



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 AUG 30 PM 1:37

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

**BZA Number: 138603**

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X                        Variance:   X                        Appeal:       

**PETITIONER:** Plumosa LLC, a Delaware Limited Liability Company C/O NCP Management Co.

**PETITIONER'S ADDRESS:** 1188 Centre Street, Newton Center, MA 02459

**LOCATION OF PROPERTY:** 382-392 Harvard Street, Cambridge, MA

**TYPE OF OCCUPANCY:** Multi-family

**ZONING DISTRICT:** Residence C-1 Zone

### **REASON FOR PETITION:**

/1. Addition, relocation and change in size of openings on a non-conforming facade. 2. Reduction in Mean Grade/

### **DESCRIPTION OF PETITIONER'S PROPOSAL:**


The petitioner requests a Variance to construct 2 egress window wells and 2 egress areaways at the Basement Level which will lower the mean grade around the building thereby increasing nonconforming Building Height and increasing the required setback at a non-conforming side yard.

The petitioner requests a Special Permit to add and relocate openings on a facade that does not conform to the Yard requirements.

### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.2.C and 8.22.3 (Non-Conforming Structure).
Article: 10.000	Section: 10.30 (Variance) . & Sec. 10.40 (Special Permit).

Original  
Signature(s):

  
(Petitioner (s) / Owner)

NATHAN WONG  
(Print Name)

Address:

Tel. No.                      617-244-2800  
E-Mail Address:          nathan@ncpmgmt.com

Date: AUG - 20, 2021

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**

I/We Plumosa L.L.C., a Delaware limited liability company  
*(OWNER)*

Address: c/o NCP Management Co., P.O. Box 590179, Newton Centre, MA 02459

State that I/We own the property located at 382-390 Harvard Street, Cambridge MA, which is the subject of this zoning application.

The record title of this property is in the name of \_\_\_\_\_  
Plumosa L.L.C., a Delaware limited liability company

\*Pursuant to a deed of duly recorded in the date 10/17/2013, Middlesex South County Registry of Deeds at Book 62798, Page 58; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_  
Book \_\_\_\_\_ Page \_\_\_\_\_.

Plumosa, LLC  
By: [Signature]  
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

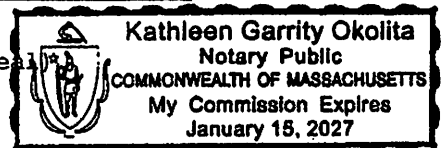
*\*Written evidence of Agent's standing to represent petitioner may be requested.*

-----  
Commonwealth of Massachusetts, County of Middlesex

The above-name Nathan Wong personally appeared before me, this 22<sup>nd</sup> of July, 2021, and made oath that the above statement is true.

[Signature]  
Notary

My commission expires January 15, 2027 (Notary Seal)



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA Application Form**

**SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Conforming Use of the existing GFA located in the basement requires the addition of emergency escape and rescue openings and/or other alternate means of egress. Safe egress from habitable basement spaces cannot be achieved without lowering grade at certain points around the perimeter of the building. Any reduction in grade around the perimeter of the building will technically increase the Building Height which requires approval from the BZA. Renovation and reuse of this Federal Register Historic Building cannot be achieved without the requested relief.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The existing structure at 382 - 392 Harvard Street predates the provisions of this Zoning Ordinance. The existing Building Height is greater than the Zoning District allows and the existing basement does not meet code requirements for ceiling height and egress. Restoration of this Federal Registered Historic Structure would not be possible without the grade level alterations requested. Hardship is owing to the particular characteristics of the existing structure and will not impact the Zoning District in which it is located.

- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The existing building, which predates the provisions of the Zoning Ordinance, is taller than the Zoning District allows. The height of the building in relation to adjacent structures will not change. The relief requested, which is related to grade level changes, will not create substantial detriment to the public good.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The existing building, which predates the provisions of the Zoning Ordinance, is taller than the Zoning District allows. The height of the building in relation to adjacent structures will not change. The relief requested, which is related to grade level changes, will affect only this site and will not derogate from the intent of the Building Height provisions of this Ordinance.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 382-392 Harvard Street , Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

The existing building, which predates the provisions of this Zoning Ordinance, does not meet the current yard requirements restricting the type of alterations that can be made. The requested relocation, enlargement and addition of window openings can be granted in accordance with Section 8.22.2 of the Zoning Ordinance. The alterations proposed will not be substantially more detrimental to the neighborhood than the existing use.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

The changes proposed to the existing non-conforming structure will not alter traffic generated or existing patterns of access or egress. There are no existing curb cuts, proposed curb cuts or on-site parking spaces. The proposed changes will not cause congestion, hazard or substantial change to the character of the established neighborhood.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

The proposed changes to window opening are modest in nature and occur in locations the face primarily blank wall on the adjacent buildings. The proposed changes will not adversely affect the continued operation or development of adjacent uses.

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

The proposed changes to window opening are modest in nature and have little impact on adjacent uses. The proposed alterations will not create nuisance or hazard to the adjacent buildings.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

The proposed alterations to the existing structure are modest in nature and consistent with other uses in the neighborhood and the larger district. The proposed use is consistent with the existing use and the other uses in the neighborhood.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

**BZA Application Form**

**DIMENSIONAL INFORMATION**

**Applicant:** Plumosa LLC, a Delaware Limited Liability Company

**Present Use/Occupancy:** Multi-family

**Location:** 1188 Centre Street

**Zone:** Residence C-1 Zone

**Phone:** 617-244-2800

**Requested Use/Occupancy:** Multi-family

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	22264	22264	7911	(max.)
<u>LOT AREA:</u>	10548	10548	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u>	2.1	2.1	.75	
<u>LOT AREA OF EACH DWELLING UNIT</u>	1506	1758	1500	
<u>SIZE OF LOT:</u>				
WIDTH	88.25'	88.25'	50	
DEPTH	124.87'	124.87'	n/a	
<u>SETBACKS IN FEET:</u>				
FRONT	13.3' and 6.3'	13.3' and 6.3'	10' and 10'	
REAR	n/a	n/a	n/a	
LEFT SIDE	34'	34'	17.04'	
RIGHT SIDE	3.6'	3.6'	15.58'	
<u>SIZE OF BUILDING:</u>				
HEIGHT	38.0'	38.5'	35'	
WIDTH	70.1'	70.1'	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	33.9%	33.5%	30%	
<u>NO. OF DWELLING UNITS:</u>	10	9	7	
<u>NO. OF PARKING SPACES:</u>	0	0	9	
<u>NO. OF LOADING AREAS:</u>	n/a	n/a	n/a	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	8.5'	8.5'	12.25'	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



# 382 - 392 HARVARD STREET

No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

title: COVER  
 project: 382-392 Harvard St

**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

job number: 18540

scale:

date issued: 07-21-21

SUBMITTED FOR SPECIAL PERMIT

Sheet no.  
**A00**



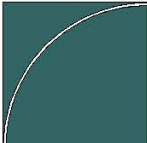


No.	Description	Date

Client  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

Title  
**SITE SURVEY (BY OTHERS) - FOR REFERENCE ONLY**

Project  
**382-392 Harvard St**

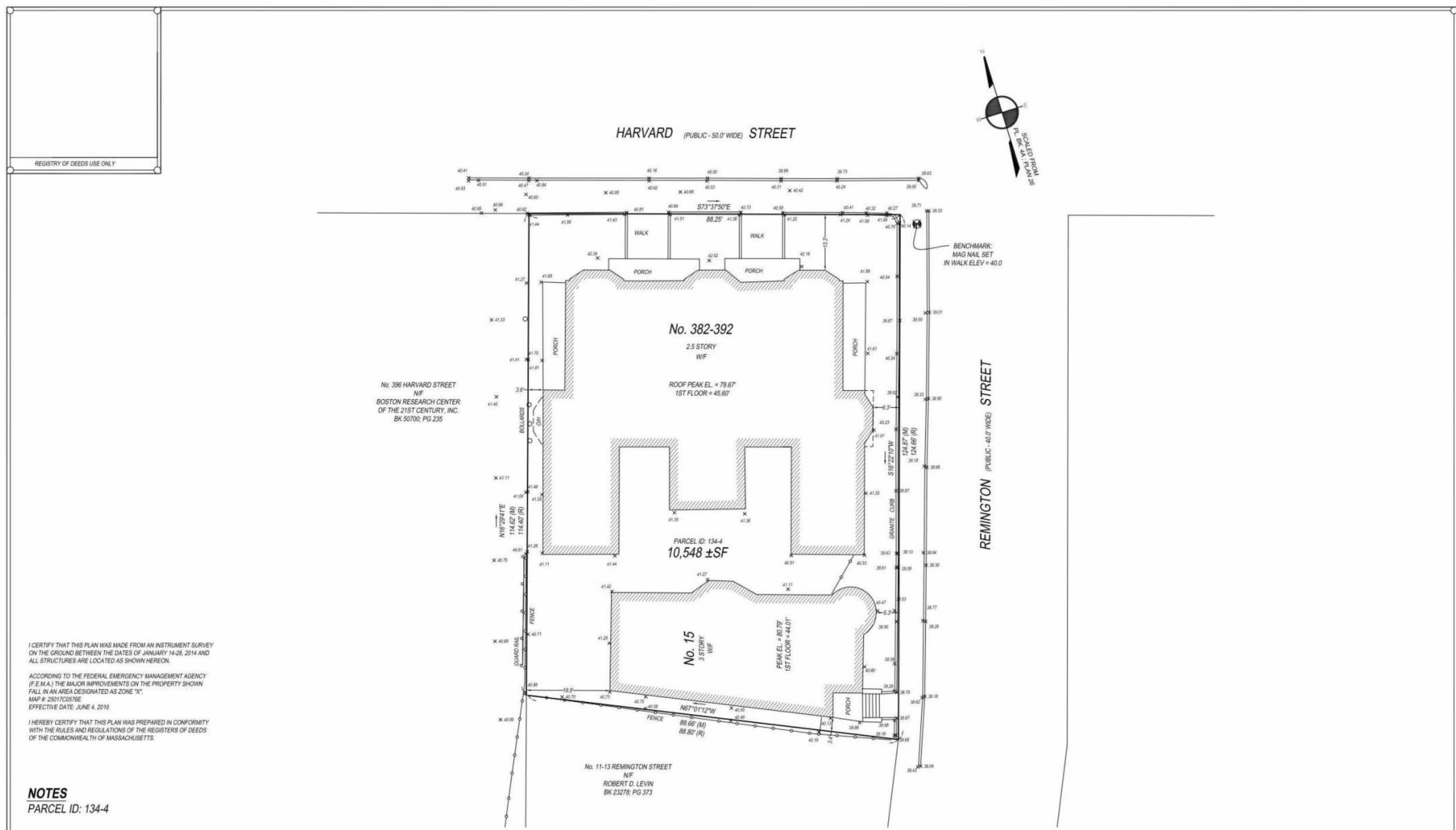


**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number 18540  
 Scale  
 Date issued 07-21-14

SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**A010**



REGISTRY OF DEEDS USE ONLY

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF JANUARY 14-28, 2014 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) THE MAJOR IMPROVEMENTS ON THE PROPERTY SHOWN FALL IN AN AREA DESIGNATED AS ZONE "X".  
 MAP # 25017C0576E  
 EFFECTIVE DATE: JUNE 4, 2010

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

**NOTES**  
 PARCEL ID: 134-4

DRAFTSMAN: JJH	REVIEWED BY: GCC
CERTIFIED PLOT PLAN	01/14/14
SITE PLAN/ TOPO	01/28/14



**REFERENCES:**  
 DEED: BK 12157; PG 548  
 PLAN: PL BK 4A; PL 26  
 PLAN: # 463; OF 2008  
 LCC: # 4461-B  
 LCC: # 16709-A  
 1134 "REMINGTON STREET LAYOUT"  
 DATUM = CAMBRIDGE CITY BASE

**SITE PLAN**  
 LOCATED AT  
**382-392 HARVARD STREET  
 & 15 REMINGTON STREET**  
 CAMBRIDGE, MA

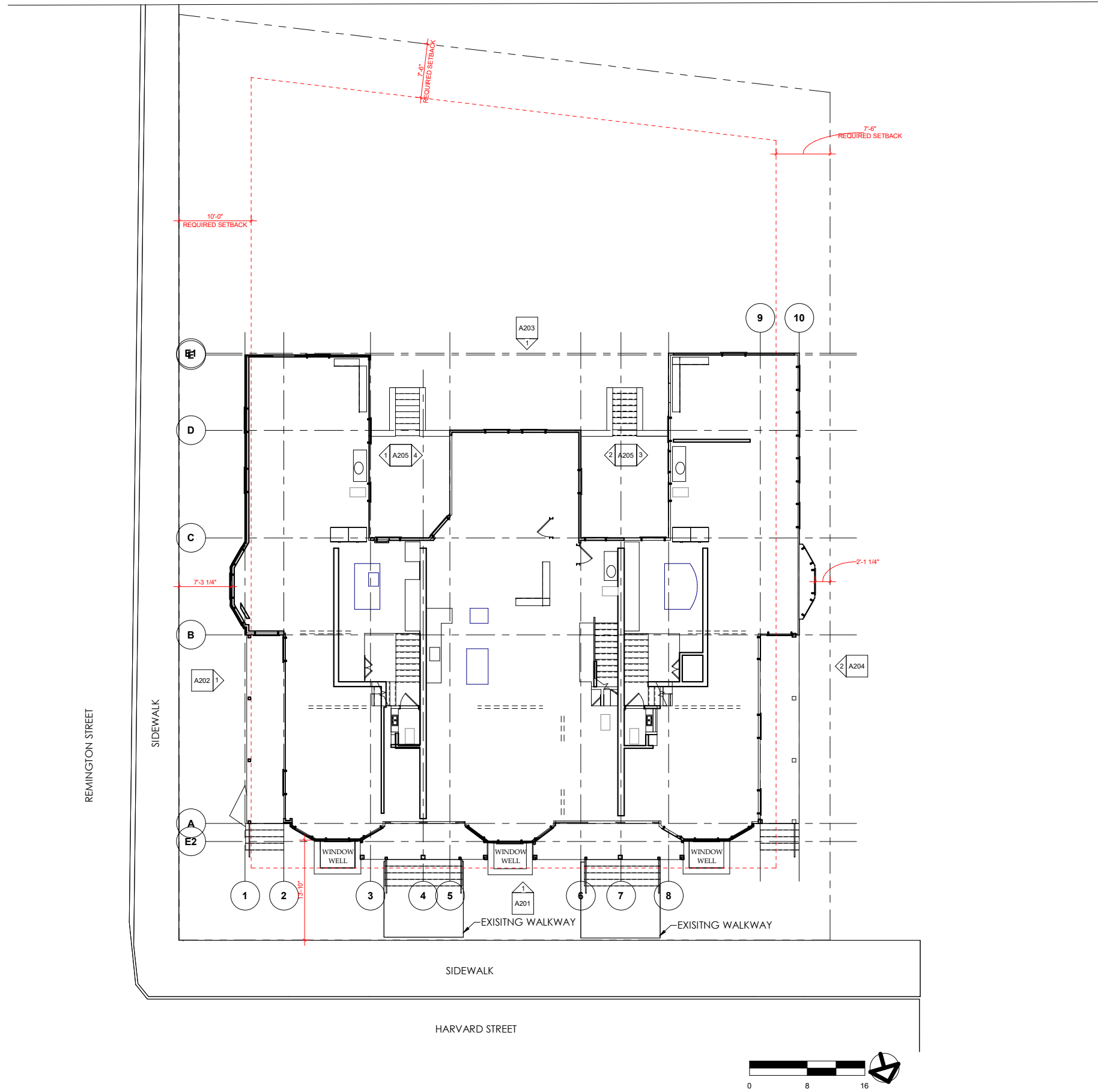
**PREPARED FOR:**  
 CONEFLOWER, INC.  
 PO BOX 590179  
 NEWTON, MA 02459



**BOSTON  
 SURVEY, INC.**  
 UNIT C-4 SHIPWAYS PLACE  
 CHARLESTOWN, MA 02129  
 (617) 242-1313  
 www.bostonsurveyinc.com

JOB # 13-00633 FILE # 13-00633 - 01/28/14

7/27/2021 3:35:28 PM



PROPOSED SITE PLAN  
1/8" = 1'-0" ①

No.	Description	Date

Client:  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

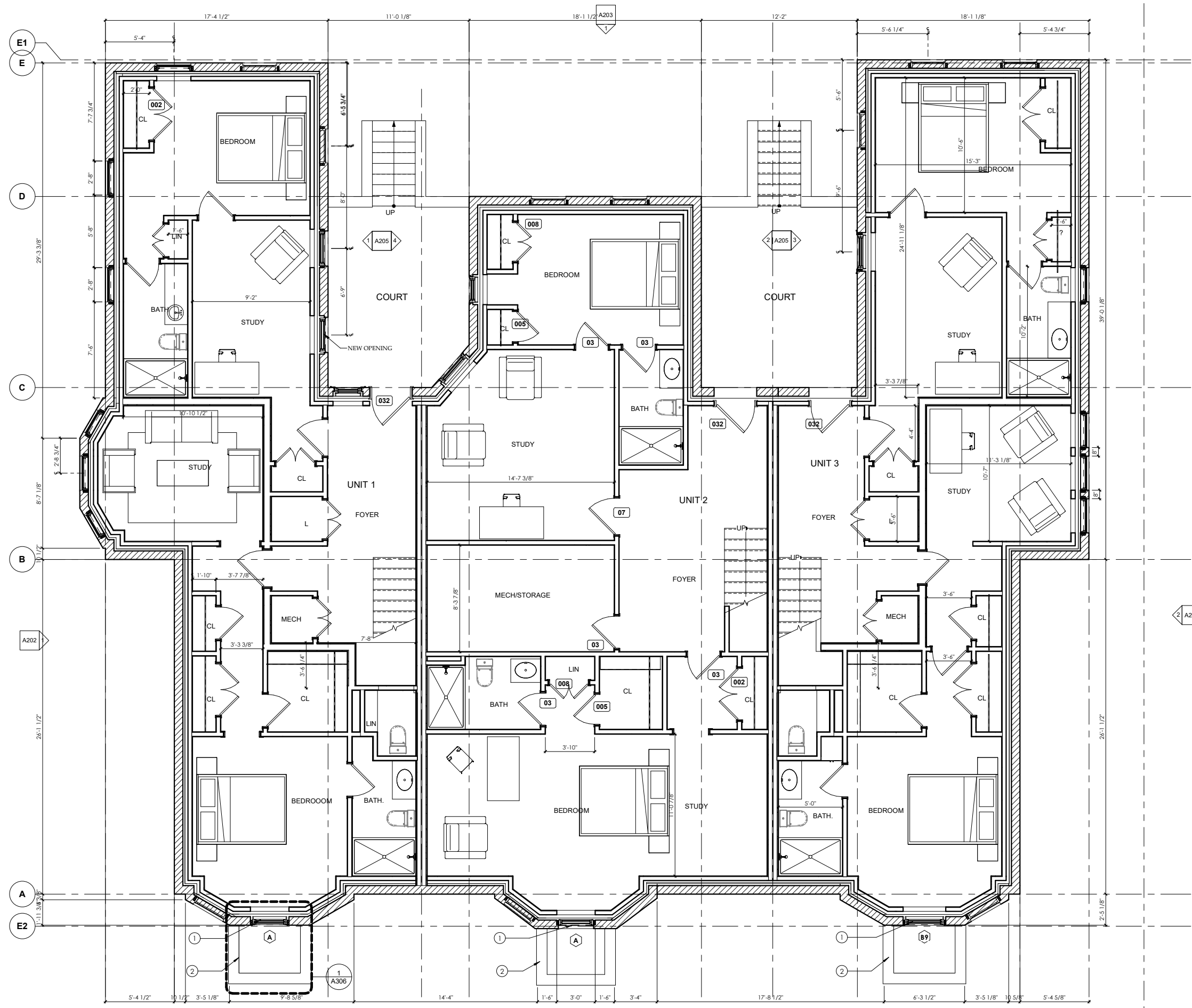
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 Project: **382-392 Harvard St**

**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number: **18540**  
 Scale: **1/8" = 1'-0"**  
 Date issued: **07-21-21**

SUBMITTED FOR SPECIAL PERMIT

Sheet no.  
**A100**



Keynote Legend	
1	EGRESS
2	NEW WINDOW WELL

No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

title  
**BASEMENT PLAN**  
 project  
**382-392 Harvard St**

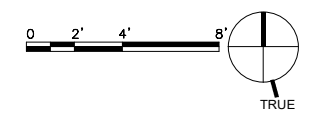
**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyes-watson.com  
 phone: (617) 629-8200

job number  
 18540  
 scale  
 1/4" = 1'-0"  
 date issued  
 07-21-21

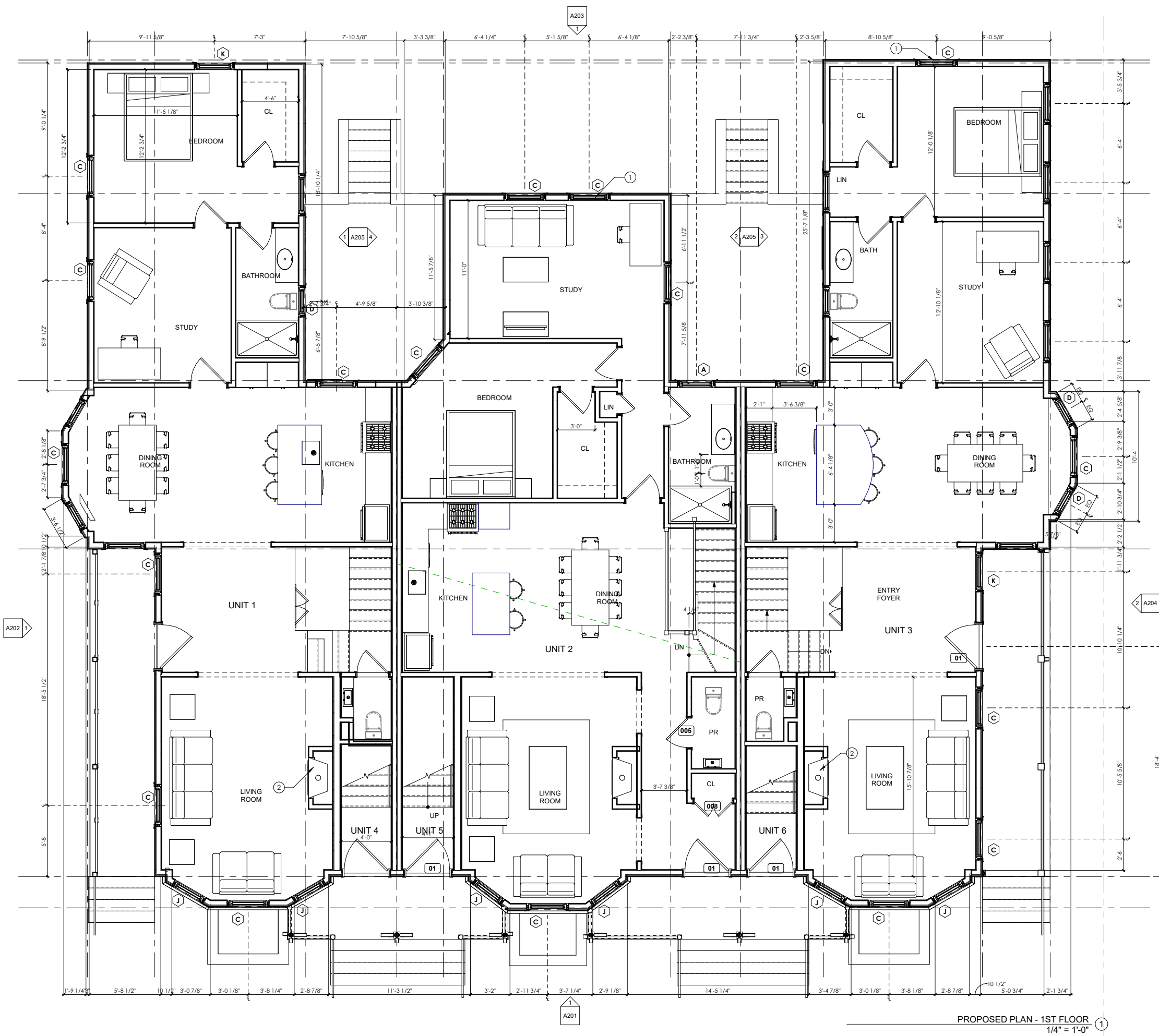
SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**A101**

PROPOSED PLAN - BASEMENT  
 1/4" = 1'-0" (1)



7/27/2021 3:35:29 PM



Keynote Legend	
1	EGRESS
2	GAS FIREPLACE

No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

Title: **FIRST FLOOR PLAN**  
 Project: **382-392 Harvard St**

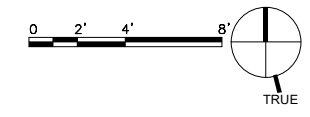
**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number: 18540  
 Scale: 1/4" = 1'-0"  
 Date issued: 07-21-21

SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**A102**

PROPOSED PLAN - 1ST FLOOR  
 1/4" = 1'-0"



7/27/2021 3:35:30 PM

7/27/2021 3:33:31 PM



Keynote Legend	
1	EGRESS

No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

Title: **SECOND FLOOR PLAN**  
 Project: **382-392 Harvard St**

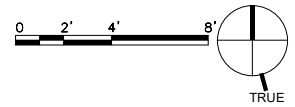
**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

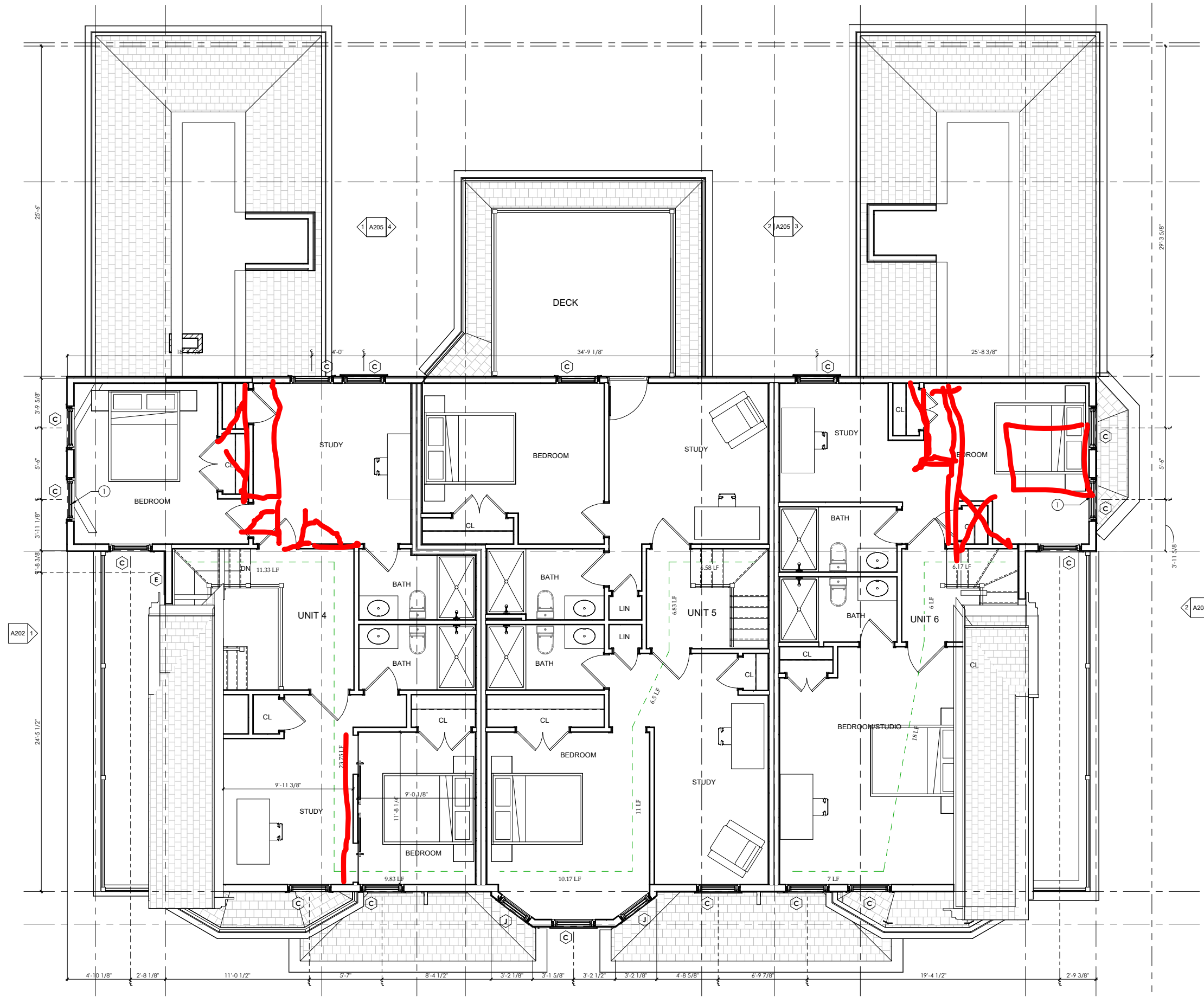
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 Date issued: 07-21-21

SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**A103**

PROPOSED PLAN - 2ND FLOOR  
 1/4" = 1'-0"





Keynote Legend	
1	EGRESS

No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

title  
**THIRD FLOOR PLAN**  
 project  
**382-392 Harvard St**

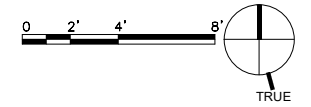
**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

job number 18540  
 scale 1/4" = 1'-0"  
 date issued 07-21-21

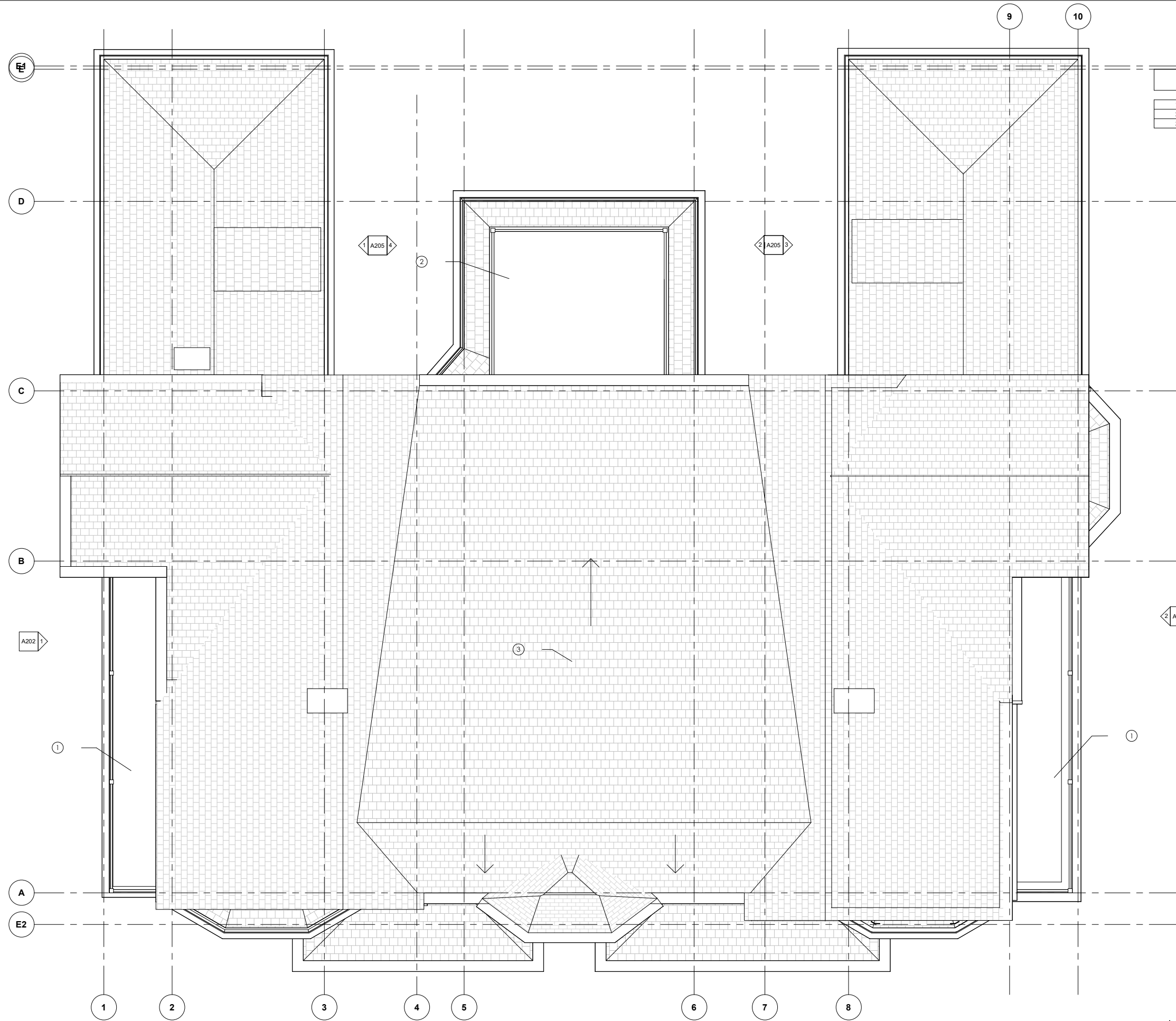
SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**A104**

PROPOSED PLAN - 3RD FLOOR  
 1/4" = 1'-0"



7/27/2021 3:35:33 PM



Keynote Legend	
1	DECK BELOW
2	WOOD DECK
3	EPDM ROOF MEMBRANE

No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

title **ROOF PLAN**  
 project **382-392 Harvard St**

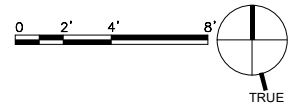
**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

job number 18540  
 scale 1/4" = 1'-0"  
 date issued 07-21-21

SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**A105**

PROPOSED PLAN - ROOF  
 1/4" = 1'-0" ①



7/27/2021 3:33:34 PM

Keynote Legend	
1	EGRESS
2	NEW DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOWS IN EXISTING OPENINGS. NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING. DIVIDED LITES TO MATCH EXISTING. TYP.
3	NEW SIDING TO MATCH OR EQUAL TO EXISTING - PER DETAIL / SPEC. TYP.
4	REPAIR / REBUILD AS REQUIRED
5	NEW RAILS & POSTS TO MATCH EXISTING
6	REMOVE AND RESTORE. REINSTALL WITH NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING.
7	EXISTING TRIM REPLACE TO MATCH/EQUAL. REPAIRED AS REQUIRED.
8	EXISTING CHIMNEY STRUCTURE TO REMAIN/REPAIRED AS REQUIRED.



No.	Description	Date

Client:  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

Title: HARVARD STREET ELEVATION  
 Project: 382-392 Harvard St

BOYES-WATSON ARCHITECTS  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number: 18540  
 Scale: 1/4" = 1'-0"  
 Date issued: 07-21-21

SUBMITTED FOR SPECIAL PERMIT

Sheet no. A201



7/27/2021 3:33:37 PM

Keynote Legend	
1	NEW WOOD FASCIA - REUSE ORIGINAL OR FABRICATE NEW TO MATCH.
2	NEW DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOWS IN EXISTING OPENINGS. NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING. DIVIDED LITES TO MATCH EXISTING. TYP.
3	NEW SIDING TO MATCH OR EQUAL TO EXISTING - PER DETAIL / SPEC. TYP.
4	REPAIR / REBUILD AS REQUIRED
5	NEW CLAD WOOD DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOW/DOOR PER SPECIFICATION
6	REMOVE AND RESTORE. REINSTALL WITH NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING.



No.	Description	Date

Client:  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

title **REMINGTON STREET ELEVATION**  
 project **382-392 Harvard St**

**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

job number **18540**  
 scale **1/4" = 1'-0"**  
 date issued **07-21-21**

**SUBMITTED FOR  
 SPECIAL PERMIT**

Sheet no.  
**A202**

Keynote Legend	
1	EGRESS
2	EXISTING GUTTER ASSEMBLY - REPAIR / REPLACE AS REQUIRED - PROVIDE NEW METAL LEADER PER SPEC. - DRAIN TO STORM SYSTEM PER CIVIL.
3	NEW WOOD FASCIA - REUSE ORIGINAL OR FABRICATE NEW TO MATCH.
4	NEW CLAD WOOD DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOW/DOOR PER SPECIFICATION
5	NEW DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOWS IN EXISTING OPENINGS. NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING. DIVIDED LITES TO MATCH EXISTING. TYP.
6	EXISTING CHIMNEY STRUCTURE TO REMAIN/REPAIRED AS REQUIRED.



PROPOSED ELEVATION - REAR  
1/4" = 1'-0" ①



No.	Description	Date

Client  
PLUMOSA LLC c/o  
NCP MANAGEMENT  
NEWTON CENTER, MA

title  
LEFT SIDE ELEVATION  
project  
382-392 Harvard St

**BOYES-WATSON ARCHITECTS**  
30 Bow St.  
Somerville, MA 02143  
architects@boyeswatson.com  
phone: (617) 629-8200

job number 18540

scale 1/4" = 1'-0"

date issued 07-21-21

SUBMITTED FOR SPECIAL PERMIT

Sheet no.  
**A203**

Keynote Legend

1	EXISTING GUTTER ASSEMBLY - REPAIR / REPLACE AS REQUIRED - PROVIDE NEW METAL LEADER PER SPEC. - DRAIN TO STORM SYSTEM PER CIVIL.
2	NEW WOOD FASCIA - REUSE ORIGINAL OR FABRICATE NEW TO MATCH.
3	REPAIR / REBUILD AS REQUIRED
4	NEW SIDING TO MATCH OR EQUAL TO EXISTING - PER DETAIL / SPEC. TYP.
5	NEW CLAD WOOD DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOW/DOOR PER SPECIFICATION
6	EXISTING CHIMNEY STRUCTURE TO REMAIN/REPAIRED AS REQUIRED.
7	REMOVE AND RESTORE. REINSTALL WITH NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING.



No.	Description	Date

Client:  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

title **RIGHT SIDE ELEVATION**  
 project **382-392 Harvard St**

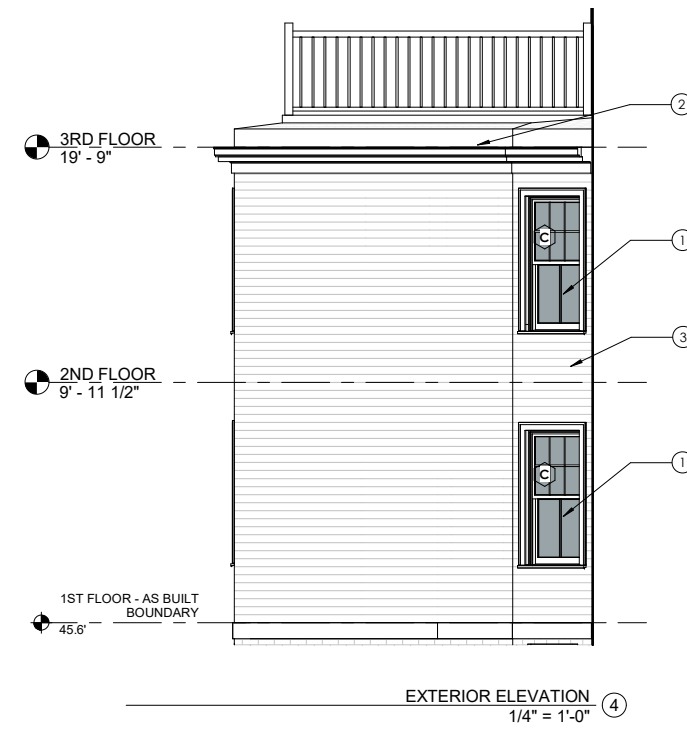
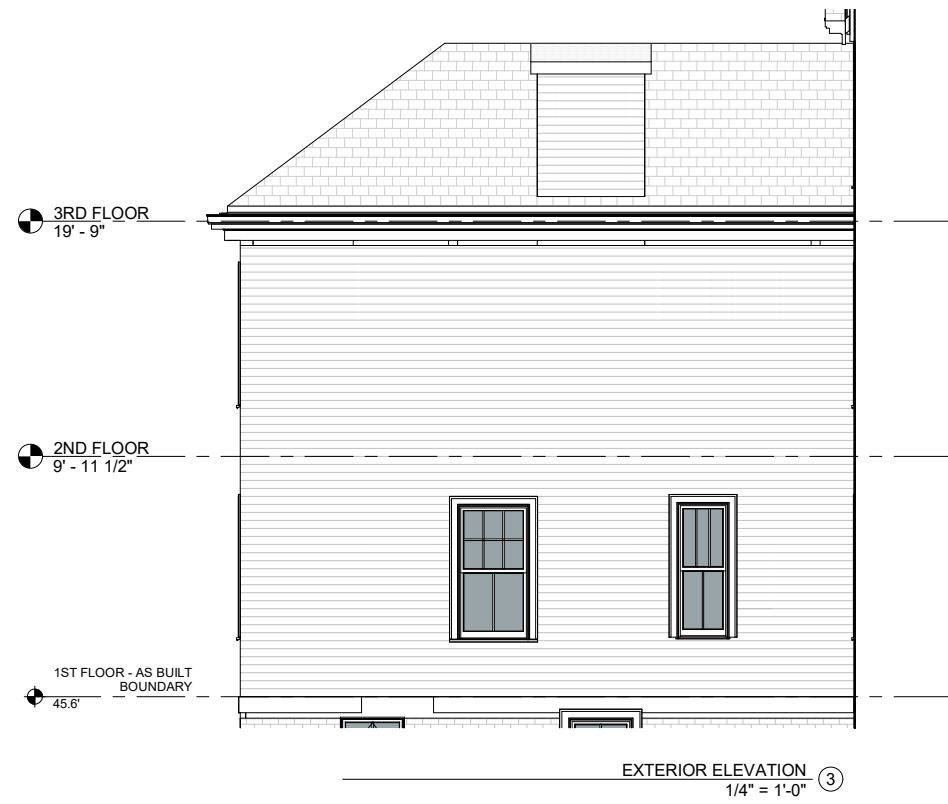
**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

job number **18540**  
 scale **1/4" = 1'-0"**  
 date issued **07-21-21**

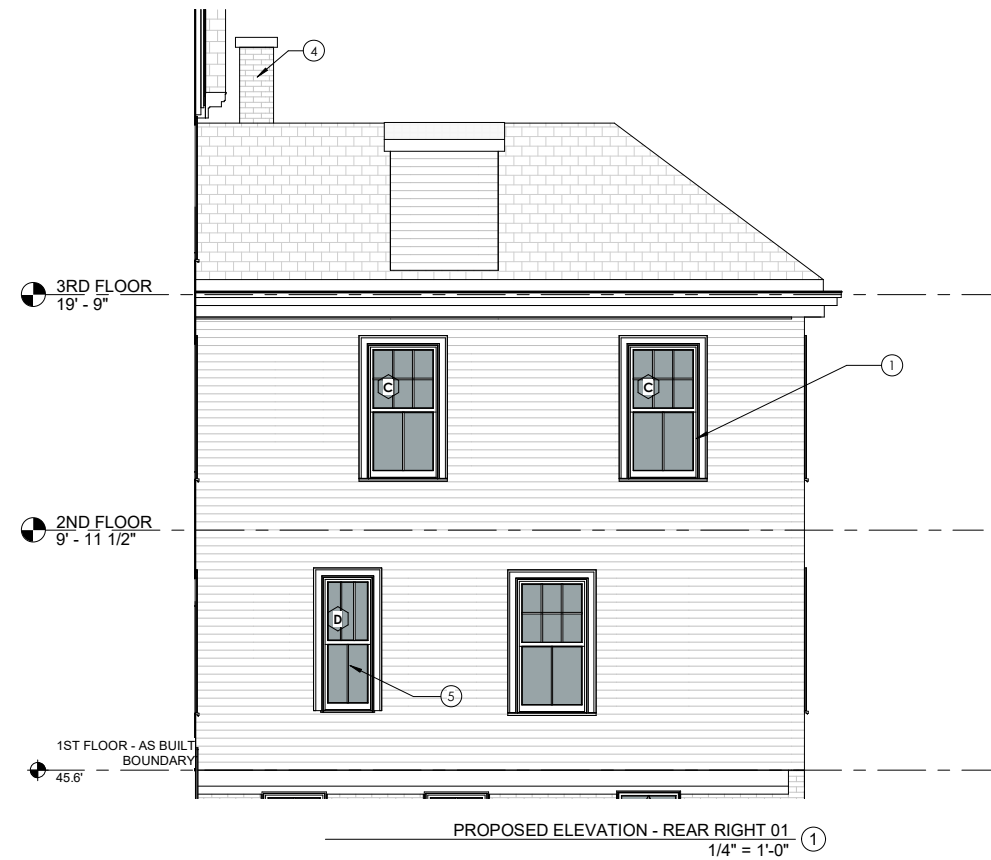
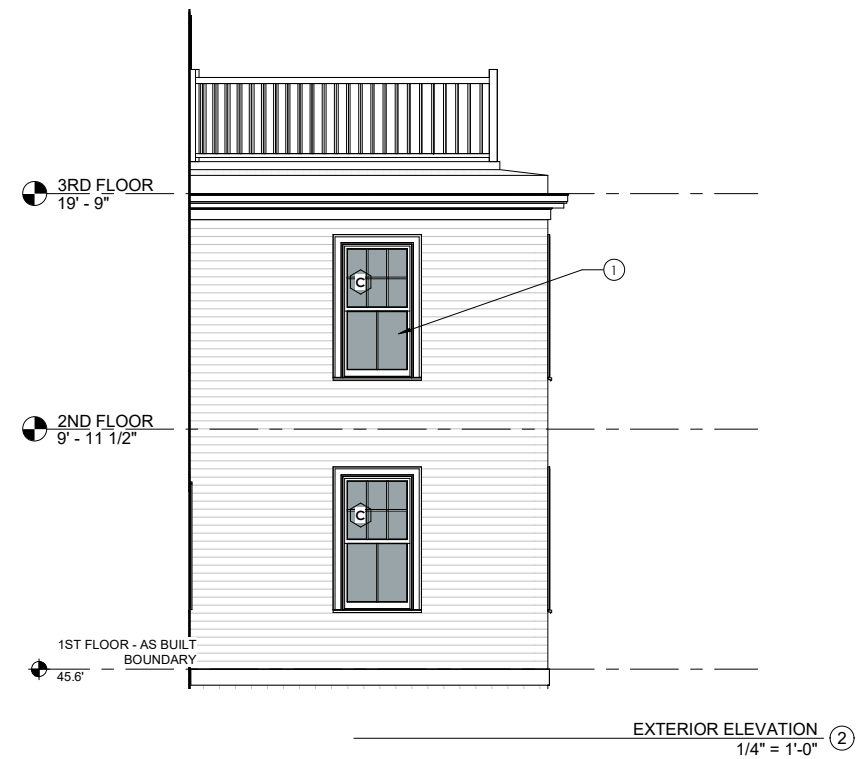
**SUBMITTED FOR  
 SPECIAL PERMIT**

Sheet no.  
**A204**





Keynote Legend	
1	NEW DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOWS IN EXISTING OPENINGS. NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING. DIVIDED LITES TO MATCH EXISTING. TYP.
2	NEW WOOD FASCIA - REUSE ORIGINAL OR FABRICATE NEW TO MATCH.
3	NEW SIDING TO MATCH OR EQUAL TO EXISTING - PER DETAIL / SPEC. TYP.
4	EXISTING CHIMNEY STRUCTURE TO REMAIN/REPAIRED AS REQUIRED.
5	NEW CLAD WOOD DOUBLE HUNG MARVIN ULTIMATE SERIES WINDOW/DOOR PER SPECIFICATION



No.	Description	Date

Client:  
PLUMOSA LLC c/o  
NCP MANAGEMENT  
NEWTON CENTER, MA

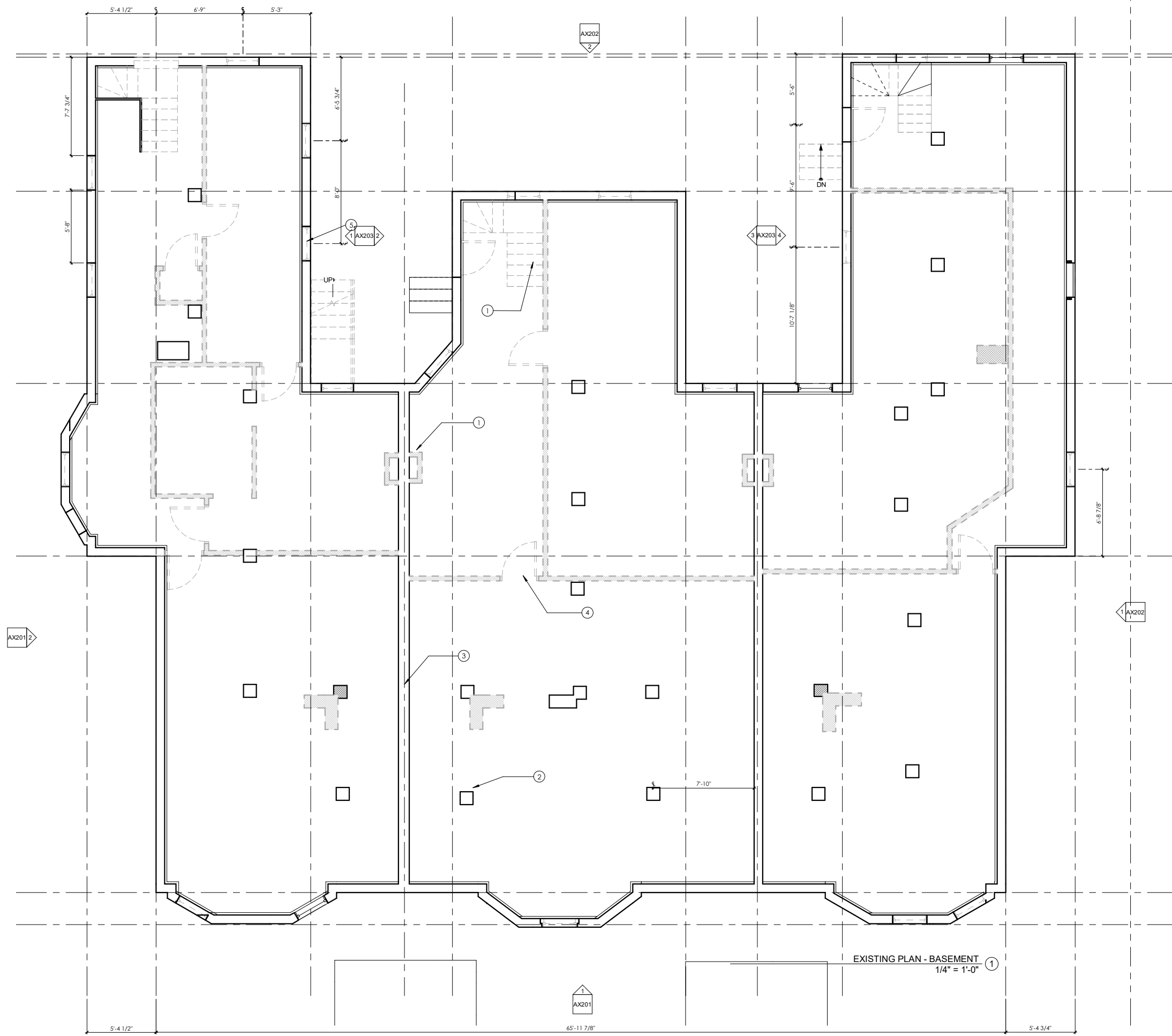
title REAR RIGHT/LEFT ELEVATIONS  
project 382-392 Harvard St

**BOYES-WATSON ARCHITECTS**  
30 Bow St.  
Somerville, MA 02143  
architects@boyeswatson.com  
phone: (617) 629-8200

job number 18540  
scale 1/4" = 1'-0"  
date issued 07-21-21

SUBMITTED FOR  
SPECIAL PERMIT

Sheet no.  
**A205**



Keynote Legend	
1	REMOVE EXISTING STAIRWAY AND RAILINGS.
2	REMOVE EXISTING FINISH FLOORING MATERIALS, SUBFLOOR, AND STRUCTURE TO REMAIN PENDING FURTHER REVIEW BY STRUCTURAL ENGINEER UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.
3	REMOVE EXISTING WALL(S) - INDICATED BY DASH LINE TYP.
4	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING
5	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH OPENING AND/OR MASONRY OPENING

No.	Description	Date

Client  
 PLUMOSA LLC c/o  
 NCP MANAGEMENT  
 NEWTON CENTER, MA

Title  
**EXISTING PLANS**  
 Project  
**382-392 Harvard St**

**BOYES-WATSON ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number 18540  
 Scale 1/4" = 1'-0"  
 Date issued 07-21-21

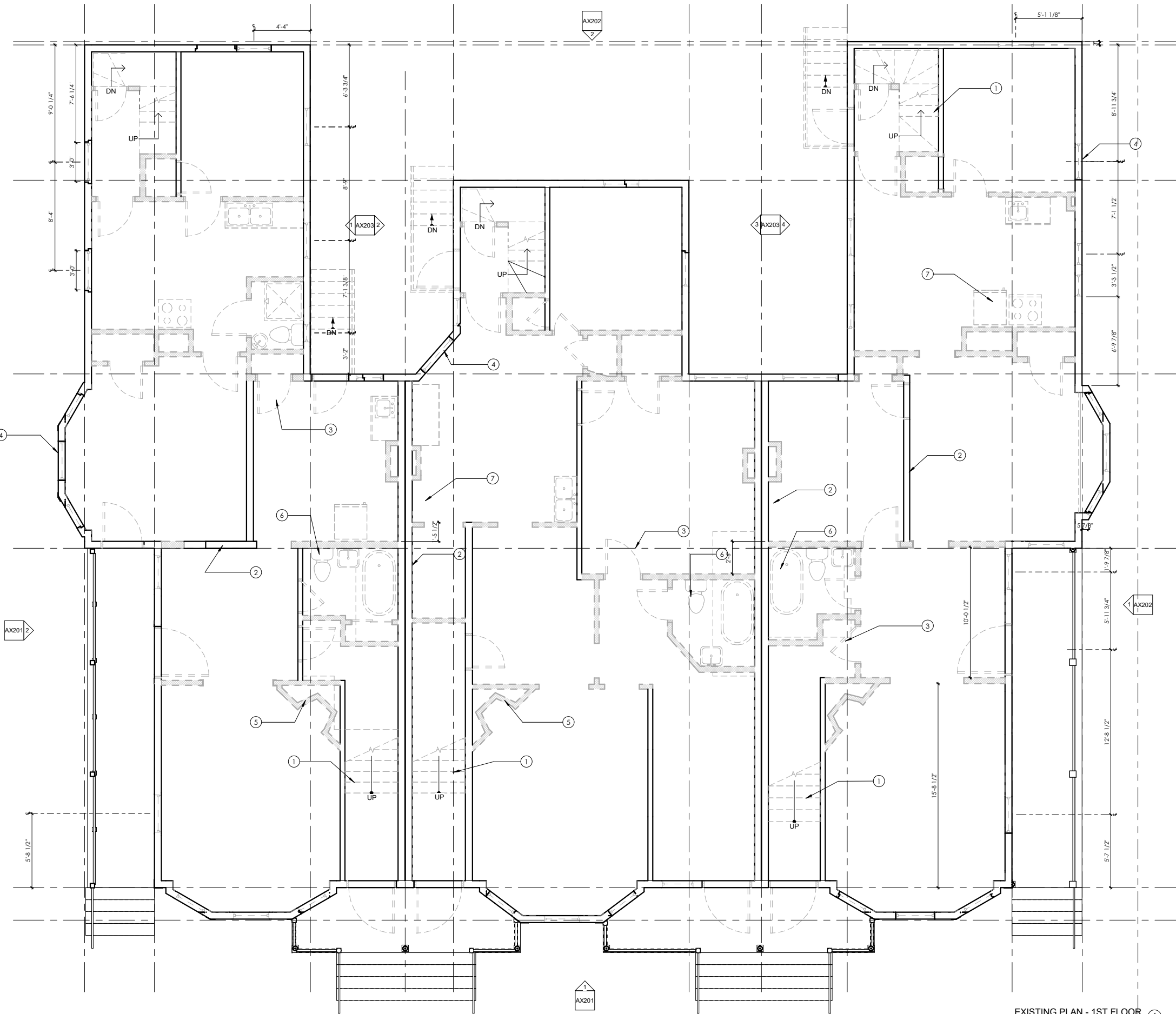
SUBMITTED FOR  
 SPECIAL PERMIT

Sheet no.  
**AX101**

EXISTING PLAN - BASEMENT  
 1/4" = 1'-0" ①



7/27/2021 3:35:44 PM



Keynote Legend	
1	REMOVE EXISTING STAIRWAY AND RAILINGS
2	REMOVE EXISTING WALL(S) - INDICATED BY DASH LINE TYP.
3	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING
4	REMOVE EXISTING WINDOWS DOWN TO ROUGH OPENING, TYPICAL FOR ALL BAY WINDOWS & WINDOWS IN WOOD-FRAMED WALLS
5	REMOVE EXISTING FIREPLACE AND ALL ASSOCIATED HARDWARE
6	REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPORT, SUPPLY PIPING AND VENT PIPING.
7	REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.

No.	Description	Date

Client:  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

Title: **EXISTING PLANS**  
 Project: **382-392 Harvard St**

**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number: **18540**  
 Scale: **1/4" = 1'-0"**  
 Date issued: **07-21-21**

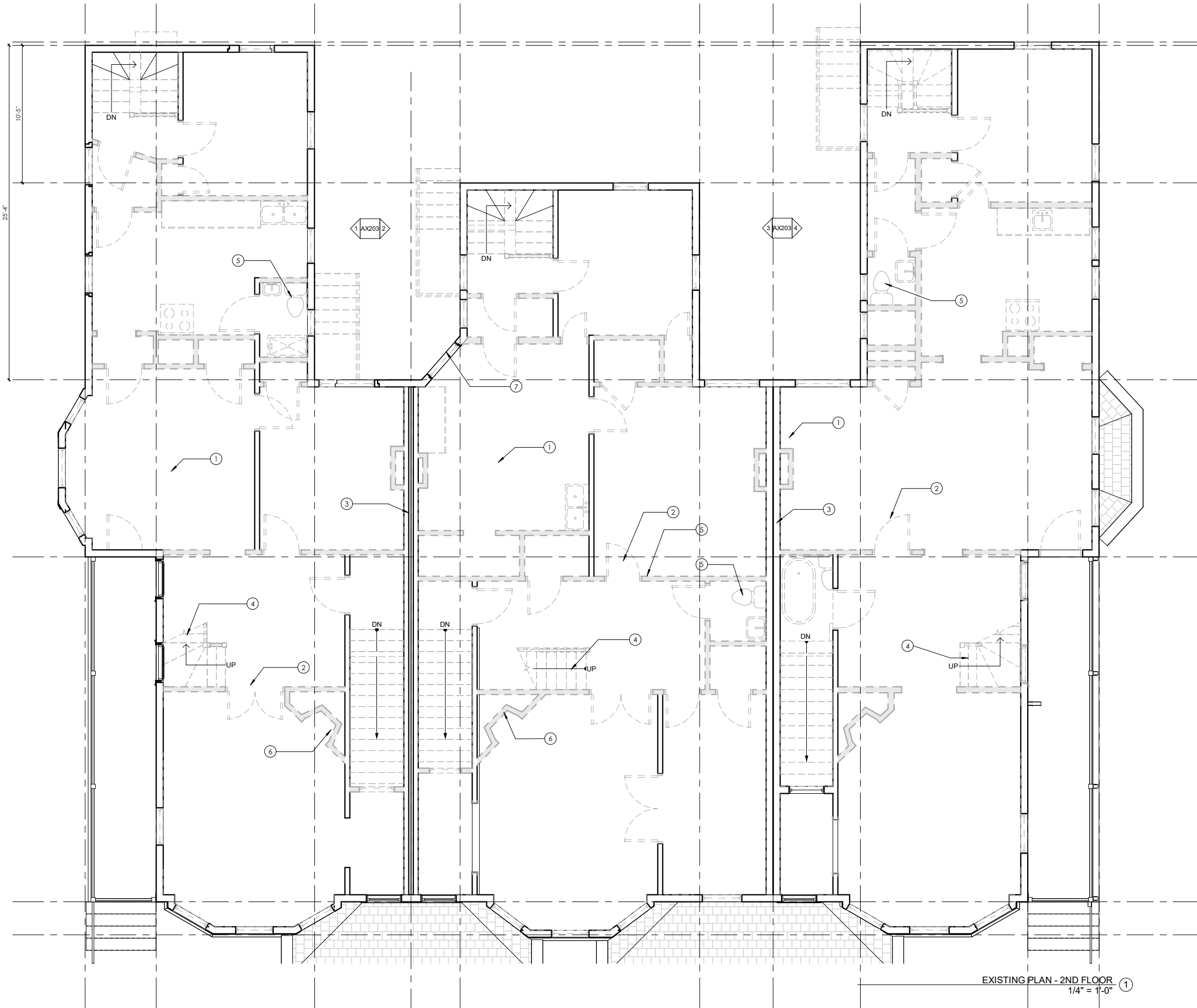
**SUBMITTED FOR  
 SPECIAL PERMIT**

Sheet no.  
**AX102**

**EXISTING PLAN - 1ST FLOOR**  
 1/4" = 1'-0" ①



7/27/2021 3:35:45 PM



Keynote Legend	
1	REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.
2	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING.
3	REMOVE EXISTING WALL(S) - INDICATED BY DASH LINE TYP.
4	REMOVE EXISTING STAIRWAY AND RAILINGS.
5	REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPORT, SUPPLY PIPING AND VENT PIPING.
6	REMOVE EXISTING FIREPLACE AND ALL ASSOCIATED HARDWARE.
7	REMOVE EXISTING WINDOWS DOWN TO ROUGH OPENING, TYPICAL FOR ALL BAY WINDOWS & WINDOWS IN WOOD-FRAMED WALLS.

No.	Description	Date

Client:  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

Title: **EXISTING PLANS**  
 Project: **382-392 Harvard St**

**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

Job number: **18540**  
 Scale: **1/4" = 1'-0"**  
 Date issued: **07-21-21**

**SUBMITTED FOR  
 SPECIAL PERMIT**

Sheet no.  
**AX103**

EXISTING PLAN - 2ND FLOOR  
 1/4" = 1'-0" ①



7/27/2021 3:35:46 PM

No.	Description	Date

Keynote Legend	
1	REMOVE EXISTING WALL(S) - INDICATED BY DASH LINE TYP.
2	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING.
3	REMOVE EXISTING WINDOWS DOWN TO ROUGH OPENING, TYPICAL FOR ALL BAY WINDOWS & WINDOWS IN WOOD-FRAMED WALLS.
4	REMOVE EXISTING STAIRWAY AND RAILINGS.
5	REMOVE EXISTING PLUMBING FIXTURES AND ALL ASSOCIATED HARDWARE, SUPPORT, SUPPLY PIPING AND VENT PIPING.
6	REMOVE EXISTING APPLIANCES AND OTHER EQUIPMENT.

Client:  
**PLUMOSA LLC c/o  
 NCP MANAGEMENT**  
 NEWTON CENTER, MA

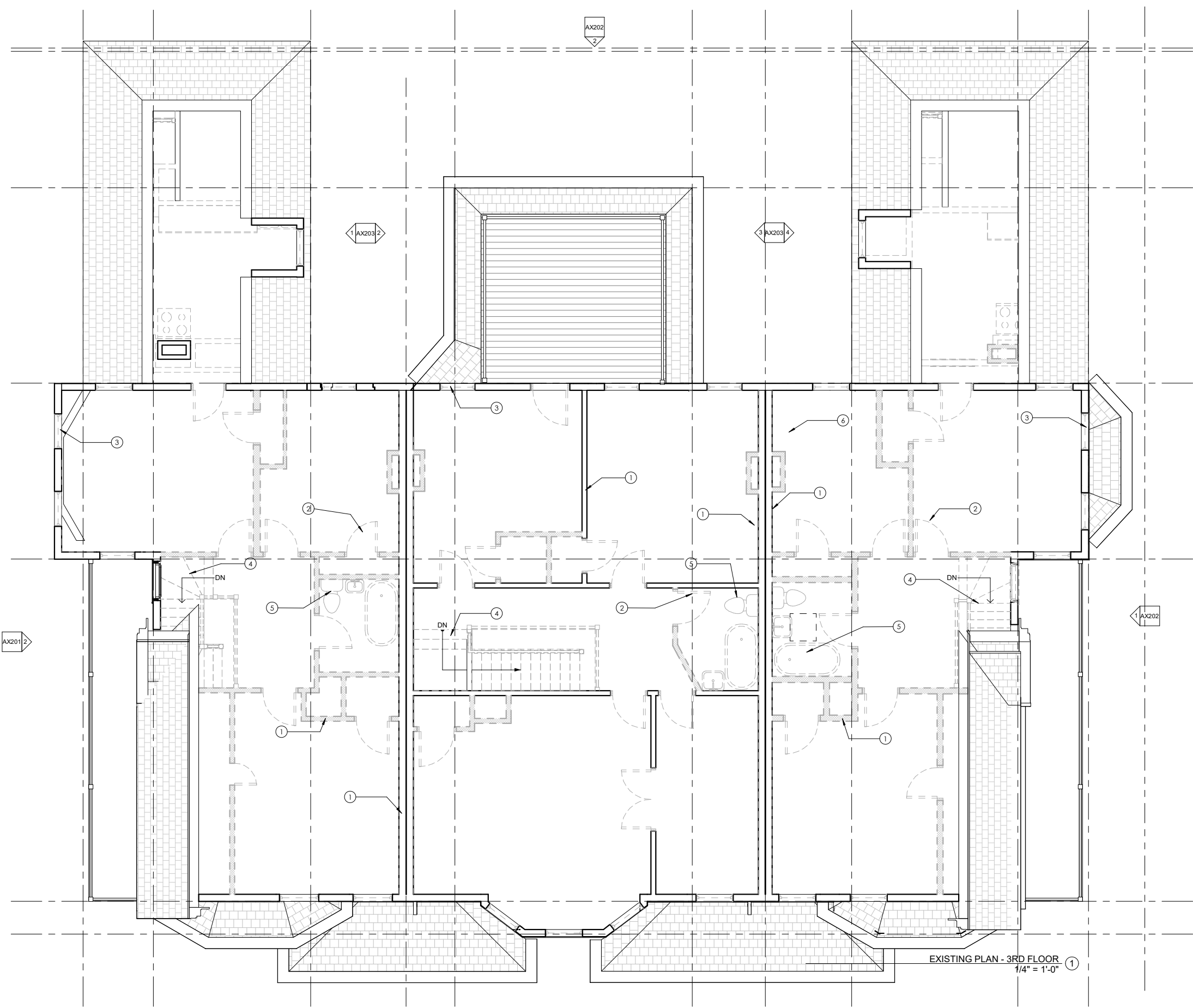
Title: **EXISTING PLANS**  
 Project: **382-392 Harvard St**

**BOYES-WATSON  
 ARCHITECTS**  
 30 Bow St.  
 Somerville, MA 02143  
 architects@boyeswatson.com  
 phone: (617) 629-8200

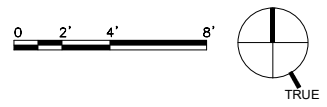
Job number: **18540**  
 Scale: **1/4" = 1'-0"**  
 Date issued: **07-21-21**

**SUBMITTED FOR  
 SPECIAL PERMIT**

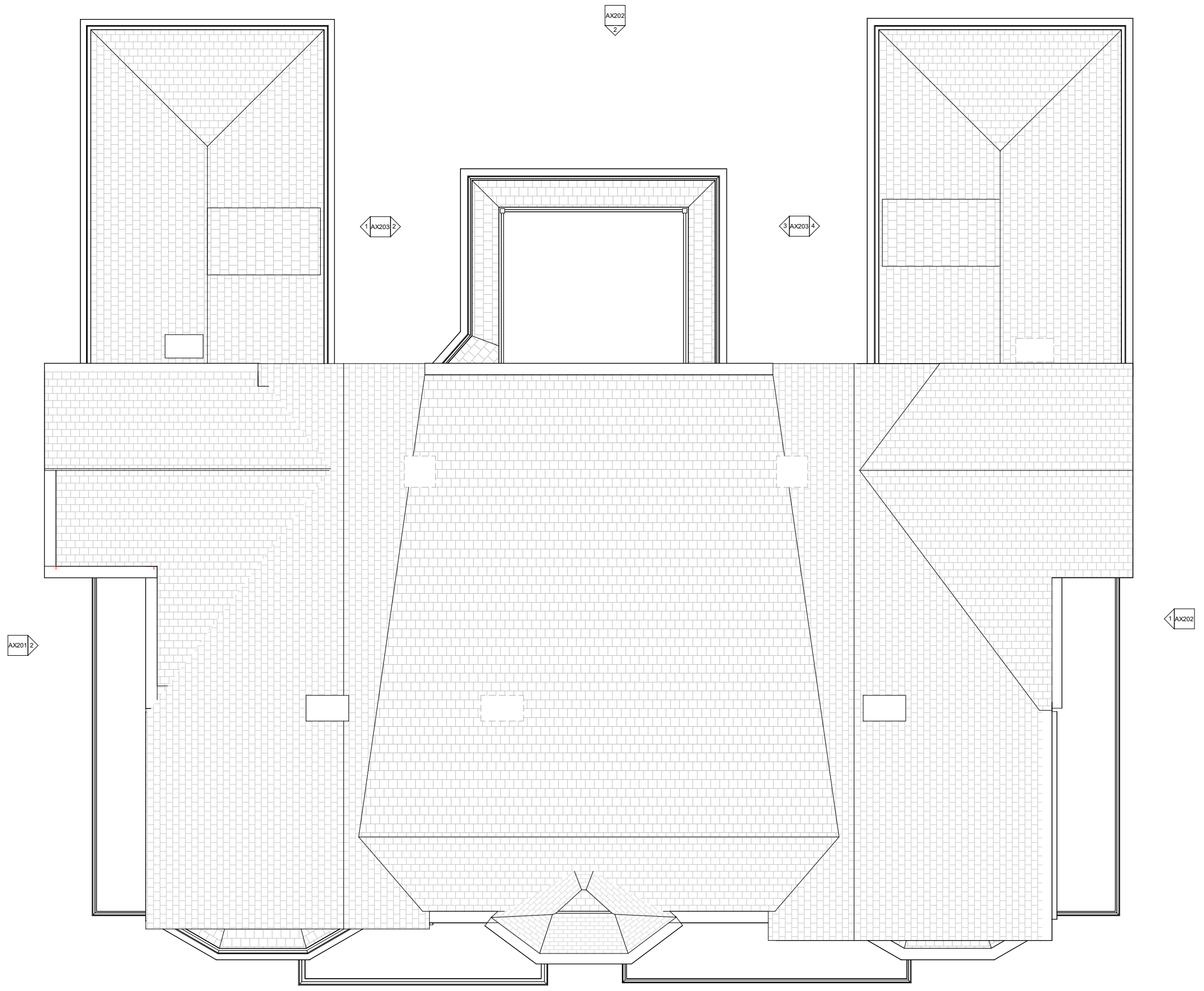
Sheet no.  
**AX104**



EXISTING PLAN - 3RD FLOOR  
 1/4" = 1'-0"



7/27/2021 3:35:47 PM



RF Existing Roof ①  
1/4" = 1'-0"

7/27/2021 3:35:47 PM

No.	Description	Date

Client:  
PLUMOSA LLC c/o  
NCP MANAGEMENT  
NEWTON CENTER, MA

title  
**EXISTING ROOF**

project  
**382-392 Harvard St**

**BOYES-WATSON ARCHITECTS**  
30 Bow St.  
Somerville, MA 02143  
architects@boyeswatson.com  
phone: (617) 629-8200

job number 18540

scale 1/4" = 1'-0"

date issued 07-21-21

SUBMITTED FOR SPECIAL PERMIT

Sheet no.  
**AX105**

ROOF PEAK  
34' - 0 5/8"

3RD FLOOR  
19' - 9"

2ND FLOOR  
9' - 11 1/2"

1ST FLOOR - AS BUILT  
BOUNDARY  
45.6'



REMINGTON ST ELEV  
1/4" = 1'-0" ②

ROOF PEAK  
34' - 0 5/8"

3RD FLOOR  
19' - 9"

2ND FLOOR  
9' - 11 1/2"

1ST FLOOR - AS BUILT  
BOUNDARY  
45.6'



EXISTING ELEVATION - FRONT  
1/4" = 1'-0" ①

Keynote Legend	
1	REMOVE EXISTING CHIMNEY (PENDING APPROVAL FROM CAMBRIDGE HISTORIC).
2	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH OPENING AND/OR MASONRY OPENING
3	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING
4	EXISTING CHIMNEY STRUCTURE TO REMAIN/REPAIRED AS REQUIRED.
5	REMOVE AND RESTORE. REINSTALL WITH NEW EXTERIOR CASING AND SILL DETAILS TO MATCH EXISTING.

No.	Description	Date

Client:  
PLUMOSA LLC c/o  
NCP MANAGEMENT  
NEWTON CENTER, MA

title  
**EXISTING ELEVATIONS**  
project  
**382-392 Harvard St**

**BOYES-WATSON ARCHITECTS**  
30 Bow St.  
Somerville, MA 02143  
architects@boyeswatson.com  
phone: (617) 629-8200

job number 18540

scale 1/4" = 1'-0"

date issued 07-21-21

SUBMITTED FOR  
SPECIAL PERMIT

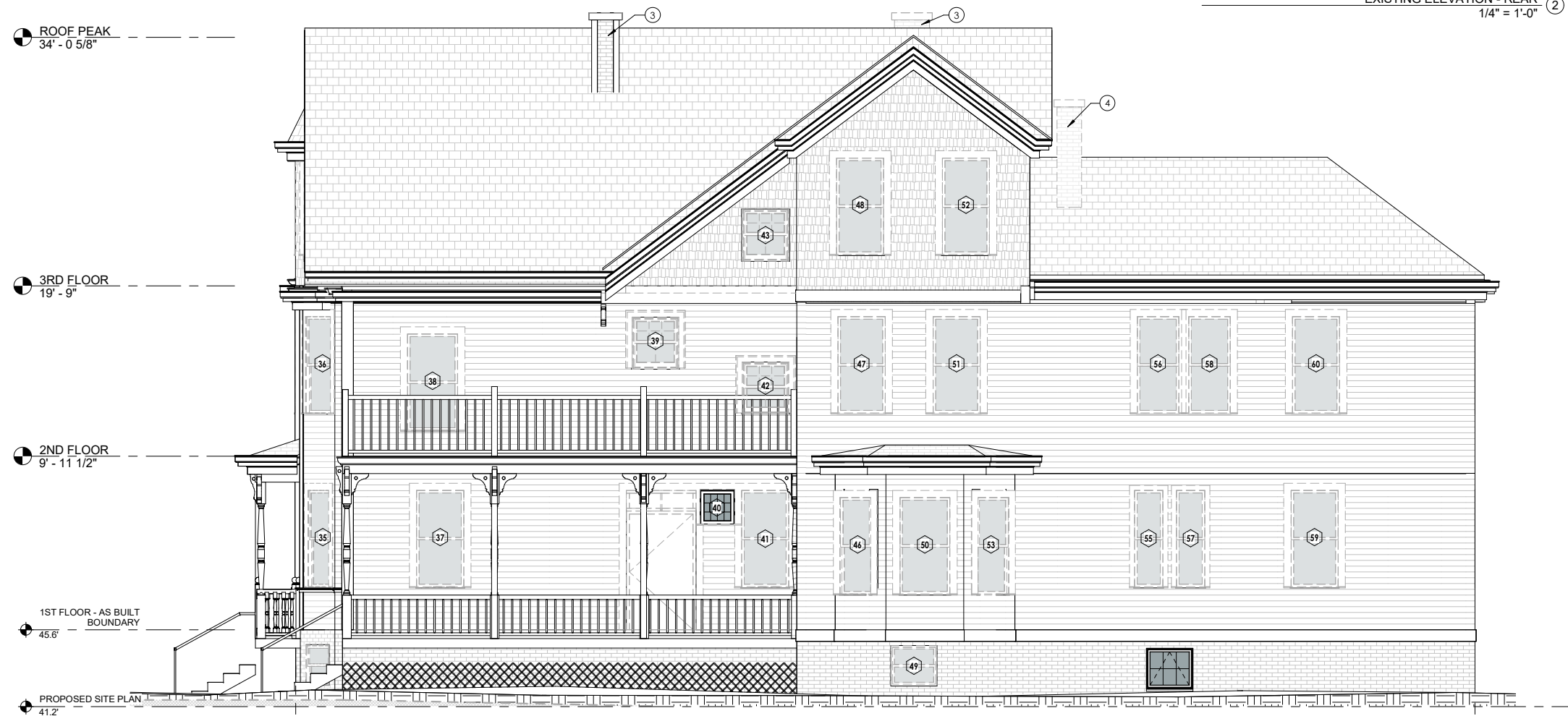
Sheet no.  
**AX201**



7/27/2021 3:35:52 PM



EXISTING ELEVATION - REAR  
1/4" = 1'-0" ②



EXISTING ELEVATION - RIGHT  
1/4" = 1'-0" ①

Keynote Legend	
1	REMOVE EXISTING WINDOWS DOWN TO ROUGH OPENING, TYPICAL FOR ALL BAY WINDOWS & WINDOWS IN WOOD-FRAMED WALLS
2	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING
3	EXISTING CHIMNEY STRUCTURE TO REMAIN/REPAIRED AS REQUIRED.
4	EXISTING CHIMNEY STRUCTURE TO BE DEMOLISHED AND CAPPED TO ROOF BEARING LINE.

No.	Description	Date

Client:  
PLUMOSA LLC c/o  
NCP MANAGEMENT  
NEWTON CENTER, MA

title  
**EXISTING ELEVATIONS**  
project  
382-392 Harvard St

**BOYES-WATSON ARCHITECTS**  
30 Bow St.  
Somerville, MA 02143  
architects@boyeswatson.com  
phone: (617) 629-8200

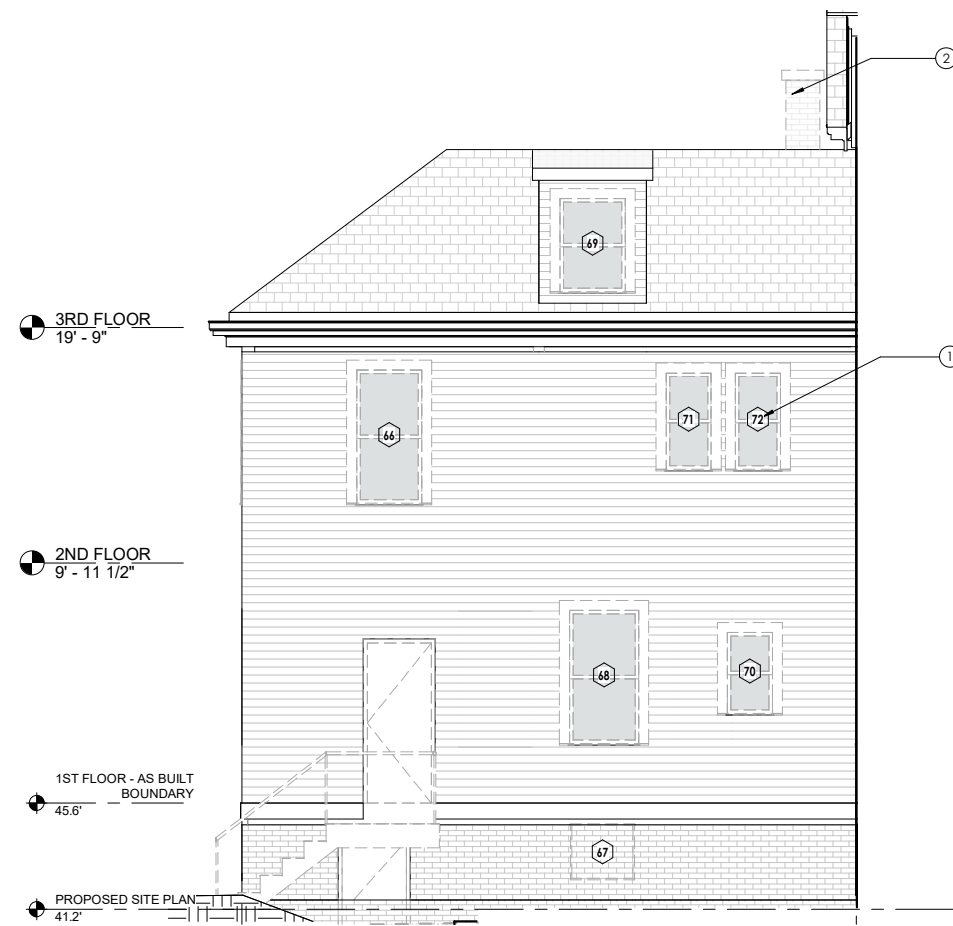
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scale 1/4" = 1'-0"  
date issued 07-21-21

SUBMITTED FOR  
SPECIAL PERMIT

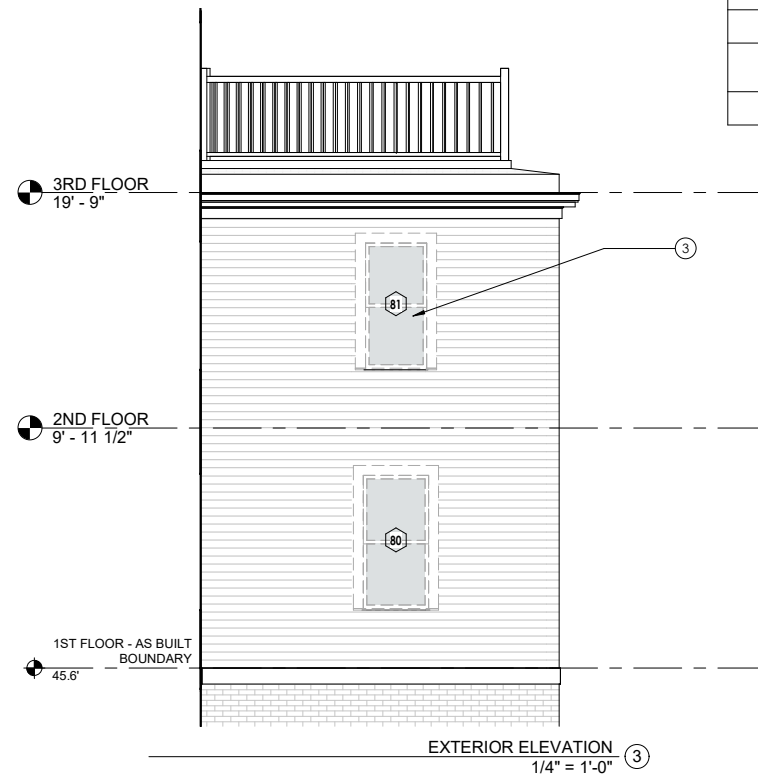
Sheet no.  
**AX202**



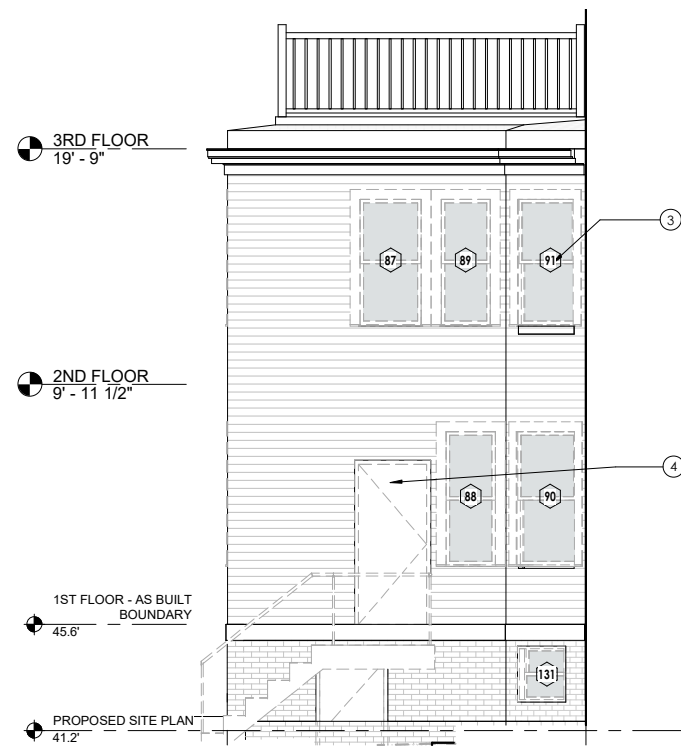
7/27/2021 3:35:54 PM



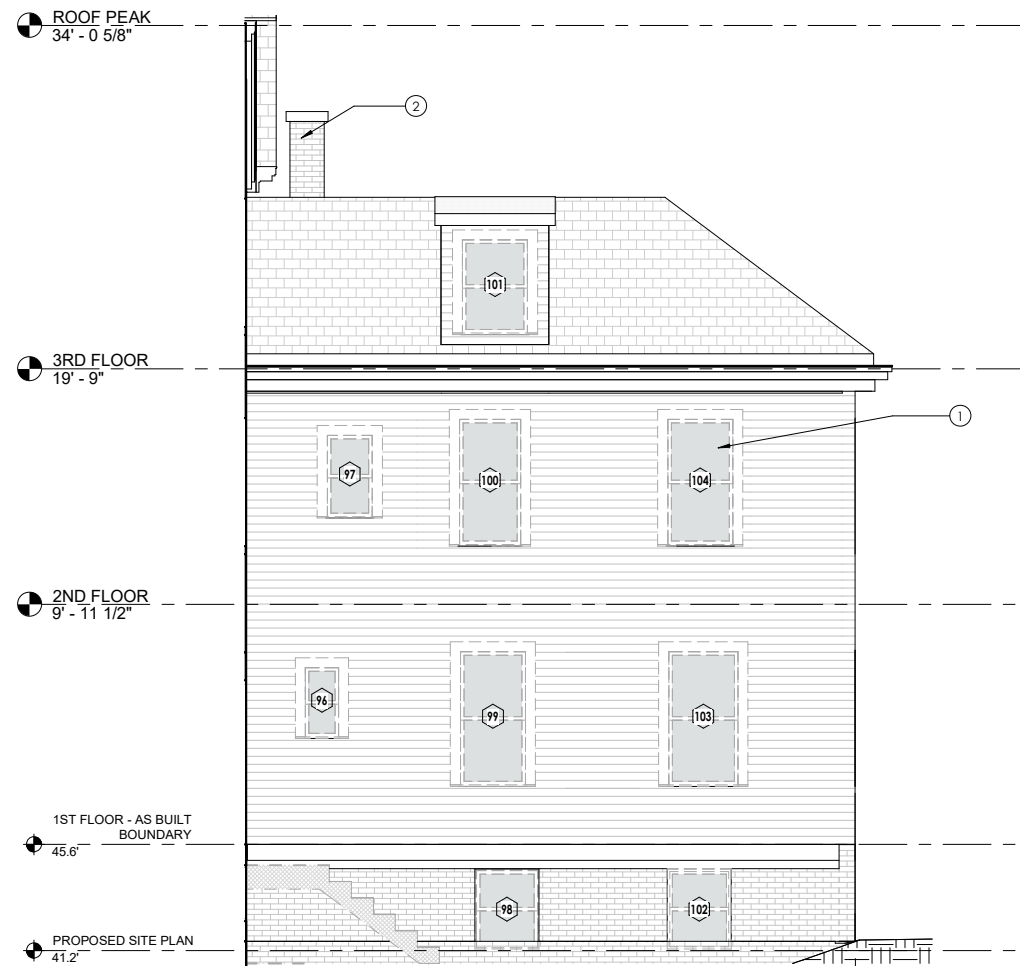
EXTERIOR ELEVATION ④  
1/4" = 1'-0"



EXTERIOR ELEVATION ③  
1/4" = 1'-0"



EXTERIOR ELEVATION ②  
1/4" = 1'-0"



EXISTING ELEVATION - REAR RIGHT 01 ①  
1/4" = 1'-0"

Keynote Legend	
No.	Description
1	REMOVE EXISTING WINDOWS, BALANCING WEIGHTS AND OTHER HARDWARE TO ROUGH OPENING AND/OR MASONRY OPENING
2	REMOVE EXISTING CHIMNEY (PENDING APPROVAL FROM CAMBRIDGE HISTORIC).
3	REMOVE EXISTING WINDOWS DOWN TO ROUGH OPENING, TYPICAL FOR ALL BAY WINDOWS & WINDOWS IN WOOD-FRAMED WALLS
4	REMOVE EXISTING DOOR AND BLOCKING DOWN TO ROUGH OPENING AND/OR MASONRY OPENING

No.	Description	Date

Client:  
PLUMOSA LLC c/o  
NCP MANAGEMENT  
NEWTON CENTER, MA

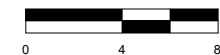
title  
**EXISTING ELEVATIONS**  
project  
**382-392 Harvard St**

**BOYES-WATSON ARCHITECTS**  
30 Bow St.  
Somerville, MA 02143  
architects@boyeswatson.com  
phone: (617) 629-8200

job number 18540  
scale 1/4" = 1'-0"  
date issued 07-21-21

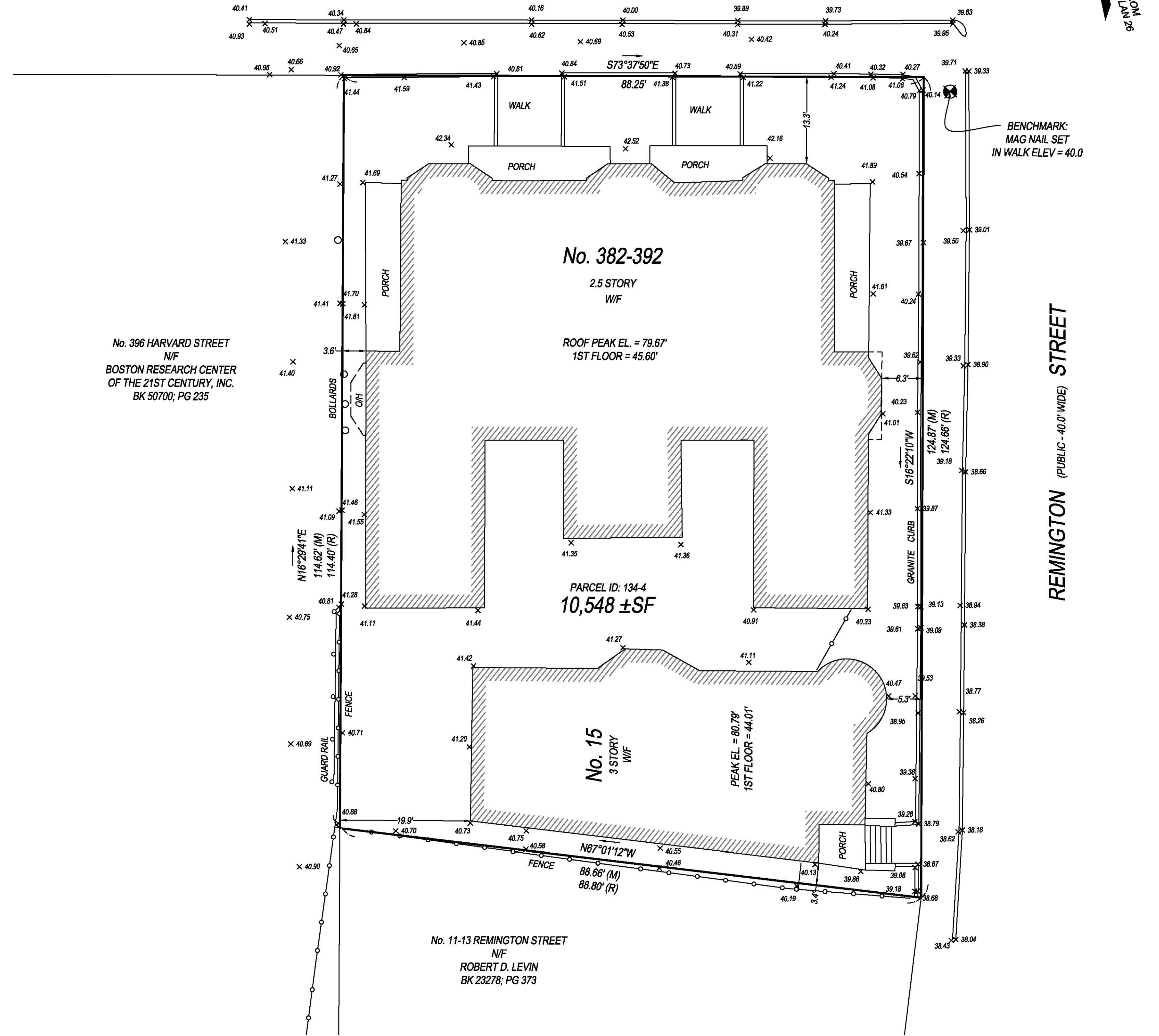
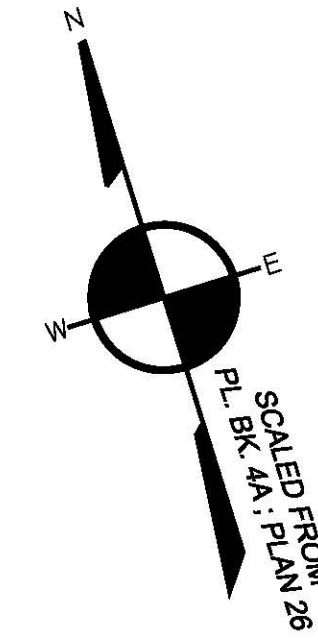
SUBMITTED FOR  
SPECIAL PERMIT

Sheet no.  
**AX203**



REGISTRY OF DEEDS USE ONLY

HARVARD (PUBLIC - 50.0' WIDE) STREET



No. 396 HARVARD STREET  
N/F  
BOSTON RESEARCH CENTER  
OF THE 21ST CENTURY, INC.  
BK 50700; PG 235

No. 11-13 REMINGTON STREET  
N/F  
ROBERT D. LEVIN  
BK 23278; PG 373

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND BETWEEN THE DATES OF JANUARY 14-28, 2014 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) THE MAJOR IMPROVEMENTS ON THE PROPERTY SHOWN FALL IN AN AREA DESIGNATED AS ZONE "X".  
MAP # 25017C0576E  
EFFECTIVE DATE: JUNE 4, 2010

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

**NOTES**

PARCEL ID: 134-4

DRAFTSMAN: JJH    REVIEWED BY: GCC

CERTIFIED PLOT PLAN    01/14/14

SITE PLAN/ TOPO    01/28/14

**REFERENCES:**

DEED: BK 12157; PG 548

PLAN: PL BK 4A; PL 26

PLAN: # 463; OF 2008

LCC: # 4461-B

LCC: # 16709-A

1134 "REMINGTON STREET LAYOUT"

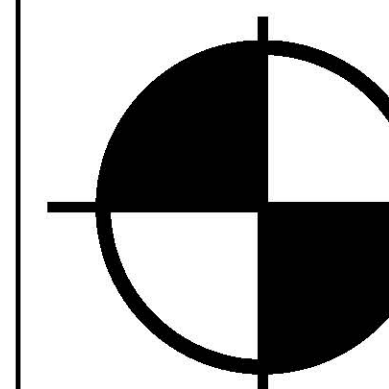
DATUM = CAMBRIDGE CITY BASE

**SITE PLAN**

LOCATED AT  
382-392 HARVARD STREET  
& 15 REMINGTON STREET  
CAMBRIDGE, MA

**PREPARED FOR:**

CONEFLOWER, INC.  
PO BOX 590179  
NEWTON, MA 02459



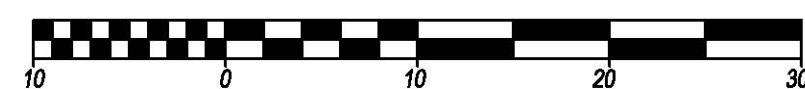
**BOSTON SURVEY, INC.**

UNIT C-4 SHIPWAYS PLACE  
CHARLESTOWN, MA. 02129  
(617) 242-1313  
www.bostonsurveyinc.com

JOB # 13-00633

FILE # 13-00633 - 01/28/14

SCALE: 1 INCH = 10 FEET





## Mid Cambridge Neighborhood Conservation District Commission

831 Massachusetts Avenue, Cambridge, Massachusetts 02139  
Telephone: 617 349 4683 Fax: 617 349 3116 TTY: 617 349 6112  
E-mail: [histncds@cambridgema.gov](mailto:histncds@cambridgema.gov)  
URL: <http://www.cambridgema.gov/Historic/midcambridgehome.html>

Tony Hsiao, *Chair*, Lestra Litchfield, *Vice Chair*  
Monika Pauli, Charles Redmon, *Members*  
Margaret McMahon, *Alternate*

### CERTIFICATE OF APPROPRIATENESS

PROPERTY: **382-390 Harvard Street**

OWNER: **Nathan Wong, Plumosa LLC  
1188 Centre Street  
Newton, MA 02459**

The Mid Cambridge Neighborhood Conservation District Commission hereby certifies, pursuant to Title 2, Chapter 2.78, Article III, Section 2.78.140-270 of the Code of the City of Cambridge and the City Council order establishing the Commission, that the construction described below is not incongruous to the historic aspects or architectural character of the building or district:

**Replace windows, siding, trim, roof, decking and railings, construct window wells.**

**The work has been approved with the following conditions:**

- 1. All replacement exterior trim to be wood and replicate existing trim;**
- 2. The applicant will consult with the Commission on the treatment of railings and exterior light fixtures;**
- 3. The applicant will submit a landscape plan of the whole site with emphasis on screening new window wells.**

The plans and specifications that were submitted with the application are incorporated into this certificate, which is binding on the applicant.

This certificate is granted upon the condition that the work authorized is commenced within six months after the date of issuance. If the work authorized by this certificate is not commenced within six months after the date of issuance, or if such work is suspended in significant part for a period of one year after the time the work is commenced, this certificate shall expire and be of no further effect; provided that, for cause, one or more extensions not exceeding ninety days each may be allowed in writing by the Chairman.

Case Number: **MC 6154**

Date of Certificate: **May 3, 2021**

Attest: A true and correct copy of decision filed with the office of the City Clerk and the Mid Cambridge Neighborhood Conservation District Commission on May 3, 2021.

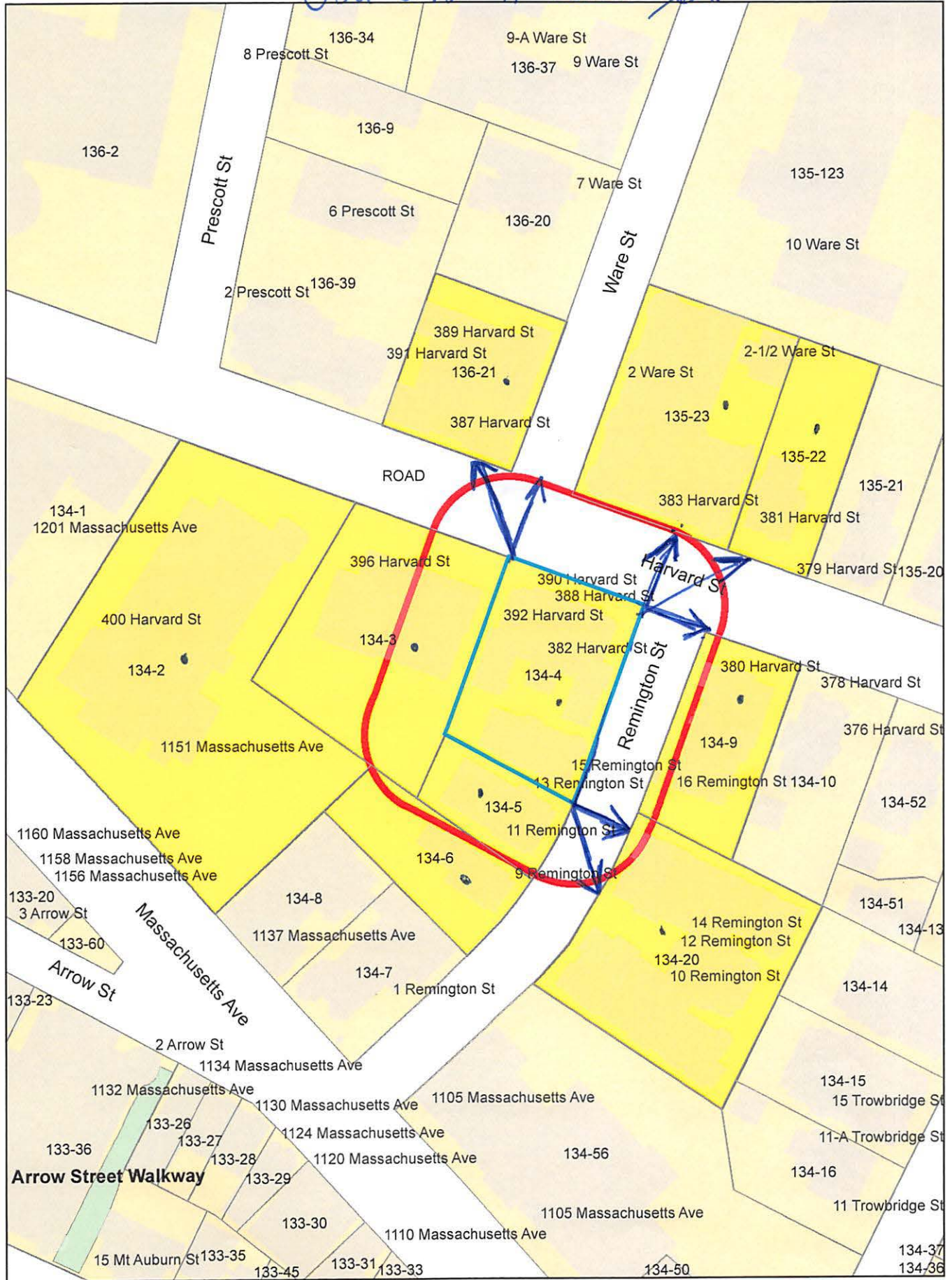
By Tony Hsiao/aac, Chair

Twenty days have elapsed since the filing of this decision.

No appeal has been filed \_\_\_\_\_. Appeal has been filed \_\_\_\_\_.

Date \_\_\_\_\_, City Clerk

382-392 Harvard St.



134-6  
VON STEIGER, JOY L.  
9 REMINGTON ST., UNIT #2  
CAMBRIDGE, MA 02138

134-9  
PNI HARVARD LLC.  
C/O STEVEN J. MURPHY  
1646 CENTRE STREET  
WEST ROXBURY, MA 02132

134-4  
PLUMOSA, LLC NCP MANAGEMENT  
C/O NATHAN WONG  
PO BOX 590179  
NEWTON CENTRE, MA 02459

134-9  
BOUTIN, ERIC  
380 HARVARD ST 5  
CAMBRIDGE, MA 02138

134-20  
EDWARDS, PAMELA G. &  
CITY OF CAMB TAX TITLE  
14 REMINGTON ST  
CAMBRIDGE, MA 02138-5244

134-20  
MCCORD, RAYMOND SCOTT  
10 REMINGTON ST #9  
CAMBRIDGE, MA 02138

134-20  
MOSKOW, JEREMY I.  
14 REMINGTON STREET #302  
CAMBRIDGE, MA 02138

134-20  
O'CONNOR, MARK & DAVID O'CONNOR TRS. OF  
THE O'CONNOR BROTHERS IRREVOCBLE TRUST  
25-27 CHAUNCY ST  
CAMBRIDGE, MA 02138

134-20  
MCCORD, RAYMOND SCOTT  
10 REMINGTON ST. UNIT#19  
CAMBRIDGE, MA 02138

134-20  
ALONSO, JUAN M. AND VIOLA G. THOMAS  
14 REMINGTON ST #24  
CAMBRIDGE, MA 02138-5244

134-20  
VELEZ, ANA  
12 REMINGTON ST #305  
CAMBRIDGE, MA 02138

134-20  
SU, YING-HSIU, WEI SONG & JANET SONG  
1707 OSPREY DR  
AUDUBON, PA 19403

134-20  
WEISSMAN, NICKEMIA  
C/O ARIA WEISSMAN  
10-14 REMINGTON ST # 307  
CAMBRIDGE, MA 02138-5244

134-3  
IKEDA CENTER  
396 HARVARD ST  
CAMBRIDGE, MA 02138

134-6  
BECKWITH, KRISTIN & THOMAS OBOE LEE  
9 REMINGTON ST., UNIT B  
CAMBRIDGE, MA 02138-5202

134-20  
GOODMAN, AARON J.  
10-14 REMINGTON ST UNIT 28  
CAMBRIDGE, MA 02138

134-5  
LEVIN, ROBERT D.  
11 REMINGTON ST  
CAMBRIDGE, MA 02138

134-20  
RESIDENT  
14 REMINGTON ST., #12  
CAMBRIDGE, MA 02138

134-20  
MARRON, PAMELA  
10-14 REMINGTON ST., #14  
CAMBRIDGE, MA 02138-5244

134-20  
SHU, MIAO, TRUSTEE THE BAI FAMILY TRUST  
153 BEACON ST  
BROOKLINE, MA 02446

134-20  
BAYM, NANCY K. & REX CLARK  
6 ROLLING CT  
CAMBRIDGE, MA 02139

134-20  
PATTERSON, ALAN  
34 BANKS ST  
SOMERVILLE, MA 02144

134-20  
GRIFFIN, KATHLEEN A.  
10-14 REMINGTON ST., UNIT #29  
CAMBRIDGE, MA 02138

134-20  
NOUBARY, FARZAD  
10-14 REMINGTON ST., #30  
CAMBRIDGE, MA 02138

134-9  
CONTARINO, LISA TRUSTEE AND ANGELO R.  
TRUSTEE OF VILLETTA CONTARINO TR.  
380 HARVARD ST., UNIT #2  
CAMBRIDGE, MA 02139

136-21  
PRESIDENT & FELLOWS OF HARVARD COLLEGE  
C/O HARVARD REAL ESTATE, INC.  
HOLYOKE CENTER, ROOM 1000  
1350 MASSACHUSETTS AVE  
CAMBRIDGE, MA 02138-3895

134-20  
TU, LORING W.  
186 WILLOW AVE. UNIT 1  
SOMERVILLE, MA 02144-2326

134-20  
MACDONALD, KATHLEEN M. & MERRITT  
R. HARRISON TRS OF HARRISON & MCDONALD  
FAMILY IRREV  
12 REMINGTON ST. UNIT #5  
CAMBRIDGE, MA 02138

134-9  
ZHAO, GUO  
380 HARVARD ST UNIT #1  
CAMBRIDGE, MA 02138

134-20  
BRAGA, DANIEL P.  
10-14 REMINGTON ST., #10  
CAMBRIDGE, MA 02138

382-392 Harvard St.

292

134-20  
MARRON, PAMELA  
14 REMINGTON ST., #13  
CAMBRIDGE, MA 02138-5244

134-20  
TSERING, LHAMO  
4 BRIDLE PATH  
SUDBURY, MA 01776

134-20  
REID, JAMES  
10 REMINGTON ST., UNIT #20  
CAMBRIDGE, MA 02138-5206

135-22-23  
MOSKOW, ABRAHAM & MICHAEL B MOSKOW  
TRUSTEES OF WAREHALL TRUST  
2 PARK SQ RM 407  
BOSTON, MA 02116-3912

134-9  
JACOBSON, JOSEPH & JACOBSON, SANDRA W.  
22869 HIGHBANK DR.  
BEVERLY HILLS, MI 48025

134-2  
OLD CAMBRIDGE BAPTIST CHURCH  
400 HARVARD  
CAMBRIDGE, MA 02138

134-9  
SIMMONS, PAUL I & MOLLY POWERS SIMMONS  
380 HARVARD ST UNIT #6  
CAMBRIDGE, MA 02138

134-20  
TU, LORING W.  
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