



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2024 JAN 31 AM 11:46

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

**BZA Number: 253928**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance:           

Appeal:           

**PETITIONER:** Tommy Leung C/O John Buckley (architect)

**PETITIONER'S ADDRESS:** 15 Ann Vinal Rd, Scituate, MA 02066

**LOCATION OF PROPERTY:** 36-4 Irving St, Cambridge, MA

**TYPE OF OCCUPANCY:** Residential

**ZONING DISTRICT:** Residence C-1 Zone

**REASON FOR PETITION:**

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

The lot was subdivided in the 70's and the proposed lot is non-conforming on all yards which requires relief for relocation of windows and a front door, install a skylight and relocate deck within front yard setbacks.

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 8.000	Section: 8.22.2.c & Sec. 8.22.2.d (Non-Conforming Structure).
Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 10.000	Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner (s) / Owner)

Tommy Leung

(Print Name)

Address: \_\_\_\_\_

Tel. No. \_\_\_\_\_

617.702.6126

E-Mail Address: \_\_\_\_\_

jbuckley@jb-arch.com

Date: 1/30/2024

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Tommy Chun Ting Leung & Lewis Nathan Perkins  
(OWNER)

Address: 36 Irving St Unit 4, Cambridge, MA 02138

State that I/We own the property located at 36 R Irving St / 36 Irving St #4 which is the subject of this zoning application.

The record title of this property is in the name of Tommy Chun Ting Leung and Lewis Nathan Perkins

\*Pursuant to a deed of duly recorded in the date 10/25/2022, Middlesex South County Registry of Deeds at Book 80863, Page 194; or

Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_

Book \_\_\_\_\_ Page \_\_\_\_\_.

Lewis Nathan Perkins Tommy Chun Ting Leung

**SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\***

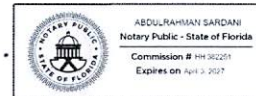
\*Written evidence of Agent's standing to represent petitioner may be requested.

State of Florida A.S. Notarized online using audio-video communication  
Commonwealth of Massachusetts, County of Duval

The above-name Tommy Chun Ting Leung & Lewis Nathan Perkins personally appeared before me, this 7<sup>th</sup> of January, 2024, and made oath that the above statement is true.

Abdelrahman Sardani Notary

My commission expires 04/03/2027 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 36-4 Irving St., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

NA

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

NA

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

NA

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

NA

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

The use is not subject to change in this project. The property simply can not comply with the current zoning ordinance as the existing lot and building location on it would not allow for any as of right changes to fenestration. Renovations to the building are proposed that bring the building into conformance w/ health and safety codes particularly in regards to egress and an interior stair. We can not meet these requirements with out changes to the fenestration and such changes are not allowed by the current zoning ordinance. There is a significant hardship born of an existing and highly non-conforming lot.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

# BZA Application Form

## DIMENSIONAL INFORMATION

**Applicant:** Tommy Leung  
**Location:** 36-4 Irving St., Cambridge, MA  
**Phone:** 617.702.6126

**Present Use/Occupancy:** Residential  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1714	1714	1495 max	(max.)
<u>LOT AREA:</u>		1993	1993	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>		979	979	1495 max	
<u>LOT AREA OF EACH DWELLING UNIT</u>		979	979	1495 max	
<u>SIZE OF LOT:</u>	WIDTH	65.03'	65.03'	50'	
	DEPTH	45.33'	45.33'	NA	
<u>SETBACKS IN FEET:</u>	FRONT	4.9'	4.9'	H+L/4 = 11.4'	
	REAR	0	0	foot note C = 20'	
	LEFT SIDE	0.4'	0.4'	H+L/5 = 13.15'	
	RIGHT SIDE	10'	10'	H+L/5 = 12.3'	
<u>SIZE OF BUILDING:</u>	HEIGHT	25.5'	25.5'	35' max	
	WIDTH	40.25'	40.25'	NA	
	LENGTH	20.25'	20.25'	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		500 sf or 25%	500 sf or 25%	30%	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		1	1	1	
<u>NO. OF LOADING AREAS:</u>		NA	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

NA

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



# PERKINS | LEUNG RESIDENCE

36 IRVING ST  
CAMBRIDGE MA 02138

## ABBREVIATIONS & SYMBOLS

### ARCHITECTURAL ABBREVIATIONS

ABBR	DESCRIPTION	ABBR	DESCRIPTION	ABBR	DESCRIPTION
&	AND	ENCL	ENCLOSURE; ENCLOSED	OC	ON CENTER
@	AT	ENG	ENGINEER	OD	OVERALL/OUTSIDE DIM
A/C	AIR CONDITIONING	EQ	EQUAL; EQUIVALENT	OPG	OPENING
ACCOM	ACCOMMODATE	EQUIP	EQUIPMENT	OPH	OPPOSITE HAND
ACT	ACOUSTIC CEILING TILE	EX'G	EXISTING	OPP	OPPOSITE
ADJ	ADJACENT	EXP	EXPOSED	PART	PARTITION; PARTIAL
ADJT	ADJUSTABLE	EXP JT	EXPANSION JOINT	PBO	PROVIDED BY OTHER/OWNER
AFF	ABOVE FINISHED FLOOR	EXT	EXTERIOR	PCC	PRE-CAST CONCRETE
ALT	ALTERNATE	FD	FINISH DIMENSION	PL	PLATE
ALUM	ALUMINUM	FDN	FOUNDATION	PLAM	PLASTIC LAMINATE
ANOD	ANODIZED	FF	FINISH FLOOR	PLAS	PLASTER
AP	ACCESS PANEL	FIN	FINISH	PLUMB	PLUMBING
APPROX	APPROXIMATELY	FIX	FIXTURE	PLYWD	PLYWOOD
ARCH	ARCHITECT; ARCHITECTURAL	FLG	FLASHING	PNT	PAINT/PAINTED
ASPH	ASPHALT	FLR	FLOOR (ING)	POL	POLISHED
BB	BASEBOARD	FLUOR	FLUORESCENT	POS	POSITIVE
BC	BUNDLED CABLE	F.O.	FACE OF	PRELIM	PRELIMINARY
BD	BOARD	FP	FIREPROOFING	PVC	POLYVINYL CHLORIDE
BEY	BEYOND	FPSC	FIREPROOF SELF-CLOSING	R	RISER
BIT	BITUMINOUS	FR	FIRE RESISTANT	RA	RETURN AIR
BLDG	BUILDING	FS	FINISH SLAB	RAD	RADIUS; RADIATOR
BLK	BLOCK	FT (')	FOOT; FEET	RCP	REFLECTED CEILING PLAN
BLKG	BLOCKING	FTG	FOOTING; FOOTING	RD, RND	ROUND
BM	BEAM	GA	GAUGE	RECP	RECEPTACLE
B.O.	BOTTOM OF	GALV	GALVANIZED	REF	REFER TO; REFRIGERATOR
BRG	BEARING	GC	GENERAL CONTRACTOR	REINF	REINFORCED
BTW	BETWEEN	GD	GROUND	REQ'D	REQUIRED
CAB	CABINET	GFI	GROUND FAULT INTERRUPTER	RES	RESILIENT
CBB	CEMENTITIOUS BACKER BOARD	GL	GLASS	REV	REVEAL
CDR	CEDAR	GWB	GYP SUM WALL BOARD	RM	ROOM
CEM	CEMENT; CEMENTITIOUS	HD	HAND; HEAD	RO	ROUGH OPENING
CFM	CUBIC FEET PER MINUTE	HDR	HEADER	SBO	SUPPLIED BY OTHER
CHR	CHROME	HDWR	HARDWARE	SCHED	SCHEDULE
CL	CENTERLINE	HT, HGT	HEIGHT	SEC	SECTION
CIP	CAST-IN-PLACE	HM	HOLLOW METAL	SIM	SIMILAR
CJT	CONTROL JOINT	HORIZ	HORIZONTAL	SOF	SOFFIT
CLG	CEILING	HR	HOUR	SP	SPRINKLER
CLR	CLEARANCE	HVAC	HEATING, VENTILATION & A/C	SPEC	SPECIFICATION; SPECIFIED
CMU	CONCRETE MASONRY UNIT	HW	HOT WATER	SQ	SQUARE
COL	COLUMN	IN (")	INCH	SS	STAINLESS STEEL
COMBO	COMBINATION	INCL	INCLUDED; INCLUDING	STL	STEEL
CONC	CONCRETE	INSUL	INSULATION; INSULATED	STR	STRAIGHT
CONST	CONSTRUCTION	INT	INTERIOR	STOR	STORAGE
CONT	CONTINUOUS	JT	JOINT	STRUCT	STRUCTURE; STRUCTURAL
COORD	COORDINATE	L	LENGTH	SUSP	SUSPENDED
CP	CENTER POINT	LACQ	LACQUER	T	TREAD
CPT	CARPET	LAM	LAMINATED; LAMINATIONS	TEL	TELEPHONE
CT	CERAMIC TILE	LAV	LAVATORY	TEMP	TEMPERATURE/TEMPERED
CTR	CENTER	LN	LINEAR	T&G	TONGUE & GROOVE
CW	COLD WATER	LCC	LEAD COATED COPPER	THK	THICK; THICKNESS
CWR	CLEAR WESTERN RED CEDAR	LT	LIGHT	TLT	TOILET
D	DEPTH; DEEP	MAS	MASONRY	T.O.	TOP OF
DEG (°)	DEGREE	MAX	MAXIMUM	T.O.S	TOP OF SLAB
DEMO	DEMOLITION	MECH	MECHANICAL	TYP	TYPICAL
DEPT	DEPARTMENT	MEMB	MEMBRANE	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	MFR	MANUFACTURER	VB	VAPOR BARRIER
DIAG	DIAGONAL	MID	MIDDLE	VCT	VINYL COMPOSITION TILE
DIF	DIFFUSER	MIN	MINIMUM	VEN	VENEER
DIM	DIMENSION	MISC	MISCELLANEOUS	VERT	VERTICAL
DMPER	DAMPER	MLWK	MILLWORK	VIF	VERIFY IN FIELD
DN	DOWN	MGMT	MANAGEMENT	W	WIDTH
DR	DOOR	MO	MASONRY OPENING	W/	WITH
DTL	DETAIL	MRGWB	MOISTURE RESISTANT GWB	WC	WATER CLOSET
DW	DISHWASHER	MTL	METAL	W/D	WASHER & DRYER
DWG	DRAWING	NIC	NOT IN CONTRACT	WD	WOOD
EA	EACH	NO (#)	NO (#)	WIN	WINDOW
ELEC	ELECTRICAL	NOM	NOMINAL	WPF	WATERPROOF
ELEV	ELEVATION	NTS	NOT TO SCALE	WPM	WATERPROOF MEMBRANE
EMER	EMERGENCY	OA	OVERALL	W/O	WITHOUT

### ARCHITECTURAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ROOM TAG: NAME, NUMBER, & AREA		SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
	EX'G CONSTRUCTION		PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
	NEW CONSTRUCTION		INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO
	NEW CONCRETE CONSTRUCTION		DOOR TAG: REFERS TO DOOR SCHEDULE
	OVERHEAD		WINDOW TAG: REFERS TO WINDOW SCHEDULE
	HIDDEN BELOW		OBJECT TAG: REFERS TO SCHEDULE
	CENTER LINE		WALL TYPE INDICATOR
	EX'G DOOR		ELEVATION DATUM
	NEW DOOR		SPOT ELEVATION
	DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO		REVISION MARKER
	EXIT LIGHT		STAIR REFERENCE: DISPLAYS RISER & TREAD INFORMATION
	EMERGENCY LIGHT		COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	FINISH / MATERIAL TAG		

## NOTES

### BUILDING DEPARTMENT NOTES

- ALL REFERENCES TO THE 'BUILDING CODE' OR 'THE CODE' SHALL REFER TO THE BUILDING CODE OF THE CITY OF CAMBRIDGE AND/OR MASSACHUSETTS STATE BUILDING CODE 2016 UNLESS OTHERWISE STATED.
- CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL BUILDING CODES, STATE LABOR LAW AND ALL REGULATIONS OF THE CITY OF CAMBRIDGE AND MASSACHUSETTS STATE. ALL PERMITS SHALL BE PROPERLY DISPLAYED.
- MEANS OF EGRESS SHALL BE KEPT UNOBSTRUCTED AT ALL TIMES AS PER THE CODE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, APPROVALS, TESTING AND INSPECTIONS AS MAY BE REQUIRED BY THE DEPARTMENT OF BUILDINGS, ENVIRONMENTAL PROTECTION AGENCY, AIR RESOURCES AND THE FIRE DEPARTMENT AS PER THE CODE.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED DEPARTMENT OF BUILDINGS PERMITS PRIOR TO THE START OF WORK.
- ALL MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
  - IT SHALL CONFORM WITH MFBU 'FIRE RESISTANCE RATINGS' DECEMBER 1964.
  - IT SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ASTM E-119-1961 STANDARD METHODS OF FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIALS AND ACCEPTED BY THE COMMISSIONER.
  - IT SHALL HAVE BEEN ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- ALL CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE SPACES, COLUMN ENCLOSURES, ETC. THAT WOULD PERMIT PASSAGE OF FLAME, SMOKE, FUMES OR HOT GASES FROM ONE FLOOR TO ANOTHER SHALL BE PROPERLY FIRESTOPPED AS PER SUB-ART 13. MATERIALS ACCEPTABLE FOR FIRESTOPPING SHALL BE ROCKWOOL, MINERAL WOOL, NON-COMBUSTIBLE MATERIAL, SHEET METAL .022 THICK (MIN), GYPSUM BOARD TYPE 'X'.
- INTERIOR FINISHES TO HAVE FLAME SPREAD RATINGS AS PRESCRIBED IN ASTM E-84-1961 STANDARD METHOD TEST FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
- ALL SPACES OCCUPIED AS INDICATED ON PLAN.
- ALL EXIT DOORS TO BE NON-COMBUSTIBLE.
- SUSPENDED CEILING CONSTRUCTION SHALL COMPLY WITH THE IRC & MASSACHUSETTS BUILDING CODE.
- ALL FIRE RATED DOORS SHALL BE 3'-0" X 7'-0" MINIMUM AND SHALL BEAR THE LABEL OF THE BOARD OF STANDARD AND APPEALS OR THE I.E.A. DIVISION.

### GENERAL PROJECT NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MASSACHUSETTS AND CITY OF CAMBRIDGE, FIRE DEPT. REGULATIONS, UTILITY CO. REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING CITY OF CAMBRIDGE AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE PLANS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

### CONSTRUCTION NOTES

- ALL WALL TYPES ARE AS LISTED.
- ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
- PARTITIONS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING STRUCTURE UNLESS OTHERWISE NOTED. ALL EXISTING CORNER BEADS SHALL BE REMOVED AND JOINTS TAPED AND SPACKLED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
- FRAMING OF ALL OPENINGS FOR DUCT WORK, RETURN AIR OPENINGS AND GRILLE OPENINGS ABOVE AND BELOW SUSPENDED CEILINGS SHALL BE COORDINATED WITH HVAC SHOP DRAWINGS. ALL OPENINGS SHALL BE PROPERLY SEALED FOR SOUND AND VIBRATION CONTROL.
- WHERE DUCTS, PIPES OR CABLES PENETRATE RATED PARTITIONS, PROVIDE FIRESTOP MATERIAL TO INSURE CONTINUITY OF RATING.
- REFERENCE DOOR SCHEDULE FOR DOOR TYPES AND DOOR HARDWARE.
- DETAILED DOOR AND HARDWARE SCHEDULES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. FABRICATION OF MATERIAL SHALL NOT BEGIN UNTIL SUCH APPROVALS HAVE BEEN RECEIVED FROM THE ARCHITECT.
- ALL DOORS IN DRYWALL PARTITION SHALL BE SET 4" FROM CLEAR OPENING OF FRAME TO IMMEDIATE ADJACENT WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS SHALL BE UNDERCUT, TO CLEAR FINISH FLOOR OR THRESHOLD BY 1/4", UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS.
- CONTRACTORS MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE CONSTRUCTION FLOORS DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
- WHERE CLEAR DIMENSIONS ARE INDICATED FOR FILE NICHES, CORRIDORS, ETC. DIMENSIONS INDICATED MUST BE MAINTAINED.
- CONTRACTOR SHALL COMPLY WITH ALL BASE BUILDING STANDARDS FOR ALTERATIONS ESTABLISHED BY BUILDING MANAGEMENT.
- CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED FOR ALL EXISTING HEATING SHUT OFF VALVES IN GYP. BD. WALLS OR NEW RADIATOR COVERS WHERE REQUIRED.

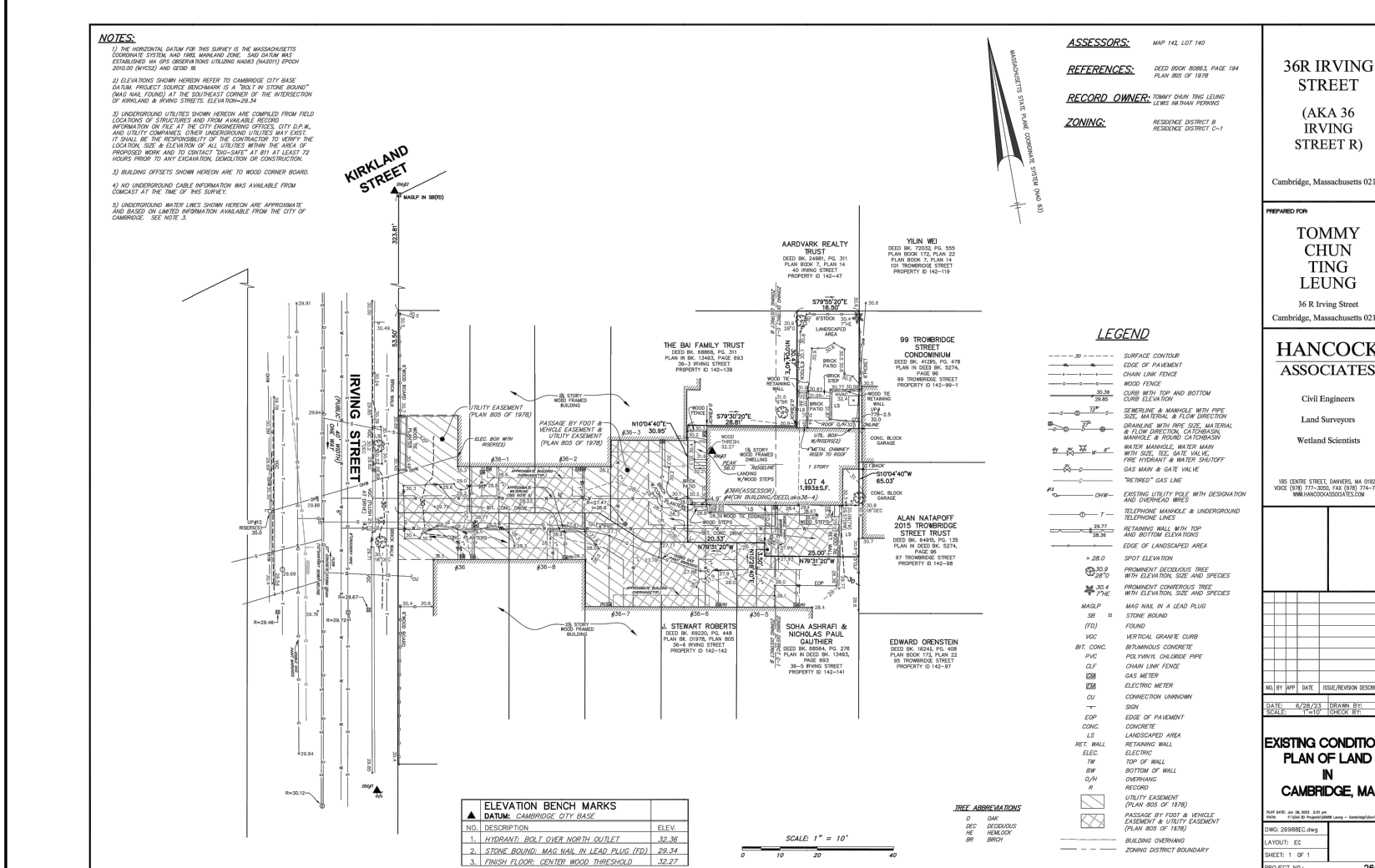
### DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED EITHER BY TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS, GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPT. OF BUILDINGS RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPT. OF BUILDINGS, AND ALL BONDING REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

### TENANTS SAFETY PLAN

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF CAMBRIDGE AND THE STATE OF MASSACHUSETTS BUILDING CODE, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR PERSONS IN THE BUILDING SHALL BE MAINTAINED CLEAR & FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND TO BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA, AND TO BE CLEANED UP AND CLEARED FROM THE BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE LIMITED TO NORMAL WORKING HOURS, TYPICALLY 8AM TO 5PM M-F, EXCEPT LEGAL HOLIDAYS.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
- CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOOR. CONTRACTOR WILL LIMIT TO A MINIMUM THE AMOUNT OF DUST, DIRT OR OTHER SUCH INCONVENIENCES CREATED TO ALL OTHER AREAS OF THE BUILDING.
- THERE WILL BE NO ONE OCCUPYING THE PROPOSED CONSTRUCTION FLOOR TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

## FILING/INDEXES



PRELIM SURVEY  
N.T.S.

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### ZONING NOTES

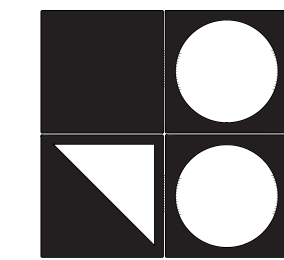
36R IRVING ST  
CAMBRIDGE MA 02138

MAP-LOT:	142-140	
ZONING DISTRICT:	RES B	- NO CHANGE
DESIGNATION:	1 FAM,	- NO CHANGE
FAR:	NA	- NO CHANGE
MIN LOT:	NA	- NO CHANGE
MIN FRONT SETBACK:	NA	- NO CHANGE
MIN SIDE SETBACK:	NA	- NO CHANGE
MIN REAR SET BACK:	NA	- NO CHANGE
MAX HEIGHT:	NA	- NO CHANGE

### DRAWING INDEX

NUMBER	TITLE
T-001.00	TITLE PAGE, ZONING, SURVEY, DRAWING INDEX, PROJECT NOTES
EX-100.00	EXISTING AND DEMOLITION PLANS
A-101.00	BASEMENT & 1ST FLOOR PLANS
A-102.00	2ND FLOOR & ROOF PLAN
A-201.00	BASEMENT & 1ST FLOOR RCP & POWER PLANS
A-301.00	EXTERIOR ELEVATIONS
A-303.00	BUILDING SECTION
A-501.00	WINDOW AND DOOR SCHEDULE AND MOLDING DETAIL (NOT YET ISSUED)
A-502.00	TBD
A-503.00	TBD
S1.0	STRUCTURAL PLAN AND DETAILS (NOT YET ISSUED)

PERKINS | LEUNG RESIDENCE  
36 IRVING ST  
CAMBRIDGE MA 02138



John Buckley Architecture & Design  
46 Waltham St, Studio 215  
Boston MA, 02118  
&  
373 Broadway, Ste F11  
New York NY, 10013

CONSULTANTS / CONTRACTOR

01 10.05.23 PERMIT APPLICATION SET  
ISSUE / REV NO DATE ISSUED TO

PERKINS | LEUNG RESIDENCE  
36 IRVING ST  
CAMBRIDGE MA 02138

## TITLE PAGE

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	#2208
DRAWN BY	JTB
REVIEWED BY	JTB
SHEET	JTB

SHEET NUMBER

T001.00

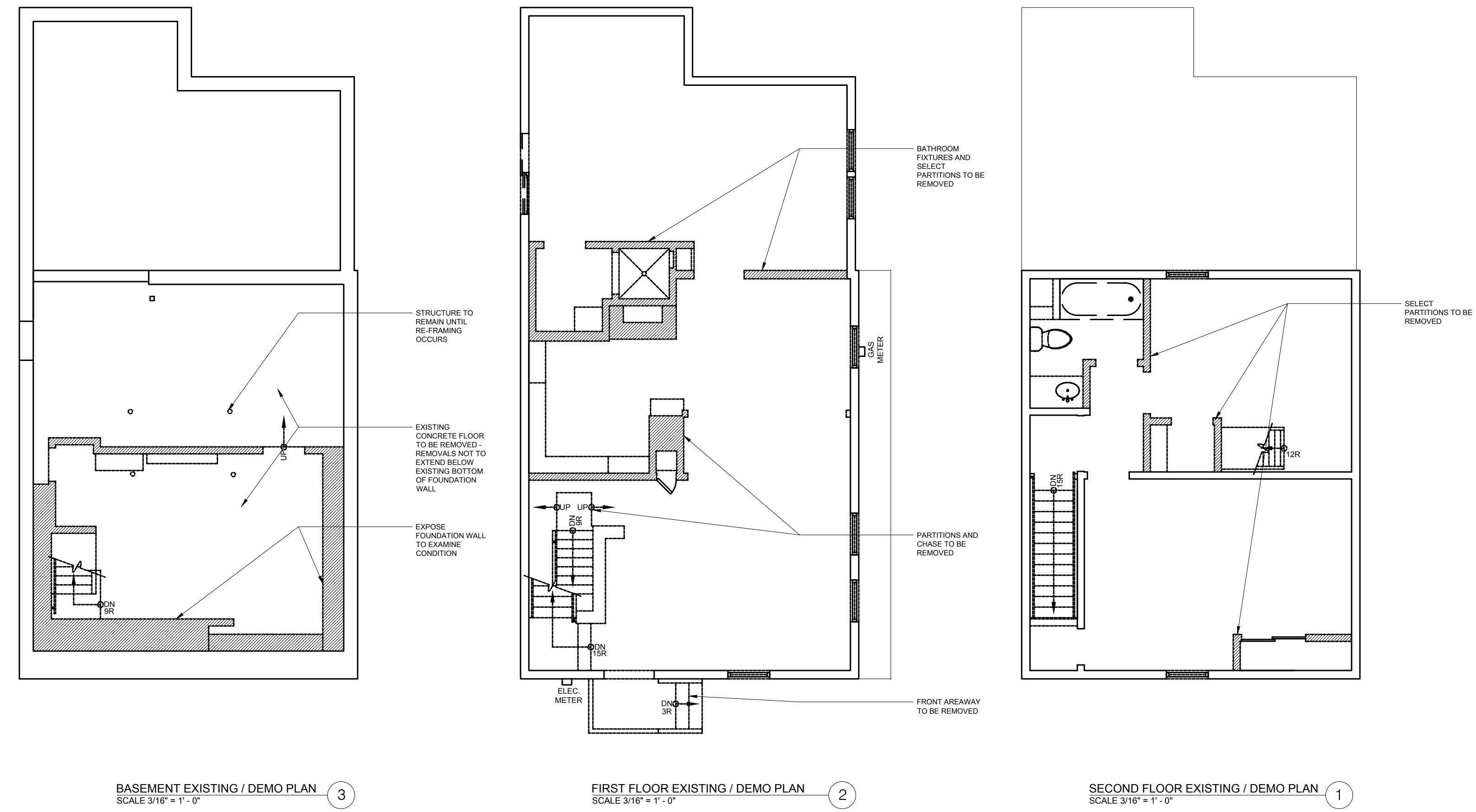


**ARCHITECTURAL SYMBOLS LEGEND**

SYMBOL	DESCRIPTION
	ROOM TAG: NAME, NUMBER, & AREA
	EX G CONSTRUCTION
	EX G CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	NEW CONCRETE CONSTRUCTION
	OVERHEAD
	HIDDEN BELOW
	CENTER LINE
	EX G DOOR
	NEW DOOR
	DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
	EXIT LIGHT
	EMERGENCY LIGHT
	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
	PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
	INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO
	DOOR TAG: REFERS TO DOOR SCHEDULE
	WINDOW TAG: REFERS TO WINDOW SCHEDULE
	OBJECT TAG: REFERS TO SCHEDULE
	WALL TYPE INDICATOR
	ELEVATION DATUM
	SPOT ELEVATION
	REVISION MARKER
	STAIR REFERENCE: DISPLAYS RISER & TREAD INFORMATION
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	FINISH / MATERIAL TAG

**TEMPORARY SHORING NOTES:**  
 TEMPORARY SHORING TO BE PROVIDED DURING DEMOLITION WHERE NEEDED, ESPECIALLY AT MODIFICATIONS TO THE MAIN BEARING WALL.  
 ARCHITECT AND/OR STRUCTURAL ENGINEER TO BE CONSULTED ON ANY AREAS OF DEMOLITION WHERE THE STRUCTURAL LOADS ARE NOT EXPLICITLY APPARENT.

**GEN. DEMOLITION NOTES:**  
 - NO EXCAVATION PAST BOTTOM OF FOOTING / FOUNDATION  
 - ALL WINDOWS AND DOORS TO BE REMOVED WITH MINIMAL DISRUPTION  
 - TEMPORARY SHORING REQUIRED WHEN RE-FRAMING MAIN BEARING WALL OPENINGS  
 - FINISH FLOOR TO BE EVALUATED FOR REUSE - POSSIBLE DEMOLITION TO SUB-FLOOR  
 - HVAC & MECHANICAL EQUIPMENT TO BE REMOVED  
 - ALL ELECTRICAL WIRING AND PANELS TO BE REMOVED  
 - INTERNAL PLUMBING LINES WITHIN BUILDING SHELL TO BE REMOVED, MAIN SEWER CONNECTION TO REMAIN  
 - DEMOLITION TO BE DONE IN A CONTROLLED WAY TO ENSURE STRUCTURAL INTEGRITY AND MINIMIZATION OF ENVIRONMENTAL HAZARD SUCH AS EXCESSIVE DUST



**BASEMENT EXISTING / DEMO PLAN** ③  
 SCALE 3/16" = 1'-0"

**FIRST FLOOR EXISTING / DEMO PLAN** ②  
 SCALE 3/16" = 1'-0"

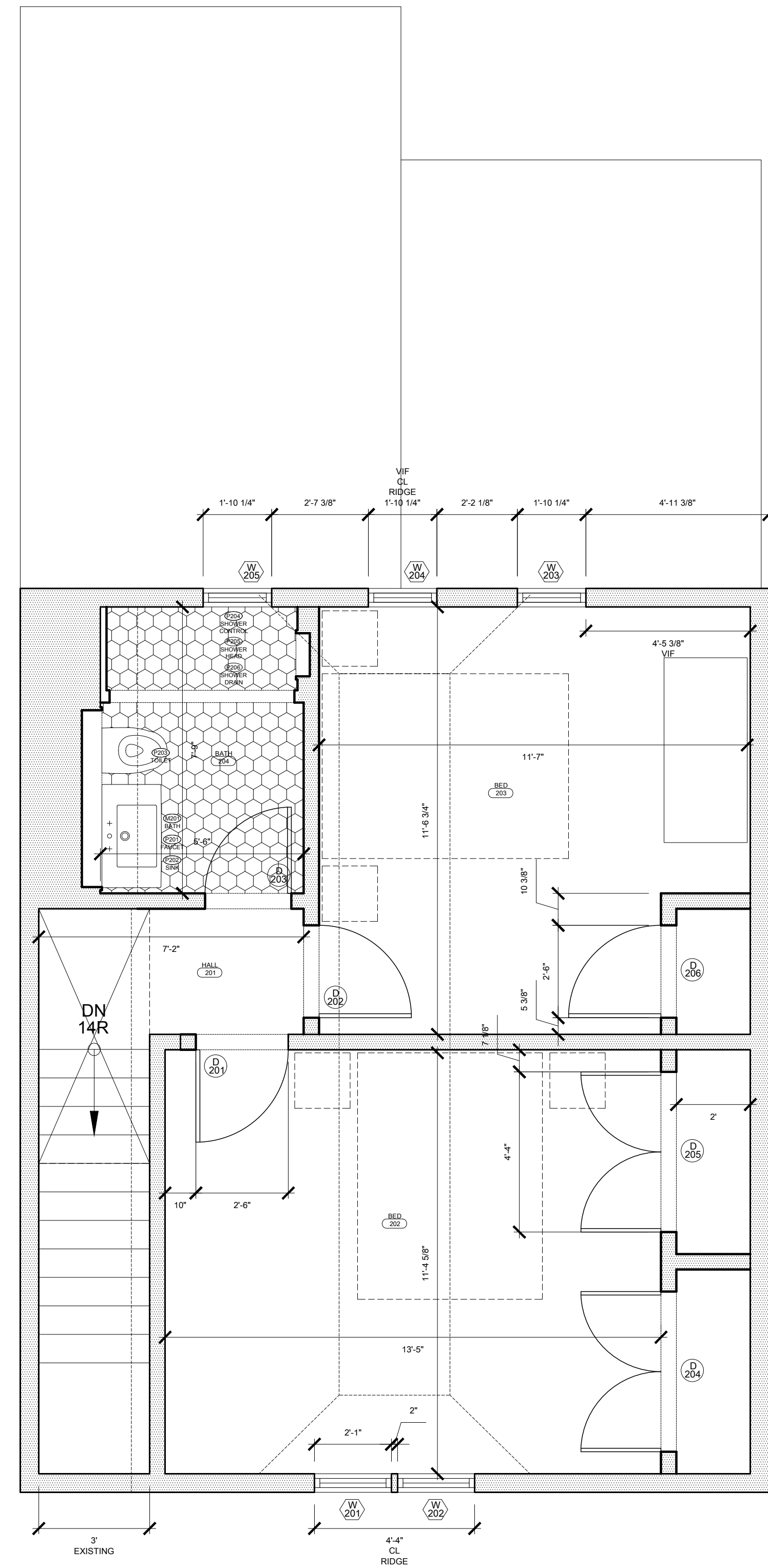
**SECOND FLOOR EXISTING / DEMO PLAN** ①  
 SCALE 3/16" = 1'-0"

01	10.05.23	PERMIT APPLICATION SET
ISSUE / REV NO	DATE	ISSUED TO

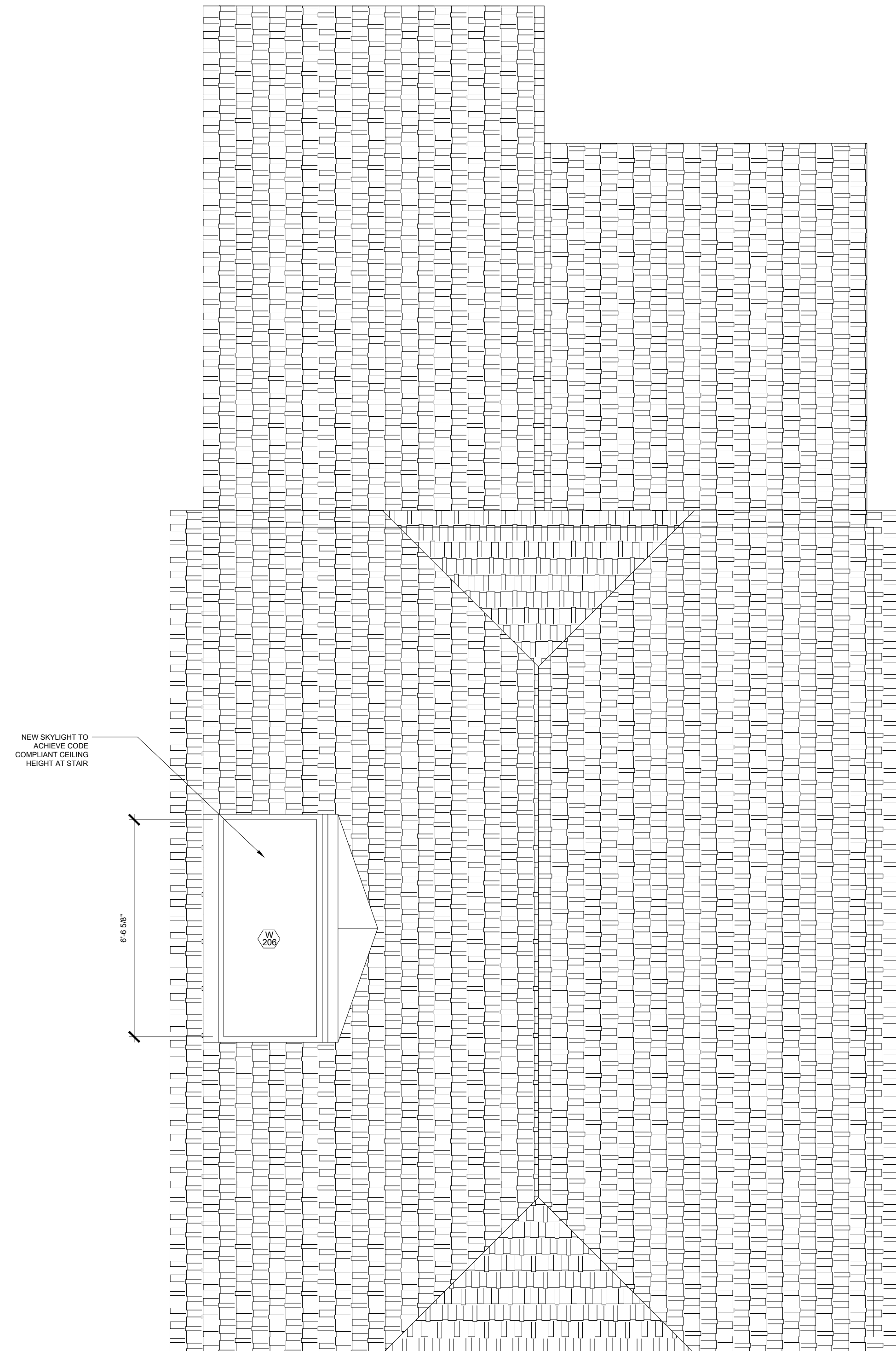
**EXISTING AND DEMOLITION PLANS**

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	DRAWN BY: #2208
	REVIEWED BY: JTB
	SHEET: JTB





**SECOND FLOOR PLAN**  
 SCALE 3/8" = 1'-0" **2**



**ROOF PLAN**  
 SCALE 3/8" = 1'-0" **1**

01	10.05.23	PERMIT APPLICATION SET
ISSUE / REV NO	DATE	ISSUED TO

**2ND AND ROOF PLANS**

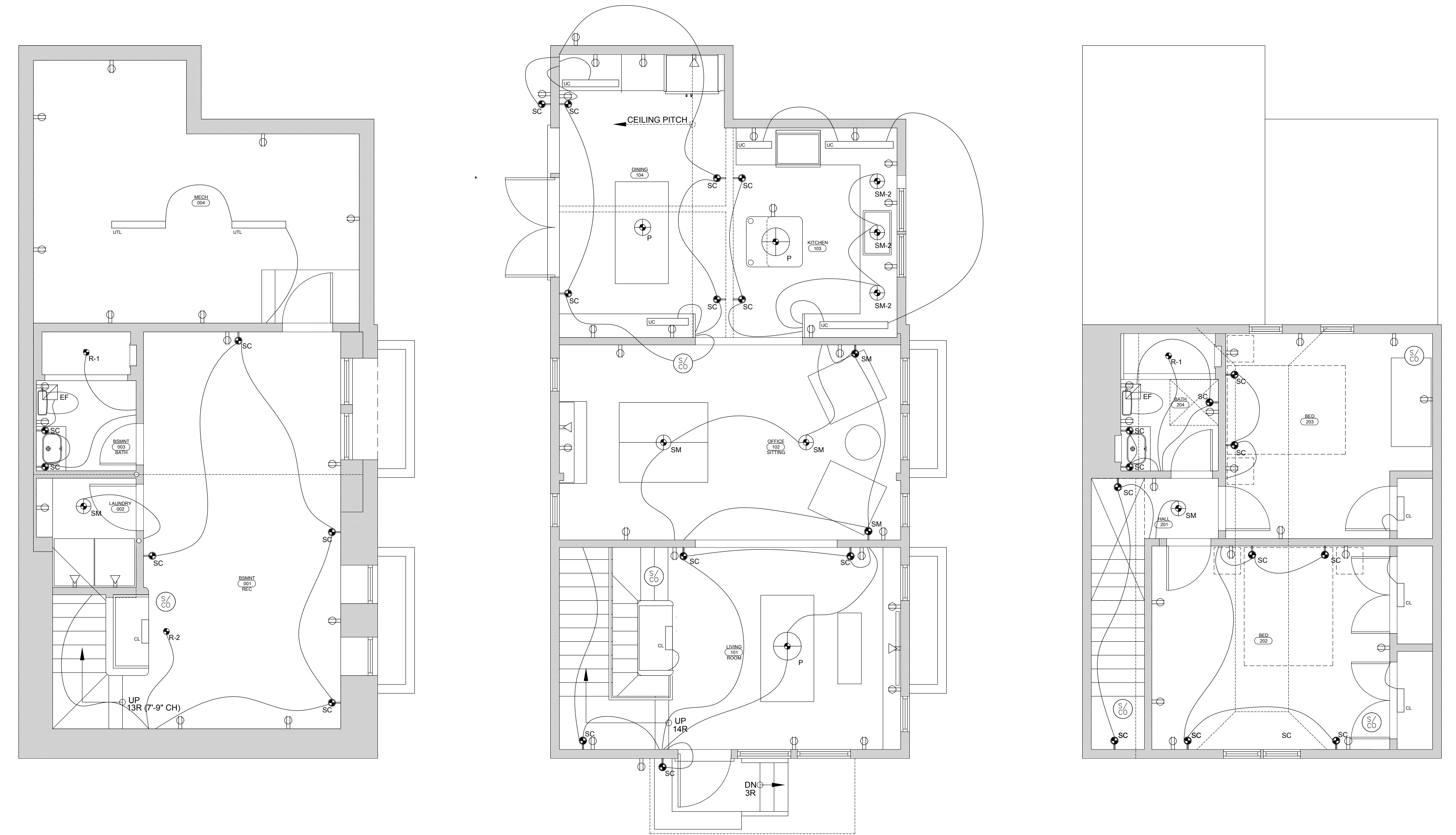
SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	#2208
	DRAWN BY
	JTB
	REVIEWED BY
JTB	
SHEET	JTB
SHEET NUMBER	



**LIGHT & POWER SYMBOLS**

SYMBOL	DESCRIPTION
	4-1/2" RECESSED LED CEILING FIXTURE
	3" RECESSED LED CEILING FIXTURE
	4-1/2" WALL WASHING RECESSED LIGHT FIXTURE
	EXTERIOR FLOOR WASHING LIGHT FIXTURE
	UNDER COUNTER FIXTURE
	CLOSET FIXTURE (JAMB SWITCHED)
	UTILITY LIGHT
	SURFACE MOUNT LIGHT FIXTURE
	SURFACE MOUNT LIGHT FIXTURE
	WALL SCONCE LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	EXHAUST FAN
	SWITCH
	DUPLEX OUTLET
	DUPLEX FLOOR OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET
	DEDICATED APPLIANCE OUTLET
	DATA / CABLE
	COMBO SMOKE AND CARBON MONOXIDE DETECTOR

GENERAL ELECTRICAL NOTES:  
 INFRASTRUCTURE FOR FUTURE PHOTOVOLTAIC PANEL ARRAY ON REAR ROOF - ACCOMMODATE FOR NECESSARY PANEL, CONDUIT AND SHUT OFF SWITCHING COMPLIANT WITH ALL CODES  
 CAT 6 NETWORK CABLE SUPPLIED TO ALL COMMON ROOMS AND BEDROOMS AS SHOWN ON RCP PLAN  
 BATHROOMS TO RECEIVE ELECTRIC HEAT MATT ON TIMER  
 FULL BATHROOMS TO RECEIVE ELECTRIC TOWEL WARMER ON TIMER



BASEMENT FLOOR RCP  
SCALE 1/4" = 1'-0" 3

1ST FLOOR RCP  
SCALE 1/4" = 1'-0" 2

2ND FLOOR RCP  
SCALE 1/4" = 1'-0" 1

CONSULTANTS / CONTRACTOR

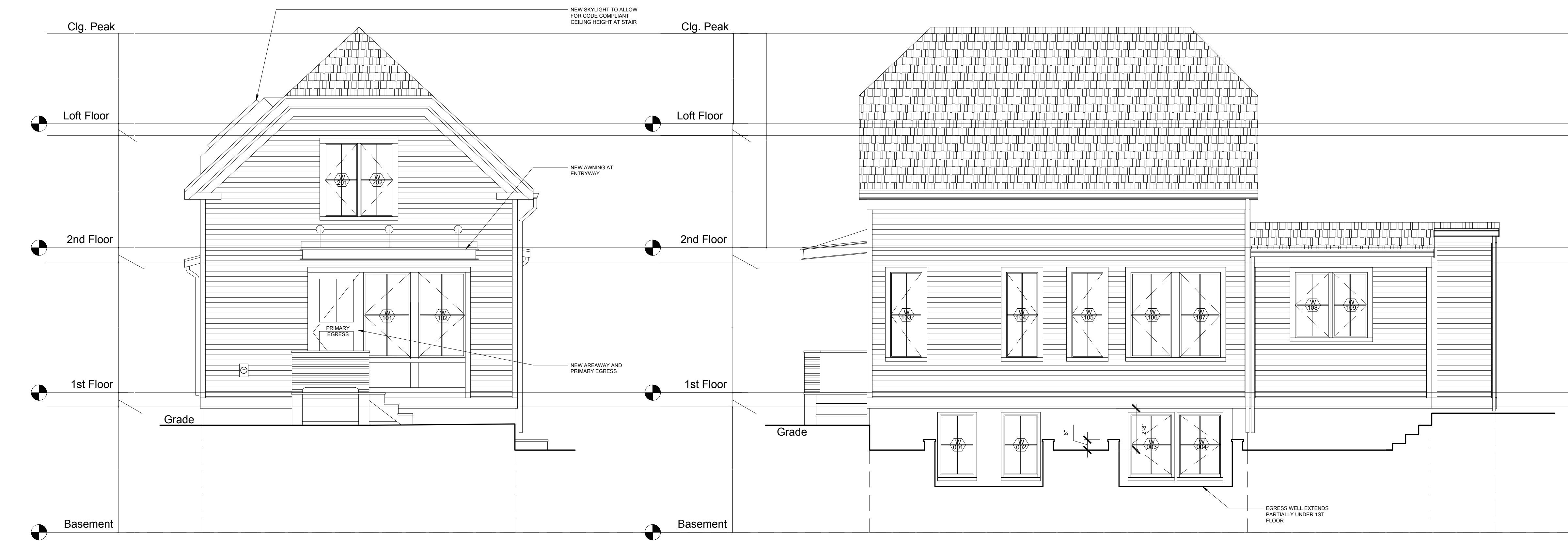
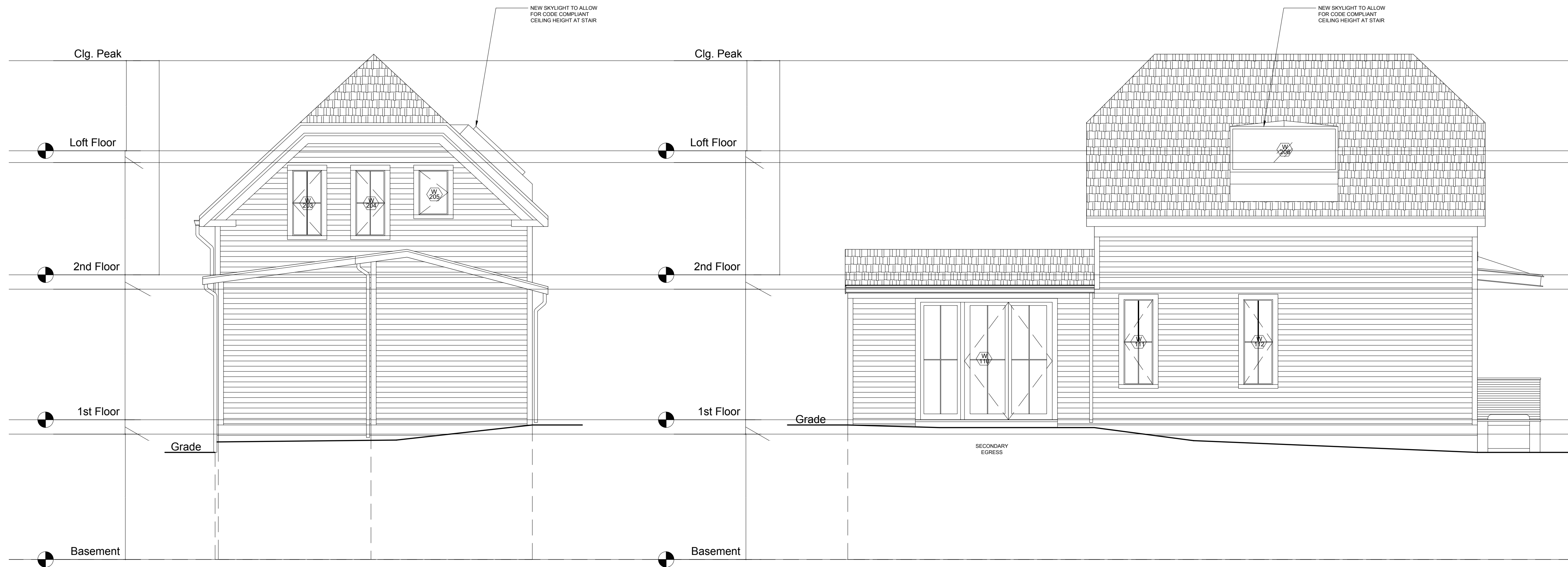
01 10.05.23 PERMIT APPLICATION SET  
 ISSUE / REV NO DATE ISSUED TO

SHEET TITLE  
**REFLECTED CEILING PLANS**

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	DRAWN BY #2208
	REVIEWED BY JTB
	SHEET JTB

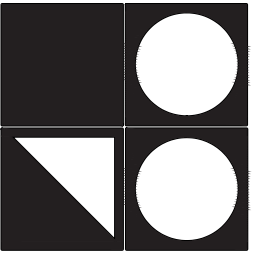
ARCHITECTURAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	ROOM TAG: NAME, NUMBER, & AREA
	EX G CONSTRUCTION
	EX G CONSTRUCTION TO BE REMOVED
	NEW CONSTRUCTION
	NEW CONCRETE CONSTRUCTION
	OVERHEAD
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	NEW DOOR
	DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
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	EMERGENCY LIGHT
	SECTION REFERENCE: DISPLAYS DWG NO & SHEET NO
	PLAN DETAIL REFERENCE: DISPLAYS DWG NO & SHEET NO
	INTERIOR ELEVATION REFERENCE: DISPLAYS DWG NO & SHEET NO
	DOOR TAG: REFERS TO DOOR SCHEDULE
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	WALL TYPE INDICATOR
	ELEVATION DATUM
	SPOT ELEVATION
	REVISION MARKER
	STAIR REFERENCE: DISPLAYS RISER & TREAD INFORMATION
	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	FINISH / MATERIAL TAG

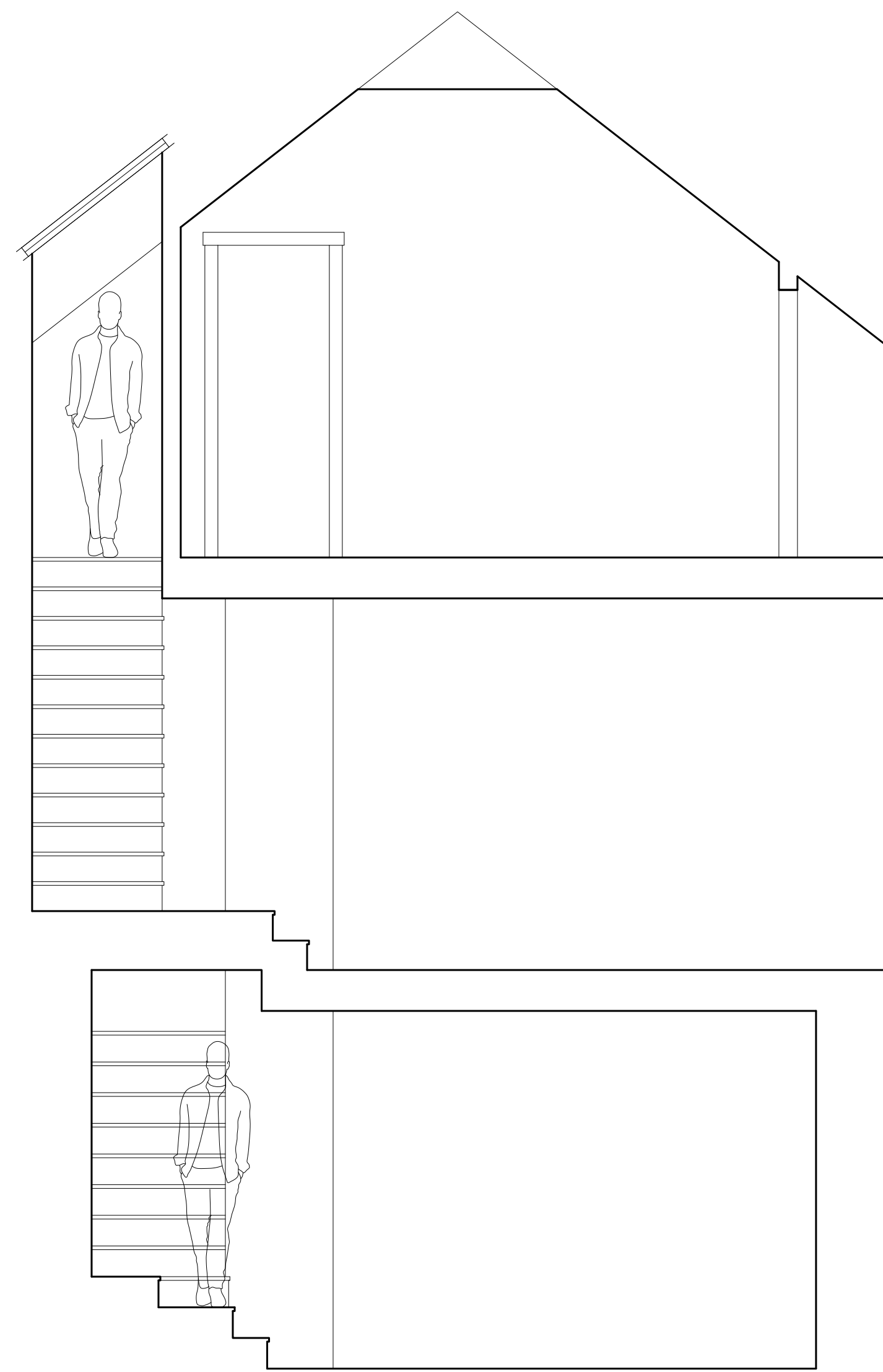


EXTERIOR ELEVATIONS 1  
SCALE 1/4" = 1'-0"





CONSULTANTS / CONTRACTOR



SHORT BUILDING SECTION  
SCALE 3/8" = 1' - 0" **2**




LONG BUILDING SECTION  
SCALE 3/8" = 1' - 0" **1**

ISSUE / REV NO	DATE	ISSUED TO
01	10.05.23	PERMIT APPLICATION SET

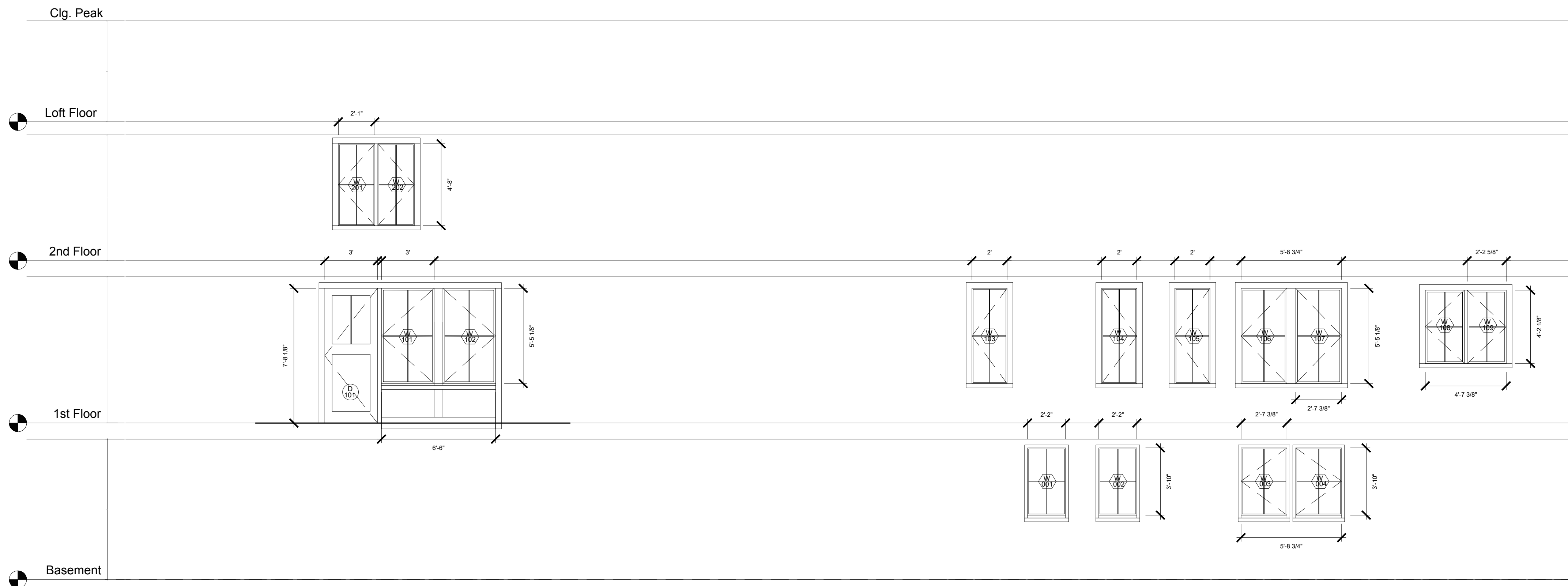
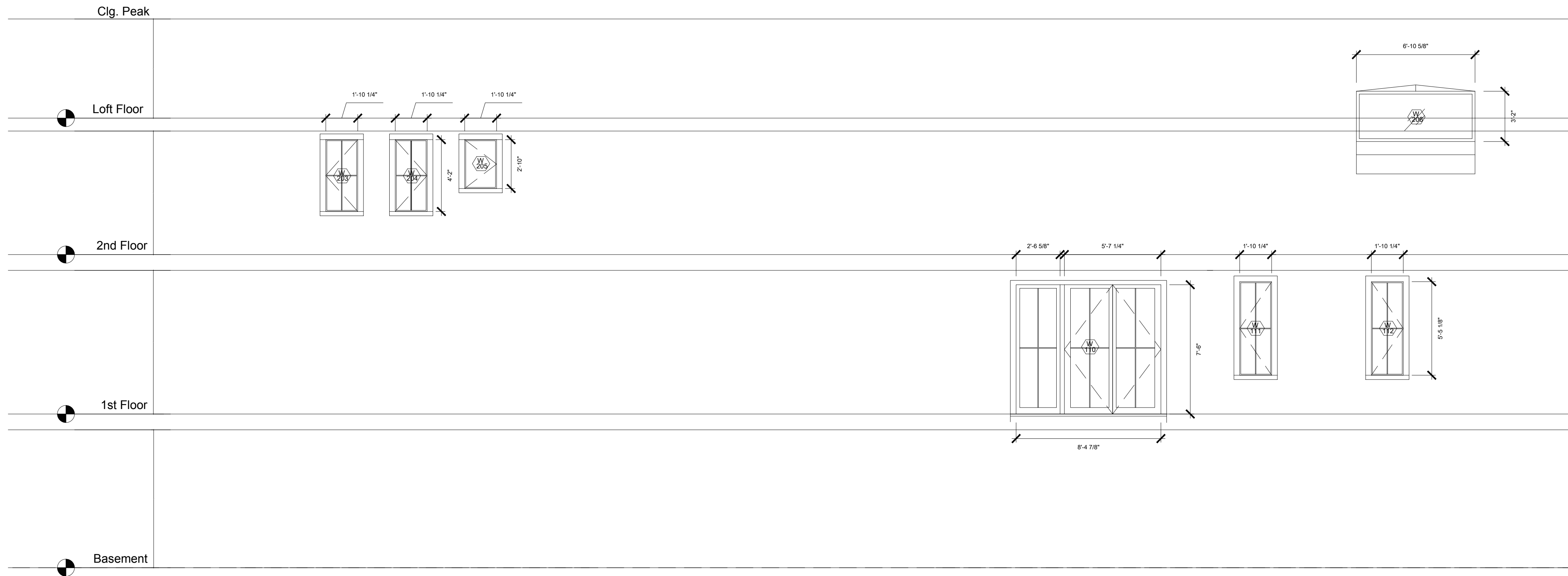
**PERKINS | LEUNG RESIDENCE**  
36 IRVING ST  
CAMBRIDGE MA 02138

**BUILDING SECTIONS**

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	#2208
	JTB
	JTB
	JTB

**A303**

CONSULTANTS / CONTRACTOR



**WINDOW SIZE SCHEDULE**

NO	SIZE (WxH)
001	2'-2" X 3'-10"
002	2'-2" X 3'-10"
003	2'-7 3/8" X 3'-10"
004	2'-7 3/8" X 3'-10"
101	3'-0" X 5'-5 1/8"
102	3'-0" X 5'-5 1/8"
103	2'-0" X 5'-5 1/8"
104	2'-0" X 5'-5 1/8"
105	2'-0" X 5'-5 1/8"
106	2'-7 3/8" X 5'-5 1/8"
107	2'-7 3/8" X 5'-5 1/8"
108	2'-2 5/8" X 4'-2 1/8"
109	2'-2 5/8" X 4'-2 1/8"
110	8'-4 7/8" X 7'-6" FRENCH DOOR W/ SIDE LIGHT
111	1'-10 1/4" X 5'-5 1/8"
112	1'-10 1/4" X 5'-5 1/8"
201	2'-1" X 4'-8"
202	2'-1" X 4'-8"
203	1'-10 1/4" X 4'-2"
204	1'-10 1/4" X 4'-2"
205	1'-10 1/4" X 2'-10"
206	6'-10 5/8" X 3'-2"

WINDOW EXTERIOR ELEVATIONS 2  
 SCALE 1/4" = 1'-0"

WINDOW DIMENSIONS PER UNIT 1  
 SCALE N.T.S.

01 10.05.23 PERMIT APPLICATION  
 ISSUE / REV NO DATE ISSUED TO

**PERKINS | LEUNG RESIDENCE**  
 36 IRVING ST  
 CAMBRIDGE MA 02138

**WINDOW AND DOOR  
 ELEVATIONS / SCHEDULE**

SEAL AND SIGNATURE	JOB-AD PROJECT NUMBER
	DRAWN BY #2210
	REVIEWED BY JTB
	SHEET JTB
SHEET NUMBER	

**A501.00**



**NOTES:**

- 1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. SAID DATUM WAS ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.
- 2) ELEVATIONS SHOWN HEREON REFER TO CAMBRIDGE CITY BASE DATUM. PROJECT SOURCE BENCHMARK IS A "BOLT IN STONE BOUND" (MAG NAIL FOUND) AT THE SOUTHEAST CORNER OF THE INTERSECTION OF KIRKLAND & IRVING STREETS. ELEVATION=29.34
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE CITY ENGINEERING OFFICES, CITY D.P.W., AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) BUILDING OFFSETS SHOWN HEREON ARE TO WOOD CORNER BOARD.
- 4) NO UNDERGROUND CABLE INFORMATION WAS AVAILABLE FROM COMCAST AT THE TIME OF THIS SURVEY.
- 5) UNDERGROUND WATER LINES SHOWN HEREON ARE APPROXIMATE AND BASED ON LIMITED INFORMATION AVAILABLE FROM THE CITY OF CAMBRIDGE. SEE NOTE 3.

**ASSESSORS:** MAP 142, LOT 140

**REFERENCES:** DEED BOOK 80863, PAGE 194  
PLAN BOOK 7, PLAN 1978

**RECORD OWNER:** TOMMY CHUN TING LEUNG  
LEWIS NATHAN PERKINS

**ZONING:** RESIDENCE DISTRICT B  
RESIDENCE DISTRICT C-1

**36R IRVING STREET**  
**(AKA 36 IRVING STREET R)**

Cambridge, Massachusetts 02118

PREPARED FOR:

**TOMMY CHUN TING LEUNG**

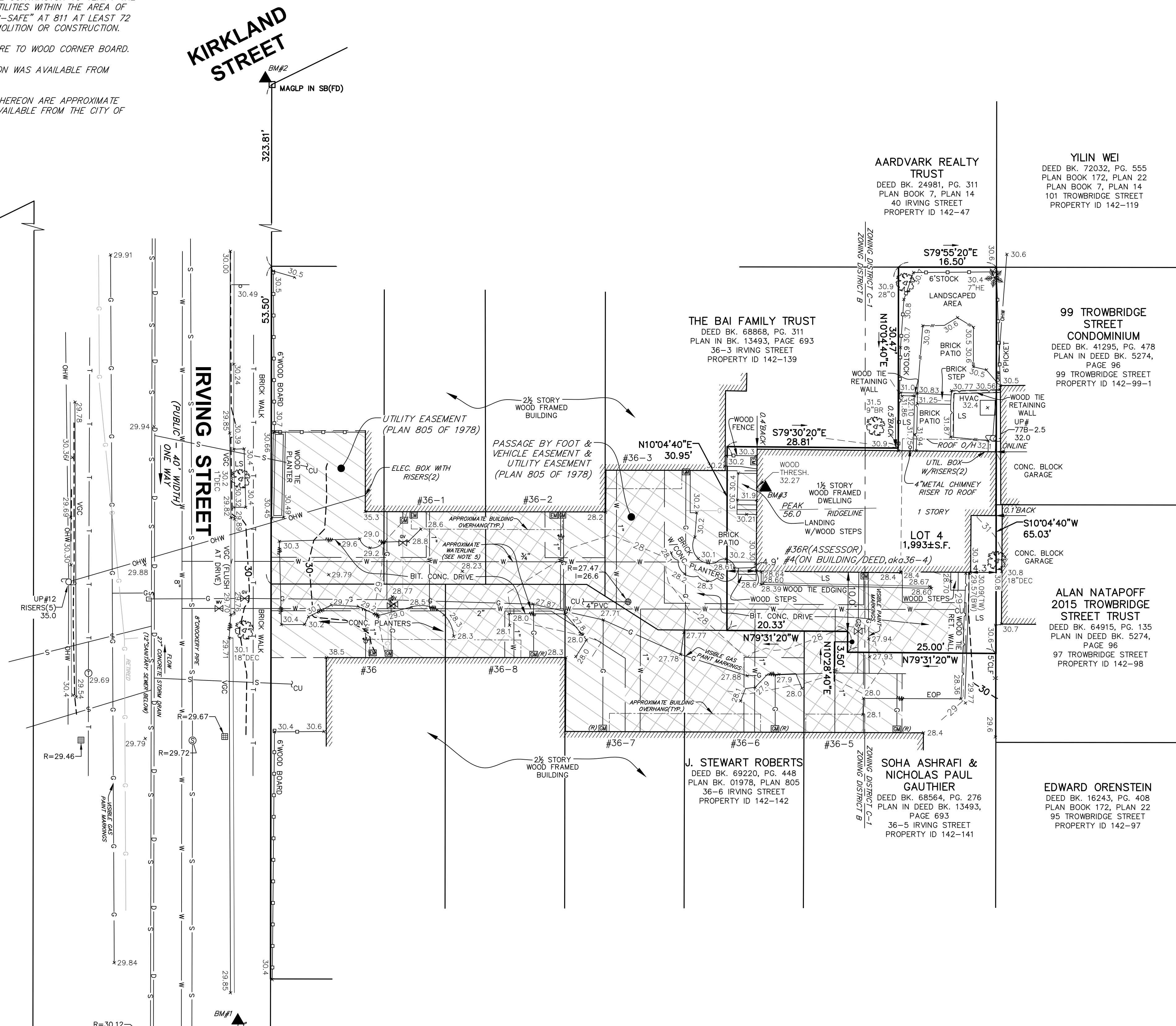
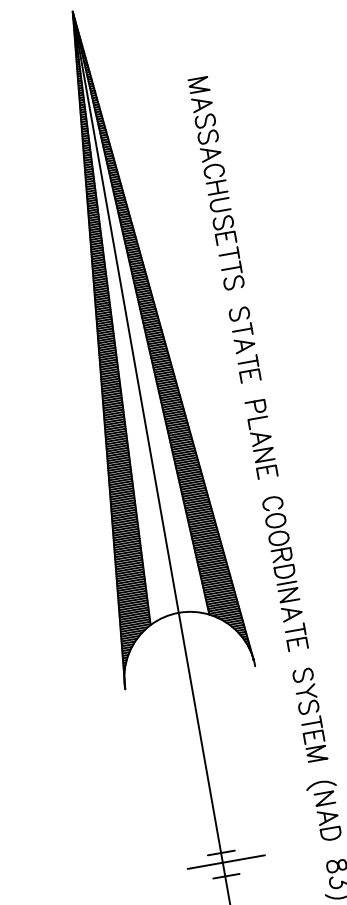
36 R Irving Street  
Cambridge, Massachusetts 02118

**HANCOCK ASSOCIATES**

Civil Engineers  
Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923  
VOICE (978) 777-3050, FAX (978) 774-7816  
WWW.HANCOCKASSOCIATES.COM



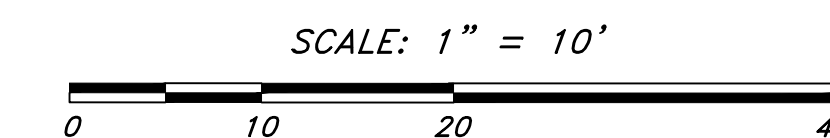
**LEGEND**

- 30 --- SURFACE CONTOUR
- - - - - EDGE OF PAVEMENT
- x - x - x - CHAIN LINK FENCE
- - - - - WOOD FENCE
- 30.39 --- CURB WITH TOP AND BOTTOM CURB ELEVATION
- 28.85 --- CURB ELEVATION
- S - S - S - SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
- D - D - D - DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- W - W - W - WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE, FIRE HYDRANT & WATER SHUTOFF
- G - G - G - GAS MAIN & GATE VALVE
- - - - - "RETIRED" GAS LINE
- OHW - OHW - EXISTING UTILITY POLE WITH DESIGNATION AND OVERHEAD WIRES
- T - T - TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- 29.77 --- RETAINING WALL WITH TOP AND BOTTOM ELEVATIONS
- 28.36 --- EDGE OF LANDSCAPED AREA
- x 28.0 SPOT ELEVATION
- 30.9 PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- 30.4 PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES
- MAGLP MAG NAIL IN A LEAD PLUG
- SB STONE BOUND
- (FD) FOUND
- VGC VERTICAL GRANITE CURB
- BIT. CONC. BITUMINOUS CONCRETE
- PVC POLYVINYL CHLORIDE PIPE
- CLF CHAIN LINK FENCE
- G/M GAS METER
- E/M ELECTRIC METER
- CU CONNECTION UNKNOWN
- SIGN SIGN
- EOP EDGE OF PAVEMENT
- CONC. CONCRETE
- LS LANDSCAPED AREA
- RET. WALL RETAINING WALL
- ELEC. ELECTRIC
- TW TOP OF WALL
- BW BOTTOM OF WALL
- O/H OVERHANG
- R RECORD
- UTILITY EASEMENT (PLAN 805 OF 1978)
- PASSAGE BY FOOT & VEHICLE EASEMENT & UTILITY EASEMENT (PLAN 805 OF 1978)
- BUILDING OVERHANG
- ZONING DISTRICT BOUNDARY

ELEVATION BENCH MARKS		
NO.	DESCRIPTION	ELEV.
1.	HYDRANT: BOLT OVER NORTH OUTLET	32.36
2.	STONE BOUND: MAG NAIL IN LEAD PLUG (FD)	29.34
3.	FINISH FLOOR: CENTER WOOD THRESHOLD	32.27

**TREE ABBREVIATIONS**

O OAK  
DEC DECIDUOUS  
HE HEMLOCK  
BR BIRCH



NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 6/28/23 DRAWN BY: JAH  
SCALE: 1"=10' CHECK BY: JMS

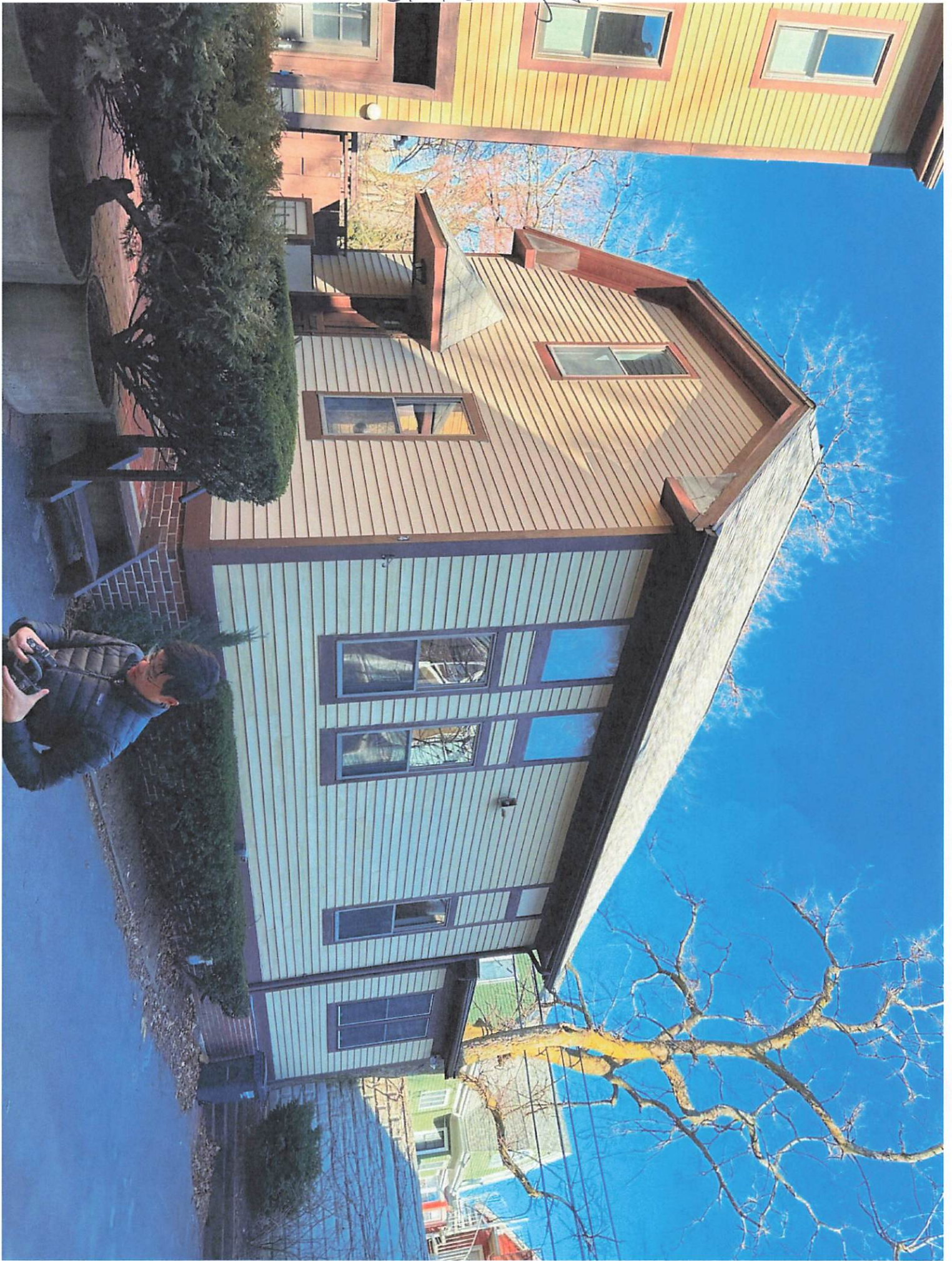
**EXISTING CONDITIONS PLAN OF LAND IN CAMBRIDGE, MA**

PLOT DATE: Jun 28, 2023 2:51 pm  
PATH: F:\DWG 3D Projects\26988 Leung - Cambridge\Surv\DWG\

DWG: 26988EC.dwg  
LAYOUT: EC  
SHEET: 1 OF 1  
PROJECT NO.: 26988



36-4 Irving St.











# Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139  
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112  
E-mail: [histncds@cambridgema.gov](mailto:histncds@cambridgema.gov)  
URL: <http://www.cambridgema.gov/Historic/midcambridgehome.html>

Tony Hsiao, *Chair*; Lestra Litchfield, *Vice Chair*  
Monika Pauli, Charles Redmon, Katinka Hakuta, *Members*  
Catherine Tice, Nan Laird, *Alternates*

## CERTIFICATE OF APPROPRIATENESS

PROPERTY: **36-4 Irving Street**

OWNER: **Nathan Perkins & Tommy Leung**  
**36-4 Irving Street**  
**Cambridge, MA 02138**

The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Title 2, Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the City Council order establishing the Commission, that the proposal described below is not incongruous to the historic aspects or architectural character of the building or district:

### **Alter front entrance and fenestration.**

**The work has been approved as depicted in the plans titled “Perkins|Leung Residence,” by John Buckley Architecture & Design, Boston, MA, and dated September 13, 2023.**

*The plans and specifications that were submitted with the application are incorporated into this certificate, which is non-binding on the applicant.*

This certificate is granted upon the condition that the work authorized is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance, or if such work is suspended in significant part for a period of one year after the time the work is commenced, this certificate shall expire and be of no further effect; provided that, for cause, one or more extensions not exceeding ninety days each may be allowed in writing by the Chairman.

Case Number: **MC 6885**

Date of Certificate: **December 4, 2023**

Attest: A true and correct copy of the decision was filed with the City Clerk’s office and the Mid Cambridge Neighborhood Conservation District Commission on December 5, 2023.

By Lestra Litchfield/aac, Vice Chair

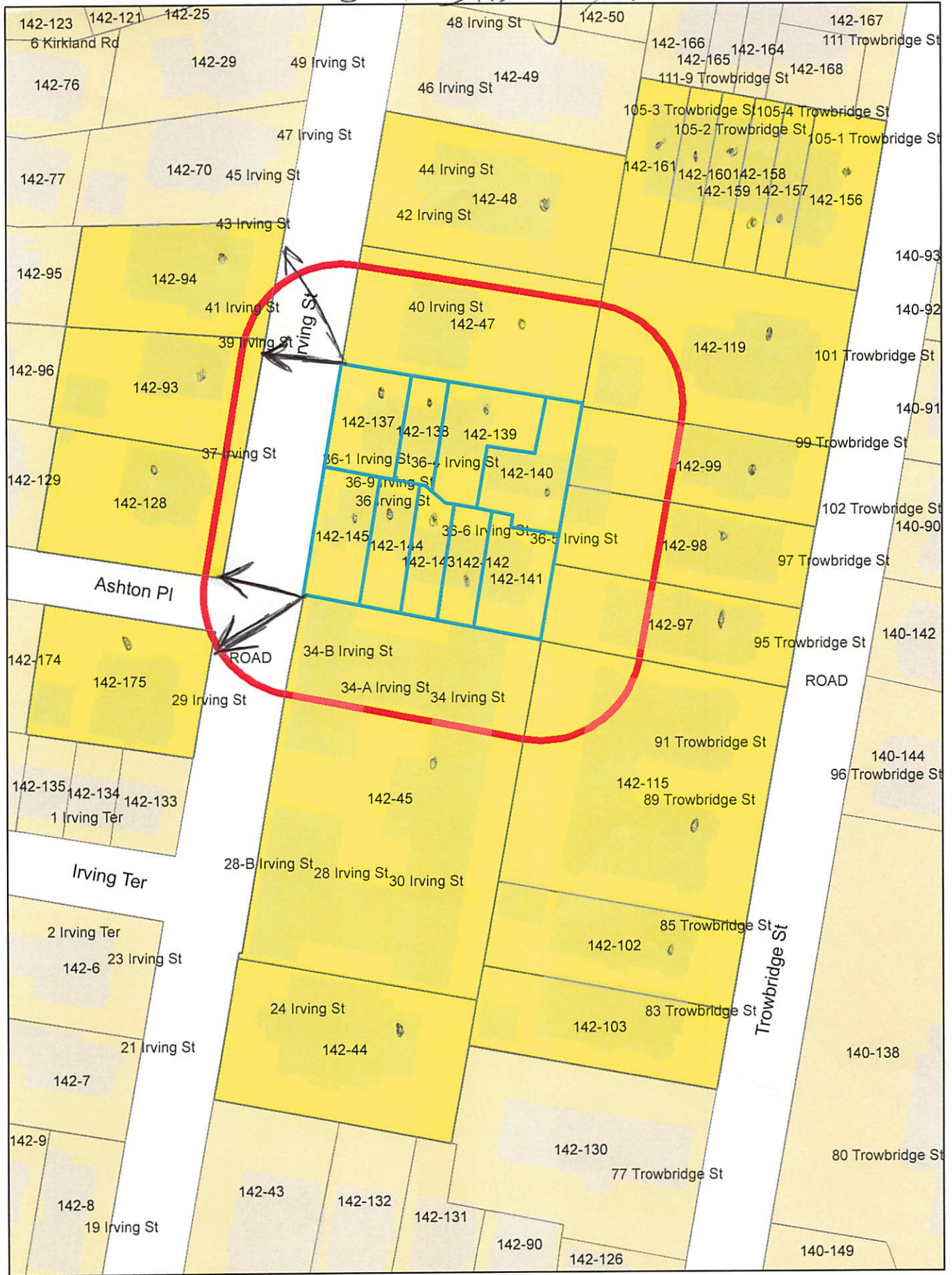
Twenty days have elapsed since the filing of this decision.

No appeal has been filed \_\_\_\_\_. Appeal has been filed \_\_\_\_\_.

Date \_\_\_\_\_, City Clerk



36-4 Irving St.



36-4 Irving St.

Petitioner

142-137  
KUMAR, VINEET  
36-1 IRVING ST  
CAMBRIDGE, MA 02138

142-138  
MORELLO, RICHARD P., JR. &  
YOUNGJOO L. MORELLO  
36 IRVING ST., #2  
CAMBRIDGE, MA 02140

142-140  
LEUNG, TOMMY CHUN TING  
LEWIS N PERKINS  
36 IRVING ST UNIT 4  
CAMBRIDGE, MA 02138

142-145  
BELL, CRAIG & AIMEE BELL  
36 IRVING ST  
CAMBRIDGE, MA 02138

142-159  
GELIN, MARGARET T.,  
TR. THE MARGARET T. GELIN REV TRUST  
105 TROWBRIDGE ST., #4  
CAMBRIDGE, MA 02138

JOHN BUCKLEY, ARCHITECT  
15 ANN VINAL ROAD  
SCITUATE, MA 02066

142-144  
WAHEED, NADIA & KHALIDA WAHEED  
36-8 IRVING ST  
CAMBRIDGE, MA 02138

142-156  
URBONAS, GEDIMINAS  
105-1 TROWBRIDGE ST  
CAMBRIDGE, MA 02138

142-161  
MISHLER, ELLIOT G. & VICTORIA STEINITZ,  
TRUSTEES OF VICTELL NOMINEE TRUST,  
105-6 TROWBRIDGE  
CAMBRIDGE, MA 02138-5307

142-128  
HYDE, TIMOTHY W. & SARAH M. FORTUNE  
37 IRVING ST  
CAMBRIDGE, MA 02138

142-139  
SHU, MIAO, TRUSTEE THE BAI FAMILY TRUST  
P.O. BOX 130350  
BOSTON, MA 02113

142-142  
ROBERTS, J. STEWART  
36 IRVING ST. #6  
CAMBRIDGE, MA 02138

142-143  
BRILLIANT, BRADLEY H. & SERENE M. JOSIAH  
36-7 IRVING ST  
CAMBRIDGE, MA 02138

142-157  
HERMAN, ELLEN D.  
105-2 TROWBRIDGE STREET  
CAMBRIDGE, MA 02138-5307

142-158  
TOONG, HOO-MIN DAVID  
105-3 TROWBRIDGE ST  
CAMBRIDGE, MA 02138-5306

142-175  
BOGER, WILLIAM P. III & BARBARA C. BOGER  
29 IRVING ST  
CAMBRIDGE, MA 02138

142-47  
SOLEM, RACHAEL, JOHN BARRY HERRING,  
TRS OF AARDVARK REALTY TRUST  
24 IRVING ST  
CAMBRIDGE, MA 02138-3007

142-48  
GROSSMAN, NANCY L.  
44 IRVING STREET, UNIT C  
CAMBRIDGE, MA 02138

142-48  
STALEY, JONATHAN BROOKS INDRA  
44 IRVING ST., #A  
CAMBRIDGE, MA 02138

142-48  
DEDES, GEORGE & JOANNIS DEDES  
79 QUEEN ELIZABETH'S CLOSE  
LONDON N160HP, - ENGLAND

142-93  
HOBEIKA, ROGER JR. &  
RUTH WEINSTOCK HOBEIKA  
39 IRVING ST  
CAMBRIDGE, MA 02138-3009

142-98  
NATAPOFF, ALAN,  
TR ALAN NATAPOFF TROWBRIDGE ST TRUST  
97 TROWBRIDGE ST  
CAMBRIDGE, MA 02138

142-102  
85 TROWBRIDGE, LLC  
85 TROWBRIDGE ST., #2  
CAMBRIDGE, MA 02138

142-115  
SLATER, PAUL D. & NANCY SLATER  
C/O THE BEAL COMPANIES,LLP  
ATTN: NANCY SONIS  
177 MILK STREET  
BOSTON, MA 02109

142-45  
PRESIDENT & FELLOWS OF HARVARD COLLEGE  
C/O HARVARD REAL ESTATE, INC.  
HOLYOKE CENTER, ROOM 1000  
1350 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02138-3895

142-48  
MCBRIDE, SHARON K.  
TR. OF THE SHARON K. MCBRIDE TRUST  
44 IRVING ST UNIT #E  
CAMBRIDGE, MA 02138

142-94  
DESIMONE, WILLIAM MOORES A LIFE ESTATE  
41 IRVING ST  
CAMBRIDGE, MA 02138

142-102  
ADAMS-TAYLOR, SUSAN  
85 TROWBRIDGE ST., #1  
CAMBRIDGE, MA 02138

142-48  
DONOVAN, FRANCIS E. &  
ELIZABETH GOMBOSI  
42 IRVING ST  
CAMBRIDGE, MA 02138-3007

142-99  
MJCM PROPERTIES II, LLC  
11 LESLEY AVENUE.  
SOMERVILLE, MA 02144-2606



36-4 Irving St.

142-99  
AN, ROSE L. & DOROTHY C. AN  
99 TROWBRIDGE ST., UNIT #2  
CAMBRIDGE, MA 02139

142-97  
ORENSTEIN, EDWARD  
1620 HANSEN STREET  
SARASOTA, FL 34231

142-102  
OREAGAN DOUGLAS M K  
AILEIGH CALLENDER  
85 TROWBRIDGE ST UNIT 3  
CAMBRIDGE, MA 02138

142-103  
SMITH, CHARLES P., MYO SMITH  
Tr. OF CHARLES P. MYO SMITH  
REVOCABLE TRUST  
83 TROWBRIDGE ST  
CAMBRIDGE, MA 02138

142-44  
SOLEM, RACHEL & JOHN BARRY HERRING TR  
OF AARDVARK REALTY TRUST  
24 IRVING ST  
CAMBRIDGE, MA 02138-3007

142-119  
ONLY ONE LLC  
101 TROWBRIDGE ST  
CAMBRIDGE, MA 02138

142-160  
SCHOON, JOHN G. & MARION E. SCHOON  
105 TROWBRIDGE ST. #5  
CAMBRIDGE, MA 02138



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Nathan Peckin Date: 2/27/2024  
(Print)

Address: 36-4 Irving St

Case No. BZA-253928

Hearing Date: 3/14/24

Thank you,  
Bza Members



**Pacheco, Maria**

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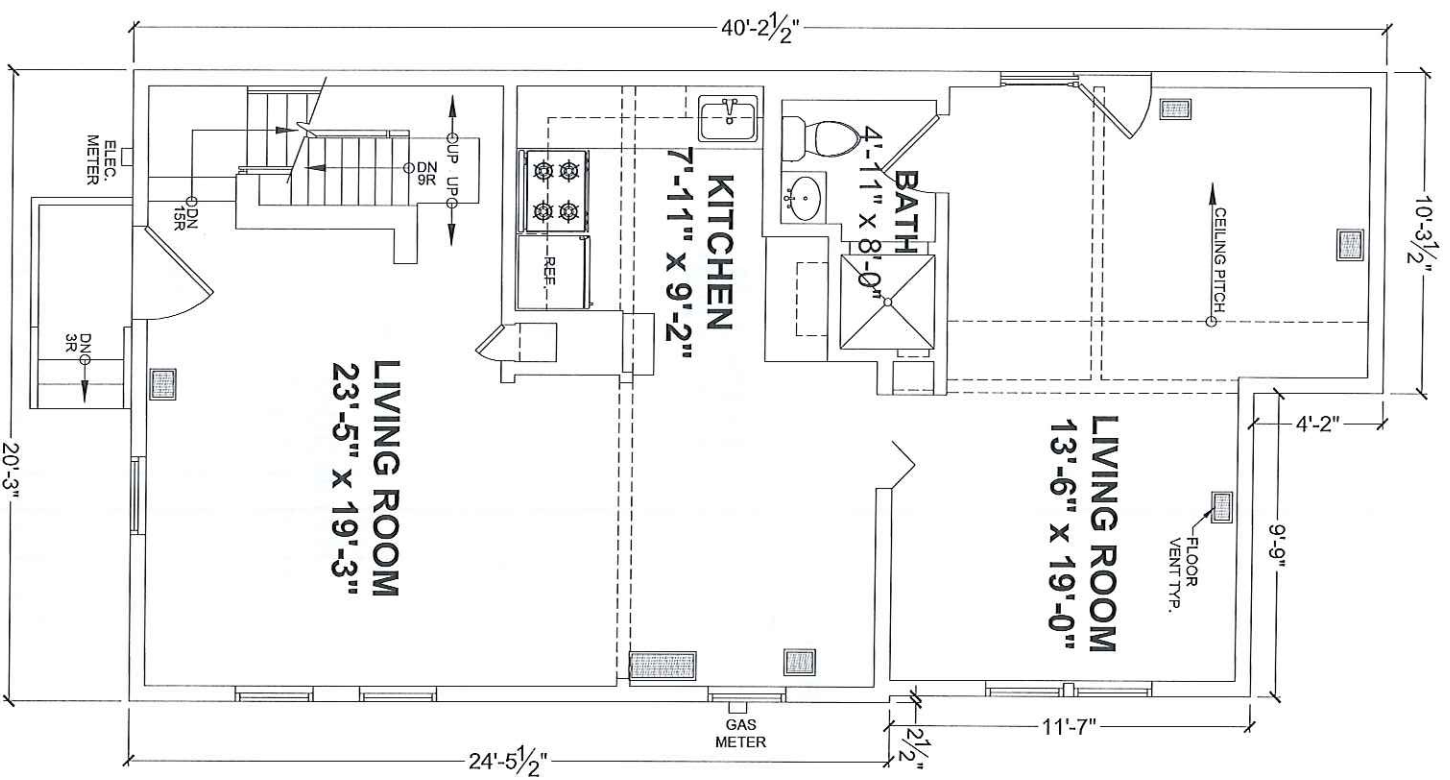
**From:** Douglas O'Reagan <oreagan@gmail.com>  
**Sent:** Monday, February 26, 2024 2:11 PM  
**To:** Pacheco, Maria  
**Subject:** Case BZA-253928

Hi,

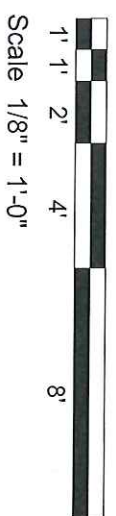
I am a homeowner at 85 Trowbridge St., and I received a notice of a public hearing about case BZA-253928, regarding a permit to "relocate windows and front door" at 364 Irving St. I'm in favor of this, because it's absolutely absurd that anyone should even need to request approval for this, much less face whining from a bunch of local busybodies. The whole BZA process is a joke, and these kinds of things should not be under the purview of the city.

Thanks,

Doug O'Reagan



**FIRST FLOOR PLAN**  
Ceiling Height = 8'-4"



**EXISTING CONDITIONS PLANS**

JOB NO.

**NATIONAL FLOOR PLANS**

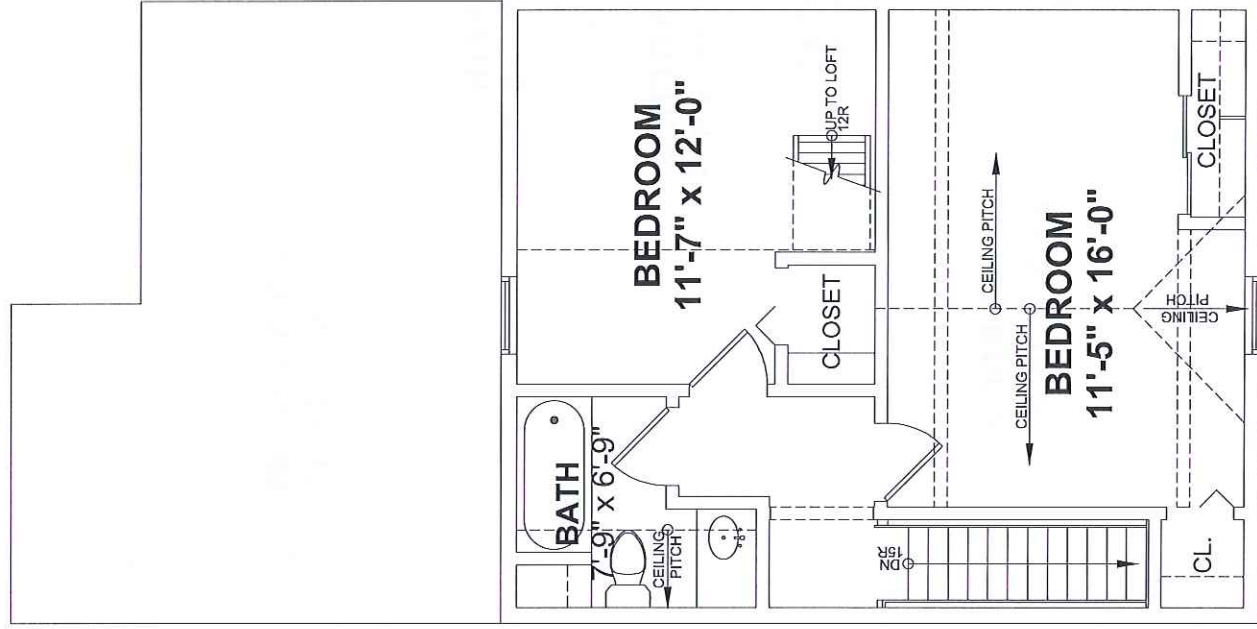
DATE: NOVEMBER 2022

398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116  
800.328.0217 TEL

SCALE: 1/8" = 1'-0"

**36 IRVING STREET, UNIT 4**  
CAMBRIDGE, MA





**SECOND FLOOR PLAN**

Ceiling Peak = 13'-8"



Scale 1/8" = 1'-0"

**EXISTING CONDITIONS PLANS**

JOB NO.

DATE: NOVEMBER 2022

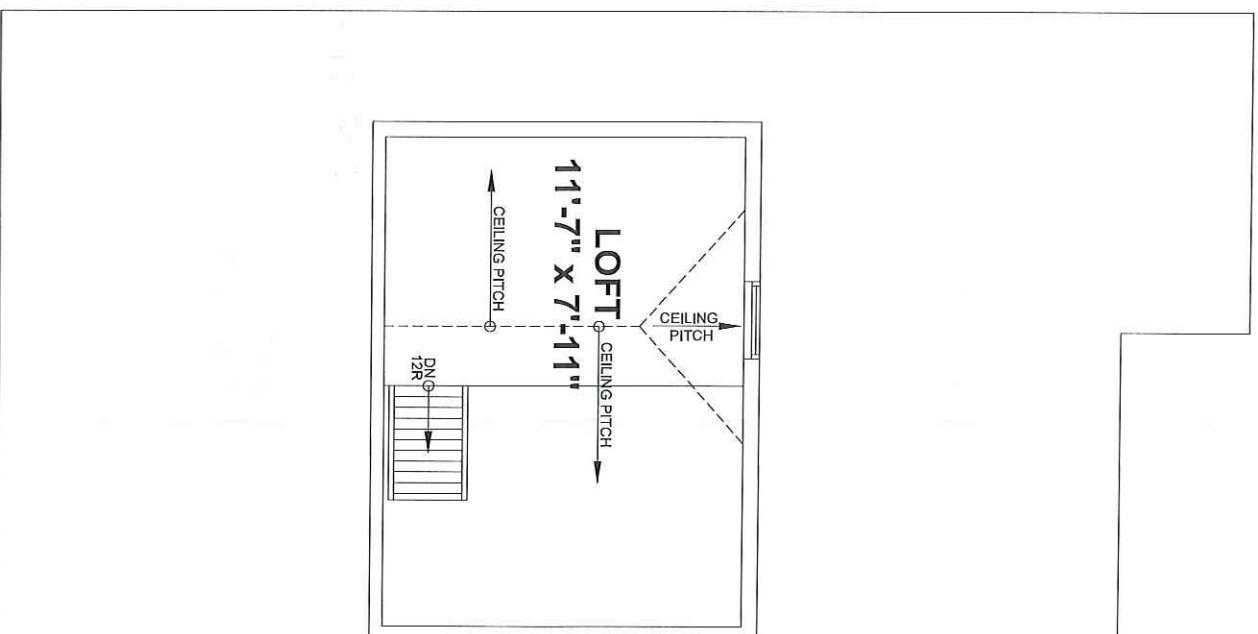
SCALE: 1/8" = 1'-0"

**NATIONAL FLOOR PLANS**

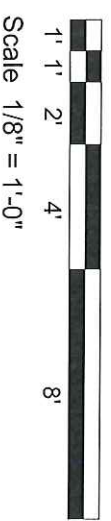
398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116  
800.328.0217 TEL

**36 IRVING STREET, UNIT 4**  
CAMBRIDGE, MA

**2**



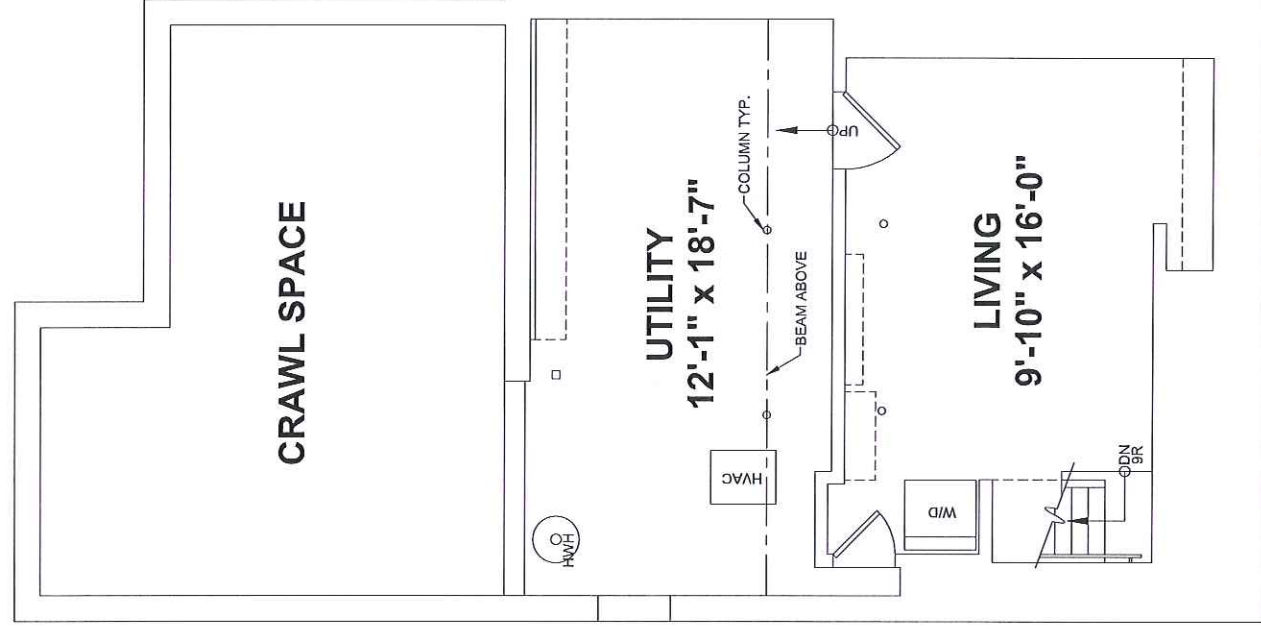
**LOFT FLOOR PLAN**  
 Ceiling Peak = 5'-9"



**EXISTING CONDITIONS PLANS**

JOB NO.	DATE: NOVEMBER 2022	SCALE: 1/8" = 1'-0"	<b>3</b>
<b>NATIONAL FLOOR PLANS</b>			
398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL		<b>36 IRVING STREET, UNIT 4</b> CAMBRIDGE, MA	



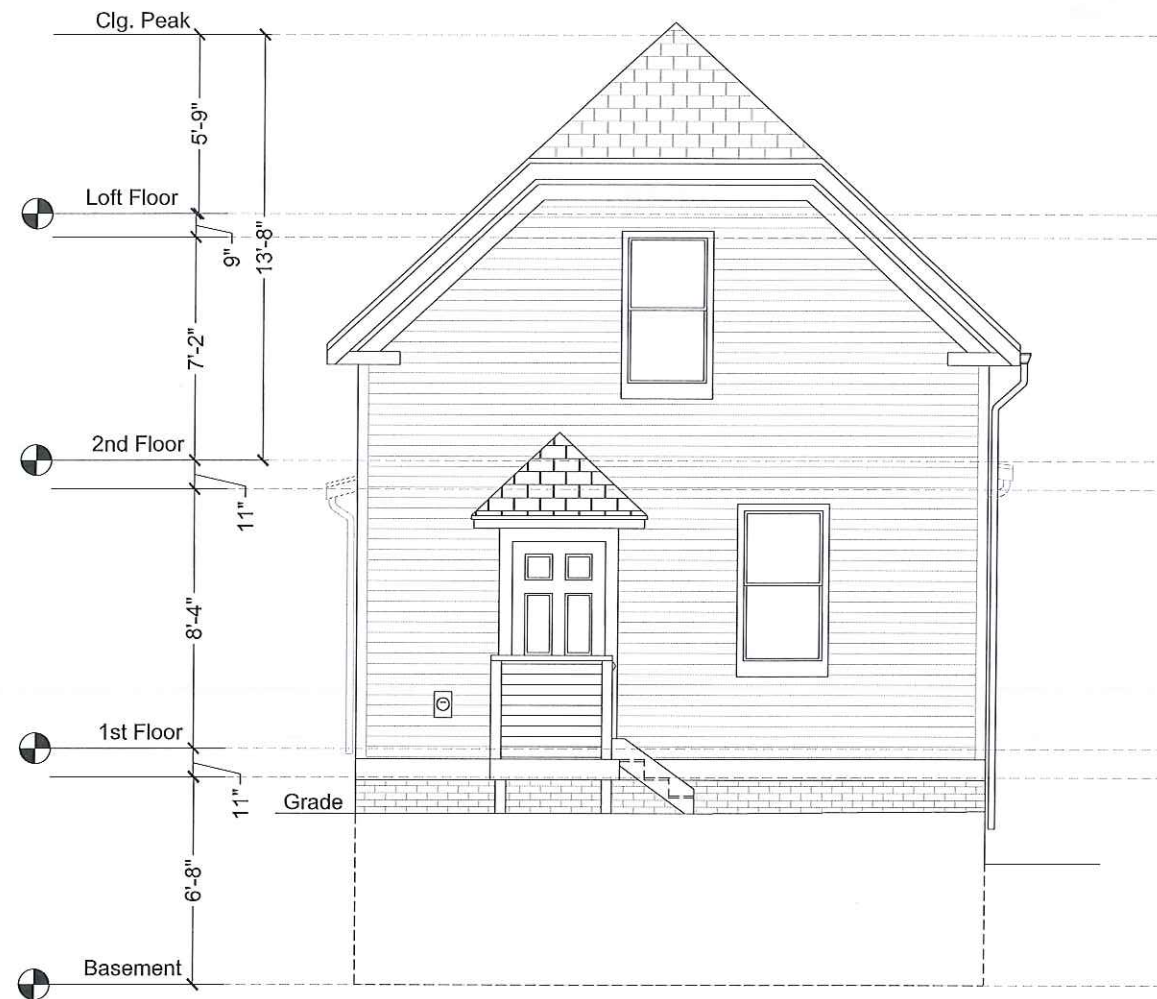


**BASEMENT PLAN**  
Ceiling Height = 6'-8"

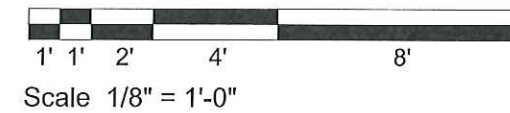


Scale 1/8" = 1'-0"

<b>EXISTING CONDITIONS PLANS</b>		<b>4</b>
JOB NO. <b>NATIONAL FLOOR PLANS</b> 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL	DATE: NOVEMBER 2022 SCALE: 1/8" = 1'-0"	
<b>36 IRVING STREET, UNIT 4</b> CAMBRIDGE, MA		



**FRONT ELEVATION**



<b>EXISTING CONDITIONS PLANS</b>			<b>5</b>
JOB NO.	DATE: NOVEMBER 2022	SCALE: 1/8" = 1'-0"	
<b>NATIONAL FLOOR PLANS</b> 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL	<b>36 IRVING STREET, UNIT 4</b> CAMBRIDGE, MA		

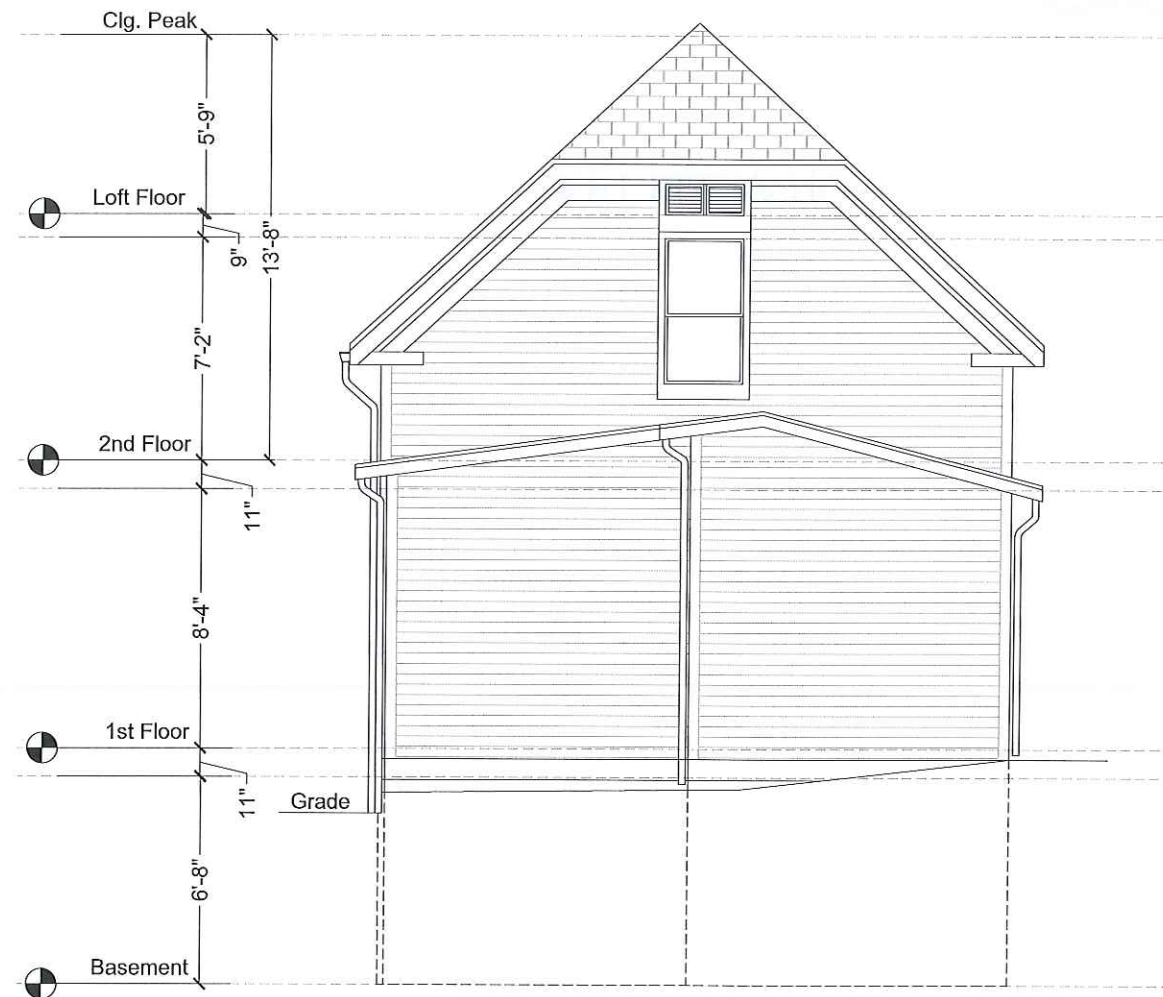


<b>6</b>	<b>EXISTING CONDITIONS PLANS</b>	
	JOB NO.	DATE: NOVEMBER 2022
SCALE: 1/8" = 1'-0"		36 IRVING STREET, UNIT 4 CAMBRIDGE, MA
NATIONAL FLOOR PLANS 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL		

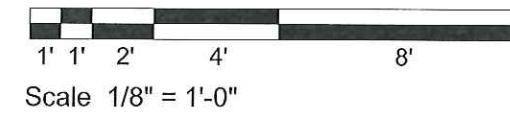


**RIGHT ELEVATION**





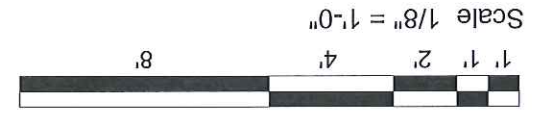
REAR ELEVATION



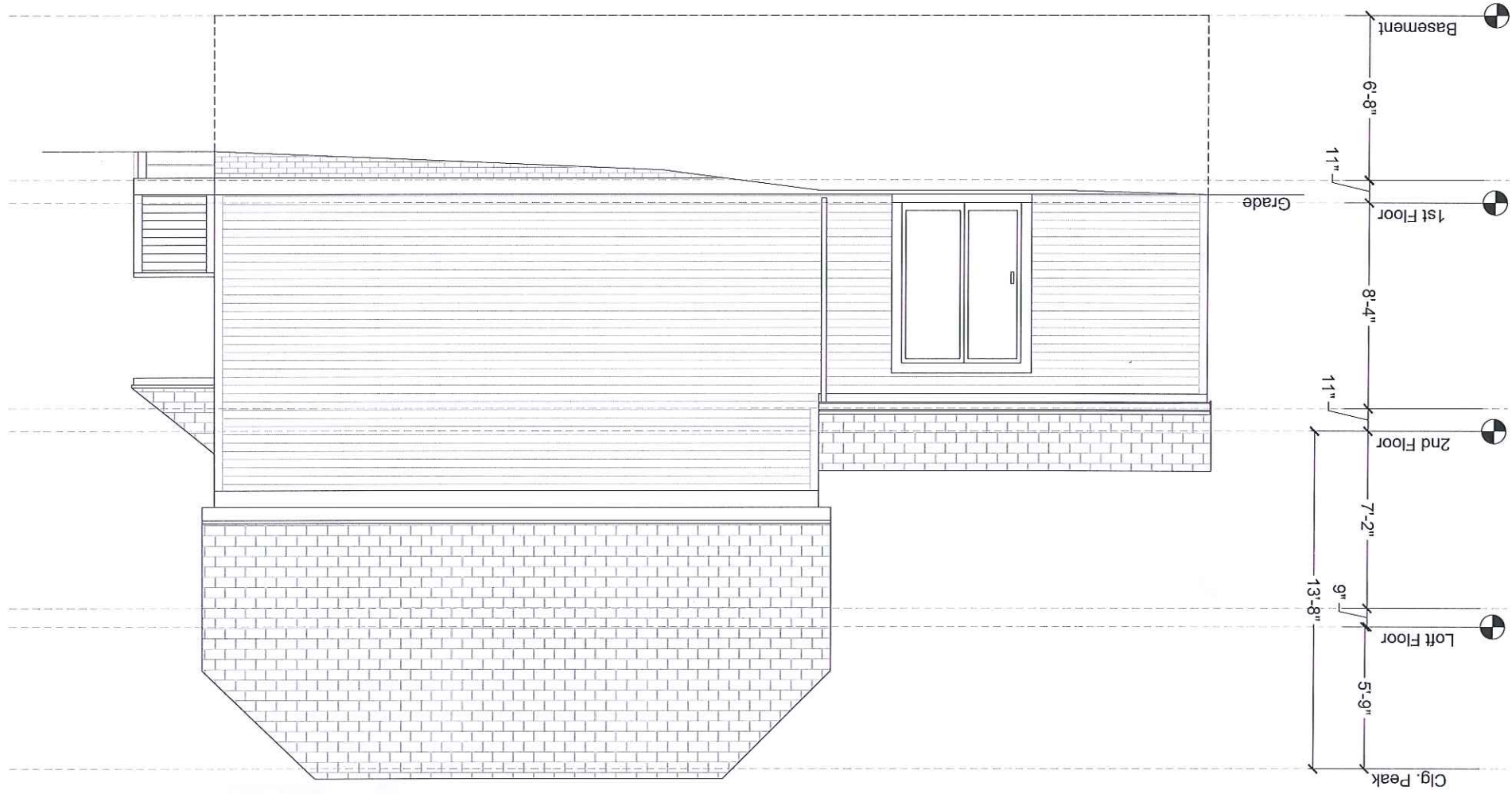
<b>EXISTING CONDITIONS PLANS</b>			<b>7</b>
JOB NO.	DATE: NOVEMBER 2022	SCALE: 1/8" = 1'-0"	
<b>NATIONAL FLOOR PLANS</b> 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL	<b>36 IRVING STREET, UNIT 4</b> CAMBRIDGE, MA		



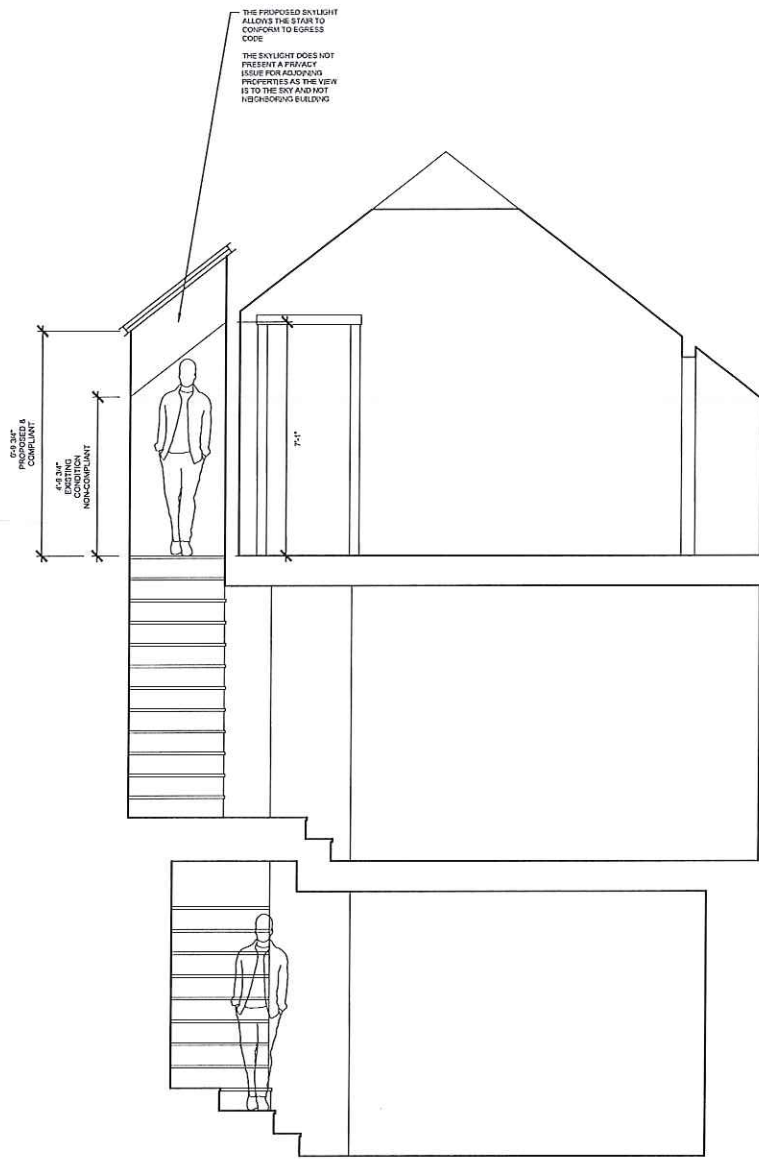
<b>8</b>	<b>EXISTING CONDITIONS PLANS</b>	
	JOB NO.	DATE: NOVEMBER 2022
SCALE: 1/8" = 1'-0"		SCALE: 1/8" = 1'-0"
<b>36 IRVING STREET, UNIT 4</b> CAMBRIDGE, MA		<b>NATIONAL FLOOR PLANS</b> 398 COLUMBUS AVENUE SUITE 100 BOSTON MA 02116 800.328.0217 TEL



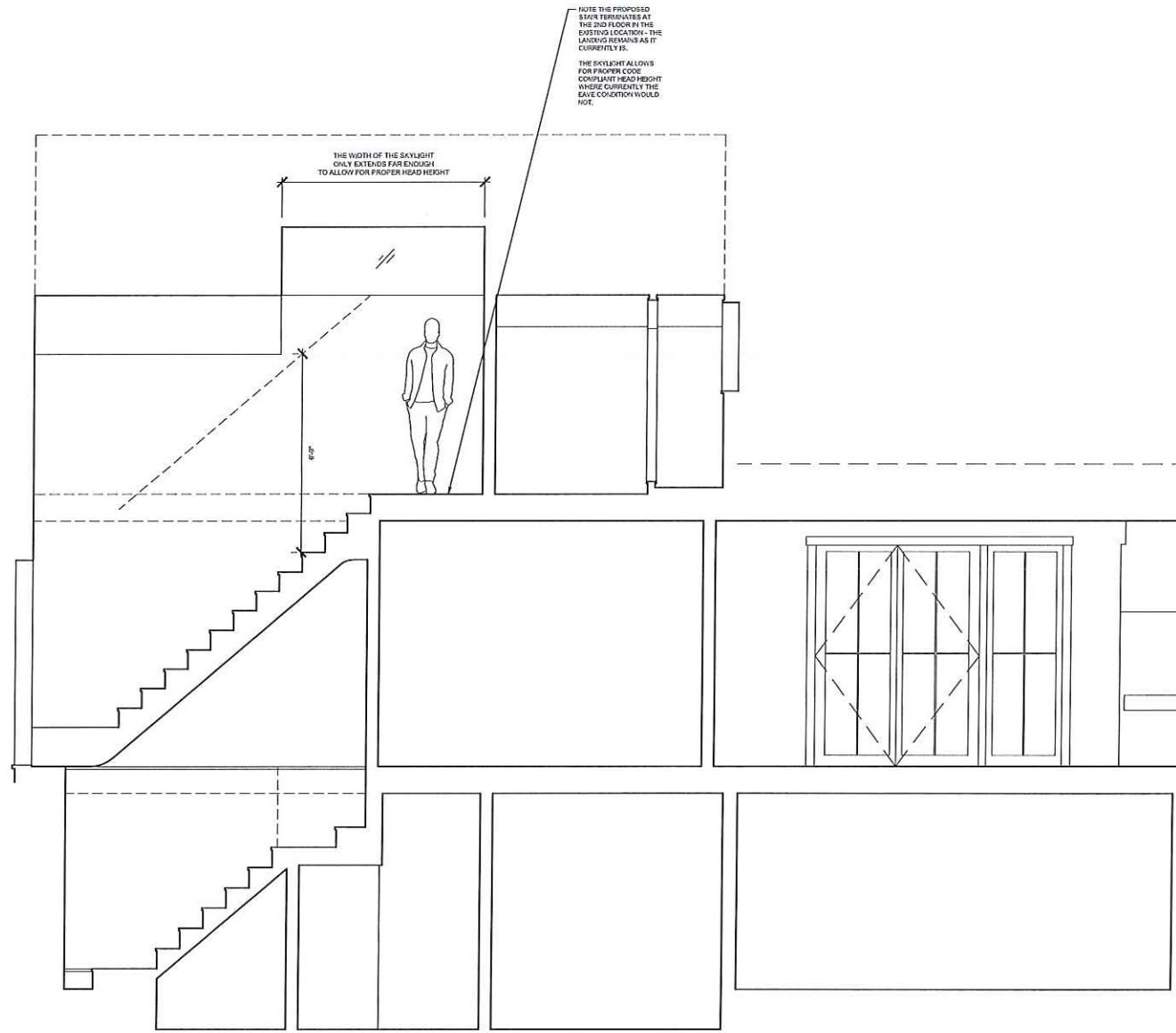
**LEFT ELEVATION**



CITY OF CAMBRIDGE  
 INSPECTORIAL SERVICES  
 2024 MAR 11 P 3:44



SHORT BUILDING SECTION  
 SCALE 3/8" = 1'-0" 2



LONG BUILDING SECTION  
 SCALE 3/8" = 1'-0" 1

ISSUE / REV NO	DATE	ISSUED TO
04	03.11.24	PERMIT APPLICATION - BUILDING SECTION ISSUED
03	01.18.24	PERMIT APPLICATION - REDUCED SCOPE REVISED
02	01.12.24	PERMIT APPLICATION - REDUCED SCOPE
01	10.25.23	PERMIT APPLICATION SET

PERKINS | LEUNG RESIDENCE  
 36 IRVING ST  
 CAMBRIDGE MA 02138

SHEET TITLE  
 BUILDING SECTIONS

SEAL AND SIGNATURE	ISSUE PROJECT NUMBER
	DRAWN BY #2208
	REVIEWED BY JTB
	SHEET JTB

SHEET NUMBER

A303