

# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2025 SEP 18 AM 10:24

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

**BZA Number: 1183283**

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance:           

Appeal:           

**PETITIONER:** Paulo Santos C/O Patrick W. Barrett, III

**PETITIONER'S ADDRESS:** 907 Main St, Cambridge, MA 02139

**LOCATION OF PROPERTY:** 351 Cardinal Medeiros Ave, Cambridge, MA

**TYPE OF OCCUPANCY:** 3 Family

**ZONING DISTRICT:** Residence C-1 Zone

#### **REASON FOR PETITION:**

/Additions/

#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Add fourth floor unit to pre-existing non-conforming three family

#### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 8.000	Section: 8.22.2(c) (Non-Conforming Structure).
Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 10.000	Section: 10.40 (Special Permit).

Original  
Signature(s):

Paulo Santos (CSE Homes LLC)

(Petitioner(s) / Owner)

Paulo Santos

(Print Name)

Address:

351 Cardinal Medeiros

Tel. No.

6177783521

E-Mail Address:

jbrealtyllc@gmail.com

Date: 09/17/25

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**


I/We Paulo Santos (OWNER)

Address: 98 Prescott St. Lancaster MA 01523

State that I/We own the property located at 351 Cardinal Medeiros which is the subject of this zoning application.

The record title of this property is in the name of CSE HOMES LLC

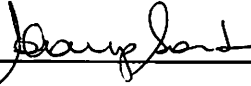
\*Pursuant to a deed of duly recorded in the date 04/14/2025, Middlesex South County Registry of Deeds at Book 83967, Page 141; or Middlesex Registry District of Land Court, Certificate No. N/A  
Book N/A Page N/A.


  
\_\_\_\_\_  
**SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\***

**\*Written evidence of Agent's standing to represent petitioner may be requested.**

-----  
Commonwealth of Massachusetts, County of Essex

The above-name Paulo Santos personally appeared before me, this 17 of September, 2025, and made oath that the above statement is true.

  
\_\_\_\_\_  
Notary

My commission expires  NELIA R SANTOS  
NOTARY PUBLIC (Notary Seal).  
Commonwealth of Massachusetts  
My Commission Expires  
November 20, 2026

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 351 Cardinal Medeiros Ave , Cambridge, MA (location) would not be a detriment to the public interest because:**

**A)** Requirements of the Ordinance can or will be met for the following reasons:

The requirements of the ordinance will not be met due to the locus being on a corner lot and Inspectional Services have determined that Section 5.40 Footnote 3 does not apply to corner lots. This is an issue we contest but will proceed registering our opinion that 5.40 Footnote 3 does in fact apply to corner lots we can still proceed under section 8.22.2 (c)

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The existing use is a typical three story multifamily building and adding one additional unit as proposed will not meaningfully increase congestion nor change the existing residential character of the neighborhood.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The use is allowed and conforms to all C-1 uses in the district and carries the significant addition of a small unit of housing which is the primary planning goal of the City of Cambridge as cited in documents such as Envision Cambridge and the newly adopted multifamily housing zoning upon which this project is based.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The project is modest in size and adds only one additional residential unit in a fairly dense residential district that connects to a lively business district only a few blocks away. The development will blend in seamlessly with its surrounding adding an indistinguishable presence and use from adjacent properties.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The use will blend seamlessly among the other multifamily uses in the district and provide a modest but critical addition to Cambridge housing stock.



# BZA Application Form

## DIMENSIONAL INFORMATION

**Applicant:** Paulo Santos  
**Location:** 351 Cardinal Medeiros Ave., Cambridge, MA  
**Phone:** 6177783521

**Present Use/Occupancy:** 3 Family  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** 4 Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2400	3200	N/A	(max.)
<u>LOT AREA:</u>		1230	1230	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>		1.95	2.6	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>		N/A	N/A	N/A	
<u>SIZE OF LOT:</u>	WIDTH	28	28	20	
	DEPTH	42	42	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	0	0	10	
	REAR	4	4	5	
	LEFT SIDE	1	1	5	
	RIGHT SIDE	0	0	5	
<u>SIZE OF BUILDING:</u>	HEIGHT	36	45	45	
	WIDTH	24	24	N/A	
	LENGTH	37	37	N/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		4.8%	4.8%	30%	
<u>NO. OF DWELLING UNITS:</u>		3	4	N/A	
<u>NO. OF PARKING SPACES:</u>		0	0	0	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

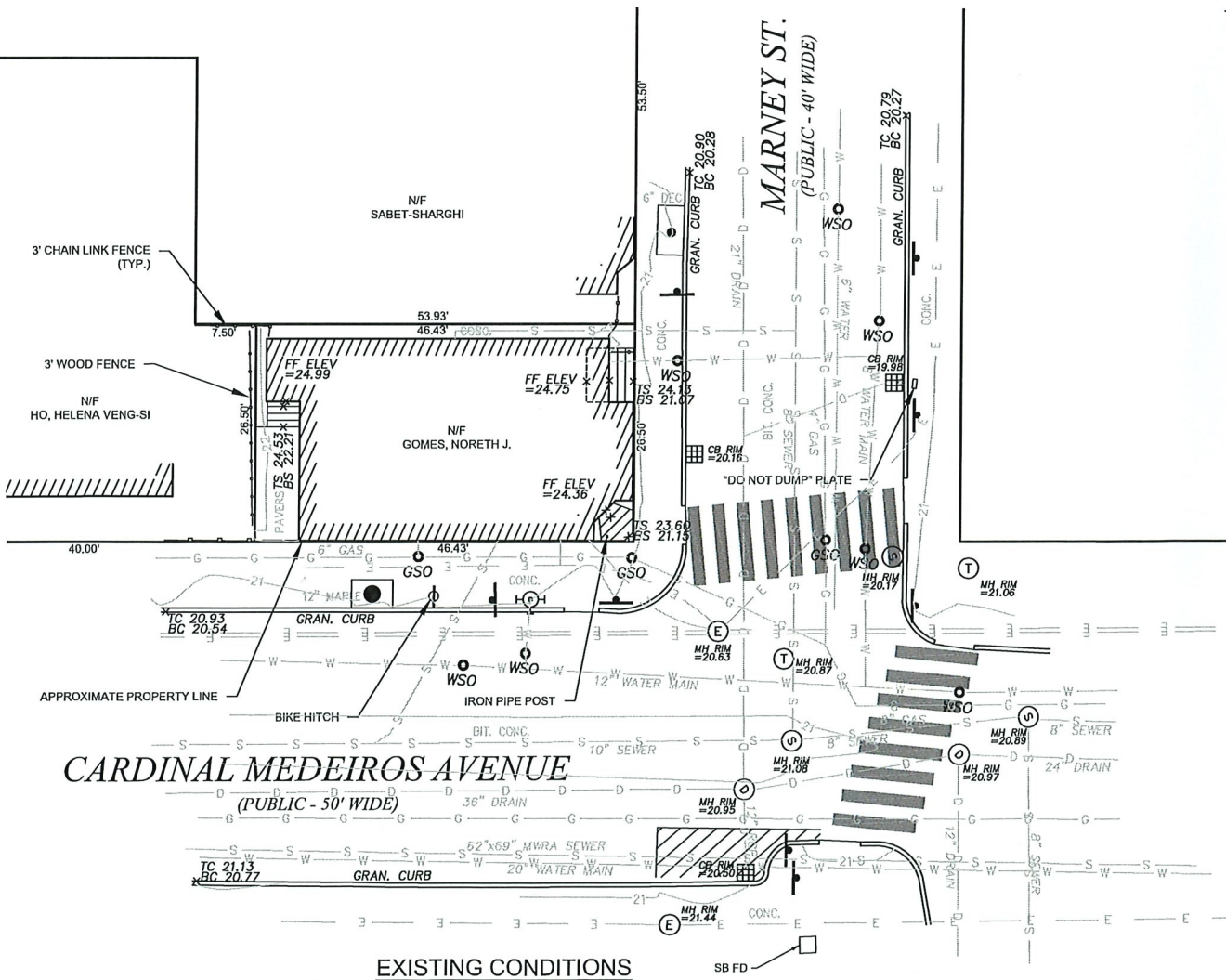
not applicable

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM TO THE 1988 COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS (M.D.P.W.) STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES INCLUDING THE JUNE 6, 2006 AND FEBRUARY 25, 2010 SUPPLEMENTAL SPECIFICATIONS, THE M.D.P.W. 1977 CONSTRUCTION STANDARDS INCLUDING THE APRIL 2003 SUPPLEMENTAL DRAWINGS, THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE TOWN OF AGAWAM STANDARDS, WHERE APPLICABLE.
2. THE APPROXIMATE LOCATIONS OF EXISTING UTILITIES ARE BASED UPON THE BEST INFORMATION AVAILABLE. THE LOCATION PRECISION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY APPLICABLE EXISTING CONDITIONS AT THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL WORK WITH THE AGAWAM PUBLIC WORKS DEPARTMENT AND THE OWNER IN LOCATING EXISTING UTILITIES WHEN DIRECTED BY THE CONTRACTING OFFICER.
3. THE CONTRACTOR SHALL CALL THE DIG SAFE NUMBER AND NOTIFY PRIVATE AND PUBLIC UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO EXCAVATING NEAR ANY UTILITIES THAT MAY BE AFFECTED BY ANY PORTION OF THIS CONSTRUCTION. THE CONTRACTOR SHALL CONFORM WITH THE SPECIFIC REQUIREMENTS FOR EXCAVATION AS SET FORTH IN MASSACHUSETTS GENERAL LAW: CHAPTER 82, SECTION 40A AND OSHA REGULATIONS 29CFR1926.651(a). THE CONTRACTOR SHALL COORDINATE ALL WORK INVOLVING UTILITY COMPANY FACILITIES, WHETHER THOSE FACILITIES BE EXISTING OR PROPOSED.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPORT AND PROTECT EXISTING UTILITIES IN AND AROUND EXCAVATIONS, AND IN PARTICULAR, WHEN CROSSING UNDER ANY DUCT OR PIPE. THIS SHALL INCLUDE THE USE OF HAND TOOL EXCAVATION WHERE NEEDED. THE CONTRACTOR SHALL MAINTAIN CONTINUOUS UTILITY CUSTOMER SERVICE AND SHALL ENSURE THAT ADEQUATE AND SAFE ACCESS IS PROVIDED TO LOCAL VEHICULAR AND PEDESTRIAN TRAFFIC AT ALL TIMES DURING CONSTRUCTION. SAFE AND CLEAR RESIDENT ACCESS WILL BE MAINTAINED FOR AT LEAST ONE DOOR AT ALL TIMES.
5. ALL TREES, SHRUBS, GRASS AND LANDSCAPED AREAS, AND PHYSICAL SITE FEATURES (BUILDINGS, FENCES, EXISTING WALKWAYS NOT INCLUDED IN THIS PROJECT, LIGHT POLES, SIGNS, BUILDING STAIRS, ETC.), ALONG WITH ALL OTHER PROPERTY OF THE FALMOUTH HOUSING AUTHORITY NOT INCLUDED IN THIS PROJECT SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS AT ALL TIMES. THIS INCLUDES ABUTTING PRIVATE PROPERTY AS WELL. ANY DAMAGE OR LOSS TO THE ABOVE ITEMS OR AREAS CAUSED BY THE ACTIONS OF THE CONTRACTOR SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE ACTIONS OF ALL SUB-TRADES AND SUBCONTRACTORS THAT THE CONTRACTOR MAY INVITE TO PERFORM THE WORK OF THIS CONTRACT.
6. CONTRACTOR SHALL DEVELOP A CONSTRUCTION STAGING PROGRAM FOR REVIEW BY ENGINEER PRIOR TO THE START OF CONSTRUCTION AND PROVIDE SHOP DRAWINGS OF PROPOSED WORK CLOSURE AREA. CONTRACTOR SHALL IN ADVANCE: BARRICADE AND PREVENT PARKING FROM AREAS THAT WILL SOON BE WORKED ON, COORDINATE WITH FALMOUTH HOUSING AUTHORITY TO ENSURE ADEQUATE ADVANCE RESERVATION OF PARKING AREAS FOR CONSTRUCTION PHASING, AND PROVIDE MOVABLE WARNING SIGNS ON BOTH SIDES OF CONSTRUCTION ZONE TO WARN PEDESTRIANS OF WORK IN PROGRESS.
7. DURING THE COURSE OF CONSTRUCTION, THE ENGINEER MAY DIRECT THE CONTRACTOR TO ERECT, RELOCATE, AND/OR PLACE ADDITIONAL SIGNS AS DETERMINED NECESSARY.
8. THE CONTRACTOR WILL ENSURE NO SOIL IS TRACKED OUTSIDE OF THE CONSTRUCTION AREA AND AT ANY AREAS SO IDENTIFIED BY OWNER INSIDE PROJECT AREA.
9. THE INFORMATION CONTAINED ON THE DISK OR ELECTRONIC DRAWING FILES ACCOMPANYING THESE DRAWINGS MUST BE COMPARED TO THE HARD COPY OF THE DRAWINGS TO ENSURE THE ACCURACY OF ALL INFORMATION AND TO ENSURE NO CHANGES, ALTERATIONS, OR MODIFICATIONS HAVE BEEN MADE. RELIANCE SHALL NOT BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SEALED DOCUMENT ISSUED AT THE TIME OF THE BID OPENINGS.
10. CONTRACTOR MUST BE ABLE TO SAFELY AND PROPERLY PROTECT ALL OPEN EXCAVATIONS AND ALL ELEMENTS OF THE OWNER'S PROPERTIES AND OPERATIONS FROM WEATHER (ESPECIALLY, BUT NOT LIMITED TO EXCESSIVE WEATHER) AT ALL TIMES. IF EXCESSIVE RAINS OCCUR, CONTRACTOR SHALL REMOVE SILT SACKS TO FACILITATE PROPER SITE DRAINAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING CATCH BASINS WITH SILT SACKS AND PREVENT ALL CONSTRUCTION DEBRIS FROM ENTERING THE DRAINAGE SYSTEM. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAR CATCH BASINS OF ALL SILT AND DEBRIS AND FLUSH THE DRAINAGE LINE. CONTRACTOR TO CLOSELY MONITOR SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO ENSURE THAT NO FLOODING CAN THREATEN EXISTING FACILITIES. IF SILT SACKS ARE TEMPORARILY REMOVED DUE TO IMPENDING HARSH WEATHER, CONTRACTOR SHALL TAKE OTHER MEANS TO PREVENT SOIL, ETC. FROM ENTERING THE DRAINAGE SYSTEMS. ANY SILT/SOIL/DEBRIS THAT DOES ENTER SUCH SYSTEM MUST BE REMOVED TO ENGINEER'S COMPLETE SATISFACTION BY CONTRACTOR.
11. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED BY THE OWNER AND THE ENGINEER.
12. THE CONTRACTOR SHALL NOTIFY THE RELEVANT CITY DEPARTMENTS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.



SIGN OFF:  
A 2" COPPER TUBING DOMESTIC SERVICE

INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

B 4" ZINC COATED CLASS 56 CLDI FIRE PIPE

INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

C 1" MASTER WATER METER

INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

D BACKFLOW PREVENTOR

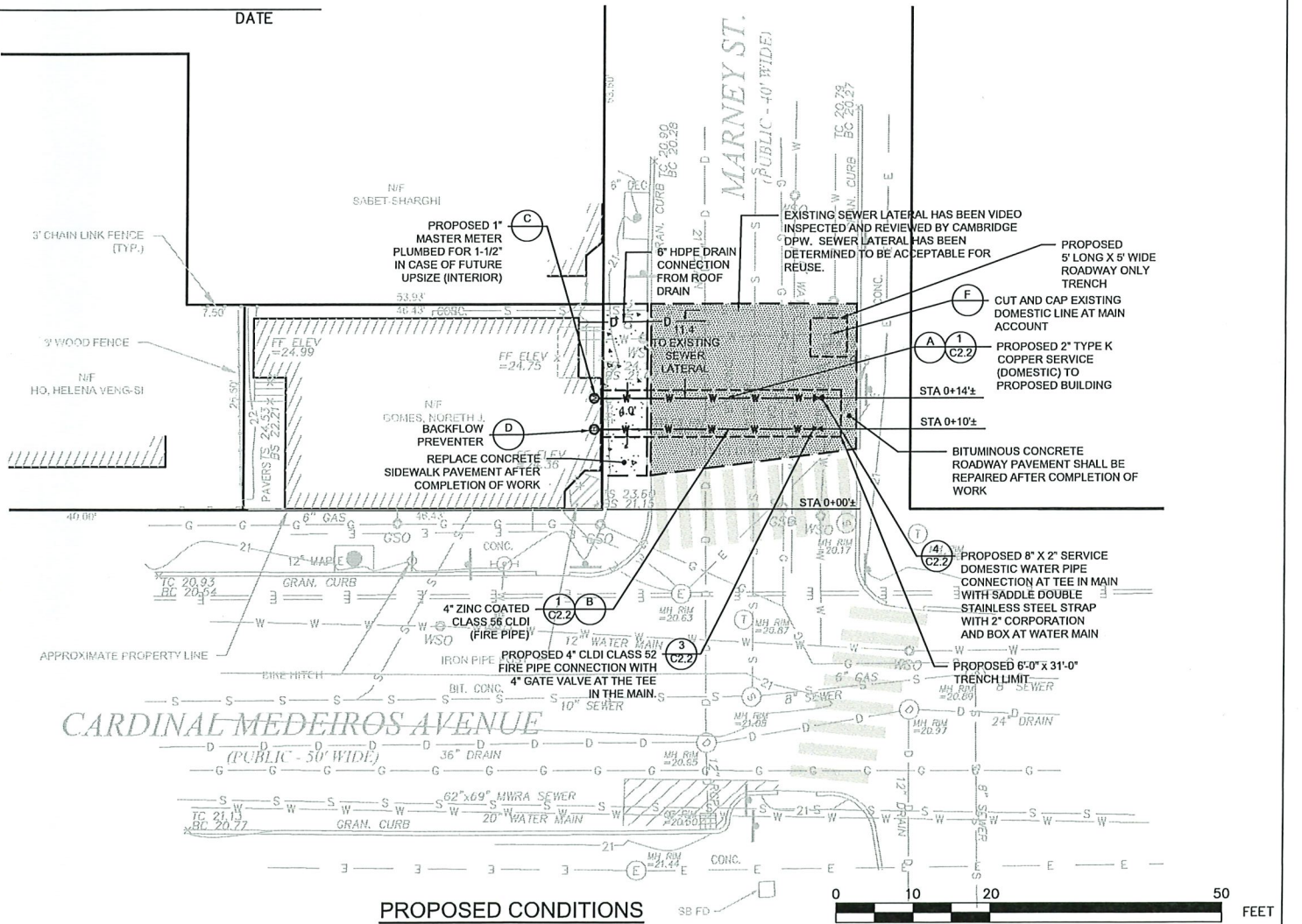
INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

E AS-BUILT PREPARATION FEE

INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_

F CUT & CAP EXISTING DOMESTIC WATER

INSPECTOR \_\_\_\_\_ DATE \_\_\_\_\_



	DESIGN BY:	DRAWING TITLE: <b>SITE PLAN</b>				CLIENT:	PROJECT TITLE:	 50 Cross Street   Winchester, Massachusetts   01890 T 781.756.0001 F 781.756.0007	SCALE: 1" = 10'	<b>C-1.1</b> SHEET 1 OF 2
	DRAWN BY: AM	REV	DATE	BY	MR. PAULO SANTOS 95 PRESCOTT ST. UNIT #4 LANCASTER, MA 01523	PROPERTY RENOVATIONS 351 CARDINAL MEDEIROS AVE. CAMBRIDGE, MASSACHUSETTS	DATE: 6-19-25			
	CHECK BY: JRM						FILENAME: W-1793			



# 351 Cardinal Mederios Avenue

Cambridge, Massachusetts

## Symbol Legend

- 1

Title Scale:

Drawing Label
- 1

Column Line
- Control Point
- 0/1A-3.01

Building Section
- 1

Door Numbers
- 1/1A-2.01

Exterior Elevation
- ⬢

Interior Elevation
- W1

Partition Types
- 8-1  
A-1.01

Room/Space
- A

Window Types
- 1  
2.01

Detail Reference

## Architect

HRESKO Associates, Inc.  
36 Bromfield Street, Suite 209  
Boston, Massachusetts 02108  
Tel: 617-350-7676  
e-Mail: Hresko@ArchUSA.com

H-A Project #

Owner/Developer

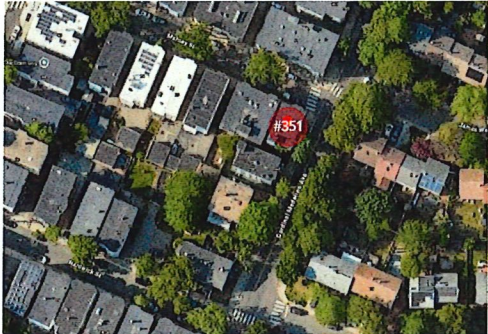
Civil Engineer-Surveyor

Structural Engineer

MEP Engineers

Fire Protection Engineer

Geotechnical Engineer



## LOCUS MAP

ZONING DISTRICT: RESIDENTIAL C-1 ZONING SUBDISTRICT: SUBDISTRICT TYPE:		
Cambridge DISTRICT - EDA- DIMENSIONAL REGULATIONS		
	CODE REQUIREMENT	PROJECT USE
MAXIMUM FLOOR AREA RATIO (FAR)	2.0	4.5
MAXIMUM BUILDINGHEIGHT	45'	45'
MINIMUM LOT SIZE	NONE	NONE
MINIMUM USABLE OPEN SPACE	30%	NONE
MINIMUM LOT WIDTH	NONE	NONE
MINIMUM LOT FRONTAGE	NONE	NONE
MINIMUM FRONT YARD	10'	NONE
MINIMUM SIDE YARD	5'	NONE
MINIMUM REAR YARD	5'	5'-6"
MAXIMUN STORIES ABOVE GRADE	4	4

## PERMIT SPACE

### BUILDING OVERVIEW:

BUILDING GFA:

LOT SIZE: 1,049 SF

### OCCUPANCY CLASSIFICATION:

USE GROUP R-2 (MULTI-FAMILY RESIDENTIAL)  
USE GROUP S-2 (ENCLOSED PARKING GARAGE)

BUILDING CODE: 10TH EDITION MASSACHUSETTS STATE BUILDING CODE  
IRC - INTERNATIONAL RESIDENTIAL CODE 2015 EDITION

Basement level:			
1st-4th Floor: Residential			
Unit Count	1 BR	2 BR	3 BR
2nd Floor		1	1
3rd Floor		1	1
4th Floor		1	1
Total	4 Units		



## List of Drawings

T-1.00 Title Sheet

## Civil

## Architectural

ExA-1.00 Existing Condition Floor Plans  
ExA-2.00 Existing Condition Elevations  
A-1.00 Proposed Floor Plans  
A-1.01 Proposed Floor Plans  
A-2.00 Proposed Elevations  
A-3.00 Proposed Sections

Date: 9 April 2025

All work shall be in compliance with State and Local Building Codes.  
General Contractor shall be responsible for obtaining all necessary permits, inspections, and paying all related fees.

Contractor shall lay out all work and be responsible for structure, lines, elevation and measurement.

The Contractor shall thoroughly examine the site, the drawings, and the specifications to ensure his/her knowledge of the conditions and requirements of the work.

The Contractor shall report all deviations in the existing conditions, dimensions, and locations, etc. to the architect.

Storage of materials at the site and protection from the elements is the responsibility of each subcontractor. The builder may reject material not properly stored and protected. Damaged material shall not be installed. In no case may a subcontractor store material which interferes with work of other subcontractors or the Owner.

Do not scale these Drawings for quantities, lengths, size or areas, etc. If dimensions are in question, the contractor shall be responsible for obtaining clarification before continuing with construction.

All designs, components, equipment, clearances, sizes and capacities, etc., shall comply with all manufacturers' instructions and recommendations, and shall comply with all applicable federal, state and local codes or ordinances.

Clean up is the responsibility of each subcontractor within a reasonable time and to prevent any hazardous conditions.

It is not intended that these drawings show every cut and/or condition, etc. of the building system, however, the contractor shall furnish a complete product in accordance with the best practice of the trade, to the satisfaction of the Architect, and in strict conformance with all applicable state building code requirements.

All dimensions are to face of stud.

All existing areas disturbed by the new construction are to be patched to match existing and / or new adjacent surfaces.





Hresko Associates, Inc.  
Architects  
Landscape Architects

36 Bromfield Street  
Suite 209  
Boston, MA 02108  
617-350-7666  
email: hresko@ArchUSA.com  
www.ArchUSA.com

Owner/Developer

Civil Engineer

Geotechnical Engineer

Structural Engineer

MEP Engineers

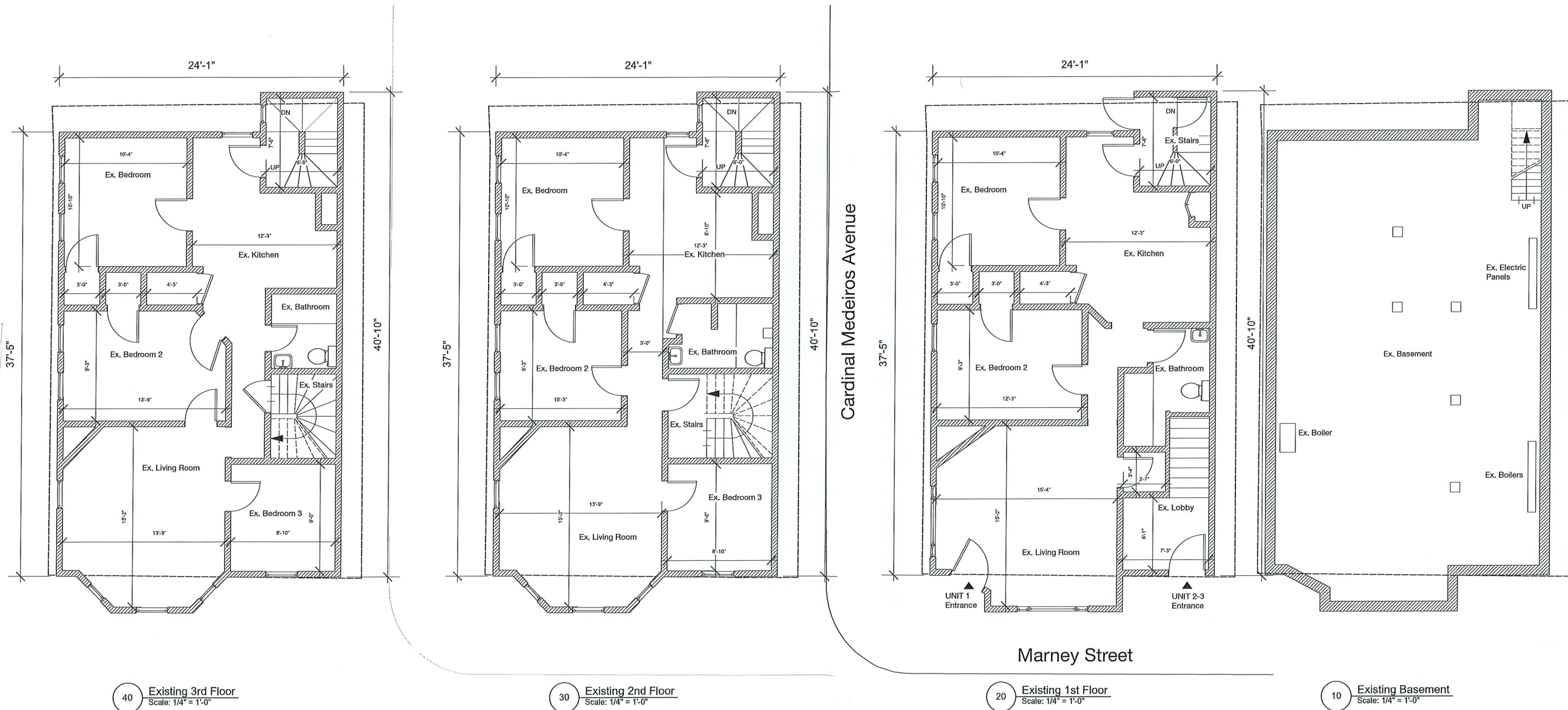
Fire Protection

Existing  
Floor  
Plans

Scale: 3/8"=1'-0"  
Date: 9 April 2025

# 42-04

ExA-1.00

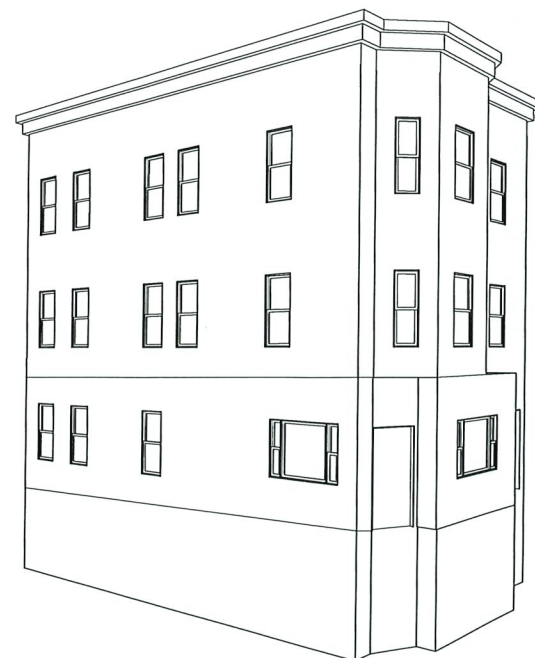


KEY LEGEND

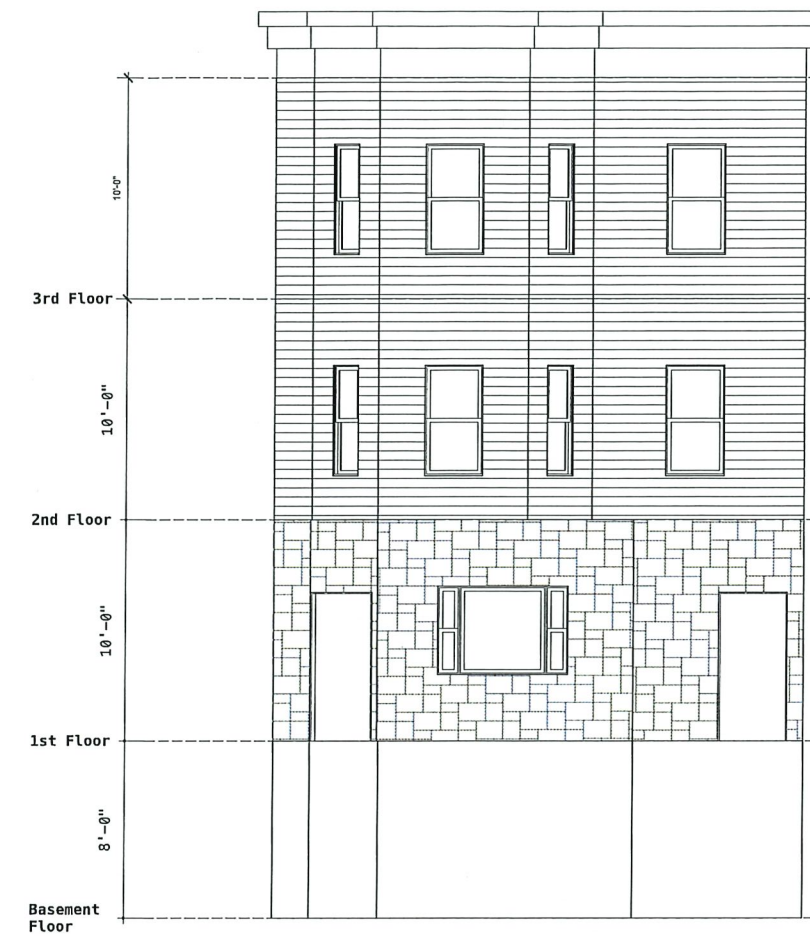
- EX. WALL PARTITION EXT. + INT.
- ENTRANCE
- NEW WALL PARTITION
- KEYED NOTE



21 Existing Cardinal Avenue Facade  
Scale: 1/4" = 1'-0"



20 [Drawing Title]  
Scale: 1/8" = 1'-0"

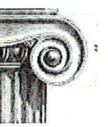


11 Existing Marney St Facade  
Scale: 1/4" = 1'-0"

351

Cardinal  
Medeiros  
Avenue

Cambridge, Massachusetts



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Owner/Developer

Civil Engineer

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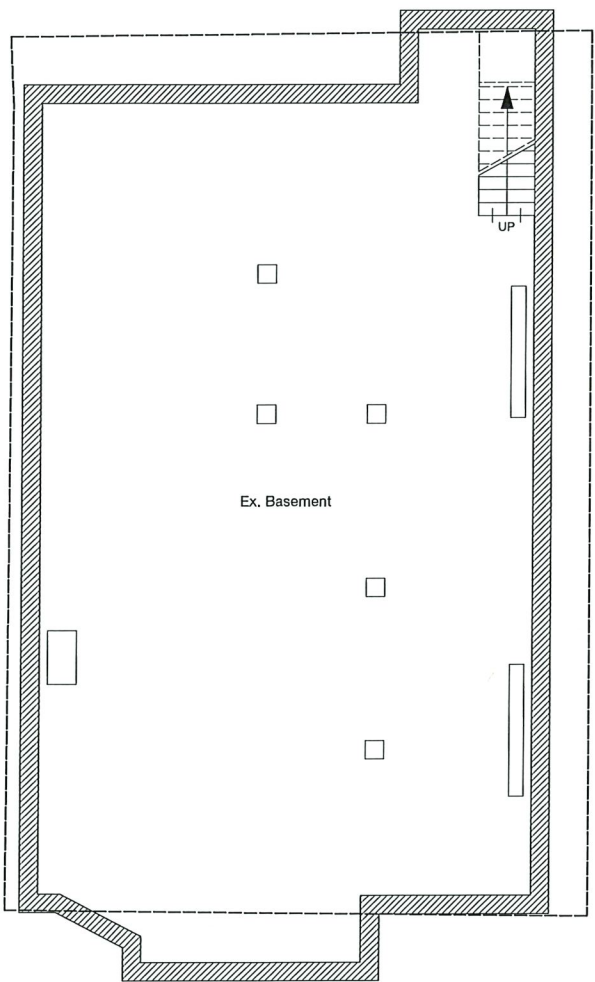
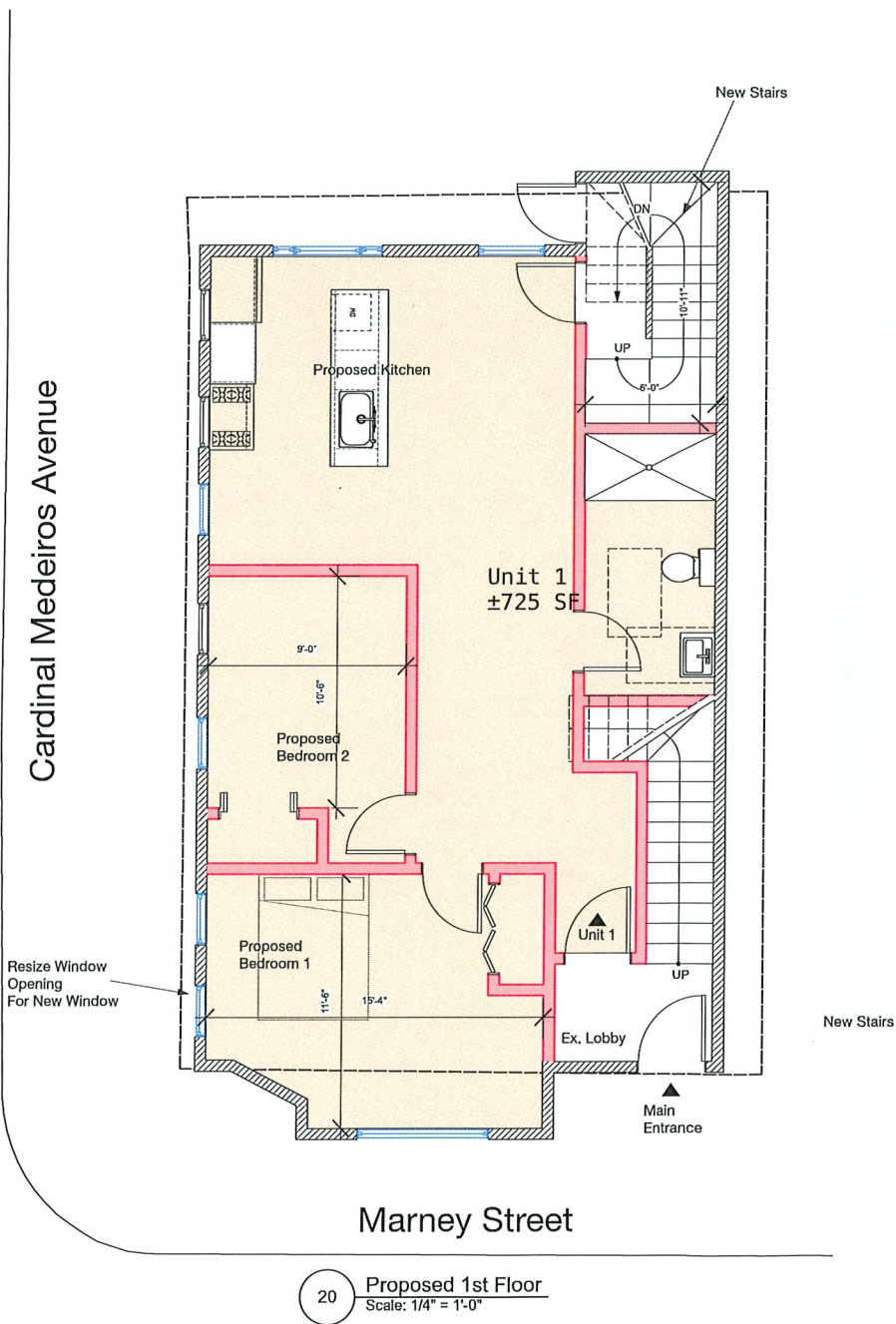
Fire Protection

Proposed  
Floor  
Plans

Scale: 3/8"=1'-0"  
Date: 9 April 2025

# 42-04

A-1.00



KEY LEGEND

- EX. WALL PARTITION EXT. + INT.
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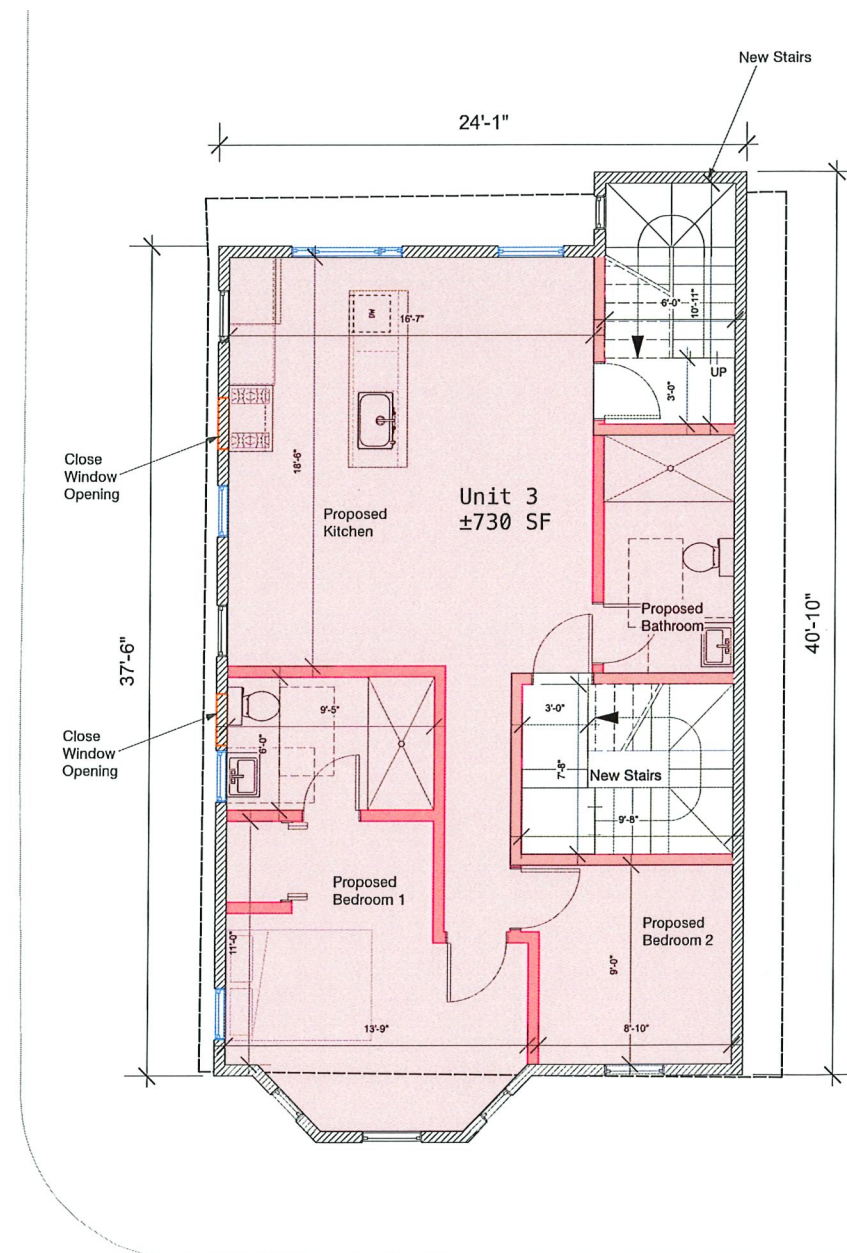
Fire Protection

Proposed  
Floor  
Plans

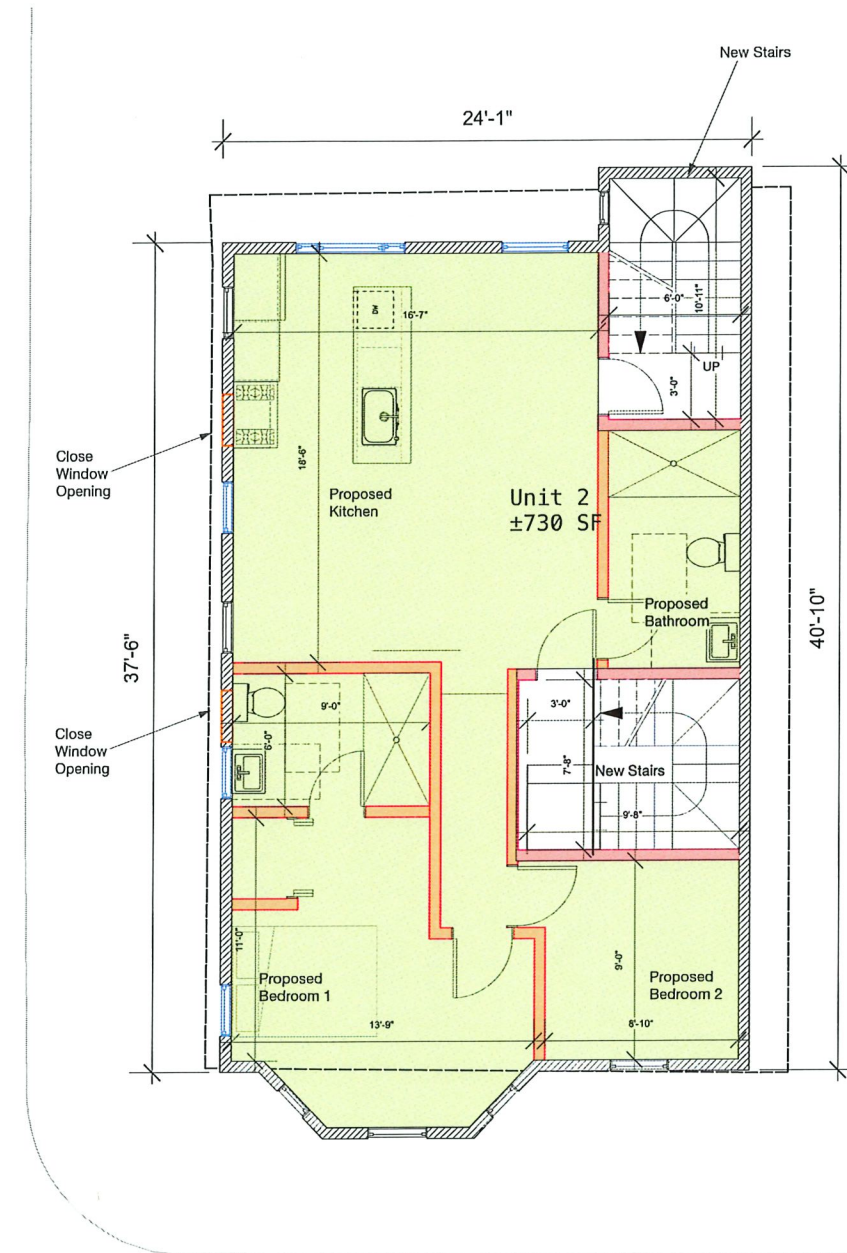
Scale: 3/8"=1'-0"  
Date: 9 April 2025

# 42-04

A-1.01



20 Proposed 3rd Floor  
Scale: 1/4" = 1'-0"



10 Proposed 2nd Floor  
Scale: 1/4" = 1'-0"

KEY LEGEND

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- ENTRANCE
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- KEYED NOTE





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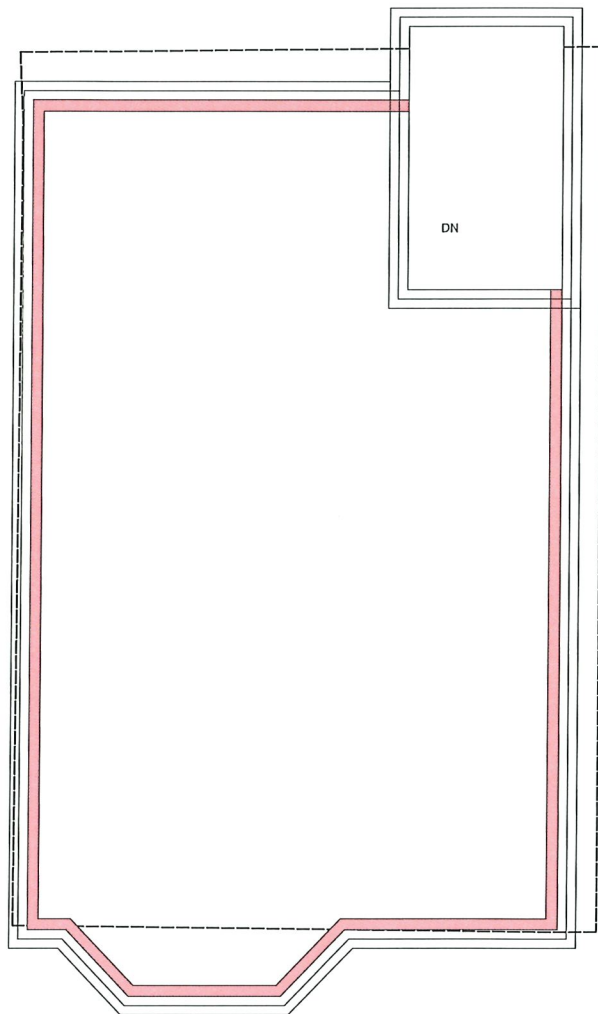
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Floor  
Plans

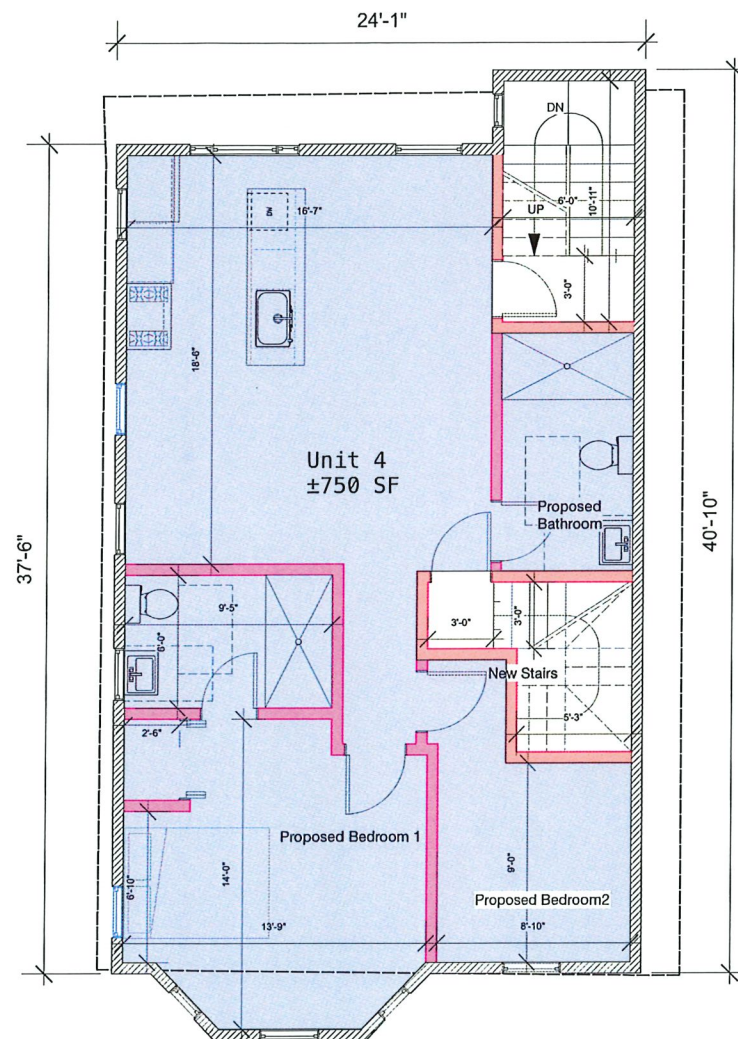
Scale: 3/8"=1'-0"  
Date: 9 April 2025

# 42-04

A-1.01



20 Proposed Roof Floor  
Scale: 1/4" = 1'-0"

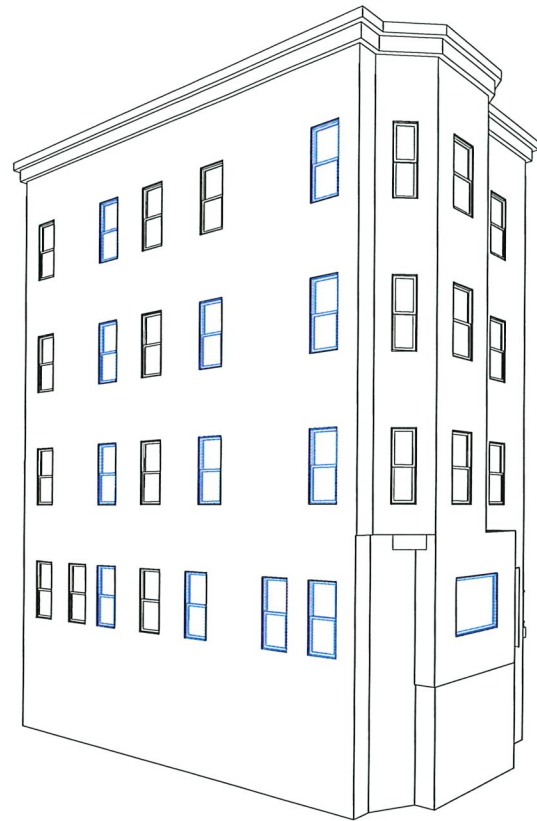


10 Proposed 4th Floor  
Scale: 1/4" = 1'-0"

KEY LEGEND

- EX. WALL PARTITION EXT. + INT.
- ENTRANCE
- NEW WALL PARTITION
- KEYED NOTE

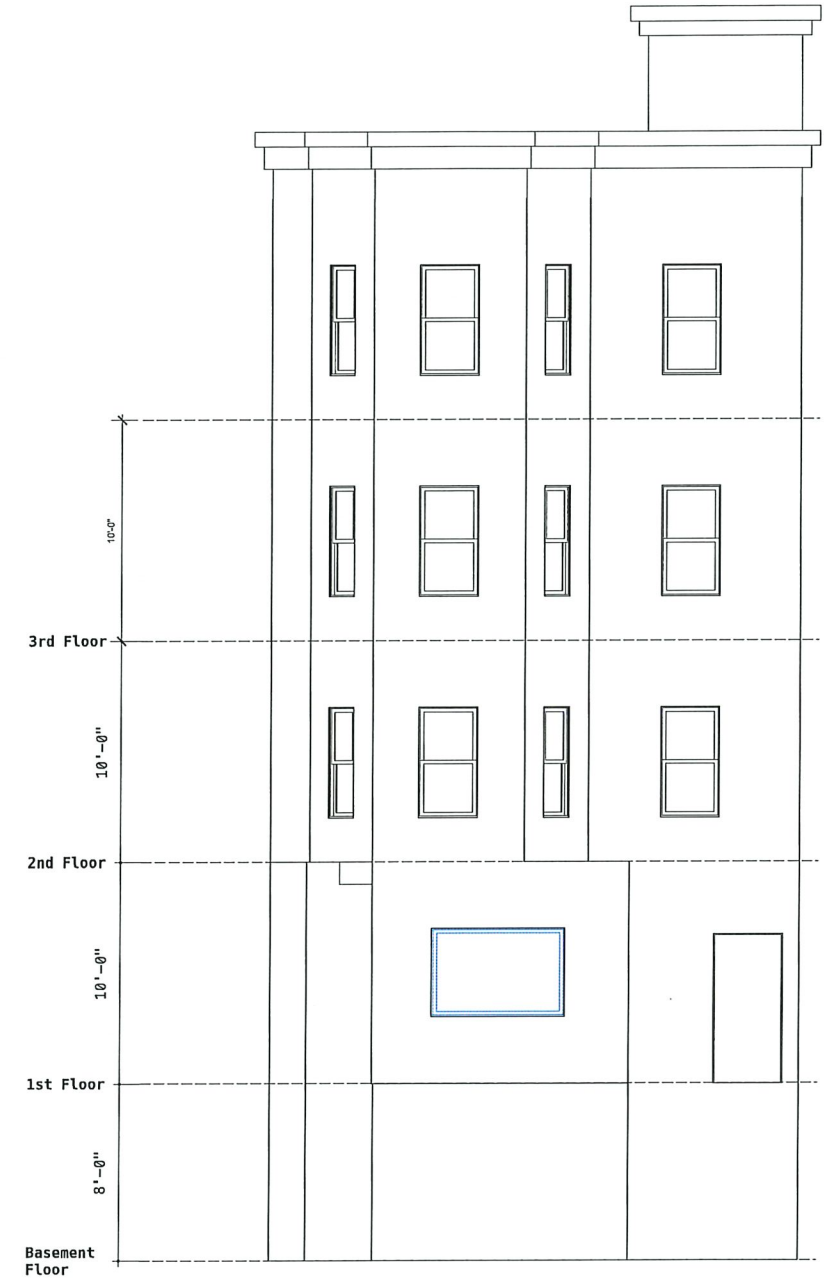




30 [Drawing Title]  
Scale: 1/8" = 1'-0"



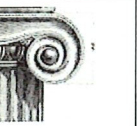
20 Existing Cardinal Avenue Facade  
Scale: 1/4" = 1'-0"



10 Existing Marney St Facade  
Scale: 1/4" = 1'-0"

# 351 Cardinal Medeiros Avenue

Cambridge, Massachusetts



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**Architects**  
**Landscape Architects**  
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eMail:  
hresko@ArchUSA.com  
www.ArchUSA.com



Owner/Developer

Civil Engineer

Geotechnical Engineer

Structural Engineer

MEP Engineers

Fire Protection

**Existing  
Elevations**

Scale: 3/8"=1'-0"  
Date: 9 April 2025

# 42-04

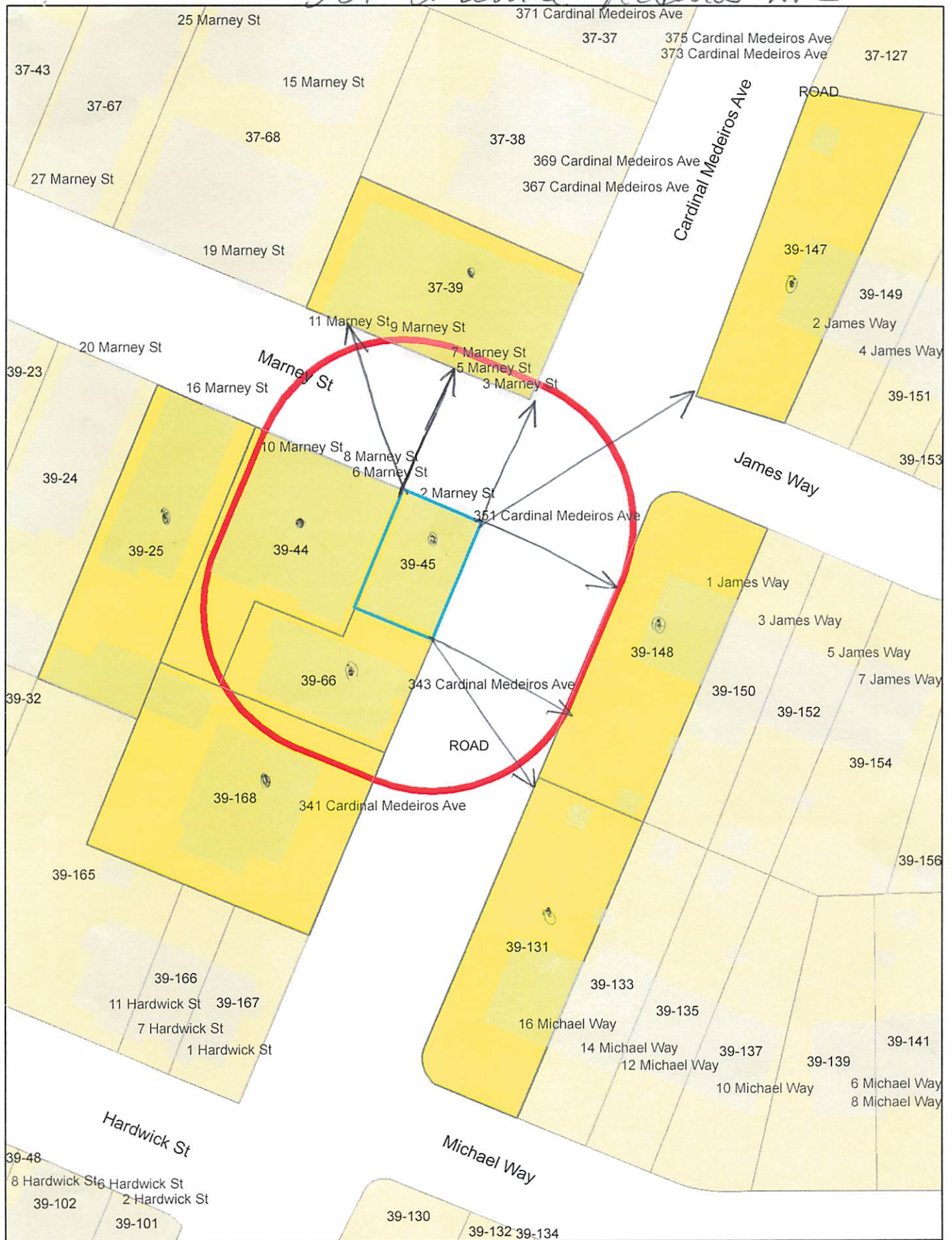
**ExA-1.00**

✓  
351 Cardinal Medeiros Ave





351 Cardinal Medeiros Ave



351 Cardinal Medeiros Ave  
Petitioner

39-66  
HO, HELENA VENG-SI  
343 CARDINAL MEDEIROS AVE  
CAMBRIDGE, MA 02141

39-147  
RASKAR, RAMESH H.  
2 JAMES WAY  
CAMBRIDGE, MA 02141

PATRICK BARRETT  
41 PLEASANT STREET  
CAMBRIDGE, MA 02139

39-168  
BAPTISTA, ALDROALDA  
339-341 MEDEIROS AVE  
CAMBRIDGE, MA 02141

39-66  
BERGLUND, RAYMOND  
343-345 CARDINAL MEDEIROS AVE., - UNIT 345/2  
CAMBRIDGE, MA 02141

PAULO SANTOS  
98 PRESCOTT STREET #4  
LANCASTER, MA 01523

39-25  
BAIROS, JOSE M. & ILDA BAIROS  
19 HERITAGE WAY  
BURLINGTON, MA 01803

37-39  
CITRINE LLC  
C/O NCP MANAGEMENT CO  
PO BOX 590179  
NEWTON CENTER, MA 02459

39-44  
SLAVOV, NIKOLAI G  
291 CARDINAL MEDEIROS AVE  
CAMBRIDGE, MA 02141

39-45  
GOMES, NORETH J. &  
CITY OF CAMBRIDGE TAX TITLE  
P.O. BOX 1035  
SOUTH YARLMOUTH, MA 02664

39-44  
SABET-SHARGHI, KEVIN A, SHAHRZAD  
SABET-ESFAHANI &  
96 PERRY STREET APT B16  
NEW YORK, NY 10014

39-44  
HANS, MANTAJ, SHRIKANTA  
CHATTOPADHYAY &  
8 MARNEY ST UNIT 3  
CAMBRIDGE, MA 02139

39-44  
IYER, VISHAL ANAHITA DASTUR  
8 MARNEY ST UNIT 2  
CAMBRIDGE, MA 02141

39-44  
ALHASSANI MEHDI & DEENA SHAKIR  
7-12 WAVERLEY ST  
PALO ALTO, CA 94301

39-66  
LEE, DI SHENG YOKE KENG NGEOW  
343-345 CARDINAL MEDEIROS AVE - UNIT 345-1  
CAMBRIDGE, MA 02141

39-148  
FISHMAN JOEL S & LESLEY R WATTS TRS  
1 JAMES WAY  
CAMBRIDGE, MA 02141

39-44  
AVOLESE, PAUL S CLAUDIA V DE M AVOLESE  
10 MARNEY ST - UNIT 3  
CAMBRIDGE, MA 02141

39-131  
LEE, WHAY CHIOU & LEE PENG LEE  
16 MICHAEL WAY  
CAMBRIDGE, MA 02141-1436





Front Door  
Exterior



# Marney St Setback





Front Entrance  
Corner Cardinal  
Medieros/Marney





Pulled back  
exterior Cardinal  
Medieros/Marney





# Roof Cornice Existing Conditions





# Cardinal Medieros Setback





# Marney Setback





# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

2 Bds  
S.P.

### BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Paulo Santos Date: 09/19/25  
(Print)

Address: 351 Cardinal Medeiros Ave.

Case No. BZA-1183283

Hearing Date: 10/9/25

Thank you,  
Bza Members