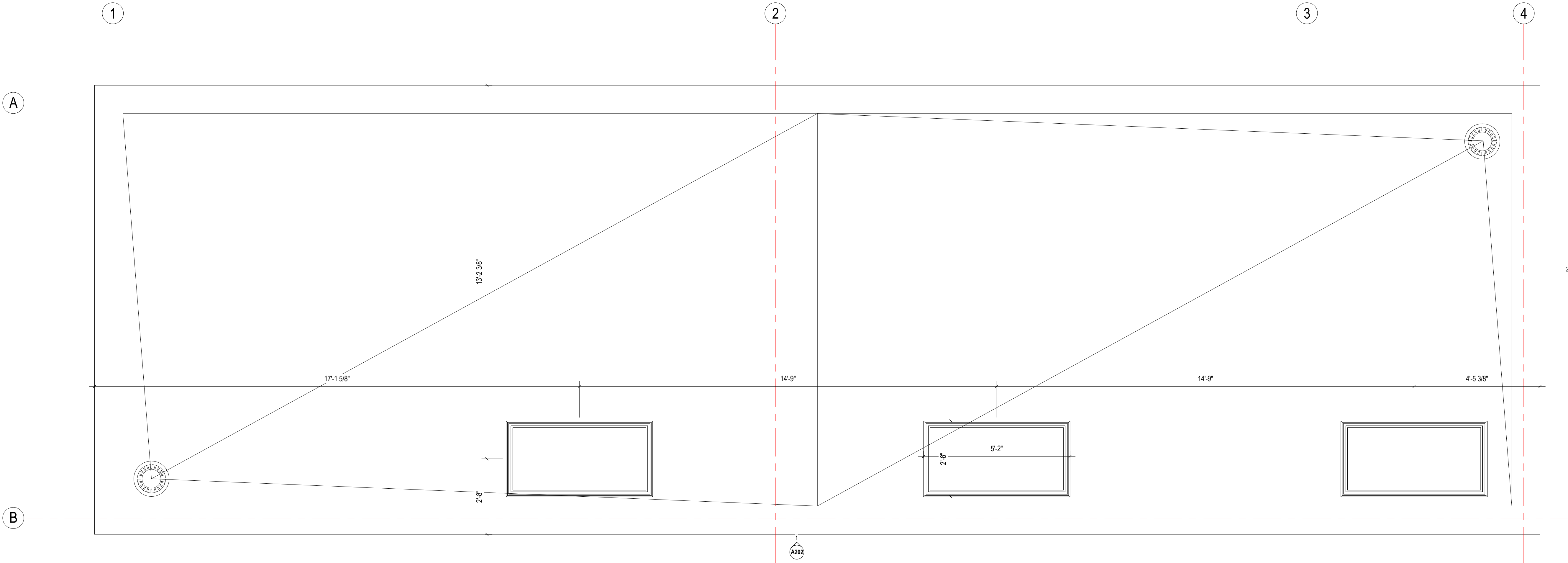
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drawing title
FOURTH FLOOR PLAN

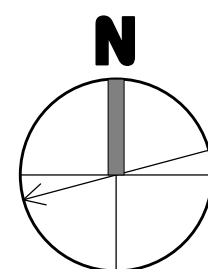
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drawing number A114	revision 1
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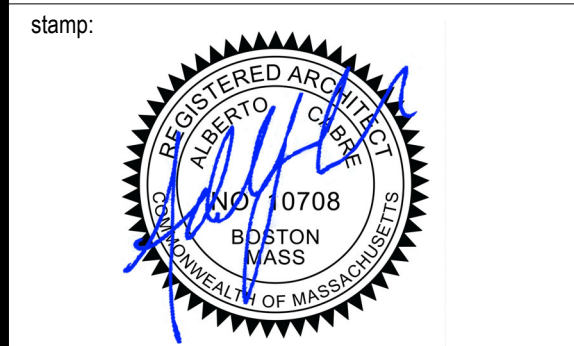
1 ROOF PLAN
A115 1/2" = 1'-0"



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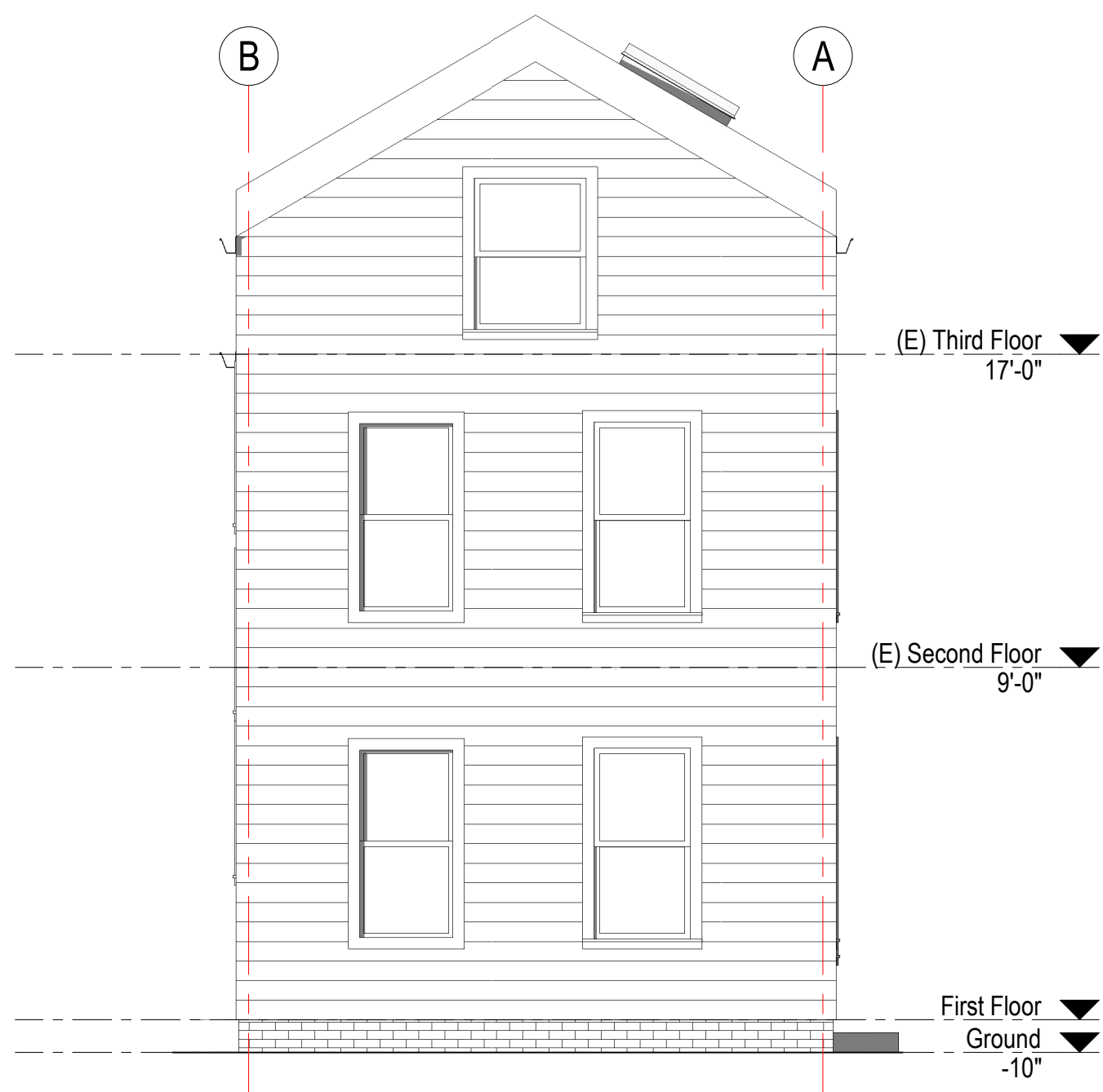
project title:
Gore Street Development
33 Gore Street, Cambridge, MA 2141
client information:
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drawing title
ROOF PLAN

project number 308	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A115	revision 1	

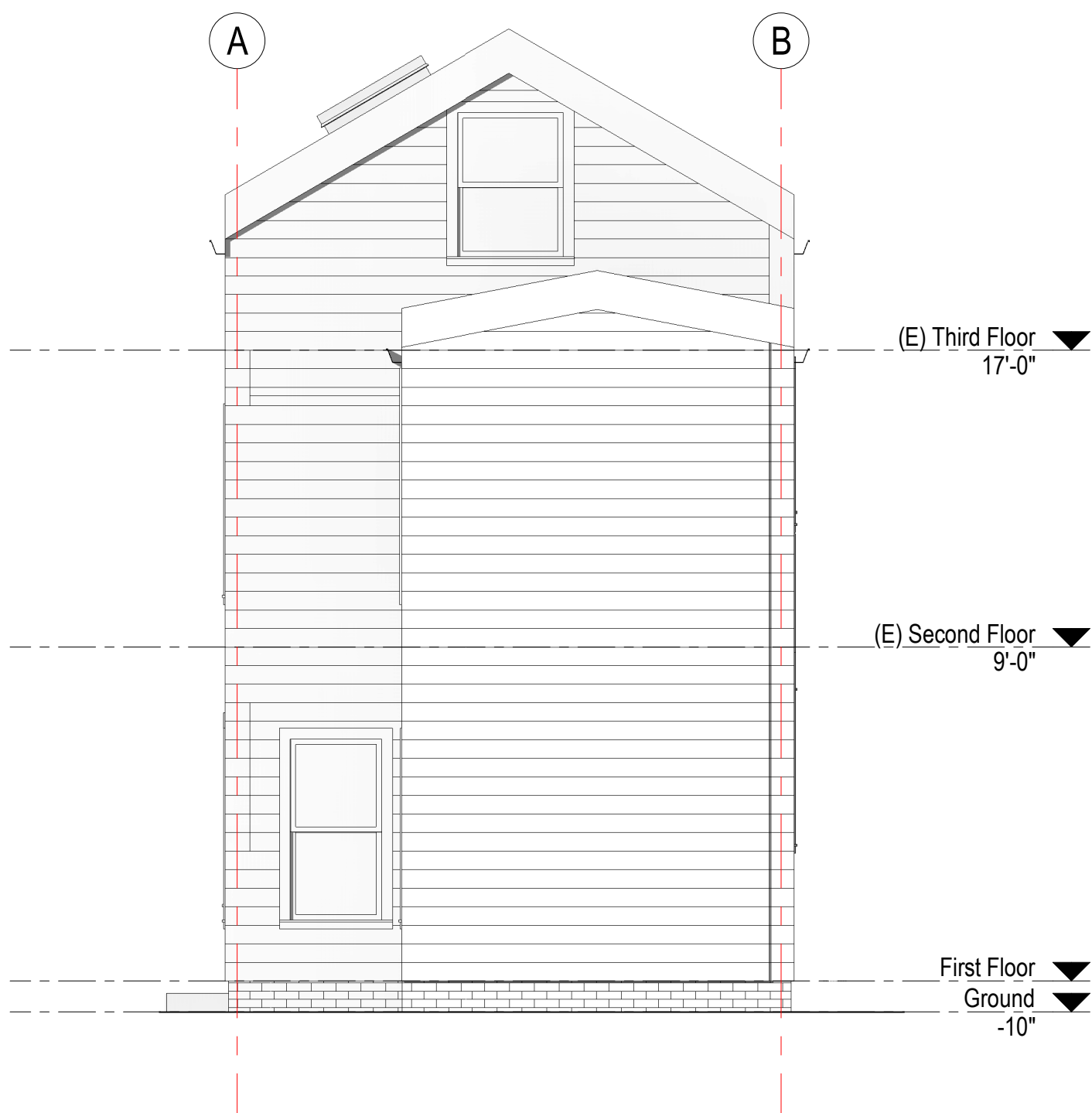
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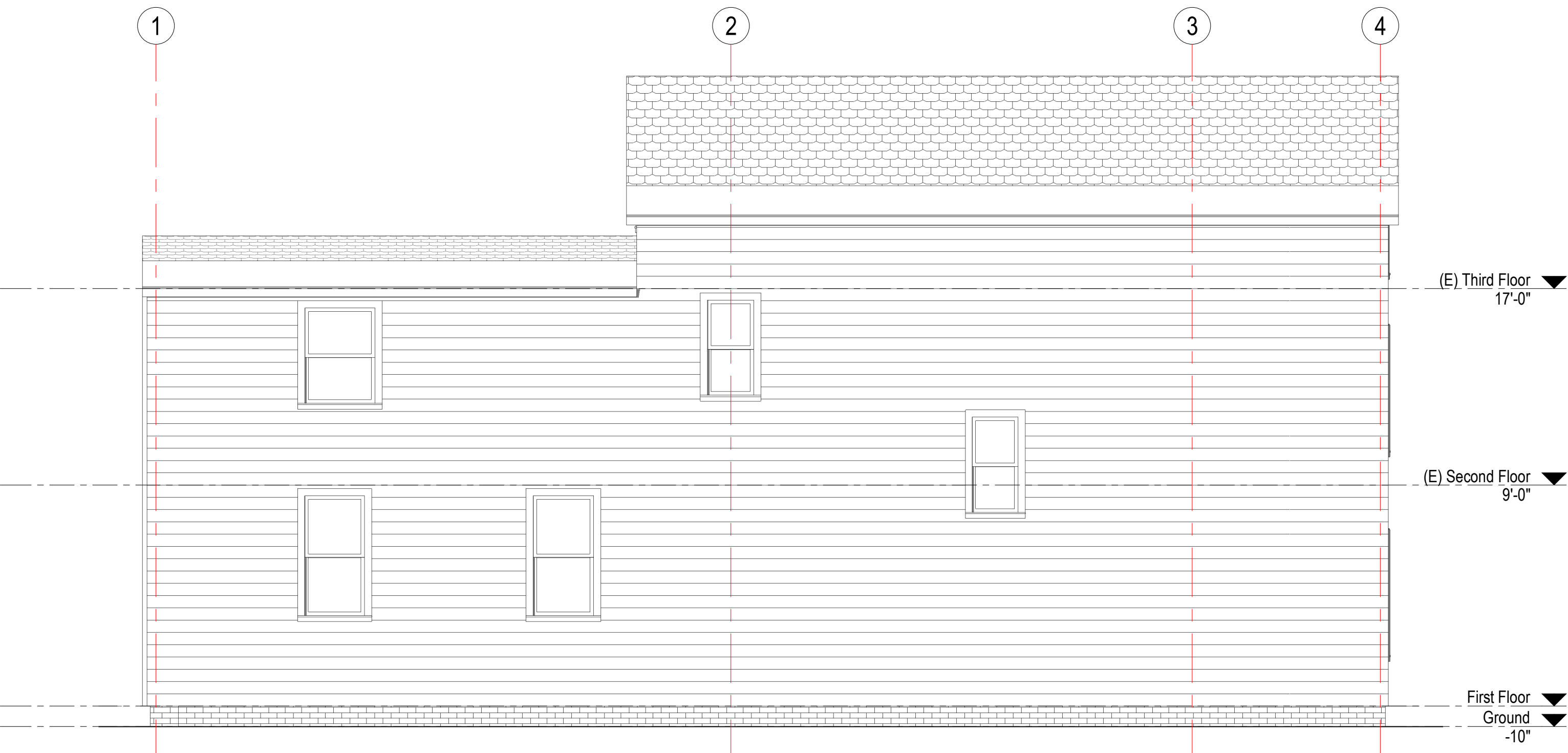
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A200
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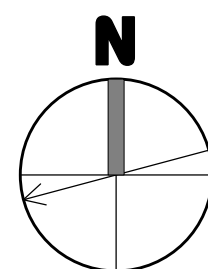
2 Existing East Elevation
A200
1/4" = 1'-0"



3 Existing North Elevation
A200
1/4" = 1'-0"



4 Existing West Elevation
A200
1/4" = 1'-0"



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stamp:



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client information:
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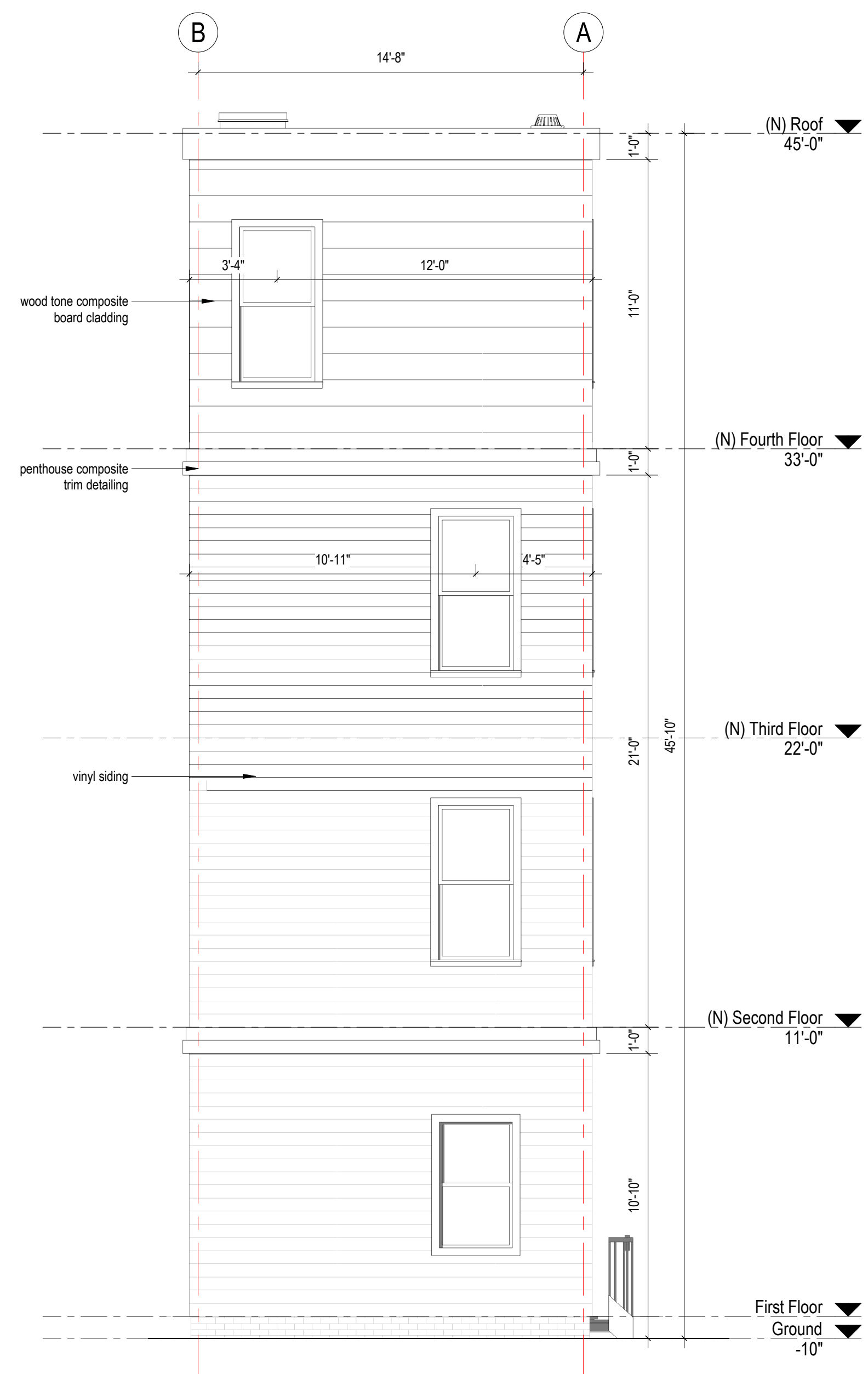
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drawing title
EXISTING EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A200	revision 1	

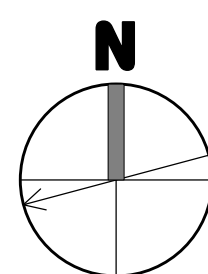
NOT FOR CONSTRUCTION
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1
A201
PROPOSED EAST ELEVATION
1/4" = 1'-0"



2
A201
PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



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1	SPECIAL PERMIT	01/21/2021

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Gore Street Development

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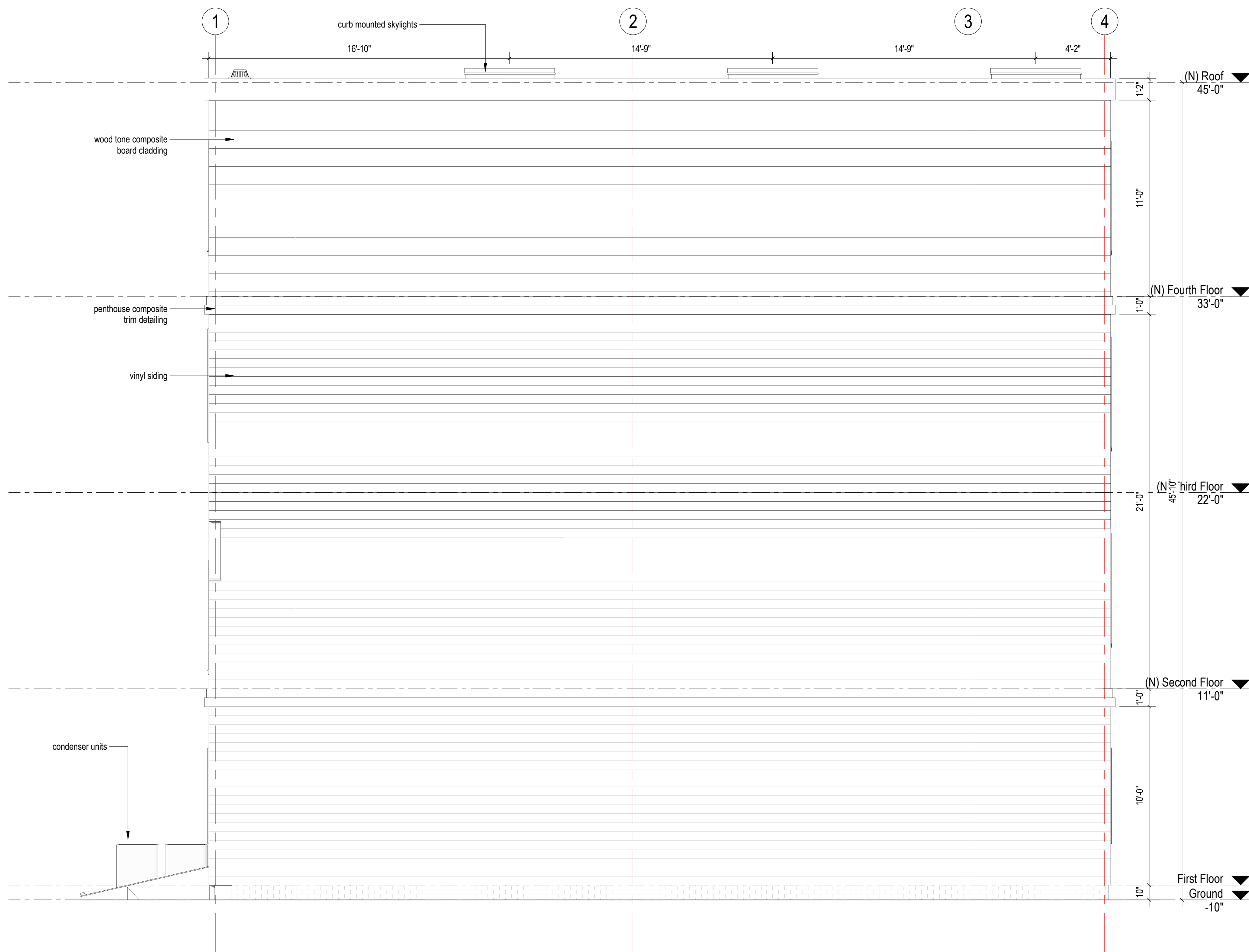
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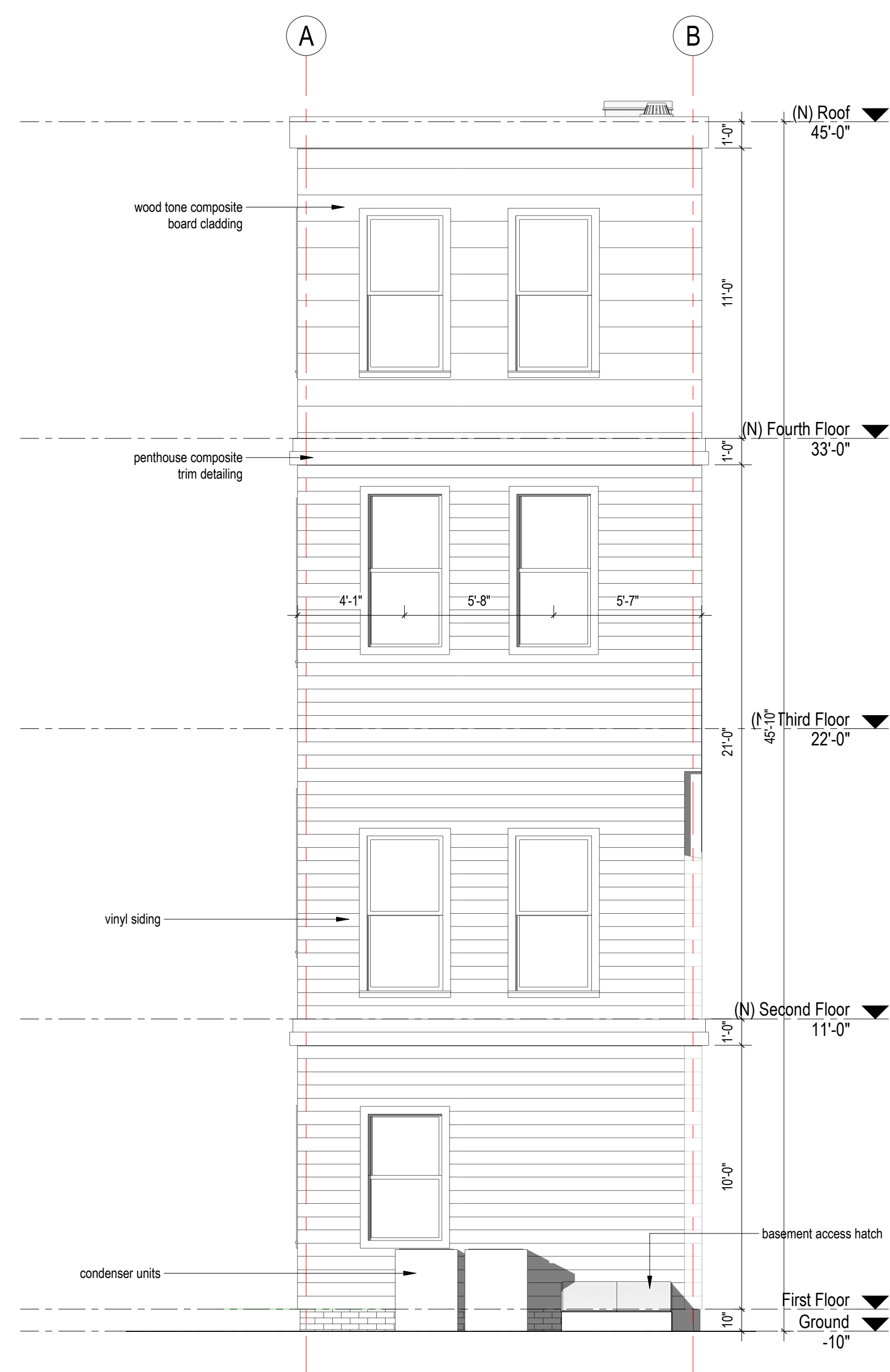
drawing title
EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A201	revision 1	

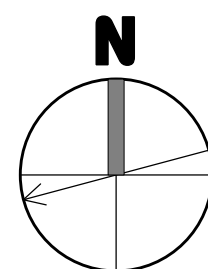
NOT FOR CONSTRUCTION
1/2/2021 11:33:44 AM



1
A202
PROPOSED WEST ELEVATION
1/4" = 1'-0"



2
A202
PROPOSED NORTH ELEVATION
1/4" = 1'-0"



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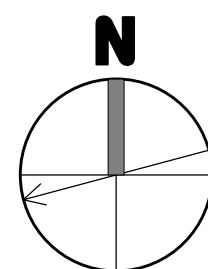
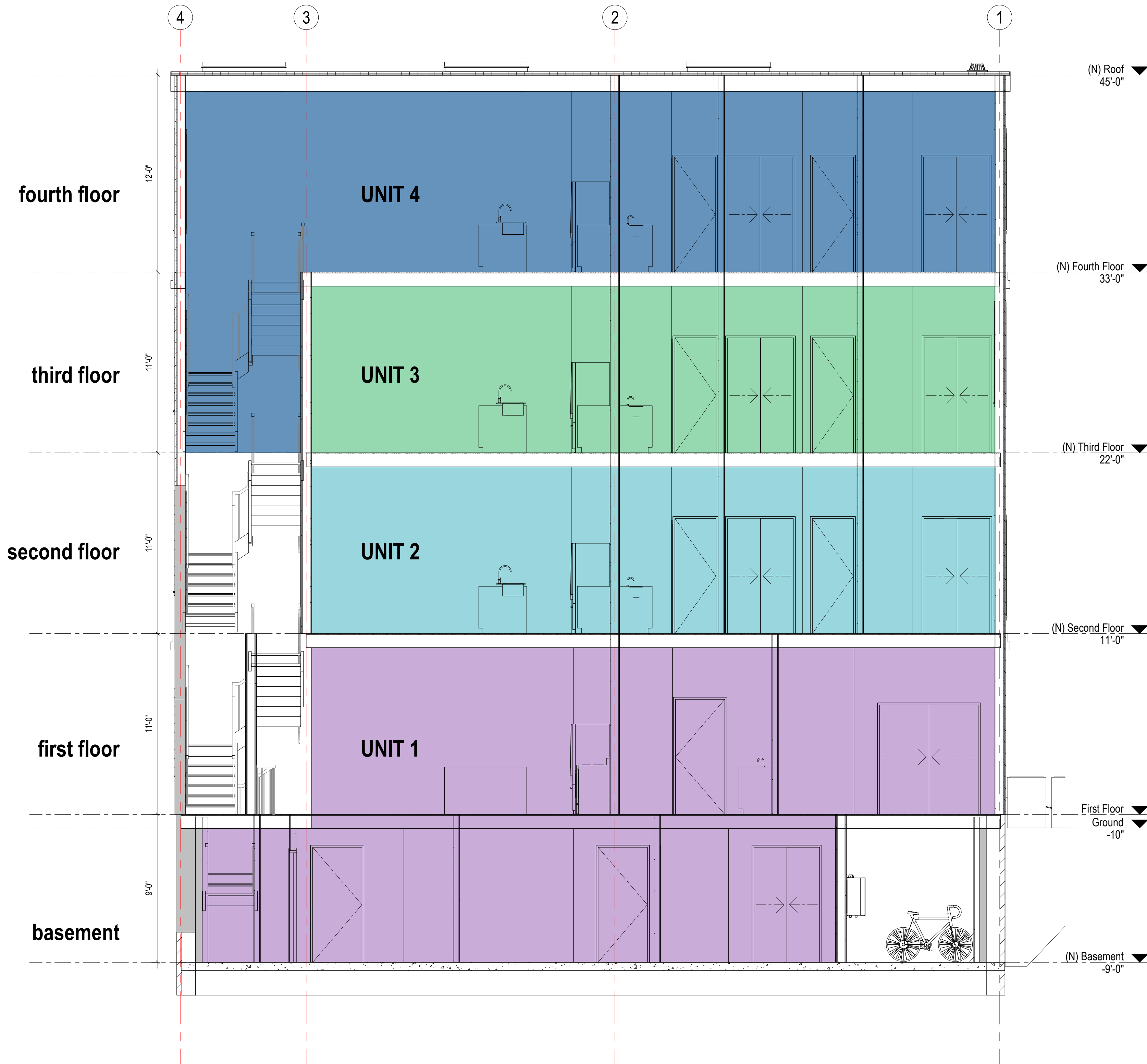
client information:
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drawing title
EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A202	revision 1	

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For Permit

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consultant / contractor information:

stamp:



revision	revision description	date
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project title:
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drawing title
BUILDING SECTIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A210	revision 1	

NOT FOR CONSTRUCTION
1/27/2021 11:53:51 AM

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2021 APR -5 P 2:53

April 5, 2021

VIA Email and In Hand Delivery
Board of Zoning Appeal
City of Cambridge
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA Case No. BZA106913-2021, 33 Gore Street – Supplemental Materials

Dear Members of the Board:

This matter is scheduled to be heard by the Board of Zoning Appeal at a public hearing on Thursday, April 8, 2021. On behalf of the petitioners, enclosed please find the following revised application materials:

- 1) Revised Application for Variance and Special Permit
- 2) Revised Architectural Plans
- 3) Revised Renderings
- 4) Letters of Support

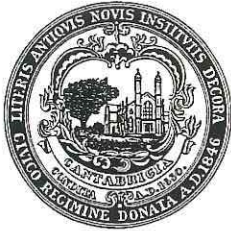
The applicant presented to the Cambridge Historical Commission on April 1, 2021, receiving a unanimous vote approving the attached plans for a Certificate of Appropriateness, subject to ongoing CHC staff design review.

Sincerely,

Sarah Like Rhatigan, Esq.

CC (via email only):

Mr. Christopher Koskores
Mr. Peter Koskores
Mr. Charles Sullivan
Ms. Sarah Burks
Mr Eric Hill



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

CITY OF CAMBRIDGE
PROFESSIONAL SERVICES

2021 APR -5 PM 2:00
REVISED

BZA Application Form

4.5.21

BZA Number: 106913

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: X

Appeal:

PETITIONER: 33 Gore LLC C/O Sarah Like Rhatigan, Esq., Trilogy Law LLC

PETITIONER'S ADDRESS: 12 Marshall Street, MA, Boston 02108

LOCATION OF PROPERTY: 33 Gore St , Cambridge, MA

TYPE OF OCCUPANCY: Multi-family residential

ZONING DISTRICT: Business A/Residence C
Zone/ECHO

REASON FOR PETITION:

/Additions/ ~~/Conversion to Additional Dwelling Units/~~

DESCRIPTION OF PETITIONER'S PROPOSAL:

Expansion by building up and constructing addition squaring off the right-rear side of a pre-existing, non-conforming two-family dwelling, ~~adding two residential units to the building,~~ which is situated on a merged lot.

Expansion by building up and constructing addition squaring off the right-rear side of a pre-existing, non-conforming two-family dwelling, ~~adding two residential units to the building,~~ which is situated on a merged lot. Special permit relief necessary to extend ECHO and Res C-2B zoning to the entire lot, to allow expansion of building height up within setbacks, ~~for a waiver of parking requirements,~~ and to allow two tandem parking spaces in the existing driveway.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 3.000	Section: 3.32.1 (Extension of Less Restrictive Dimensional Provisions)
Article: 5.000	Section: 5.13 (Distance Between Buildings)
Article: 5.000	Section 5.26 (Conversion)
Article: 5.000	Section: 5.31 (Table of Dimensional Requirements)
Article: 6.000	Section: 6.35.1 (Reduction of Required Parking)
Article: 6.000	Section: 6.43.3 (Access for Off-street Parking Spaces)
Article: 6.000	Section: 6.44.1.g (Setbacks for on grade open parking spaces)
Article: 8.000	Section: 8.22.2.c (Alteration to Non-conforming structure)

Original
Signature(s):



CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2021 APR -5 P 2:53

Sarah Like Rhatigan, Esq., on behalf of Petitioner

33 Gore LLC

(Print Name)

Address: Trilogy Law LLC, 12 Marshall Street, Boston, MA 02108

Tel. No. 617-543-7009

E-Mail Address: sarah@trilogylaw.com

Revised 4.5.21

Date: February 2, 2021

BZA Application Form

REVISED 4.5.21

DIMENSIONAL INFORMATION**Applicant:** 33 Gore LLC**Present Use/Occupancy:** Multi-family residential**Location:** 12 Marshall Street**Zone:** Business A/Residence C
Zone/ECHO**Phone:** 617-543-7009**Requested Use/Occupancy:** Multi-family residential

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	7,159	8,387	8,387	(max.)
<u>LOT AREA:</u>	4,470	4,470	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	1.6	1.9	1.9	
<u>LOT AREA OF EACH DWELLING UNIT</u>	559	559	300	
<u>SIZE OF LOT:</u> WIDTH	60	60	50	
DEPTH	74	74	n/a	
<u>SETBACKS IN FEET:</u> FRONT	0	0	10.0	
REAR	22.2 (33 Gore)/14.6 (31 Gore)	21.2 (33 Gore)/14.6 (31 Gore)	20.0	
LEFT SIDE	1.75	1.75	(H+L)/5	
RIGHT SIDE	2.75	2.75	(H+L)/5	
<u>SIZE OF BUILDING:</u> HEIGHT	27 (33 Gore)/31 (31 Gore)	34.25 (33 Gore)/31 (31 Gore)	45	
WIDTH	16 ft (33 Gore)/26 ft (31 Gore)	16 ft (33 Gore)/26 ft (31 Gore)	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	9.1%	16.9%	15.0%	
<u>NO. OF DWELLING UNITS:</u>	2 (@ 33 Gore)/6 (@ 31 Gore) = 8 total	NO CHANGE	14 (allowed under the ECHO)	
<u>NO. OF PARKING SPACES:</u>	1	2 (tandem)	3	
<u>NO. OF LOADING AREAS: DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	0	0	0	
	11 feet, 1 inch	11 feet, 1 inch	10.2	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form**SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

BACKGROUND AND INTRODUCTION:

The proposed renovation of this mid-19th Century, two-family dwelling seeks to expand by building up (one ~~and a half~~ stories) upon the existing footprint and squaring off the right-rear side of the building by 101 square feet; the renovations and expansion will result in an addition of two-residential units in the building. This pre-existing, non-conforming structure is sited on an undersized (4,470 SF) lot with narrow side yards and no front yard. Originally constructed on its own 1,035 SF lot, this property is deemed to have merged with the neighboring 31 Gore Street on account of it being held in common ownership. The neighboring 31 Gore Street property consists of a six-unit apartment building that is fully tenanted and not undergoing any changes at this time. Together, the merged lot (31 and 33 Gore Street) is located in the East Cambridge Housing Overlay District (see Section 20.40 of the Cambridge Zoning Ordinance ("CZO"), the "ECHO"), with a Base zoning in the Business A District (Residential C-2B for residential uses), with the exception of a 503 square foot triangular area (representing 11% of the area) which falls outside the ECHO, in a Residential C district.

1.9 34.25

The proposed renovation and expansion will result in an increase in total Gross Floor Area and a Floor Area Ratio of ~~2.0~~, in a dwelling unit density of 10 units, and an increase in the height of the 33 Gore Street building to ~~45~~ feet, dimensional elements which are generally allowed "as of right" under the ECHO's residential development density provisions under Section 20.40. Since the merged lot straddles the ECHO, with a small portion falling outside the overlay, and due to certain pre-existing constraints of the undersized lot, which result in technical violations of dimensional requirements and limited space for on-site parking, this project requires certain special permit relief (see Special Permit narrative), as well as variance relief, as described herein.

34.25

LITERAL ENFORCEMENT WOULD INVOLVE SUBSTANTIAL HARDSHIP REQUIRING VARIANCE:

The proposed construction increases the height of the structure to ~~45~~ feet, which is allowed residential height within this portion of the ECHO and the Residential C-2B district. This is consistent with the intent and purpose of the creation of the ECHO, to promote and incentivize residential development in this mixed commercial/residential district. In this instance, the increase in height raises an issue as to the technical compliance of the project with dimensional requirements as they relate to two issues:

No longer applicable.

~~(1) Minimum distance between buildings, under Section 5.13. The existing distance between the 33 Gore Street dwelling and its neighboring 31 Gore Street building is 11 feet, 1 inch and thus currently complies with Section 5.13, which requires that "the minimum distance between such buildings shall not be less than the sum of the heights of the buildings divided by six, or ten feet, whichever is greater." At its current height of 27 feet, applying the formula results in a calculation of 9.7 and thus a required minimum distance of 10 feet. The proposed construction will increase the height of the 33 Gore Street building to 45 feet, as permitted under the ECHO and Residential C-2B district. However, when applying the calculation under Section 5.13, the increase in height results in a small (2.7 foot) increase in the minimum required distance between buildings, to 12.7 feet. Although the actual minimum distance between the buildings on the lot will not change, the minimum distance between buildings changes (because defined as a function of building height), thus creating a technical non-compliance with this dimensional standard. Therefore, the Petitioner hereby seeks a variance from this Board asking that the Board allow for the project to proceed despite this technical non-conformity.~~

(2) Increase in height of building within setbacks, under Section 5.31. The building lies within the front and left side yard setbacks, and therefore the expansion up within these setbacks results in an extension of these non-conformities. In a Residential C-2B district, front and side yard setbacks are

defined as a function of building height. Thus, since the building height is increased, the defined setbacks technically increase as well. The Petitioner believes and has petitioned this Board accordingly, that the increase in height is an extension of a pre-existing non-conformity (as to the front and left side setbacks), and thus, under Section 8.22.2.c, should be allowed by this Board upon a finding of a special permit. If, however, this Board should disagree with this interpretation, then in the alternative, the Petitioner requests a variance to allow for this increase in height within front and side setbacks.

Literal enforcement of the CZO in this instance would result in severely constraining the ability of an owner to expand the residential density on this lot, as is envisioned and encouraged by the residential development density provisions of the ECHO, causing substantial hardship both financial and otherwise, where there are no alternative locations on the site in which to expand to provide the additional living space needed to support the financial feasibility of this project.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The hardship described in this application is owing to the following unique circumstances: (a) the shape of the undersized lot that has been merged for zoning purposes due to common ownership, (b) the shape (height) and siting of the existing two-family structure (33 Gore Street) located very close to the left lot line and at the front lot line, and (c) the siting of the building with 11 feet, 1 inch between it and the neighboring structure. The circumstances of the merger are unique and generally not affecting other lots in the zoning district. Due to its age and deteriorated condition, the necessary improvements and upgrades to the 33 Gore Street dwelling will be extremely costly, and the expansion to increase living space will be financially necessary to offset construction costs.

Constrained by the undersized lot, and the existing shape and size of the structure and the desire to preserve the only available open space at the rear, the Petitioner's only viable option is to expand the building up. The fact that the Property lies in a Base zoning district in which both the minimum distance between buildings and the side setbacks are defined as a function of the height of the building means that this project (that increases the height of the structure) will result in a recalculated dimensional requirements, thus triggering a variance requirement.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

- 1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The requested relief may be granted without detriment to the public good. The increase in height results in changed calculations for certain dimensional requirements under the CZO (specifically, the distance between buildings and side yard setbacks), but this increase in height is a dimensional element that is expressly permitted under both the ECHO as well as the Residential C-2B district in which the project lies. Furthermore, the increased height is in keeping with the height of neighboring uses in the vicinity. The proposal does not propose to move site the buildings closer together than they exist today. The addition towards the right-rear of the building extends the existing 11 feet, 1 inch distance between buildings back towards the rear of the lot. However, this change affects the interior of a multi-family apartment lot, and will not substantially, negatively affect the residents or neighboring uses. Additionally, the increased height of the 33 Gore Street building within the left side setback will not be substantially detrimental to the public good. The substantial upgrading of all systems, new fire-code compliance (including sprinklered building) will result in improved safety and benefits for the abutters and the neighborhood. Moreover, the project will supply much-needed moderate-rate, residential rental housing that is close to public transit.

- 2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The granting of variance relief in this instance will be consistent with the intent and purpose of the ECHO, which is to encourage the further expansion of residential development within this quasi-

commercial/residential area. Section 20.41 provides as follows: "*Purpose.* It is the intent of this [Section 20.40](#) to provide an incentive for residential development within the designated ECHO district as an extension of the existing residential neighborhood...." Moreover, consistent with the stated intent and purpose of the ordinance, as detailed in [Section 1.30](#) of Article 1.000 Preamble of the Zoning ordinance as well as M.G.L Ch. 40A Zoning Section 10 Variances, the proposed project will: (a) Create quality housing with valued open space for the benefit of the residents and abutters; (b) not result in use or activity not otherwise permitted in the ordinance; and (c) not result in negative impacts listed in [Section 1.3](#) regarding traffic, population density, blight, and pollution.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 33 Gore St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The project meets the requirements for the granting of the following special permits:

(i) The Petitioner seeks a special permit under Section 3.32.1, where more than one-half of the area of the lot lies in a less restricted district (the ECHO and the Business A/Residential C-2B district), to allow the less restrictive dimensional regulations under the ECHO and Business A/Residential C-2B district be "extend[ed] up to twenty-five (25) feet into the more restricted district" – in this case, thereby extending the less restrictive regulations of the ECHO and Residential C-2B to the small Res. C area of the lot;

(ii) The Petitioner seeks a special permit under Section 8.22.2.c to allow for the increase in the pre-existing non-conforming condition, specifically, the front and left side yard setback violations, allowing for the proposed construction to extend non-conforming walls up within the front and left side setbacks, while not creating any new non-conformities;

No longer required.

~~(iii) The Petitioner seeks a special permit under Section 6.35.1 to allow for a reduction of required on-site parking, where the Property currently has one legal parking space (for 8 units), and proposes to provide two tandem parking spaces (for 10 units). The Petitioner has submitted a "Memorandum – 33 Gore Street, Cambridge MA – Parking Analysis," dated January 20, 2021, prepared by Trafinfo Communications, Inc., (the "Parking Analysis") which provides data and evidence to support a finding that the project meets the criteria for a special permit parking waiver under Section 6.35.1; and~~

(iv) and (v) The Petitioner seeks special permits under Section 6.43.3 and 6.44.1.g to allow for parking of two cars in tandem in the existing driveway in a location within 5 feet of building walls, thus requiring relief for access and dimensional compliance.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

~~The proposed construction and addition of two dwelling units at this location will not substantially impact the established neighborhood character, nor cause congestion hazard or negative impacts in terms of traffic generated or patterns of access or egress. The existing neighborhood is best characterized as a mix of commercial and densely-built residential uses, situated less than a block off a major highway (Monsignor O'Brien Highway). It is located adjacent to an auto repair shop, rug store, multi-family apartment buildings, fire station, commercial parking lots, and a used car dealer. The proposed construction expands residential use in a manner that is consistent with uses in the neighborhood and will allow for revitalization, upgrading, and improvement to this small, somewhat deteriorated aged structure. The proposed construction does not alter the access or egress from the site, which will continue to be served by a single driveway. Parking will be better managed, by removing the open paved area behind the building and providing two tandem parking spaces. The addition of two residential apartments at this location will not materially impact traffic in this well-traveled area just off Monsignor O'Brien Highway.~~

~~Finally, as described in the "Parking Analysis," the project meets the requirements set forth under Section 6.35.1 to support a waiver of required on-site parking, where the evidence set forth in the Parking Analysis shows that a lesser amount of parking (specifically, providing 2 tandem parking spaces, instead of the 3 parking spaces otherwise required for the project) "will not cause excessive congestion, endanger public safety, substantially reduce parking availability for other uses or otherwise adversely impact the neighborhood," and "that such lesser amount of parking will provide positive environmental or other benefits to the users of the lot and the neighborhood," namely in this case, the allowing space to landscape two green open space yards behind each of the buildings on the lot.~~

- C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The continued operation of or development of adjacent uses would not be adversely affected by this renovation which does not materially change the nature of this proposed use (by converting from 6 to 8 units on the merged lot) or impair the adjacent large, multi-family residential apartment buildings on either side of the project, the auto repair shop and rug shop at the rear and parking lot and fire station across the street. In fact, the development of this Property will bring about welcome improvement to the neighborhood.

- D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance or hazard will be created as a result of the proposed special permit relief, for the reasons described above. The expansion of the residential building is in keeping with the residential development density envisioned for the neighborhood. The parking plan that is proposed for the site is an improvement over the current conditions and provides space for two vehicles to park in tandem. The proposed plan, by limiting parking to the existing driveway, and converting areas behind both buildings to newly landscaped green spaces, will provide much improved areas for residents to enjoy the open spaces on the lot. In sum, the plan balances the need for parking with the desire to provide green open space to its residents. Additionally, the plans provide for ~~long-term bicycle parking in the basement of the 33 Gore Street building for two bicycles, thus meeting the requirements of Section 6.107,~~ with space for two short-term bicycle parking spaces for the rear yard. This bicycle-friendly development will support residents who are anticipated to use bicycles for transportation and avoid vehicle use altogether.

- E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The requested special permit relief can be granted without impairing the integrity of the District or adjoining district, because the new basement window will be in keeping with standard residential construction and consistent with neighborhood uses.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

For Permit



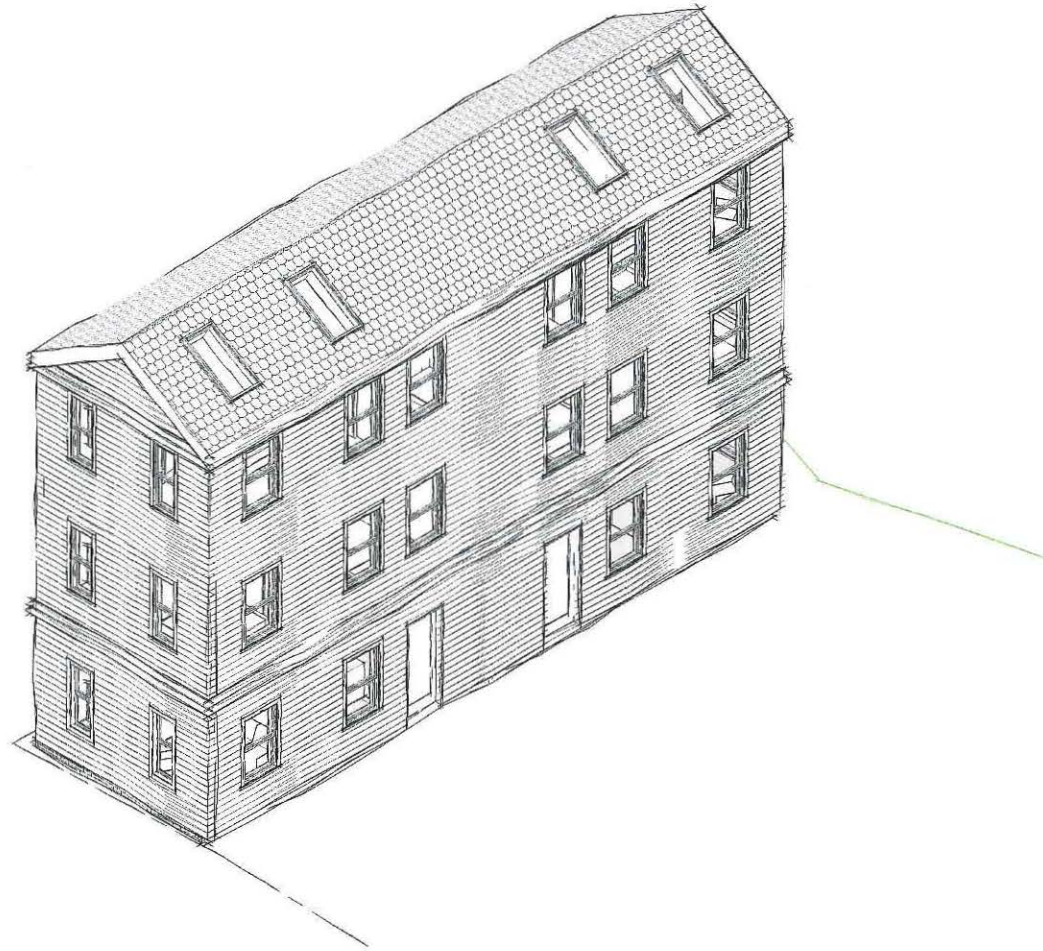
project number 308 drawing number A000 revision 1 03/26/2021

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Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.

Index of Drawings

A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A002	STANDARDS, GENERAL NOTES & ABBREVIATIONS
A010	MEANS OF EGRESS PLAN
A030	EXISTING FLOOR PLANS
A110	BASEMENT FLOOR PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
A113	THIRD FLOOR PLAN
A114	ROOF PLAN
A200	EXISTING EXTERNAL ELEVATIONS
A201	EXTERNAL ELEVATIONS
A202	EXTERNAL ELEVATIONS
A210	BUILDING SECTIONS



CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2021 APR -5 P 2:53

PROJECT NAME:

Gore Street Development

PROJECT ADDRESS:

33 Gore Street, Cambridge, MA 2141

PROJECT NO: 308

ISSUE DATE: 03/26/2021

3/26/2021 10:35:37 AM

CLIENT NAME:

33 Gore LLC, c/o Koskores Real Estate Corp.

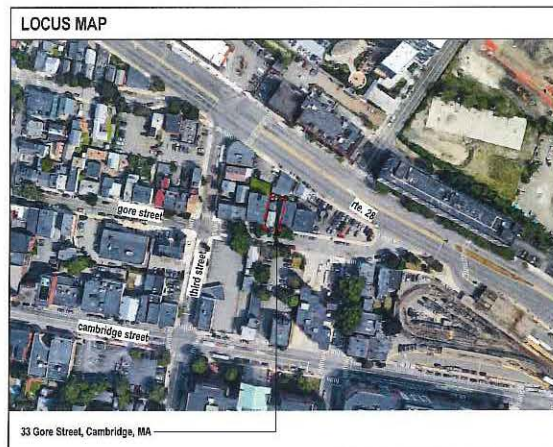
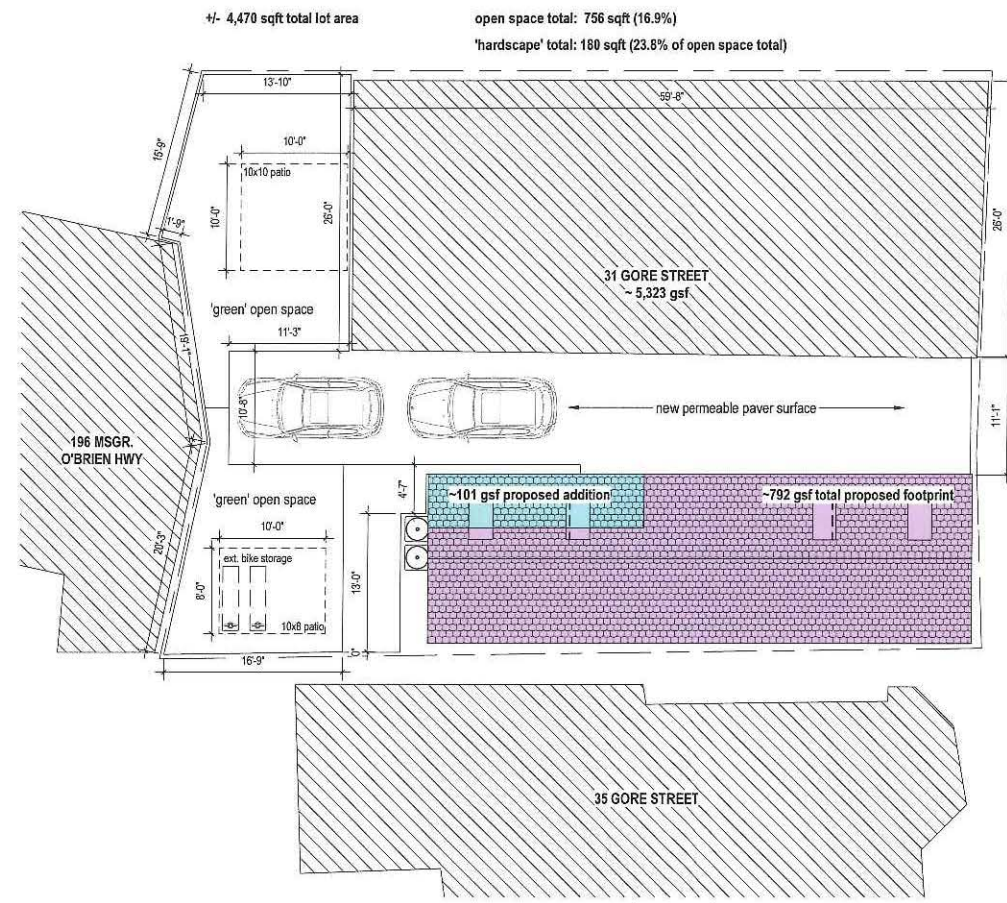
CLIENT ADDRESS:

2 Lincoln Street, Somerville, MA 02145

JOE THE ARCHITECT

343 Medford Street, Suite 4C,
Somerville, MA 02145
t: +1(617) 764-3503
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J t A



USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)		
Per Massachusetts state building code 780 CMR 9th edition/ international building code		
	Existing	Proposed
Use Group (780 CMR Section 304)	R-3	R-2
Type of construction (780 CMR Section 602)	Type V - B	Type V - B
Number of stories	2.25	4
Fire Protection	Building is not Fully Sprinklered	Building to be Fully Sprinklered
Building Element (780 CMR Section 601)		Fire Resistance Rating
primary structural frame	1	
bearing walls	1	
exterior walls	1	
interior walls	1	
non bearing walls and interior	0	
floor construction and secondary members	1	
roof construction and secondary members	1	
Notes		

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)						
Property Class	TWO - FAM - RES		Zoning Class	Res - C2B		
Map/Lot	20 - 105					
Neighborhood	East Cambridge					
Zoning Ordinance	Zoning Ordinance of the City of Cambridge					
Use & Lot	Zoning Data		Required	Existing Un-emerged (33 Gore)	Proposed Merged (33 Gore 31 Gore)	Existing Merged (site)
	Use	Residential	Residential	Residential	Residential	Residential
	# of Dwelling Units*	14 (max)	units	2	8	units
	Lot Area	5,000	sqft	1,035	3,435	sqft
	Lot Area / # of Dwelling Units*	600	sqft	517.5	sqft	559
	Gross Floor Area Footprints (All Buildings)	n/a	gsf	691	gsf	792
	Open Space (pervious area)	15	%	0	%	9.1
	Gross Floor Area	n/a	gsf	1,636	gsf	3,084
	Net Floor Area**** (sum of all useable sf)	n/a	nsf	1,496	nsf	2,574
	Floor Area Ratio (FAR) (ICC)	2.0		1.6		1.6
	Building Height	45	ft	27	ft	34.25
	Front Yard Setback	10	ft	0	ft	0
	Rear Yard Setback	20	ft	22.2	ft	22.2
	Side Yard Setback (left)	H+L/5	ft	1.75	ft	1.75
	Side Yard Setback (right)	H+L/5	ft	1.5	ft	2.75
	Street Frontage	20	ft	19	ft	59.83
	Distance Between Buildings	(H1-H2)/6	ft	9.6	ft	10.8
Additional Information						
ECHO (East Cambridge Housing Overlay) overlay district.						
Parcels merged via common ownership - 33 Gore Street & 31 Gore Street						

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)	
Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	248 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)	
Project Number	308
Project Title	Gore Street Development
Project Address	33 Gore Street, Cambridge, MA 02141
Client Name	Koskoreas Real Estate Corp.
Client Address	2 Lincoln Street, Somerville, MA 02145

PROJECT DESCRIPTION	
Renovation and addition to an existing multi family residential structure located in East Cambridge. Scope of work includes excavation and underpinning of existing basement foundation, new foundation at addition area. New penthouse floor to add a story to the original structure, complete interior renovation with new building utilities and window locations.	

EXISTING STRUCTURES (IEBC)	
Alteration - Level 3 (section 504)	

Based on our interpretation of the IEBC 2015 Chapter 5 - Classification of work, 33 Gore Street is Alteration - Level 3 (section 504). The work includes complete renovation of interior spaces, an addition to the rear of the existing footprint, a new 4th story, and excavation & underpinning of existing foundation. The Building is classification group R-2 with a project scope area of 100%, an automatic fire suppression system will be required. The work will comply with all the provisions of chapter for Level 1 alterations and level 2 alterations as well as all the required provisions for level 3 alterations.

For Permit

WARNING: Joe The Architect, Inc., all drawings and/or other material herein constitute the original and copyrighted work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractor to use Architectural drawings for all work. Contractor to check and verify all dimensions on site prior to Construction/Installation. Field Dimensions take precedence over Printed Dimensions. Any discrepancies should be immediately referred to Joe The Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when rolled or lamed. All work to comply with I.B.C. Regulations and relevant American Standards. © 2015 all rights reserved.

consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	03/09/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 2141

client information:
33 Gore LLC, c/o Koskoreas Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

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drawing title
SITE CONTEXT AND CODE ANALYSIS

project number 308	drawing scale As indicated	approver Approver
drawing number A001		revision 1

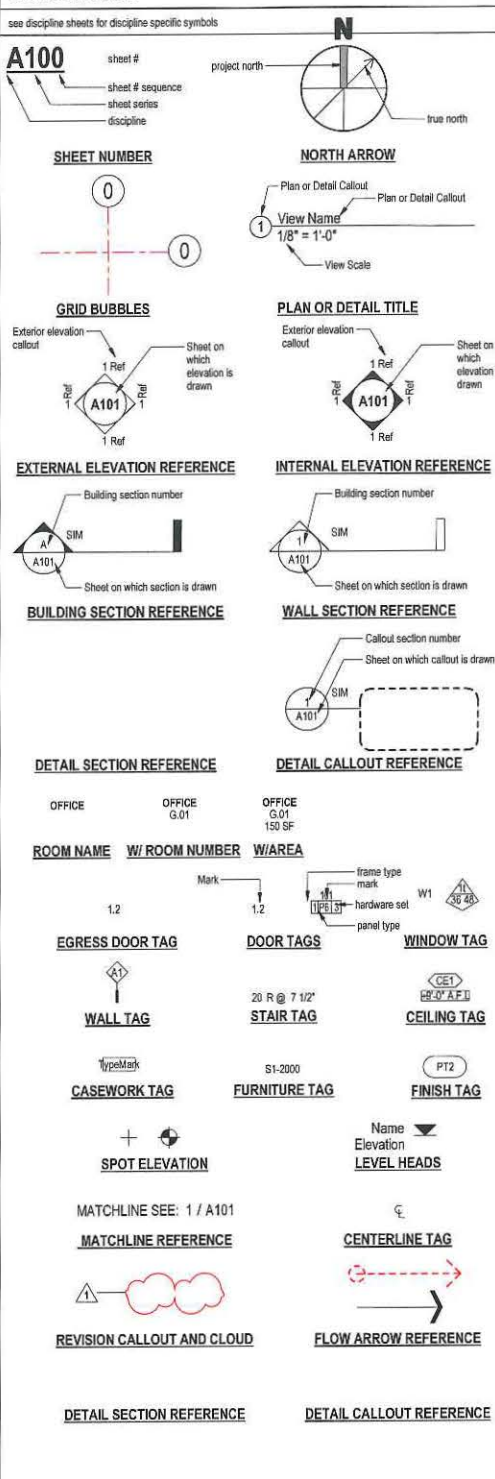
NOT FOR CONSTRUCTION

GENERAL NOTES AND LEGENDS ABBREVIATIONS

<p>A and</p> <p>AL align</p> <p>CL centerline</p> <p>PERP. perpendicular</p> <p>C channel</p> <p># number or pound</p> <p>/ per or divide</p> <p>A/C air condition</p> <p>ACT acoustic ceiling tile</p> <p>AD area drain</p> <p>ADJ adjustable</p> <p>AFF above finished floor</p> <p>AGGR aggregate</p> <p>ALUM aluminum</p> <p>AP acoustic panel</p> <p>APPX approximate</p> <p>APT apartment</p> <p>ARCH architectural</p> <p>ASB asbestos</p> <p>ASPH asphalt</p> <p>AVG average</p> <p>B board</p> <p>BLTUM bluish</p> <p>BLDG building</p> <p>BLK block</p> <p>BLKS blocking</p> <p>BM benchmark</p> <p>BO bottom of</p> <p>B/O by others</p> <p>BOO basis of design</p> <p>BOS bottom of steel</p> <p>BR bedroom</p> <p>BSMT basement</p> <p>BTB back to back</p> <p>C calceus</p> <p>CB cabinet</p> <p>CAB catch basin</p> <p>CER ceramic</p> <p>CF/CI contractor furnished/owner installed</p> <p>CG corner guard</p> <p>CH cast iron</p> <p>CI cast in place</p> <p>CJ construction joint</p> <p>CL centerline</p> <p>CLG ceiling</p> <p>CLR clear</p> <p>CLD closed</p> <p>CM crown molding</p> <p>CMU concrete masonry unit</p> <p>CNTR counter</p> <p>COL column</p> <p>CONC concrete</p> <p>CONT continuous</p> <p>CORR corridor</p> <p>CPT carpet</p> <p>CSW casework</p> <p>CTSK countersink</p> <p>CT ceramic tile</p> <p>CTR center</p> <p>CUH cabinet unit heater</p> <p>CW curtain wall</p> <p>D deep</p> <p>DBL double</p> <p>DEMO demolition</p> <p>DEPT department</p> <p>DET detail</p> <p>DF drinking fountain</p> <p>DH double hung</p> <p>DIA diameter</p> <p>DIM dimension</p> <p>DISP dispenser</p> <p>DN down</p> <p>DO door opening</p> <p>DR door</p> <p>DS downspout</p> <p>DSP dry stand pipe</p> <p>DW dishwasher</p> <p>DWS drawing(s)</p> <p>DWR drawer</p> <p>E existing</p> <p>EA east</p> <p>EIFS exterior insulation and finish system</p> <p>EJ expansion joint</p> <p>EL elevation</p> <p>ELEC electrical</p> <p>ELVTR elevator</p> <p>EMER emergency</p> <p>ENCL enclosure</p> <p>ES edge of slab</p> <p>EP electrical panel</p> <p>EPX epoxy</p> <p>EQ equal</p> <p>EQPT equipment</p> <p>ERD existing roof drain</p> <p>EW electrical water cooler</p> <p>EXH exhaust</p> <p>EXIST existing</p> <p>EXP exposed</p> <p>EXT exterior</p> <p>F finished</p> <p>FA fire alarm</p> <p>FACP fire alarm control panel</p> <p>FB flat bar</p> <p>FBO furnished by others</p> <p>FEC fire extinguisher cabinet</p> <p>FD floor drain</p> <p>FDC fire department connection</p> <p>FDN foundation</p> <p>FEC fire extinguisher</p> <p>FEC fire extinguisher cabinet</p> <p>FHC fire hose cabinet</p> <p>FIN finish</p> <p>FLUCR fluorescent</p> <p>FO finished opening</p> <p>FOC face of concrete</p> <p>FOM face of masonry</p> <p>FOS face of stud</p> <p>FW face of wall</p> <p>FPL fireplace</p> <p>FPR fire protection riser</p> <p>FRG fireproof</p> <p>FRP fiber reinforced panel</p> <p>FRT fire retardant treatment</p> <p>FS full size</p> <p>FSP fire standpipe</p> <p>FTR fire treated</p> <p>FTG footing</p> <p>FURR furring</p> <p>FBI furnish and install</p> 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maximum</p> <p>MC medium density fiberboard</p> <p>MD medium</p> <p>MDL modular</p> <p>MECH mechanical</p> <p>MEMB membrane</p> <p>MEP mechanical, electrical, plumbing</p> <p>MFR manufacturer</p> <p>MH manhole</p> <p>MIN minimum</p> <p>MIR mirror</p> <p>MISC miscellaneous</p> <p>MLD masonry opening</p> <p>MO mounted</p> <p>MTD metal</p> <p>MTL mullion</p> <p>MUL millwork</p> <p>MWK millwork</p> <p>N new construction</p> <p>NC not in contract</p> <p>NO number</p> <p>NO nominal</p> <p>NSF net square footage</p> <p>NTS not to scale</p> <p>O overall</p> <p>OA on center</p> <p>OC occupancy</p> <p>CCC outside diameter (DIM.)</p> <p>OFF office</p> <p>OFICI owner furnished/contractor installed</p> <p>OFIDI owner furnished/downer installed</p> <p>OFD overhead door</p> <p>OH opposite hand</p> <p>OPNG opening</p> <p>OPF opposite</p> <p>ORIG original</p> <p>P pendant</p> <p>P prefabricated</p> <p>PBL plumbing fixture</p> <p>PCC precast concrete</p> <p>PCF pounds per cubic foot</p> <p>PERF perforated</p> <p>PL plate</p> <p>PLAM plastic laminate</p> <p>PLA plaster</p> <p>PLF pounds per linear foot</p> <p>PLYWD plywood</p> <p>POS point of sale</p> <p>PR pair</p> <p>PRCST precast</p> <p>PRT partition</p> <p>PSF pounds per square foot</p> <p>PSI pounds per square inch</p> <p>PT paint</p> <p>PTD paper towel dispenser</p> <p>PTDR combination paper towel dispenser and receptacle</p> <p>PTL pressure treated lumber</p> <p>PTR pressure treated</p> <p>PVMT pavement</p> <p>Q quarry tile</p> <p>QT quantity</p> <p>R riser, right</p> <p>RA return air</p> <p>RAD radius</p> <p>RB resilient base</p> <p>RBR rubber base</p> <p>RCP reflected ceiling plan</p> <p>RD roof drain</p> <p>REF reference</p> <p>REFR refrigerator</p> <p>RELOC relocate</p> <p>REINF reinforced</p> <p>RECD required</p> <p>RESIL resilient</p> <p>REST restroom</p> <p>RGR register</p> <p>RH right hand</p> <p>RM room</p> <p>RP resilient panel</p> <p>RO rough opening</p> <p>RSP resilient sheet flooring</p> <p>RTU rooftop unit</p> <p>RWD rainwater</p> <p>RWL rainwater leader</p> <p>S supply air</p> <p>CA sound attenuation blankets</p> <p>SAB solid core</p> <p>SC solid core</p> <p>SCD seat cover dispenser</p> <p>SCHED schedule</p> <p>SD smoke detector</p> <p>SECT section</p> <p>SF square footage</p> <p>SH shelf</p> <p>SHR shower</p> <p>SHT sheet</p> <p>SIM similar</p> <p>SKL skylight</p> <p>SND sanitary napkin dispenser</p> <p>SNR sanitary napkin receptacle</p> <p>SNT sealant</p> <p>SOB symbol on background</p> <p>SO south</p> <p>SPD soap dispenser</p> <p>SPEC specification</p> <p>SQ square</p> <p>SS solid surface</p> <p>SSK service sink</p> <p>SST stainless steel</p> <p>ST stone</p> <p>STA station</p> <p>STD standard</p> <p>STL steel</p> <p>STR storage</p> <p>STR structural</p> <p>SUSP suspended</p> <p>SYM symmetrical</p> <p>T tile</p> <p>TB towel bar</p> <p>TBO to be determined</p> <p>TC top of curb</p> <p>TEL telephone</p> <p>TEMP temporary</p> <p>TER terrace</p> <p>TG tongue and groove</p> <p>THK thick</p> <p>TCC top of concrete</p> <p>TOP top of pavement</p> <p>TOS top of slab/top of steel</p> <p>TOW top of wall</p> <p>TPD toilet paper dispenser</p> <p>TR tread</p> <p>TV television</p> <p>TX textile upholstery</p> <p>TYP typical</p> <p>U underwriters' laboratories</p> <p>UNF unfinished</p> <p>UNO unless otherwise noted</p> <p>UR urinal</p> <p>V varnish</p> <p>VAR vapor barrier</p> <p>VB vinyl composition tile</p> <p>VCT vertical</p> <p>VERT vent</p> <p>VST verify in field</p> <p>VNR veneer</p> <p>W west</p> <p>W with</p> <p>WB wall base</p> <p>WC wall covering</p> <p>WD wood</p> <p>WFO without</p> <p>WP waterproof</p> <p>WSC wainscot</p> <p>WT weight</p> <p>WTC water closet</p> <p>WWM welded wire mesh</p>	<p>FRG fireproof</p> <p>FRP fiber reinforced panel</p> <p>FRT fire retardant treatment</p> <p>FS full size</p> <p>FSP fire standpipe</p> <p>FTR fire treated</p> <p>FTG footing</p> <p>FURR furring</p> <p>FBI furnish and install</p> <p>FUT future</p> <p>G gauge</p> <p>GA galvanized</p> <p>GB grab bar</p> <p>GC general contractor</p> <p>GFRC glass fiber reinforced concrete</p> <p>GFRC glass fiber reinforced gypsum</p> <p>GL glass / glazing</p> <p>GND ground</p> <p>GT grout</p> <p>GSP gross square foot</p> <p>GWB gypsum wall board</p> <p>GYP gypsum</p> <p>H high</p> <p>HB hose bib</p> <p>HC hollow core</p> <p>HWD hardwood</p> <p>HDWR hardware</p> <p>HWM hollow metal</p> <p>HORIZ horizontal</p> <p>HPT highpoint</p> <p>HR hour</p> <p>HT height</p> <p>HGT height</p> <p>I inside diameter, inside dimension</p> <p>ID inch</p> <p>IN information</p> <p>INSUL insulation</p> <p>INT interior</p> <p>J janitor</p> <p>JT joint</p> <p>JST joint</p> <p>K kitchen</p> <p>L laboratory</p> <p>LAM laminate</p> <p>LAV lavatory</p> <p>LB pound</p> <p>LED light emitting diode</p> <p>LF linear feet</p> <p>LH left hand</p> <p>LKR locker</p> <p>LT light</p> <p>LVL laminated veneer lumber</p> <p>LVR lower</p> <p>LVT luxury vinyl tile</p> <p>M maximum</p> <p>MC medium density fiberboard</p> <p>MD medium</p> <p>MDL modular</p> <p>MECH mechanical</p> <p>MEMB membrane</p> <p>MEP mechanical, electrical, plumbing</p> <p>MFR manufacturer</p> <p>MH manhole</p> <p>MIN minimum</p> <p>MIR mirror</p> <p>MISC miscellaneous</p> <p>MLD masonry opening</p> <p>MO mounted</p> <p>MTD metal</p> <p>MTL mullion</p> <p>MUL millwork</p> <p>MWK millwork</p> <p>N new construction</p> <p>NC not in contract</p> <p>NO number</p> <p>NO nominal</p> <p>NSF net square footage</p> <p>NTS not to scale</p> <p>O overall</p> <p>OA on center</p> <p>OC occupancy</p> <p>CCC outside diameter (DIM.)</p> <p>OFF office</p> <p>OFICI owner furnished/contractor installed</p> <p>OFIDI owner furnished/downer installed</p> <p>OFD overhead door</p> <p>OH opposite hand</p> <p>OPNG opening</p> <p>OPF opposite</p> <p>ORIG original</p> <p>P pendant</p> <p>P prefabricated</p> <p>PBL plumbing fixture</p> <p>PCC precast concrete</p> <p>PCF pounds per cubic foot</p> <p>PERF perforated</p> <p>PL plate</p> <p>PLAM plastic laminate</p> <p>PLA plaster</p> <p>PLF pounds per linear foot</p> <p>PLYWD plywood</p> <p>POS point of sale</p> <p>PR pair</p> <p>PRCST precast</p> <p>PRT partition</p> <p>PSF pounds per square foot</p> <p>PSI pounds per square inch</p> <p>PT paint</p> <p>PTD paper towel dispenser</p> <p>PTDR combination paper towel dispenser and receptacle</p> <p>PTL pressure treated lumber</p> <p>PTR pressure treated</p> <p>PVMT pavement</p> <p>Q quarry tile</p> <p>QT quantity</p> <p>R riser, right</p> <p>RA return air</p> <p>RAD radius</p> <p>RB resilient base</p> <p>RBR rubber base</p> <p>RCP reflected ceiling plan</p> <p>RD roof drain</p> <p>REF reference</p> <p>REFR refrigerator</p> <p>RELOC relocate</p> <p>REINF reinforced</p> <p>RECD required</p> <p>RESIL resilient</p> <p>REST restroom</p> <p>RGR register</p> <p>RH right hand</p> <p>RM room</p> <p>RP resilient panel</p> <p>RO rough opening</p> <p>RSP resilient sheet flooring</p> <p>RTU rooftop unit</p> <p>RWD rainwater</p> <p>RWL rainwater leader</p> <p>S supply air</p> <p>CA sound attenuation blankets</p> <p>SAB solid core</p> <p>SC solid core</p> <p>SCD seat cover dispenser</p> <p>SCHED schedule</p> <p>SD smoke detector</p> <p>SECT section</p> <p>SF square footage</p> <p>SH shelf</p> <p>SHR shower</p> <p>SHT sheet</p> <p>SIM similar</p> <p>SKL skylight</p> <p>SND sanitary napkin dispenser</p> <p>SNR sanitary napkin receptacle</p> <p>SNT sealant</p> <p>SOB symbol on background</p> <p>SO south</p> <p>SPD soap dispenser</p> <p>SPEC specification</p> <p>SQ square</p> <p>SS solid surface</p> <p>SSK service sink</p> <p>SST stainless steel</p> <p>ST stone</p> <p>STA station</p> <p>STD standard</p> <p>STL steel</p> <p>STR storage</p> <p>STR structural</p> <p>SUSP suspended</p> <p>SYM symmetrical</p> <p>T tile</p> <p>TB towel bar</p> <p>TBO to be determined</p> <p>TC top of curb</p> <p>TEL telephone</p> <p>TEMP temporary</p> <p>TER terrace</p> <p>TG tongue and groove</p> <p>THK thick</p> <p>TCC top of concrete</p> <p>TOP top of pavement</p> <p>TOS top of slab/top of steel</p> <p>TOW top of wall</p> <p>TPD toilet paper dispenser</p> <p>TR tread</p> <p>TV television</p> <p>TX textile upholstery</p> <p>TYP typical</p> <p>U underwriters' laboratories</p> <p>UNF unfinished</p> <p>UNO unless otherwise noted</p> <p>UR urinal</p> <p>V varnish</p> <p>VAR vapor barrier</p> <p>VB vinyl composition tile</p> <p>VCT vertical</p> <p>VERT vent</p> <p>VST verify in field</p> <p>VNR veneer</p> <p>W west</p> <p>W with</p> <p>WB wall base</p> <p>WC wall covering</p> <p>WD wood</p> <p>WFO without</p> <p>WP waterproof</p> <p>WSC wainscot</p> <p>WT weight</p> <p>WTC water closet</p> <p>WWM welded wire mesh</p>
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the preceding list of abbreviations is presented as a general guide and does not necessarily show all abbreviations used. other generally accepted abbreviations may be found among the drawings.

GENERAL NOTES AND LEGENDS SYMBOL LEGEND



GENERAL NOTES AND LEGENDS

- the drawings have been compiled from the best available information and are not intended to limit the scope of work. the contractor may uncover hidden conditions not shown in this contract set.
- the contractor shall perform all work described in the drawings and specifications and shall provide all items req'd for a complete functioning system, including appropriate blocking for wall mounted fixtures, shelving, accessories, etc.
- work shown but not included in this contract is noted "N.C." items to be provided by owner and installed by g.c. are so noted.
- general contractor shall make all sub-contractors and suppliers aware of the requirements of these notes.
- all work shall be performed in compliance with all applicable local, state and national building, life safety, electrical and plumbing codes having jurisdiction over this project.
- general contractor shall be responsible for securing all permits necessary for the completion of the work shown throughout the contract documents.
- general contractor shall layout in the field the entire work to be performed to verify dimensional relationships before proceeding with the construction and shall verify all existing conditions and locations / benchmarks before proceeding with work / installation.
- general contractor shall be responsible for the coordination of the dimensional requirements between the work of the required trades and sub-contractors.
- drawings shall not be scaled for dimensions and / or sizes. drawings may have been reproduced at a scale different than that originally drawn.
- general contractor shall field verify all existing conditions including dimensions, structure, utility lines, etc. any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying of a product, material or method of assembly is to be brought to the attention of the architect immediately. all drawings will be issued when or as required.
- g.c. & all trades, are responsible for coordination of the locations of all mech., elec., plumb, fixtures & devices. if conflict exist b/w drawings, exact locations shall be per architectural drawings or per field instruction of architect.
- g.c. & all trades subcontractor are responsible for reviewing & coordinating all trades' equipment and distribution including pipes, conduit, etc. to ensure that all fit in the allocated space. any conflict should be brought to the attention of the architect and appropriate engineer immediately, in writing.
- protect all existing walls, doors, etc. to remain. the contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged or disturbed during the course of the work, including shop applied finishes. existing finishes disturbed during the course of the work shall be repaired such that patches will not be detectable & the new surface will be continuous w/ adjacent surfaces. wall surfaces shall be smooth, durable, and stable, free of cracks, holes, dents etc.
- where new walls or construction are to meet existing, repair or replace existing adjacent finishes as req., such that the joint is smooth, flush and invisible when completed.
- g.c. and trades shall cut penetrations for mepp, security and data systems, through wall, through ceiling, through floor and through roof as required, patching of all surfaces w/ materials that match and align w/ that cut shall be accomplished under the base contract, whether specifically shown or not. each trade is responsible for providing appropriate fire rated, fire rated caulk, etc for all penetrations in fire rated separations in order to maintain/restore fire rating.
- dimensions:
 - all partition dimensions shown are to face of stud @ new wall construction u.o.n.
 - dimensions noted as "cl." mean clear dim. to face of finish.
 - all horiz. dims are shown on plans and vert. dims on interior & exterior elevations where relevant.
 - vertical dimensions are to t.o. subfloor, u.o.n.
- align electrical devices including switches, outlets, fire alarm devices, emergency lights, etc. vertically & horizontally, wherever in close proximity to each other, and unless prevented by code, see mounting heights schedule for typ. heights, see elevations for specific exceptions. align ceiling devices including smoke detectors, sprinkler heads, etc., with ceiling mounted lighting fixtures unless otherwise noted. center all between elements or within grid in both directions u.o.n.
- ea. trade is responsible for sealing air tight any penetrations made through air & vapor barriers.
- all metal & membrane flashings to be lapped positively to drain.
- separate dissimilar metals.

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consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	03/26/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

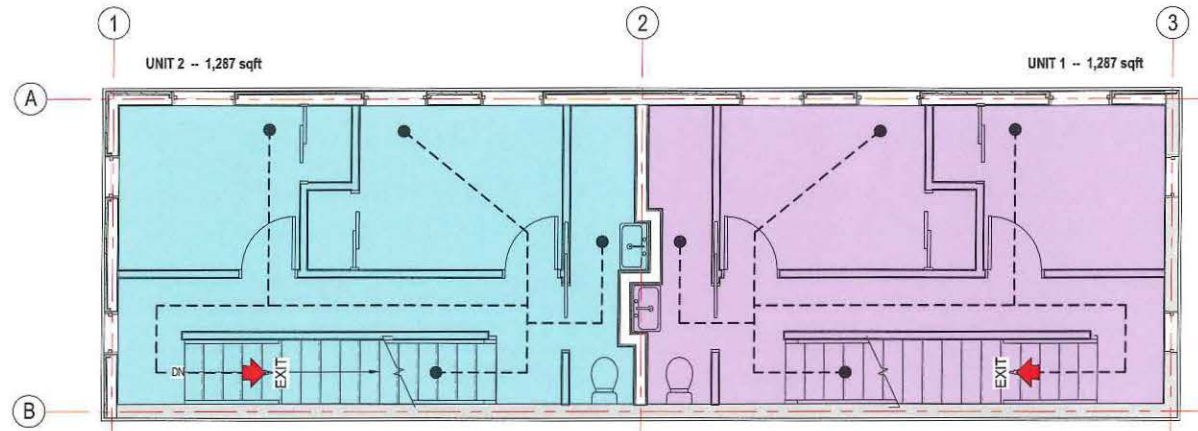
client information:
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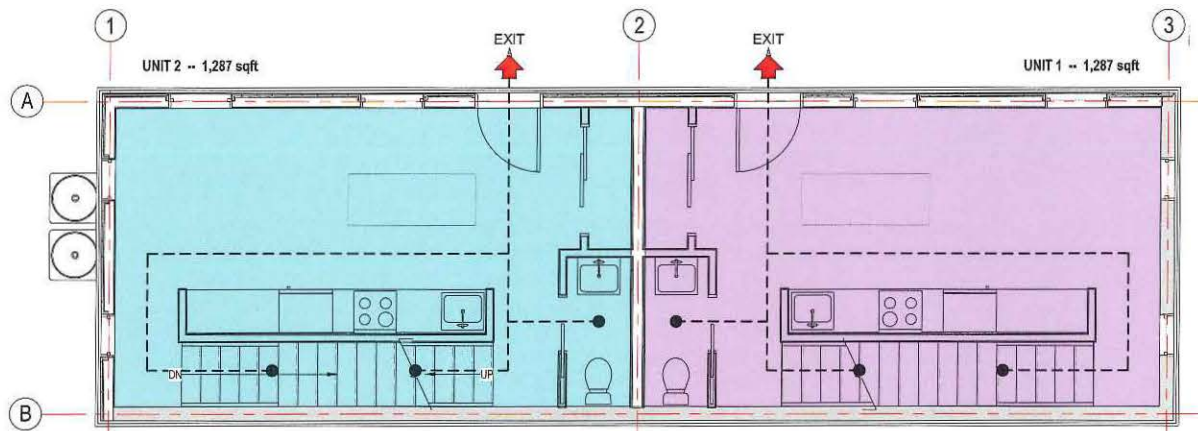
drawing title:
**STANDARDS, GENERAL
NOTES &
ABBREVIATIONS**

project number	drawing scale	approver
308	As indicated	Approver
drawing number	revision	
A002	1	

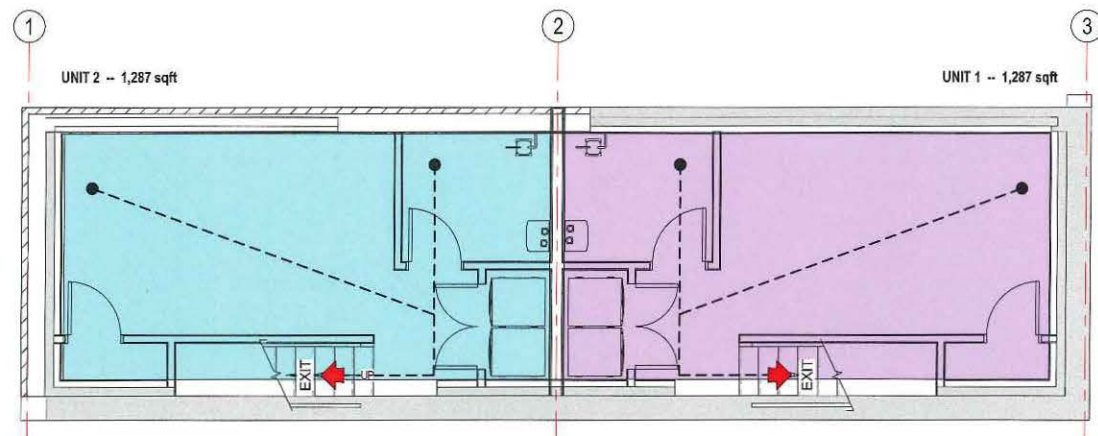
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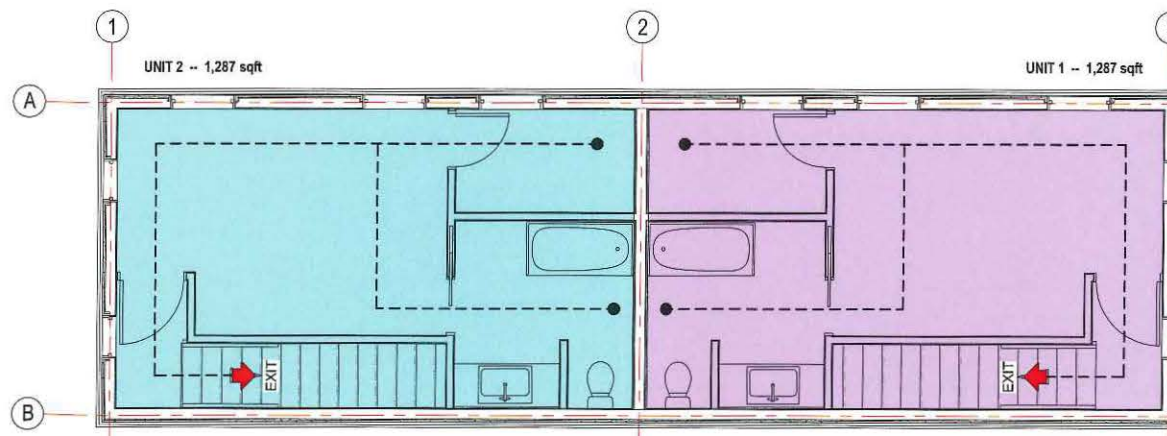
3 Second Floor Egress Plan
A010 1/4" = 1'-0"



1 First Floor Egress Plan
A010 1/4" = 1'-0"



2 Basement Egress Plan
A010 1/4" = 1'-0"



4 Third Floor Egress Plan
A010 1/4" = 1'-0"

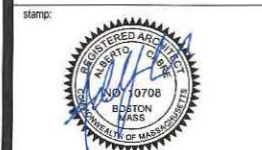
- GENERAL NOTES AND LEGENDS
EGRESS NOTES**
- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
 - the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/tenant. this information has not been independently verified by Joe The Architect, LLC.
 - refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
 - refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
 - refer to plumbing drawings if applicable for all plumbing fixture counts.
 - refer to structural drawings if applicable for all structural loads.

- GENERAL NOTES AND LEGENDS
LIFE SAFETY**
- sprinkler | standard; concealed; upright
 - fire alarm pull station
 - fire alarm control panel
 - fire alarm remote panel
 - fire extinguisher cabinet
 - fire extinguisher wall hung
 - fire alarm horn & strobe
 - photoelectric smoke detector
 - carbon monoxide detector
 - smoke / carbon monoxide detector
 - emergency lighting; battery pack
 - exit signage with direction indicator
 - building exit arrow indicator
 - egress path of travel indicator
 - egress exit triangle indicator
 - egress exit triangle indicator; horizontal exit
 - egress exit triangle indicator; exit discharge
 - door mark indicator number

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revision	revision description	date
1	SPECIAL PERMIT	03/06/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

client information:
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2 Lincoln Street, Somerville, MA 02145

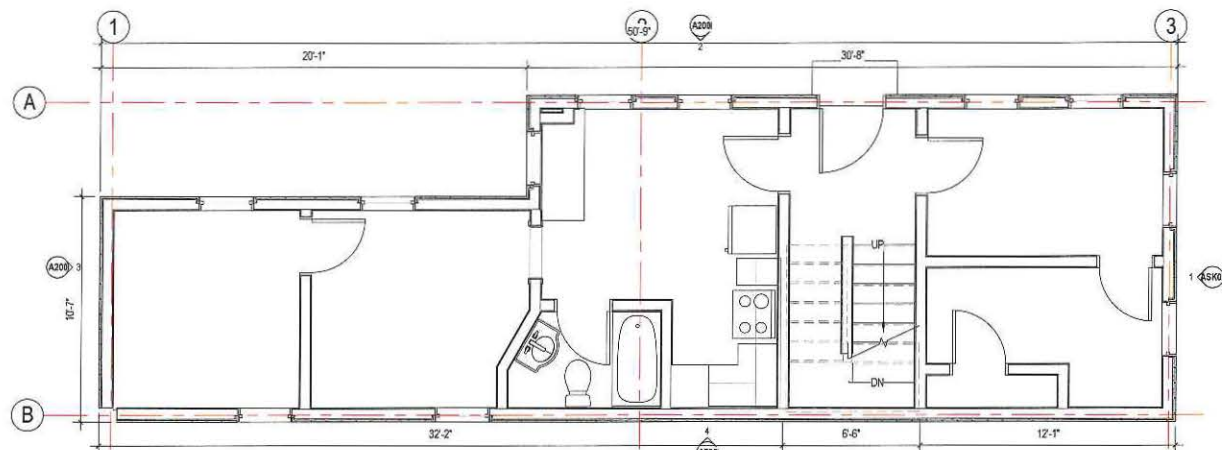
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drawing title
**MEANS OF EGRESS
PLAN**

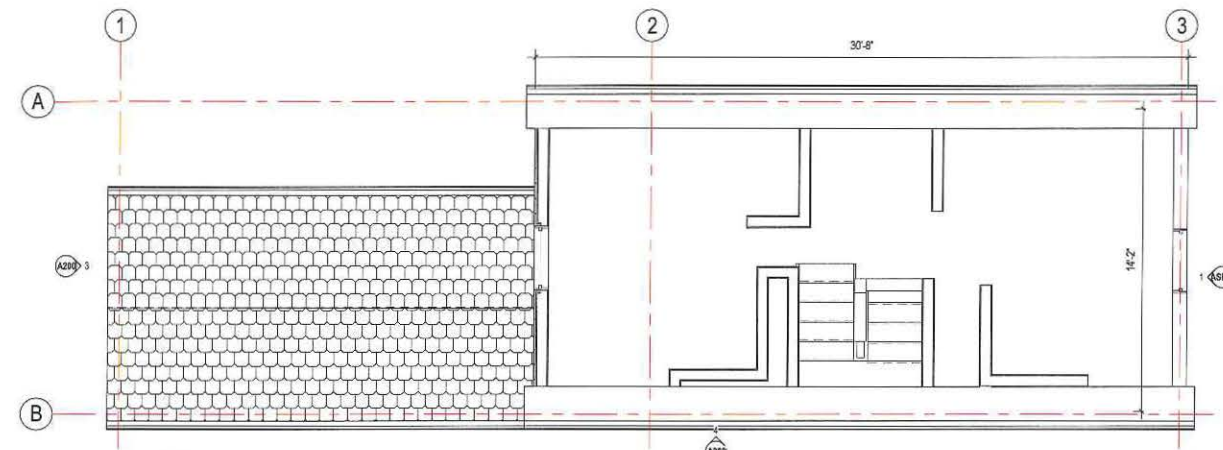
project number 308	drawing scale As Indicated	approver Approver
drawing number A010	revision 1	



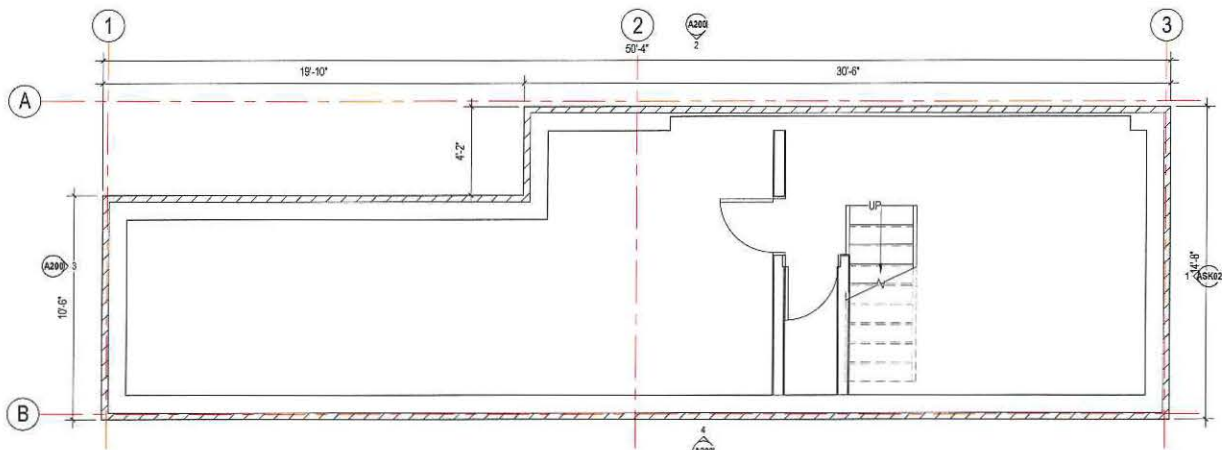
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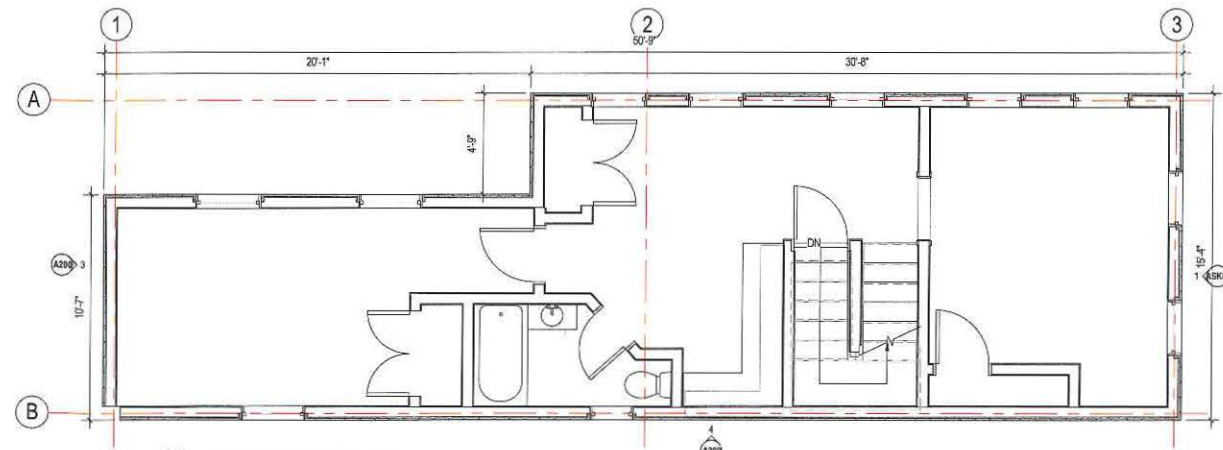
1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



3 EXISTING THIRD FLOOR PLAN
1/4" = 1'-0"



4 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



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revision	revision description	date
1	SPECIAL PERMIT	03/05/2021

project title:
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drawing title
EXISTING FLOOR PLANS

project number	drawing scale	approver
308	1/4" = 1'-0"	Approver
drawing number	revision	
A030	1	

NOT FOR CONSTRUCTION

GENERAL NOTES AND LEGENDS

DEMOLITION

- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see general construction notes on sheet A100.
- see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
- all locations where infill walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule. coordinate areaway drains and floor drains with plumbing drawings.
- provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a "s" represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing walls were removed.
- provide leveling compound over all existing concrete floor areas to receive new floor covering, no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking as required.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of mspip equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners. blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted.
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials, u.n.s.
- mspip elements shown are schematic and are provided for reference. only refer to mspip drawings & specifications for more information.
- exterior masonry dimensions are indicated to centerline of joints.
- window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
- provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
- all material installation to be level & plumb.
- see A140 series for all finishes.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

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revision	revision description	date
1	SPECIAL PERMIT	03/26/2021

project title:
Gore Street Development

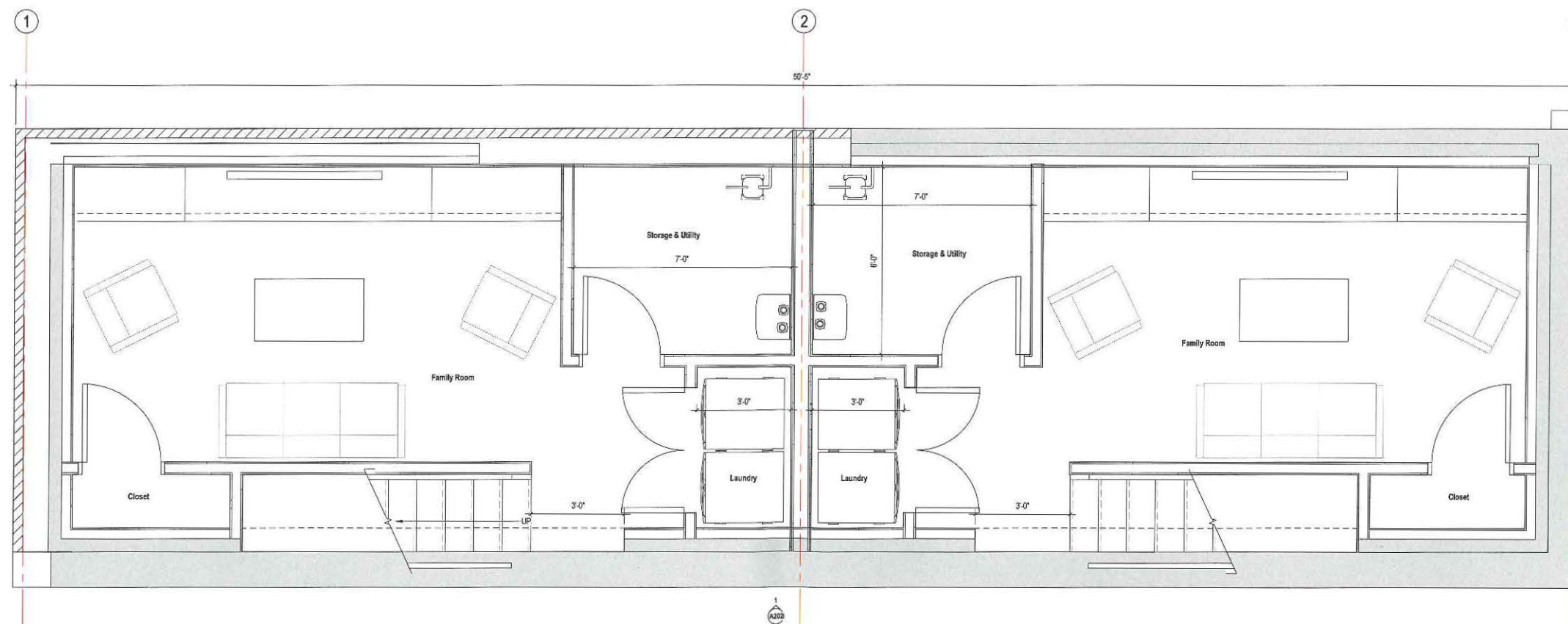
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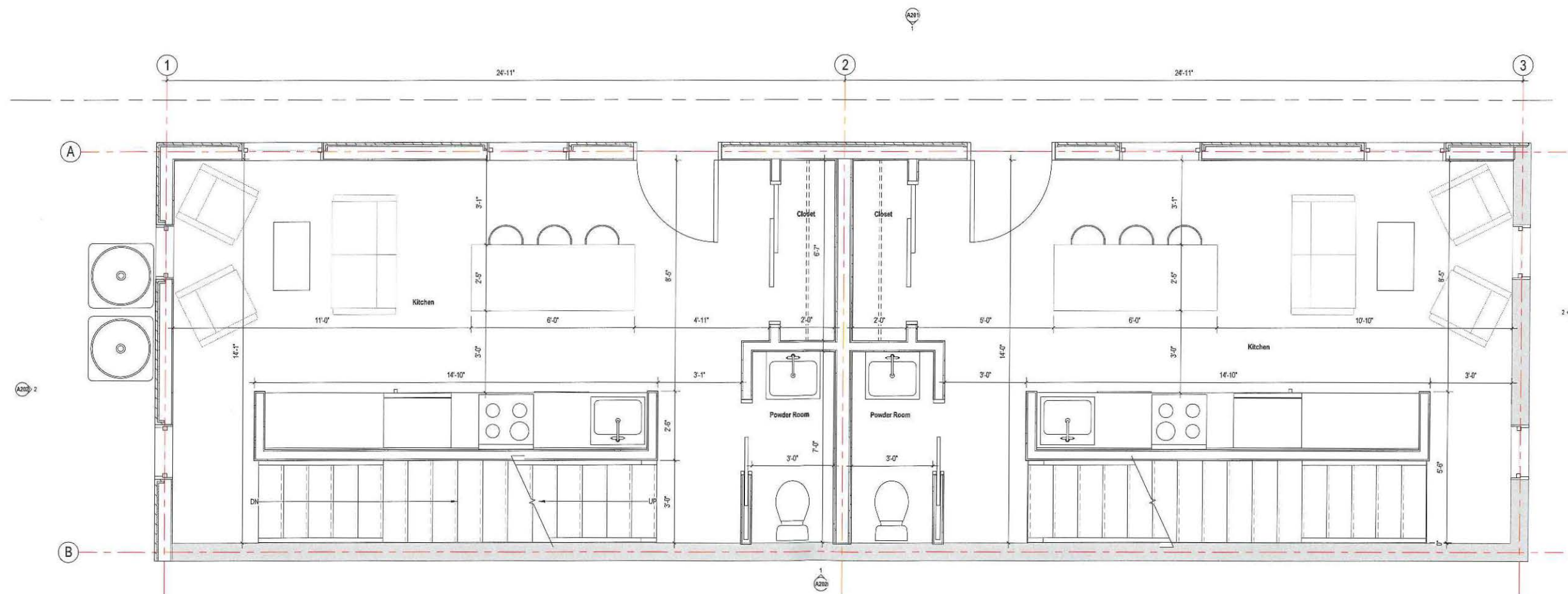
drawing title
BASEMENT FLOOR PLAN

project number	drawing scale	approver
308	As indicated	Approver
drawing number	revision	
A110	1	



1 BASEMENT FLOOR PLAN
A110 1/2" = 1'-0"

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1 FIRST FLOOR PLAN
1/2" = 1'-0"



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1	SPECIAL PERMIT	03/26/2021

project title:
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33 Gore Street, Cambridge, MA 2141

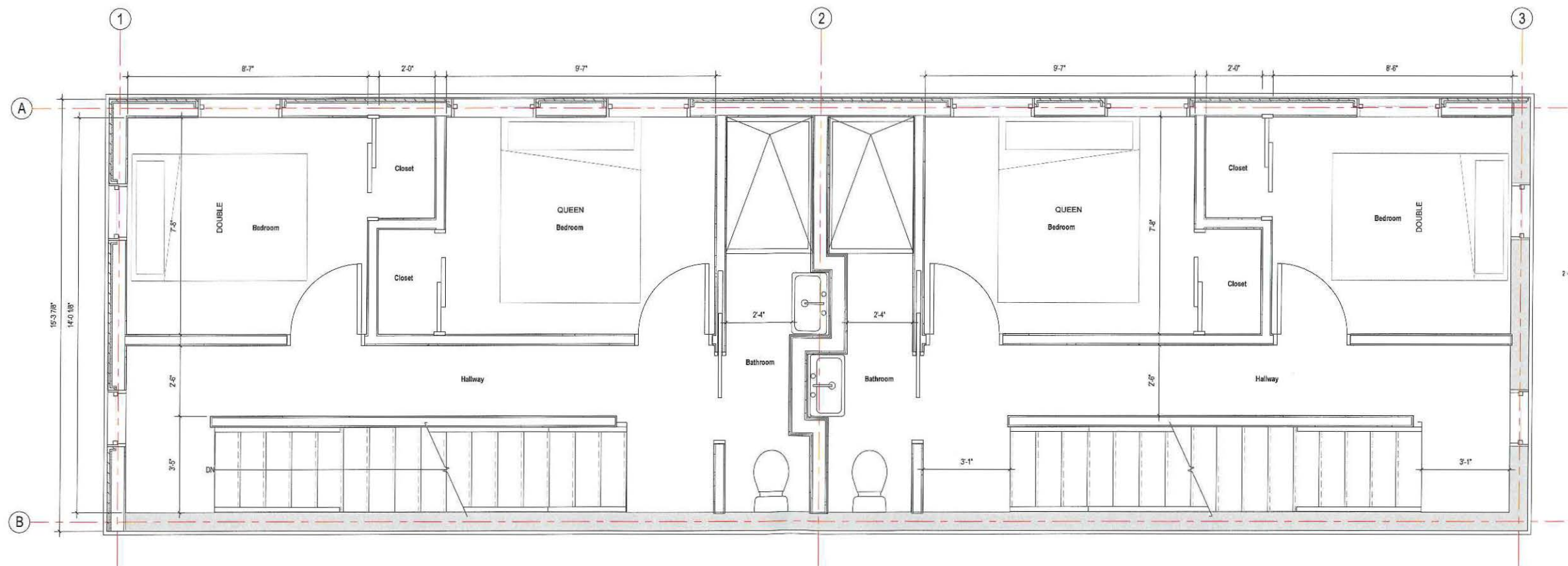
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drawing title
FIRST FLOOR PLAN

project number	drawing scale	approver
308	1/2" = 1'-0"	Approver
drawing number	revision	
A111	1	

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1 SECOND FLOOR PLAN
A112 1/2" = 1'-0"



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revision	revision description	date
1	SPECIAL PERMIT	03/25/2021

project title:
Gore Street Development

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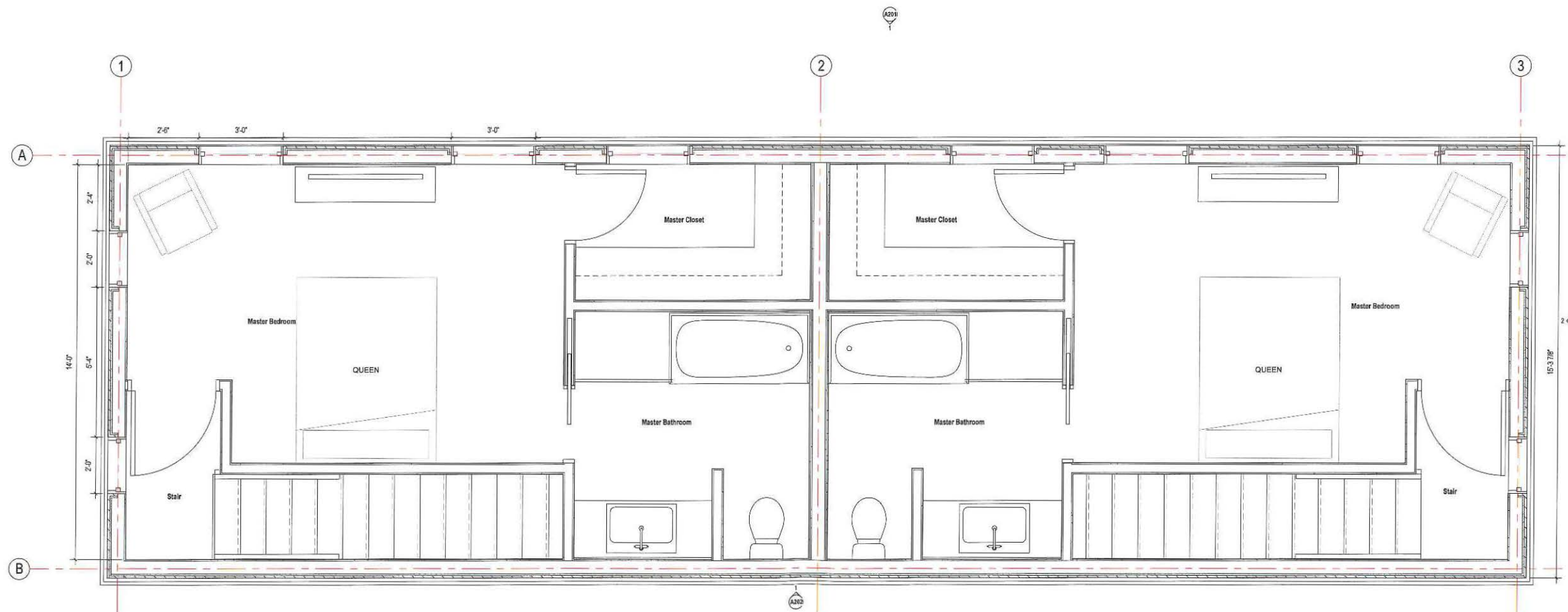
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drawing title
SECOND FLOOR PLAN

project number 308	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A112	revision 1	

NOT FOR CONSTRUCTION



1 THIRD FLOOR PLAN
A113 1/2" = 1'-0"



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revision	revision description	date
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project title:

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client information:

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2 Lincoln Street, Somerville, MA 02145

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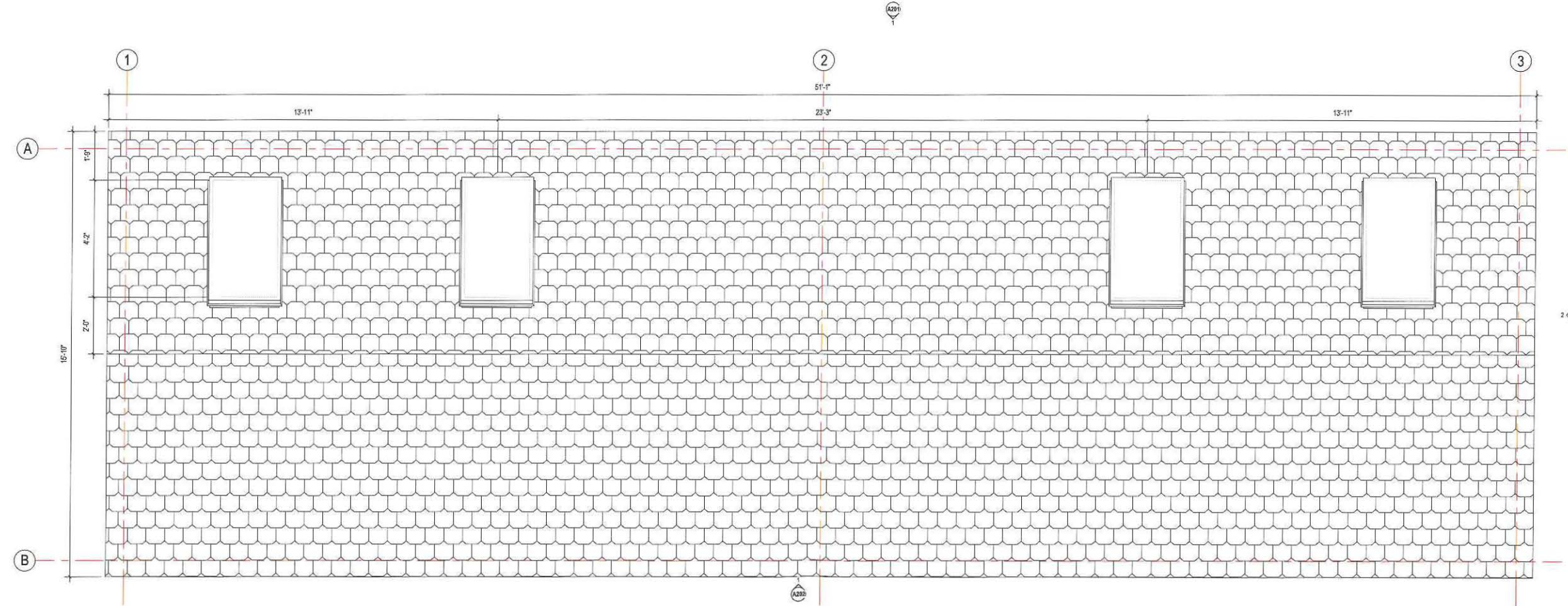
343 Medford Street, Suite 4C Somerville, MA 02145
t: +1(617) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title

THIRD FLOOR PLAN

project number	drawing scale	approver
308	1/2" = 1'-0"	Approver
drawing number	revision	
A113	1	

NOT FOR CONSTRUCTION



1 ROOF PLAN
A114 1/2" = 1'-0"

For Permit

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consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	03/28/2021

project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141
client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

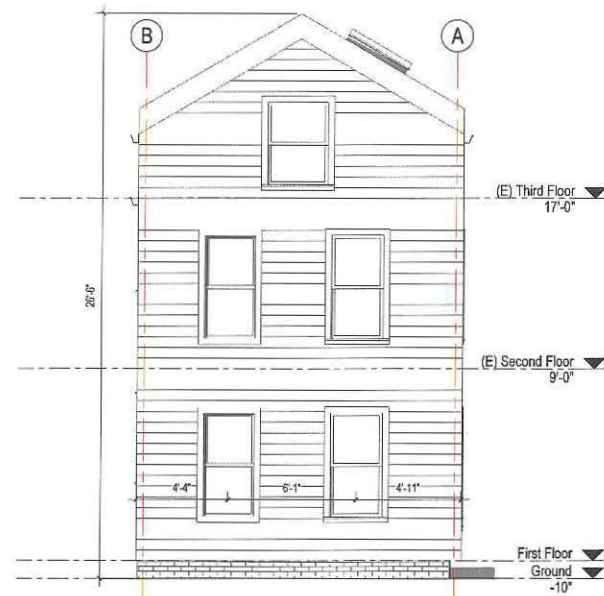
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drawing title:
ROOF PLAN

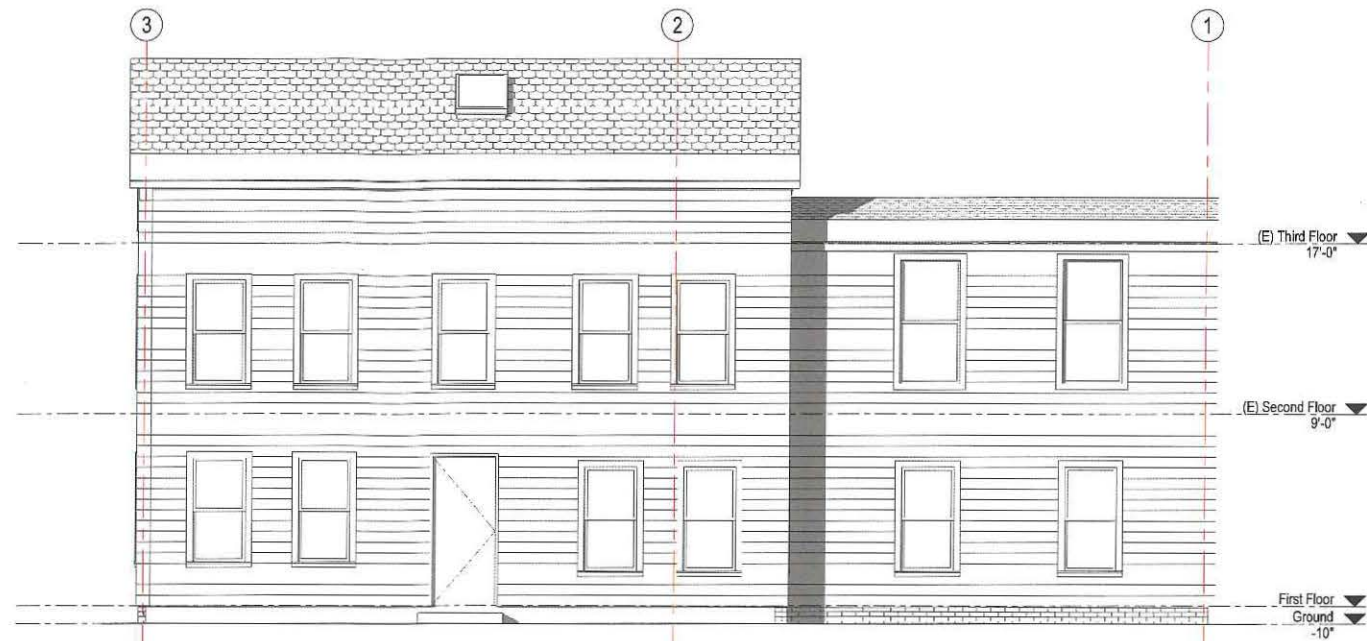
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drawing number A114	revision 1	



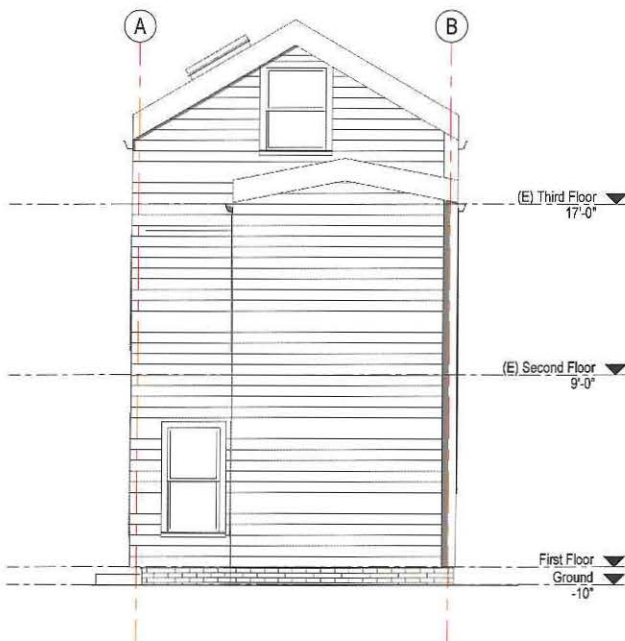
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3/28/2021 10:25:46 AM



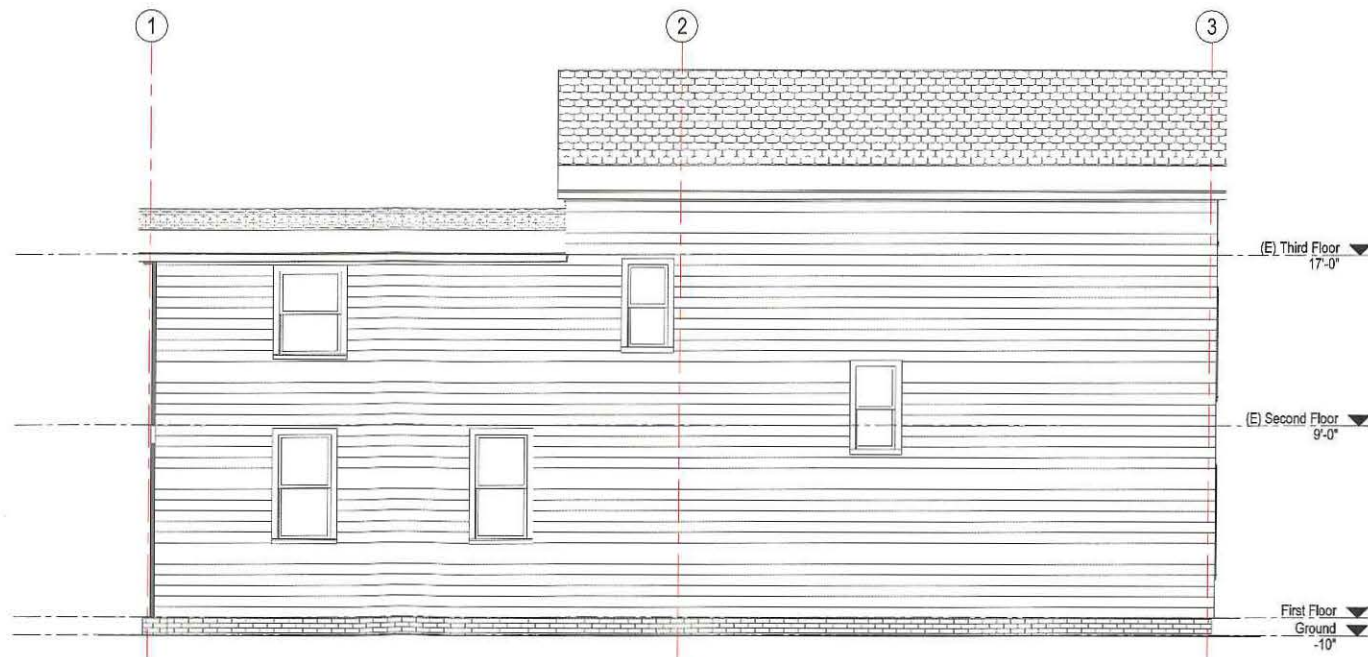
1 Existing South Elevation
A200
1/4" = 1'-0"



2 Existing East Elevation
A200
1/4" = 1'-0"



3 Existing North Elevation
A200
1/4" = 1'-0"



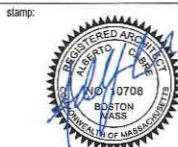
4 Existing West Elevation
A200
1/4" = 1'-0"



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consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	03/26/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

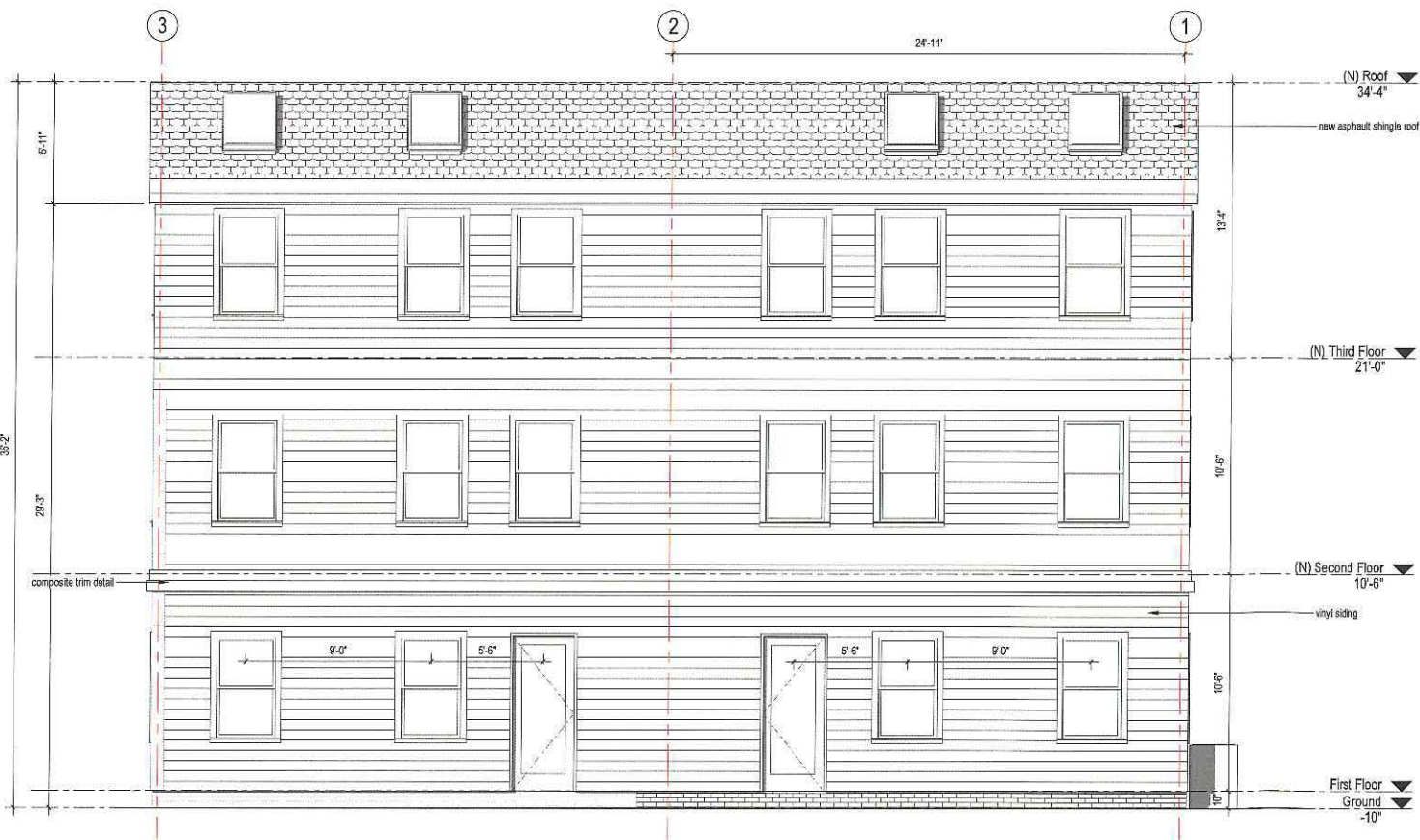
client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
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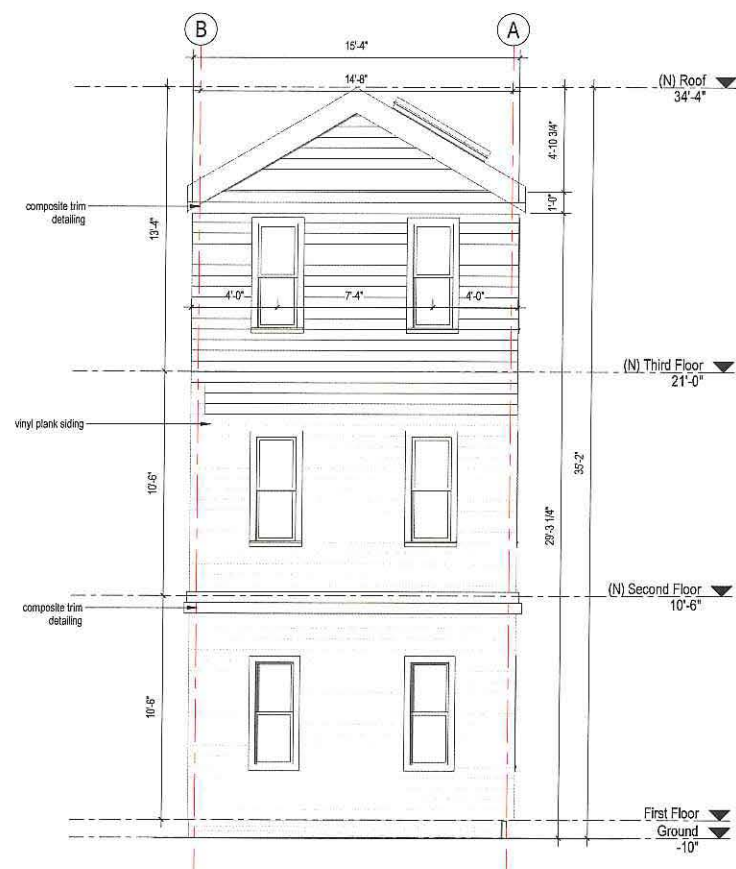
drawing title
EXISTING EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A200	revision 1	

NOT FOR CONSTRUCTION
3/26/2021 10:50 AM



1 PROPOSED EAST ELEVATION
A201 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A201 1/4" = 1'-0"



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consultant / contractor information:

stamp:



revision	revision description	date
1	SPECIAL PERMIT	03/26/2021

project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141
client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

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drawing title
EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A201	revision 1	

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discrepancies should be immediately referred to the architect. The project manager
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of drawings may change when copied or used. All work is subject to the IBC, Regulations
and various local codes.
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consultant / contractor information:

stamp:



revision	revision description	date
1	SPECIAL PERMIT	03/26/2021

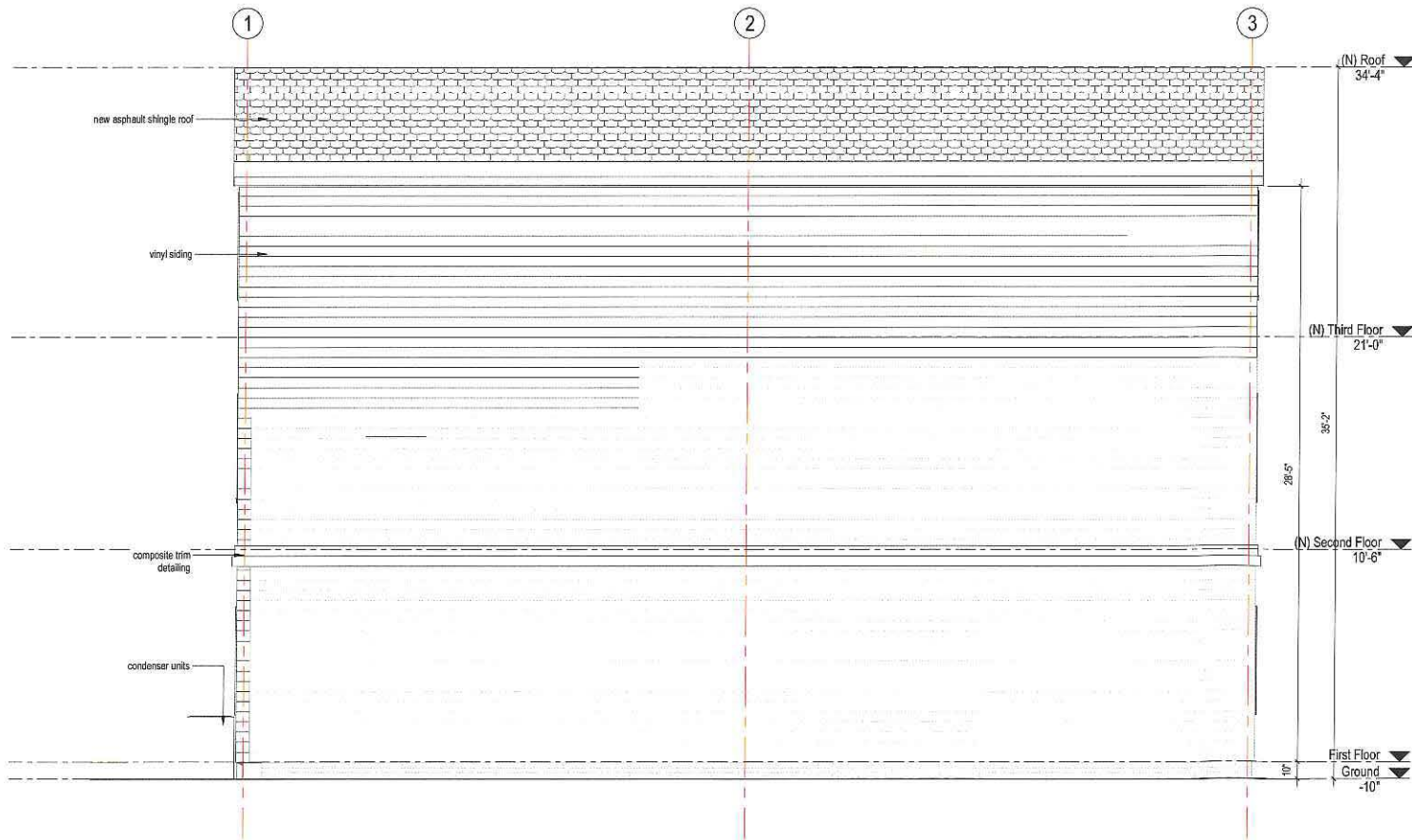
project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141
client information:
33 Gore LLC, c/o Koskores Real Estate
Corp.
2 Lincoln Street, Somerville, MA 02145

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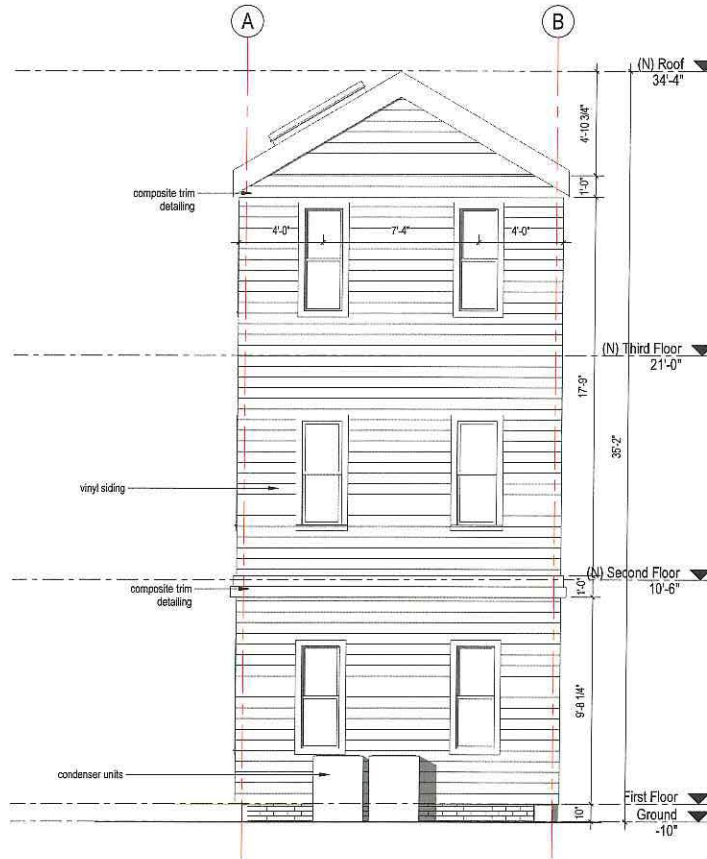
drawing title
EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A202	revision 1	

NOT FOR CONSTRUCTION



1 PROPOSED WEST ELEVATION
A202 1/4" = 1'-0"

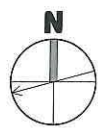


2 PROPOSED NORTH ELEVATION
A202 1/4" = 1'-0"





1 UNIT DIVISION SECTION
A210 1/4" = 1'-0"



For Permit

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consultant / contractor information:

stamp:



revision	revision description	date
1	SPECIAL PERMIT	03/29/2021

project title:
Gore Street Development
33 Gore Street, Cambridge, MA 2141
client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

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t: +1(817) 764-3593 e: askjoe@joethearchitect.com
www.joethearchitect.com

drawing title
BUILDING SECTIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A210	revision 1	

NOT FOR CONSTRUCTION

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2021 APR -5 P 2:54

33 GORE STREET

SPECIAL PERMIT

03 / 26 / 2021

1

03/26/21

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PD SD DD CD CA

J t A
JOE THE ARCHITECT









CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2021 JUN -7 P 4: 05

June 7, 2021

VIA Email and In Hand Delivery

Board of Zoning Appeal
City of Cambridge
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA Case No. BZA106913-2021, 33 Gore Street – Supplemental Materials

Dear Members of the Board:

On behalf of the petitioners, enclosed please find the following revised and supplemental application materials:

- 1) Memorandum in Support of Special Permit
- 2) Revised Architectural Plans
- 3) Revised Renderings
- 4) Revised Landscape Plan

Thank you for your consideration of this Application.

Sincerely,



Sarah Like Rhatigan, Esq.

CC (via email only):

Mr. Christopher Koskores
Mr. Peter Koskores
Mr. Charles Sullivan
Ms. Sarah Burks
Mr Eric Hill

MEMORANDUM IN SUPPORT OF SPECIAL PERMIT

33 GORE STREET, CAMBRIDGE, MA
BZA CASE NO. 106913-2021

INTRODUCTION:

The Petitioner seeks to renovate and expand this legally pre-existing, non-conforming, two-family dwelling, by building up and constructing an addition to square off a rear el of the Property.

On April 1st, the Petitioner presented their plans to the Cambridge Historical Commission. The Historical Commission approved the application “on the condition that the existing front block of the house be raised up and the new story be constructed at the first floor level... The approval was also subject to the condition that exterior construction details and materials be submitted for Historical Commission staff review and approval.” (See Copy attached here, for your reference).

REVISED MATERIALS:

The revised architectural plans, dated June 3, 2021, reflect changes made in response to the Historical Commission’s conditions, to construct the addition at the first floor level, to adjust the front windows and trim to better maintain the original look of the original structure, and to add entry door hoods, similar to the existing one. There are no changes to the plans that affect bulk or dimensional elements of the project, or other matters that affect the zoning relief requested of this Board.

The revised landscape plan, prepared by Michael D’Angelo, reflects the modified landscape plan for the two-family dwelling plan, with rear patios and lawn areas, screening of exterior condensers, and other details of specimen and hardscape materials.

The revised renderings, dated June 3, 2021, incorporate the exterior window, trim and entry door hood changes made to the plans in response to the Historical Commission’s recommendations.

PETITIONER'S APPLICATION MAY BE APPROVED BY SPECIAL PERMIT:

After meeting with Commissioner Ranjit Singanayagam on April 12 and again on June 7, 2021, the Commissioner confirmed that the alterations reflected in the plans were appropriate for review as a special permit under the Bellalta v. Board of Appeals of Brookline, Slip Opinion SJC-12516 (SJC 2019), recently codified by an amendment to the Zoning Ordinance, adding a new Section 8.22.2(d), where the Petitioner's plans do not propose any new dimensional nonconformity and no change of use.

The 33 Gore Street Property is a two-family structure and the proposed construction increases preexisting, dimensionally nonconforming aspects of the building – namely, by extending up the height of the left side wall of the structure which preexisted, since the mid-1800s, nonconforming in that it now violates current side-yard setback requirements for the district. No new nonconformities are being created. Whereas the Petitioner's original application sought to add two additional dwelling units, the revised application maintains this as a two-family structure.

The project plans seek other special permit relief under Section 6.43.3 and 6.44.1.g to allow for parking of two cars in tandem in the existing driveway, as such would allow for an improved, rational and safe use of the existing driveway for parking of two vehicles for the inhabitants of the two dwelling units at 33 Gore Street.

The Petitioner has met with the East Cambridge Planning Team (ECPT) and is aware of the ECPT's letter expressing its preference to see an addition that would extend to cover the rear of the lot. The Petitioner has reviewed the concept sketch carefully, and determined that it raises issues, creating new zoning violations at the rear and left yard setbacks, results in the total elimination of the yard, and required green and open space for this property, and loss of parking, and would cause negative impacts for the immediate abutters to the project. For these reasons, the Petitioner has respectfully been unable to accommodate these recommendations.

The Petitioner has consulted with and received the express support from its adjoining neighbors who are most impacted by the changes proposed on the lot. The construction proposed will have minimal impacts upon neighboring uses and result in desirable improvements to an aged, structure, and allow for the modernization and improvement for living conditions of its future residents.

CONCLUSION:

For the reasons stated above, and as described in Petitioner's application, the project meets the requirements for a special permit. The proposed construction will not substantially impact the established neighborhood character, nor cause congestion hazard, or negative impacts in terms of traffic generated or patterns of access or egress. The

continued operation of or development of adjacent uses would not be adversely affected by this alteration to the existing structure. No nuisance or hazard will be created. The renovation and expansion of the residential dwelling unit is in keeping with the residential development density envisioned for the neighborhood. The parking plan that is proposed for the site is an improvement over the current conditions, and provides space for two vehicles to park in tandem. The proposed plan, by limiting parking to the existing driveway, and converting areas behind both buildings to newly landscaped green spaces, will provide much improved areas for residents to enjoy the open spaces on the lot. In sum, the plan balances the need for parking with the desire to provide green open space to its residents. The requested special permit relief can be granted without impairing the integrity of the District or adjoining district.

Respectfully submitted,

On behalf of the Petitioner,

Sarah Like Rhatigan, Esq.
Trilogy Law LLC
12 Marshall Street
Boston, MA 02108
617-543-7009



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139

Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112

E-mail: [histcomm@cambridgema.gov](mailto:hstcomm@cambridgema.gov) URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*; Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*

Joseph V. Ferrara, Chandra Harrington, Elizabeth Lyster, Caroline Shannon, Jo M. Solet, *Members*

Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

CERTIFICATE OF APPROPRIATENESS

Property: 33 Gore Street
Applicant: 33 Gore LLC
Attention: c/o Sarah Rhatigan, Attorney
Trilogy Law
2 Lincoln Street
Somerville, Mass. 02145

The Cambridge Historical Commission hereby certifies, pursuant to the Massachusetts Historic Districts Act (MGL Ch. 40C) and the Cambridge Historical Buildings and Landmarks Ordinance (Cambridge City Code, Ch. 2.78), that the work described below is not incongruous to the historic aspects or architectural character of the building or district:

Renovate and expand the existing house as described,

1. Raise up the existing 2.5-story house and construct a new first floor below it.
2. Excavate and underpin the existing foundation and construct a new foundation at the expanded ell.
3. Remove the existing ell and construct a new addition to match the height of the front block of the house.

The overall massing, site plan, and location of doors and windows shall be carried out as described in the plans and elevations by Joe the Architect titled, "33 Gore Street, Cambridge, MA 02141," and dated 3/26/2021.

The application was approved on the condition that the existing front block of the house be raised up and the new story be constructed at the first floor level. This will assist in the preservation of the existing wall and roof framing. The approval was also subject to the condition that exterior construction details and materials be submitted for Historical Commission staff review and approval prior to application for a building permit.

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issue. If the work authorized by this certificate is not commenced within six months after the date of issue, or if such work is suspended in significant part for a period of one year after the time the work is commenced, then this certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time, for periods not exceeding six months each, may be allowed in writing by the Chair.

Case Number: 4487

Date of Certificate: 4/7/2021

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on 4/7/2021.

By Susannah B. Tobin/slb, ^{Vice}Chair.

Twenty days have elapsed since the filing of this decision.

No appeal has been filed _____. Appeal has been filed _____.

Date _____, City Clerk

ORDINANCE NO. 2021-1 - FINAL PUBLICATION

CITY OF CAMBRIDGE

In the Year Two Thousand and Twenty-One

AN ORDINANCE

That the Zoning Ordinance of the City of Cambridge be amended on a petition by the City of Cambridge Law Department, along with the Community Development Department and Inspectional Services Department to amend Article 8.000 of the Cambridge Zoning Ordinance as follows:

In Article 8.000 Nonconformity, add a Section 8.22.2(d) that reads as follows:

d. In all districts the Board of Zoning Appeal may grant a special permit for the alteration or enlargement of a preexisting dimensionally nonconforming detached single-family dwelling or two-family dwelling, not otherwise permitted in Section 8.22.1 above, but not the alteration or enlargement of a preexisting nonconforming use, provided that there is no change in use and that any enlargement or alteration of such preexisting nonconforming detached single-family dwelling or two-family dwelling may only increase a preexisting dimensional nonconformity but does not create a new dimensional nonconformity. In order to grant the special permit the Board of Zoning Appeal is required to find that the alteration or enlargement shall not be substantially more detrimental than the existing nonconforming structure to the neighborhood, and that the alteration or enlargement satisfies the criteria in Section 10.43.


In City Council April 5, 2021.

Passed to be ordained by a yeas and nays vote:

Yeas 9; Nays 0; Absent 0.

Attest:- Anthony I. Wilson, City Clerk

A true copy;

ATTEST:-  Anthony I. Wilson, City Clerk

BZA Application Form****REVISED 6.07.21****DIMENSIONAL INFORMATION****Applicant:** 33 Gore LLC**Present Use/Occupancy:** Multi-family residential**Location:** 12 Marshall Street**Zone:** Business A/Residence C Zone/ECHO**Phone:** 617-543-7009**Requested Use/Occupancy:** Multi-family residential

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	7,159	8,387	8,387	(max.)
<u>LOT AREA:</u>	4,470	4,470	5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	1.6	1.9	1.9	
<u>LOT AREA OF EACH DWELLING UNIT</u>	559	559	300	
<u>SIZE OF LOT:</u> WIDTH	60	60	50	
DEPTH	74	74	n/a	
<u>SETBACKS IN FEET:</u> FRONT	0	0	10.0	
REAR	22.2 (33 Gore)/14.6 (31 Gore)	21.2 (33 Gore)/14.6 (31 Gore)	20.0	
LEFT SIDE	1.75	1.75	(H+L)/5	
RIGHT SIDE	2.75	2.75	(H+L)/5	
<u>SIZE OF BUILDING:</u> HEIGHT	27 (33 Gore)/31 (31 Gore)	**35.25 (33 Gore)/31 (31 Gore)	45	
WIDTH	16 ft (33 Gore)/26 ft (31 Gore)	16 ft (33 Gore)/26 ft (31 Gore)	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	9.1%	16.9%	15.0%	
<u>NO. OF DWELLING UNITS:</u>	2 (@ 33 Gore)/6 (@ 31 Gore) = 8 total	NO CHANGE	14 (allowed under the ECHO)	
<u>NO. OF PARKING SPACES:</u>	1	2 (tandem)	3	
<u>NO. OF LOADING AREAS: DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	0	0	0	
	11 feet, 1 inch	11 feet, 1 inch	**11.0	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From: Singanayagam, Ranjit
Sent: Monday, June 7, 2021 3:55 PM
To: Sarah Rhatigan
Cc: Pacheco, Maria
Subject: RE: 33 Gore Street, Cambridge, MA--BZA Case No. 106913-2021

Hi Sarah

I have reviewed the plans you have submitted and found that you are not creating a new zoning violation. The additions will not create a setback, FAR or an open space violations.

Based on this information I think you may be able to apply for a Special Permit as Article 8 Section 8.22.2 (d).

If you have any questions please call or email me

Thanks

ranjit

: Sarah Rhatigan <sarah@trilogylaw.com>

Sent: Monday, June 7, 2021 12:28 PM

To: Singanayagam, Ranjit <ranjits@cambridgema.gov>

Cc: Pacheco, Maria <mpacheco@cambridgema.gov>

Subject: 33 Gore Street, Cambridge, MA--BZA Case No. 106913-2021

Hello Ranjit—

Enclosed here are the revised architectural plans for 33 Gore Street that we will be filing today for the Board of Zoning Appeal's consideration at the continued hearing on Thursday, June 10th.

These plans are for an addition (to add one-floor, and to square off a rear el) to a pre-existing, non-conforming, two-family structure. The alterations and enlargements to the structure will not create any new dimensional non-conformities, nor a change in use, as the structure will continue to be used as a two-family dwelling. In addition to the addition, the application also requests a special permit to allow for two car tandem parking in the existing driveway.

As we have discussed, the project may proceed for review as a special permit matter only (not requiring a variance) pursuant to the standard of review established under Bellalta v. Board of Appeals of Brookline, which has recently been codified by an amendment to the Cambridge Zoning Ordinance adding a new Section 8.22.2(d) (see attached).

Please reply to this email to confirm that you agree with the above statement as to the eligibility of this project for a special permit based on the information I have provided here. If you have questions or require any additional information, please contact me at any time.

Thank you,

-Sarah

Sarah Like Rhatigan, Esq.
Trilogy Law LLC
12 Marshall Street

Boston, MA 02108
Tel: 617-543-7009
Email:Sarah@trilogylaw.com

For Permit

stamp:



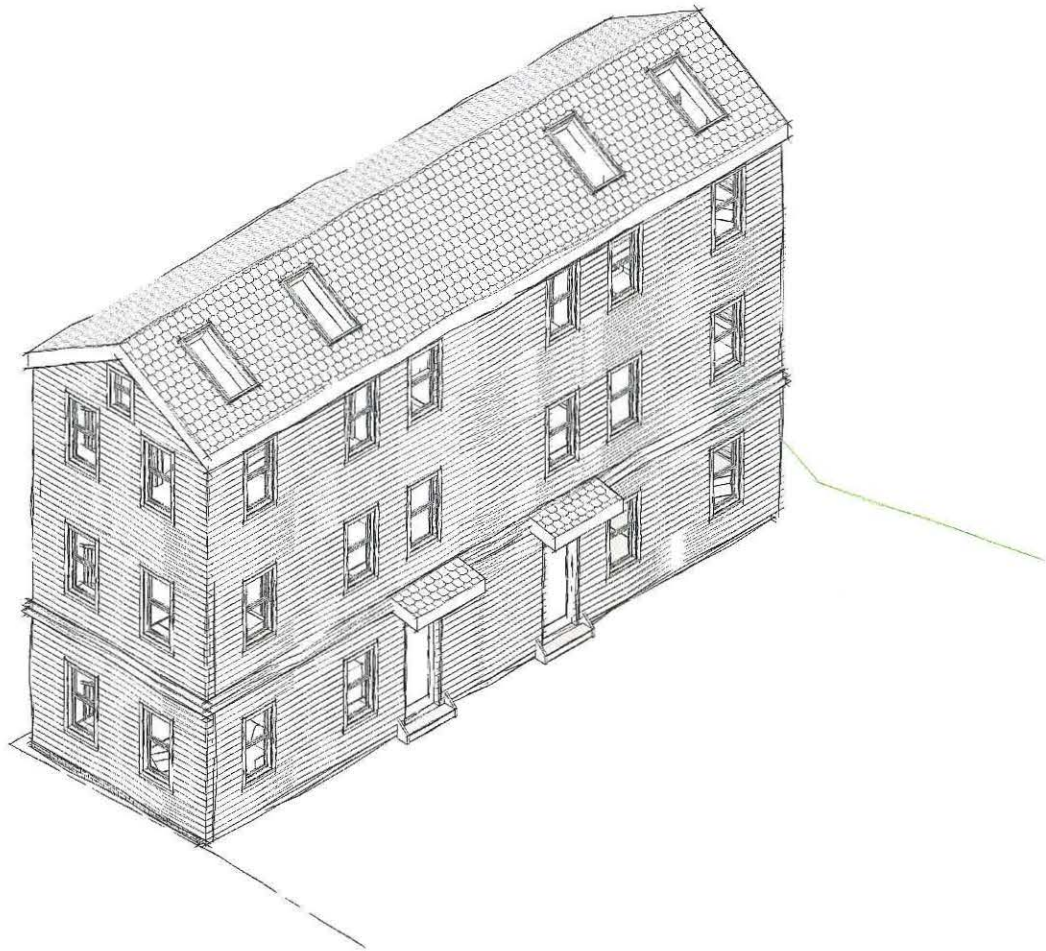
project number: 308 drawing number: A000 revision: 1 06/03/2021

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3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
4. any person using or relying on document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

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Index of Drawings

A000	COVER SHEET
A001	SITE CONTEXT AND CODE ANALYSIS
A002	STANDARDS, GENERAL NOTES & ABBREVIATIONS
A010	MEANS OF EGRESS PLAN
A030	EXISTING FLOOR PLANS
A110	BASEMENT FLOOR PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
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A200	EXISTING EXTERNAL ELEVATIONS
A201	EXTERNAL ELEVATIONS
A202	EXTERNAL ELEVATIONS
A210	BUILDING SECTIONS



CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2021 JUN -7 P 4:03

PROJECT NAME:
Gore Street Development
PROJECT ADDRESS:
33 Gore Street, Cambridge, MA 2141
PROJECT NO: 308
ISSUE DATE: 06/03/2021
9/22/2021 12:21:41 PM

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www.joethearchitect.com

CLIENT NAME:
33 Gore LLC, c/o Koskores Real Estate Corp.
CLIENT ADDRESS:
2 Lincoln Street, Somerville, MA 02145

A	and
L	angle
@	at
AL	align
CL	centerline
DIA	diameter
PERP.	perpendicular
C	channel
#	number or pound
	per or divide
/	
A/C	air condition
ACT	acoustic ceiling tile
AD	area drain
ADJ	adjustable
AFF	above finished floor
AGGR	aggregate
ALUM	aluminum
AP	acoustic panel
APPX	approximate
APT	apartment
ARCH	architectural
ASB	asbestos
ASPH	asphalt
AVG	average
B	
BD	board
BITUM	bituminous
BLDG	building
BLK	block
BLKG	blocking
BM	beam
BO	bottom of
B/O	by others
BOJ	basis of design
BOS	bottom of steel
BR	bedroom
BSMT	basement
BTB	back to back
C	
C	cecius
CAB	cabinet
CB	catch basin
CER	ceramic
CF/CI	contractor furnished/
	contractor installed
CF/CI	contractor furnished/
	owner installed
CG	corner guard
CH	coat hook
CI	cast iron
CIP	cast in place
CJ	construction joint;
	control joint
CL	centerline
CLG	ceiling
CLR	clear
CLO	closet
CM	crown moulding
CMU	concrete masonry unit
CONC	concrete
COL	column
CONC	concrete
CONT	continuous
CORR	corridor
CPT	carpet
CSW	casework
CTSK	countersunk
CT	ceramic tile
CTR	center
CUH	cabinet unit heater
CW	curtain wall
D	
D	deep
DBL	double
DEMO	demolition
DEPT	department
DET	detail
DF	drinking fountain
DH	double hung
DIAM	diameter
DM	dimension
DISP	dispenser
DN	down
DO	door opening
DR	door
DS	downspout
DSP	dry stand pipe
DW	dishwasher
DWG	drawing(s)
DWR	drawler
E	
E	existing
EA	east
EA	each
EIFS	exterior insulation and finish system
EJ	expansion joint
EL	elevation
ELEC	electrical
ELVTR	elevator
EMER	emergency
ENCL	enclosure
EOB	edge of slab
EP	electrical panel
EPX	epoxy
EQ	equipment
EQPT	equipment
EWIC	existing roof drain
EWIC	electrical water cooler
EXH	exhaust
EXIST	existing
EXP	exposed
EXT	exterior
F	
F	fire
FA	fire alarm
FACP	fire alarm control panel
FBO	flat bar
FBS	furnished by others
FEQ	fire extinguisher cabinet
FD	floor drain
FDC	fire department connection
FDN	foundation
FE	fire extinguisher
FEC	fire extinguisher cabinet
FHC	fire hose cabinet
FIN	finish
FLUOR	fluorescent
FO	finished opening
FOC	face of concrete
FOM	face of masonry
FOS	face of stud
FOW	face of wall
FPL	fireplace
FPR	fire protection riser

FPFR	fireproof
FRG	fiber reinforced gypsum
FRT	fiber reinforced panel
FRP	fire retardant treatment
FS	full size
FSP	fire standpipe
FTR	fire treated
FTG	footing
FURR	furring
FBI	furnish and install
FUT	future
G	
GA	gauge
GALV	galvanized
GB	grab bar
GC	general contractor
GFRG	glass fiber reinforced concrete
CFRG	glass fiber reinforced gypsum
GL	glass / glazing
GND	ground
GT	grout
GSP	gross square foot
GWB	gypsum wall board
GYP	gypsum
H	
H	high
HB	hose bib
HC	hollow core
HND	hardwood
HDWE	hardware
HDWR	hardware
HM	hollow metal
HORIZ	horizontal
HPT	highpoint
HR	hour
HT	height
HGT	height
I	
ID	inside diameter; inside dimension
IN	inch
INFO	information
INSUL	insulation
INT	interior
J	
JAN	janitor
JT	joint
JST	jost
K	
KIT	kitchen
L	
LAB	laboratory
LAM	laminar
LAV	lavatory
LB	pound
LED	light emitting diode
LF	linear feet
LH	left hand
LKR	locker
LT	light
LVL	laminated veneer lumber
LVR	louver
LVT	luxury vinyl tile
M	
MAX	maximum
MC	medic cabinet
MDF	medium density fiberboard
MDL	modular
MECH	mechanical
MEMB	membrane
MEP	mechanical, electrical, plumbing
MFR	manufacturer
MH	manhole
MIN	minimum
MR	mirror
MISC	miscellaneous
MLD	moulding
MO	masonry opening
MTD	mounted
MTL	metal
MUL	mullion
MWK	millwork
N	
NC	new construction
NIC	not in contract
NO. or #	number
NOM	nominal
NSF	net square footage
NTS	not to scale
O	
OBS	overall
OC	on center
OCC	occupancy
OD	outside diameter (DIA.)
OFF	office
OC/CI	owner furnished/contractor installed
OF/OI	owner furnished/owner installed
OFD	overflow drain
OHDR	overhead door
OH	opposite hand
OPNG	opening
OPP	opposite
ORIG	original
P	
P	pendant
PFB	prefabricated
PBL	plumbing fixture
PCC	precast concrete
PCF	pounds per cubic foot
PERF	perforated
PL	plate
PLAM	plastic laminate
PLA	plaster
PLF	pounds per linear foot
PLYWD	plywood
POS	point of sale
PR	pair
PRCST	precast
PRT	partition
PSF	pounds per square foot
PSI	pounds per square inch
PT	paint
PTD	paper towel dispenser
PTDR	combination paper towel dispenser and receptacle
PTL	pressure treated lumber
PTR	pressure treated
PVMT	pavement

Q	quarry tile
QTY	quantity
R	rear, right
RA	return air
RAD	radius
RB	resilient base
RBR	rubber base
RCP	reflected ceiling plan
RD	roof drain
REF	reference
REFR	refrigerator
RELOC	relocate
REINF	reinforced
REQ'D	required
RESIL	resilient
REST	restroom
RSTR	regular
RH	right hand
RM	room
RP	resilient panel
RO	rough opening
RSP	resilient sheet flooring
RTU	rooftop unit
RWD	redwood
RWL	rain water leader
S	supply air
SA	sound attenuation blankets
SAB	solid core
SC	seat cover dispenser
SCHED	schedule
SD	smoke detector
SECT	section
SF	square footage
SH	shelf
SHR	shower
SHT	sheet
SHM	similar
SKL	skylight
SND	sanitary napkin dispenser
SNR	sanitary napkin receptacle
SNT	sealant
SOB	symbol on background
SO	south
SPD	soap dispenser
SPEC	specification
SQ	square
SS	solid surface
SKS	service sink
SST	stainless steel
ST	stone
STA	station
STD	standard
STL	steel
STOR	storage
STRL	structural
SUSP	suspended
SYM	symmetrical
T	tile
TB	towel bar
TBD	to be determined
TC	top of curb
TEL	telephone
TEMP	temporary
TER	terrazzo
T&G	tongue and groove
THK	thick
TOC	top of concrete
TOP	top of pavement
TOS	top of slab; top of steel
TOW	top of wall
TPD	tablet paper dispenser
TR	trawl
TV	television
TX	textile upholstery
TYP	typical
U	underwriters' laboratories
UL	unfinished
UNF	unless otherwise noted
UR	urinal
V	varnish
VAR	vapor barrier
VCT	vinyl composition tile
VERT	vertical
VEST	vestibule
VIF	verify in field
VNR	veneer
W	west
WB	wall base
WC	wall covering
WD	wood
WO	without
WP	waterproof
WSCAT	wainscot
WT	weight
WTC	water closet
WWM	welded wire mesh

the preceding list of abbreviations is presented as a general guide and does not necessarily show all abbreviations used. other generally accepted abbreviations may be found among the drawings.

see discipline sheets for discipline specific symbols

A100 sheet # project
 sheet # sequence
 sheet series
 discipline

SHEET NUMBER

0 0

GRID BUBBLES

Exterior elevation callout

1 Ref 1 Ref 1 Ref

A101

Sheet on which elevation is drawn

EXTERNAL ELEVATION REFERENCE

Building section number

A1 SIM

Sheet on which section is drawn

BUILDING SECTION REFERENCE

DETAIL SECTION REFERENCE

OFFICE OFFICE
 5.01 5.01

ROOM NAME W/ ROOM NUMBER Mark

1.2

EGRESS DOOR TAG

A1

WALL TAG

TypeMask

CASEWORK TAG P

+ 0

SPOT ELEVATION

MATCHLINE SEE: 1 / A101

MATCHLINE REFERENCE

Δ

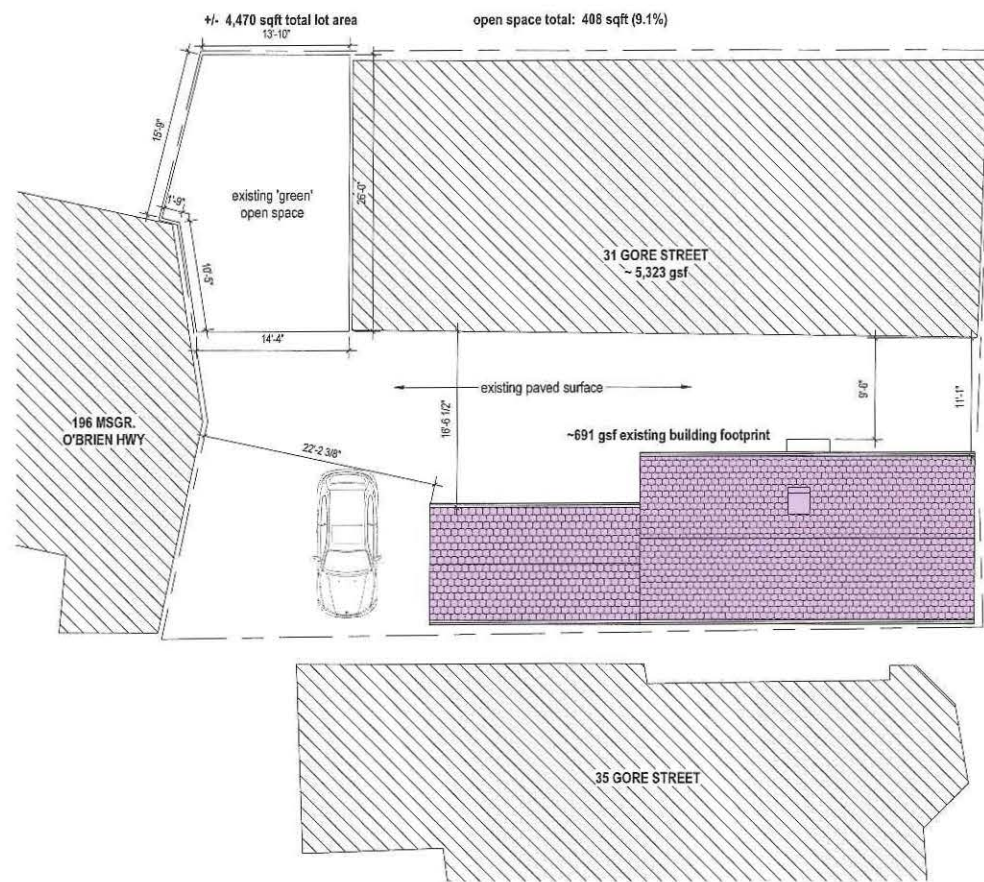
REVISION CALLOUT AND CLOUD

DETAIL SECTION REFERENCE

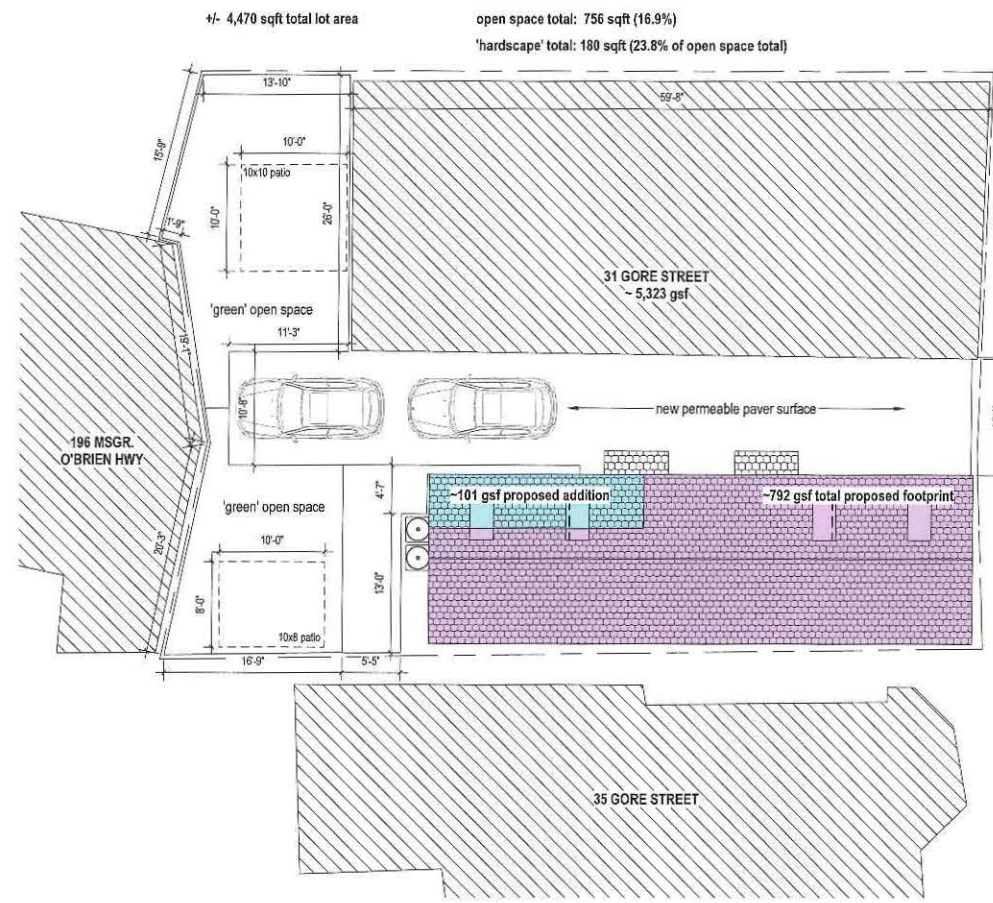
1. the drawings have been compiled from the best available information and are not intended to limit scope of work, the contractor may uncover hidden conditions not shown in this contract set.
2. the contractor shall perform all work described drawings and specifications and shall provide all items required for a complete functioning system, including appropriate blocking for wall mounted fixtures, shelving, accessories, etc.
3. work shown but not included in this contract is "u.s.c." items to be provided by owner and not by g.c. are not noted.
4. general contractor shall make all sub-contractor suppliers aware of the requirements of these notes all work shall be performed in compliance with applicable local, state and national building, life, safety, electrical and plumbing codes having jurisdiction over this project.
5. general contractor shall be responsible for securing all permits necessary for the completion of the work shown throughout the contract documents.
6. general contractor shall layout in the field the work to be performed to verify dimensional relationships before proceeding with the construction and shall verify all existing conditions and benchmarks before commencing with work / installation.
7. general contractor shall be responsible for the coordination of the dimensional requirements of the combination of the work of the required trades and sub-contractors.
8. drawings shall not be scaled for dimensions and sizes, drawings may have been reproduced at a scale other than that originally drawn.
9. general contractor shall field verify all existing conditions including dimensions, structure, utilities, lines, etc. any discrepancies found in the plans, dimensions, existing conditions or any apparent conflict in the classifying of a product, material or method of assembly is to be brought to the attention of the architect immediately, all drawings will be issued when or as required.
11. g.c. & all trades, are responsible for coordinating the locations of all mesh, etc., plumb, fixture devices. if conflict exist b/w drawings, exact location shall be per architectural drawings or per field instruction of architect.
12. g.c. & all trades/subcontractor are responsible for reviewing & coordinating all trades' equipment & distribution including pipes, conduit, etc. so that all fit in the allocated space, any conflict shall be brought to the attention of the architect and appropriate engineer immediately, in writing.
13. protect all existing walls, doors, etc. to remain. contractor is responsible for the repair or replacement of all finishes, framing, and utilities damaged during the course of the work, including shop applied finishes. existing finishes disturbed during the course of the work shall be repaired so that patches will not be detectable & the new surface will be continuous w/ adjacent surfaces. wall paper shall be smooth, durable, and stable, free of air holes, dents etc.
14. when new walls or construction are to meet exist repair or replace existing adjacent finishes as required such that the joint is smooth, flush and invisible.
15. g.c. & trades shall cut penetrations for through security and data systems, through wall, through ceiling, through floor and through roof as required without the use of surface w/ materials that match align w/ that cut shall be accomplished under the base contract. wherever specifically shown or noted each trade is responsible for providing appropriate fire rated, fire rated caulk, etc. for all penetrations fire rated separations in order to maintain/restore rating.
16. dimensions:
 - a. - all partition dimensions shown are to face and cut @ new wall construction u.s.n.
 - b. - dimensions noted as "c/c" mean clear dimension to finish.
 - c. - all "h/c", dims are shown on plans and view from interior & exterior elevations whenever relevant.
 - d. - vertical dimensions are to b. subfloor, u.s.n.
17. align electrical devices including switches, outlets, alarm devices, emergency lights, etc. vertically & horizontally, wherever in close proximity to each other, and unless prevented by code, see vertical heights schedule for typ. heights, see elevations specific annotations, align ceiling devices including smoke detectors, sprinkler heads, etc., with ceiling mounted lighting fixtures unless otherwise noted, center all between elements or within grid in bold directions u.s.n.
18. ea. trade is responsible for sealing air tight any penetrations made through air & vapor barriers.
19. all metal & membrane flashings to be lapped positively to drain.
20. separate dissimilar metals.

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consultant / contractor information:		
stamp: <div style="text-align: center;"> </div>		
revision	revision description	date
1	SPECIAL PERMIT	06/03/2021
project title: Gore Street Development 33 Gore Street, Cambridge, MA 02141		
client information: 33 Gore LLC, c/o Koskores Real Estate Corp. 2 Lincoln Street, Somerville, MA 02145		
<div style="text-align: center;"> <h2>J t A</h2> <h3>JOE THE ARCHITECT</h3> <p>343 Medford Street, Suite 4C Somerville, MA 02145 t: +1(817) 764-3593 e: askjoe@joethearchitect.com www.joethearchitect.com</p> </div>		
drawing title STANDARDS, GENERAL NOTES & ABBREVIATIONS		
project number	drawing scale	approver
308	As indicated	Approver
drawing number		revision
A002		1

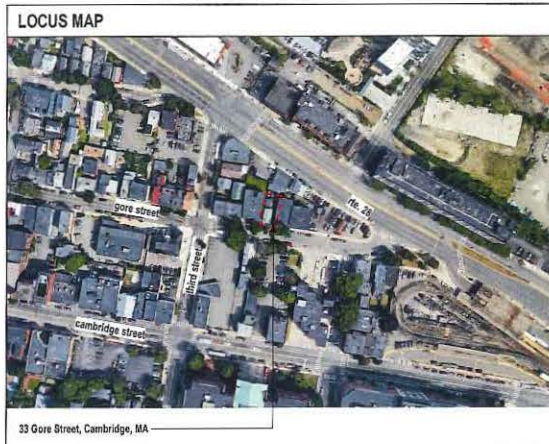
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1 EXISTING SITE PLAN CONTEXT
A001 1/8" = 1'-0"



2 PROPOSED SITE PLAN CONTEXT
A001 1/8" = 1'-0"



USE & TYPE OF CONSTRUCTION (780 CMR CH 3 & 6)

Per Massachusetts state building code 780 CMR 9th edition/ international building code		
	Existing	Proposed
Use Group (780 CMR Section 304)	R-3	R-2
Type of construction (780 CMR Section 802)	Type V - B	Type V - B
Number of stories	2.25	4
Fire Protection	Building is not Fully Sprinklered	Building to be Fully Sprinklered
Building Element (780 CMR Section 601)		Fire Resistance Rating
primary structural frame		1
bearing walls		1
exterior walls		1
interior walls		1
non bearing walls and interior		0
floor construction and secondary members		1
roof construction and secondary members		1
Notes		

PROJECT ZONING INFORMATION (LOCAL REGULATIONS)

Property Class	TWO - FAM - RES				Zoning Class	Res - C2B							
Map/Lot	20 - 105												
Neighborhood	East Cambridge												
Zoning Ordinance	Zoning Ordinance of the City of Cambridge												
	Zoning Data		Required		Existing Un-merged (33 Gore)		Proposed Merged (33 Gore 31 Gore)		Existing Merged (site)		Proposed Merged (site)		
Use & Lot	Use	Residential	Residential	Residential	Residential	Residential	Residential	Residential	Residential	Residential	Residential	Residential	
	# of Dwelling Units*	14 (max)	units	2	units	2	6	units	8	units	8	units	
	Lot Area	5,000	sqft	1,035	sqft	1,035	3,435	sqft	4,470	sqft	4,470	sqft	
	Lot Area / # of Dwelling Units*	600	sqft	517.5	sqft	517.5	569	sqft	569	sqft	569	sqft	
	Gross Floor Area Footprints (All Buildings)	n/a	gsf	691	gsf	792	1,774	gsf	2,465	gsf	2,556	gsf	
	Open Space (previous area)	15	%	0	%	---	---	%	9.1	%	16.9	%	
	Gross Floor Area	n/a	gsf	1,836	gsf	3,054	5,323	gsf	7,159	gsf	8,387	gsf	
	Net Floor Area** (sum of all usable sf)	n/a	rsf	1,496	rsf	2,574	---	rsf	---	rsf	---	rsf	
	Floor Area Ratio (FAR) (VC)	2.0		1.6		---	---		1.6		1.67		
	Building Height	45	ft	27	ft	35.25	31	ft	27	31	ft	35.25	31
Building Setbacks	Front Yard Setback	10	ft	0	ft	0	0	ft	0	ft	0	ft	0
	Rear Yard Setback	20	ft	22.2	ft	21.2	14.6	ft	22.2	14.6	ft	21.2	14.6
	Side Yard Setback (left)	H+L/5	ft	1.75	ft	1.75	ft	1.75	ft	1.75	ft	1.75	ft
	Side Yard Setback (right)	H+L/5	ft	1.5	ft	2.75	ft	2.75	ft	2.75	ft	2.75	ft
	Street Frontage	20	ft	19	ft	59.83	ft	59.83	ft	59.83	ft	59.83	ft
	Distance Between Buildings	(H1+H2)/6	ft	9.6	ft	10.8	ft	9.6	ft	10.8	ft	9.6	ft

Additional Information
ECHO (East Cambridge Housing Overlay) overlay district.
Parcels merged via common ownership - 33 Gore Street & 31 Gore Street

APPLICABLE CODES & REGULATIONS (9th EDITION 780 CMR)

Code Type	Applicable Code
MA Building	780 CMR: Massachusetts State Building Code - 9th Edition
Existing Buildings	International Existing Building Code (IEBC)
Plumbing	249 CMR 10.00: Uniform State Plumbing Code
Energy	International Energy Conservation Code (IECC)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations

PROJECT GENERAL INFORMATION (PROJECT DATA SHEET)

Project Number	308
Project Title	Gore Street Development
Project Address	33 Gore Street, Cambridge, MA 02141
Client Name	Koskorez Real Estate Corp.
Client Address	2 Lincoln Street, Somerville, MA 02145

PROJECT DESCRIPTION

Renovation and addition to an existing multi family residential structure located in East Cambridge. Scope of work includes excavation and underpinning of existing basement foundation, new foundation at addition area. New penthouse floor to add a story to the original structure, complete interior renovation with new building utilities and window locations.

EXISTING STRUCTURES (IEBC)

Alteration - Level 3 (section 504)

Based on our interpretation of the IEBC 2015 Chapter 5 - Classification of work, 33 Gore Street is Alteration - Level 3 (section 504). The work includes complete renovation of interior spaces, an addition to the rear of the existing footprint, a new 4th story, and excavation & underpinning of existing foundation. The Building is classification group R-2 with a project scope area of 100%, an automatic fire suppression system will be required. The work will comply with all the provisions of chapter for Level 1 alterations and level 2 alterations as well as all the required provisions for level 3 alterations.

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consultant / contractor information:



revision 1 description SPECIAL PERMIT date 06/03/2021

project title: Gore Street Development

33 Gore Street, Cambridge, MA 02141

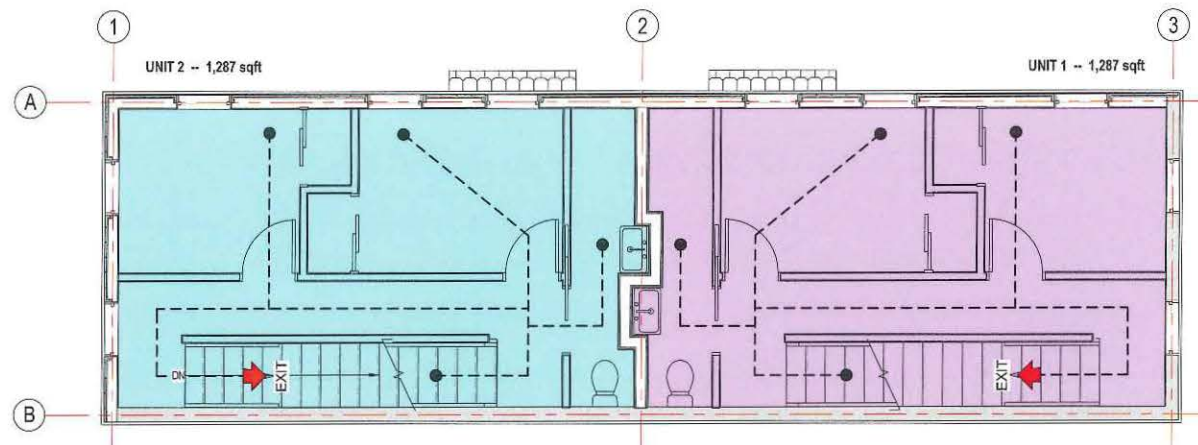
client information:
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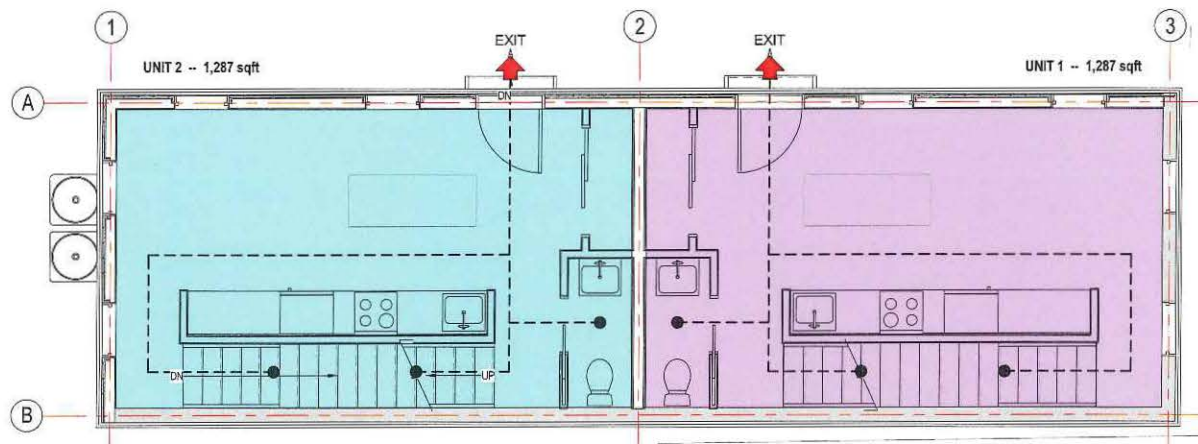
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SITE CONTEXT AND CODE ANALYSIS

project number 308 drawing scale As indicated approver Approver
drawing number A001 revision 1

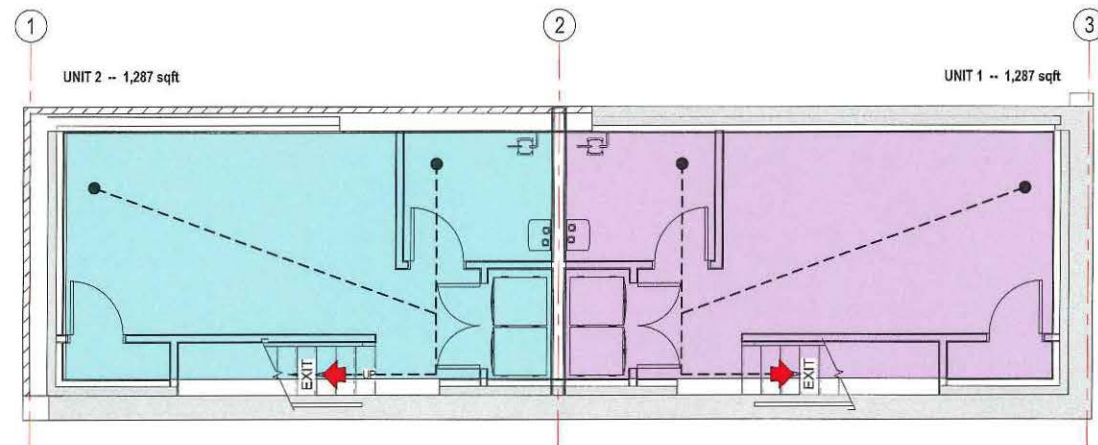
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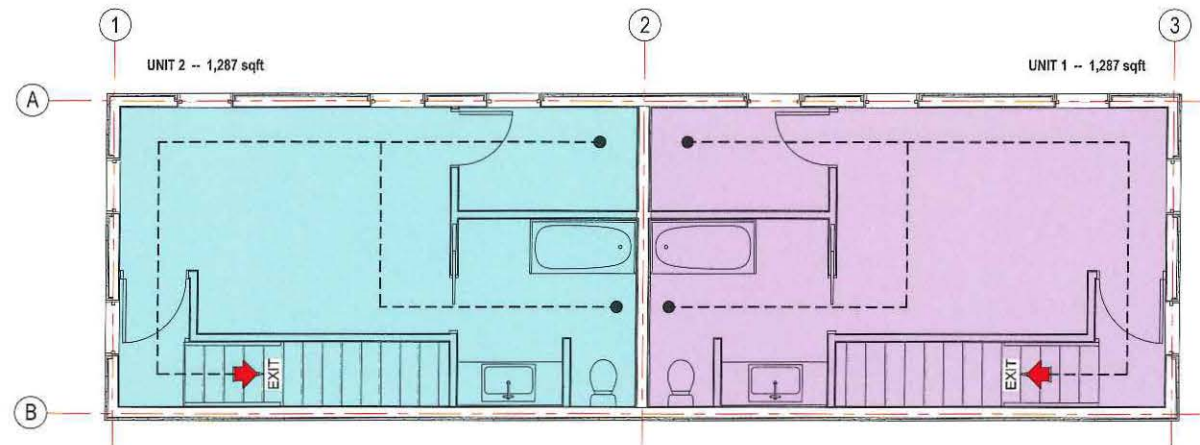
3 Second Floor Egress Plan
A010 1/4" = 1'-0"



1 First Floor Egress Plan
A010 1/4" = 1'-0"



2 Basement Egress Plan
A010 1/4" = 1'-0"



4 Third Floor Egress Plan
A010 1/4" = 1'-0"

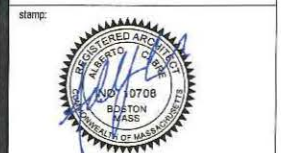
- GENERAL NOTES AND LEGENDS
EGRESS NOTES**
- the floor plan background for new and existing construction is shown in gray half-tone. designations for fire rated partitions, smoke partitions and other code compliance related information are shown in full black tone. refer to contract drawings to determine which components are new and which are existing.
 - the fire and smoke designations for existing construction are shown for reference only and are based on information provided by the owner/client. this information has not been independently verified by Joe The Architect, LLC.
 - refer to electrical drawings if applicable for locations of exit lights, emergency lights, and fire alarm system.
 - refer to fire protection drawings if applicable for locations of sprinklers and fire pump.
 - refer to plumbing drawings if applicable for all plumbing fixture counts.
 - refer to structural drawings if applicable for all structural loads.

- GENERAL NOTES AND LEGENDS
LIFE SAFETY**
- sprinkler | standard, concealed, upright
 - fire alarm pull station
 - fire alarm control panel
 - fire alarm remote panel
 - fire extinguisher cabinet
 - fire extinguisher wall hung
 - fire alarm horn & strobe
 - photoelectric smoke detector
 - carbon monoxide detector
 - smoke / carbon monoxide detector
 - emergency lighting, battery pack
 - exit signage with direction indicator
 - building exit arrow indicator
 - egress path of travel indicator
 - egress exit triangle indicator
 - egress exit triangle indicator; horizontal exit
 - egress exit triangle indicator; exit discharge
 - door mark indicator number

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revision	revision description	date
1	SPECIAL PERMIT	08/03/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
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drawing title:
**MEANS OF EGRESS
PLAN**

project number	drawing scale	approver
308	As indicated	Approver
drawing number	revision	revision
A010	1	



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consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

project title:
Gore Street Development
33 Gore Street, Cambridge, MA 2141

client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

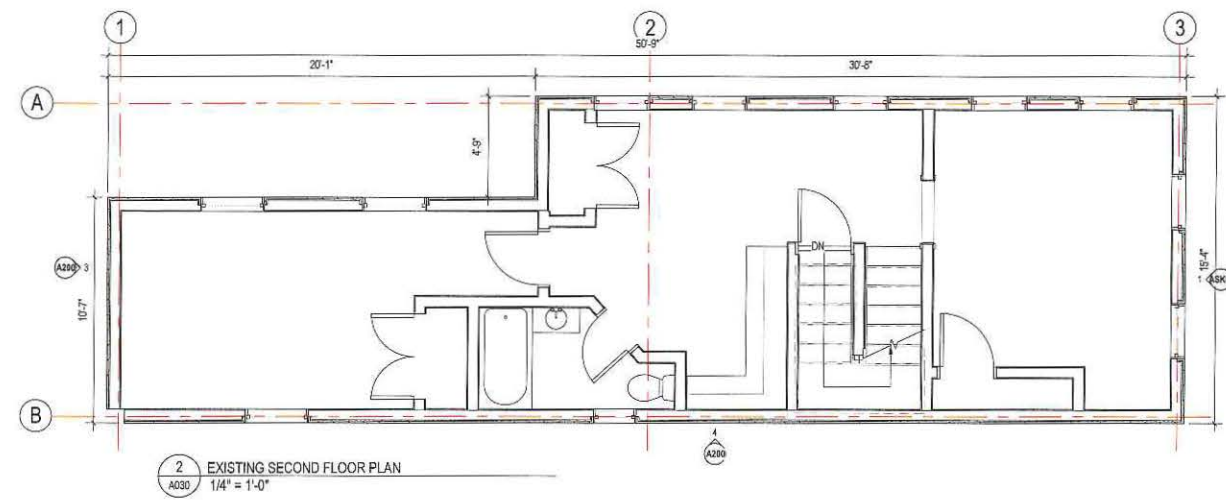
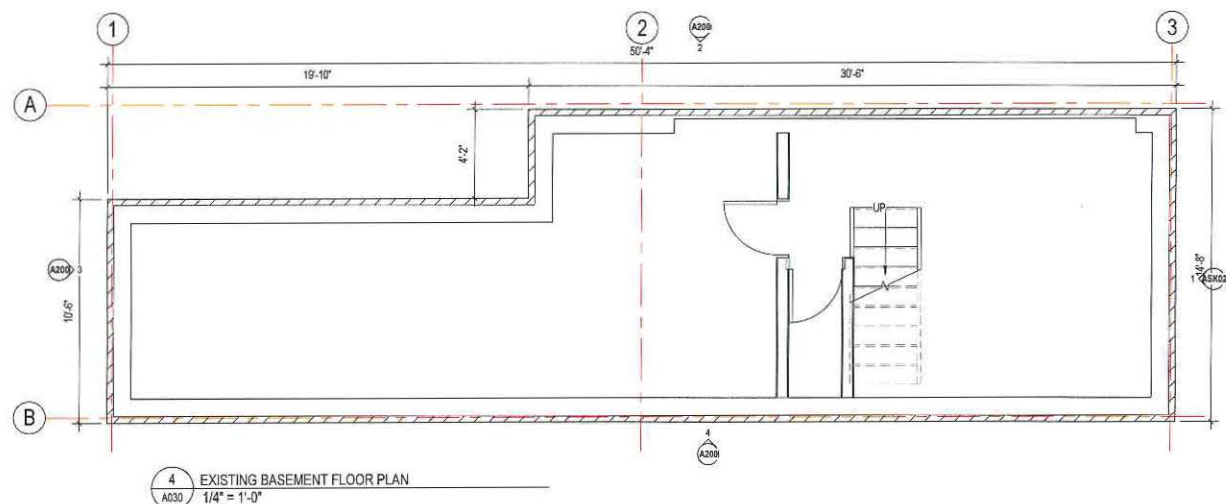
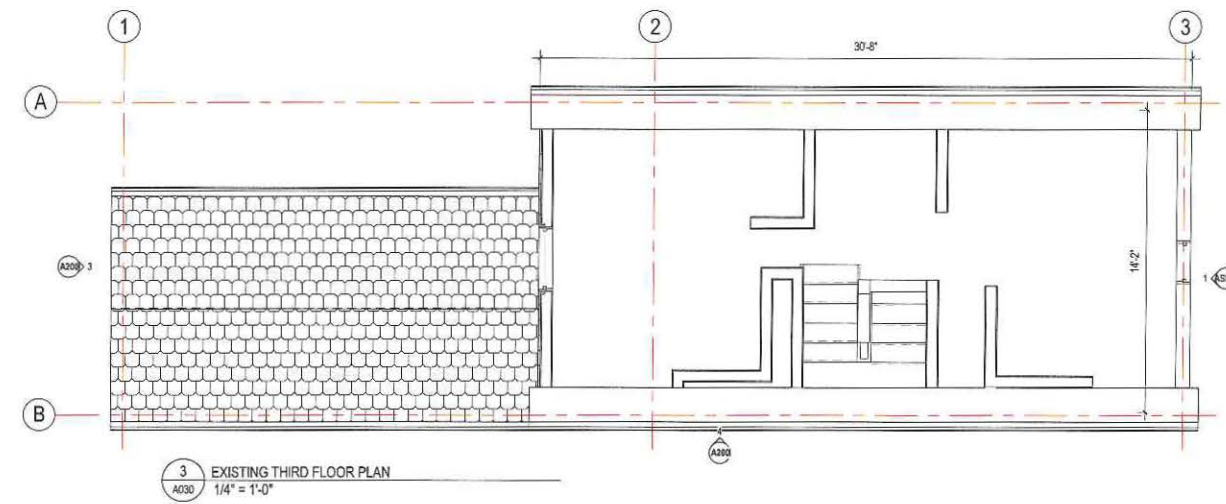
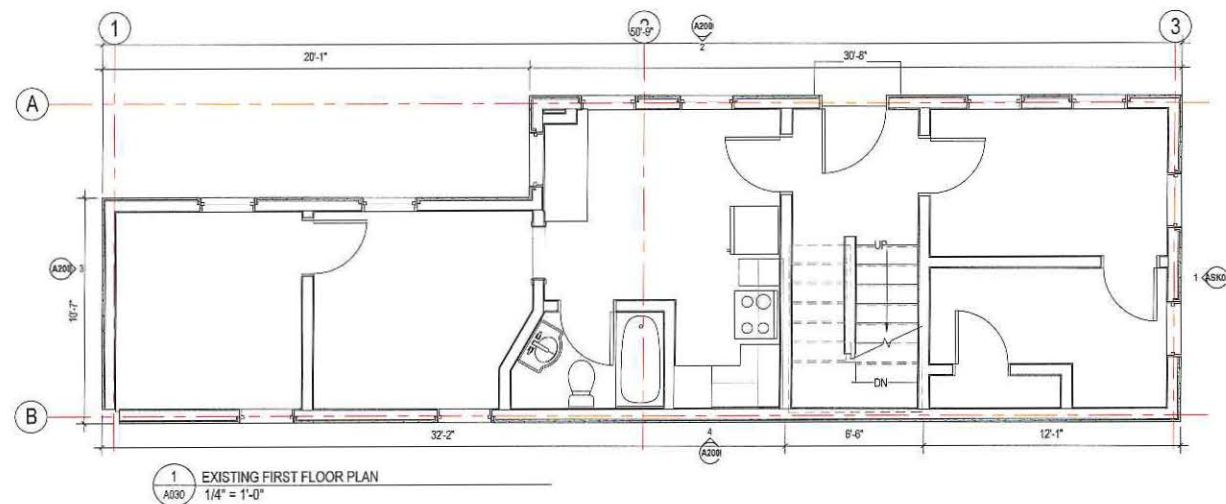
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drawing title
FOURTH FLOOR PLAN

project number 308	drawing scale	approver Approver
drawing number A11		revision 1



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consultant / contractor information:

stamp:

revision 1 SPECIAL PERMIT 08/03/2021

project title:
Gore Street Development

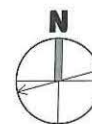
33 Gore Street, Cambridge, MA 02141

client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
2 Lincoln Street, Somerville, MA 02145

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drawing title:
EXISTING FLOOR PLANS

project number 308 drawing scale 1/4" = 1'-0" approver Approver
drawing number A030 revision 1



NOT FOR CONSTRUCTION

GENERAL NOTES AND LEGENDS
DEMOLITION

- see interior elevations for additional information on wall finish materials and typical mounting heights required.
- see general construction notes on sheet A000.
- see reflected ceiling plans for ceiling finish materials. the contractor shall verify all existing conditions after demolition is completed.
- all locations where rftll walls meet existing walls with new gwb finish surfaces shall align at adjacent edges unless otherwise noted.
- existing walls shown with additional lines graphically represent new finishes and should not be scaled or dimensioned from. partitions should be built and finished according to partition and finish schedule, coordinate airway drains and floor drains with plumbing drawings.
- provide blocking for grab bars, plumbing fixtures, mill work at all require locations.
- all dimensions indicated with a ± represent field measurements to be provided to architect and verified by contractor.
- see door schedule for all door sizes, door info and details.
- all glass within 18" a.f.f. and/or within 4'-0" of a door swing shall be tempered safety glass.
- all existing walls to be patched where existing walls were removed.
- provide leveling compound over all existing concrete floor areas to receive new floor covering. no flooring transitions are to exceed 1/2" in height.
- provide in-wall blocking for all future built-in casework where indicated.
- patch existing gwb at all locations where a partition has been removed.
- at all areas of meplp equipment removed from walls, contractor to patch / repair holes in finish from removed fasteners, blend patching to match existing finish to remain.
- seal air tight any penetrations made through air & vapor barriers.
- paint all (n) and (e) gwb & plaster finishes in work area unless noted
- interior dimensions are indicated to finish wall (cmu or gypsum board) materials, u.n.a.
- meplp elements shown are schematic and are provided for reference. only refer to meplp drawings & specifications for more information.
- exterior masonry dimensions are indicated to centerline of joints.
- window dimensions are to center line of opening; dimensions are nominal. see curtain wall, door & window schedule and details for actual opening dimension required.
- provide leveling compound as req. for proper tile installation to achieve smooth, level, flush finish.
- all material installation to be level & plumb.
- see A140 series for all finishes.

CONSTRUCTION LEGEND

- existing full height solid, glazed or part glazed partition to remain.
- existing full height solid, glazed or part glazed partition to be demolished
- new full height solid, glazed or part glazed partition to be demolished
- existing door to be demolished
- existing wall finish to be removed, to be read in conjunction with proposed works
- existing door to remain
- new door
- demolition hatch
- partial area demolition
- NIC - Not In Construct Hatch

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consultant / contractor information:

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revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

project title:
Gore Street Development

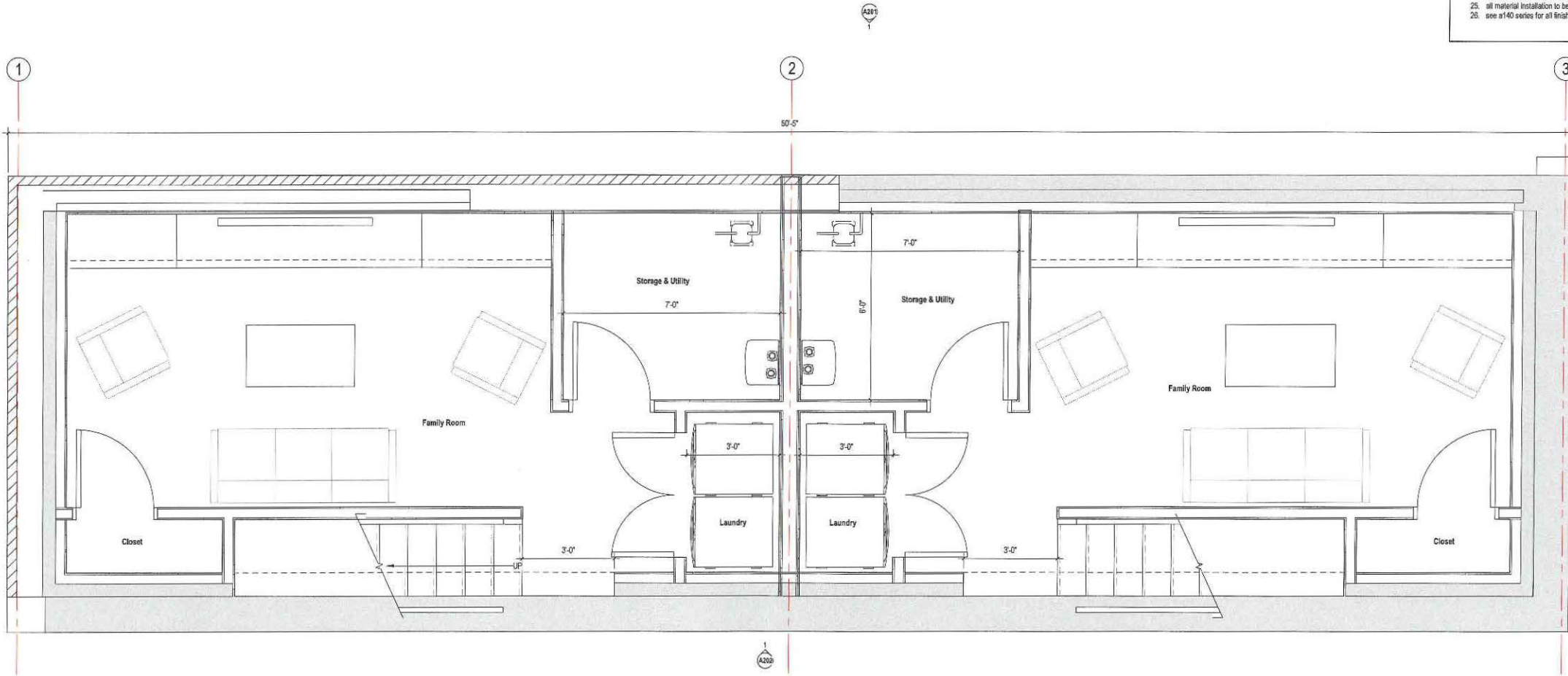
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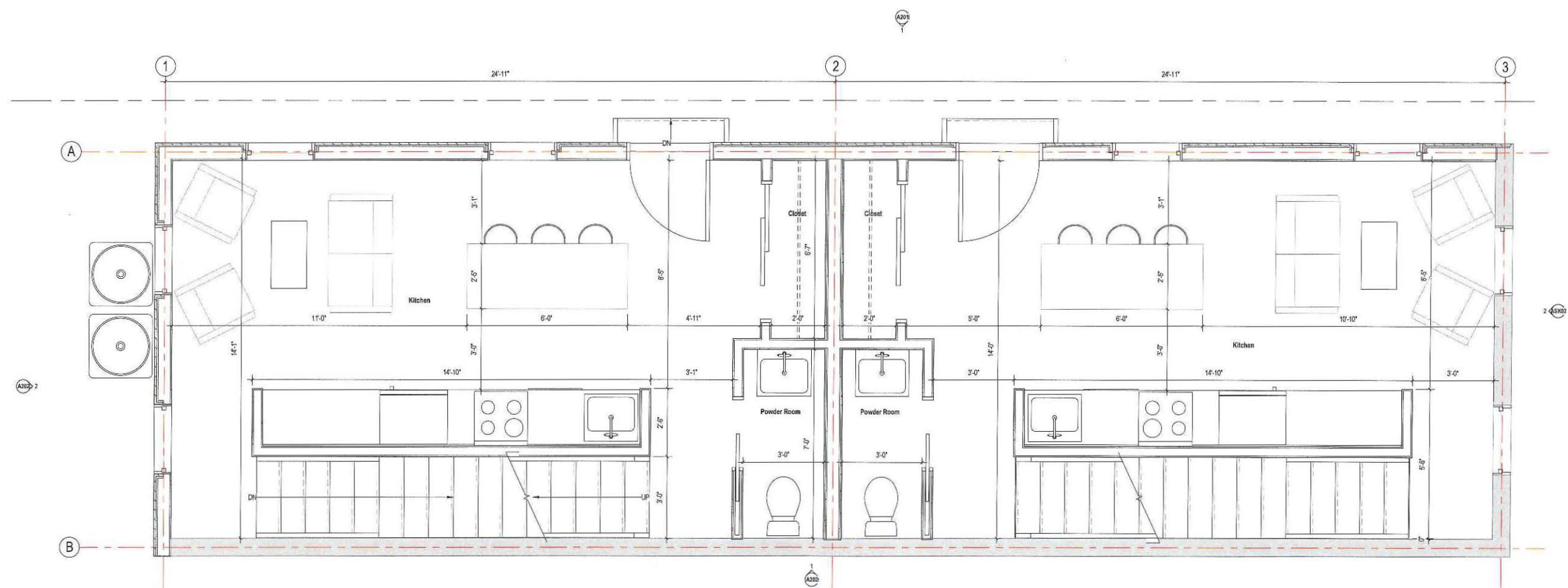
drawing title
BASEMENT FLOOR PLAN

project number 308	drawing scale As indicated	approver Approver
drawing number A110	revision 1	



1 BASEMENT FLOOR PLAN
A110 1/2" = 1'-0"

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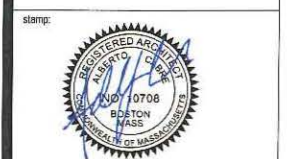


1 FIRST FLOOR PLAN
1/2" = 1'-0"

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consultant / contractor information:



revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141

client information:
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2 Lincoln Street, Somerville, MA 02145

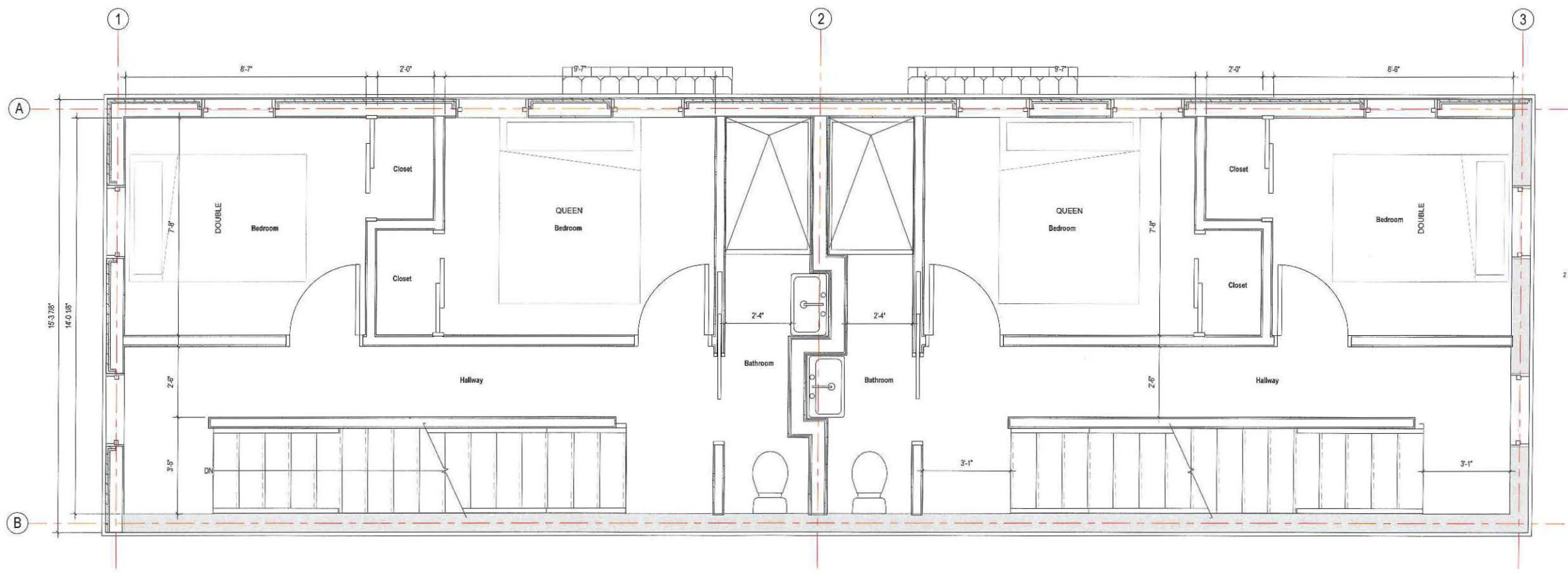
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drawing title
FIRST FLOOR PLAN

project number 308	drawing scale 1/2" = 1'-0"	approver revision
drawing number A111		1

NOT FOR CONSTRUCTION





1 SECOND FLOOR PLAN
1/2" = 1'-0"

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consultant / contractor information:

stamp:

10708
BOSTON
MASS
REGISTERED ARCHITECT
STATE OF MASSACHUSETTS

revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
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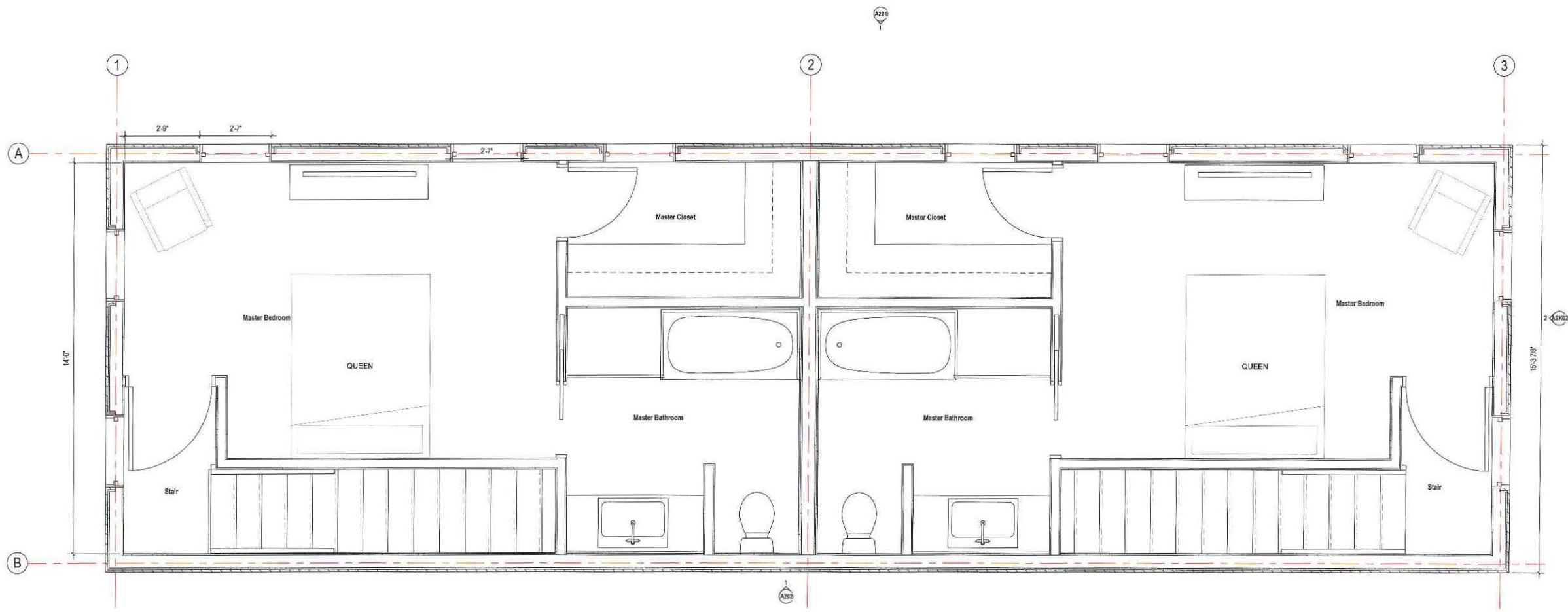
drawing title:
SECOND FLOOR PLAN

project number	drawing scale	approver
308	1/2" = 1'-0"	Approver

drawing number	revision
A112	1

NOT FOR CONSTRUCTION

06/03/2021 12:21:08 PM



1 THIRD FLOOR PLAN
A113 1/2" = 1'-0"



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revision	revision description	date
1	SPECIAL PERMIT	08/03/2021

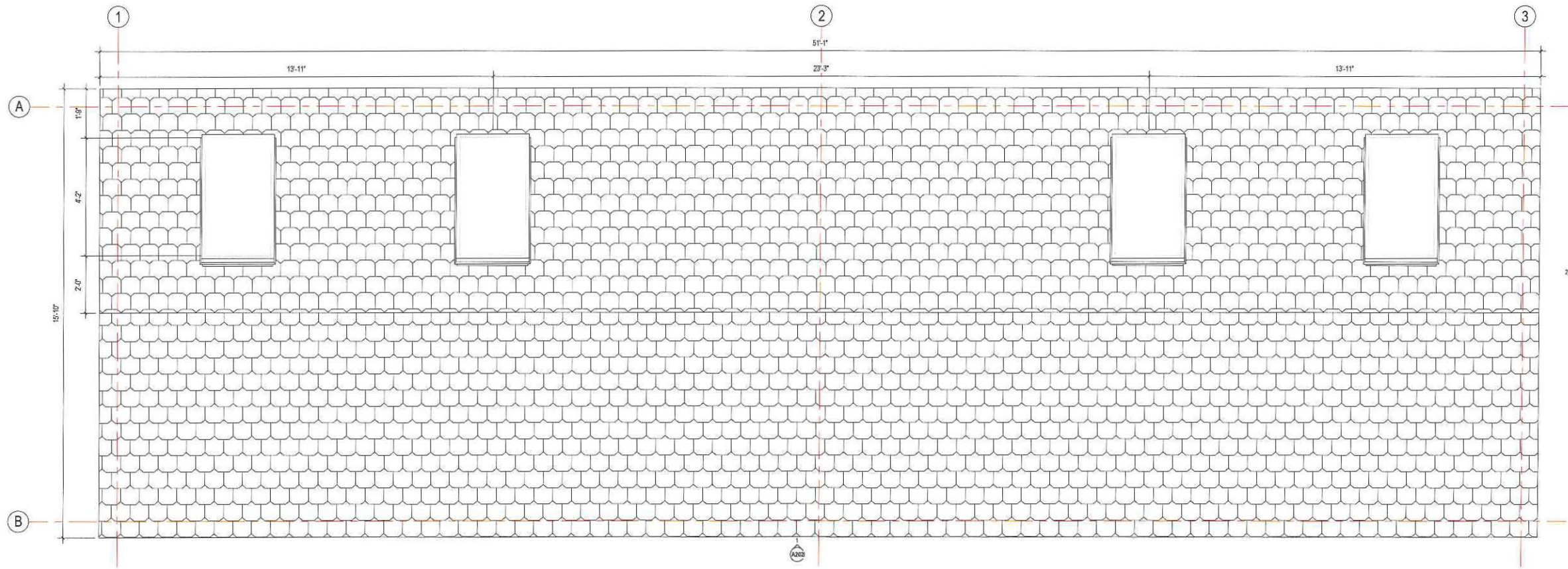
project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141
client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
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drawing title
THIRD FLOOR PLAN

project number 308	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A113	revision 1	

NOT FOR CONSTRUCTION
08/03/2021 12:27:48 PM



1 ROOF PLAN
A114
1/2" = 1'-0"

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stamp:



revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

project title:
Gore Street Development

33 Gore Street, Cambridge, MA 02141

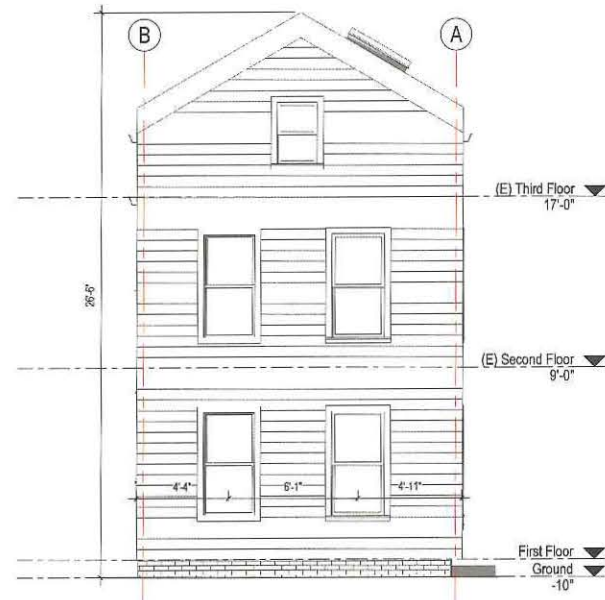
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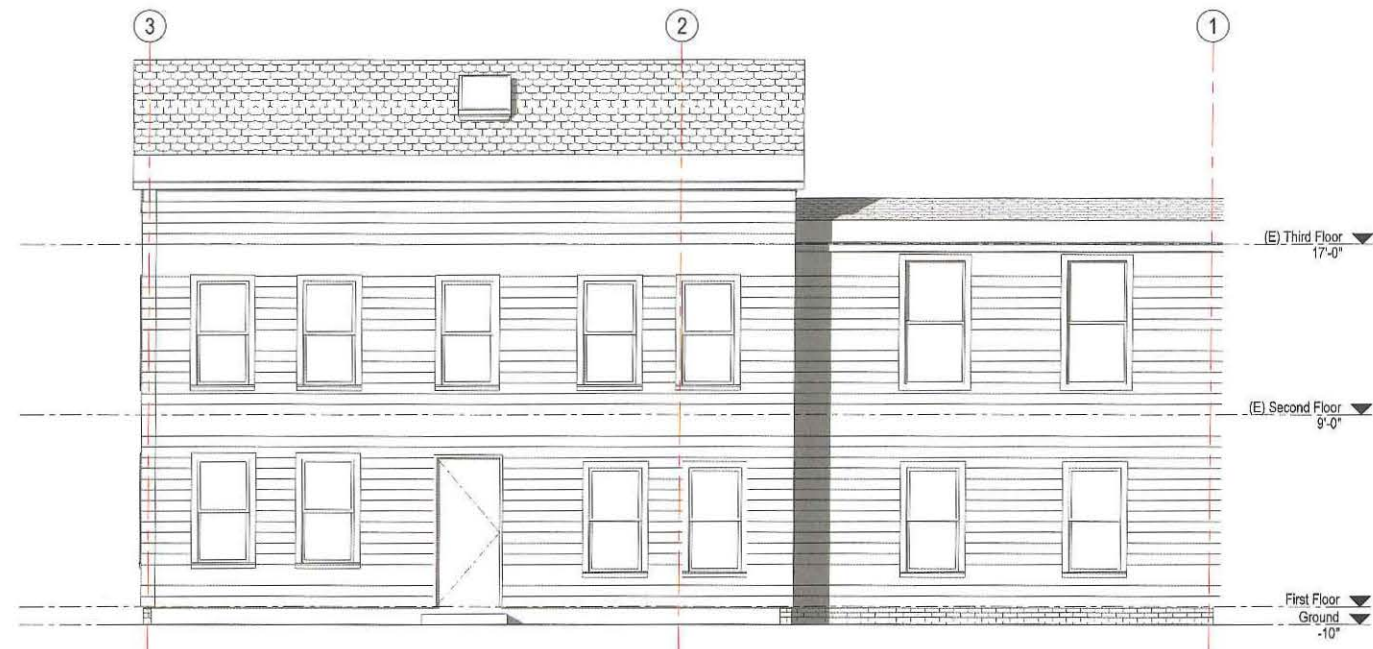
drawing title:
ROOF PLAN

project number 308	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A114	revision 1	

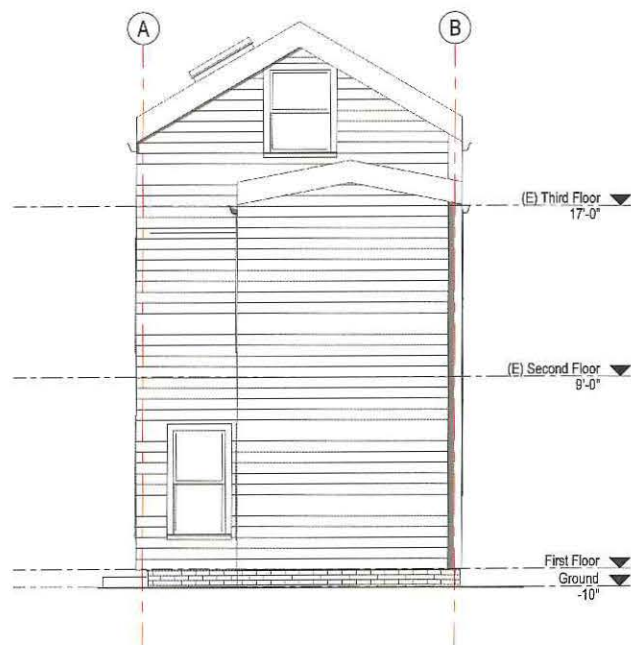
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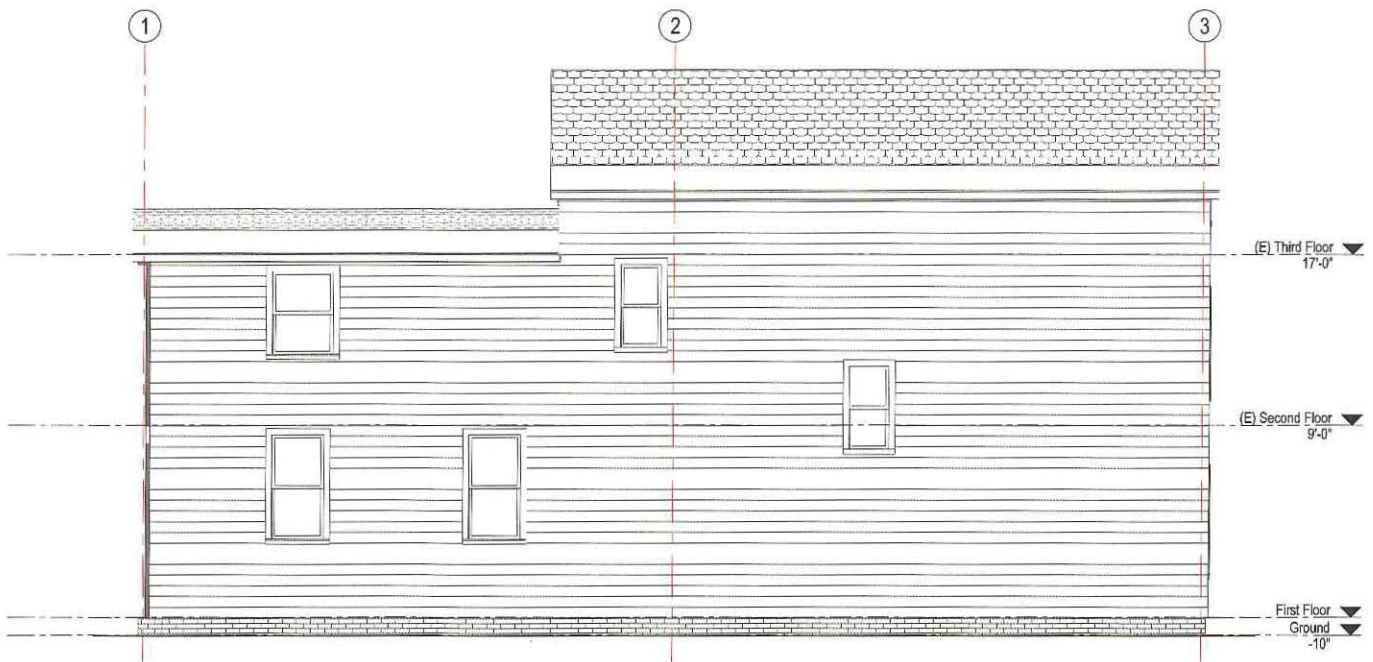
1 Existing South Elevation
A200
1/4" = 1'-0"



2 Existing East Elevation
A200
1/4" = 1'-0"



3 Existing North Elevation
A200
1/4" = 1'-0"



4 Existing West Elevation
A200
1/4" = 1'-0"



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Scale: 1/4" = 1'-0"
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1	SPECIAL PERMIT	06/03/2021

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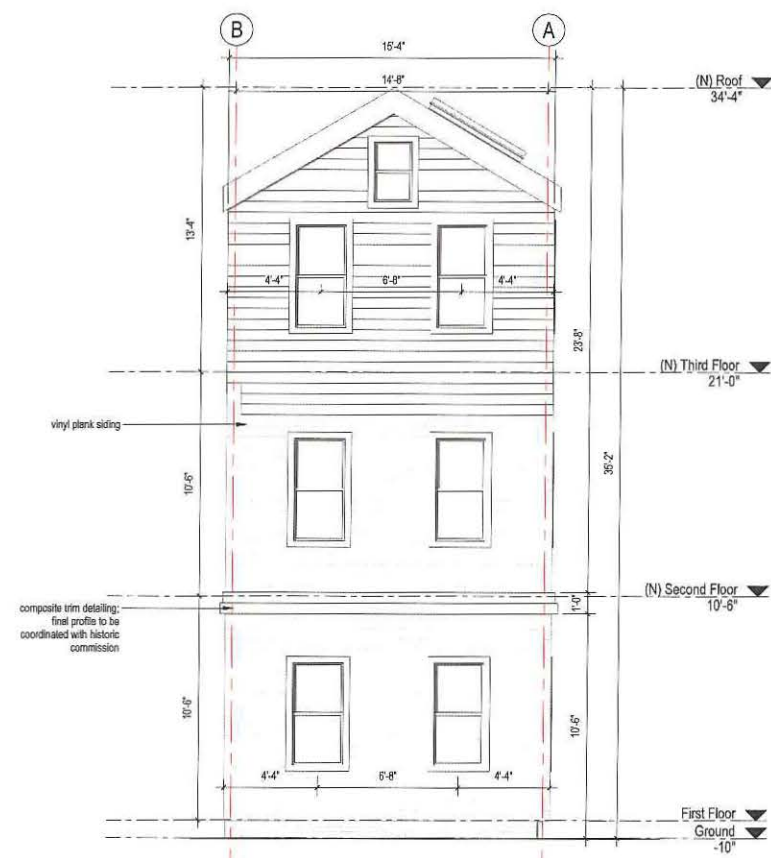
drawing title:
EXISTING EXTERNAL ELEVATIONS

project number	drawing scale	approver
308	1/4" = 1'-0"	Approver
drawing number	revision	revision
A200		1

NOT FOR CONSTRUCTION



1 PROPOSED EAST ELEVATION
A201 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A201 1/4" = 1'-0"



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stamp:



revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141
client information:
33 Gore LLC, c/o Koskores Real Estate Corp.
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drawing title
EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A201	revision 1	

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revision	revision description	date
1	SPECIAL PERMIT	06/03/2021

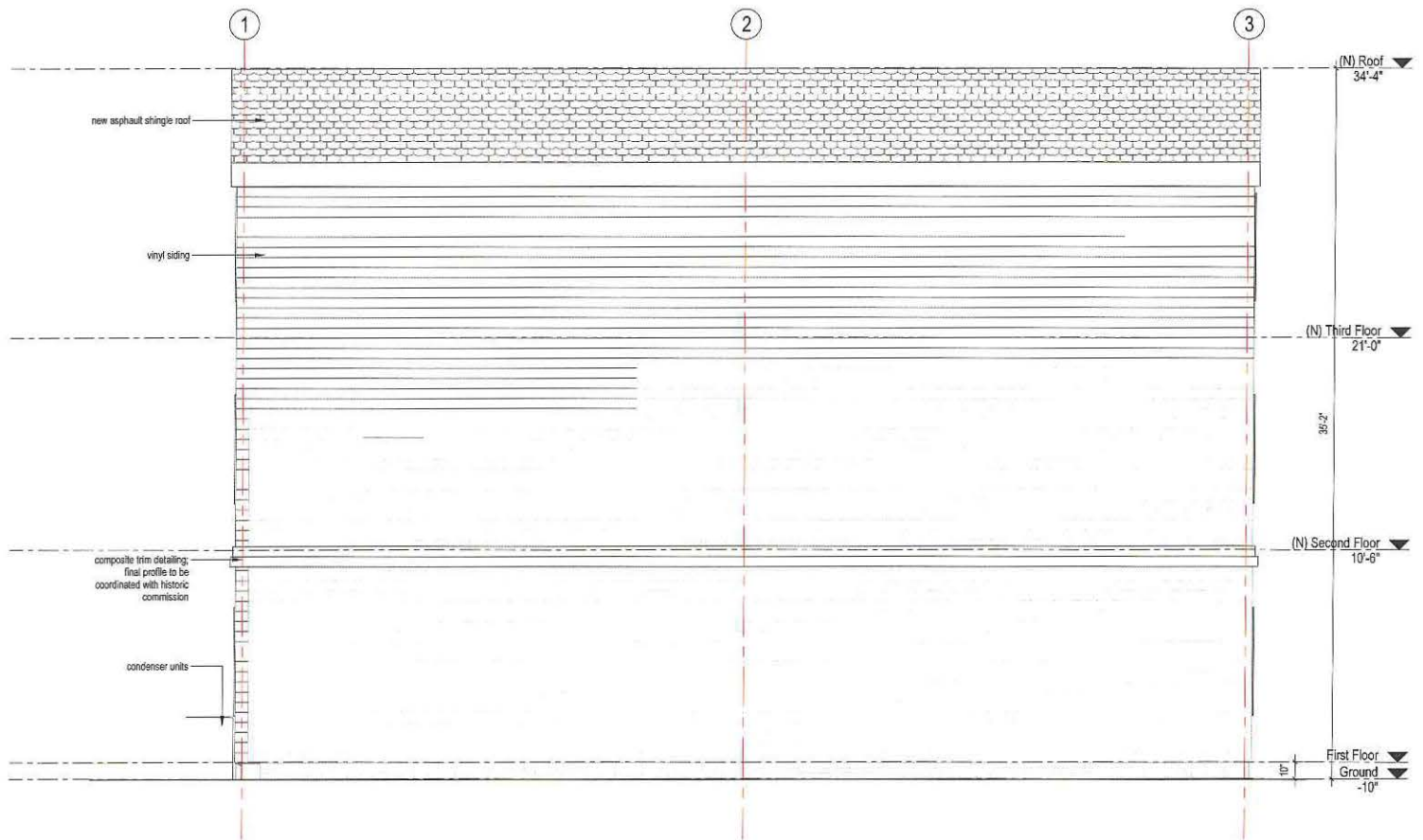
project title:
Gore Street Development
33 Gore Street, Cambridge, MA 02141
client information:
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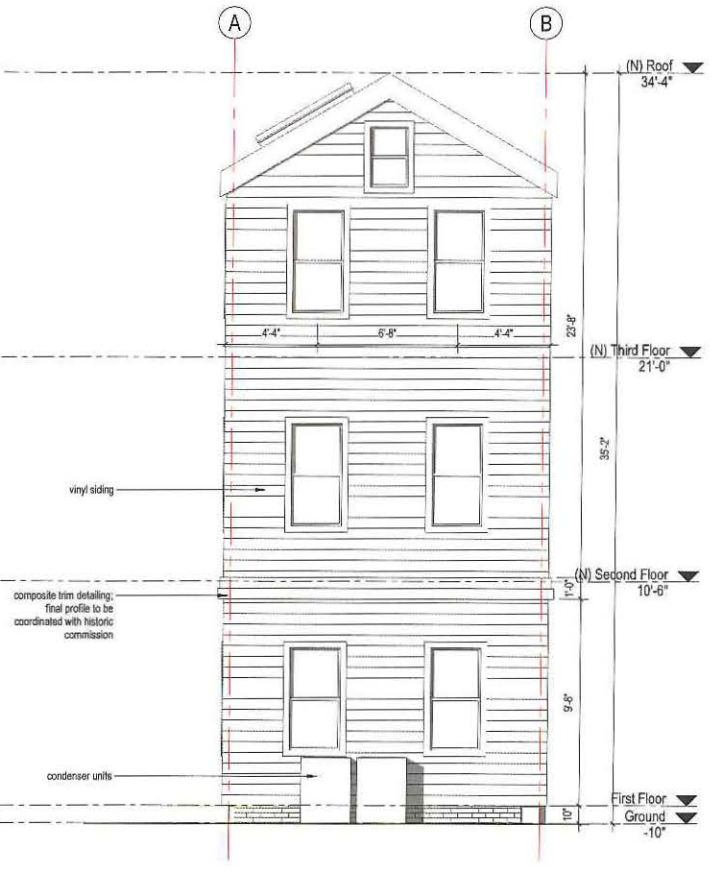
drawing title
EXTERNAL ELEVATIONS

project number 308	drawing scale 1/4" = 1'-0"	approver revision
drawing number A202		1

NOT FOR CONSTRUCTION



1 PROPOSED WEST ELEVATION
A202 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
A202 1/4" = 1'-0"





1 UNIT DIVISION SECTION
A210 1/4" = 1'-0"



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revision	revision description	date
1	SPECIAL PERMIT	08/03/2021

project title:
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33 Gore Street, Cambridge, MA 02141
client information:
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2 Lincoln Street, Somerville, MA 02145

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drawing title:
BUILDING SECTIONS

project number: 308	drawing scale: 1/4" = 1'-0"	approver: Approver
drawing number: A210	revision: 1	

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33 GORE STREET

SPECIAL PERMIT
06 / 03 / 2021

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06/02/21

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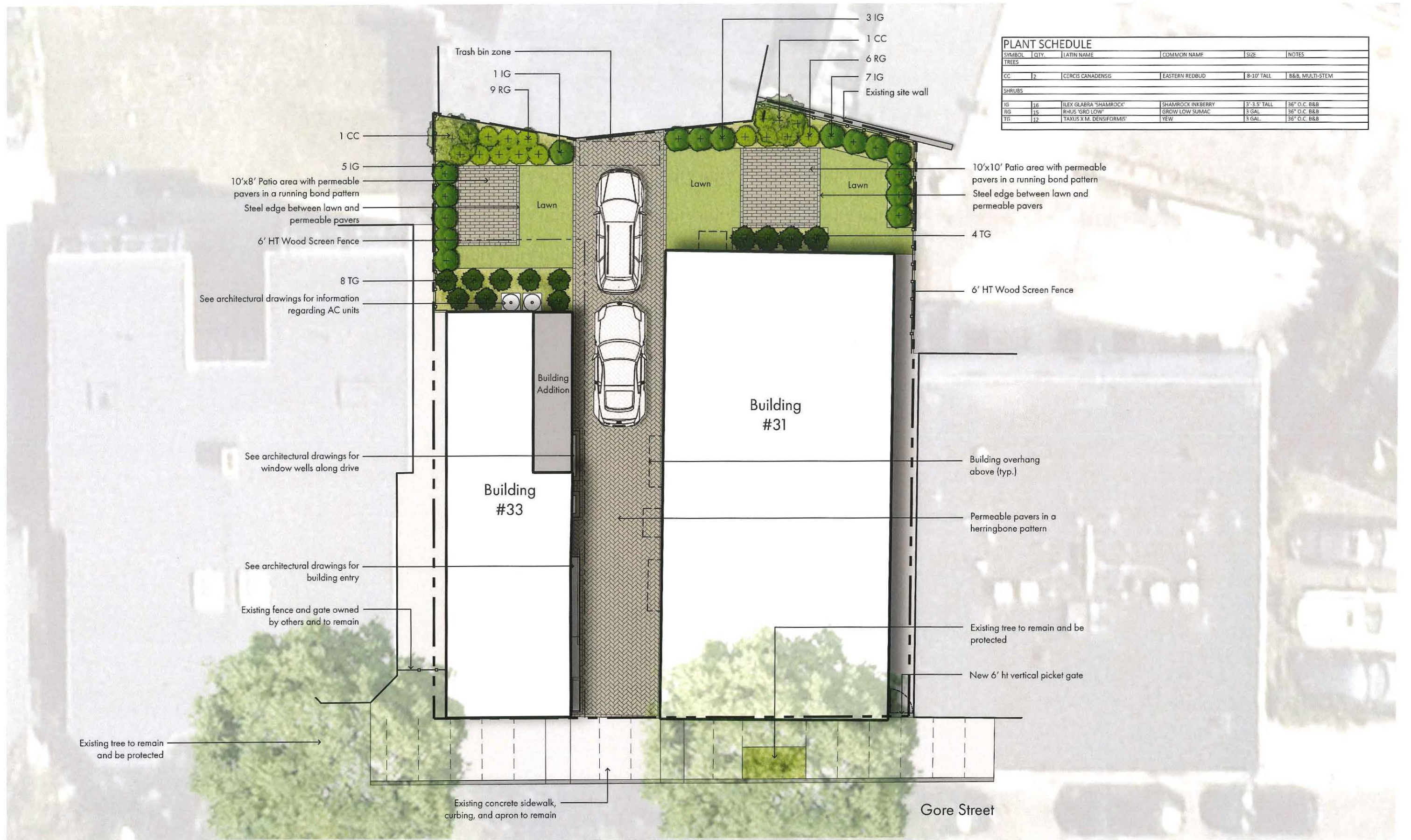
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31+33 Gore Street | Landscape Plan Cambridge, MA

SCALE 1"=5'-0"

5' 2.5' 0 5' 10'



MDLA
MICHAEL D'ANGELO landscape architecture



CAMBRIDGE HISTORICAL COMMISSION

831 Massachusetts Avenue, 2nd Fl., Cambridge, Massachusetts 02139
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112
E-mail: histcomm@cambridgema.gov URL: <http://www.cambridgema.gov/Historic>

Bruce A. Irving, *Chair*, Susannah Barton Tobin, *Vice Chair*; Charles M. Sullivan, *Executive Director*
Joseph V. Ferrara, Chandra Harrington, Elizabeth Lyster, Caroline Shannon, Jo M. Solet, *Members*
Gavin W. Kleespies, Paula A. Paris, Kyle Sheffield, *Alternates*

CERTIFICATE OF APPROPRIATENESS

Property: 33 Gore Street
Applicant: 33 Gore LLC
Attention: c/o Sarah Rhatigan, Attorney
Trilogy Law
2 Lincoln Street
Somerville, Mass. 02145

The Cambridge Historical Commission hereby certifies, pursuant to the Massachusetts Historic Districts Act (MGL Ch. 40C) and the Cambridge Historical Buildings and Landmarks Ordinance (Cambridge City Code, Ch. 2.78), that the work described below is not incongruous to the historic aspects or architectural character of the building or district:

Renovate and expand the existing house as described,

1. Raise up the existing 2.5-story house and construct a new first floor below it.
2. Excavate and underpin the existing foundation and construct a new foundation at the expanded ell.
3. Remove the existing ell and construct a new addition to match the height of the front block of the house.

The overall massing, site plan, and location of doors and windows shall be carried out as described in the plans and elevations by Joe the Architect titled, "33 Gore Street, Cambridge, MA 02141," and dated 3/26/2021.

The application was approved on the condition that the existing front block of the house be raised up and the new story be constructed at the first floor level. This will assist in the preservation of the existing wall and roof framing. The approval was also subject to the condition that exterior construction details and materials be submitted for Historical Commission staff review and approval prior to application for a building permit.

All improvements shall be carried out as shown on the plans and specifications submitted by the applicant, except as modified above. Approved plans and specifications are incorporated by reference into this certificate.

This certificate is granted upon the condition that the work authorized herein is commenced within six months after the date of issue. If the work authorized by this certificate is not commenced within six months after the date of issue, or if such work is suspended in significant part for a period of one year after the time the work is commenced, then this certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time, for periods not exceeding six months each, may be allowed in writing by the Chair.

Case Number: 4487

Date of Certificate: 4/7/2021

Attest: A true and correct copy of decision filed with the offices of the City Clerk and the Cambridge Historical Commission on 4/7/2021.

By Susannah B. Tobin / SLB, ^{Vice}_{Chair}.

Twenty days have elapsed since the filing of this decision.
No appeal has been filed _____. Appeal has been filed _____.
Date _____, City Clerk

Pacheco, Maria

From: Charles Hinds <chuckhinds@msn.com>
Sent: Monday, May 17, 2021 5:45 PM
To: Pacheco, Maria
Cc: 'Sarah Rhatigan'; 'Chris Koskores'; 'Peter Koskores'; board@ECPT.groups.io
Subject: Letter from ECPT to BZA regarding 33 Gore St (BZA #106913)
Attachments: ECPT Letter to BZA Regarding Propsed Alterations to 33 Gore Street.pdf; 33 Gore Street - Sketch.pdf

Dear Marie,

Attached please find a letter and associated sketch from the East Cambridge Planning Team (ECPT) to the Board of Zoning Appeal (BZA) regarding proposed alterations to 33 Gore St. (BZA #106913). Could you please forward to members of the BZA and place in the case file. Let me know if you have any questions.

Very truly yours,
Chuck Hinds
President
East Cambridge Planning Team

Mobile: 617-407-0574

A neighborhood organization serving East Cambridge since 1965.

East Cambridge

Planning Team



A Neighborhood Organization for the Betterment of East Cambridge

May 17, 2021

Cambridge Board of Zoning Appeal
831 Mass Ave
Cambridge, MA 02139

RE: 33 Gore St (BZA #106913)

Dear Chair Constantine Alexander; Vice Chair Brendan Sullivan, Members Wernick, Hickey, Green, Monteverde; and Associate Members Anderson, Hammer, Williams, Marshall:

On May 12, 2021, owner Peter Koskores and Architect Joe Stromer of Joe The Architect presented proposed alterations to a workers cottage located at 33 Gore St. to the East Cambridge Planning Team (ECPT). These alterations included constructing an additional story, raising the roof, and enlarging the ell.

The house at 33 Gore Street is a classic workers cottage built in 1842 and appears to be the oldest home in that block. For three generations it was the home of one family in East Cambridge. As such, its classic profile it has remained unchanged despite buildup to its left and right. Its door surround has the original ornamental cornices that existed from its inception.

While we appreciate the attempt to preserve the present structure, rather than seek a demolition, adding 10 feet to this classic home essentially alters its profile to a point that no one would recognize it as a workers cottage. A substantial number of workers cottages in East Cambridge have been preserved and all are considered historically significant. Those nicely preserved are even smaller, having 1.5 stories, rather than the 2.5 stories in the subject home. ECPT members strongly suggested that a much safer and easier and more historically preferred method of enlarging this house would be a simple addition in the rear where there is ample space and no abutters to block in. The rear yard has open space to the left with the abutter's large backyard and shared open space to the right. Further, this merged lot backs up to the stone rear wall of the garage on Monsignor O'Brien Highway with no windows whatsoever.

Adding the equivalent of 1.5 stories to an 1842 worker's cottage is a very risky endeavor, whether doing it by lifting the present house, as is being now suggested, or adding 1.5 stories to the 1842 original frame, which was never meant to support that weight. Attached is a sketch by one of our members, who is an architect, illustrating a possible alternative approach of creating a two family without the additional story. It would be kinder to the Gore St. context and less intrusive to the abutters.

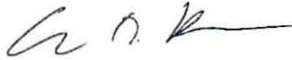
As enjoyed for three generations, this home had a shared yard between 33 and 29 and 31 Gore Streets with a shared yard to the rear. At no time was there parking on the premises. Children from the neighborhood enjoyed the open space between the houses.

We understand the hardships of working with a lot this size and the need to create more housing in the neighborhood. We would support an addition to the rear to increase the FAR and support variances as to setback, open space, and parking that it may require. We support petitioner's request to increase FAR of 33 Gore Street to provide additional housing on this lot but there is a safer and better way to preserve this historic structure.

East Cambridge
ECPT
Planning Team

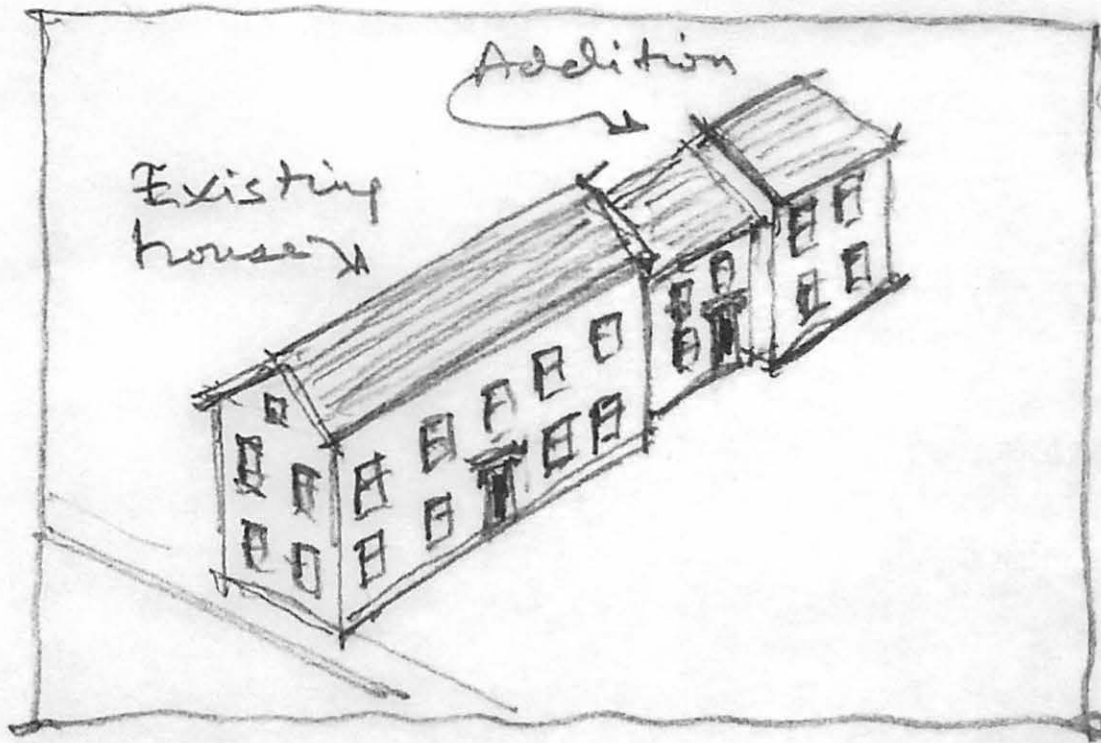
In conclusion, we ask the Board of Zoning Appeal to continue this case to allow the petitioner to work with the neighborhood and the Cambridge Historical Commission on an improved design.

Very truly yours,



Charles T. Hinds
President, ECPT

33 Gore Street
Conceptual Sketch of a Potential Alternate Design



Example of creating a second unit at 33 Gore St. without adding a story and with Zoning Relief

(Not to scale)

1 * * * * *

2 (6:10 p.m.)

3 Sitting Members: Constantine Alexander, Brendan Sullivan,
4 Andrea Hickey, Jim Monteverde, Jason
5 Marshall

6 CONSTANTINE ALEXANDER: Okay. The Chair will now
7 call Case Number 106913 -- 33 Gore Street. Anyone here
8 wishing to be heard on this matter?

9 SARAH RHATIGAN: Good evening. Yes, this is Sarah
10 Rhatigan from Trilogy Law. I am here with the petitioners -
11 - Chris Koskores and Peter Koskores. They're here from KRE
12 Realty. And our architect, Joe Strummer, is here as well
13 representing the development team. Thank you very much for
14 having us here this evening.

15 We are in the continued agenda, but we actually
16 have not presented to this Board yet, and I wanted to just
17 describe briefly to you how we are here to you tonight.

18 CONSTANTINE ALEXANDER: Yes, I was going to
19 request that in any event.

20 SARAH RHATIGAN: Yes.

21 CONSTANTINE ALEXANDER: Could you just summarize
22 the relief you're going to be seeking? You're seeking?

1 SARAH RHATIGAN: I'm sorry, did you say --

2 CONSTANTINE ALEXANDER: No, I would like you to
3 just quickly summarize for the Board and the audience what
4 relief you are seeking -- specifically, not the technical
5 part. Just tell us what you're doing, you're planning to do
6 --

7 SARAH RHATIGAN: Sure.

8 CONSTANTINE ALEXANDER: -- if we approve this.

9 SARAH RHATIGAN: Yes. Yes, I will do that. Thank
10 you. This is a project for 33 Gore Street, which is
11 currently a two-family structure that is located on a merged
12 lot.

13 And Sisia, would you mind putting up the plans
14 that -- and if you could put up the site plan for us? I'll
15 keep talking.

16 33 Gore Street is a two-family structure -- again,
17 on a merged lots. And the plans that you're being asked to
18 approve involve a plan to increase the height of that
19 structure by one and a half stories, and to square off the
20 back of the structure with an addition at the rear.

21 The result will continue to be a two-unit
22 building, but they'll be reconfigured so they're in the

1 townhouse side-by-side configuration. And --

2 CONSTANTINE ALEXANDER: And the relief for this --
3 what is the relief for this? What's the section, the legal
4 basis for this?

5 SARAH RHATIGAN: The Legal relief that we require
6 for this petition is a variance. And the variance is for
7 the increase in height of the structure. And the structure
8 is --

9 CONSTANTINE ALEXANDER: How tall will the
10 structure be if we go into the relief?

11 SARAH RHATIGAN: j structure with the revised set
12 of plans that were filed on Monday, April 5, the new height
13 of the structure is now --

14 JOE STROMER: 35 feet 2 inches.

15 SARAH RHATIGAN: I had 34.25 feet. Is that right,
16 Joe? Joe, was that your voice speaking, Joe?

17 JOE STROMER: It's 35 feet 2 inches.

18 CONSTANTINE ALEXANDER: 35 feet is generally the
19 permitted height for a residential structure. So you must
20 be more than 35 feet?

21 SARAH RHATIGAN: So --

22 JIM MONTEVERDE: Excuse me.

1 SARAH RHATIGAN: -- I apologize if --

2 JIM MONTEVERDE: This is Jim Monteverde. I'm
3 looking at your drawings and at your sheet A001, the project
4 zoning information. And I think that, Sarah, calls out
5 exactly as you just called it out. 34.25. So that number
6 comes from --

7 SARAH RHATIGAN: Exactly, that --

8 JIM MONTEVERDE: -- somewhere.

9 SARAH RHATIGAN: -- yeah, that was the information
10 that I was -- that I was running from.

11 And just to be clear, Mr. Chairman, the reason for
12 the relief is not that this height exceeds the allowable in
13 the district, but that the increase in height is within the
14 setback. And so that -- it's an extension of a preexisting
15 nonconforming setback wall.

16 JIM MONTEVERDE: Okay.

17 SARAH RHATIGAN: And there has been some
18 inconsistent guidance that we've received as to whether or
19 not this is variance relief or special permit relief. And
20 when this application was originally filed, there was
21 actually an additional height to the structure.

22 So we were applying for a variance for other

1 reasons as well. So for sure, we knew that we were
2 requiring a variance. And this was essentially a variance
3 in the alternative.

4 But we've continued to request a variance, because
5 it was unclear as to whether or not the increase in height
6 within the setback requires a variance or whether it could
7 be granted by a special permit.

8 So I'm sorry if this is a little -- you know, it's
9 not quite as clear as we'd all appreciate, but that is in
10 fact the reason for the request.

11 CONSTANTINE ALEXANDER: Okay. And the other
12 structure, it's a special permit?

13 SARAH RHATIGAN: And then the special permit
14 relief -- again, it's for the same issue, which is the
15 increase in height within the setback.

16 And then the other reason for a special permit is
17 just to allow for -- the new parking configuration would
18 allow for two cars to park in the tandem configuration in a
19 driveway.

20 Because this is a merged lot, it's not actually a
21 -- you know, just a two-family structure, which I believe
22 would allow that as of right, but it's actually -- you know,

1 for zoning purposes you look at these two, they're two
2 buildings side by side. And it would not otherwise be
3 allowed as-of-right.

4 So therefore we're requesting a special permit.
5 Thank you, Sisia, this is the plan I wanted to be able to
6 just refer to for purposes of showing the Board what this
7 looks like.

8 This would be the parking configuration. And just
9 to be clear, the two parking spaces would be for the use of
10 the two units and the Building #33.

11 Building #31 is owned by my client. It's
12 currently tenanted. There are tenants living there. That
13 building is not being changed or renovated, and it's not
14 part of this project in any way. But it is owned by them.

15 CONSTANTINE ALEXANDER: The two buildings contain
16 a total of eight dwelling units?

17 SARAH RHATIGAN: Correct, yes.

18 CONSTANTINE ALEXANDER: That's awfully dense for
19 this part of the city. I mean, these structures are on top
20 of each other, and the idea of further zoning relief,
21 further extension of the height, further use of the land I
22 have a problem with.

1 SARAH RHATIGAN: Well --

2 CONSTANTINE ALEXANDER: To be honest with you.

3 And I guess the Planning Board did as well.

4 SARAH RHATIGAN: Well, I wanted to -- if I could
5 just --

6 CONSTANTINE ALEXANDER: Go ahead.

7 SARAH RHATIGAN: -- provide a little bit of a
8 history of the zoning for this area. And I wanted to just
9 mention briefly kind of how we got to where we were.

10 When we originally were looking at the zoning for
11 the property and the proposed -- you know, and possible
12 proposals, an important thing to note: This property, if we
13 -- let's see, I'm not sure that we have a context map, I'm
14 sure that you probably know this -- I'm sorry, but I'm not
15 sure if we have a context map in the plans here.

16 This is a section of Gore Street that is right off
17 of McGrath O'Brien in a portion of an overlay district --
18 the East Cambridge Housing Overlay District. And this
19 overlay district actually expressly incentivizes dense --
20 more dense residential development.

21 And when we initially looked -- when we initially
22 looked at what to do here, the Overlay District would allow

1 for actually up to 14 units on the site.

2 If it could be done in such a way that, you know,
3 it wouldn't otherwise violate other sort of density issues.

4 The original set of plans that were filed with
5 this Board provided for 12 units. And, as you know, we
6 withdrew those plans after reviewing those with the
7 neighbors and reviewing them with the Historic Commission,
8 and after getting feedback that they were not happy with
9 that.

10 And in fact the Planning Board, you mentioned that
11 the Planning Board had weighed in -- the Planning Board
12 weighed in on the initial set of plans in which the original
13 structure was actually 45 feet. And there were going to be
14 four units at #33, not two units. And there was going to be
15 much more substantial impacts on our neighbor to the left.

16 CONSTANTINE ALEXANDER: Did you go back to the
17 Planning Board with your revised plans?

18 SARAH RHATIGAN: The project that you're seeing
19 now --

20 CONSTANTINE ALEXANDER: I'm sorry?

21 SARAH RHATIGAN: I'm sorry?

22 CONSTANTINE ALEXANDER: Did you go --

1 SARAH RHATIGAN: I'm sorry, I didn't hear what
2 your question was?

3 CONSTANTINE ALEXANDER: Yeah, I'm sorry. You
4 presented the plans to the Planning Board; the Planning
5 Board had a number of issues. You revised the plans. Did
6 you bring the revised plans back to the Planning Board to
7 get their views?

8 SARAH RHATIGAN: They -- at the time that we met
9 with the Planning Board, their comments were that they were
10 hoping that the Zoning Board would take a careful look at
11 any impacts that might be on the neighbor to the left. And
12 that they -- you know, they felt that, you know, the forum
13 for the review was essentially this Board.

14 And again, at that point the plans were
15 substantially different than what you've seen today.

16 CONSTANTINE ALEXANDER: All right.

17 SARAH RHATIGAN: If I could ask Joe Stromer, the
18 architect -- actually, I'm sorry -- Sisia, you're
19 controlling the slide show. Sisia, you have the whole set
20 of plans that we filed, correct?

21 SISIA DAGLIAN: Yeah.

22 SARAH RHATIGAN: Would you be able to -- would you

1 be able to show the renderings that were filed with the
2 initial plans February 2? I would just like to be able to
3 show you where we were -- yep, page number 9 that you're
4 showing on that would be --

5 SISIA DAGLIAN: Those were not the February ones.
6 I can bring them up from the city agenda, I think.

7 SARAH RHATIGAN: Oh, I'm sorry. Yeah. I'm having
8 trouble seeing what I'm looking at here. So 9 is the
9 current. So we essentially eliminated a whole floor of the
10 structure in this set of plans.

11 SISIA DAGLIAN: Just a second. So here's your
12 context plan.

13 SARAH RHATIGAN: Thank you.

14 BRENDAN SULLIVAN: So this is Brendan Sullivan. I
15 just have a --

16 SARAH RHATIGAN: Yeah.

17 BRENDAN SULLIVAN: -- quick question.

18 SARAH RHATIGAN: Sure.

19 BRENDAN SULLIVAN: Number 31 and 33 will contain a
20 total of eight units?

21 SARAH RHATIGAN: And -- yes, and that's what they
22 contain today, yep.

1 BRENDAN SULLIVAN: And then there will be two
2 parking spaces between the buildings, as shown?

3 SARAH RHATIGAN: That's correct, yep.

4 BRENDAN SULLIVAN: Okay.

5 SARAH RHATIGAN: And the -- just so you're aware,
6 the current conditions with parking have been that the whole
7 back yard area is paved.

8 And we believe -- I mean, we -- when we owned it
9 very recently, but we understand that there's been sort of
10 idiosyncratic situations with cars parked behind the
11 building, either one or two or potentially more.

12 But in this case, the owner will be -- you know,
13 creating a nice landscaped area behind the building, so
14 there won't be -- they'll be removing pavement and
15 eliminating the kind of, essentially crowded parking lot
16 conditions in the rear.

17 BRENDAN SULLIVAN: [Brendan Sullivan again.] The
18 current use of the building, is it rental, or is it condo?

19 SARAH RHATIGAN: Um--, the current use of the
20 building on the left I believe is -- is it vacant, Chris or
21 Peter?

22 CHRIS KOSKORES: Yes, it currently is vacant.

1 BRENDAN SULLIVAN: I'm sorry, it -- currently it
2 is rental?

3 CHRIS KOSKORES: It's currently vacant at the
4 moment.

5 BRENDAN SULLIVAN: Vacant. The proposed use of
6 the building, will it be rental or condo?

7 SARAH RHATIGAN: That is a discussion that's been
8 ongoing. I think since we moved from a four-unit.

9 BRENDAN SULLIVAN: I mean, you're going to have a
10 business plan here in going through this exercise. I would
11 think at the end of the day you've got to have determined
12 how you're going to pay for this; whether it be long-term
13 rental, or it's going to be a development of the property --
14 redevelopment of the property -- and then sell it as condos?
15 I don't --

16 SARAH RHATIGAN: Well, I think, there's certainly
17 two potential --

18 BRENDAN SULLIVAN: You know, being in the
19 business, I don't think that you'd go into this exercise and
20 not have determined at the end of the day what you're going
21 to do with the property. So --

22 CONSTANTINE ALEXANDER: And that goes to the

1 question two of the hardship that you need to establish,
2 with respect to the variance you're seeking. I haven't
3 heard what a hardship -- you haven't finished your
4 presentation.

5 SARAH RHATIGAN: Right. And I will get to that.

6 CONSTANTINE ALEXANDER: Okay.

7 SARAH RHATIGAN: Do you mind if we do -- I just
8 wanted to show you the reduction in the scope of what we've
9 done, and also, just provide a little bit more detail. We
10 also -- after -- the Planning Board saw the view of plans
11 that you're looking at now.

12 And Sisia, would you mind --

13 SISIA DAGLIAN: Which drawing do you want to look
14 at?

15 SARAH RHATIGAN: -- advancing to the renderings
16 that are approximately maybe another five pages down? It's
17 just probably the easiest way to get the --

18 SISIA DAGLIAN: Are these the ones that you're
19 referring to?

20 SARAH RHATIGAN: I'm sorry, these are not, no.
21 These are later renderings. I'm sorry. We're not able to
22 get a good view.

1 What I wanted to be able to show you was the
2 original concept -- the original renderings that were
3 showing how the original plans that the Planning Board was
4 responding to were really blocking the view from the
5 neighbors' window.

6 And what drove the change really were
7 conversations with our neighbors to the left. And I would
8 point out that the neighbor that is, you know, to the left
9 of us has reviewed these and has approved and is pleased
10 with the changes that we've made.

11 The other -- there we go.

12 SISIA DAGLIAN: Mm-hm.

13 SARAH RHATIGAN: I think that's the view that I
14 was looking for. Thank you, Sisia. I'm sorry that you've
15 had to scroll through to find it. So you can see that the
16 change from the view that you're looking at now on the
17 screen is really quite significant.

18 We built with a flat roof. The height was, you
19 know, quite significant at 45 feet; a flat front. The
20 windows were different as well. The Planning Board had some
21 concern about the look.

22 The other significant thing that we did was we

1 went through a process of Design Review with the Cambridge
2 Historic Commission, and the Cambridge Historic Commission
3 had a lot of helpful feedback.

4 And we were before the Cambridge Historic
5 Commission on Thursday, April 1 and had a very good meeting,
6 at which they approved the project -- the plans that you
7 have seen that were submitted to you on Monday, and they
8 provided a certificate of appropriateness that I'm not sure
9 if you've received.

10 I did receive a copy of that from Ms. Sarah Burke,
11 which I can provide by e-mail. She has indicated that she
12 would try to get it to the office staff this morning.

13 CONSTANTINE ALEXANDER: We don't have a copy of
14 that.

15 SARAH RHATIGAN: You don't? Okay.

16 CONSTANTINE ALEXANDER: I know you stored it in
17 your file, I guess.

18 SARAH RHATIGAN: I could read that to you into the
19 record. I'd be happy to read that into the record to you.
20 One of the comments from the Historic Commission were that
21 they wanted to see the project proceed with an effort to try
22 to lift the existing house, and to put the addition under,

1 which is going to take some work with -- you know,
2 structural engineering work.

3 But we're going to engage in that process with the
4 Cambridge Historic Commission staff and some ongoing review
5 with their design.

6 But it was a -- you know, it was a healthy
7 discussion. And again, they did issue the certificate of
8 appropriateness. And if you'd like, I can -- you know, I
9 can make sure that I get that entered into the record in one
10 way.

11 In terms of hardship, the elements of hardship
12 really relate to -- there are a number of things about this
13 lot and about the house itself that are both unique and make
14 for a very difficult situation in terms of being able to
15 improve the property and be able to use it or, you know, to
16 use it or for residential use for, you know, for essentially
17 for --

18 CONSTANTINE ALEXANDER: Let me go back --

19 SARAH RHATIGAN: -- to modernize it.

20 CONSTANTINE ALEXANDER: You know, are you going to
21 condominiumize this, or are you going to rent it? Are you
22 going to condominiumize it, you're going to -- you're just

1 looking to increase the value of the property, you got a
2 higher sale price?

3 If you've got to rent it, it's something else.
4 You haven't given us that information. And that's to me
5 very important.

6 SARAH RHATIGAN: So I'm not -- I'm sorry, I'm just
7 having trouble following the logic as to the use of the -- a
8 rental versus an ownership --

9 CONSTANTINE ALEXANDER: It goes to the question of
10 hardship.

11 SARAH RHATIGAN: -- the financial pro forma, or?

12 CONSTANTINE ALEXANDER: No. If you're going to
13 condominiumize this property, there's no hardship here,
14 other than the hardship is you can't get as much money for
15 the property as you would like.

16 Because you're not going to be using the property,
17 the current owners. You're going to be selling it off.

18 SARAH RHATIGAN: Okay. Well, I mean I think that
19 the intention is not to condominiumize it. I mean, the
20 owners tend not to. I mean, they own the building on the
21 right as a rental. It's not -- 31 Gore Street is not
22 conducive to a condominium ownership. It is a rental

1 project. And 33 Gore Street, as you mentioned, is in close
2 proximity.

3 I mean, I guess you're not suggesting, like, some
4 kind of condition on an approval that would prohibit a
5 condominium conversion? I mean, I don't think I've ever --

6 CONSTANTINE ALEXANDER: No, we wouldn't do that.
7 I don't think we can do that legally.

8 SARAH RHATIGAN: Okay. Okay, that -- I'm sorry.
9 I think that's probably why I'm having a little trouble
10 answering your question. I think --

11 ANDREA HICKEY: Councillor, could I ask a
12 question, please?

13 SARAH RHATIGAN: Yes.

14 ANDREA HICKEY: So how long have your clients
15 owned building #31?

16 SARAH RHATIGAN: Let's see. Chris and Peter
17 remind me; you purchased this summer?

18 CHRIS KOSKORES: It was in May 2020.

19 ANDREA HICKEY: And then 33 was purchased
20 subsequent?

21 CHRIS KOSKORES: Yes.

22 ANDREA HICKEY: Okay. And Councillor, with

1 respect to the parking that you're proposing in the
2 driveway, this tandem space, does that parking conform, or
3 are you asking for relief for parking?

4 SARAH RHATIGAN: We're asking for relief from
5 parking because I think that it is noncompliant as to the
6 distance from the side building. I --

7 ANDREA HICKEY: Yeah, I agree.

8 SARAH RHATIGAN: -- excuse me, so there's special
9 permit relief.

10 ANDREA HICKEY: Yeah.

11 SARAH RHATIGAN: There's special permit relief in
12 that regard.

13 ANDREA HICKEY: All right. I --

14 SARAH RHATIGAN: The way we've looked at this is
15 that the anticipation is that this is going to remain a
16 rental. This is going to remain a rental property. And
17 that's the most realistic. That's the most realistic, you
18 know, use of this property.

19 Is there a possibility that in the future, perhaps
20 they could condoize and create -- you know, two condos where
21 the left side becomes -- you know, two private owners and
22 the right side is owned by Chris and Peter as a rental

1 project? Perhaps? But, you know, again that's a practical
2 matter. I don't know that that's really in the cards.

3 But for, you know, for purposes of being able to -
4 - stepping back to the zoning case, #33 Gore Street is a
5 very, very old property that needs really significant work.

6 And I think that it's very much like a lot of
7 projects that you see people come to you for, where it may -
8 - you know, it's been used as a two-unit, you know, home,
9 but under very substandard conditions.

10 And in order to create -- in order to be able to
11 spend the money that needs to be spent, in order to -- for
12 example work with Historic in order to do some very
13 expensive construction, they need to be able to expand the
14 building in order to be able to pay for that construction.

15 You know, one could rent this out to people in a
16 substandard way and make tons of money. I mean, people do
17 that across the city of Cambridge. But that's not their
18 business model, and that's not their hope.

19 BRENDAN SULLIVAN: This is Brendan Sullivan. I
20 think, Sarah, this is where we part company, because I think
21 when they bought this a year ago, they obviously bought it
22 in the condition that it was in and supposedly paid fair

1 market value for the condition that it was in, and didn't
2 have to require zoning relief in order to either justify
3 that expenditure and the added renovations.

4 And that should have been a business decision at
5 that time that -- you know, the purchase price, the
6 renovation is going to come up to a sum, and then how are we
7 going to recoup those expenses?

8 And it's either going to be rental, which would be
9 higher rents -- so here's a vacant building -- or we're
10 going to do it in such a way that we are going to condo it,
11 and then recoup the money quicker.

12 And the only way to enhance that investment is by
13 making more attractive units and by putting on an addition
14 to the building, which then it becomes -- you know, fairly
15 nice units to sell.

16 And then I think eventually after Building #33 is
17 condoed, then they turn their attention to #31, so that the
18 two buildings together become a development package. That's
19 my thought on it.

20 SARAH RHATIGAN: I think one of the things I'm
21 having a little difficulty with is that the changes that are
22 being made -- it's hard to imagine --

1 BRENDAN SULLIVAN: And again -- [Brendan Sullivan]
2 -- I'm not saying that they're not necessary.

3 SARAH RHATIGAN: Yes.

4 BRENDAN SULLIVAN: And I'm not saying that they're
5 not expensive, it's just that that's a business decision at
6 the time. And, again, operating in that sphere of business
7 --

8 SARAH RHATIGAN: Mm-hm.

9 BRENDAN SULLIVAN: -- I know that you have to sit
10 down basically with pen and paper or a calculator, and you
11 have to make that assessment. "We are paying X number of
12 dollars for it, we need to put X number of dollars into it,
13 and consequently, how do we recoup that investment?"

14 So I'm not denying your saying that it's going to
15 require an awful lot of money. But again, that should have
16 been factored into the purchase price.

17 SARAH RHATIGAN: So the -- you know, another --

18 BRENDAN SULLIVAN: So anyway, I guess the bottom
19 line is this is a tough sell for me, so.

20 SARAH RHATIGAN: Another question that I might ask
21 is, you know, are you -- does this Board -- does this Board
22 find that extending the height of the building within a

1 setback is a special permit, in other cases? And if you
2 have been determining that, then we would like to request
3 that relief as a special permit.

4 And if we request it by special permit, then I'd
5 like to be able to argue, you know, very strongly that we do
6 meet special permit provisions, in terms of, you know, no
7 substantial detriment and, you know, meeting those -- you
8 know, those provisions.

9 And I'd also be happy to talk more about, you
10 know, the variance as well.

11 ANDREA HICKEY: Councillor, was it the Building
12 Department's direction that caused you to file this as a
13 special permit? I mean, as a variance -- my mistake.

14 SARAH RHATIGAN: It was not. It was a -- the
15 reason that this was ultimately filed as a variance was
16 because the time that we -- when we originally filed with
17 the original set of plans, the building height to #33 was 45
18 feet.

19 And the vast majority of this lot is in a C2B
20 residence -- it's a Business A district, so for residential
21 construction a C2B.

22 And the distance between buildings is based on a

1 calculation. And the calculation is based on height of
2 buildings. And, as you can see, the distance between these
3 two buildings is -- you know, it is what it is. But it's 11
4 feet I think one inch. And you see that we're adding an
5 addition here in the rear.

6 And although our project was not actually making
7 buildings closer together, by increasing the height of the
8 building on the left, the Commissioner felt that
9 technically, because we were increasing the height of the
10 building, because the formula was changing, we were
11 therefore increasing the nonconformity of the distance
12 between the buildings. I'm sorry, this is very confusing.
13 It took me --

14 ANDREA HICKEY: No I --

15 SARAH RHATIGAN: -- like sitting there mulling
16 this over. It sounds very academic, but it was that that
17 drove us to file this as a variance. If it were not --

18 ANDREA HICKEY: Yeah.

19 SARAH RHATIGAN: -- that distance between
20 buildings technical calculation, I would have filed this as
21 a special permit. Because in all other respects, I thought
22 this was a special permit case.

1 JIM MONTEVERDE: Yeah. I'm sorry, this is Jim
2 Monteverde.

3 SARAH RHATIGAN: Yes.

4 JIM MONTEVERDE: I'm looking at the dimensional
5 information and your revised dimensional information.

6 SARAH RHATIGAN: Yes.

7 JIM MONTEVERDE: And the bottom line is the
8 distance to nearest building on same lot?

9 SARAH RHATIGAN: Yep.

10 JIM MONTEVERDE: And it says the existing
11 condition is 11 foot 1, and the requested condition is 11
12 foot 1. And the ordinance is 10 foot 2. So in other words,
13 it has --

14 SARAH RHATIGAN: Yes.

15 JIM MONTEVERDE: -- nothing changes?

16 SARAH RHATIGAN: Correct. And so what happens is
17 now with the revised plans, because the building height for
18 33 is now less, we are now no longer changing the building -
19 - the calculation such that we're out of compliance with the
20 building, the distance between buildings.

21 JIM MONTEVERDE: Oh, because of the height?

22 SARAH RHATIGAN: Exactly. We used to be.

1 JIM MONTEVERDE: Yeah.

2 SARAH RHATIGAN: We used to be --

3 JIM MONTEVERDE: Right.

4 SARAH RHATIGAN: -- tipping it such that we were
5 further out of compliance. But now we're no longer out of
6 compliance.

7 JIM MONTEVERDE: Okay.

8 ANDREA HICKEY: Did you go back to the
9 commissioner and ask him whether a special permit filing now
10 was appropriate, given the reduction in height?

11 SARAH RHATIGAN: No. It's been difficult to --
12 you know, to be able to book meetings these days. You know,
13 so we were not able to make an appointment to make that kind
14 of a determination.

15 BRENDAN SULLIVAN: [Brendan Sullivan again.]
16 Andrea, I think you're on the right track. I think that I'm
17 unprepared to decide whether or not you need a variance or a
18 special permit.

19 I think that it really needs to go back to the
20 Commissioner to decide what the -- in light of the new
21 submissions, and have him rule and then come back to us with
22 a clean document that you -- this is the relief that you

1 really need.

2 SARAH RHATIGAN: And that's because we just --
3 there's no way I can persuade you how incredibly difficult
4 this would be for any petitioner to be able to make
5 renovations to a building such as this to modernize it to --
6 I mean, you're working within a setback that's incredibly
7 tight on a merged lot with multiple overlay districts -- you
8 know, tight constraints.

9 You know, it has all the elements of hardship that
10 we've seen this Board grant in other cases. And it has so
11 many of the elements that feel like it should -- you know,
12 it should pass muster. I mean, we'll -- you know, the --

13 CONSTANTINE ALEXANDER: What Brendan is suggesting
14 is that --

15 SARAH RHATIGAN: The uniqueness is -- the
16 uniqueness we certainly -- I certainly have never seen a lot
17 that is quite as encumbered by layers of complexity as this
18 one for a small project.

19 CONSTANTINE ALEXANDER: I would agree with that,
20 and my experience as well. The fact of the matter is you've
21 got a complicated, messy case here. You're going to -- you
22 force the vote tonight; you may not get the relief you want.

1 And why not go back to the Commissioner? It may
2 take some time, but that's how it is in this day of the
3 pandemic -- and get some clarification, based on the new
4 plan, and maybe minimize the zoning relief you need to
5 obtain.

6 ANDREA HICKEY: I think --

7 CONSTANTINE ALEXANDER: I think you're asking for
8 trouble, in short.

9 ANDREA HICKEY: Yeah, I --

10 CONSTANTINE ALEXANDER: -- in forcing a vote
11 tonight on this.

12 ANDREA HICKEY: I would second that. I think in
13 terms of the threshold for a variance, personally I'm not
14 there. Perhaps with the threshold for a special permit, you
15 could be persuasive. But my advice as well would be to go
16 back and see if this is now appropriately filed under a
17 special permit.

18 CONSTANTINE ALEXANDER: And I would just judge
19 second what Andrea said. And I'm not there for the variance
20 either, not yet anyway. But -- so you're rowing against the
21 wind here.

22 I think you should go back and repeat what Andrea

1 said. Go back to the Commissioner, whatever it takes to get
2 there, and however long it takes to get there and try to get
3 more clarity about the current situation, and then take it -
4 - and then come back before this Board.

5 But it's your call.

6 SARAH RHATIGAN: We will take that advice, for
7 sure. We would definitely like to have a continuance to be
8 able to get some clarity around that.

9 CONSTANTINE ALEXANDER: Okay. And this is being
10 obviously a case heard. And part of the problem is to what
11 date do we continue? Because you're dependent upon when you
12 can get to meet with the commissioner and get some feedback
13 from him.

14 I would suggest -- just off the top of my head --
15 a meeting in June, in early June. June 10 is available... if
16 we continue the case to June 10, assuming the other members
17 of the Board can be available that day, because this is a
18 case heard obviously. What's your pleasure?

19 SARAH RHATIGAN: Is there an earlier date when
20 you're all available that we might be able to try for?

21 CONSTANTINE ALEXANDER: Not -- you may not have
22 heard the other case. We're not -- we have a meeting on the

1 twentieth, but there's no openings in that meeting.

2 SARAH RHATIGAN: Oh, okay. I was -- yeah.

3 CONSTANTINE ALEXANDER: Yeah, and the twenty-
4 seventh I won't be here. So you only have four members.
5 And I don't know if you want to go forward with four
6 members. We could. It's up to you.

7 ANDREA HICKEY: And I won't be here on that date
8 either.

9 CONSTANTINE ALEXANDER: Oh.

10 SARAH RHATIGAN: Okay, so Jim can --

11 CONSTANTINE ALEXANDER: June 10 is a date. I
12 assume Jim, Andrea and Jason, you're all available on the
13 tenth?

14 JIM MONTEVERDE: Yes. [Jim Monteverde], I'm
15 available.

16 JASON MARSHALL: Yep.

17 ANDREA HICKEY: [Andrea Hickey], I'm available.

18 BRENDAN SULLIVAN: Brendan Sullivan yes.

19 CONSTANTINE ALEXANDER: And Brendan just said yes.
20 I want to make sure you heard him. So should I make a
21 motion to continue this case as a case heard --

22 SARAH RHATIGAN: Yes.

1 CONSTANTINE ALEXANDER: -- until --

2 JIM MONTEVERDE: Yeah.

3 CONSTANTINE ALEXANDER: Okay. The Chair moves
4 that we continue this case as a case heard until 6:00 p.m.
5 on January 10 -- I'm sorry, June 10, I got the wrong month -
6 - subject to the following condition:

7 That the petitioner sign a waiver of time for
8 decision, and that waiver must be signed and returned to the
9 Building Department no later than a week from today. And
10 that's not done, the case will be dismissed.

11 Second of all -- and then that shouldn't be a
12 problem, because it's a routine matter for the Building
13 Department -- second, that a new posting sign must be put
14 up, or the current one modified, to reflecting the new time
15 and the new date -- I got it backwards -- the new date and
16 the new time.

17 And you can either, as I said, get a new sign or
18 you can with a magic marker or what have you mark up the
19 current sign, so long as the current sign is legible.

20 And I've noticed this is a problem with
21 maintaining signs on that structure. And it's not your
22 fault, but it seems to me every time I go by that area, the

1 sign is in tatters, or has been partially ripped down. So
2 you have to police it a little bit better this time around.

3 And lastly, that any new plans or new
4 developments, plans, specs, what have you, must -- as you
5 know, Sarah -- must be in our file no later than 5:00 p.m.
6 on the Monday before June 10.

7 Brendan, how do you vote?

8 BRENDAN SULLIVAN: Yes to the continuance.

9 CONSTANTINE ALEXANDER: Jason?

10 JASON MARSHALL: Jason Marshall yes to the
11 continuance.

12 CONSTANTINE ALEXANDER: Jim?

13 JIM MONTEVERDE: Jim Monteverde yes to the
14 continuance.

15 CONSTANTINE ALEXANDER: Andrea?

16 ANDREA HICKEY: Andrea Hickey yes to the
17 continuance.

18 CONSTANTINE ALEXANDER: And the Chair votes yes as
19 well.

20 [All vote YES]

21 So the case will be continued until June 10.

22 Thank you.

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SARAH RHATIGAN: Thank you.

ACCORDING TO THE FEDERAL EMERGENCY
MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE
MAJOR IMPROVEMENTS ON THIS PROPERTY FALL
IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0577E
EFFECTIVE DATE: 06/04/2010

PREPARED FOR:
KOSKORES REAL ESTATE CORPORATION
C/O PETER KOSKORES
PO BOX 911
WINCHESTER, MA 01890

REFERENCES:
OWNER OF RECORD:
FRAZIER S. PROFFITT
29-31 GORE STREET
CAMBRIDGE, MA 02143

DEED: BK 46307; PG 162
BK 71333; PG 409
EASEMENT: BK 40902; PG 495
PLAN: BK 243; PG END
PL 1929 #182
PL 1930 #227
PL 1939 #11
PL 1946 #1244
LCC: 3287-A
11264-A
13190-B
29873-B

CITY OF CAMBRIDGE ENGINEERING RECORDS
SURVEY #6578
SURVEY #R337
SURVEY 200 MCGRATH_SURVEY2019
FB 163: PG 40

NOTES:
PARCEL ID: 20-12
 20-14
ZONING: BA, RES.C
DATUM: CAMBRIDGE CITY BASE

THIRD STREET
(50' WIDE ~ PUBLIC)

(50' WIDE ~ PUBLIC)

110.00'
S80°46'06"E

GORE STREET

(50' WIDE ~ PUBLIC)



SITE PLAN OF LAND

LOCATED AT
31 & 33 GORE STREET
CAMBRIDGE, MA

DATE: MAY 7, 2020 SCALE: 1.0 INCH = 10.0 FEET



NOTES:
BOUNDARY SHOWN DELINEATES CITY OF
CAMBRIDGE PARCEL ID'S 854 & 862 MERGED IN
COMMON OWNERSHIP.

FIELD:	MO
DRAFT:	RAP
CHECK:	GCC
DATE:	10/15/20
JOB #	20-00224











I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF MARCH 5, 2020 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0577E
EFFECTIVE DATE: 06/04/2010

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SURVEY #6578
SURVEY #R337
SURVEY 200 MCGRATH_SURVEY2019
FB 163; PG 40

NOTES:
MAP/LOT: 20-12
20-14
ZONING: BA, RES.C
DATUM: CAMBRIDGE CITY BASE



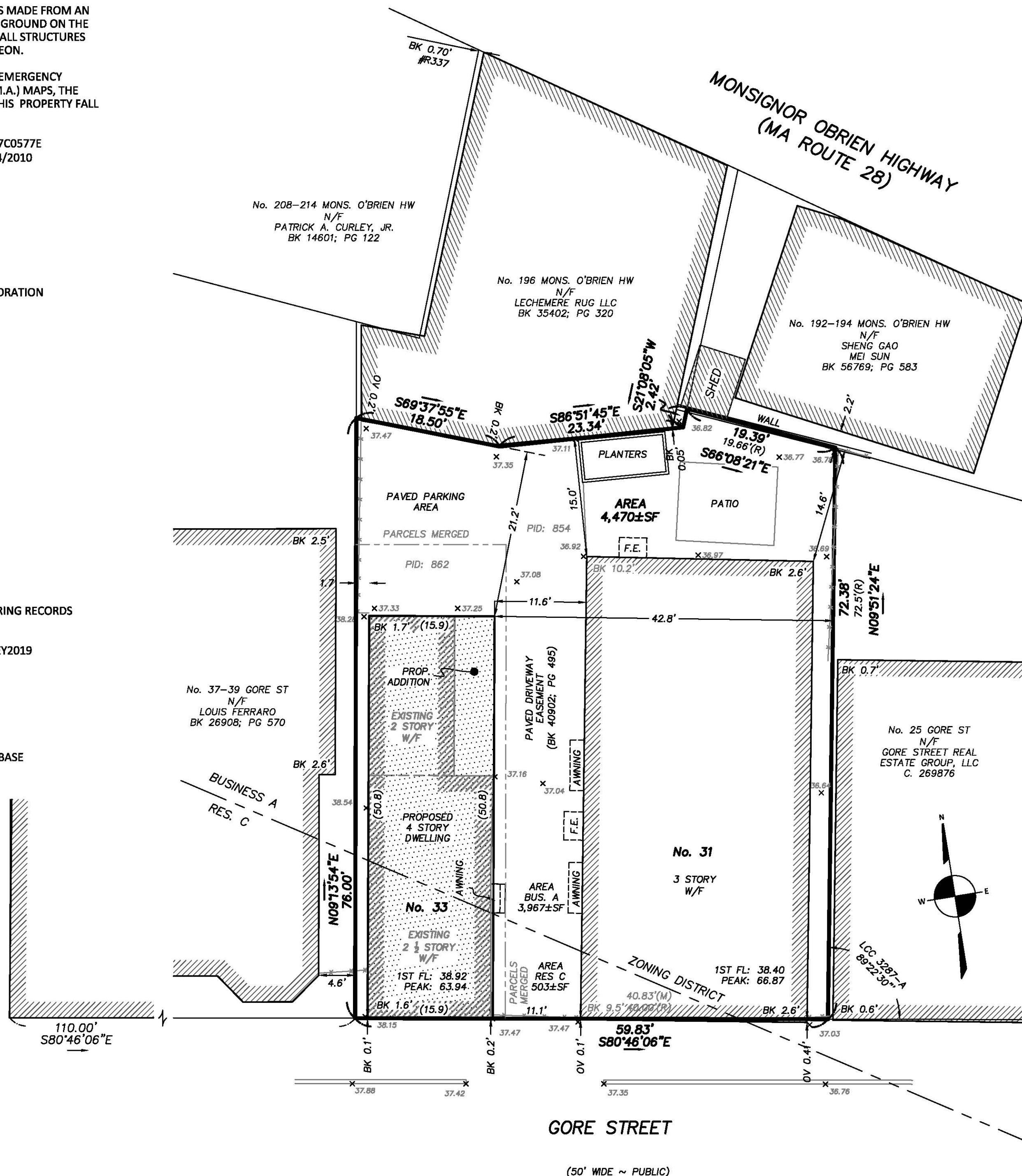
SITE PLAN OF LAND LOCATED AT 31 & 33 GORE STREET CAMBRIDGE, MA

DATE: DECEMBER 9, 2020 SCALE: 1.0 INCH = 10.0 FEET



NOTES:
BOUNDARY SHOWN DELINEATES CITY OF
CAMBRIDGE PARCEL ID'S 854 & 862 MERGED IN
COMMON OWNERSHIP.

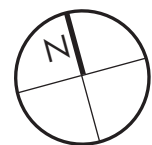
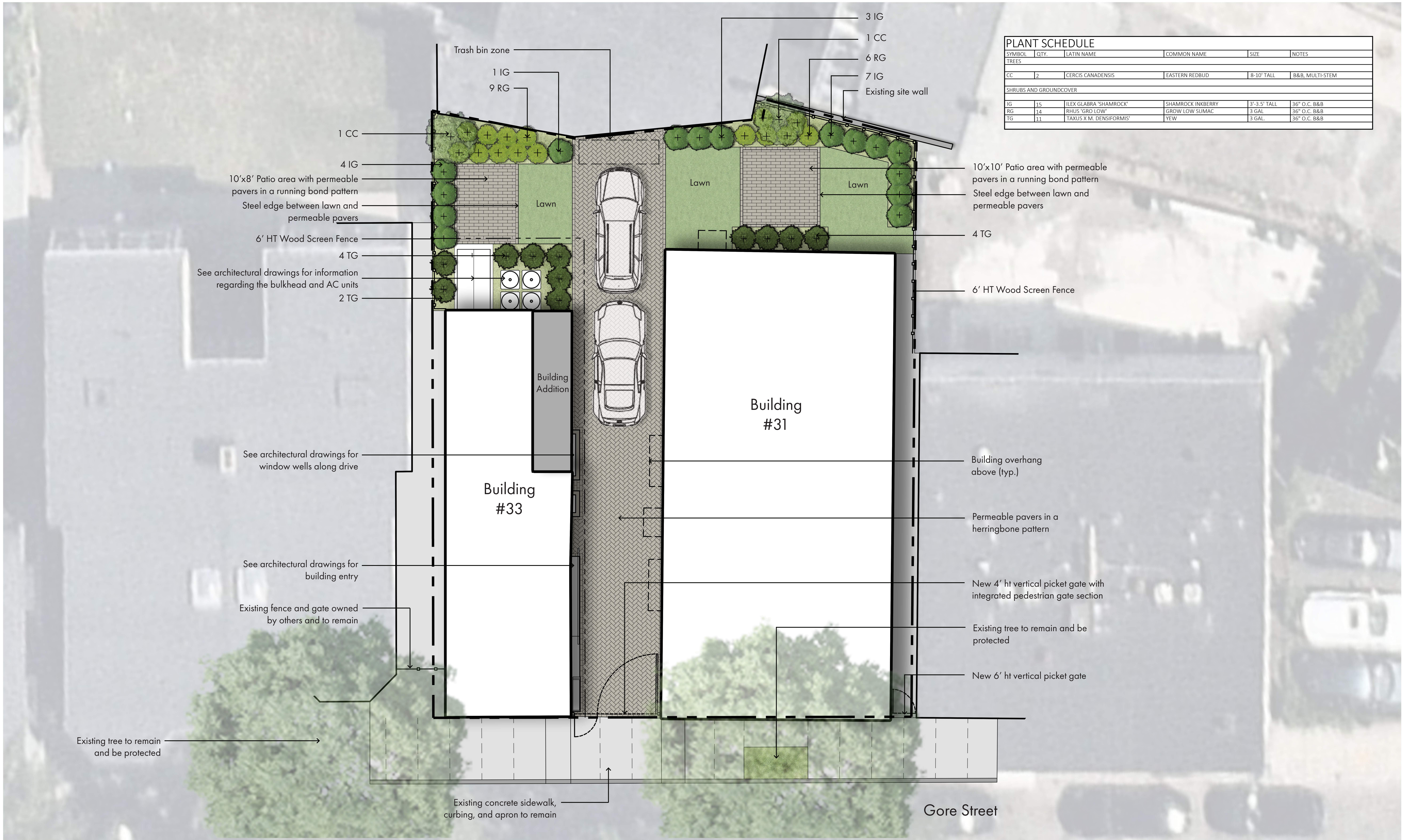
THIRD STREET
(50' WIDE ~ PUBLIC)



GORE STREET

(50' WIDE ~ PUBLIC)

FIELD:	MO
DRAFT:	RAP
CHECK:	GCC
DATE:	12/09/20
JOB #	20-00224



Gore Street Development

33 gore street, cambridge, ma

Exterior Design Renderings

01 / 14 /2021





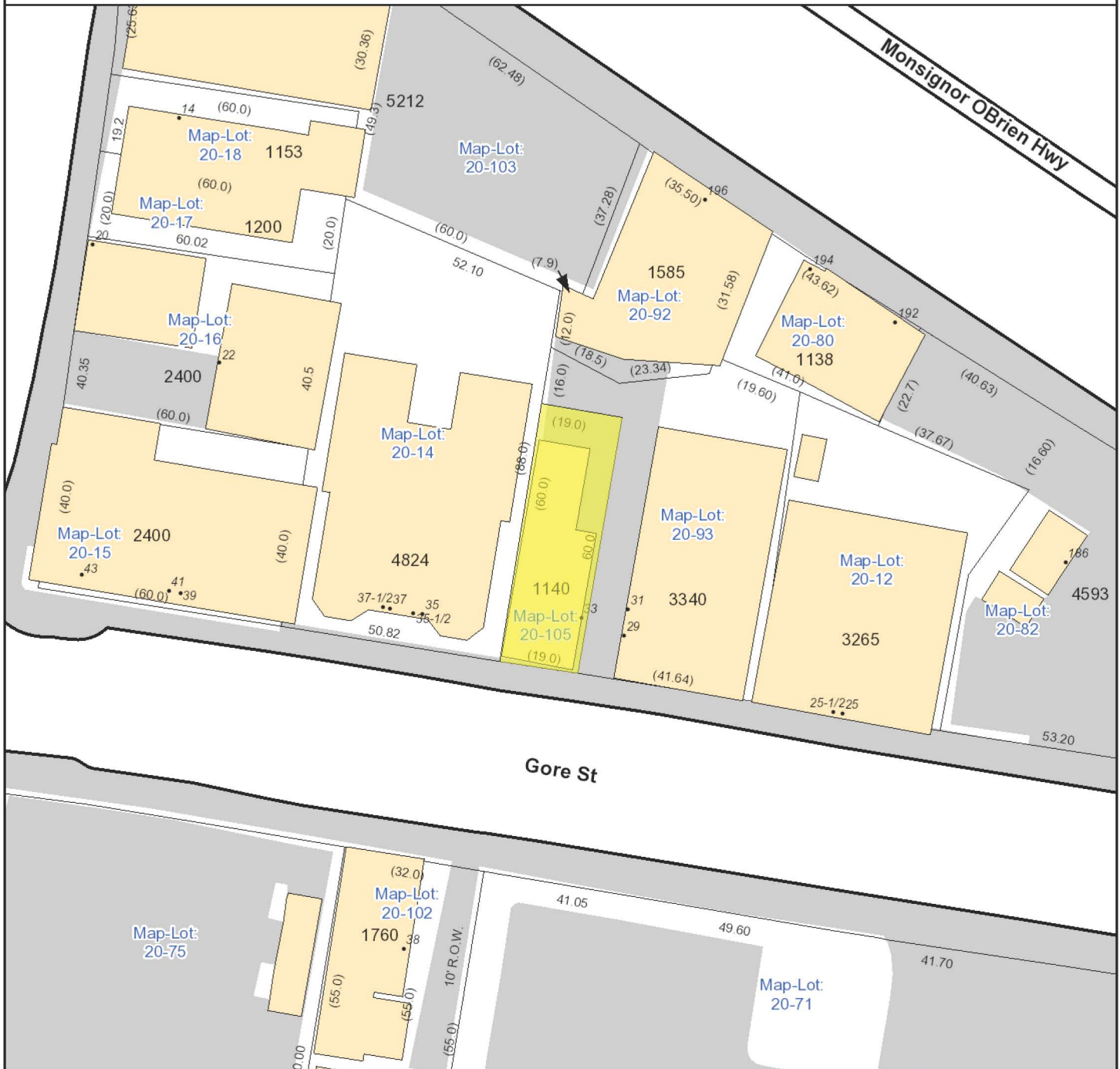
street view






















City of Cambridge
Massachusetts

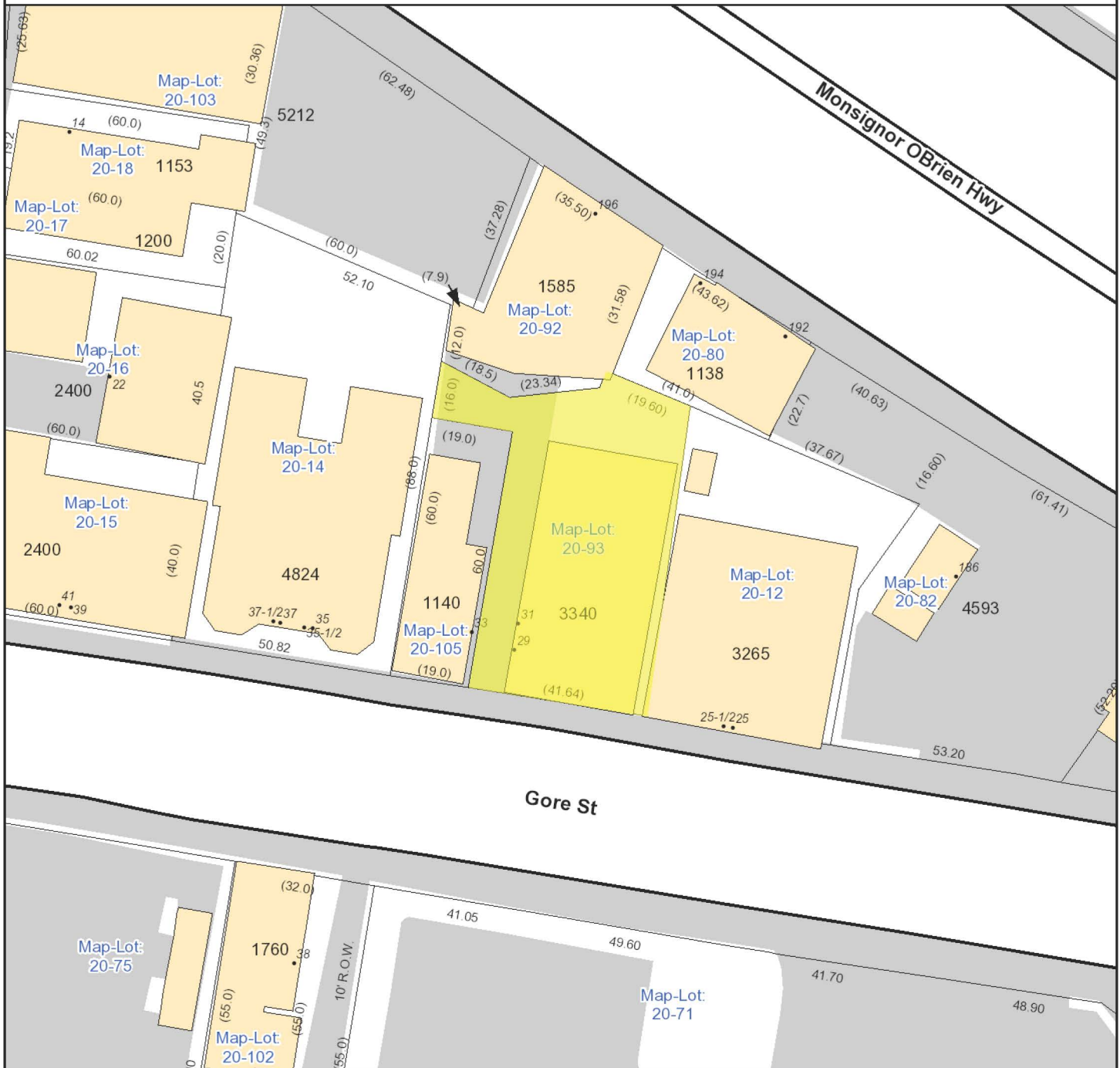
$$1'' = 35 \text{ ft}$$

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- Adresse
- Rail
-  Building Footprints
-  Parcels
- Paved Surfaces
 -  Paved Roads
 -  Bridges
 -  Unpaved Roads
 -  Unpaved Parking
 -  Sidewalks
 -  Driveways
 -  Alleys
 -  Other Paved Surface
 -  Public Footpath





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Massachusetts

1" = 35 ft

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