

CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 021392021 MAY 12 AM II: 15

617-349-6100

OFFICE OF THE CITY CLERK CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 119365

Date: _____

ormation

The undersigned h	ereby petitions th	ne Board of Zoning	Appeal for the following:
Special Permit:	X	Variance:	Appeal:
PETITIONER: Fra	ank and Toni Gibs	son C/O Sayem Kha	an, Architect
PETITIONER'S AI	DDRESS: 240 Fr	anklin St., Cambrid	lge, MA 02139
LOCATION OF PR	ROPERTY: <u>39 Hu</u>	bbard Ave , Camb	oridge, MA
TYPE OF OCCUP	ANCY: Single Fa	mily Residence	ZONING DISTRICT: Residence C-1 Zone
REASON FOR PE	TITION:		
LEVEL CONSTRU REPLACED BY A	CTED ON TOP O 3-SEASON UNCC	F EXISTING FIRS	NG EXTERIOR OPEN DECK STRUCURE FROM SECOND T FLOOR KITCHEN. THE EXISTING STRUCURE WILL BE CH. THE NEW STRUCTURE WILL OCCUPY THE I LEVEL./
DESCRIPTION OF	PETITIONER'S	PROPOSAL:	
SECTIONS OF ZO	NING ORDINAN	ICE CITED:	
Article: 5.000 Article: 8.000 Article: 10.000		ble of Dimensional O (Non-Conforming Special Permit).	
		Original Signature(s):	(Petitioner (s) / Owner) (Print Name)
		Address:	(Time Name)
		Tel. No. E-Mail Address:	6172299736 sayem.khan.arch@gmail.com

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals. I/We Toni E. Cleaver, mD (Mrs Toni E. Gibson Address: 39 HUBBARD AVE, CAMBRIDGE, MA 02140 State that I/We own the property located at 39 HUBBARD AVE, CAMBRIDGE which is the subject of this zoning application. The record title of this property is in the name of oni E. Cleaver, MD (Mrs. Toni E. *Pursuant to a deed of duly recorded in the date 08/02/2007 , Middlesex South County Registry of Deeds at Book 49888 , Page 403 ; or Middlesex Registry District of Land Court, Certificate No. _____ Page ____ AUTHORIZED TRUSTEE, OFFICER OR AGENT* *Written evidence of Agent's standing to represent petitioner may be requested. Commonwealth of Massachusetts, County of ___MiddleSex The above-name TONI E. CICAVCY personally appeared before me, this 30 of April , 2021 , and made path that the above statement is true. RUTH N. MENDOZA Notary Public Commonwealth of Massachusetts My Commission Expires My commission expire (Notary Seal). May 31, 2024

 If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

AUTUSARUTAT ETALIERATO - LEBUR MARATANTAN ANTANA

స్ట్రికు నీటు ఉన్నాయి. ఇట్ ఇట్లా రోజింటిక్స్ మక్కులంగు మాటు ఉన్నాయి. ముటుమ్మా మంటే మందికుకుండు అం కోమంక మైతులు కముక్కా ఇట్ట్ బరీగా మాటువుకు అటే ముటువారు, స్వాధానికి కేటు	
The section of the se	
ing pagaman ang pagamapagan ang pagaman na p Pagaman na pagaman na p	į
18 f. Read 1996 - 18 July of Dedenie Streets and and etc. I find ensure	
e productiva de la companya de la c La companya de la co	•
<u>ചെയ്യുന്നു. സംസം വിവാധിനു സൂക്രം അത്ര അത് നടത്തെ അത്രത്തെന്നും നിന്ന് അത്രം നെന്നു അത്രം വി</u>	
ing sa talah dari dari dari dari dari dari dari dari	
and the second of the second o	ş.
. The second of	:
and the second of the second o	•
A CONSE DE L'ARTE D'ARTE DE L'ARTE D	
் சாத்தையை பல் மூல் என்ற பிக்குள்ளது பிலக்குள்ளது. இது இரு இரு இரு இரு இரு முறியின்ற மலியின்றன.	
en de la companya de	
وللمنتب والماليان والمنازون والمنتبون والمنازون والمنازون والمنازون والمنازون والمنازون والمنازون والمنازون والمنازون	. - y-
Se se superior de la composition della compositi	,
en et sesse faraso nte princeron es <u>la latin de la latin de latin de latin de la latin de la latin de latin de latin de la latin de latin de latin de latin de latin de la latin de latin d</u>	
ent an original sa orona, asponente operar e en oras e <u>l'hista</u> e <u>l'hist</u> a de l'indica e e	:
Address of the second of the s	
	ı"

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Emo

Phone:

Frank and Toni Gibson

Present Use/Occupancy:

Single Family Residence

Location: 240 Franklin St.

6172299736

Zone:

Residence C-1 Zone

Requested Use/Occupancy: Single Family Residence

		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		2,593	2,926	MAX 3787.5	(max.)
LOT AREA: RATIO OF GROSS		5050	N/A	N/A	(min.)
FLOOR AREA TO LOT AREA: ²		0.75	0.75	0.75	
LOT AREA OF EACH DWELLING UNIT		N/A	N/A	N/A	
SIZE OF LOT:	WIDTH	50.5	N/A	N/A	
	DEPTH	100.0	N/A	N/A	
SETBACKS IN FEET	FRONT	20.9	N/A	20	
	REAR	33.9	N/A	20	
	LEFT SIDE	2.8	7.5	7.5	
	RIGHT SIDE	10.5	N/A	10	
SIZE OF BUILDING:	HEIGHT	32.5	27.5	35	
	WIDTH	44.2	N/A	68	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		35%	N/A	30%	
NO. OF DWELLING UNITS:		1	N/A	N/A	
NO. OF PARKING SPACES:		2	2	N/A	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- 3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From:

Frank Gibson < frankgibson33@aol.com>

Sent:

Monday, June 7, 2021 8:51 AM

To:

Pacheco, Maria

Subject:

Concern regarding the deck roof@ 39 Hubbard Ave.

The architect (S,Khan) has not provided data relating to the structural integrity of the proposed deck roof or the testing of his ideas. In particular, his design does not allow access for snow removal which becomes hazardous in havy snow or high wind conditions. I also believe the structure should have independent footing and not be supported or anchored to the framing of the kitchen.

I have not seen a covered deck in this area as the one proposed.

Finally the architect has never discussed these matters with me; only briefly with my wife, who is a medical doctor.

Respectfully,

Frank Gibson



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA. (617) 349-6100

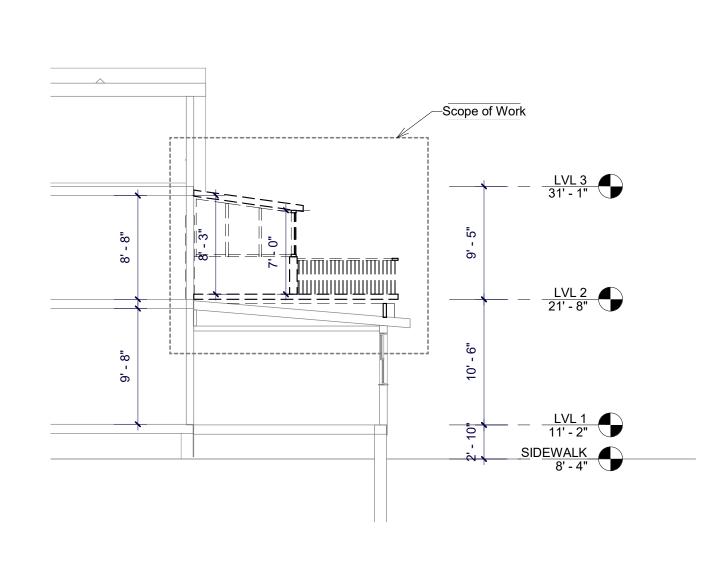
BZA

POSTING NOTICE - PICK UP SHEET

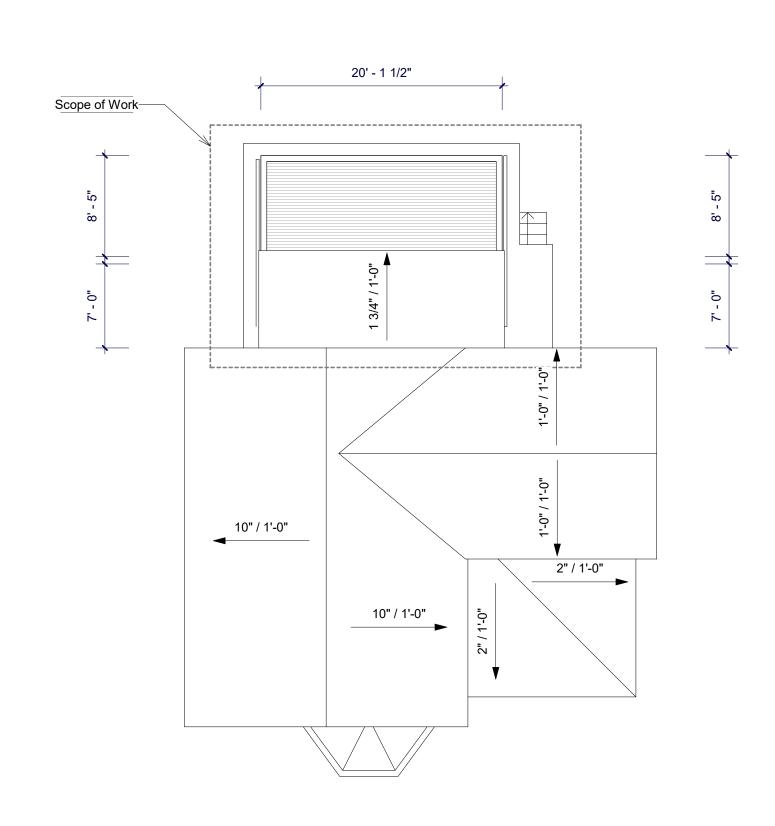
The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Somem Hom (Print)	Date: 06 03 NN
Address: 39 Subbard Ale	•
Case No. <u>BZA - 119365</u>	
Hearing Date: 4/94/2/	

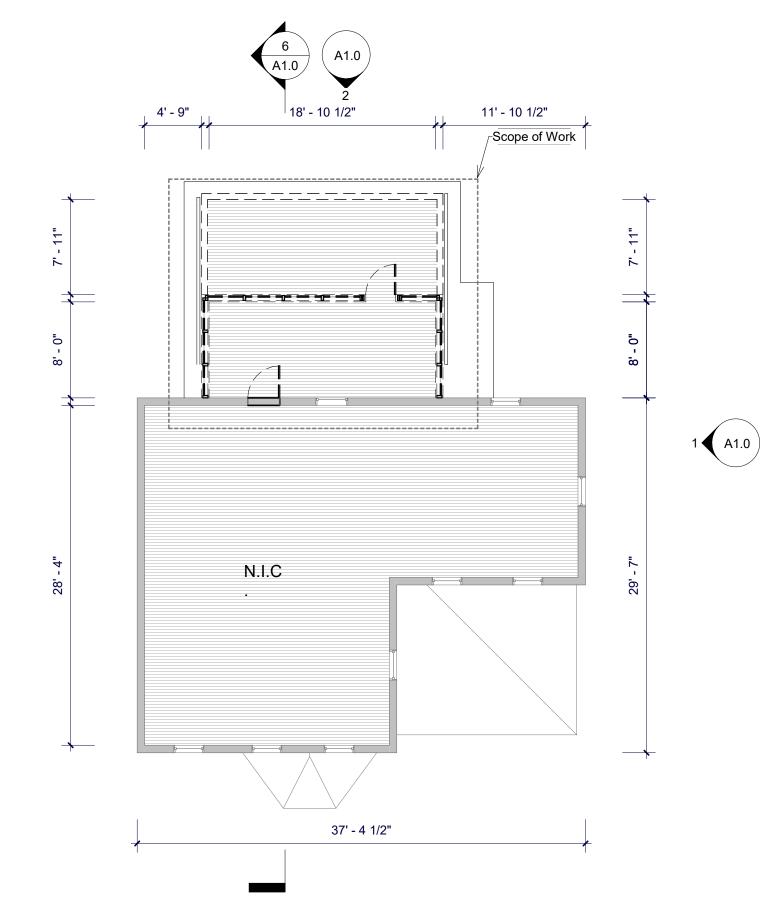
Thank you, Bza Members



6 EXISTING NORTH-SOUTH SECTION
1/8" = 1'-0"



5 ROOF - EXISTING PLAN 1/8" = 1'-0"



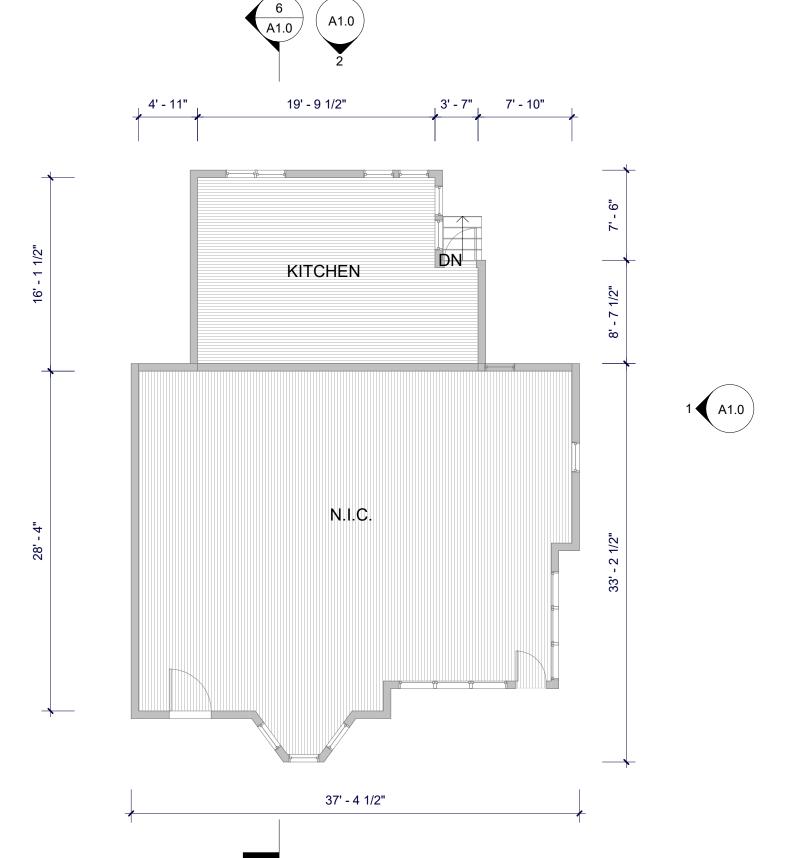
4 LEVEL 2 - EXISTING + DEMOLITION PLAN
1/8" = 1'-0"

3 LEVEL 1 - EXISTING + DEMOLITION PLAN 1/8" = 1'-0"



1) SOUTH ELEVATION (FRONT) 1/8" = 1'-0"

2 EAST ELVATION (SIDE) 1/8" = 1'-0"



SHEET NOTES:

1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.

2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIFI D MEASUREMENTS

2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS I BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.

LEGEND:

DEMOLITION

EXISTING

OWNER:

TONI CLEAVER -GIBSON

SAARYCE HM KTHEACNT

GIBSON RESIDENCE -

3 SEASON PORCH

ADDITION

39 HUBBARD AVE,

CAMBRIDGE, MA 02140

www.sayemkhan.work sk@sayemkhan.work M:617.229.9736

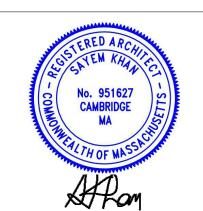
STRUCTURAL ENGINEER:

BERDI CONSULTING 25 WAYLAND HILLS RD. WAYLAND, MA 01778 TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

CRJ ENTERPEISE 73 POPLAR ST, DANVERS, MA 01923 (617) 710-7520



PERMIT SET

01.29.2021

No.	Description	Date

EXISTING +
DEMOLITION
DRAWINGS

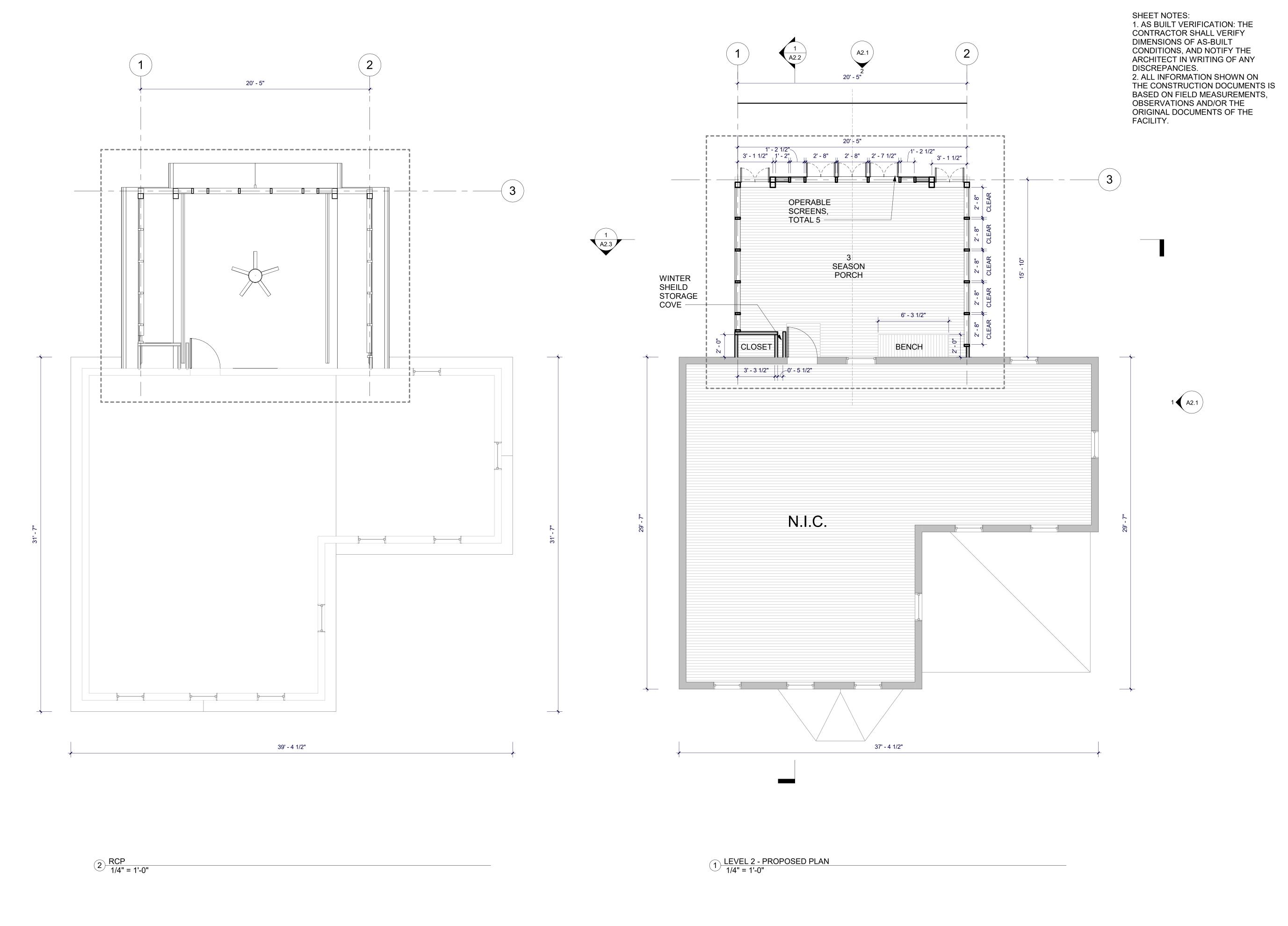
Date 01.29.2021

Drawn by Author

Checked by Checker

A1.0

Scale As indicated



MAN savemkhan wor

www.sayemkhan.work sk@sayemkhan.work M:617.229.9736

GIBSON RESIDENCE -3 SEASON PORCH ADDITION

39 HUBBARD AVE, CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -GIBSON

STRUCTURAL ENGINEER:

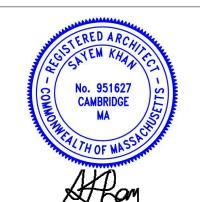
BERDI CONSULTING 25 WAYLAND HILLS RD. WAYLAND, MA 01778

MEPFP ENGINEER:

TEL: (508) 308-9012

CONTRACTOR:

CRJ ENTERPEISE73 POPLAR ST,
DANVERS, MA 01923
(617) 710-7520



PERMIT SET

01.29.2021

No.	Description	Date

PROPOSED LEVEL PLANS

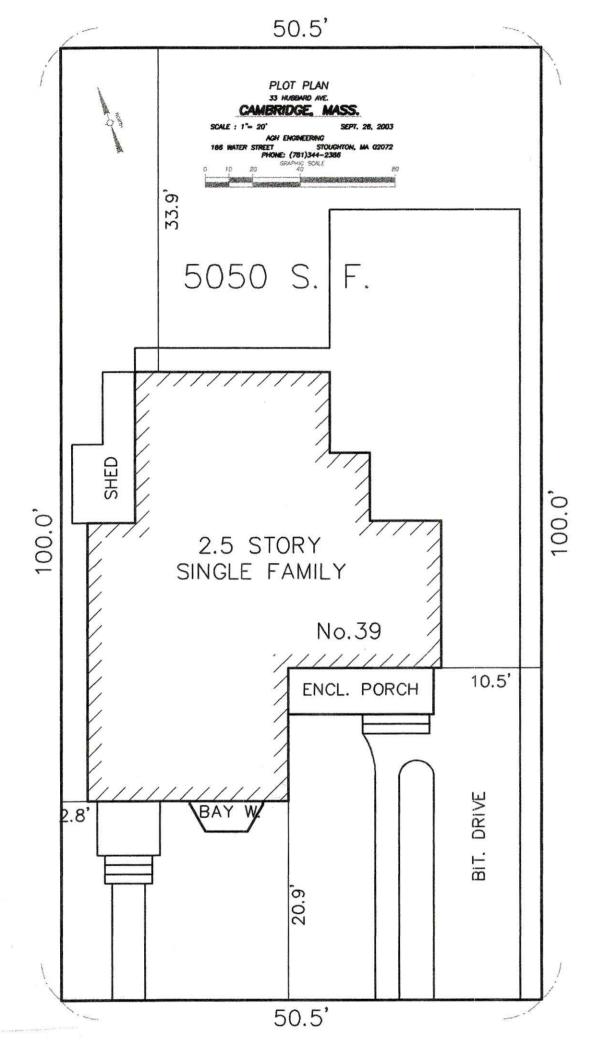
Date 01.29.2021

Drawn by Author

Checked by Checker

A2.0

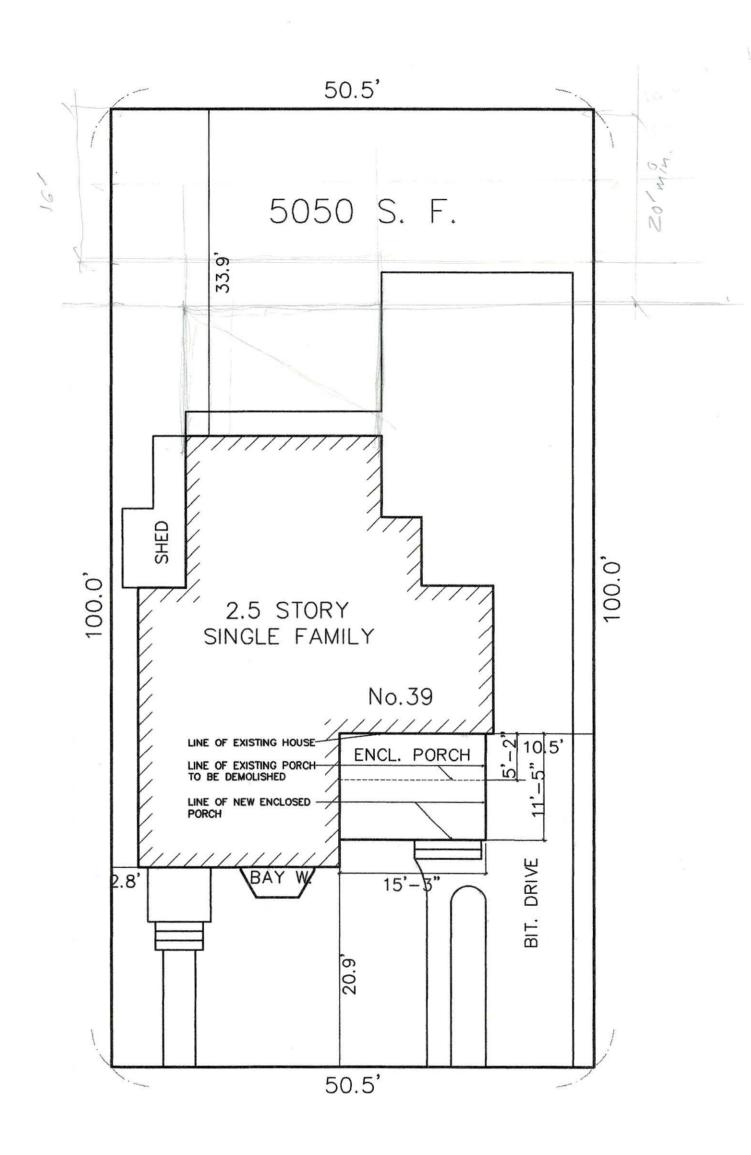
tale 1/4" = 1'-0"



I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



EXISTING PLOT PLAN



PROPOSED PLOT PLAN

Micheal Washington Architects Inc.

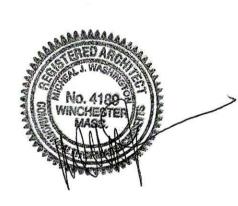
675 Massachusetts Avenue Cambridge, MA 02139—3354

Phone: 617-876-7930 Fax: 617-661-8761

PROJECT

GIBSON HOUSE

CAMBRIDGE, MASSACHUSETTS



COPYRIGHT 2003 MICHEAL WASHINGTON ARCHITECTS INC

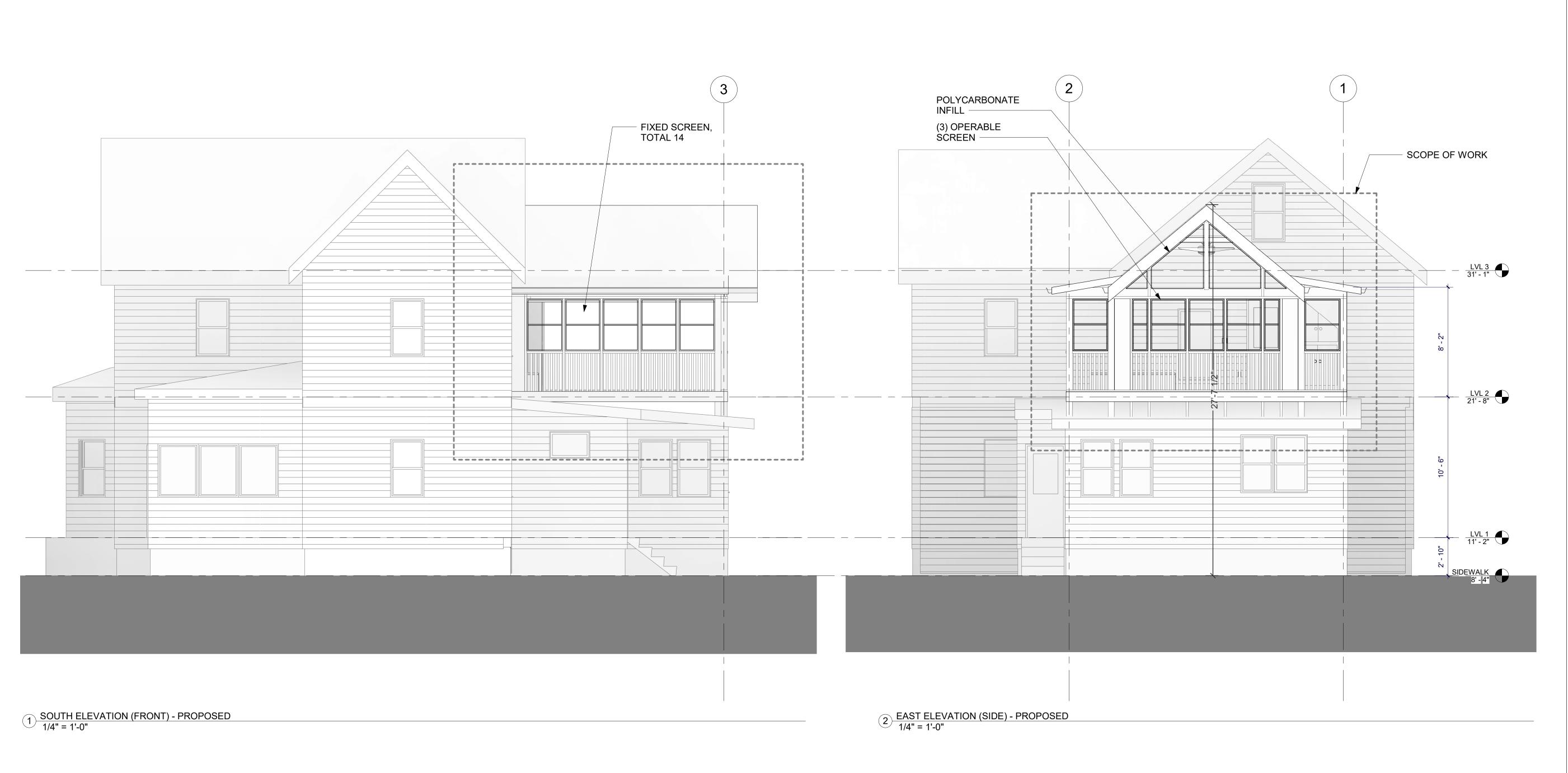
SHEET TITLE

GIBSON HOUSE EXTERIOR ELEVATIONS EXISTING CONDITIONS

DRAWING NO.

CHECKED BY: MJW

A-3



S A Y CE M K H A N

www.sayemkhan.work sk@sayemkhan.work M:617.229.9736

GIBSON RESIDENCE -3 SEASON PORCH ADDITION

39 HUBBARD AVE, CAMBRIDGE, MA 02140

OWNER:

SHEET NOTES: 1. AS BUILT VERIFICATION: THE

2. ALL INFORMATION SHOWN ON

OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE

THE CONSTRUCTION DOCUMENTS IS

BASED ON FIELD MEASUREMENTS,

CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY

DISCREPANCIES.

FACILITY.

TONI CLEAVER -GIBSON

STRUCTURAL ENGINEER:

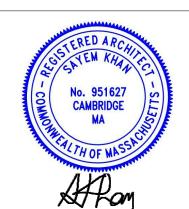
BERDI CONSULTING 25 WAYLAND HILLS RD. WAYLAND, MA 01778

MEPFP ENGINEER:

TEL: (508) 308-9012

CONTRACTOR:

CRJ ENTERPEISE 73 POPLAR ST, DANVERS, MA 01923 (617) 710-7520



PERMIT SET

01.29.2021

No.	Description	Date

PROPOSED ELEVATIONS

Date 01.29.2021

Drawn by Author

Checked by Checker

A2.1

Scale 1/4" = 1'-0"













Sayem Khan <skhan1124@gmail.com>

Fw: 3 Season screened porch at 39 Hubbard Ave

1 message

tcleavermd <tcleavermd@aol.com> To: Sayem Khan <sk@sayemkhan.work> Wed, Apr 28, 2021 at 12:35 PM

Sent from the all new AoI app for iOS

Begin forwarded message:

On Tuesday, April 27, 2021, 7:09 PM, Caroline Butler-Rahman <carolinebr@gmail.com> wrote:

To Whom It May Concern at the Zoning Board,

We have no objection to Toni Cleaver's three-season screened porch project at 39 Hubbard Ave.

Best,

Caroline Butler-Rahman and Naveed Rahman 41 Hubbard Ave

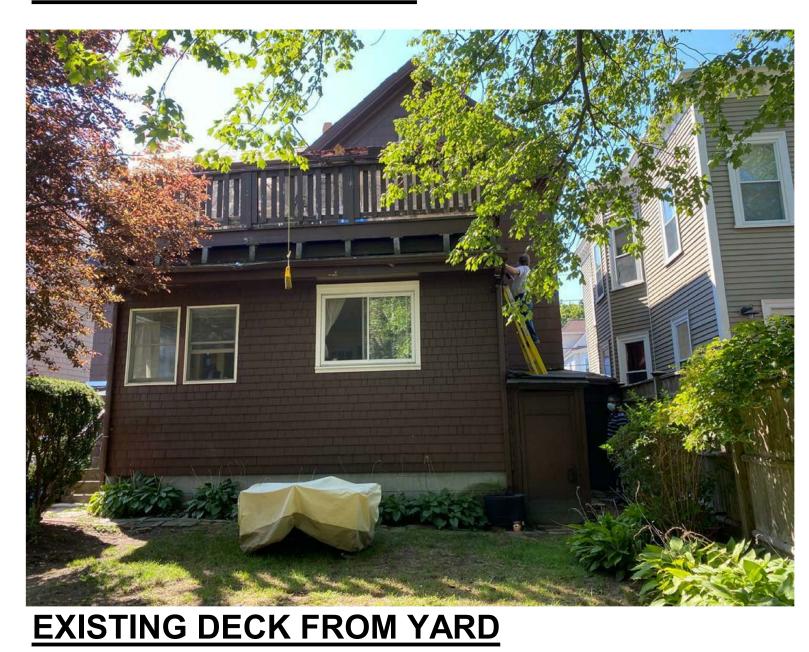
1 of 1 4/28/2021, 6:50 PM

April 28, 2021 To Whom this May Concern; I, Postra Ann Battle reside at 37 Hubbard Suenue of Cambridge, Massochusetts. I do not have any objections for the second floor back porch deck to be done over at 39 Hubbard Kuenul of Cambridge, Massachusetts, where My Joni Hibson resides.

Chank You, Onti Inn Battle



EXISTING DECK ABOVE





EXISTING DECK FROM GARDEN



www.sayemkhan.work sk@sayemkhan.work M:617.229.9736

GIBSON RESIDENCE -3 SEASON PORCH ADDITION

39 HUBBARD AVE, CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -**GIBSON**

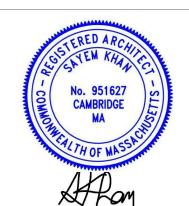
STRUCTURAL ENGINEER:

BERDI CONSULTING 25 WAYLAND HILLS RD. WAYLAND, MA 01778 TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

CRJ ENTERPEISE 73 POPLAR ST, DANVERS, MA 01923 (617) 710-7520



BZA REVIEW

05.12.2021

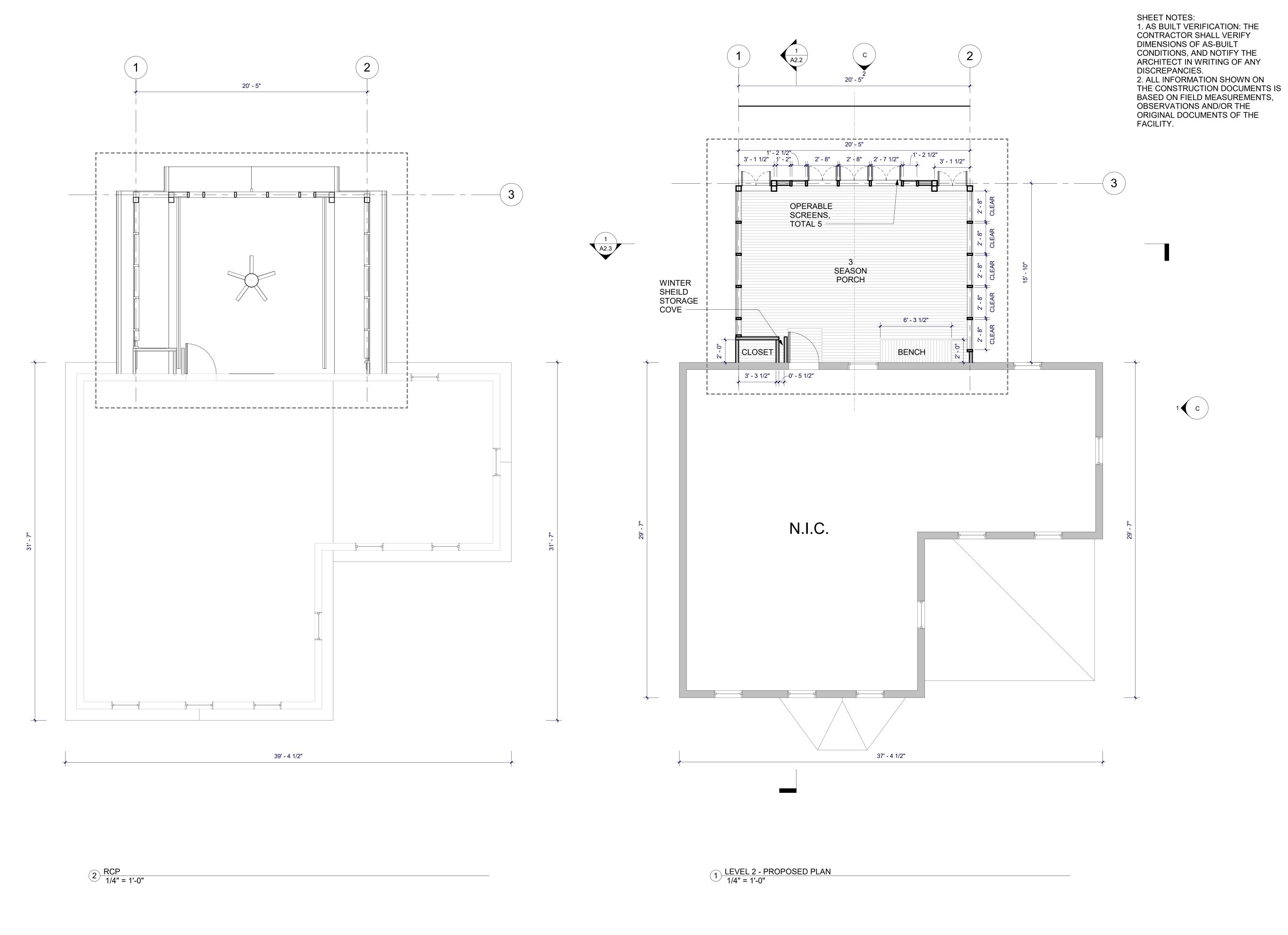
No.	Description	Date

PROPOSED **VIEW AND EXISTING IMAGES**

05.12.2021 Drawn by Author Checked by Checker

A

Scale



www.savemkhan.wor

www.sayemkhan.work sk@sayemkhan.work M:617.229.9736

GIBSON RESIDENCE -3 SEASON PORCH ADDITION

39 HUBBARD AVE, CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -GIBSON

STRUCTURAL ENGINEER:

BERDI CONSULTING 25 WAYLAND HILLS RD. WAYLAND, MA 01778 TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

CRJ ENTERPEISE 73 POPLAR ST, DANVERS, MA 01923

DANVERS, MA 0192 (617) 710-7520



BZA REVIEW

05.12.2021

No.	Description	Date

PROPOSED LEVEL PLANS

Date 05.12.2021

Drawn by Author

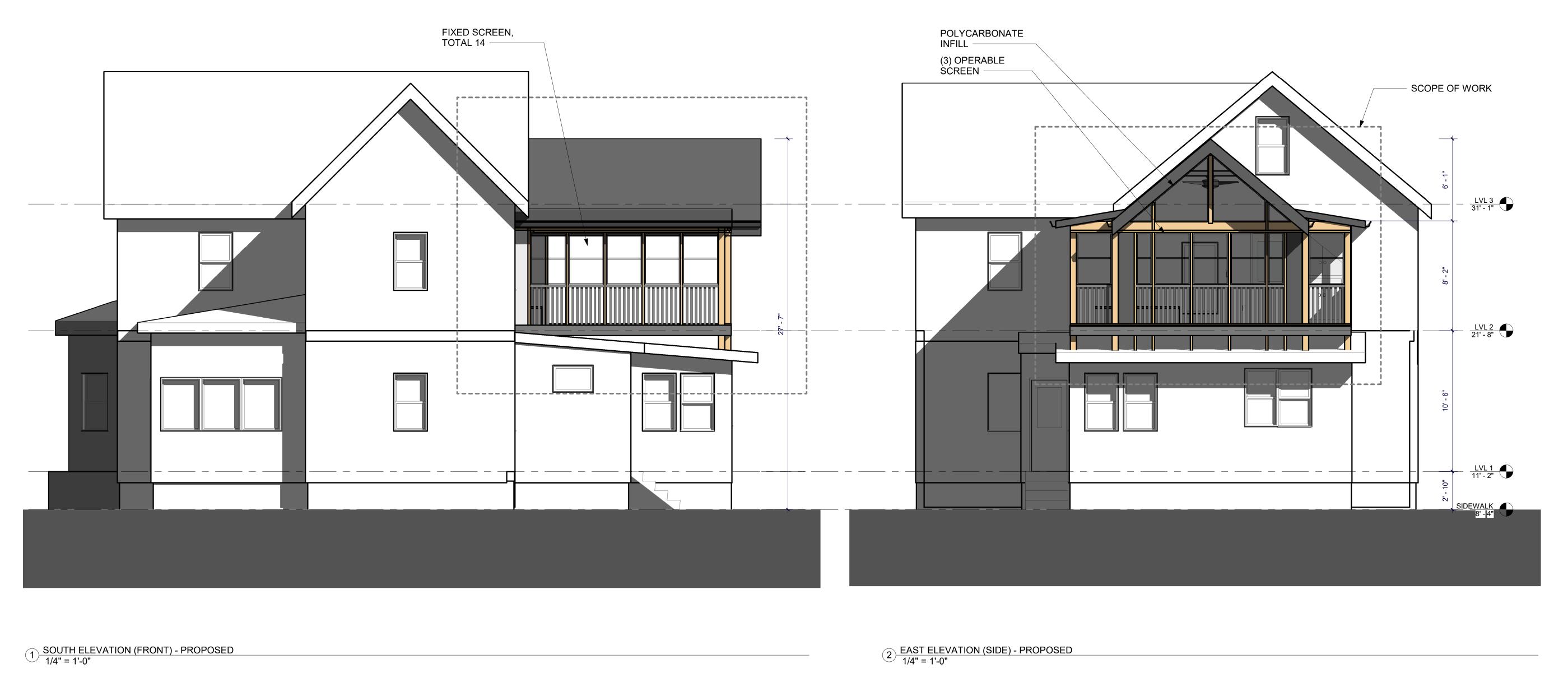
Checked by Checker

1/4" = 1'-0"

SHEET NOTES:

1. AS BUILT VERIFICATION: THE
CONTRACTOR SHALL VERIFY
DIMENSIONS OF AS-BUILT
CONDITIONS, AND NOTIFY THE
ARCHITECT IN WRITING OF ANY
DISCREPANCIES.

2. ALL INFORMATION SHOWN ON
THE CONSTRUCTION DOCUMENTS IS
BASED ON FIELD MEASUREMENTS,
OBSERVATIONS AND/OR THE
ORIGINAL DOCUMENTS OF THE
FACILITY.



SARYCE MKTHEACN

www.sayemkhan.work sk@sayemkhan.work M:617.229.9736

GIBSON RESIDENCE -3 SEASON PORCH ADDITION

39 HUBBARD AVE, CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -GIBSON

STRUCTURAL ENGINEER:

BERDI CONSULTING 25 WAYLAND HILLS RD. WAYLAND, MA 01778 TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

CRJ ENTERPEISE 73 POPLAR ST, DANVERS, MA 01923 (617) 710-7520



BZA REVIEW

05.12.2021

No.	Description	Date

PROPOSED ELEVATIONS

 Date
 05.12.2021

 Drawn by
 Author

 Checked by
 Checker

 C
 Scale

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 39 HUBBARD AVE. (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

THE PROPSED PROJECT IS WITH IN THE PRESCRIBED SETBACKS. THE PROJECT WITH IMPROVE THE LIVNIG CONDITIONS OF THE MEMBERS OF THE HOUSEHOLD AND THE APPREANCE FOR THE NEIGHBORS.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE WILL BE NO CHANGE IN TRAFFIC PATTERN DUE TO THIS PROJECT.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE IS NO ADVERSE AFFECT ON THE ZONING ORDINACE.

Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

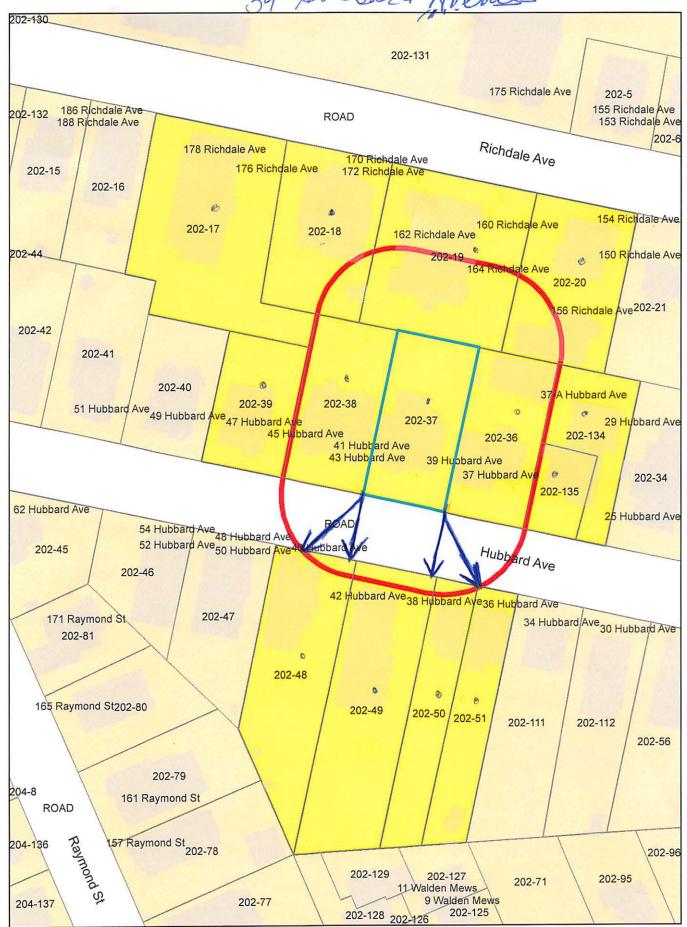
THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE IS NO HAZARD OR SAFETY ISSUES TO TEH OCCUPANTS.

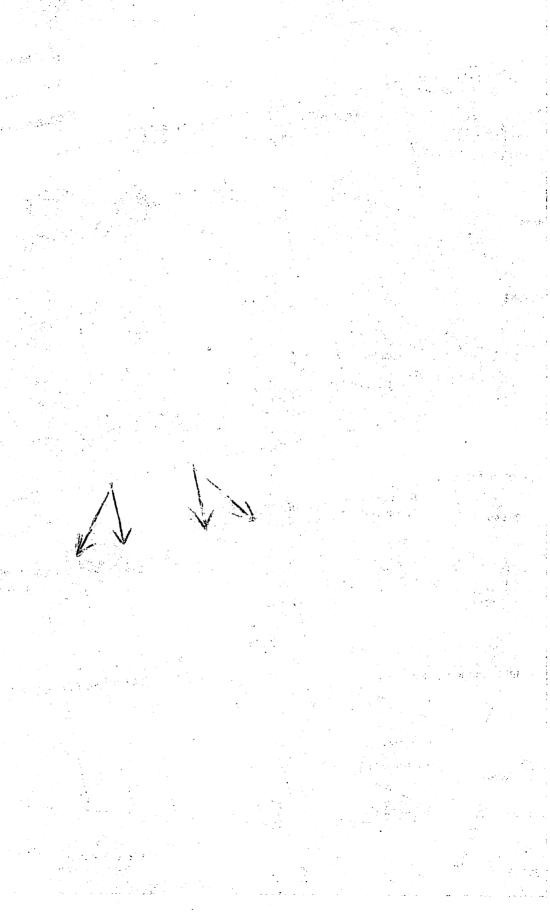
E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE IS NO NEGETIVE INFLUENCE ON THE DISTRICT.

(ATTACHMENT B - PAGE 6)

39 Hubbard Avenue





January Million

202-18 WARD, JAMES J. & TAVIA MEAD 172 RICHDALE AVE. CAMBRIDGE, MA 02140-3324

202-49 ROSAND, JONATHAN & JUDY POLACHECK 42 HUBBARD AVE CAMBRIDGE, MA 02140-3313

202-38 BROWN, WILSON H. & MARLENE J. BROWN 43 HUBBARD AVE., #43 CAMBRIDGE, MA 02140

202-19
CAMBRIDGE COMMUNITY HOUSING, INC.
C/O WINN MANAGEMENT
6 FANEUIL HALL MARKETPLACE
BOSTON, MA 02109

202-50 ROLLINS, JANE B. 38 HUBBARD AVE CAMBRIDGE, MA 02140

202-20 TREVER, JOHN & LIN KAN TREVER 156 RICHDALE AVE #1 CAMBRIDGE, MA 02140-3324 202-38 RAHMAN, NAVEED & CAROLINE A. BUTLER-RAHMAN 41 HUBBARD AVE

CAMBRIDGE, MA 02140

202-51 RICHMAN, ANDREW S. & THALIA WHEATLEY 36 HUBBARD AVE CAMBRIDGE, MA 02140

Ausbard Ave

202-134 HAIG, DAVID & ENEIDA HAMAM PARDO 29 HUBBARD AVE CAMBRIDGE, MA 02140

202-37 GIBSON, FRANK W. & TONI E. CLEAVER, M.D. 39 HUBBARD AVE CAMBRIDGE, MA 02140

202-20 SCHUBERT, RICHARD W. & VICTORIA F. SCHUBERT 156 RICHDALE AVE., #2 CAMBRIDGE, MA 02139

202-39 LAIRD, SCHUYLER ALEXANDER ALEXANDRA ARADER LAIRD 45 HUBBARD AVE CAMBRIDGE, MA 02140 SAYEM KHAN, ARCHITECT 240 FRANKLIN STREET CAMBRIDGE, MA 02139

202-36
BATTLE, GLORIA E. & PORTIA ANN BATTLE
37 HUBBARD AVE.
CAMBRIDGE, MA 02140-3312

202-135 BASU, GAURAB & SUDHA NATARAJAN 31 HUBBARD AVE CAMBRIDGE, MA 02140

202-48 RIDDICK, JOSEPHINE J. 46 HUBBARD AVE, #2 CAMBRIDGE, MA 02140

202-20 LIPSHAW, JEFFREY M. & ALENES S. FRANKLIN 154 RICHDALE AVE CAMBRIDGE, MA 02139

202-17 JLP REALTY LLC 42 ELIZABETH RD BELMONT, MA 02478