



**CITY OF CAMBRIDGE  
 MASSACHUSETTS  
 BOARD OF ZONING APPEAL  
 831 MASSACHUSETTS AVENUE  
 CAMBRIDGE, MA 02139  
 617 349-6100**

BZA APPLICATION FORM

Plan No: BZA-017173-2019

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : \_\_\_\_\_ Variance :   v   Appeal : \_\_\_\_\_

PETITIONER : SmartArchitecture - C/O Maggie Booz

PETITIONER'S ADDRESS : 625 Mount Auburn Street Cambridge, MA 02138

LOCATION OF PROPERTY : 34 May St Cambridge, MA

TYPE OF OCCUPANCY : R-3 ZONING DISTRICT : Residence C-1 Zone

REASON FOR PETITION :

Additions

DESCRIPTION OF PETITIONER'S PROPOSAL :

Owner is requesting permission to add a third floor to existing two-floor, flat-roofed, two-family house. This third floor would cover most of the floor area of the second floor with the exception of an open-air porch at the front left (southeast) corner of the building. No new windows are proposed on the sides of the addition facing south and north; all proposed windows are street or rearyard-facing.

SECTIONS OF ZONING ORDINANCE CITED :

Article 5.000 Section 5.31 (Table of Dimensional Requirements).

Article 8.000 Section 8.22.3 (Non-Conforming Structure).

Original Signature(s) :   
 (Petitioner(s) / Owner)

LAURIE BARNES  
 (Print Name)

Address : 34 May St  
CAMBRIDGE, MA 02138

Tel. No. : 617.763.2585

E-Mail Address : LAURIEBEE4@AOL.COM

Date : \_\_\_\_\_

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Laurie Beth Mangili-Gaines  
(OWNER)

Address: 34 May St Cambridge Ma 02138

State that I/We own the property located at 34 May St, which is the subject of this zoning application.

The record title of this property is in the name of Laurie B Gaines

\*Pursuant to a deed of duly recorded in the date \_\_\_\_\_, Middlesex South County Registry of Deeds at Book 7024, Page 423; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book 55574 Page 431.

Laurie Beth Mangili-Gaines  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

\*Written evidence of Agent's standing to represent petitioner may be requested.

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Laurie Beth Mangili-Gaines personally appeared before me, this 30<sup>th</sup> of August, 2019, and made oath that the above statement is true.

[Signature] Notary

My commission expires 11-28-2022 (Notary Seal).



THERESA KAUFMAN  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires  
January 28, 2022

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:**

- A)** A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The applicant is a long-time resident of May Street and of Cambridge, and is an art teacher in the Cambridge Public School system. She has two children, one postcollege and one in college, who work/live and plan to work/live, in Cambridge. The children were raised in this house on the second floor, which was designed as a two-bedroom apartment, by converting the small living room into a bedroom. The first floor apartment has been rented out so as to provide income for the family. The applicant's children intend to remain in their house in order to be able to afford to live in Cambridge, where rents have become outrageously high for middle-income earners, but the cramped quarters of the second floor apartment are not conducive to the lives of three co-habiting adults, or for a future family. The applicant and her children are requesting the variance in order to create a large-enough unit that continuing to live in Cambridge will be possible.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The basement at 34 May Street has suffered from radical flooding due to the fact that the basement entry door is at grade, and that the three identical houses of which number 34 is the center were built very close together with no permeable land between. The first floor level is, also, relatively close to grade which in combination with the paltry sideyard space means that getting windows in to provide decent daylight or egress is almost impossible. Therefore, use of the basement as living space, were it dug deeper for Code headroom, is not an option to the applicant.

- C) **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:****

- 1)** Substantial detriment to the public good for the following reasons:

The requested relief would not cause substantial detriment to the public good because the proposed alterations are consistent architecturally with neighboring buildings; they do not increase density nor occupancy in any substantive way (two-family configuration remains); they do not eliminate a rental apartment unit; and they do not decrease endangered open space. In fact, the proposed alterations are consistent with the City's own proposed overlay district strategy for housing expansion.

- 2)** Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The requested relief may be granted without nullifying or substantially derogating from the intent of the Ordinance because no expansion of the building footprint, no violation of the Ordinance's height requirement, and no window openings in close proximity to adjacent houses are being requested in this proposal.

- \* If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

**BZA APPLICATION FORM**

**DIMENSIONAL INFORMATION**

**APPLICANT:** SmartArchitecture                      **PRESENT USE/OCCUPANCY:** Two-family  
**LOCATION:** 34 May St Cambridge, MA                      **ZONE:** Residence C-1 Zone  
**PHONE:** \_\_\_\_\_ **REQUESTED USE/OCCUPANCY:** Two-family

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> <sup>1</sup>	
<u>TOTAL GROSS FLOOR AREA:</u>	2235 SF	3079 SF	1687 SF	(max.)
<u>LOT AREA:</u>	2249 SF	2249 SF	5000 SF	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>	.99	1.37	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	1117.5 SF	1117.5 SF	1500 SF	(min.)
<u>SIZE OF LOT:</u> WIDTH	30 LF	30 LF	50 LF	(min.)
DEPTH	75 LF	75 LF	NA	
<u>SETBACKS IN FEET:</u> FRONT	3.7 LF	3.7 LF	10 LF	(min.)
REAR	19.9 LF	19.9 LF	20 LF	(min.)
LEFT SIDE	2.9 LF	2.9 LF	7.5 LF	(min.)
RIGHT SIDE	1.4 LF	1.4 LF	7.5 LF	(min.)
<u>SIZE OF BLDG.:</u> HEIGHT	25.25 LF	33.5 LF	35 LF	(max.)
LENGTH	43 LF	43 LF	NA	
WIDTH	24 LF	24 LF	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	42%	48%	30%	(min.)
<u>NO. OF DWELLING UNITS:</u>	2	2	2	(max.)
<u>NO. OF PARKING SPACES:</u>	0	0	2	(min./max)
<u>NO. OF LOADING AREAS:</u>	NA	NA	NA	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	NA	NA	NA	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.  
No other occupancies on the lot.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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2019 SEP -5 PM 2:49  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

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Tel. No. :

617.763.2585

E-Mail Address :

LAURIEBEE4@AOL.COM

Date : \_\_\_\_\_

# PLAN OF LAND

LOCATED AT  
34 MAY STREET  
CAMBRIDGE, MA

PREPARED FOR:  
LAURIE GAINES

SCALE: 1 INCH = 20 FEET

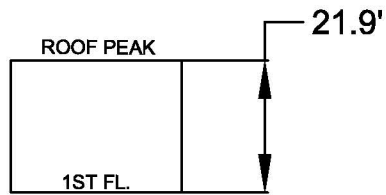
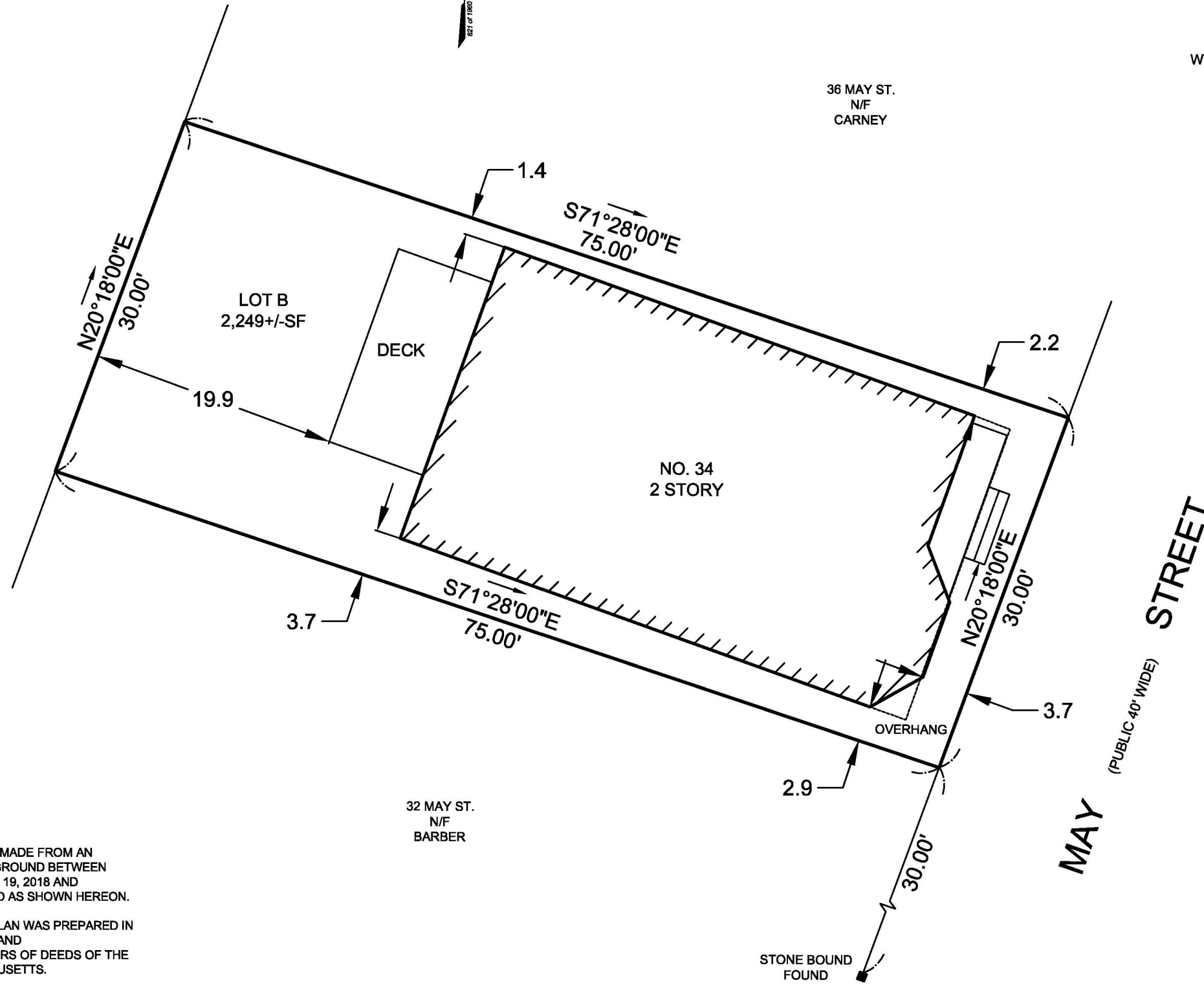
MASSACHUSETTS  
SURVEY  
CONSULTANTS

14 SUMNER STREET  
GLOUCESTER, MA 01930  
617 899-0703  
WWW.MASSACHUSETTSSURVEY.COM

121 FAIRVIEW AVE.  
N/F  
CITY OF CAMBRIDGE

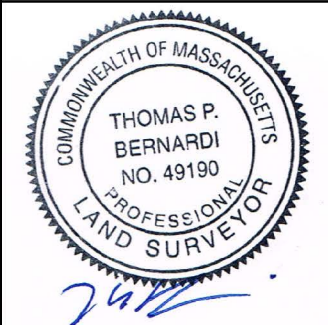
36 MAY ST.  
N/F  
CARNEY

32 MAY ST.  
N/F  
BARBER



## REFERENCES

DEED: BOOK 55571, PAGE 434  
PLANS: 621 OF 1960; 1119 OF 1946



## CERTIFICATION

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF MAY 18 AND MAY 19, 2018 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THOMAS BERNARDI P.L.S.

DATE: AUGUST 27, 2019

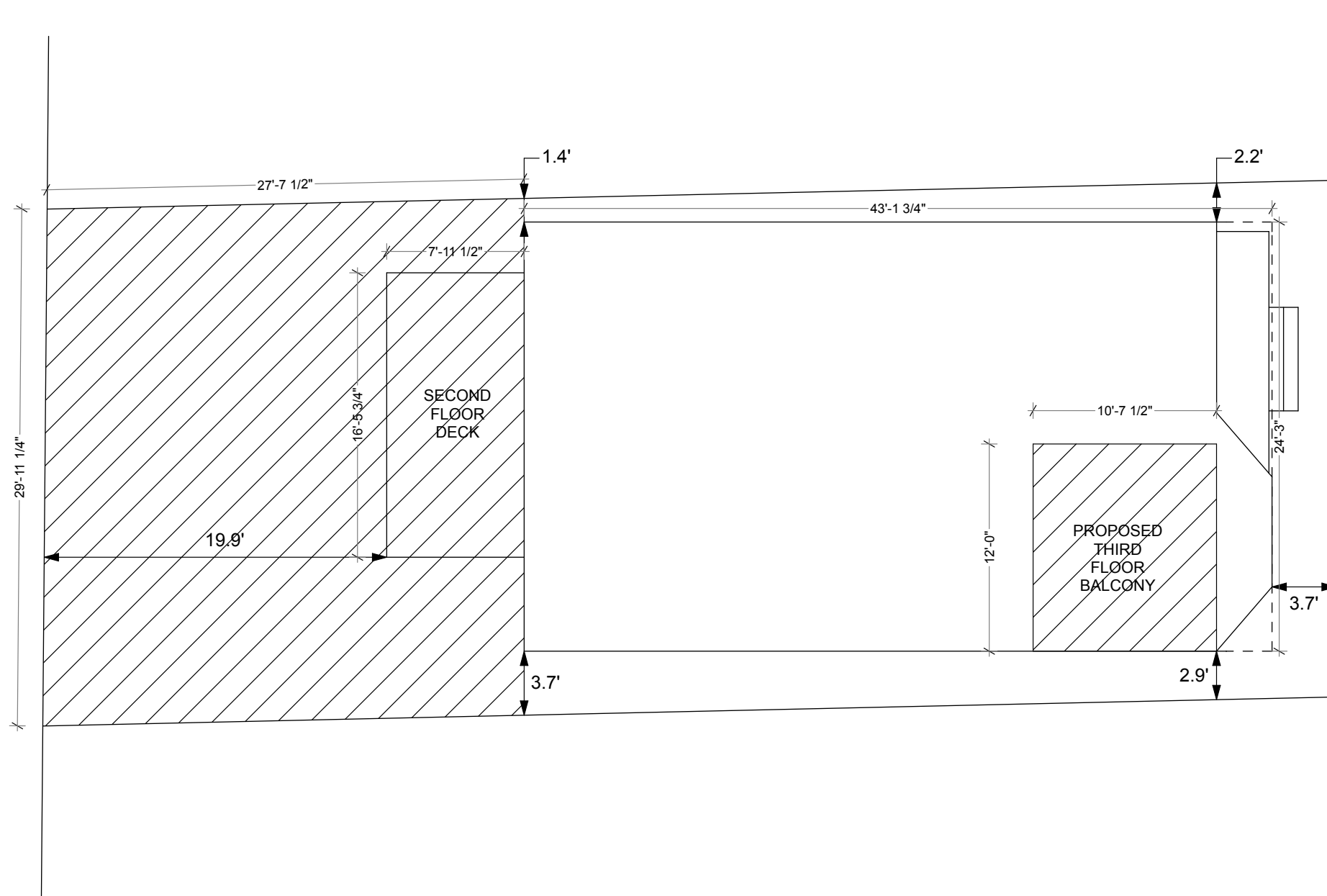
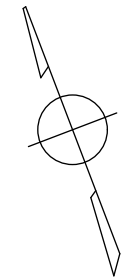
# GAINES RESIDENCE

## 34 MAY STREET, CAMBRIDGE, MASSACHUSETTS

ARCHITECT  
**SMART ARCHITECTURE**  
 625 MOUNT AUBURN STREET, SUITE 206, CAMBRIDGE, MA 02138  
 T: 617.576.2720 www.smartarchitecture.net

VARIANCE APPLICATION DRAWING INDEX:

- A-0.0 Cover Page W/ Zoning Calculations
- A-1.0 Certified Plot Plan
- A-2.0 Basement Demolition Plan
- A-2.1 First Floor Demolition Plan
- A-2.2 Second Floor Demolition Plan
- A-3.2 Proposed Second Floor Plan
- A-3.3 Proposed Third Floor Plan
- A-6.0 Existing Front and Rear Elevations
- A-6.1 Existing Side Elevation
- A-7.0 Proposed Front Elevation
- A-7.1 Proposed Rear Elevation
- A-7.2 Proposed Side Elevation



**OPEN SPACE & FLOOR AREA CALCULATIONS**

**34 MAY STREET**  
**OPEN SPACE**  
 EXISTING OPEN SPACE: 960 SF  
 PROPOSED OPEN SPACE: 1,088 SF  
 LOT SIZE: 2,249 SF  
 EXISTING OPEN SPACE: 42%  
 PROPOSED OPEN SPACE: 48%  
 REQUIRED: 30%

**FLOOR AREA**  
 EXISTING FLOOR AREA: 2,235 SF  
 PROPOSED FLOOR AREA: 3,079 SF  
 REQUIRED FLOOR AREA: 1,687 SF  
 LOT AREA: 2,249 SF  
 REQUIRED LOT AREA: 5,000 SF  
 EXISTING F.A.R.: .99 %  
 PROPOSED F.A.R.: 1.37 %  
 REQUIRED F.A.R.: 75%

Site Plan with Floor Area and Open Space Calculations

1/8" = 1'-0"

SMART ARCHITECTURE  
 625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

General Drawing Note:  
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Gaines Residence  
 34 May Street  
 Cambridge MA, 02138

Job number	1811
Scale	as noted
Date	08.28.19
Drawn by	aj/cb
Checked by	-

Cover Page w/ Zoning Calculations

**A-0.0**

**PLAN OF LAND**

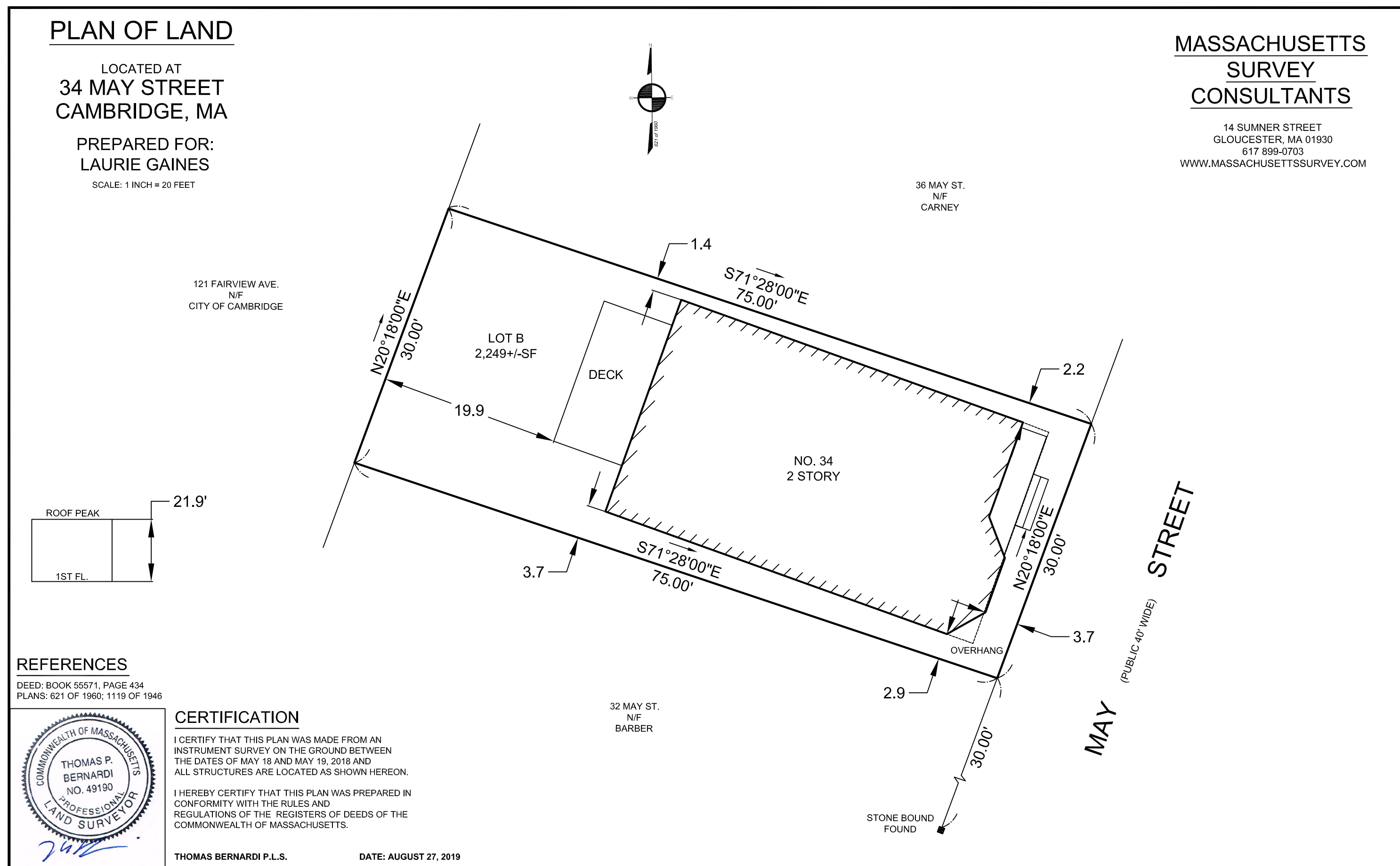
LOCATED AT  
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**CAMBRIDGE, MA**

PREPARED FOR:  
**LAURIE GAINES**

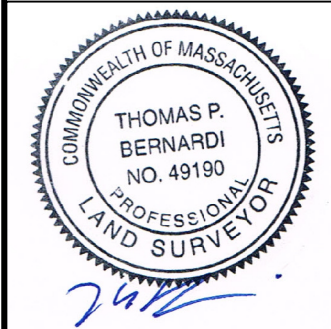
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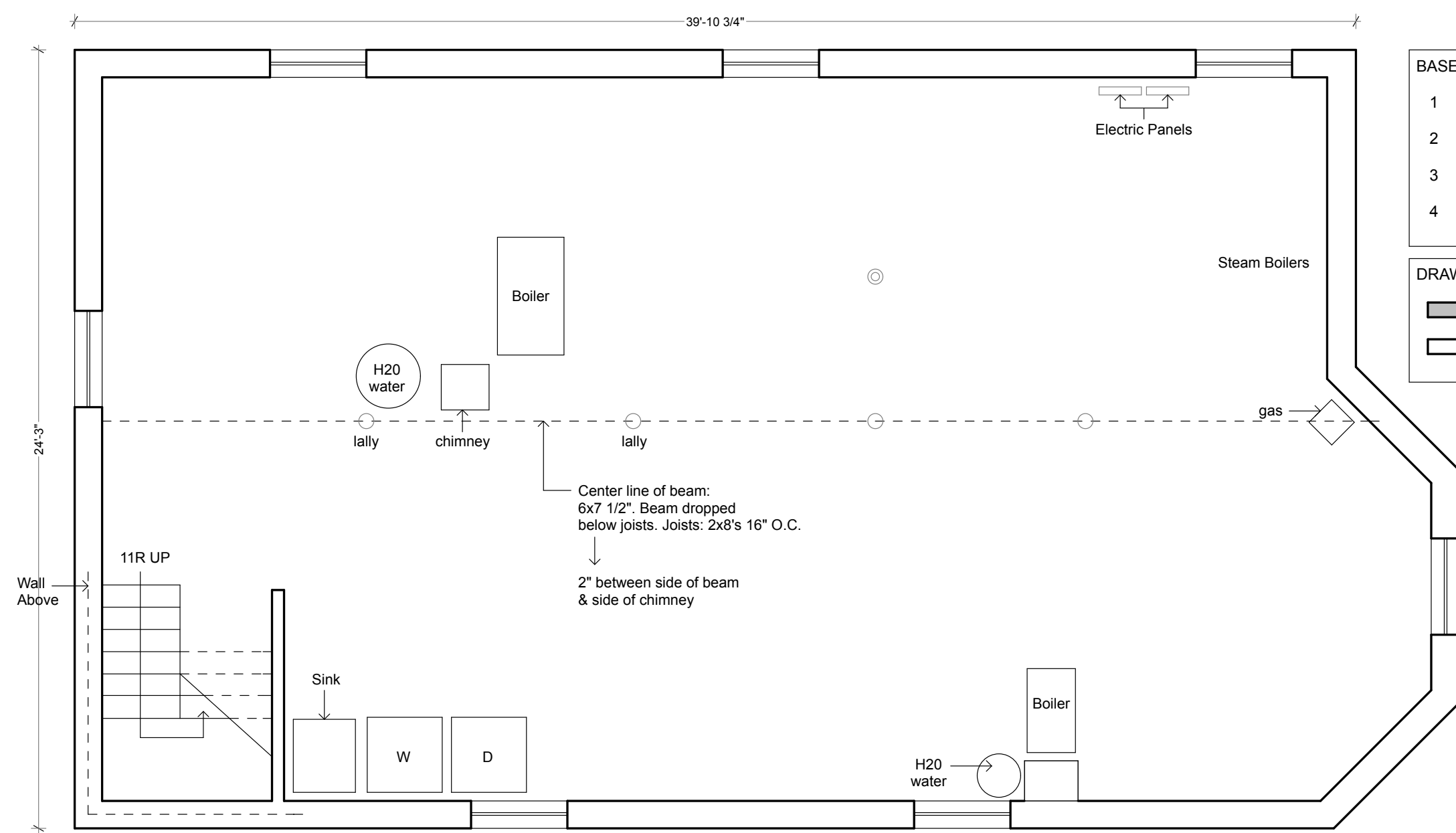
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Checked by	-

Certified Plot Plan  
**A-1.0**





**BASEMENT DEMO NOTES:**

- 1
- 2
- 3
- 4

**DRAWING KEY:**

█ WALLS TO BE DEMOLISHED

▭ EXISTING WALLS TO REMAIN

**SMART ARCHITECTURE**  
 625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

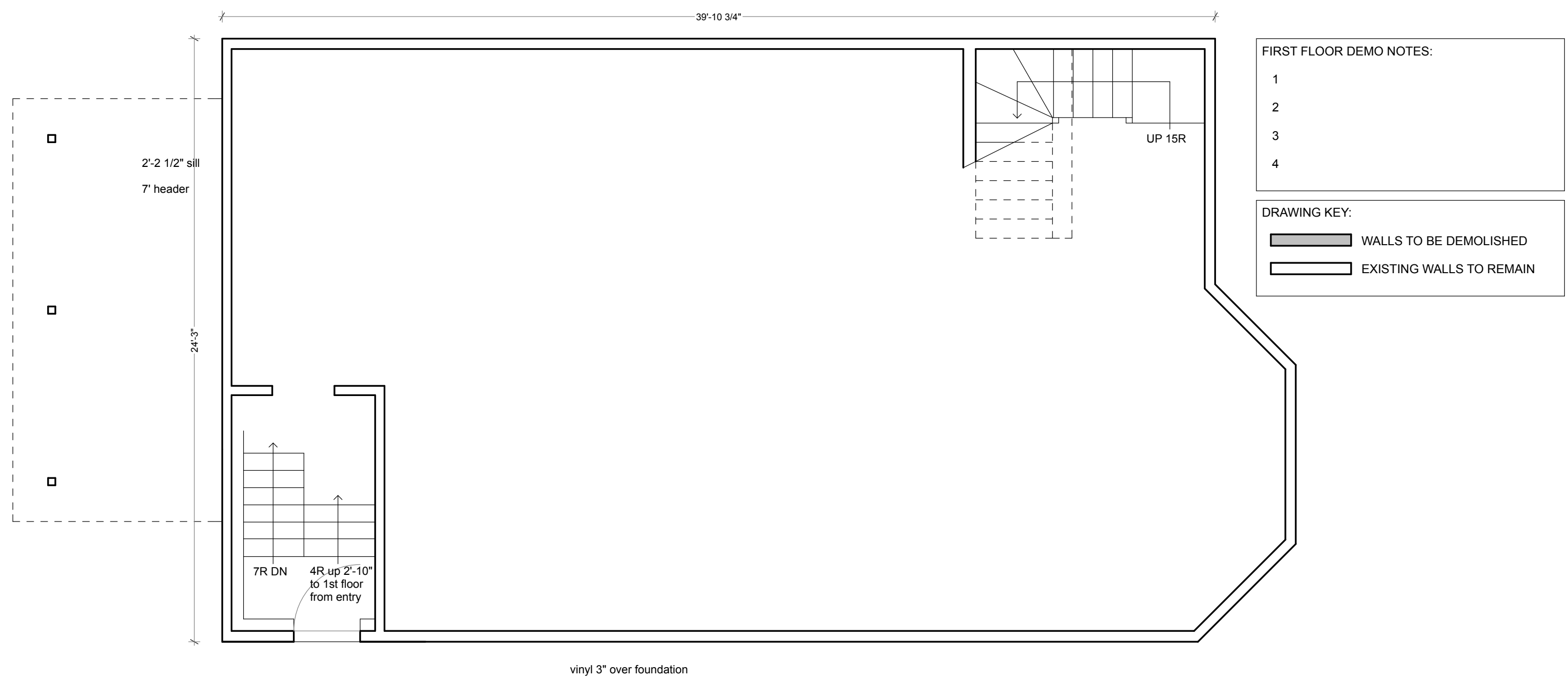
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**Basement Demolition Plan**

**A-2.0**



First Floor Demolition Plan

1/4" = 1'-0" **1**

**SMART ARCHITECTURE**  
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

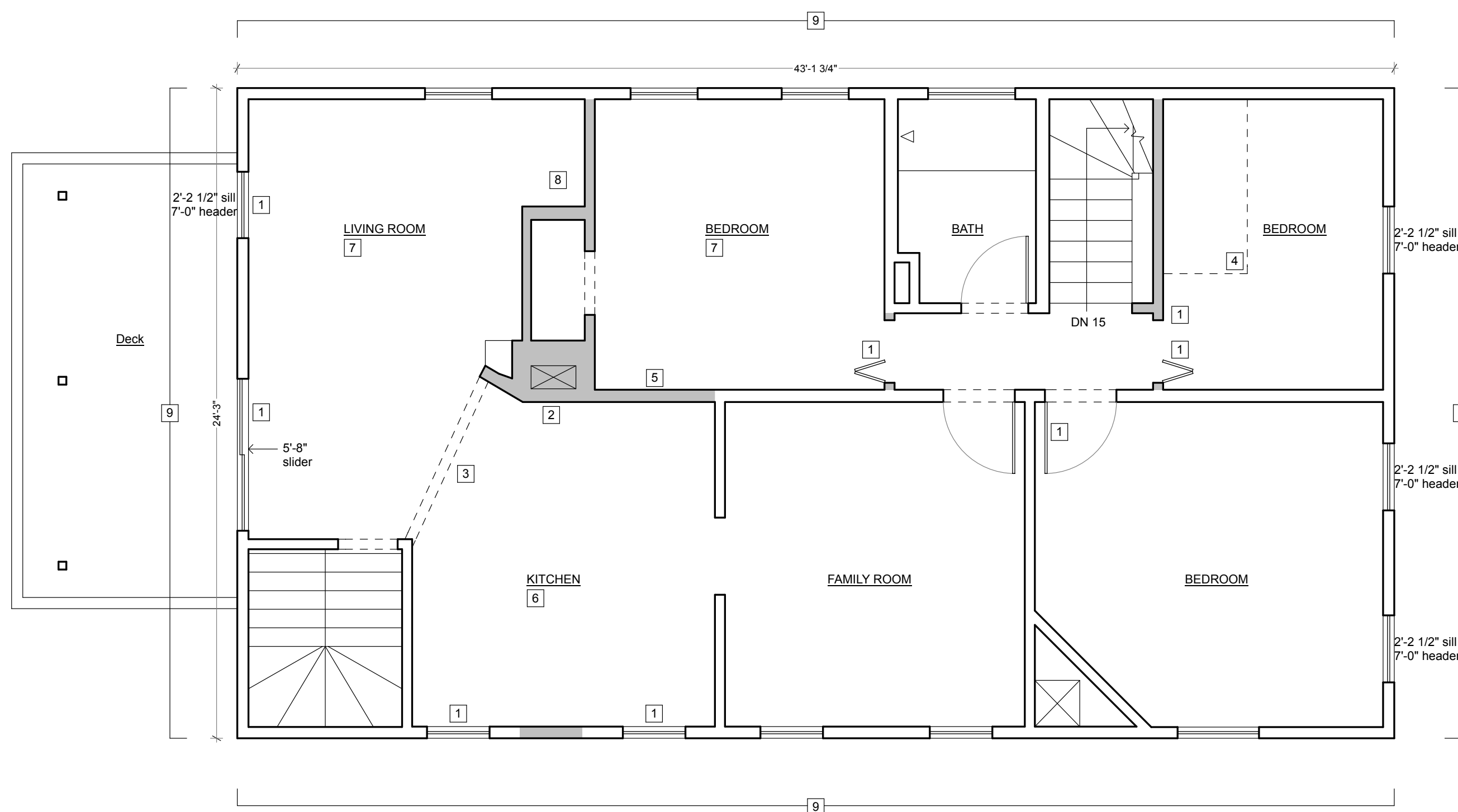
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First Floor  
Demolition Plan

**A-2.1**



- SECOND FLOOR DEMO NOTES:**
- 1 REMOVE DOOR OR WINDOW & DISCARD.
  - 2 REMOVE CHIMNEY FROM ROOF TO BASEMENT FLOOR.
  - 3 REMOVE BEAM.
  - 4 REMOVE SECTION OF FLOOR ABOVE FOR NEW STAIR UP.
  - 5 REMOVE BEARING WALL, REPLACE WITH BEAM TO REAR WALL, DROPPED.
  - 6 KITCHEN: REMOVE ALL FINISHED CEILING, WALL, FLOOR SURFACES, CABINETS, APPLIANCES, PLUMBING FIXTURES.
  - 7 REMOVE FINISHED FLOORING, WALLS, CEILINGS.
  - 8 REMOVE BUILT-IN CABINETRY.
  - 9 REMOVE EXTERIOR SIDING TO GRADE, ALL AROUND HOUSE.

- DRAWING KEY:**
- WALLS TO BE DEMOLISHED
  - EXISTING WALLS TO REMAIN

**\*\*NOTE: ROOF OVER SECOND FLOOR:**  
 2x8 RAFTERS 2' CC, FLAT ROOF, RUNNING PARALLEL TO STREET.  
 2'-2" CEILING TO BOTTOM OF RAFTERS.  
 2x6 CEILING JOISTS, HUNG.

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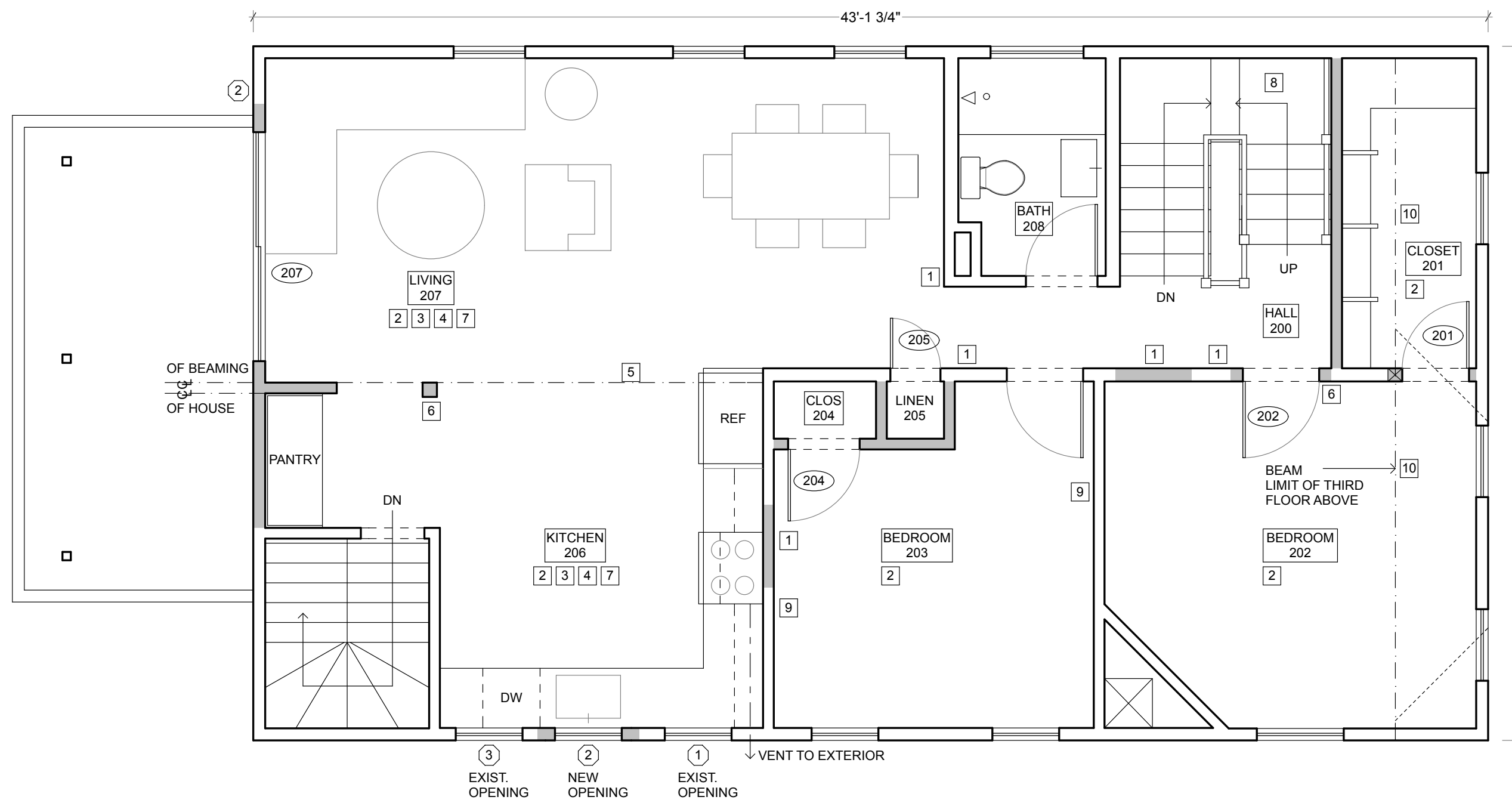
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 Checked by

**Second Floor Demolition Plan**

Second Floor Demolition Plan

1/4" = 1'-0" 1

**A-2.2**



PROPOSED SECOND FLOOR NOTES:

- NEW DOOR.
- NEW WINDOW.
- 1 PATCH WALL, BASEBOARD WHERE WALL IS REMOVED OR DOOR REPLACED W/ WALL.
- 2 NEW WALL OR CEILING INSULATION TO MAX POSSIBLE R. VALUE.
- 3 NEW BLUEBOARD & SMOOTH PLASTER WALLS, CEILINGS.
- 4 NEW WOOD FLOORING, 2'-4" OAK.
- 5 NEW DROPPED BEAM WHERE BEARING WALL IS REMOVED.
- 6 NEW POST DOWN.
- 7 NEW KITCHEN: PAINTED FULL-OVERLAY CABINETS, STONE COUNTERS, UNDER-MOUNT SINK, DW, DISPOSAL, GAS STOVE, FRIDGE, W/ ICEMAKER. EXHAUST VENT TO EXTERIOR (PROVIDE MAKE-UP AIR). FLOOR-TO-CEILING PANTRY CABINETS.
- 8 NEW STAIR TO 3RD FLOOR: OAK TREADS, PAINTED RISERS, SQUARE NEWELS & BALUSTERS, ALL PAINTED, PAINTED HANDRAIL.
- 9 SOUND INSULATION BETWEEN ROOMS.
- 10 NEW BEAM, FLUSH, ABOVE.

DRAWING KEY:

- NEW WORK
- EXISTING WALLS TO REMAIN

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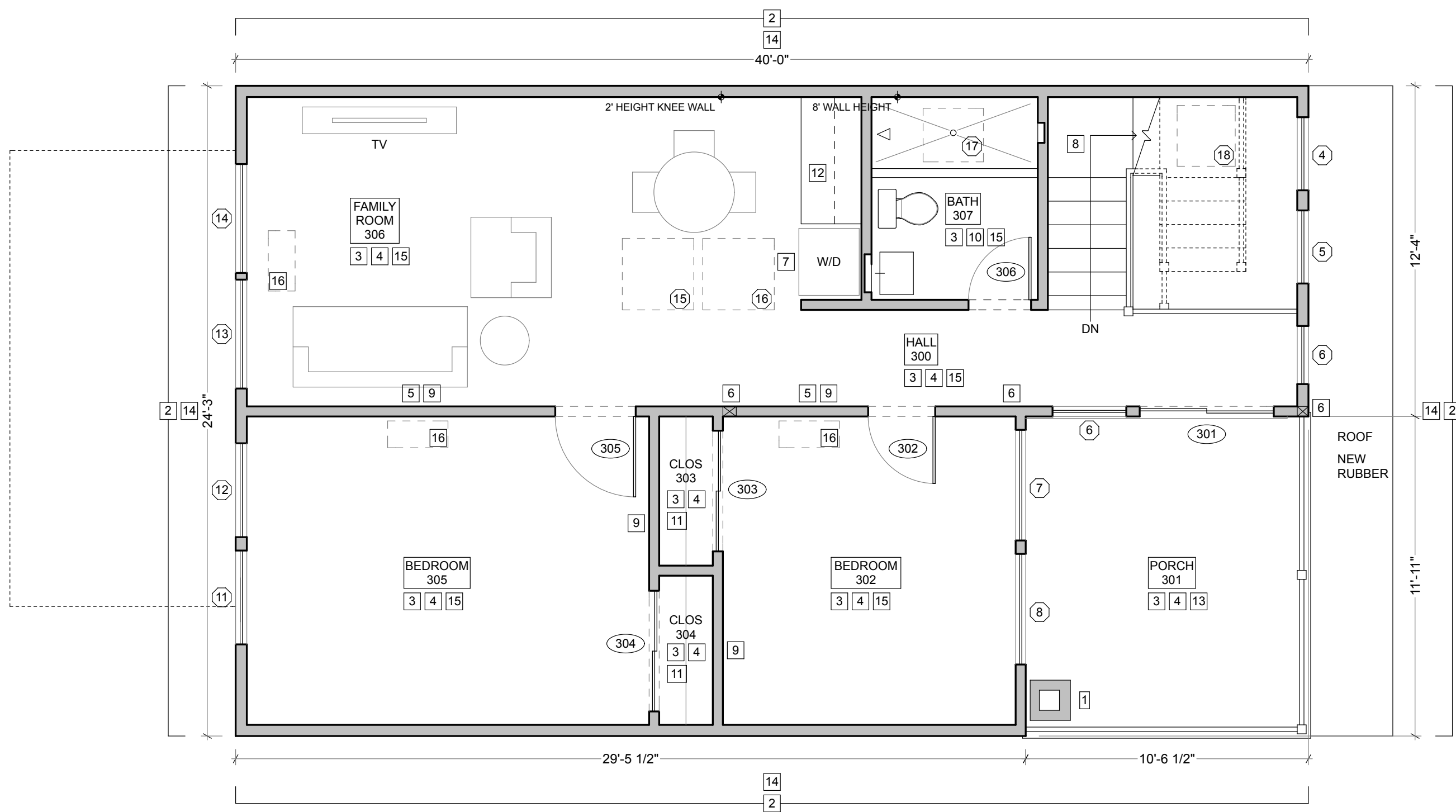
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**Proposed Second Floor Plan**

**A-3.2**

Proposed Second Floor Plan

1/4" = 1'-0" 1



- PROPOSED THIRD FLOOR NOTES:
- NEW DOOR.
  - NEW WINDOW OR SKYLIGHT.
  - 1 EXTEND BRICK CHIMNEY UP TO 2'-0" ABOVE NEW FLAT ROOFLINE.
  - 2 2X4 WALLS WITH NEW CLOSED CELL FOAM INSULATION TO MAX POSSIBLE R-VALUE.
  - 3 NEW BLUEBOARD & SMOOTH PLASTER WALLS, CEILINGS.
  - 4 NEW WOOD FLOORING, 2 1/4" OAK.
  - 5 NEW BEARING WALL/BEAM.
  - 6 NEW POST DOWN.
  - 7 NEW LAUNDRY HOOK-UP: WATER, GAS TO DRYER, VENT TO EXTERIOR
  - 8 NEW STAIR AS IN NOTE 8 SHEET 3.0.
  - 9 SOUND INSULATION BETWEEN ROOMS.
  - 10 NEW BATH: SHOWER IN COPPER PAN, FULL TILED WALLS AND FLOOR IN SHOWER, TILED FLOOR & HALF WALLS IN REST OF BATH, RECESSED MED. CAB AND RECESSED SOAP NICHE, WC, SINK & FAUCET ON WALL-HUNG VANITY, EXHAUST FAN TO EXTERIOR.
  - 11 POLES AND SHELVES, CONFIGURATION TBD.
  - 12 COUNTER AND BASE & WALL CABINETS.
  - 13 PORCH: RUBBER ROOF OVER LIVING SPACE BELOW EXTENDS UP WALLS BELOW SIDING. COPPER PAN FLASHING AT SLIDING DOOR (301). AZEK TIMBERTECH VINTAGE SERIES COMPOSITE DECKING ON SLEEPERS WITH RUBBER ROOFING ON BOTTOM OF THEM. PT. POSTS FOR RAILING ATTACHED TO ROOF FRAMING BELOW, AZEK WRAPS, AZEK 1 1/2" SQUARE BALUSTERS 4" O.C., SPANISH CEDAR TOP RAIL. ALL PAINTED.
  - 14 HARDIE, PLANK COMPOSITE SIDING, AZEK DOOR & WINDOW TRIM OVER ZIP-WALL SHEATHING.
  - 15 INSULATE ROOF ABOVE WITH CLOSED CELL FOAM INSULATION.
  - 16 DUCTLESS MINI-SPLIT HVAC SYSTEM DELIVERY CASSETTES IN CEILING AND WALL UNITS WILL REQUIRE WHOLE-HOUSE ELECTRICAL SERVICE UPGRADE.

- DRAWING KEY:
- NEW WORK
  - EXISTING WALLS TO REMAIN

SMART ARCHITECTURE  
 825 Mount Auburn Street, Suite 206 Cambridge, MA 02138

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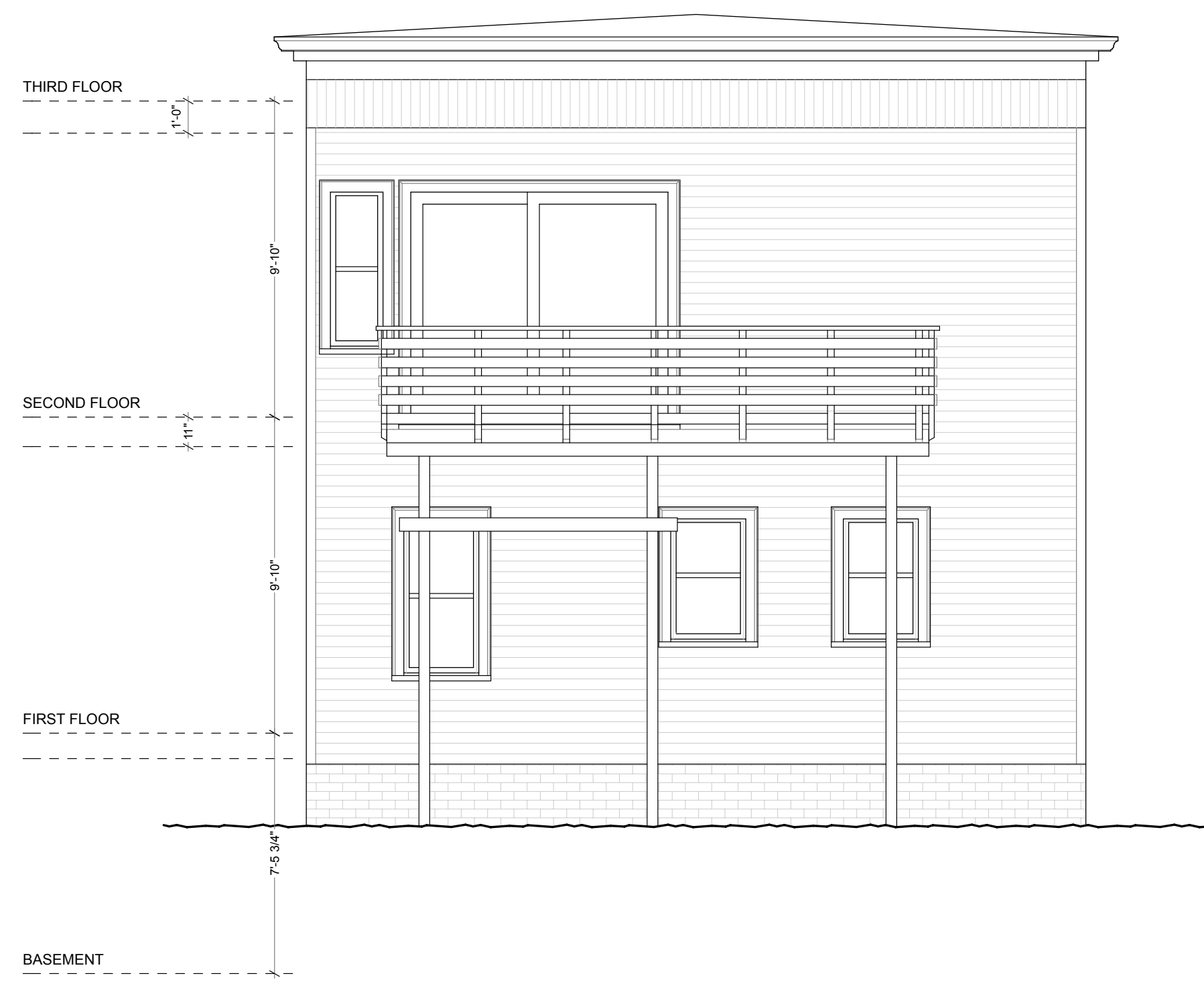
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Proposed Third Floor Plan

A-3.3

Proposed Third Floor Plan

1/4" = 1'-0" 1



Existing Front Elevation

1/4" = 1'-0" 1

Existing Rear Elevation

1/4" = 1'-0" 2

SMART ARCHITECTURE  
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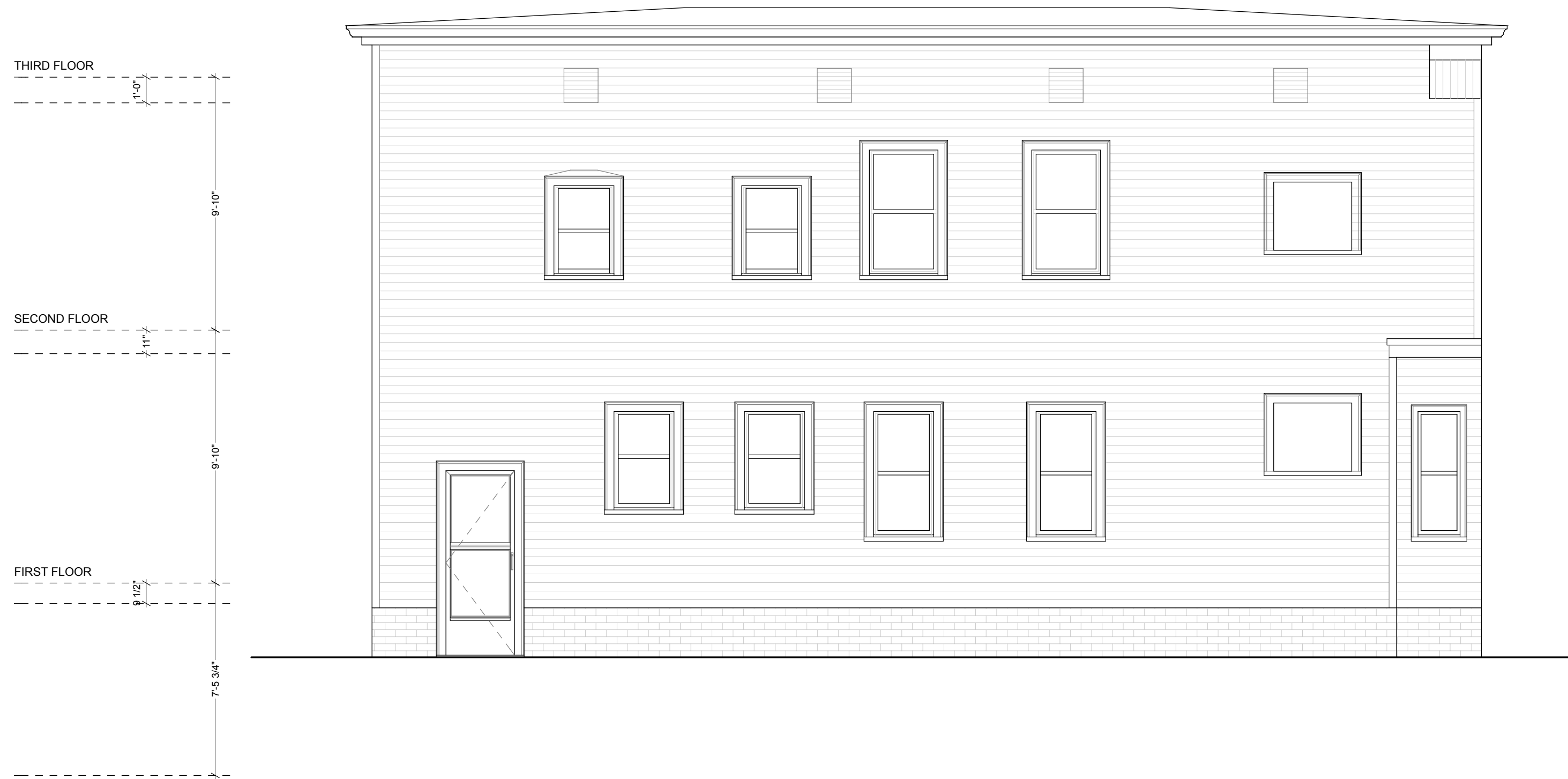
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Checked by	-

Existing Front and Rear Elevations

A-6.0



Existing Side Elevation

1/4" = 1'-0" **1**

**SMART ARCHITECTURE**  
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

General Drawing Note:  
Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

**Gaines Residence**  
34 May Street  
Cambridge MA, 02138

Job number	1811
Scale	as noted
Date	08.28.19
Drawn by	aj/cb
Checked by	-

Existing Side Elevation

**A-6.1**



Proposed Front Elevation

1/4" = 1'-0" **1**

SMART ARCHITECTURE  
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

General Drawing Note:  
Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

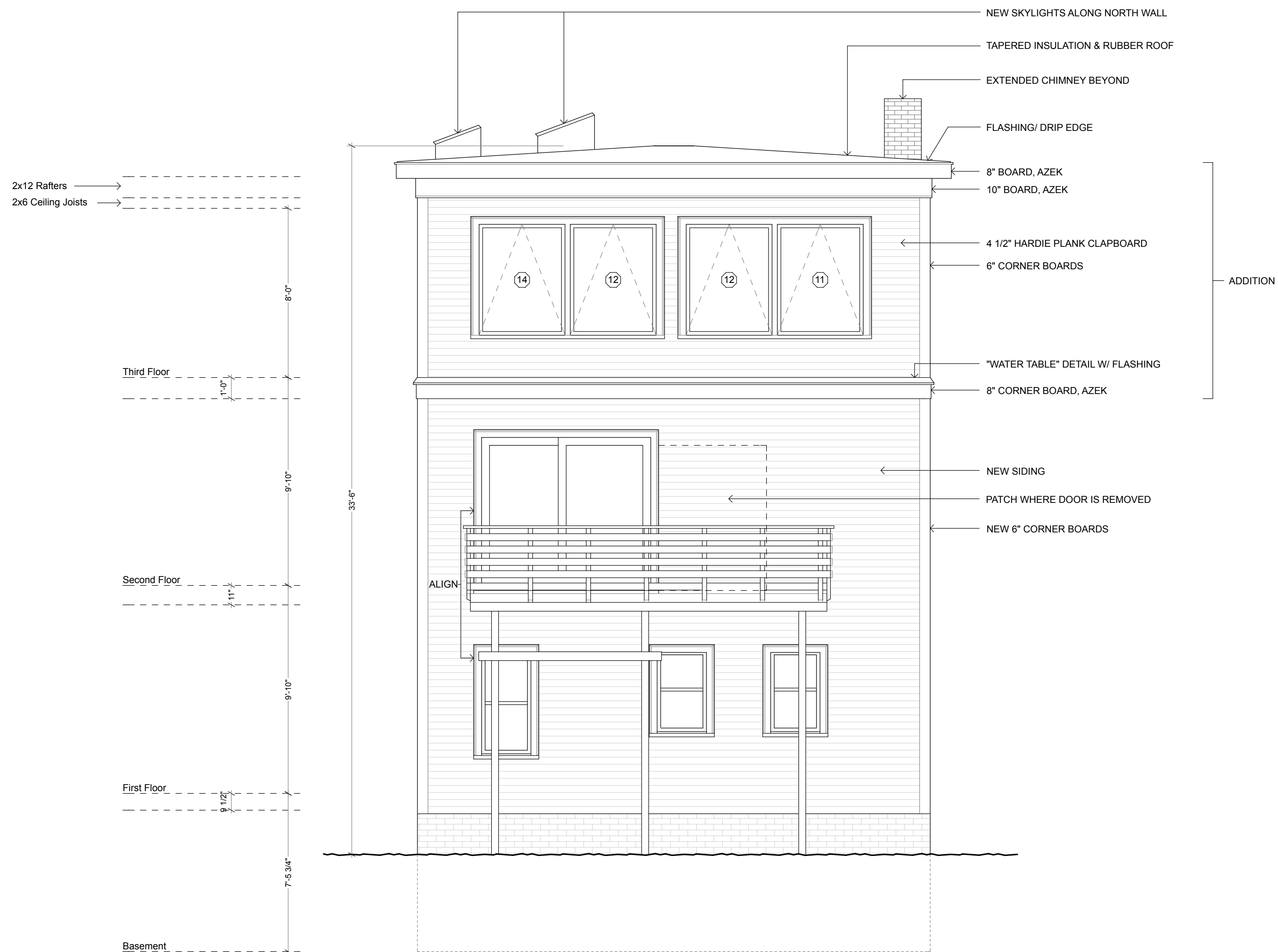
Gaines Residence  
34 May Street  
Cambridge MA, 02138

Job number	1811
Scale	as noted
Date	08.28.19
Drawn by	aj/cb
Checked by	-

Proposed Front Elevation

A-7.0





Proposed Rear Elevation

1/4" = 1'-0" 1

SMART ARCHITECTURE  
625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

General Drawing Note:  
Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

Gaines Residence  
34 May Street  
Cambridge MA, 02138

Job number 1811  
Scale as noted  
Date 08.28.19  
Drawn by aj/cb  
Checked by -

Proposed  
Rear Elevation

A-7.1



Proposed Side Elevation

1/4" = 1'-0" 1

**SMART ARCHITECTURE**  
 625 Mount Auburn Street, Suite 206 Cambridge, MA 02138

General Drawing Note:  
 Do not scale off these drawings. Written dimensions take precedence. Contractor to verify all written dimensions in field before proceeding with work. Notify architect and owner of any dimensional discrepancies before proceeding with work. Exterior dimensions given are to framing, interior dimensions given are to finished surfaces.

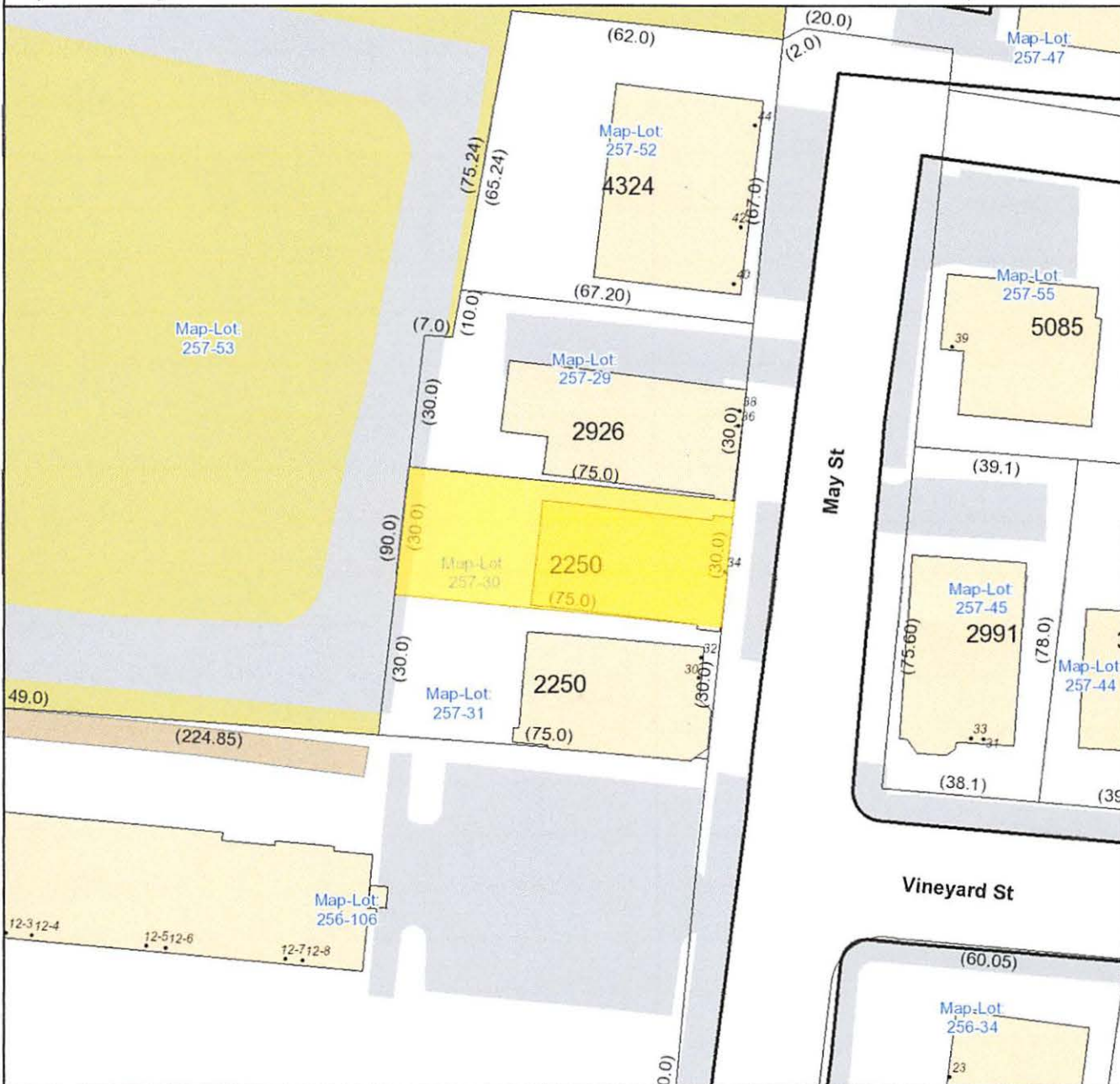
**Gaines Residence**  
 34 May Street  
 Cambridge MA, 02138

Job number	1811
Scale	as noted
Date	08.28.19
Drawn by	aj/cb
Checked by	-

Proposed Side Elevation

**A-7.2**

34 May st.



City of Cambridge  
Massachusetts

1" = 35 ft

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- Rail
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- Parcels
- Paved Surfaces
  - Paved Roads
  - Bridges
  - Unpaved Roads
  - Unpaved Parking
  - Sidewalks
  - Driveways
  - Alleys
  - Other Paved Surface
  - Public Footpath



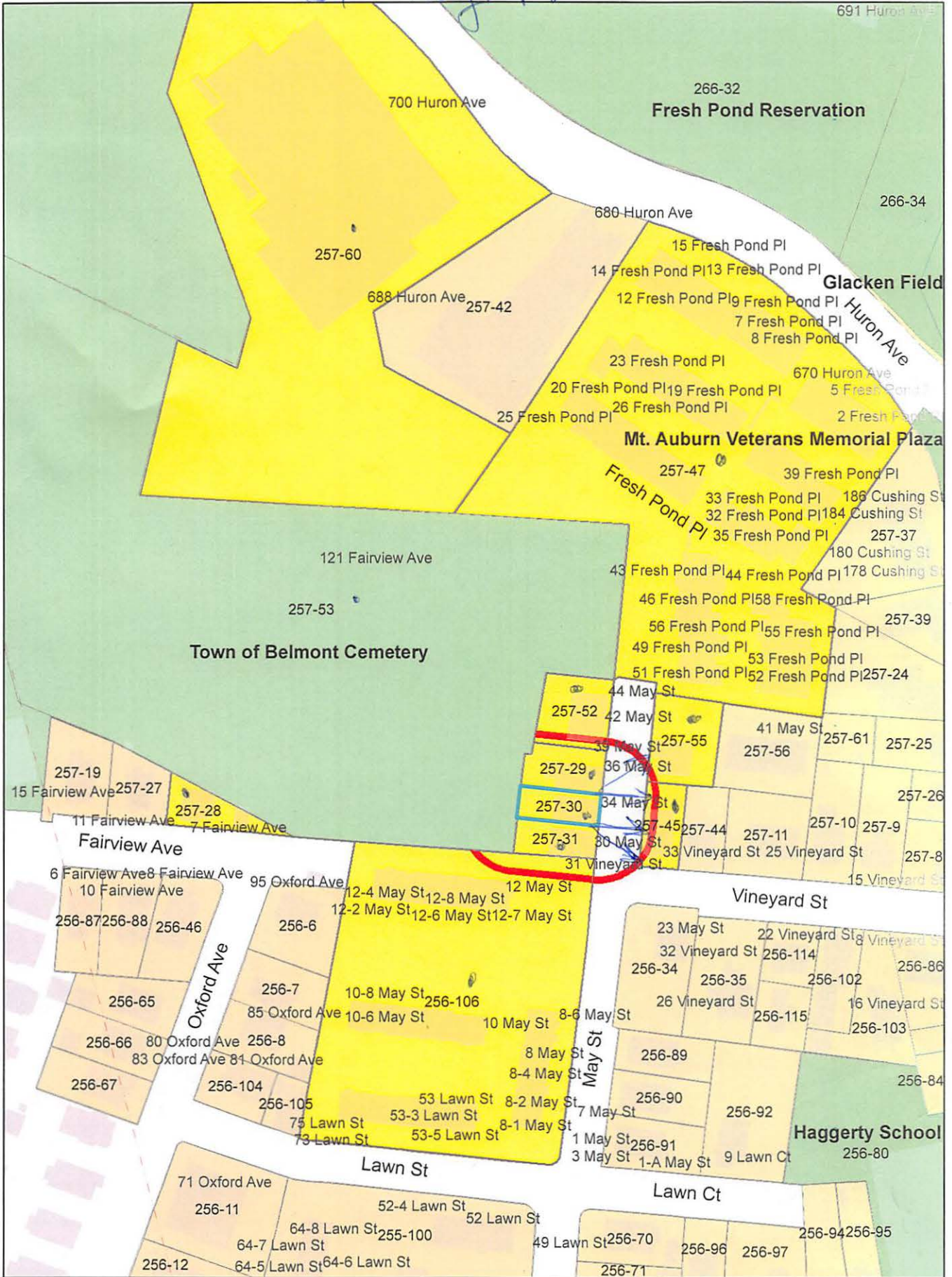
34 May St.







34 May St.



34 May 14

Petitioner 103

257-28  
KUTA, CHRISTINE M.  
7 FAIRVIEW AVE.  
CAMBRIDGE, MA 02138

257-29  
WU, THOMAS JAMES & JAMES WU  
36 MAY ST  
CAMBRIDGE, MA 02138

257-30  
GAINES, LAURIE B  
34 MAY ST  
CAMBRIDGE, MA 02138

257-31  
BARBER, COLLEEN  
32 MAY ST.  
CAMBRIDGE, MA 02138

257-45  
MARDELL, BENJAMIN S. &  
ELIZABETH B. MERRILL  
33 VINEYARD ST  
CAMBRIDGE, MA 02138

SMART ARCHITECTURE  
C/O MAGGIE BOOZ, ARCHITECT  
625 MT. AUBURN STREET  
CAMBRIDGE, MA 02138

257-47  
GOLOSKIE, STEVEN D.  
2 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
CLARK, BENJAMIN B. &  
CLARISSA R. QUINTANILLA  
3 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
DESIMINI, SABINO N. & CATHERINE A. DESIMINI  
4 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
BARTON, MELVIN I  
5 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
VISWANANTHAN, SUBASHREE  
7 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
GAMBLE, LINCOLN BRADLEY  
C/O WOLCOTT LORING & COOLIDGE OFFICE  
230 CONGRESS ST  
BOSTON, MA 02110

257-47  
ESTEPAR, RAUL SAN JOSE  
9 FRSH POND PL  
CAMBRIDGE, MA 02138

257-47  
HUMPHREY, JAMES C. &  
CHRISTINNE C. HUMPHREY  
10 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
TANG, JIMMY X. & PAMELA G. YANG  
11 FRESH POND PLACE, UNIT 11  
CAMBRIDGE, MA 02138

257-47  
PINTUS, PAUL & SUSAN PINTUS  
676 HURON AVE., UNIT #12  
CAMBRIDGE, MA 02138

257-47  
WALSH, DALE  
13 FRESH POND PL  
CAMBRIDGE, MA 02138

257-47  
REINHOLD, ARNOLD G.  
14 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
GOBLE, THEODORE N. & SHIRLEY E. MULFORD  
15 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
DANNER, PATRICIA  
16 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
SUDARSHAN, RAGHUNATHAN &  
PADMAPRIYA SRINIVASAN  
17 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
HOUSTON, ERIC & RANKO HOUSTON  
18 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
KIRSANOV, DANIL  
676 HURON AVE. UNIT#19  
CAMBRIDGE, MA 02138

257-47  
SHAPIRO, JAY M. & RICHARD REINKRAUT  
20 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
LYUBASHEVSKIY, IGOR B. &  
LYUDMILA LUBASHEV  
21 FRESH POND PL., #21  
CAMBRIDGE, MA 02138

257-47  
TOLEDO, ERIC & YUKIKO ISHII  
22 FRESH POND PLACE.  
CAMBRIDGE, MA 02138

257-47  
WEXLER, RUTH M.  
23 FRESH POND PL  
CAMBRIDGE, MA 02138

257-47  
MILLER, ARNOLD R. & SHARON L. HERMAN  
24 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
STEARNS, ANTONIA R.  
25 FRESH POND PL  
CAMBRIDGE, MA 02138

257-47  
WEISSMAN, LARRY  
26 FRESH POND PLACE  
CAMBRIDGE, MA 02138



34 may st.

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257-47  
PURVIS, KIRK S.  
676 HURON AVE., #27  
CAMBRIDGE, MA 02138

257-47  
KOHLER, VICTORIA G.  
TRUSTEE OF THE VICTORIA G. KOHLER TRUST  
P.O BOX 231  
BONDVILLE, VT 05340

257-47  
GILLASPIE, R. CRAIG & MARY L. ARRIGO  
29 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
VOGMAN, TATYANA L.  
676 HURON AVE. UNIT 30  
CAMBRIDGE, MA 02138

257-47  
ALPERT, GARY D.  
31 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
FREDERICK, JOCELYN L. & THOMAS J. FREDERICK  
32 FRESH POND PL  
CAMBRIDGE, MA 02139.

257-47  
AYOUB, CATHERINE C. & JOHN E. AYOUB  
33 FRESH POND PL  
CAMBRIDGE, MA 02138

257-47  
LUEDERS, PENELOPE K. TRUSTEE,  
34 FRESH POND PL  
CAMBRIDGE, MA 02138

257-47  
CRUTHIRDS, DANIEL R.  
35 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
KLAPPER, MIRIAM S.  
36 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
ZHAI, QI  
676 HURON AVE., #37  
CAMBRIDGE, MA 02138

257-47  
STONE, DONALD JR. JOHN ONOFREY  
38 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
HUREL, PIERRE J.R. & NICOLE AGOIS  
676 HURON AVE., #39  
CAMBRIDGE, MA 02138

257-47  
BOTCHWEY, KWESI  
CITY OF CAMBRIDGE TAX TITLE  
40 FRESH POND PL  
CAMBRIDGE, MA 02138

257-47  
SELVA, MICHEL & DEBORAH JANCOURTZ  
41 FRESH POND PL.  
CAMBRIDGE, MA 02138.

257-47  
SHAMIM, ANNE  
42 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
ROBINSON, TRINA  
43 FRESH POND PLACE #43  
CAMBRIDGE, MA 02138

257-47  
TIPPER, DONALD J. & KAREN S. TIPPER  
44 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
LINER, ELLEN F. & ERIC M. LISKIN  
45 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
FOX-WARREN, MAURIE &  
MARGARET FOX-WARREN  
46 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
LEWONTIN, TIMOTHY A. & AMY LEWONTIN  
47 FRESH POND PL.  
CAMBRIDGE, MA 02138

257-47  
FRESH POND PLACE PARTNERSHIP  
C/O WILLIAM KAPLAN  
2 WASHINGTON ST  
NEWTON, MA 02458

257-47  
DELANEY, ARLENE  
49 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
YUM, HYUNG-KON  
676 HURON AVE., UNIT #50  
CAMBRIDGE, MA 02138.

257-47  
WANG, YUBIN & YAN QU  
51 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
UEBELHOER, DAMIAN  
676 HURON AVE, #52  
CAMBRIDGE, MA 02138

257-47  
HARRIS, ANITA M.  
TRUSTEE OF THE HARRIS FAMILY REALTY TR.  
53 FRESH POND PL #53  
CAMBRIDGE, MA 02138

257-47  
AMENECHI, ONA DIKE  
54 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
WEINBERGER, GEORGE M.  
55 FRESH POND PLACE  
CAMBRIDGE, MA 02138

257-47  
GOODSON, JO MAX & STEVANKA V. GOODSON  
TRUSTEES, THE GOODSON LIV TRUST  
676 HURON AVE., #56  
CAMBRIDGE, MA 02138

34 May fl.

343

257-47  
BELANGER, MONICA L. & MICHAEL RUDOLPH WEST  
TR THE RUDOLPH AND LINDA WEST IRREV TRUS  
C/O LINDA WEST  
57 FRESH POND PLACE #57  
CAMBRIDGE, MA 02138

257-47  
ABBENSETTS, MAXWELL KOFI JOHN  
676 HURON AVE., #58  
CAMBRIDGE, MA 02138

257-52  
CHALLENGER, AARON  
40 MAY ST., #40  
CAMBRIDGE, MA 02138

257-52  
RAINOFF, HELEN  
42 MAY ST  
CAMBRIDGE, MA 02138

257-52  
VINSON, ROSEMARY J.  
44 MAY ST  
CAMBRIDGE, MA 02138

257-47  
MARQUEDAUNT, JAYNE  
TR. OF THE MARQUEDAUNT TRUST OF 2016  
676 HURON AVE 1  
CAMBRIDGE, MA 02138

257-55  
PRASAD, RAJIV & SALLY S. PRASAD  
39 MAY ST  
CAMBRIDGE, MA 02138

257-60  
HURON TOWERS COMPANY  
C/O FIRST REALTY MANAGEMENT CORP.  
151 TREMONT STREET  
BOSTON, MA 02111

256-106  
CAMBRIDGE HOUSING AUTHORITY  
675 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02139

257-53  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR

257-53  
CITY OF CAMBRIDGE  
C/O LOUIS DEPASQUALE  
CITY MANAGER

BELMONT CEMETERY  
P.O. BOX 56  
BELMONT, MA 02478

BELMONT PLANNING BOARD  
455 CONCORD AVENUE  
BELMONT, MA 02478