



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 MAY 12 AM 11:15

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

### BZA Application Form

**BZA Number: 119365**

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: \_\_\_\_\_

Appeal: \_\_\_\_\_

**PETITIONER:** Frank and Toni Gibson C/O Sayem Khan, Architect

**PETITIONER'S ADDRESS:** 240 Franklin St., Cambridge, MA 02139

**LOCATION OF PROPERTY:** 39 Hubbard Ave., Cambridge, MA

**TYPE OF OCCUPANCY:** Single Family Residence

**ZONING DISTRICT:** Residence C-1 Zone

#### **REASON FOR PETITION:**


/Additions/ /DEMOLISH AND REMOVE AN EXISTING EXTERIOR OPEN DECK STRUCTURE FROM SECOND LEVEL CONSTRUCTED ON TOP OF EXISTING FIRST FLOOR KITCHEN. THE EXISTING STRUCTURE WILL BE REPLACED BY A 3-SEASON UNCONDITIONED PORCH. THE NEW STRUCTURE WILL OCCUPY THE FOOTPRINT OF THE EXISTING KITCHEN ON FIRST LEVEL./

#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

#### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).  
Article: 8.000      Section: 8.22.2.D (Non-Conforming Structure).  
Article: 10.000     Section: 10.40 (Special Permit).

Original  
Signature(s):

  
(Petitioner (s) / Owner)

Sayem Khan.  
(Print Name)

Address:

Tel. No.                      6172299736  
E-Mail Address:      sayem.khan.arch@gmail.com

**Date:** \_\_\_\_\_

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

*To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.*

I/We Toni E. Cleaver, MD (Mrs Toni E. Gibson)  
(OWNER)

Address: 39 HUBBARD AVE, CAMBRIDGE, MA 02140

State that I/We own the property located at 39 HUBBARD AVE, CAMBRIDGE, which is the subject of this zoning application.

The record title of this property is in the name of Toni E. Cleaver, MD (Mrs. Toni E. Gibson)

\*Pursuant to a deed of duly recorded in the date 08/02/2007, Middlesex South County Registry of Deeds at Book 49888, Page 403; or Middlesex Registry District of Land Court, Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_.

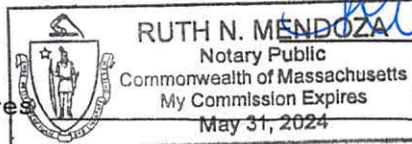
Toni E. Cleaver MD (Mrs Toni E. Gibson)  
SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

*\*Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Toni E. Cleaver personally appeared before me, this 30<sup>th</sup> of April, 2021, and made oath that the above statement is true.

My commission expires



(Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

the information from the past is not at all reliable. (Pitt) says that although we are always told that the future can be predicted and the past can be predicted and

Continued on next page

[illegible]

Referring to the above, the following is the result of the investigation:

THE UNIVERSITY OF CHICAGO LIBRARY

(Case 1:15-cv-00001 Document 1-1 Filed 01/21/16 Page 1 of 1)

[illegible]

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U.S. GOVERNMENT PRINTING OFFICE  
WASHINGTON, D. C. 20540

1. The report indicates the following arrangements of persons in receipt of medical attention:

1. Mr. J. Edgar Hoover      Director, Federal Bureau of Investigation

an overall tendency of increasing

100-443887-1000



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[illegible]

**BZA Application Form****DIMENSIONAL INFORMATION****Applicant:** Frank and Toni Gibson**Present Use/Occupancy:** Single Family Residence**Location:** 240 Franklin St.**Zone:** Residence C-1 Zone**Phone:** 6172299736**Requested Use/Occupancy:** Single Family Residence

	<b><u>Existing Conditions</u></b>	<b><u>Requested Conditions</u></b>	<b><u>Ordinance Requirements</u></b>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>	2,593	2,926	MAX 3787.5	(max.)
<b><u>LOT AREA:</u></b>	5050	N/A	N/A	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>	0.75	0.75	0.75	
<b><u>LOT AREA OF EACH DWELLING UNIT</u></b>	N/A	N/A	N/A	
<b><u>SIZE OF LOT:</u></b>				
WIDTH	50.5	N/A	N/A	
DEPTH	100.0	N/A	N/A	
<b><u>SETBACKS IN FEET:</u></b>				
FRONT	20.9	N/A	20	
REAR	33.9	N/A	20	
LEFT SIDE	2.8	7.5	7.5	
RIGHT SIDE	10.5	N/A	10	
<b><u>SIZE OF BUILDING:</u></b>				
HEIGHT	32.5	27.5	35	
WIDTH	44.2	N/A	68	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>	35%	N/A	30%	
<b><u>NO. OF DWELLING UNITS:</u></b>	1	N/A	N/A	
<b><u>NO. OF PARKING SPACES:</u></b>	2	2	N/A	
<b><u>NO. OF LOADING AREAS:</u></b>	N/A	N/A	N/A	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

## **Pacheco, Maria**

---

**From:** Frank Gibson <frankgibson33@aol.com>  
**Sent:** Monday, June 7, 2021 8:51 AM  
**To:** Pacheco, Maria  
**Subject:** Concern regarding the deck roof@ 39 Hubbard Ave.

The architect (S,Khan) has not provided data relating to the structural integrity of the proposed deck roof or the testing of his ideas. In particular ,his design does not allow access for snow removal which becomes hazardous in havy snow or high wind conditions .I also believe the structure should have independent footing and not be supported or anchored to the framing of the kitchen.

I have not seen a covered deck in this area as the one proposed.

Finally the architect has never discussed these matters with me; only briefly with my wife, who is a medical doctor.

Respectfully,

Frank Gibson



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

### BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Sayem Khan (Print) Date: 06/03/2021

Address: 39 Hubbard Ave

Case No. BZA-119365

Hearing Date: 6/24/21

Thank you,  
Bza Members

1. BIDDERS SHALL BE A GENERAL CONTRACTOR LICENSED TO PRACTICE IN THE STATE OF MA. ALL SUBCONTRACTORS SHALL BE SIMILARLY LICENSED, IN THEIR RESPECTIVE TRADES.

3. THE CONTRACTOR(S) SHALL OBTAIN AND PAY FOR ALL FEES, TAXES, AND PERMITS AS REQUIRED BY THE SCOPE OF WORK OUTLINED IN THE CONSTRUCTION DOCUMENTS. THE BUILDING PERMIT FEE WILL BE REIMBURSED BY THE OWNER.

5. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER, BY QUALIFIED TRADESMEN AND MECHANICS SPECIALIZING IN THE TRADES REQUIRED. ALL MATERIALS AND EQUIPMENT EMPLOYED SHALL COMPLY WITH AND BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE.

7. ALL MODIFICATIONS REQUIRING ADDITIONAL TECHNICAL INFORMATION SHALL BE PRESENTED TO THE OWNER AND ARCHITECT BEFORE PROCEEDING.

8. ALL CLAIMS FOR ADDITIONAL COSTS AND CHANGE ORDERS SHALL BE SUBMITTED IN A TIMELY FASHION, AND IN WRITING. THE APPROVAL OF THE OWNER SHALL BE OBTAINED IN WRITING, PRIOR TO PROCEEDING WITH SAID WORK.

10. COMPLETE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO: SITE SECURITY, SITE OFFICE(S), TEMPORARY TOILETS, TEMPORARY POWER/LIGHTS, COMPLETE DEMOLITION REQUIRED FOR NEW WORK TO PROCEED, TEMPORARY EQUIPMENT, HOISTING, SCAFFOLDING, DUMPSTERS AND DEBRIS REMOVAL, ETC.

11. THE OWNER MAY ELECT TO FURNISH ELECTRICITY AND WATER REQUIRED DURING THE CONSTRUCTION PERIOD AT NO COST TO THE CONTRACTOR. CONTRACTOR TO VERIFY WITH OWNER.

13. CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.

15. UNLESS INDICATED OTHERWISE, ALL MATERIAL FURNISHED AND INCORPORATED INTO THE WORK SHALL BE NEW, UNUSED AND OF QUALITY STANDARD TO THE INDUSTRY FOR FIRST CLASS WORK OF SIMILAR NATURE AND CHARACTER. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARD OF CARE OF ALL TRADES INVOLVED.

16. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.

@	AT
ACT.	ACOUSTIC CEILING TILE
ALUM.	ALUMINUM
ASL.	ABOVE SEA LEVEL
BD.	BOARD
BLDG.	BUILDING
BLK'G.	BLOCKING
C.I.	CAST IRON
CLG.	CEILING
CONT.	CONTINUOUS
COORD.	COORDINATE
EXIST.	EXISTING
EXP.	EXPANSION
EXT.	EXTERIOR
FLASH'G.	FLASHING
FRP.	FIBERGLASS REINFORCED

MAX.	PAINTED
PWD.	PLYWOOD
R.D.	ROOF DRAIN
REQ./REQ'D	REQUIRED
R.C.P.	REFLECTED CEILING PLAN
R.O.	ROUGH OPENING
STL.	STEEL
SF.	SQUARE FEET
T.O.	TOP OF
TYP.	TYPICAL
V.B.	VAPOR BARRIER
V.P.	VAPOR PERMEABLE
VERT.	VERTICAL
V/F.	VERIFY IN THE FIELD
WD.	WOOD
W/I	WITH

	REFERENCE NUMBER <b>BUILDING SECTION</b> DRAWING SHEET _____
	REFERENCE NUMBER <b>DETAIL</b> _____ DRAWING SHEET _____
	REFERENCE NUMBER <b>DRAWING</b> _____ DRAWING SHEET _____
	REFERENCE NUMBER <b>INTERIOR ELEVATION</b> DRAWING SHEET _____
	REFERENCE NUMBER <b>EXTERIOR ELEVATION</b> DRAWING SHEET _____
	NORTH ARROW
	WINDOW TAG
	DOOR TAG
	WALL TYPE TAG
	APPLIANCE TAG
	REVISION TAG
	CENTER LINE
	WHEELCHAIR TURNING AREA
	WHEELCHAIR CLEAR FLOOR SPACE

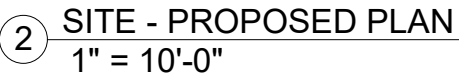
## A photograph of a two-story brown house with a balcony, surrounded by trees and a lawn. A yellow tarp is on the grass in the foreground.



### 1 PERSPECTIVE VIEW

ZONING	CITY OF CAMBRIDGE DISTRICT: C-1 SINGLE FAMILY DETACHED DWELLING
BUILDING	781 CMR: MASSACHUSETTS BUILDING CODE (9TH EDITION)

A0.0 COVER SHEET	01/29/21
A1.0 EXISTING + DEMOLITION DRAWINGS	01/29/21
A2.0 PROPOSED LEVEL PLANS	01/29/21
A2.1 PROPOSED ELEVATIONS	01/29/21
A2.2 PROPOSED SECTIONS - 1	01/29/21
A2.3 PROPOSED SECTIONS - 2	01/29/21
A2.4 DETAILS	01/29/21
A3.0 INTERIOR VIEW	01/29/21
E1.0 ELECTRICAL DIAGRAM	01/29/21
S1.1 PROPOSED FRAMING PLAN	01/29/21
S1.2 PROPOSED FRAMING PLANS & NOTES	01/29/21
S2.1 ELEVATIONS	01/29/21
S2.2 ELEVATION	01/29/21



www.sayemkhan.com  
sk@sayemkhan.com  
M:617.229.9736

**39 HUBBARD AVE,  
CAMBRIDGE, MA 02140**

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



# PERMIT SET

REVISED  
JULY 26, 2021

[illegible]

## COVER SHEET

Date	01.29.2021
Drawn by	Author
Checked by	Checker

# A0.0

Scale	As indicated
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**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



AD Rom

## PERMIT SET

REVISED  
JULY 26, 2021

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# EXISTING & PROPOSED PLOT PLAN

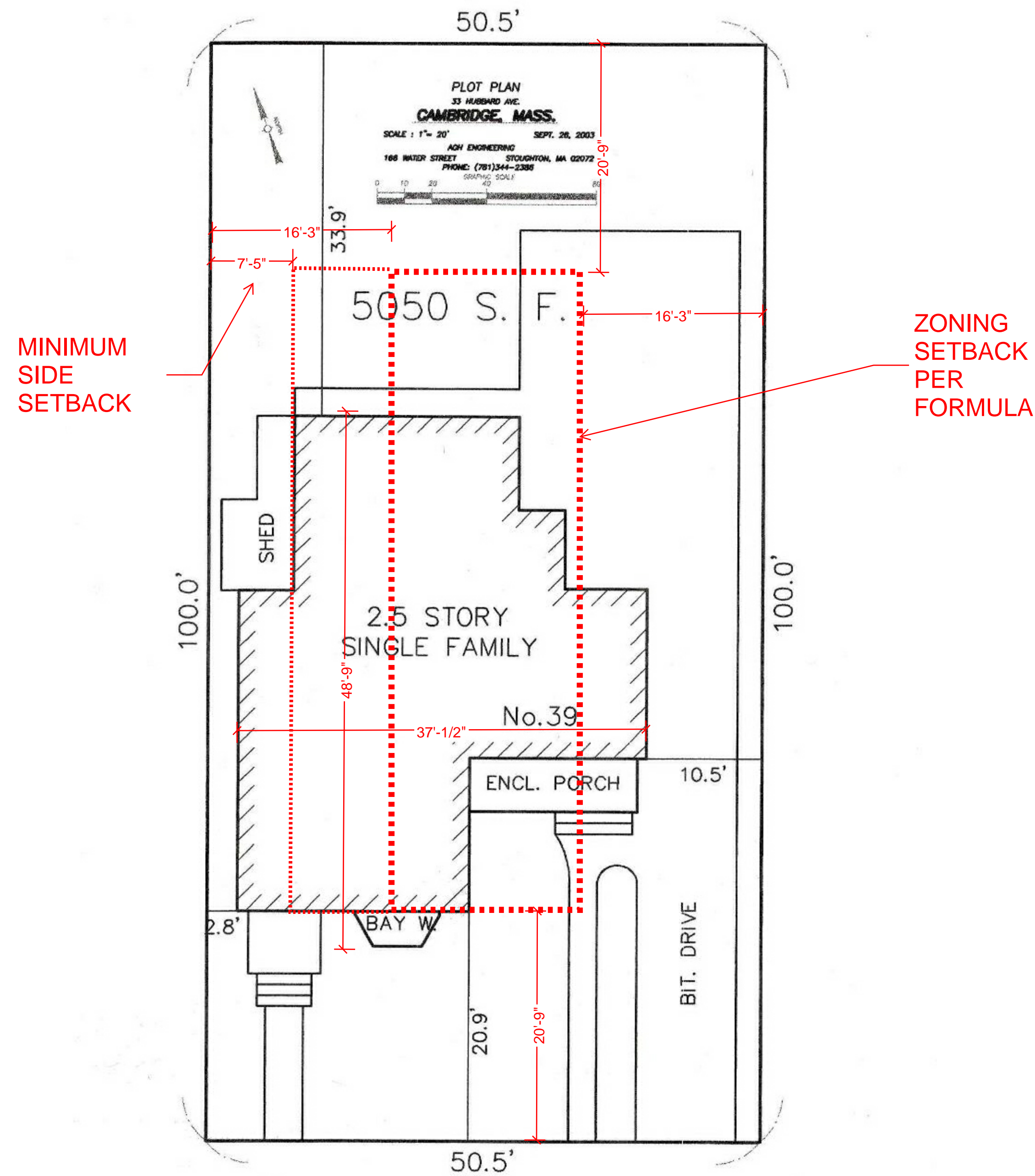
Date	05.12.2021
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Drawn by	Author
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Checked by	Checker
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## A 0.1

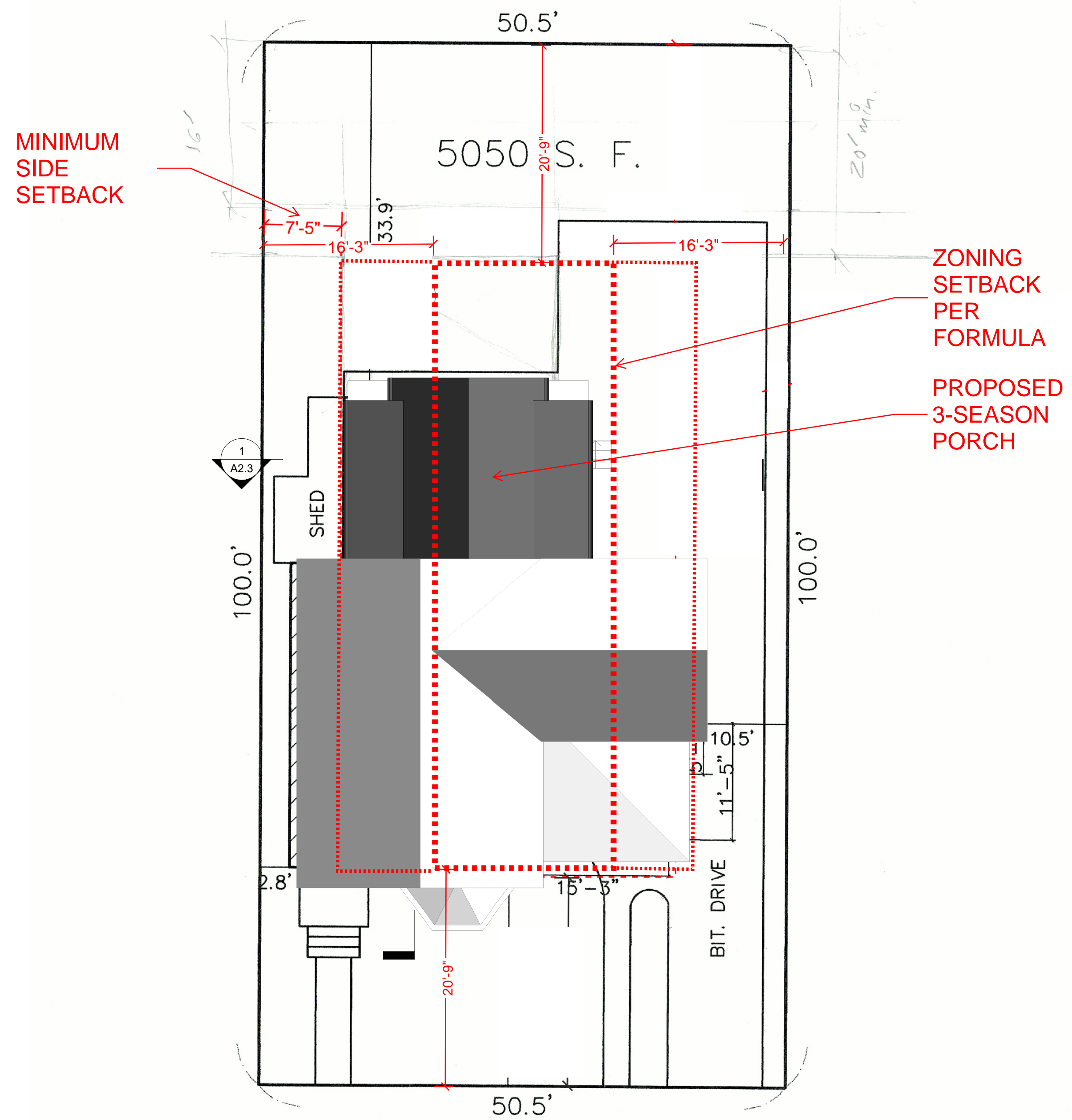
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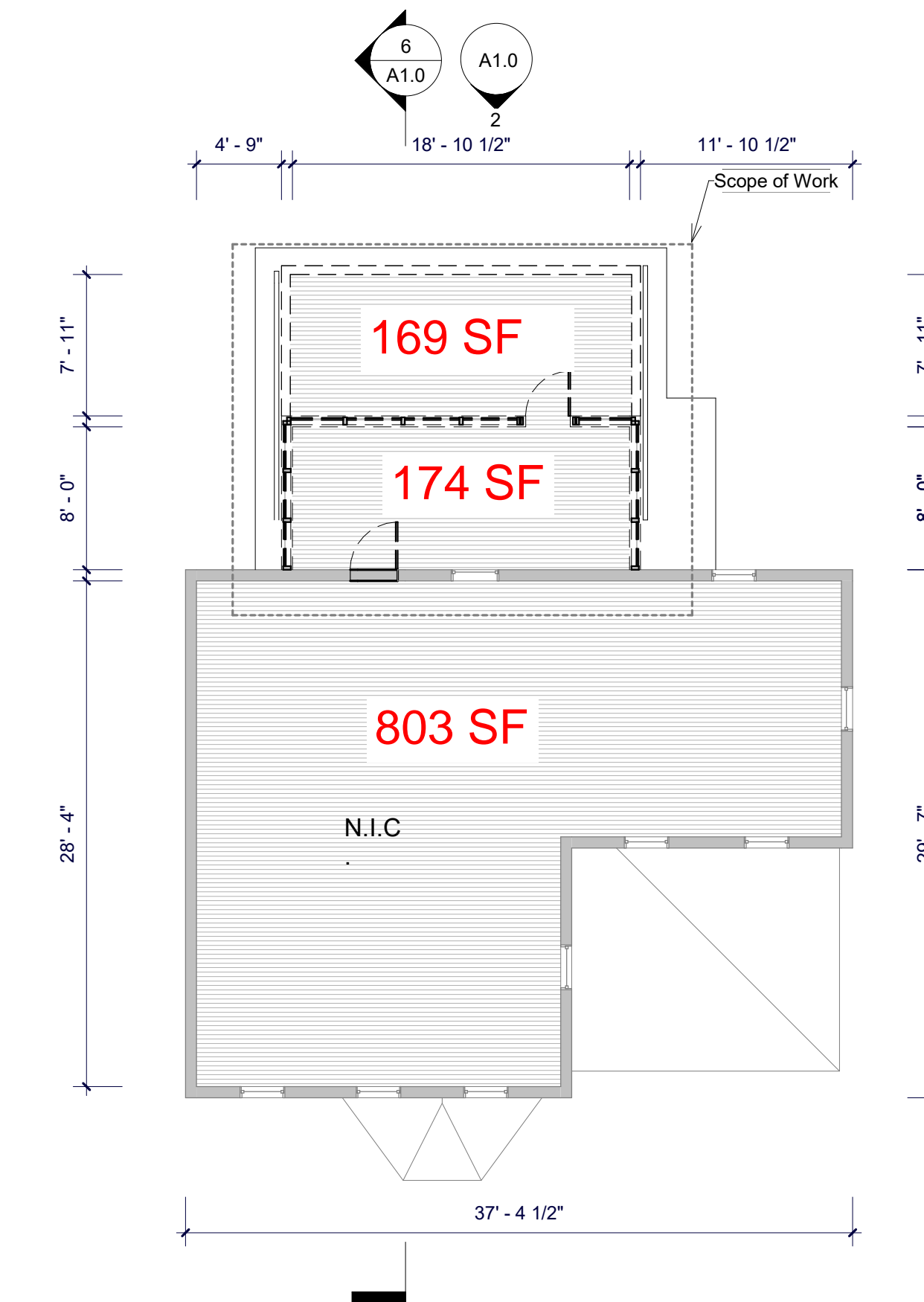
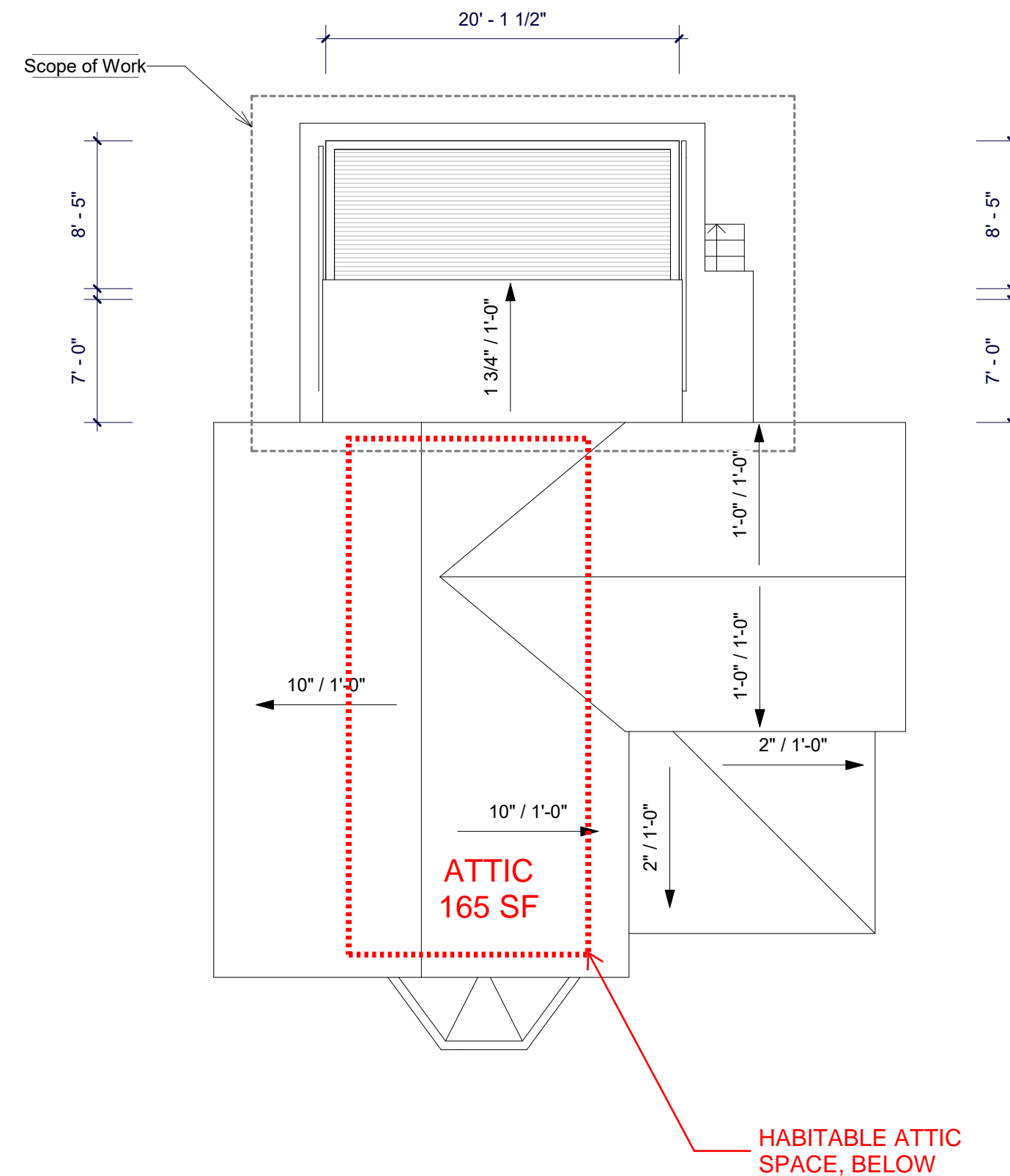
### EXISTING PLOT PLAN

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

Antonio Gregorio



## PROPOSED PLOT PLAN



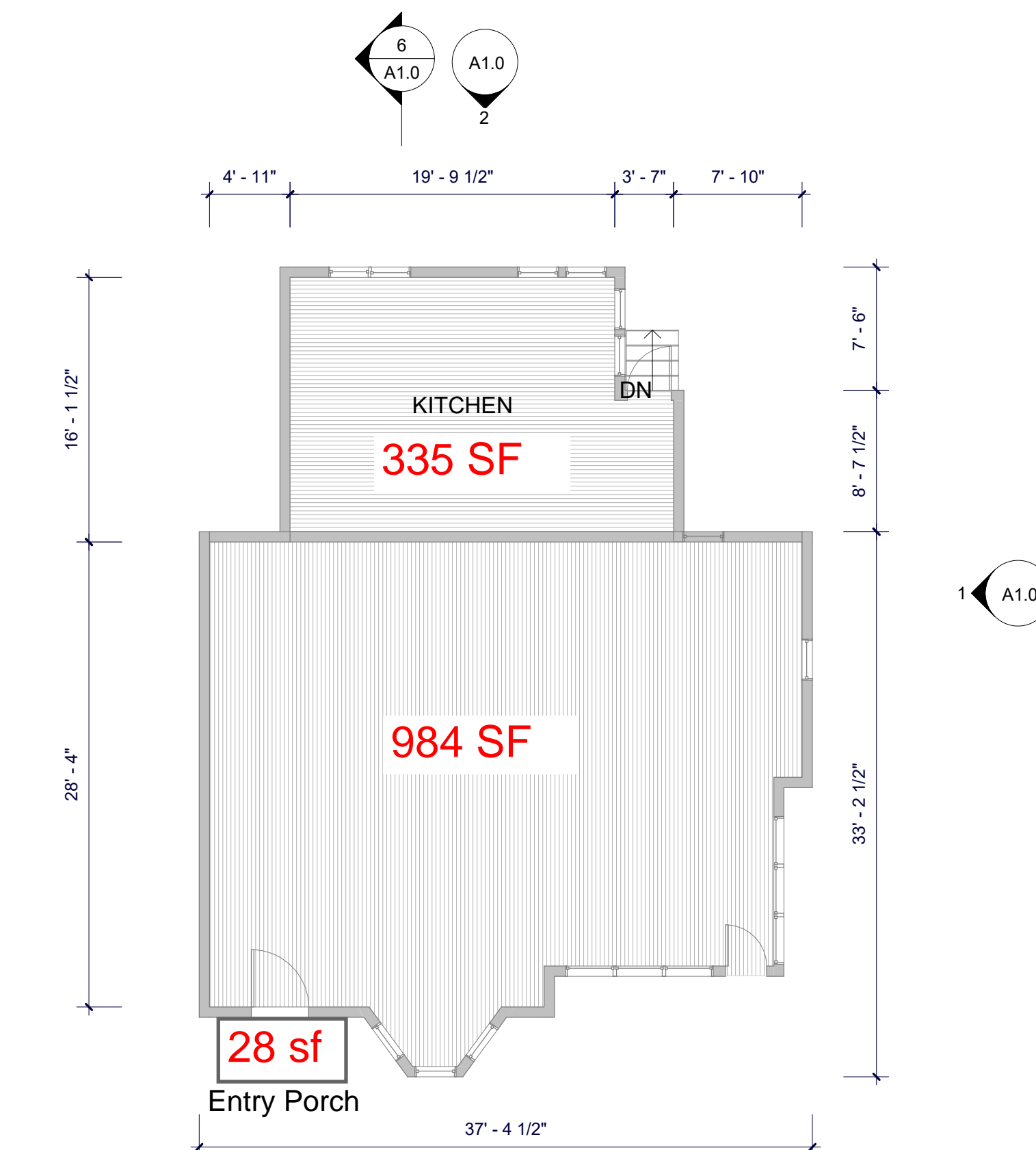
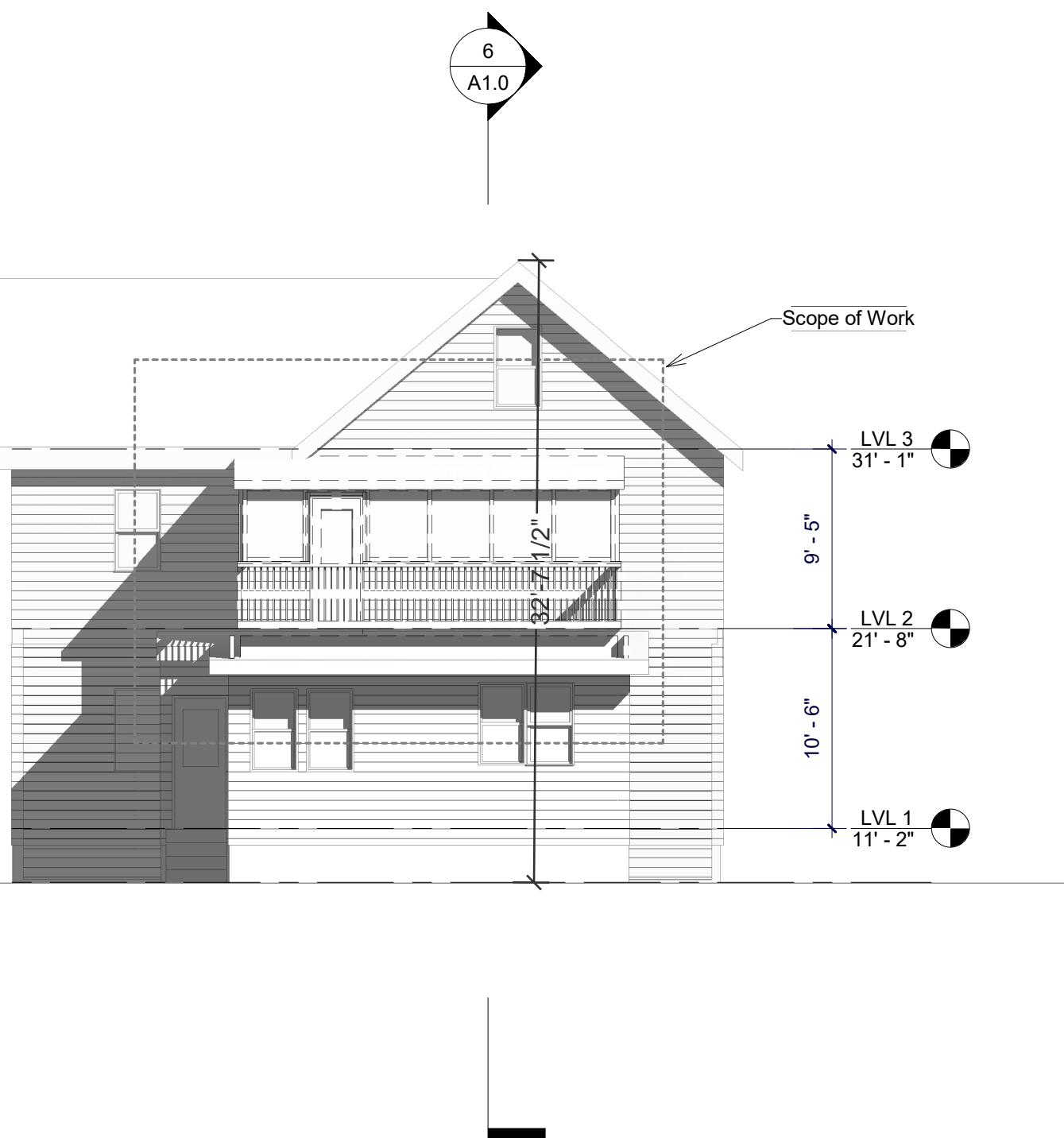
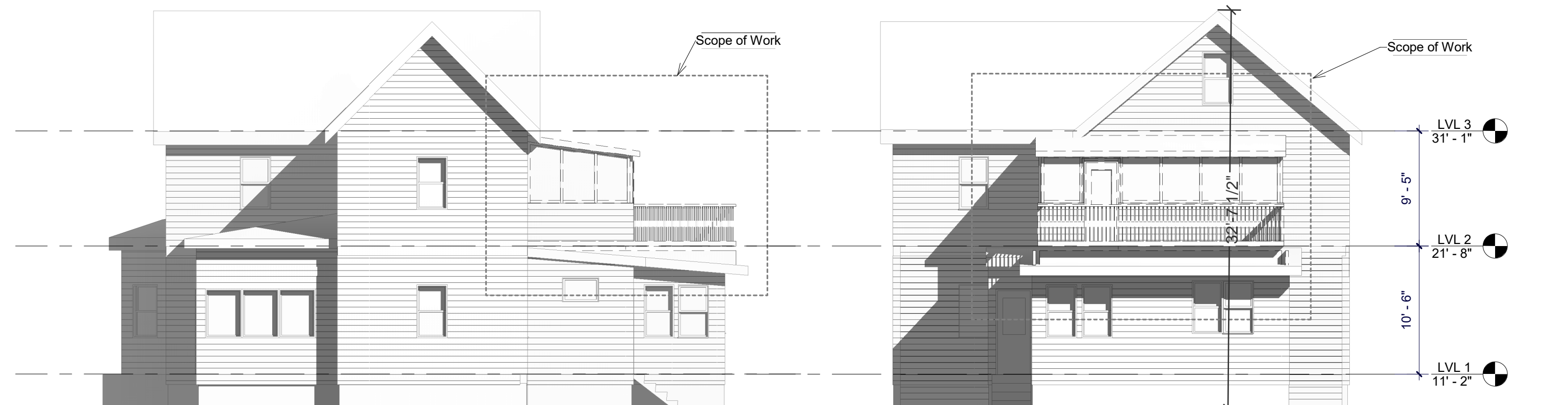
**SHEET NOTES:**  
1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.  
2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.

LEGEND:  
DEMOLITION  
EXISTING

EXISTING  
GROSS SQFT

LEVEL 1:	1,347
LEVEL 2:	803
PORCH	
ENCLOSED:	174
ATTIC:	165
TOTAL:	2,489

PORCH OPEN: 169



# SAY E M K H A N

www.sayemkhan.work  
sk@sayemkhan.work  
M:617.229.9736

# GIBSON RESIDENCE - 3 SEASON PORCH ADDITION

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

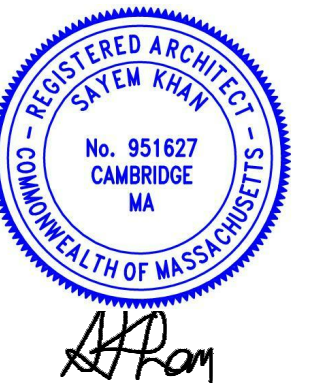
STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520

[illegible]

## EXISTING + DEMOLITION DRAWINGS

## A1.0

Scale	As indicated
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① LEVEL 2 - PROPOSED PLAN  
1/4" = 1'-0"

LEVEL 1:	1,347
LEVEL 2:	803
PORCH	
ENCLOSED:	343
ATTIC:	165
TOTAL:	2,658

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

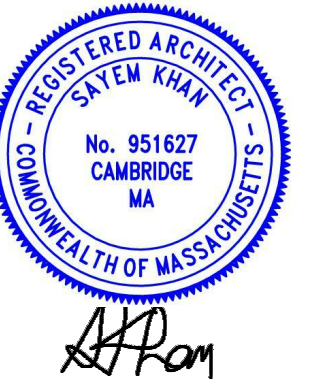
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MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



# PERMIT SET

REVISED  
JULY 26, 2021

[illegible]

# PROPOSED ELEVATIONS

Date	01.29.2021
Drawn by	Author
Checked by	Checker

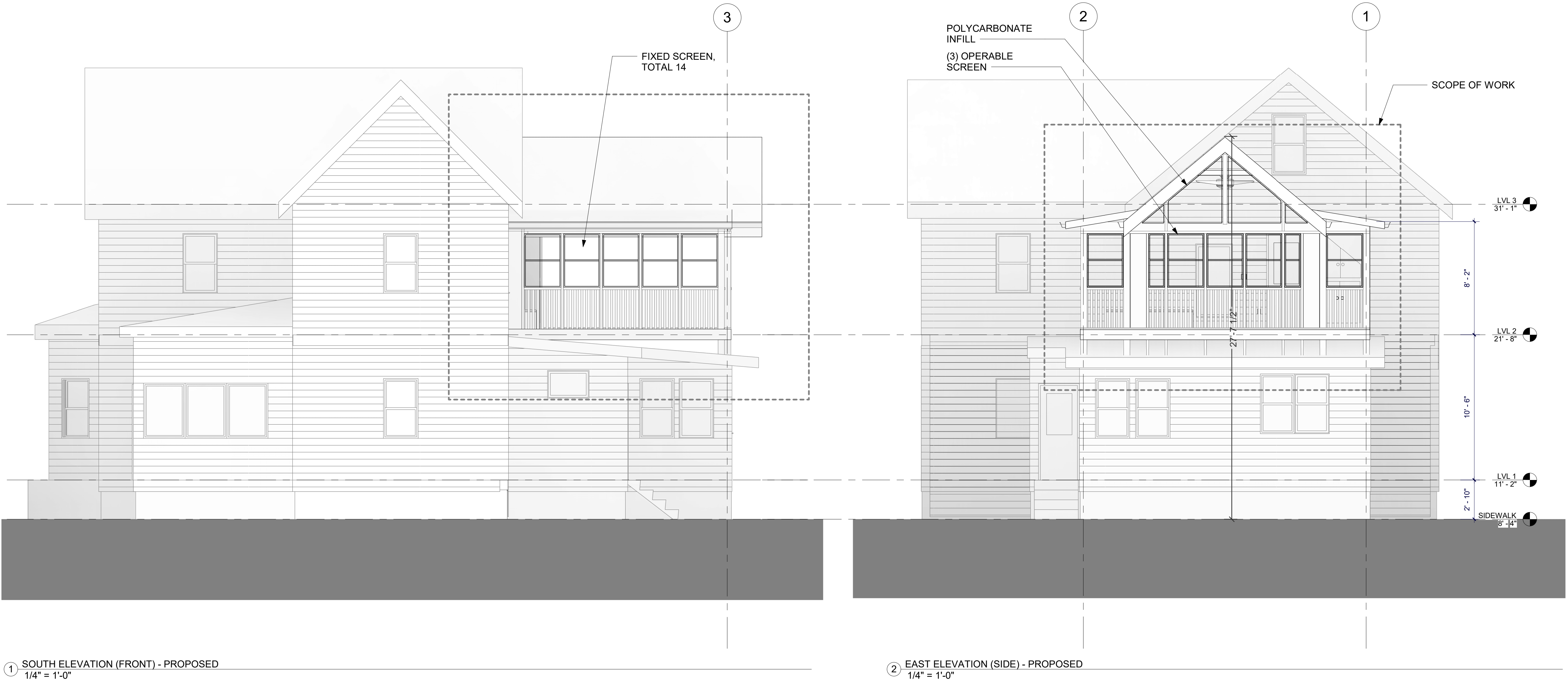
## A2.1

Scale  $1/4" = 1'-0"$

**SHEET NOTES:**

**1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.**

**2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.**



**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

**39 HUBBARD AVE,  
CAMBRIDGE, MA 02140**

OWNER:

TONI CLEAVER -  
GIBSON

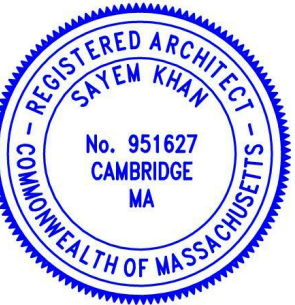
STRUCTURAL ENGINEER:

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WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



ADam

# PERMIT SET

REVISED  
JULY 26, 2021

[illegible]

## PROPOSED SECTIONS - 1

Date 01.29.2021

Drawn by	Author
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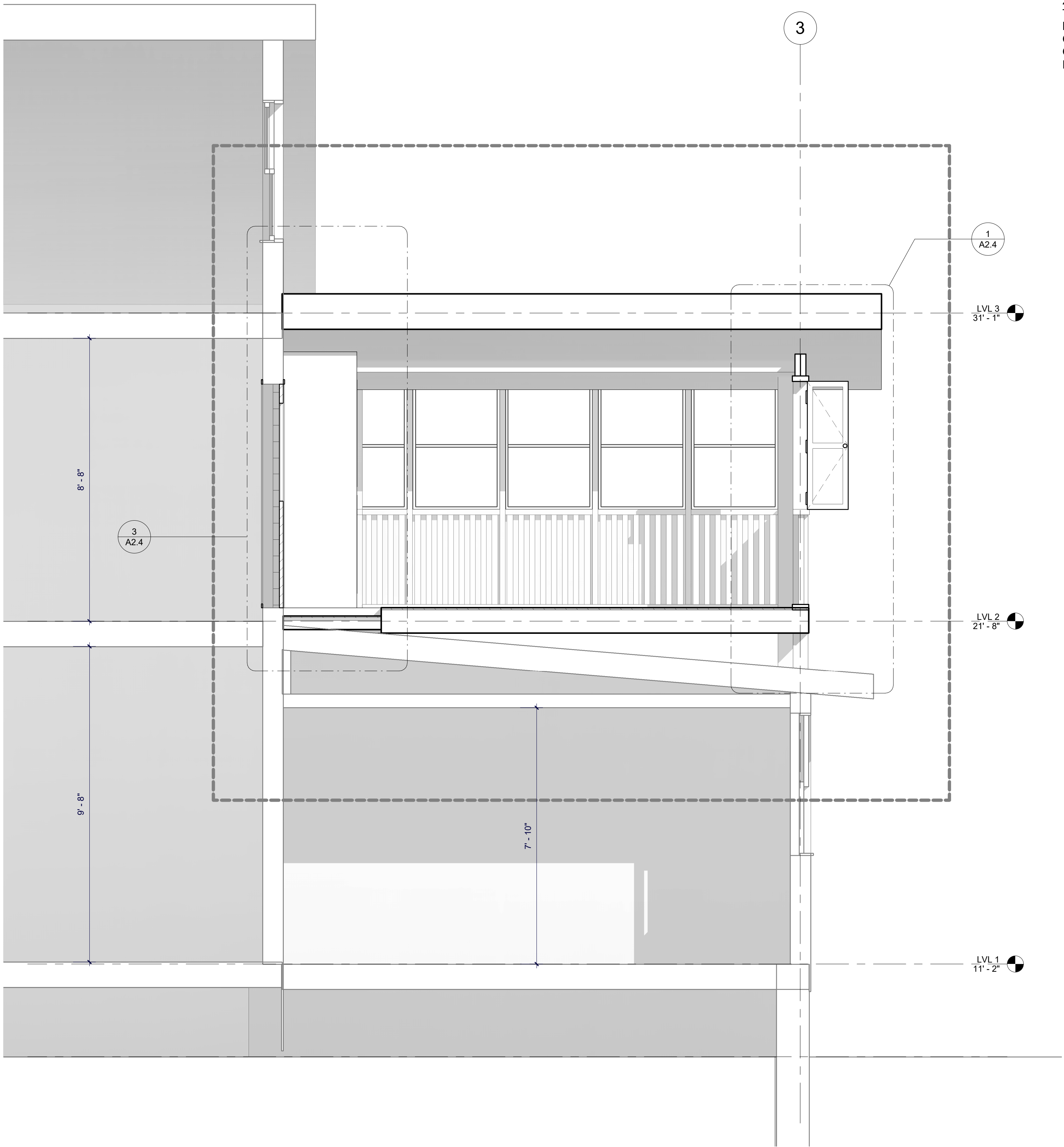
Checked by	Checker
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## A2.2

Scale	As indicated
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SHEET NOTES:

1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.



1 PROPOSED NORTH-SOUTH SECTION  
1/2" = 1'-0"

**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

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25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



AD Rom

## PERMIT SET

REVISED  
JULY 26, 2021

[illegible]

## PROPOSED SECTIONS - 2

Date	01.29.2021
Drawn by	Author
Checked by	Checker

## A2.3

Scale	As indicated
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SHEET NOTES:

1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.

① PROPOSED EAST-WEST SECTION  
1/2" = 1'-0"

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

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WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

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(617) 710-7520



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# PERMIT SET

REVISÉ

JULY 26, 2021

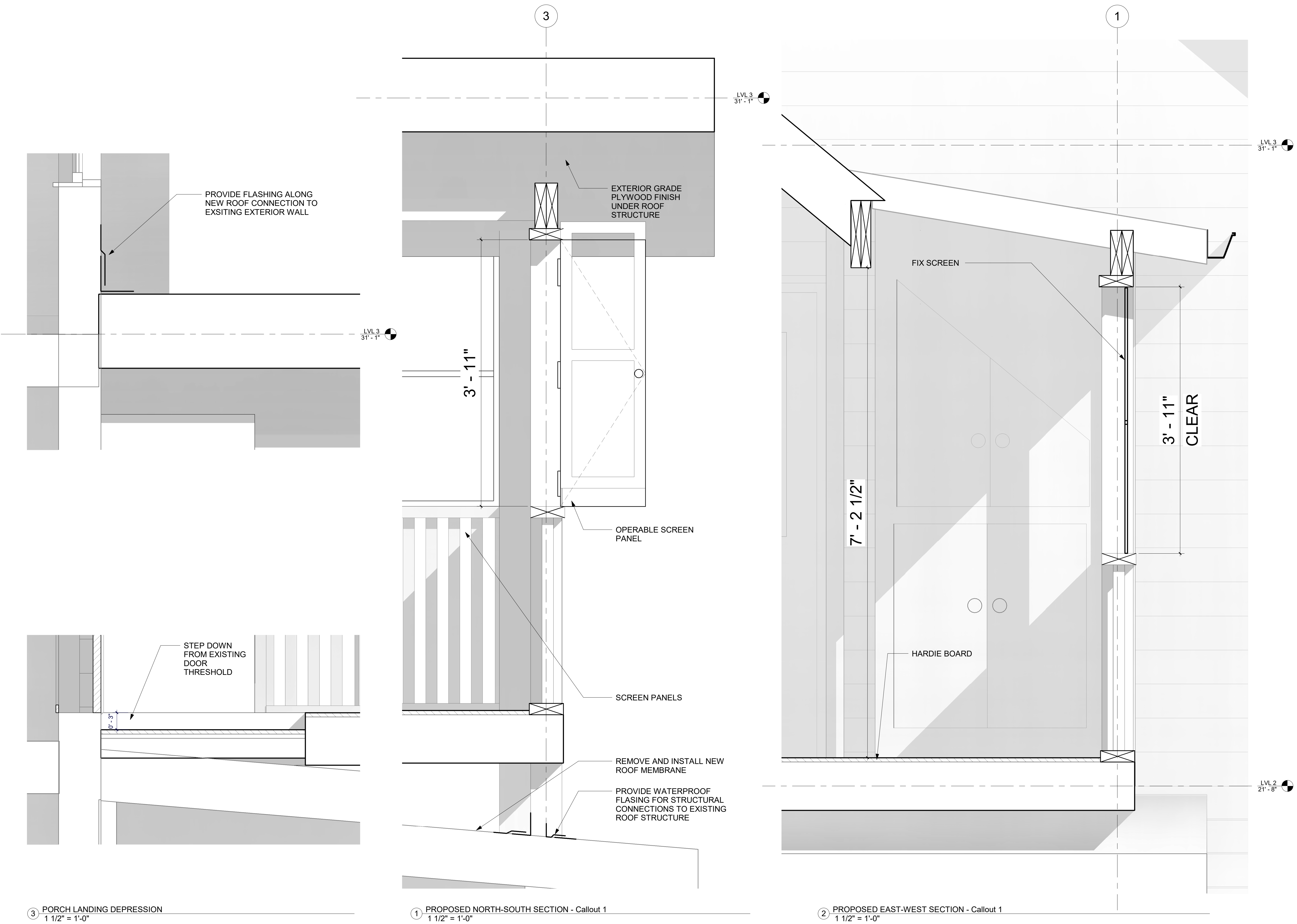
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## DETAILS

Date	01.29.2021
Drawn by	Author
Checked by	Checker

## A2.4

Scale  $1\frac{1}{2}'' = 1'-0''$



③ PORCH LANDING DEPRESSION  
1 1/2" = 1'-0"

1 PROPOSED NORTH-SOUTH SECTION - Callout 1  
1 1/2" = 1'-0"

2 PROPOSED EAST-WEST SECTION - Callout 1  
1 1/2" = 1'-0"

**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

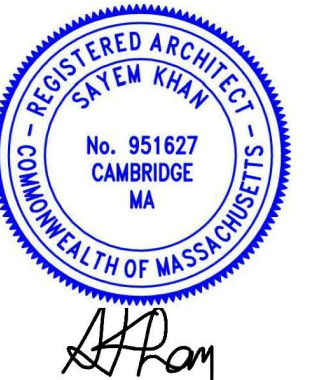
STRUCTURAL ENGINEER:

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WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



# PERMIT SET

REVISED  
JULY 28, 2021

[illegible]

## INTERIOR VIEW

Date	01.29.2021
Drawn by	Author
Checked by	Checker

## A3.0

Scale

# GIBSON RESIDENCE - 3 SEASON PORCH ADDITION

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



APR

# PERMIT SET

REVISED  
JULY 26, 2021

[illegible]

# ELECTRICAL DIAGRAM

Date 01.29.2021

Drawn by \_\_\_\_\_ Author \_\_\_\_\_

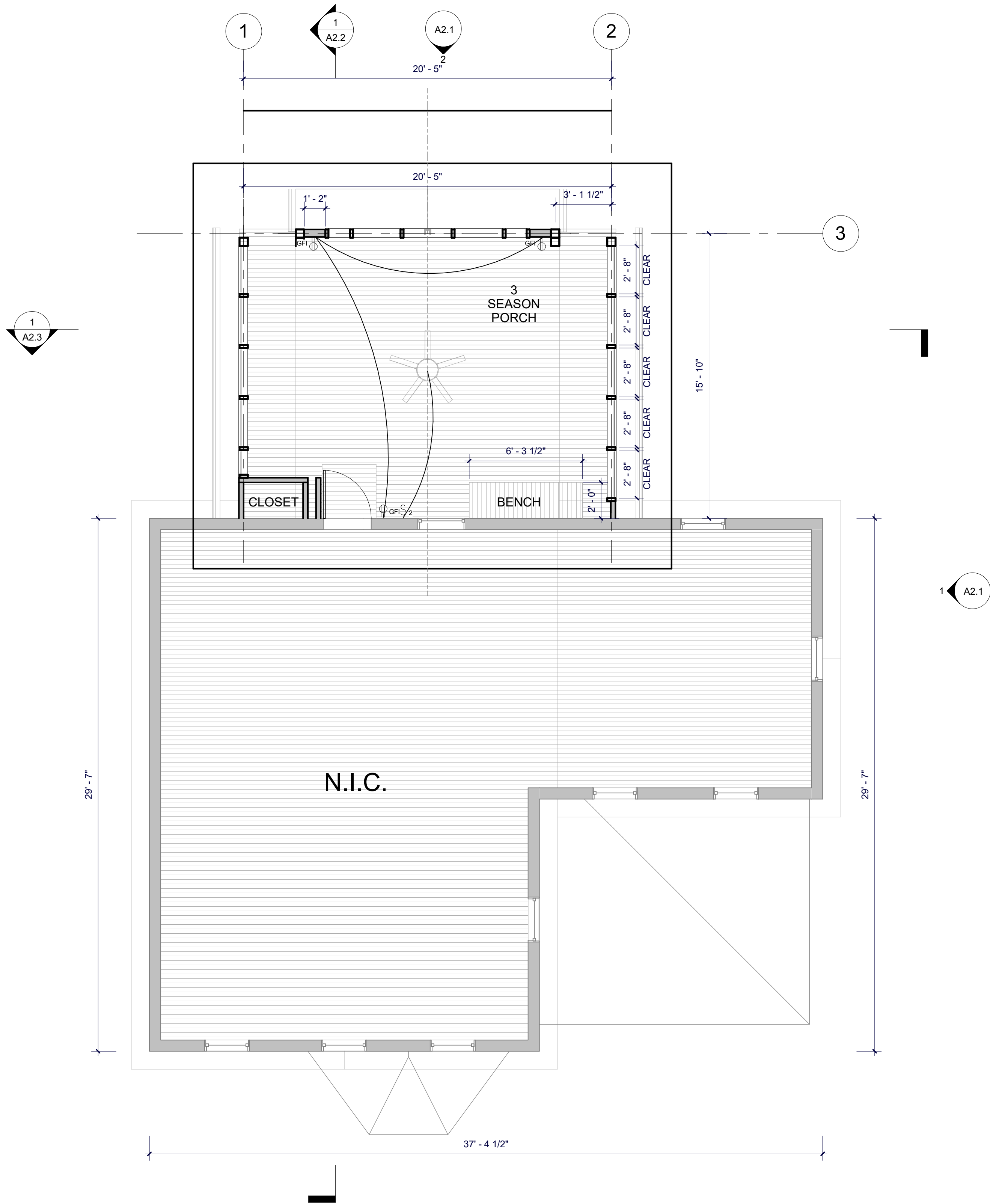
Checked by \_\_\_\_\_ Checker \_\_\_\_\_

# E1.0

Scale  $1/4" = 1'-0"$

**SHEET NOTES:**

1. ALL PROPOSED DIMENSIONS ARE FINISH TO FINISH.
2. ALL EXISTING AND PROPOSED DIMENSIONS ARE TO BE FIELD VARIFIED BEFORE COMMCEING CONSTRUCTION.
3. ALL CEILING HEIGHTS MUST MAINTAIN A MINIMUM OF 7'-6"
4. ALL WORK MUST COMPLY TO MA BUILDING CODE.



GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

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WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

CRJ ENTERPEISE  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520

PERMIT SET

01.29.2021



PROPOSED  
FRAMING PLANS

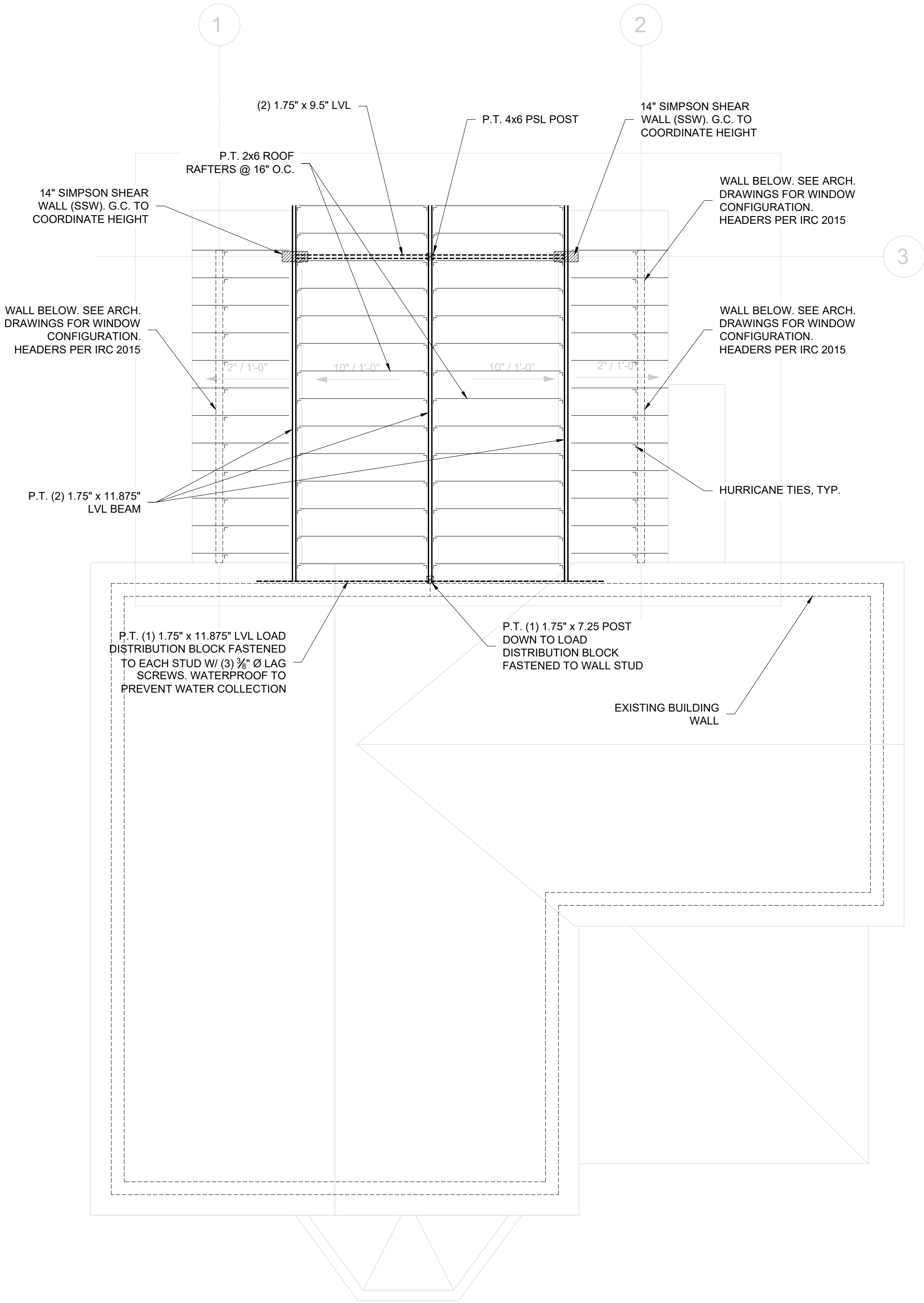
Date 01/23/2021

Drawn by PK

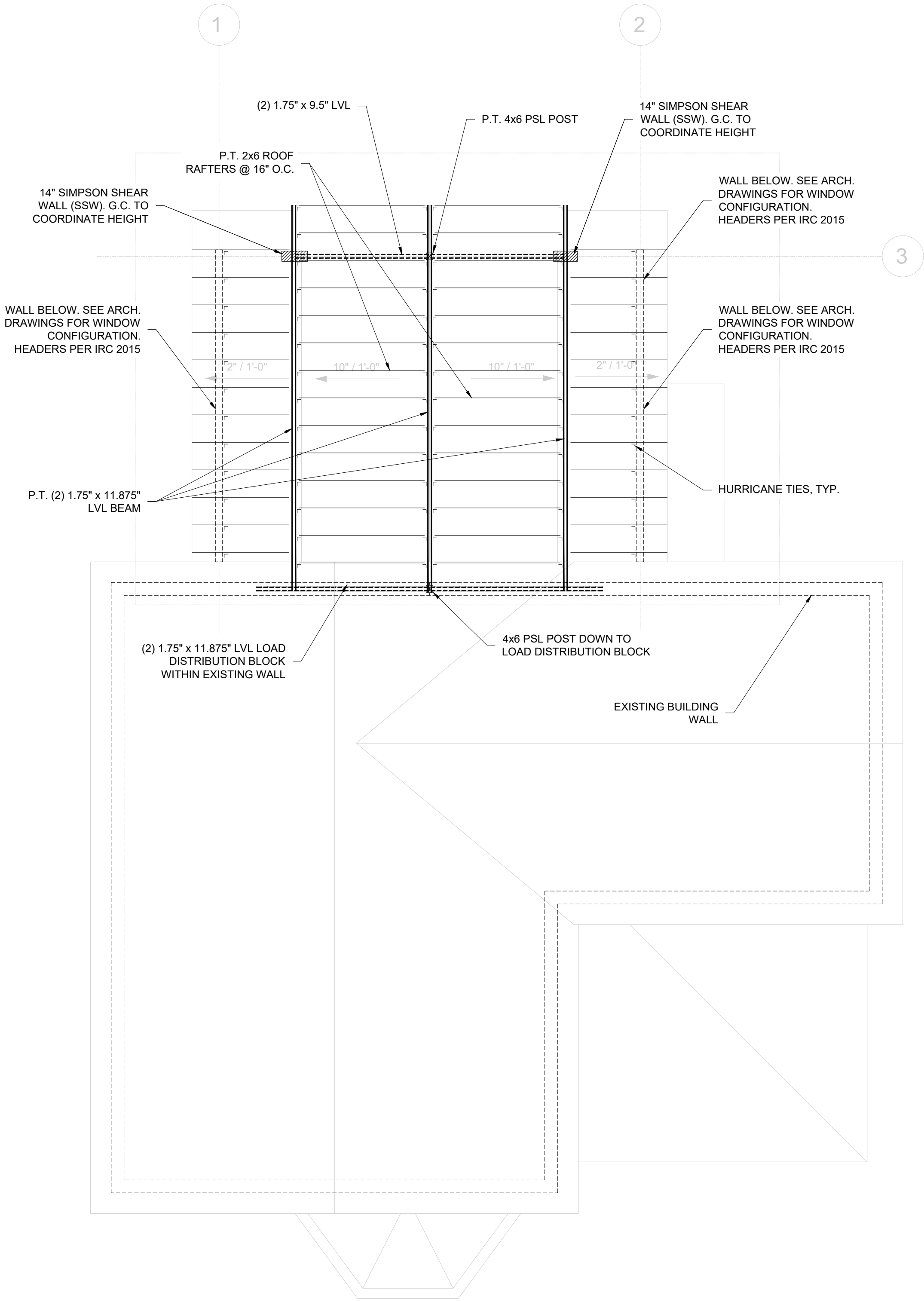
Checked by SB

S1.1

Scale 1/4" = 1'-0"



① ROOF FRAMING - OPTION A  
1/4" = 1'-0"



② ROOF FRAMING - OPTION B  
1/4" = 1'-0"

**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

**39 HUBBARD AVE,  
CAMBRIDGE, MA 02140**

OWNER:

**TONI CLEAVER -  
GIBSON**

STRUCTURAL ENGINEER:

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25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520

**PERMIT SET**

**01.29.2021**



**PROPOSED  
FRAMING PLANS  
& NOTES**

Date 01/23/2021  
Drawn by PK  
Checked by SB

**S1.2**

Scale 1/4" = 1'-0"

**GENERAL NOTES:**

- All work shall conform to Massachusetts Building Code and all Federal, State and Town of Cambridge laws, codes and regulations as each may apply.
- The total liability of Berdi Consulting for any claims arising out of the services performed under this contract shall be limited to a maximum of the net fees received by Berdi Consulting.
- All existing conditions must be verified in field. If discrepancies are found, they have to be reported to the Engineer prior to start of work. Omissions or conflicts between the various elements of the working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
- The contractor shall be responsible for coordinating the scheduling and work of all trades and shall check all dimensions. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
- The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
- The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
- All work shall be performed in a first class and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
- The Contractor shall field verify all existing conditions, utility locations and structure placement, prior to start of the work. The Contractor will observe all possible precautions to avoid damage to same. Any damage to existing structures and utilities, whether shown or not on the drawings, shall be repaired or replaced at the Contractor's expense.
- Prior to bidding the work the Contractor shall visit the site and thoroughly satisfy himself as to the actual conditions and quantities, if any. No claim against the Owner or Engineer will be allowed for any excess or deficiency therein, actual or relative.
- Contractor is responsible for all demolition and relocation works, if any.

**STRUCTURAL NOTES:**

- Contractor shall verify all dimensions.
- All loads and loading conditions are per IRC 2015 (9th Edition of Massachusetts Building Code).
- All members designated as 1.75" x \_\_\_\_" shall be LVL beams.
- All members designated as 2x \_\_\_\_ shall be dimensional lumber.
- All dimensional lumber must be of construction grade or better.
- Provide hurricane ties at roof rafters.
- LVL plies shall be  $F_b = 3100$  psi, PSL's shall be  $F_c = 2650$  psi.
- Miscellaneous steel shall be  $f_y = 36$  ksi.
- LVL plies shall be attached together per manufacturer's recommendations for SIDE loaded assemblies.

**DECK NOTES:**

- Contractor is responsible for all demolition, shoring, and relocation works, if any.
- All wood to be pressure treated, construction grade or better. All connectors to be galvanized.
- Contractor to verify all existing deck members to remain are structurally sound. Replace any damaged members with equivalent size element.
- Deck boards shall be attached to each joist with two nails.

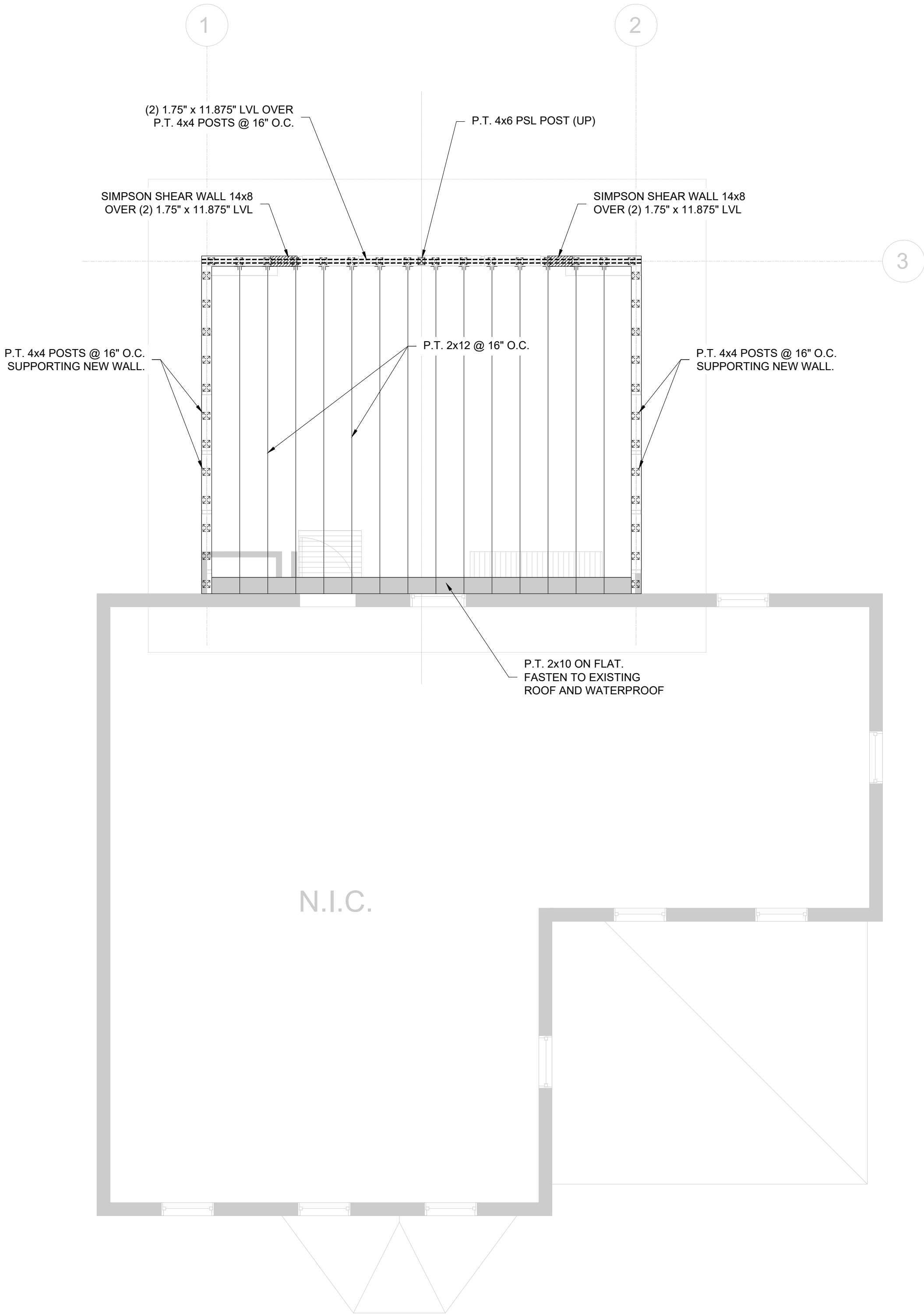
**Fastener Installation Requirements**

Piece Width	Number of Plies	Fastener				Location
		Type <sup>(1)</sup>	Min. Length	# Rows	O.C. Spacing	
1¼"	2	10d nails	3"	3 <sup>(2)</sup>	12"	One side
		12d–16d nails	3¼"	2 <sup>(2)</sup>	12"	
		Screws	3¼" or 3½"	2	24"	
	3	10d nails	3"	3 <sup>(2)</sup>	12"	Both sides
		12d–16d nails	3¼"	2 <sup>(2)</sup>	12"	
		Screws	3¼" or 3½"	2	24"	
	5"	One side				
	4	10d nails <sup>(1)</sup>	3"	3 <sup>(2)</sup>	12"	One side (per ply)
		12d–16d nails <sup>(1)</sup>	3¼"	2 <sup>(2)</sup>	12"	
		Screws	5" or 6"	2	24"	
6¼"	One side					
3½"	2	Screws	5" or 6"	2	24"	Both sides
		6¼"	One side			
		½" bolts	8"	2	24"	—

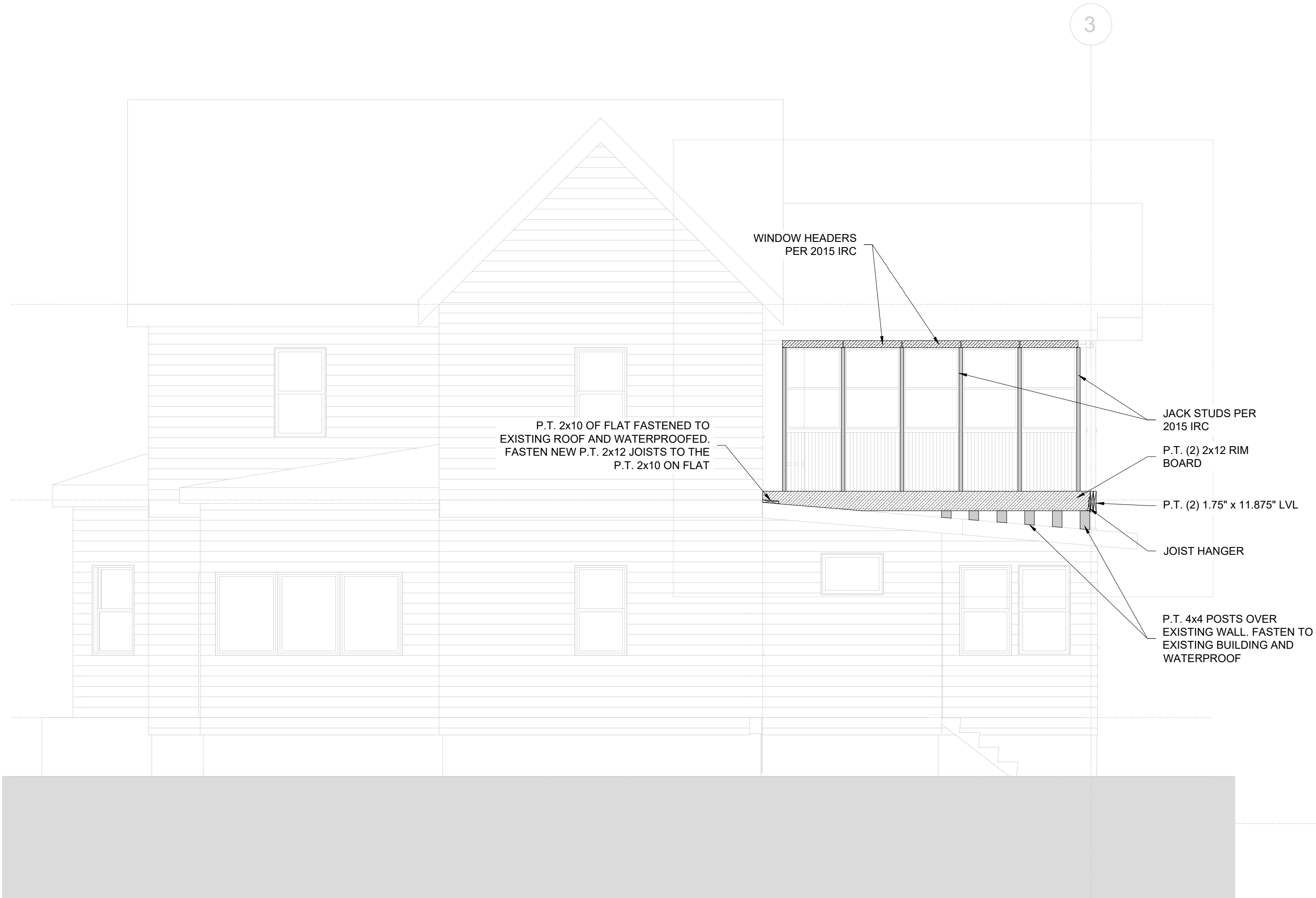
(1) 10d nails are 0.128" diameter; 12d-16d nails are 0.148"-0.162" diameter; screws are SDS, USP WS, TrusslOK-EWP™ or SDW.

(2) An additional row of nails is required with depths of 14" or greater.

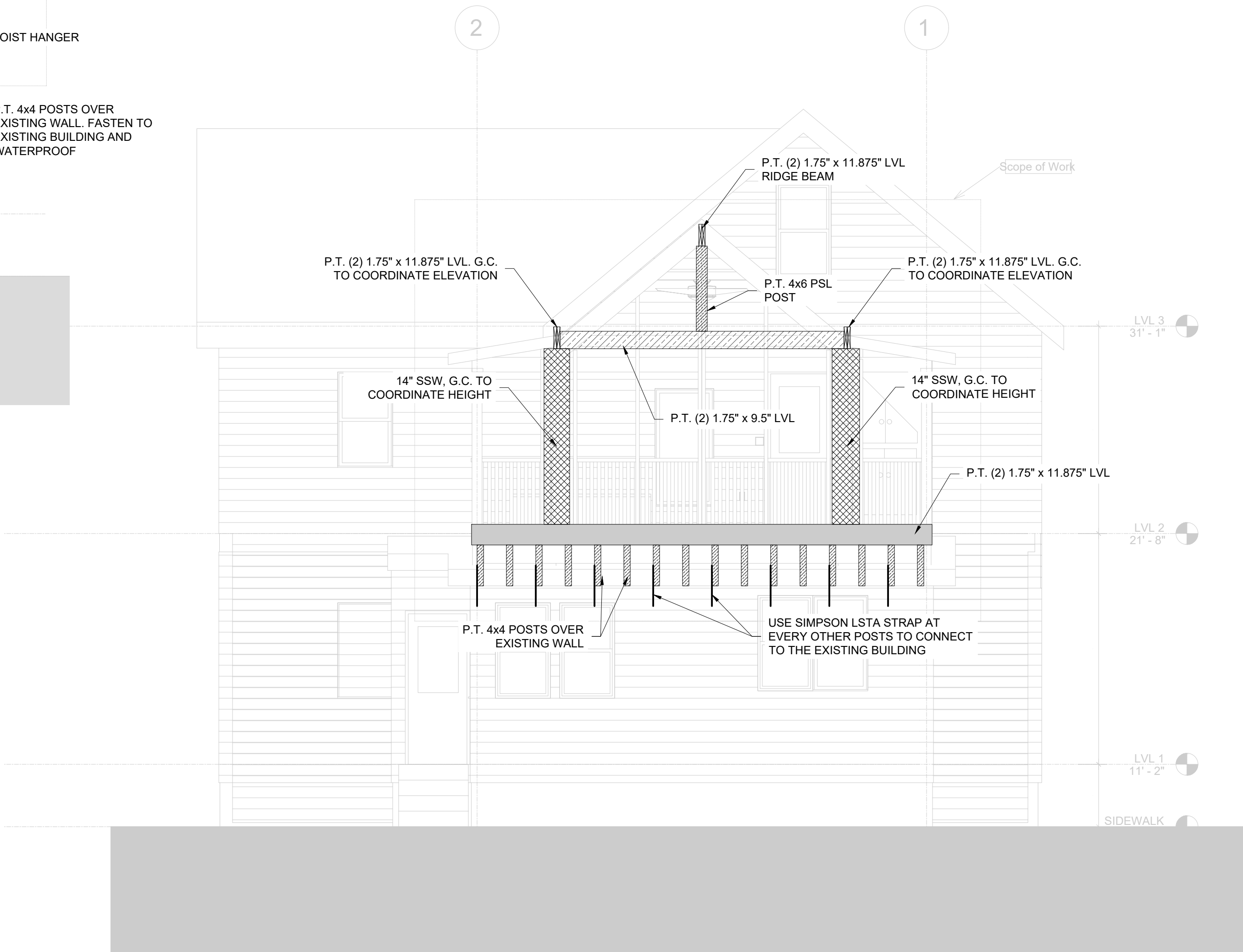
(3) When connecting 4-ply members, nail each ply to the other and offset nail rows by 2" from rows in the ply below.



① DECK FRAMING  
1/4" = 1'-0"



① SIDE ELEVATING  
1/4" = 1'-0"



② REAR ELEVATION  
1/4" = 1'-0"

GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
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TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

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PERMIT SET

01.29.2021



ELEVATIONS

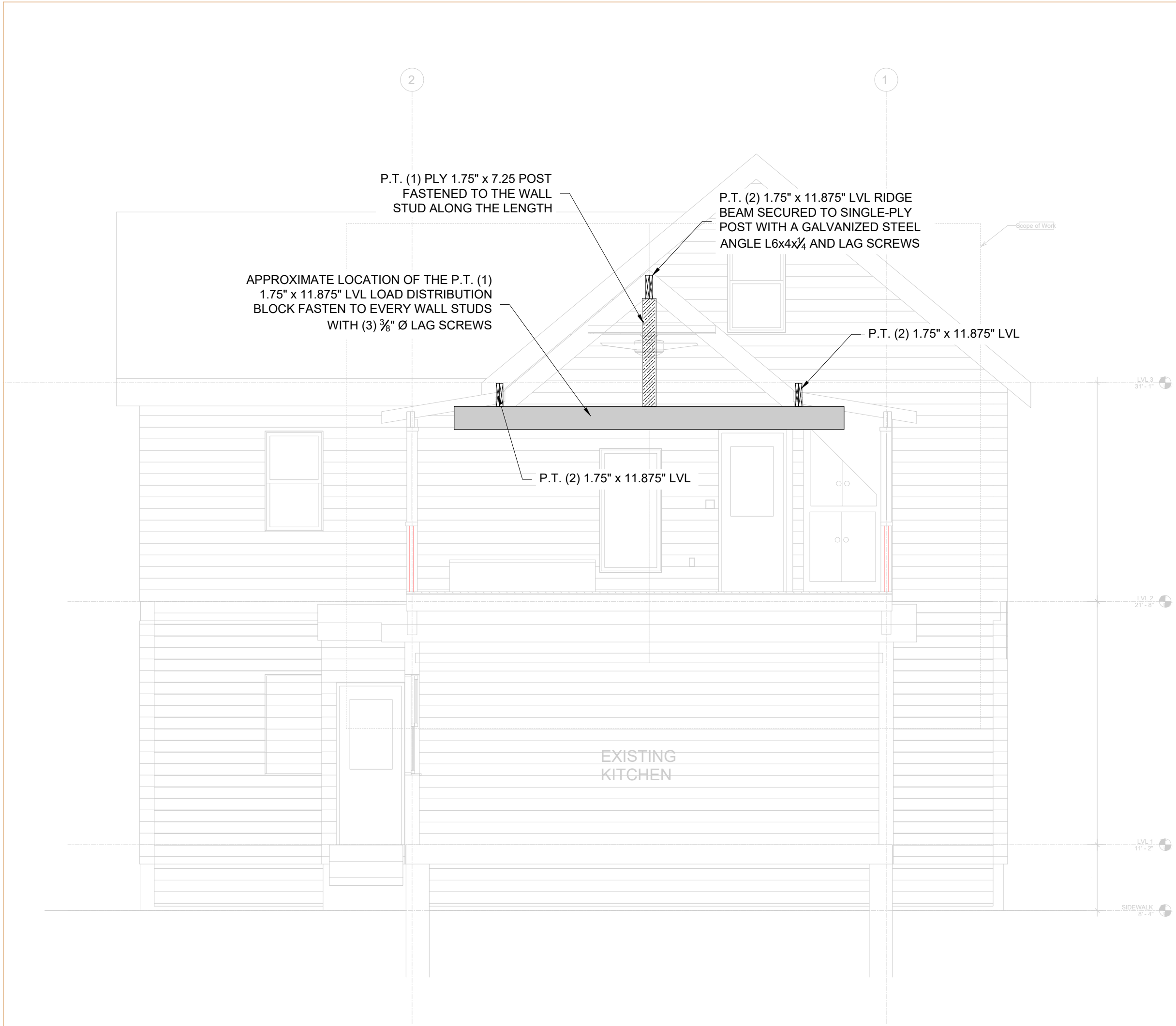
Date 01/23/2021

Drawn by PK

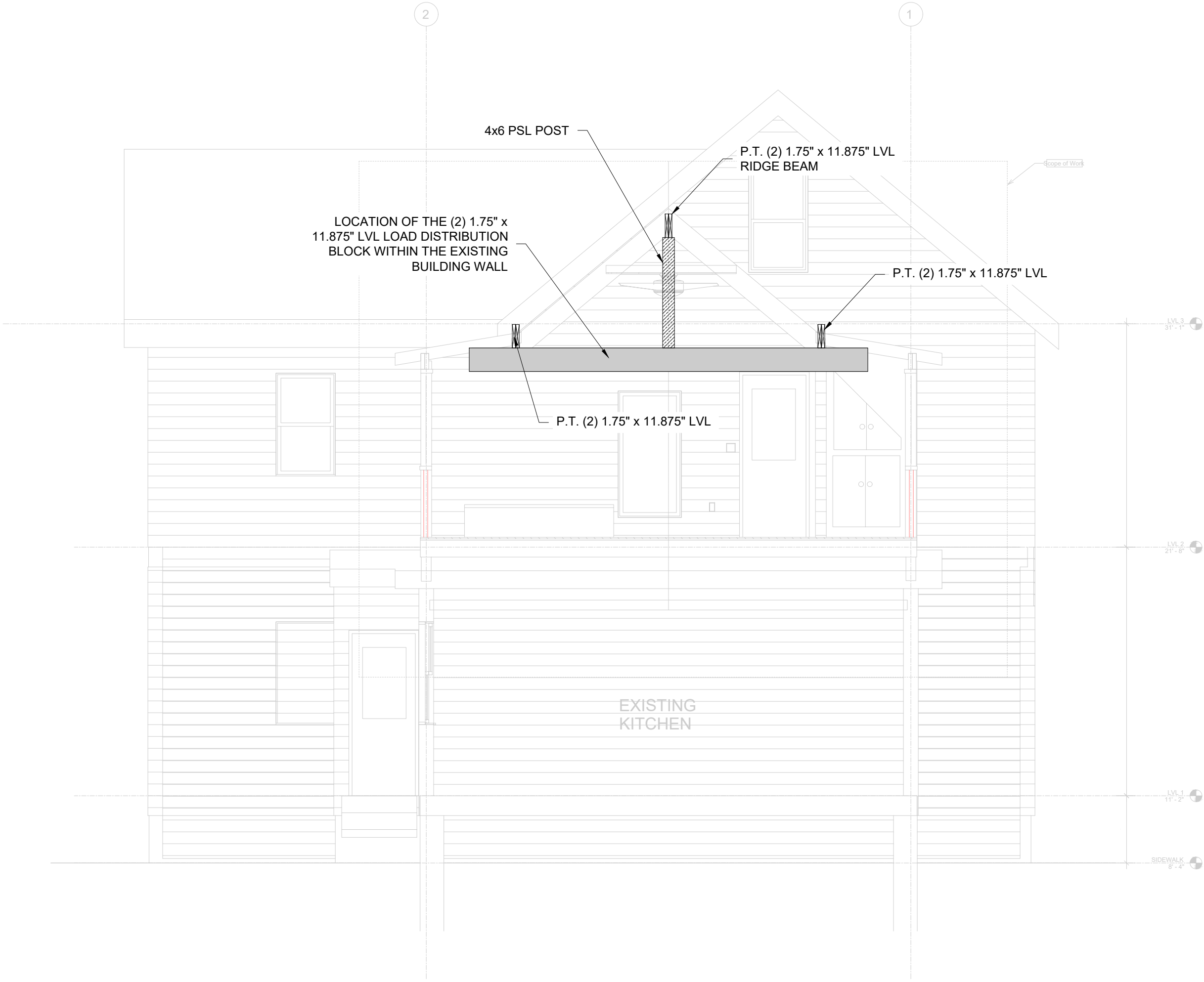
Checked by SB

S2.1

Scale 1/4" = 1'-0"



① LDB LOCATION - OPTION A  
1/4" = 1'-0"



② LDB LOCATION - OPTION B  
1/4" = 1'-0"

GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION

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PERMIT SET

01.29.2021



ELEVATION

Date 01/23/2021

Drawn by PK

Checked by SB

S2.2

Scale 1/4" = 1'-0"

## Pacheco, Maria

---

**From:** tcleavermd <tcleavermd@aol.com>  
**Sent:** Monday, July 26, 2021 12:39 PM  
**To:** Pacheco, Maria  
**Subject:** Zoning Release at 39 Hubbard Ave. (continuance 7/29)

To the Zoning Board:

As the homeowner, I am writing to plead for a zoning release at 39 Hubbard Ave to replace a 40 year old deck with a small enclosed screened area. My goal is to replace it with a 3 season screened porch. The current structure has deteriorated beyond repair and is an eyesore to me and my neighbors. It is no longer a comfortable place to spend time.

I am 75 years old and wish for a space which over the coming years will give me access to the outdoors without having to leave my second floor living space. It will be used for exercise, yoga and reading primarily and will be a comfortable retreat when I need it.

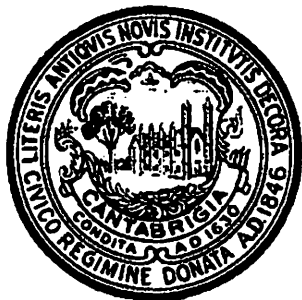
I would like to add that my neighbors on both sides have seen the proposed plan and have written letters expressing support and no opposition. My soon to be 88 year old husband who expressed no interest in the porch and of late has been reticent to any change has suddenly become an opponent in this project. I feel his issues, which are irrational, can be dealt with when we apply for a building permit. They have nothing to do with zoning.

Please reconsider the release at this Continuance. The new structure which will replace the old deck will only be an asset for everyone concerned.

Respectfully,

Toni E. Cleaver, MD (Mrs. Toni E. Gibson)

[Sent from the all new AOL app for iOS](#)



CITY OF CAMBRIDGE, MASSACHUSETTS

# PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

June 23, 2021

To: The Board of Zoning Appeal

From: The Planning Board

RE: BZA cases to be heard on June 24, 2021

The Planning Board did not review any cases on the June 24, 2021 agenda.

---

\* \* \* \* \*

(9:36 p.m.)

Sitting Members: Constantine Alexander, Brendan Sullivan,  
Andrea A. Hickey, Wendy Leiserson and  
Jason Marshall

CONSTANTINE ALEXANDER: The Chair will now call  
Case Number 119365 -- 39 Hubbard Avenue. Anyone here  
wishing to be heard on this matter?

SAYEM KHAN: Good evening, can you hear me?

CONSTANTINE ALEXANDER: Yes.

SAYEM KHAN: Hi. My name is Sayem Khan. I'm the  
architect for 39 Hubbard Avenue.

CONSTANTINE ALEXANDER: Okay. The floor is yours.

SAYEM KHAN: Okay.

CONSTANTINE ALEXANDER: I must comment, by the  
way, at the outset that your plans are, shall we say scant.

SAYEM KHAN: Scant? Okay. Well, the project is  
quite simple. It's right now currently it's an existing  
deck on top of a kitchen addition with a single-family  
house. And it -- right now it is 172 square feet. That is  
a covered structure. And the rest is open.

So the project is to remove the existing structure

1 that's there right now, and to build a -- something that's  
2 more usable, a three-season porch, which is something that's  
3 much more structurally stable and much more useable for the  
4 owners of the house.

5 So that's -- and the reason that we are asking for  
6 a special permit is because currently the existing building  
7 that was there is nonconforming. And so this additional  
8 square footage requires us to go for a permit.

9 CONSTANTINE ALEXANDER: Could you go to the slides  
10 that show the impact, the changes to the structure, relevant  
11 to the -- also, that's it. Good. Thank you.

12 SAYEM KHAN: So this is -- what we are looking at  
13 currently is the existing structure.

14 CONSTANTINE ALEXANDER: Okay. Have you spoken to  
15 neighbors? Have you or your clients spoken to neighbors?

16 SAYEM KHAN: Yes. We should, we have, and we have  
17 some letters of support. And I believe there is also a  
18 neighbor today that is present in this meeting in support.

19 CONSTANTINE ALEXANDER: Have you any letters of  
20 opposition? Because our files are pretty scarce. Maybe I  
21 didn't get the file yet. But I don't see any letters here.

22 SAYEM KHAN: No.

1           CONSTANTINE ALEXANDER: Well, I sent it to you  
2 back -- no, there's a letter -- we have one letter that's  
3 sort of questioning about what's going on. And I'll read it  
4 into the file.

5           "The architect, S. Khan, has not provided data  
6 relating to the structural integrity of the proposed roof  
7 deck or the testing of his ideas. In particular, his design  
8 does not allow access for snow removal, which becomes  
9 hazardous in heavy snow or high wind conditions.

10          "I also believe the structure should have  
11 independent footing and not be supported or anchored in the  
12 frame of the kitchen.

13          I have not seen a covered deck in this area as the  
14 one proposed."

15          SAYEM KHAN: So --

16          CONSTANTINE ALEXANDER: Finally,

17          "The architect has never discussed these matters  
18 with me; only briefly with my wife, who is a medical  
19 doctor."

20          Do you have any comments in response?

21          SAYEM KHAN: In regard to the structural  
22 integrity, you have structural drawings that have been

1 stamped, and designed and calculated by a certified  
2 structural engineer -- a very experienced structural  
3 engineer. So that has been already submitted to the  
4 Inspectional Department.

5 So in regard to the structural question, we are  
6 covered; that has been designed. And that hasn't been  
7 included in this presentation, because I wasn't aware that,  
8 you know, you need to look at structural drawings.

9 CONSTANTINE ALEXANDER: If you say you have these  
10 letters of support, why don't we have them in our files?

11 SAYEM KHAN: I don't know. We have -- I have  
12 submitted all the letters of support. There was two letters  
13 of support that neighbors have provided that I have scanned,  
14 and that should be in the record. So I'm looking at the  
15 website right now; letters of support, right there, uploaded  
16 May 05, 2021.

17 CONSTANTINE ALEXANDER: Anything else you want to  
18 add? I ask the members of the Board if they have any  
19 questions or comments?

20 UNIDENTIFIED SPEAKER: Hello, can I speak?

21 CONSTANTINE ALEXANDER: Yeah, you --

22 UNIDENTIFIED SPEAKER: Hello?

1 THE REPORTER: Your name, please?

2 CONSTANTINE ALEXANDER: If you identify --

3 TONI GIBSON: Hello? I am Toni Gibson, who is --  
4 you know, who has authorized the architect to design this  
5 porch for me. And the letter that you got came from my  
6 husband, who is 87 years old, and I am 75.

7 He at this point in his life is very reticent to  
8 change, and had not wanted any part of my -- you know,  
9 having this porch done.

10 It means a lot to me, and at this point now, he's  
11 -- you know, gotten upset and decided that he -- I mean I  
12 think he's just trying to find something to keep this from  
13 happening. But I feel like it's a family dispute. It's a  
14 dispute between the two of us.

15 And, you know, the porch -- I just want the Zoning  
16 Board to address the issues that were raised. And he --  
17 it's very difficult for me to talk to him right now. He --  
18 I don't --

19 CONSTANTINE ALEXANDER: We do a lot of things in  
20 the Zoning Board, but we don't get involved in marital  
21 disputes.

22 TONI GIBSON: I understand. I understand that,

1 but his letter was done on purpose to try to stop me from  
2 having the screened porch, what means the world to me. I'm  
3 --

4           CONSTANTINE ALEXANDER: I'm sorry, Ma'am. The  
5 problem I have -- probably just me -- is that the  
6 presentation, plans are inadequate. They don't -- they're  
7 not the detail that we're used to getting.

8           There are other architects that supply to us,  
9 including many of the cases you've heard tonight. It makes  
10 it difficult for us to reach a decision, or maybe I should  
11 be more precise -- makes it difficult for me to reach a  
12 decision.

13           TONI GIBSON: What is missing? I mean, he -- you  
14 don't see the final drawing?

15           CONSTANTINE ALEXANDER: But I don't know what's on  
16 the screen.

17           TONI GIBSON: That's all -- okay.

18           [Simultaneous speech]

19           TONI GIBSON: What?

20           SAYEM KHAN: I'm sorry, that's the only one sheet.  
21 I mean, why -- you know, I have provided, you know, the  
22 drawings that -- you're only looking at one sheet.

1           TONI GIBSON: Let me go --

2           SAYEM KHAN: There is one, two, three, four, five,  
3 six, seven sheets there.

4           BRENDAN SULLIVAN: This is Brendan Sullivan I  
5 guess I'm just -- I've seen these before too, and I -- there  
6 are enough dimensions on here.

7           You know, we have to pass this on, obviously, to  
8 Inspectional Services and the Building Department to approve  
9 for building code. And they, you know, rely upon us to  
10 produce and to hand off to them an adequate set of drawings  
11 that they can evaluate, and then ultimately issue a permit  
12 on.

13           They're basic, but they also have the basic  
14 information in them, I guess.

15           TONI GIBSON: Okay.

16           BRENDAN SULLIVAN: So I would be okay with them.

17           CONSTANTINE ALEXANDER: Andrea, do you have any  
18 comments at this point?

19           ANDREA HICKEY: Well, I'm okay with the plans. I  
20 can understand enough of what is being requested here. But  
21 as I read the request, it's by both owners of this home.  
22 And it now sounds as if only one of those folks is a

1 petitioner. So I don't know logistically whether there's an  
2 issue there.

3 BRENDAN SULLIVAN: Well, one may have standing.

4 TONI GIBSON: What? Oh. Well no, I did not  
5 include his name when I signed -- you know, got things  
6 notarized, because I was the one who was getting this porch  
7 done. And I have asked nothing of my husband to do.

8 BRENDAN SULLIVAN: Okay.

9 ANDREA HICKEY: I just see on our list of cases  
10 tonight; I see Frank and Toni Gibson listed as the  
11 petitioners so.

12 TONI GIBSON: You know, I think that's because his  
13 -- both of our names are on the deed, and that was the way  
14 it had to be written. I, you know, and I didn't approve  
15 that, it was just the way it was typed up. I don't know.

16 BRENDAN SULLIVAN: It appears that domestic  
17 tranquility is at stake here, but anyhow.

18 ANDREA HICKEY: Mr. Chair, I only raise that  
19 question because I'm not sure logistically whether we need  
20 both owners to be on board with the petition -- sort of what  
21 is the status of one owner being our sort of sole objector?

22 I'll leave that to you, Mr. Chair. Just it's a

1 little unclear to me what that means.

2 JASON MARSHALL: This is Jason Marshall. I think,  
3 Andrea, it's an interesting question. Legally, though, I  
4 think we still have an active petition before us.

5 I don't think it's been withdrawn, even by virtue  
6 of an e-mail that maybe raises concerns, and as bizarre as  
7 it is from a co-petitioner, the petition is still active as  
8 far as I would understand it to be.

9 Could I bring the discussion maybe to a different  
10 place, Mr. Chairman?

11 CONSTANTINE ALEXANDER: Sure.

12 JASON MARSHALL: Could I ask a question? Sisia,  
13 could you go to page 4 of the dimensional information,  
14 please? So I guess this is probably a question for Mr.  
15 Khan. Are you still on?

16 SAYEM KHAN: I'm still here.

17 JASON MARSHALL: Okay. So it looks to me like so  
18 you're increasing the gross floor area, but you're still  
19 under the max, right?

20 SAYEM KHAN: Yes.

21 JASON MARSHALL: Is that correct? In other words,  
22 you're not creating a new nonconformity here, right?

1 SAYEM KHAN: No, no.

2 JASON MARSHALL: And if I'm reading this right, it  
3 looks like you're taking what was a left-side setback that  
4 was in violation -- it was an existing nonconforming of 2.8,  
5 and now you're making it conforming at 7.5? Is that right?

6 SAYEM KHAN: So the structures in -- the structure  
7 that was -- is in the back, where the kitchen is right now,  
8 that is conforming.

9 JASON MARSHALL: By virtue of the new projects,  
10 you will make something that was nonconforming conforming?

11 SAYEM KHAN: Yes. It is conforming. Yes, it will  
12 be conforming.

13 JASON MARSHALL: And is there anything that you're  
14 doing that will increase a nonconforming element of the  
15 property?

16 SAYEM KHAN: No.

17 JASON MARSHALL: So this is why I wanted to  
18 highlight this page in this discussion. To me, this is a  
19 really good example of I think a case where a homeowner of a  
20 single-family house under the Bellalta decision can as-of-  
21 right make this change because they're not creating a new  
22 nonconformity, they're not increasing the intensity of an

1 existing nonconformity.

2 In my view, and it's just one member's view, I  
3 think the homeowner can do this as-of-right. I will support  
4 the special permit for the same reason I think they meet the  
5 criteria with a lot of room to spare, because they're not  
6 increasing the intensity of a nonconformity, they're not  
7 creating a new one.

8 So I don't think this has to be before us. I  
9 think they have a right under the state law to do it, but  
10 nonetheless I would vote in favor.

11 That's all I have, Mr. Chairman. And I know I've  
12 made similar comments before, so -- but this is a good  
13 example, I think. Thank you.

14 CONSTANTINE ALEXANDER: I must say that I am  
15 mystified by the sheet with all the information, the  
16 dimensional information.

17 You're going to take a building that has total  
18 gross floor area of 2593 feet and increase it to 2926, which  
19 is, you know, maybe 350 feet roughly. Yet the FAR, which is  
20 now 0.75 is not changing.

21 And I don't see how you can get there. If you're  
22 going to add more gross floor area, shouldn't your ratio

1 change?

2 CONSTANTINE ALEXANDER: Mr. Chair, if I could --  
3 it's Andrea Hickey, if I could ask --

4 CONSTANTINE ALEXANDER: Sure.

5 ANDREA HICKEY: -- a question? If I could ask Mr.  
6 Khan in his total gross floor area existing, are you  
7 including the porch as it exists now?

8 [Pause]

9 ALISON HAMMER: Mr. Khan?

10 SISIA DAGLIAN: Oh, he's on mute.

11 SAYEM KHAN: Yes, that was included.

12 ANDREA HICKEY: It's included in the 2593?

13 SAYEM KHAN: Yes.

14 ANDREA HICKEY: So what accounts for the requested  
15 condition of 2926? Where does that extra area get added  
16 onto?

17 SAYEM KHAN: So that is coming from -- that is  
18 coming from -- just as.

19 ANDREA HICKEY: I'm trying to understand the  
20 question that the Chairman raised; how the ratio stays the  
21 same, when the GFA increases.

22 SAYEM KHAN: So we are at -- what we are doing is

1 we're adding 158 square feet that's being covered. So  
2 that's where the additional square footage is coming in.

3 ANDREA HICKEY: So Mr. Chair, I think that answers  
4 the question. I think the 2593 does not include the  
5 existing open porch. And perhaps it should. Because if the  
6 GFA doesn't change, those numbers should be the same,  
7 correct?

8 CONSTANTINE ALEXANDER: I think that's right.

9 ANDREA HICKEY: So I think there's an issue with  
10 the form. I don't think it's accurate.

11 BRENDAN SULLIVAN: No, they have got to be  
12 increasing the gross floor area by putting a roof over it.  
13 There's more roof there now. [This is Brendan Sullivan,  
14 following on Andrea.]

15 There is no roof over the structure now. They are  
16 replacing it with a roof structure. Hence the gross floor  
17 area has to increase, which means that the ratio has to  
18 increase.

19 ANDREA HICKEY: Unless the base GFA is wrong, and  
20 should be 2926.

21 SAYEM KHAN: The base as in, you're talking about  
22 the existing?

1           ANDREA HICKEY: Yes.

2           SAYEM KHAN: No, that -- no, that's not because  
3 what's increasing the gross square footage is this  
4 additional, you know, 150 square feet that we are covering.

5           ANDREA HICKEY: So how is it that the ratio  
6 doesn't change?

7           BRENDAN SULLIVAN: [Brendan Sullivan] If the first  
8 number changes, then the third number has to change.

9           ANDREA HICKEY: That's correct. And if the third  
10 number is correct as is, then the first number is incorrect.

11          JASON MARSHALL: And this is Jason Marshall. If  
12 the first number is correct, and it's being pushed over, now  
13 you're not in conformance with FAR, so you would then have  
14 to seek a variance. But I appreciate the Chairman bringing  
15 that up.

16          ANDREA HICKEY: Mr. Khan, are you able to explain  
17 how the ratio would stay the same, if the existing and  
18 requested are different?

19          SAYEM KHAN: I don't know. I have to look at  
20 this. To be honest right now, no. At this very moment, I  
21 don't.

22          CONSTANTINE ALEXANDER: I hate to say this at this

1 hour of the night, but I think this is a case that's ripe  
2 for a continuance.

3 You need to go back and review the dimensional  
4 form and give answers to this detail, to the questions that  
5 are being raised. I don't know what I'm voting on if the  
6 dimensional form is not correct, and you can't explain to me  
7 or to the other members of the Board why it's not.

8 ANDREA HICKEY: Mr. Chair, if I could also add --  
9 sort of adding to Jason Marshall's comment, it could also be  
10 that if you go back to Inspectional Services, they might  
11 tell you under Bellalta that you don't need relief.

12 CONSTANTINE ALEXANDER: Right. And then you  
13 wouldn't have to spend your night with us seeking relief.  
14 The case is not in a proper form in my judgment for informed  
15 decision by this Board. There are questions we have raised;  
16 we haven't gotten any answers that I'm comfortable with.

17 And I get a feeling that I'm not sure that the  
18 petitioner understands what we need and what our concerns  
19 are.

20 And as Jason's pointed out, we may not need relief  
21 at all. Go back to the Building Department and have a  
22 heart-to-heart with these forms, and let's get the facts.

1 And then come back before us if you need to.

2 I don't feel I have the facts before me tonight to  
3 make a decision. So I'm going to abstain from the decision.  
4 I'm not going to vote in favor of this, because I don't know  
5 what I'm voting in favor of.

6 JASON MARSHALL: And Mr. Chair, it's Jason  
7 Marshall. I just want to clarify my statements before were  
8 based on taking this form at face value, but given the  
9 discussion, I no longer have confidence in the numbers that  
10 are on this page.

11 CONSTANTINE ALEXANDER: So I think we're going to  
12 -- I'm going to make a motion that we continue this case.  
13 It'll be a case heard. All five of us will have to be on  
14 the -- sit on the case at that time. So the Chair moves  
15 that we continue this case as a case heard subject to the  
16 conditions:

17 One, that the petitioner sign a waiver of time for  
18 decision. That waiver must be signed no later than 5:00  
19 p.m. a week from this Monday. If that's not done, then the  
20 case will automatically be dismissed.

21 And the reason for the waiver of time for decision  
22 is state law requires us to reach a decision within a

1 certain number of days, and we're not able to do that, in my  
2 view anyway tonight.

3 So it's a form that we use for every -- for all  
4 our zoning cases, not controversial. So number 1, you must  
5 sign. The petitioner must sign this waiver, which you can  
6 obtain from the Building Department no later than 5:00 p.m.  
7 a week from Monday.

8 Two, to the extent that we set the new date, the  
9 posting sign that's there now must be revised to reflect the  
10 new date and very importantly the new time, or you can get a  
11 new sign from the Building Department.

12 And last, that to the extent that there is new  
13 information, plans, drawings, what have you -- dimensional  
14 forms, they must be in our files no later than 5:00 p.m. on  
15 the Monday before the date of the continued hearing, which I  
16 have not identified yet. What date's available?

17 SISIA DAGLIAN: I think it's going to be -- the  
18 earliest would be September 2.

19 CONSTANTINE ALEXANDER: Don't we have September 2  
20 the --

21 SISIA DAGLIAN: That's the ninth.

22 CONSTANTINE ALEXANDER: -- 2072?

1           SISIA DAGLIAN: That's the September 9.

2           CONSTANTINE ALEXANDER: September 9? Okay.

3           JASON MARSHALL: Mr. Chairman, [Jason Marshall.]

4           CONSTANTINE ALEXANDER: Yes. Just one second, as  
5 I shared with you before, I raised my hand to be here  
6 tonight.

7           CONSTANTINE ALEXANDER: That's right.

8           JASON MARSHALL: I have potentially conflicts on  
9 Thursday nights beginning in September. So I may not be  
10 able to participate in September. I could participate if he  
11 case was set for I think the end of July, if that's  
12 possible. Otherwise, I think you'd have four hearing this  
13 case, potentially.

14           SISIA DAGLIAN: Well, July 29 we already have  
15 three cases. We have three --

16           CONSTANTINE ALEXANDER: Three.

17           SISIA DAGLIAN: I don't know if you want to add  
18 another.

19           BRENDAN SULLIVAN: I think -- well, this is  
20 Brendan Sullivan -- I think that once we got your corrected  
21 dimensional form, that it should move very quickly. If you  
22 want to take a break, I would opt for as quickly as

1 possible.

2           CONSTANTINE ALEXANDER: The petitioner, are you  
3 available for July 29?

4           SAYEM KHAN: Yes, sir.

5           CONSTANTINE ALEXANDER: And you could submit the  
6 information, the additional information by 5:00 p.m. on the  
7 Monday before July 29?

8           SAYEM KHAN: Yes.

9           CONSTANTINE ALEXANDER: All right. So I neglected  
10 to put this in the motion in the beginning. The case will  
11 be continued until --

12           SISIA DAGLIAN: 6:00 p.m.

13           CONSTANTINE ALEXANDER: Until 6:00 p.m. on July  
14 29, and subject to the conditions I just recited. We must  
15 sign a waiver of time for decision be 5 p.m. a week from  
16 Monday.

17           You must have revised additional information in  
18 our files no later than 5:00 p.m. on the Monday before July  
19 29, and that the posting sign or a posting sign must be  
20 maintained for the 14 days prior to July 29, just as you've  
21 done for the hearing tonight.

22           And that sign can be a new one, which is probably

1 a good idea, or you can modify with a magic marker a sign  
2 that you have right now, provided that you change not only  
3 the date, but you must change the time -- 6:00 p.m.

4 All those in favor? Brian? Brendan, I'm sorry.

5 BRENDAN SULLIVAN: Brendan Sullivan yes to the  
6 continuance.

7 CONSTANTINE ALEXANDER: Andrea?

8 ANDREA HICKEY: Andrea Hickey yes in favor of the  
9 continuance.

10 CONSTANTINE ALEXANDER: Jason?

11 JASON MARSHALL: Jason Marshall yes in favor of  
12 the continuance.

13 CONSTANTINE ALEXANDER: Wendy?

14 WENDY LEISERSON: Wendy Leiserson yes in favor of  
15 the continuance.

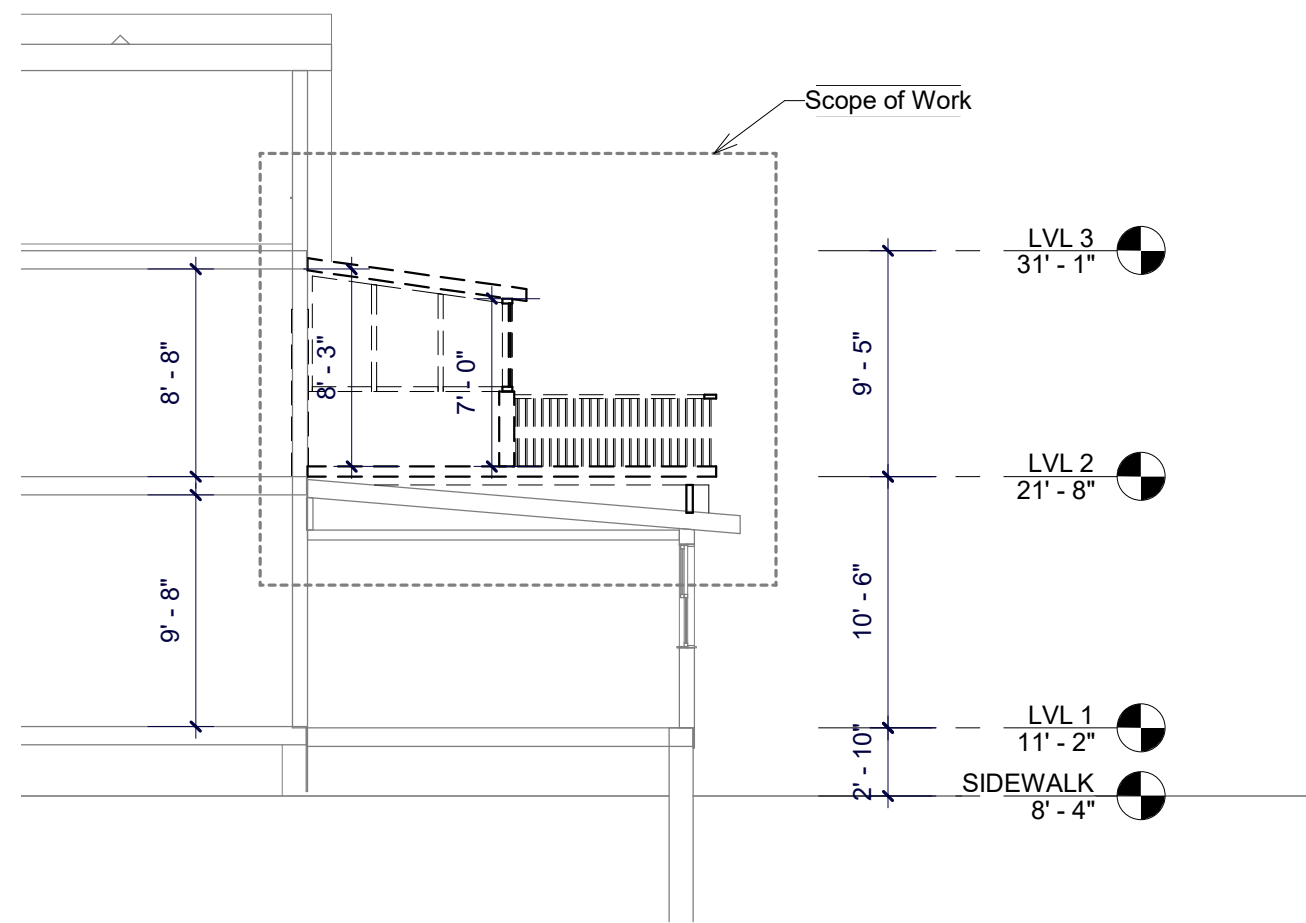
16 CONSTANTINE ALEXANDER: The Chair votes yes as  
17 well.

18 [All vote YES]

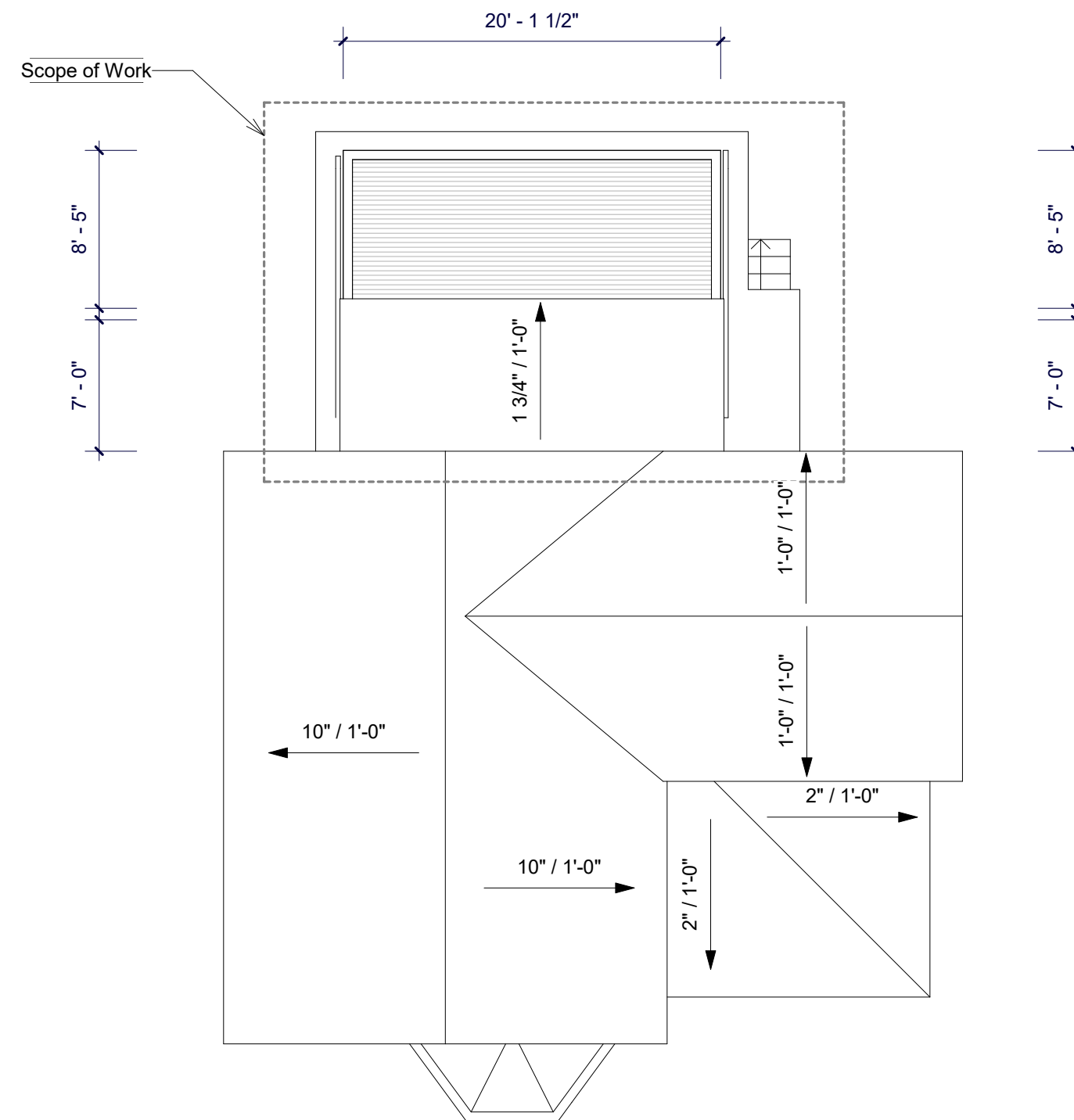
19 CONSTANTINE ALEXANDER: The case is continued  
20 until July 29.

21

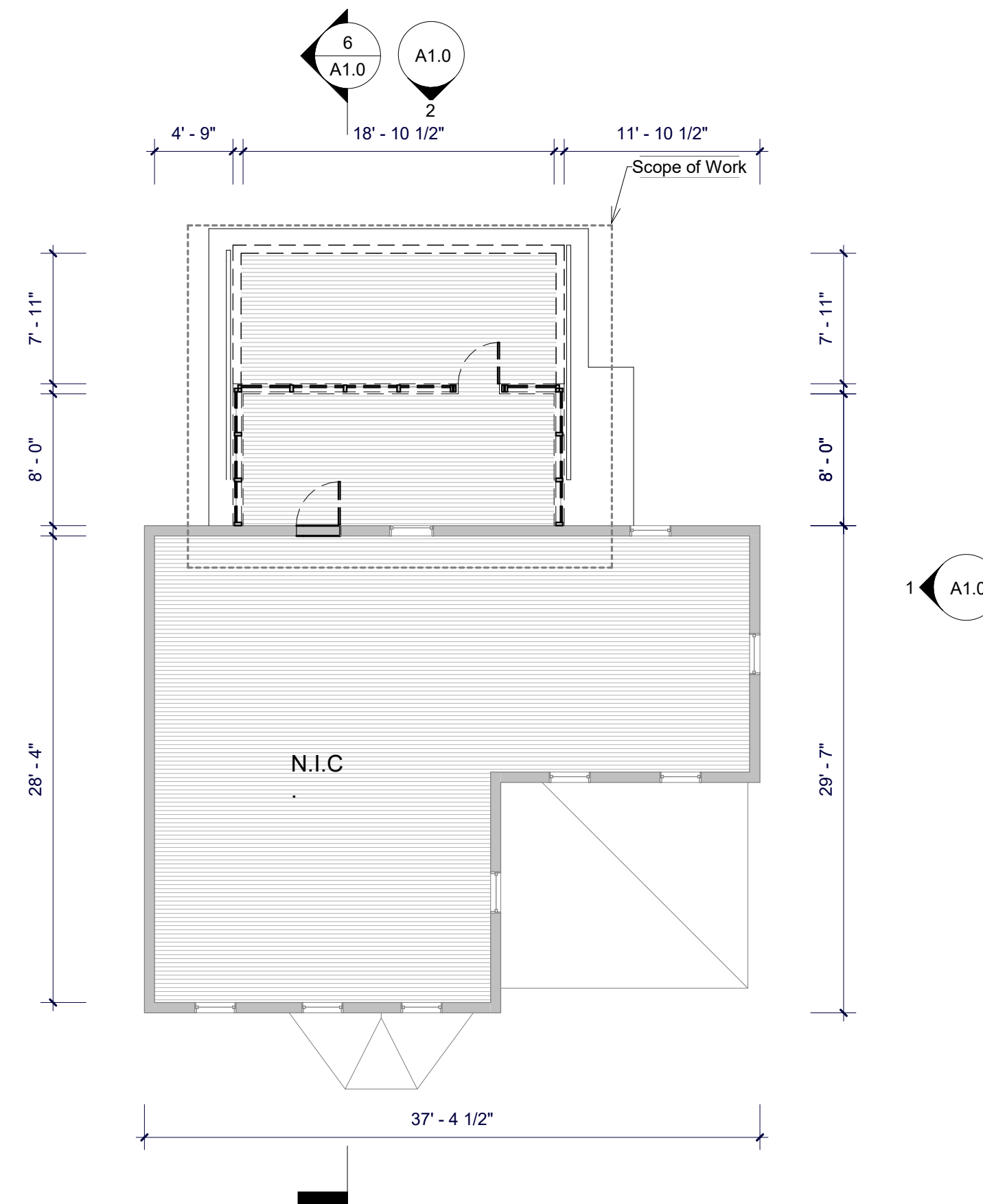
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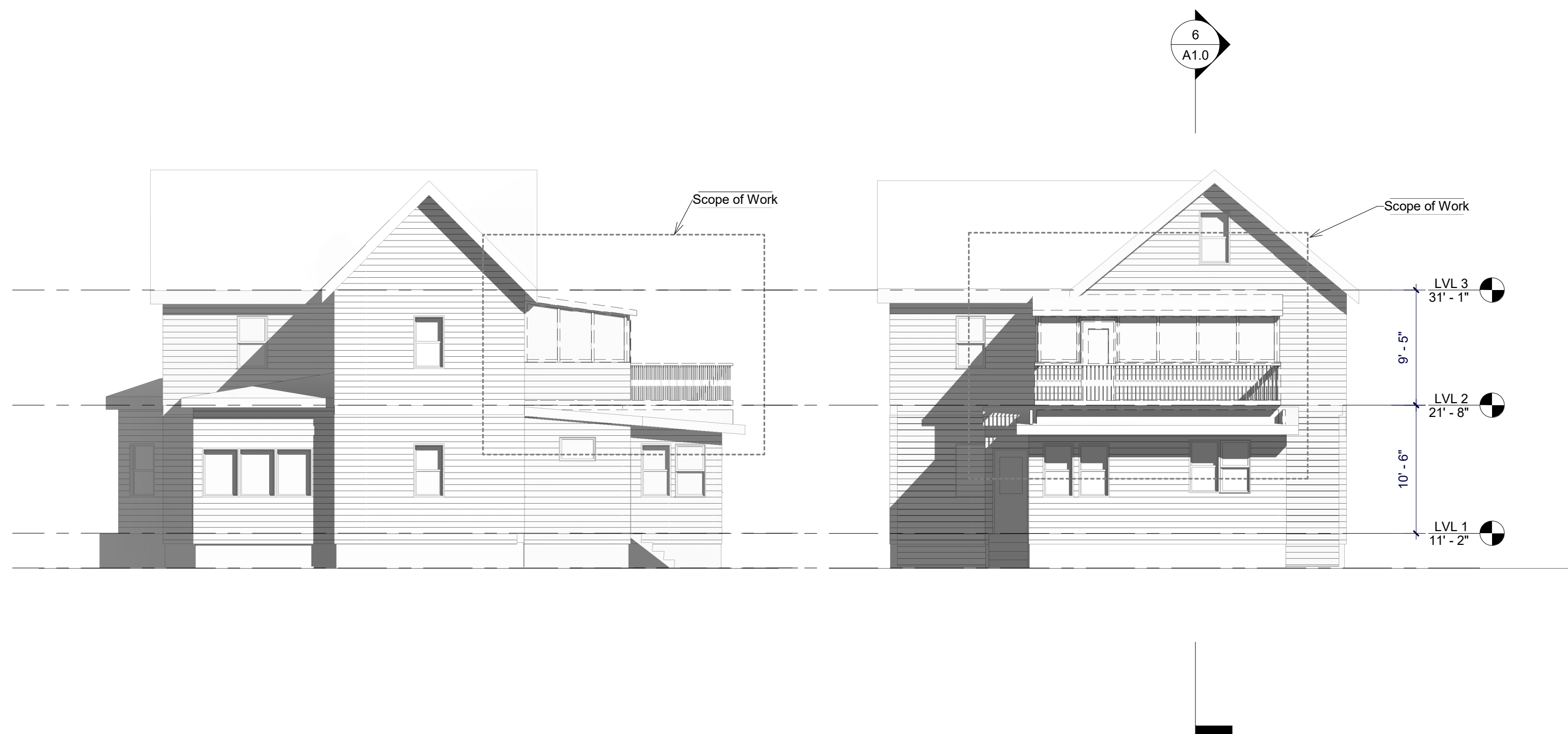
6 EXISTING NORTH-SOUTH SECTION  
1/8" = 1'-0"



5 ROOF - EXISTING PLAN  
1/8" = 1'-0"

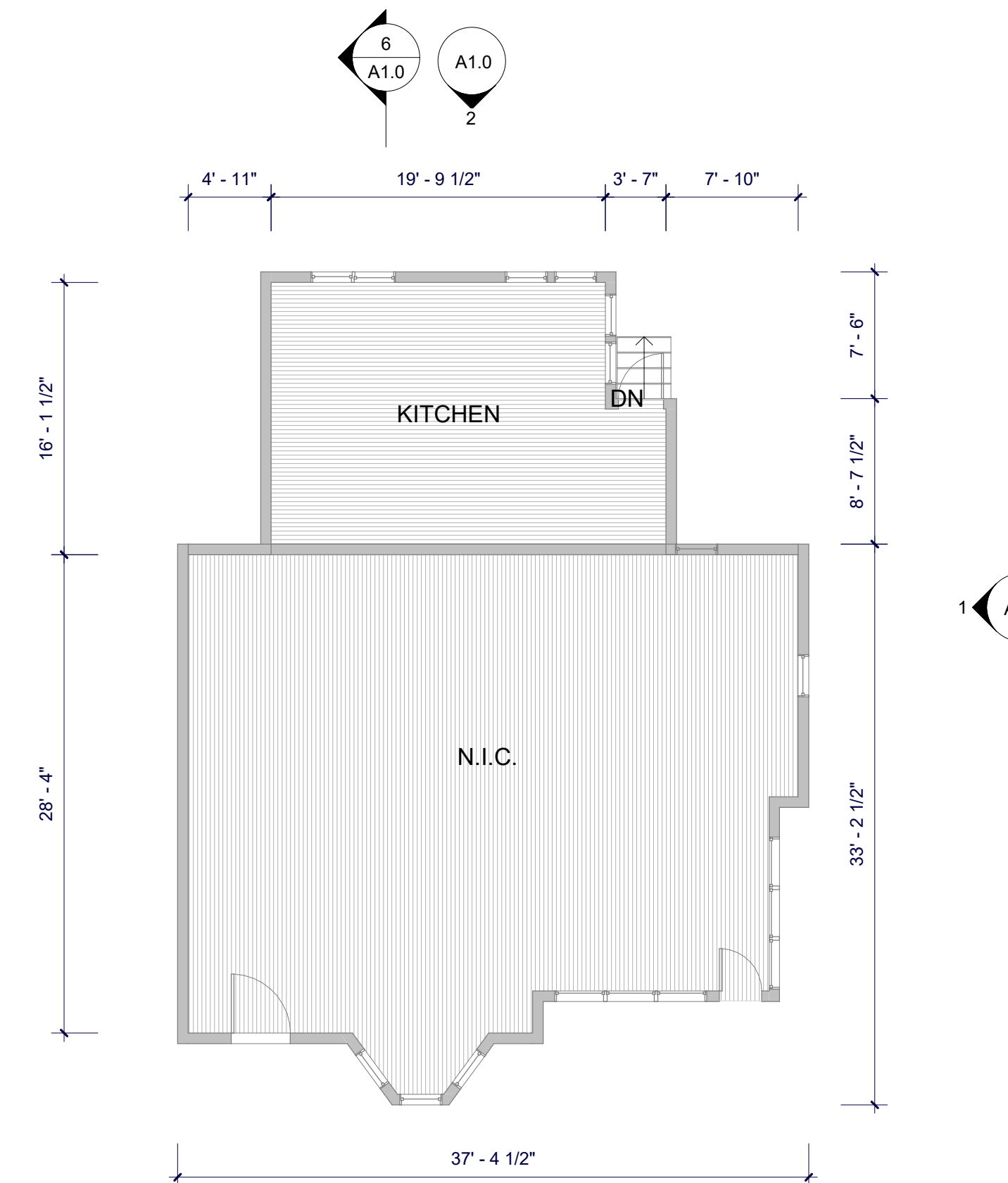


4 LEVEL 2 - EXISTING + DEMOLITION PLAN  
1/8" = 1'-0"



① SOUTH ELEVATION (FRONT)  
1/8" = 1'-0"

② EAST ELEVATION (SIDE)  
1/8" = 1'-0"



3 LEVEL 1 - EXISTING + DEMOLITION PLAN  
1/8" = 1'-0"

**SHEET NOTES:**

**1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.**

**2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.**

LEGEND:  
DEMOLITION  
EXISTING

**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



## PERMIT SET

01.29.2021

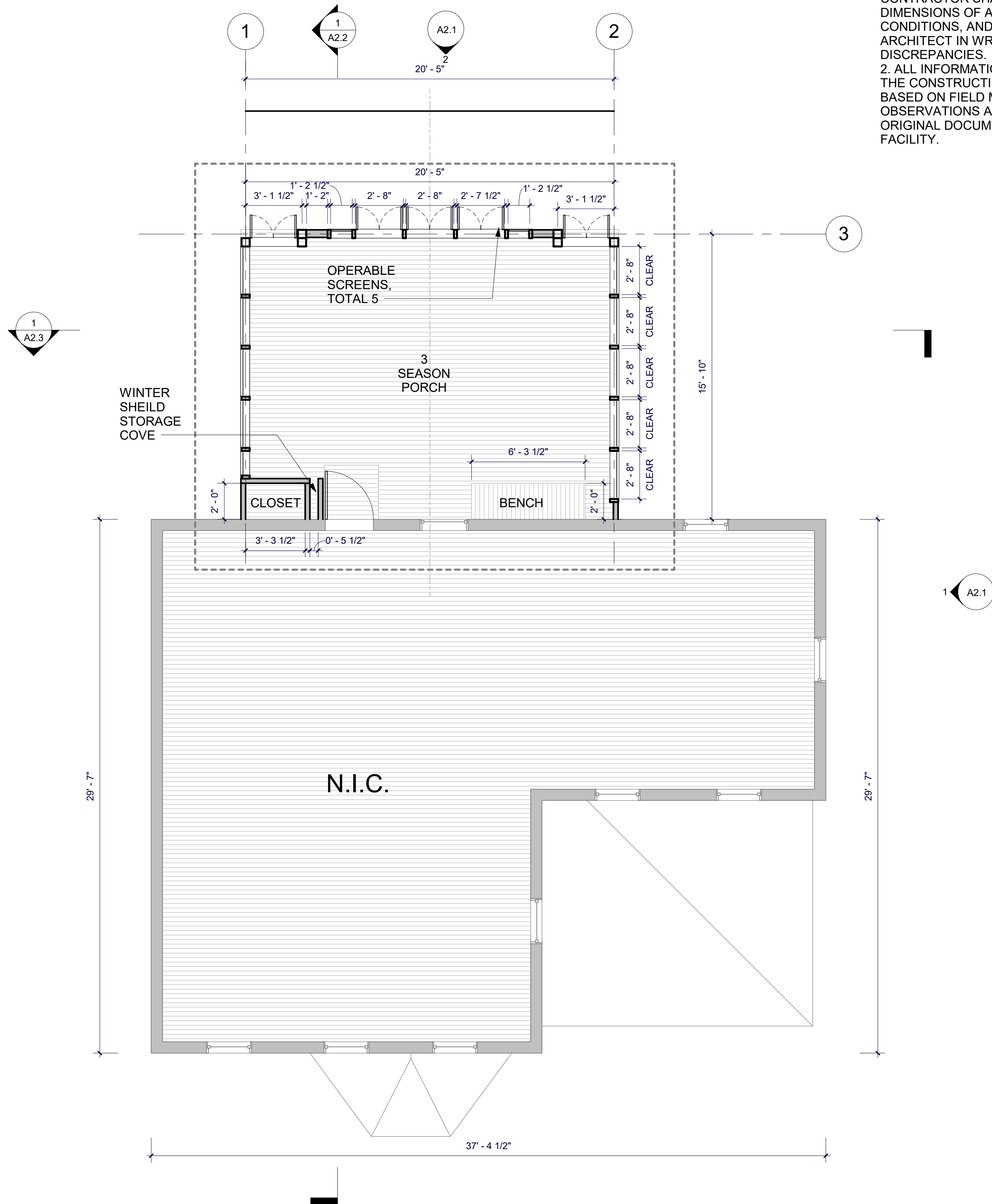
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## EXISTING + DEMOLITION DRAWINGS

Date	01.29.2021
Drawn by	Author
Checked by	Checker

## A1.0

Scale	As indicated
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**SEEK NOTES:**

**1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.**

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**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
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GIBSON

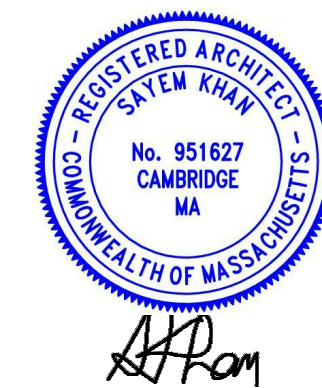
STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

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73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520

[illegible]

## PROPOSED LEVEL PLANS

## A2.0

Scale	1/4" = 1'-0"
-------	--------------

**Micheal Washington Architects Inc.**

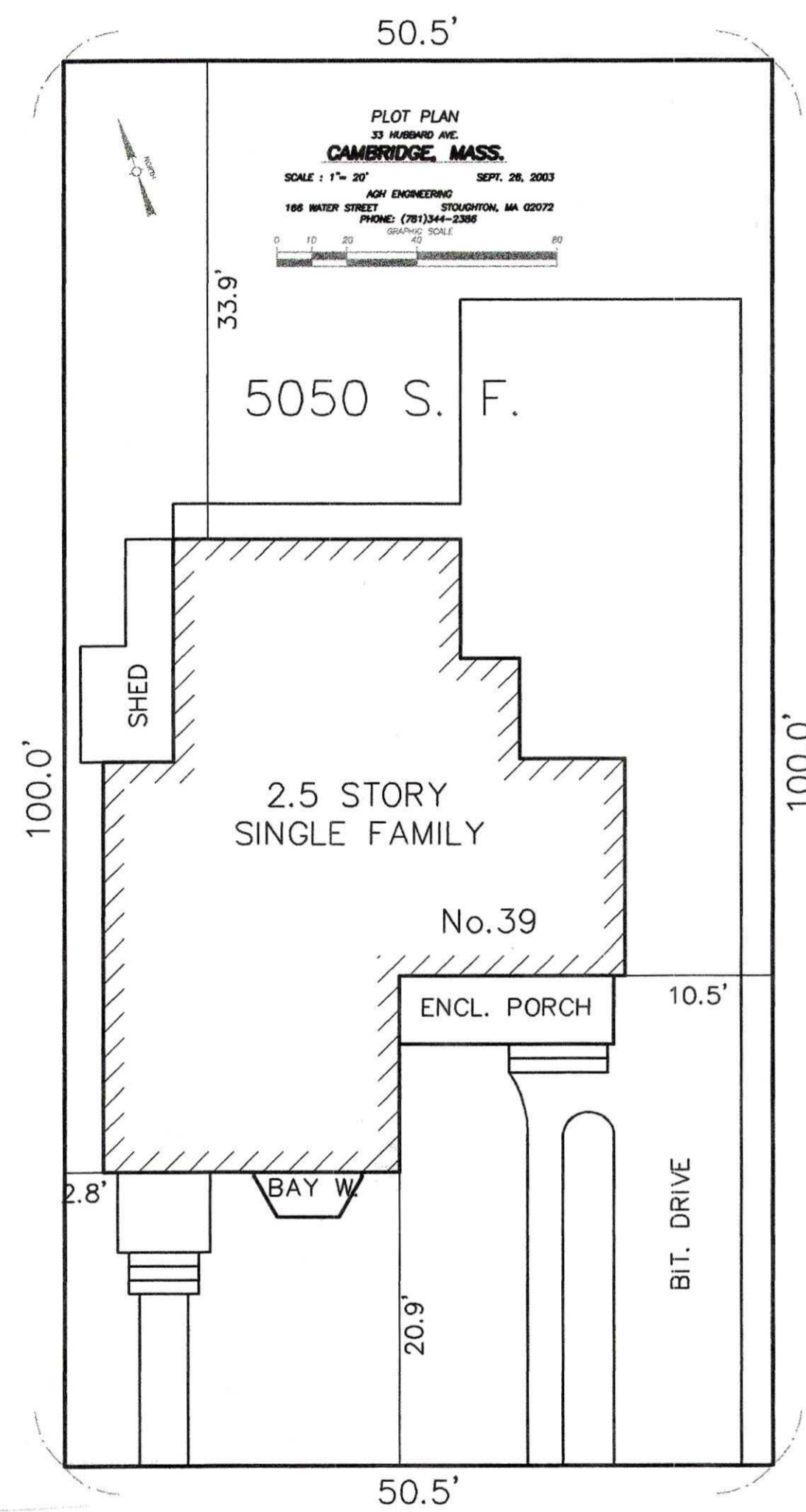
675 Massachusetts Avenue  
Cambridge, MA 02139-3354

Phone: 617-876-7930  
Fax: 617-661-8761

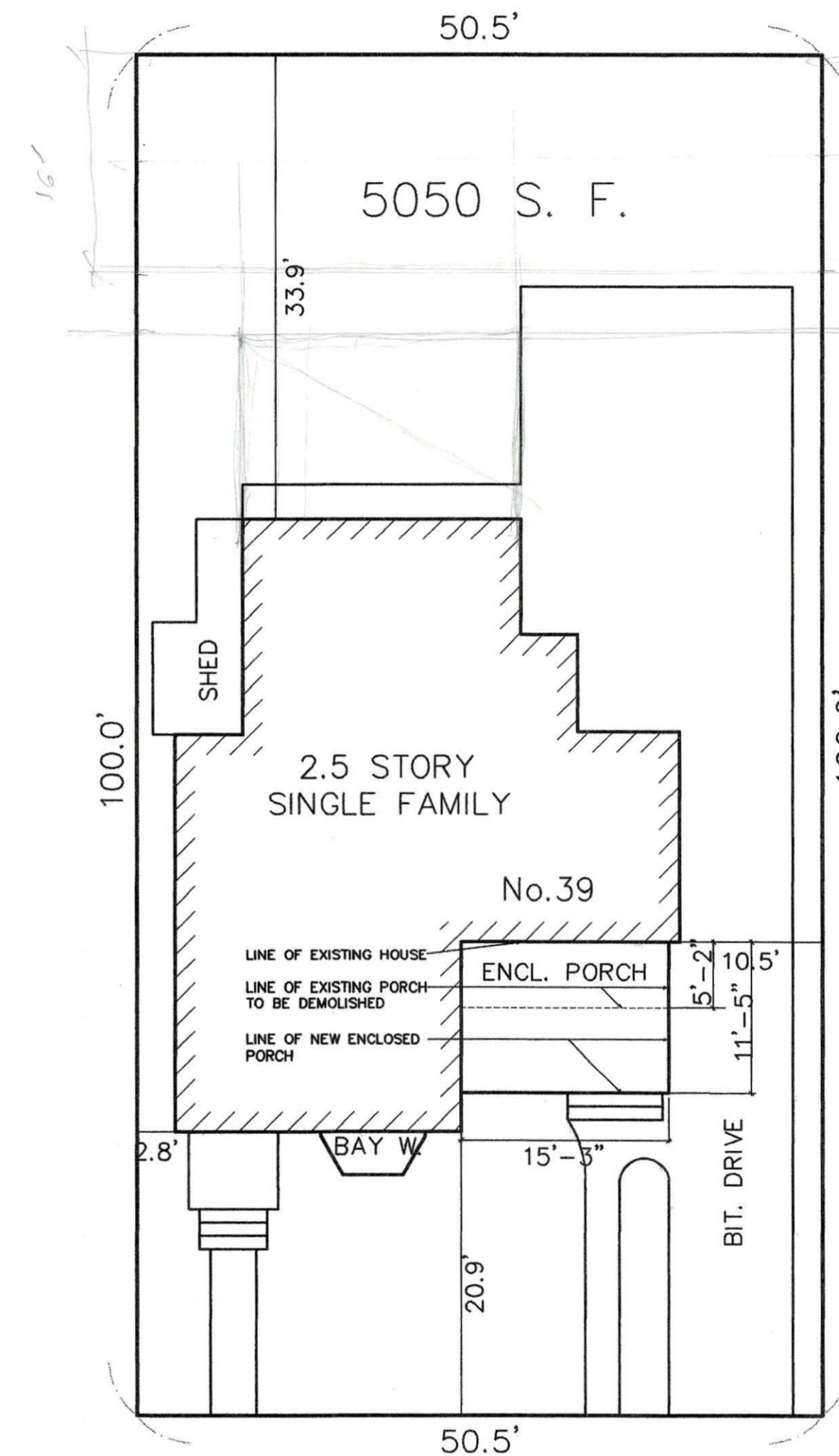
PROJECT

**GIBSON HOUSE**

CAMBRIDGE, MASSACHUSETTS



**EXISTING PLOT PLAN**



**PROPOSED PLOT PLAN**

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

*Antoni Szerszunowicz*



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SHEET TITLE

**GIBSON HOUSE  
EXTERIOR ELEVATIONS  
EXISTING CONDITIONS**

SCALE: 1/8"=1'-0"

DATE: 10/02/03

DRAWN BY: CMW

CHECKED BY: MJW

FILE: Gibson/Site/dwg

DRAWING NO.

**A-3**

**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

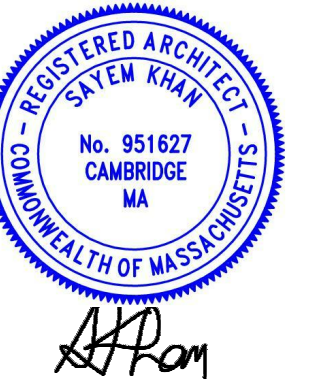
STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



# PERMIT SET

01.29.2021

[illegible]

## PROPOSED ELEVATIONS

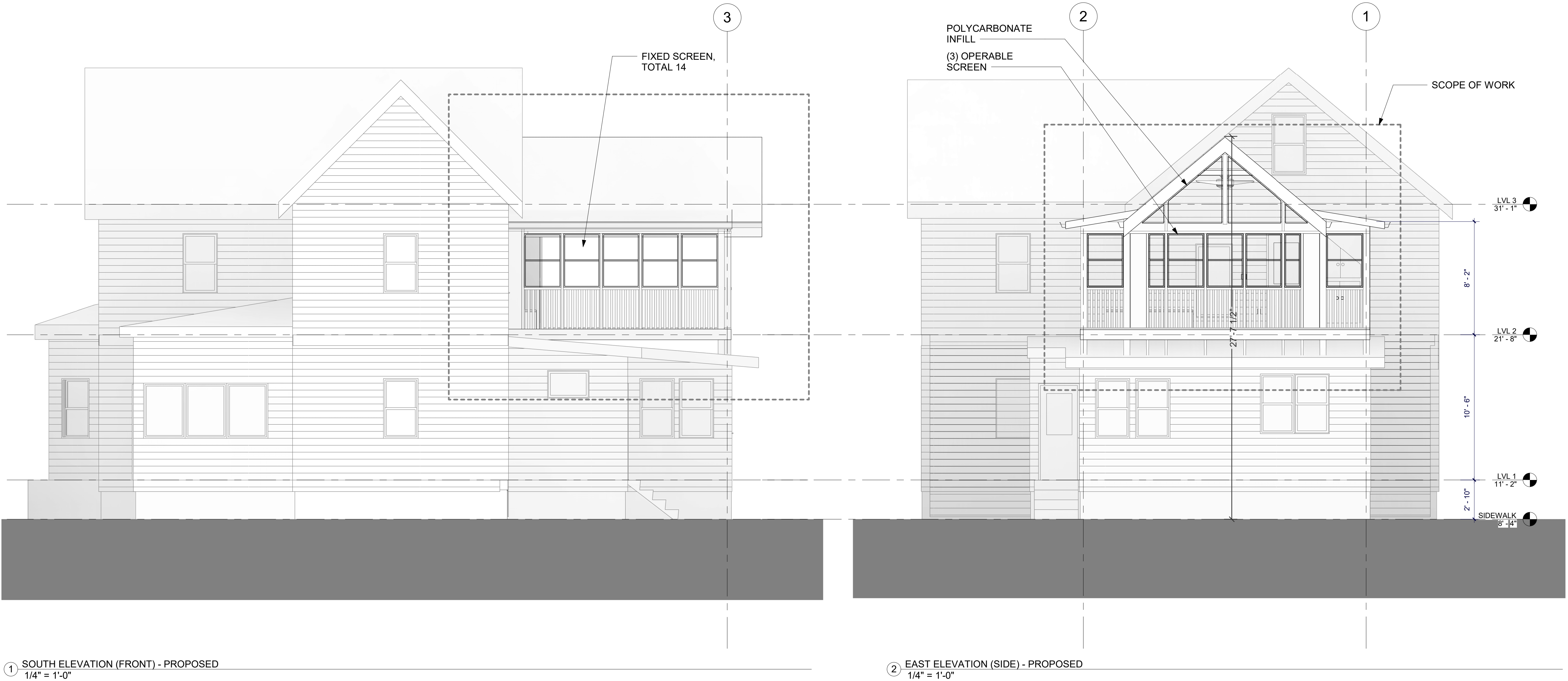
Date	01.29.2021
Drawn by	Author
Checked by	Checker

## A2.1

Scale  $1/4" = 1'-0"$

SHEET NOTES:

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2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.



1 SOUTH ELEVATION (FRONT) - PROPOSED  
1/4" = 1'-0"

2 EAST ELEVATION (SIDE) - PROPOSED  
1/4" = 1'-0"













Sayem Khan <skhan1124@gmail.com>

---

**Fw: 3 Season screened porch at 39 Hubbard Ave**

1 message

---

**tcleavermd** <tcleavermd@aol.com>  
To: Sayem Khan <sk@sayemkhan.work>

Wed, Apr 28, 2021 at 12:35 PM

[Sent from the all new Aol app for iOS](#)

Begin forwarded message:

On Tuesday, April 27, 2021, 7:09 PM, Caroline Butler-Rahman <carolinebr@gmail.com> wrote:

To Whom It May Concern at the Zoning Board,

We have no objection to Toni Cleaver's three-season screened porch project at 39 Hubbard Ave.

Best,  
Caroline Butler-Rahman and Naveed Rahman  
[41 Hubbard Ave](#)

April 28, 2021

To Whom This May Concern;

I, Portia Ann Battle reside at  
37 Hubbard Avenue of Cambridge,  
Massachusetts. I do not  
have any objections for the  
second floor back porch  
deck to be done over at  
39 Hubbard Avenue of Cambridge,  
Massachusetts, where Mrs Toni  
Gibson resides.

Thank You,  
Portia Ann Battle



# GIBSON RESIDENCE - 3 SEASON PORCH ADDITION

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

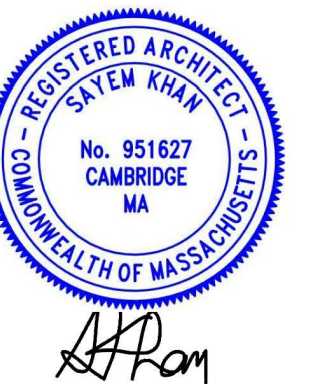
STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



## BZA REVIEW

05.12.2021

[illegible]

## PROPOSED VIEW AND EXISTING IMAGES

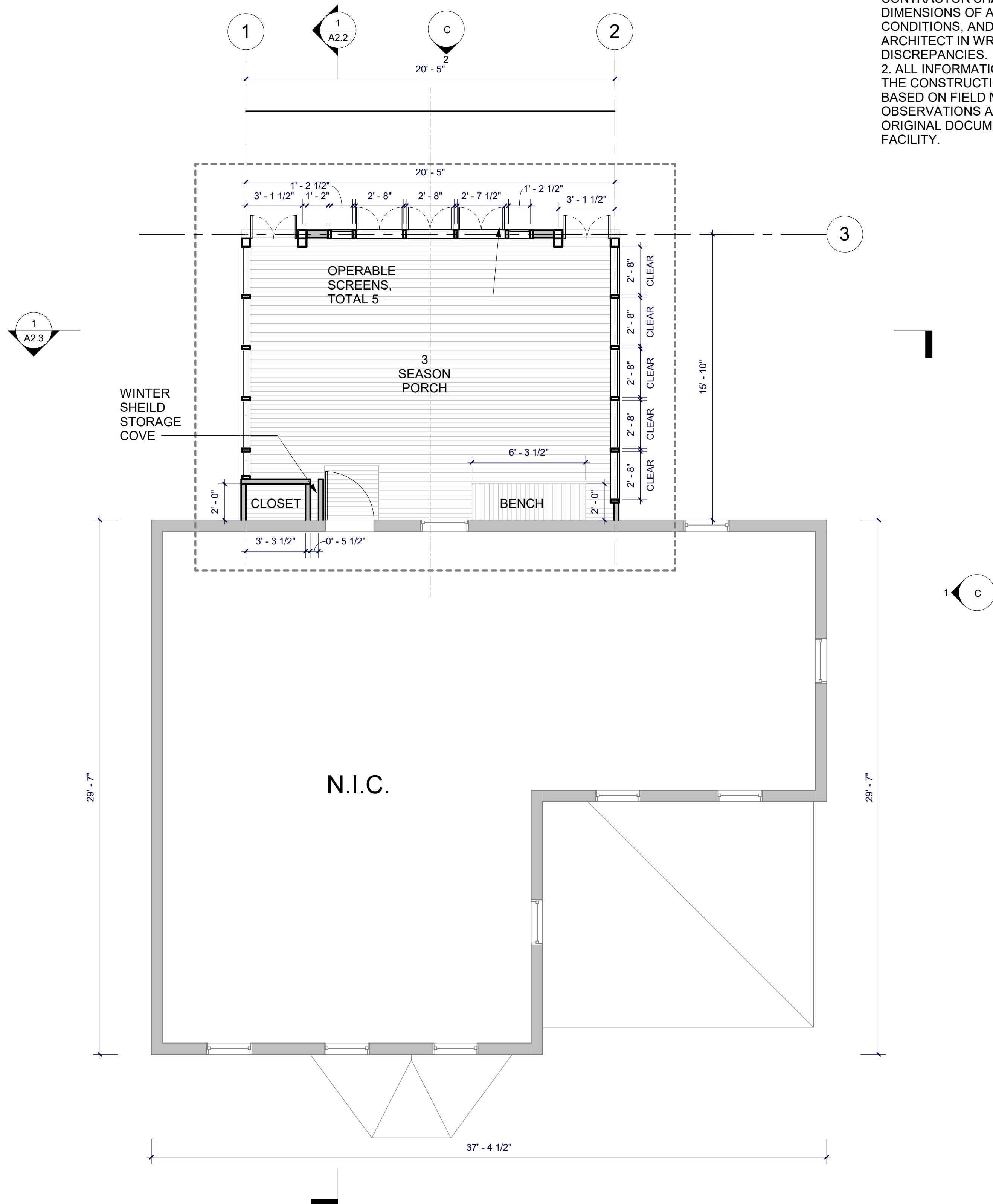
Date 05.12.2021

Drawn by	Author
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Checked by	Checker
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A

Scale



**GIBSON RESIDENCE -  
3 SEASON PORCH  
ADDITION**

39 HUBBARD AVE,  
CAMBRIDGE, MA 02140

OWNER:

TONI CLEAVER -  
GIBSON

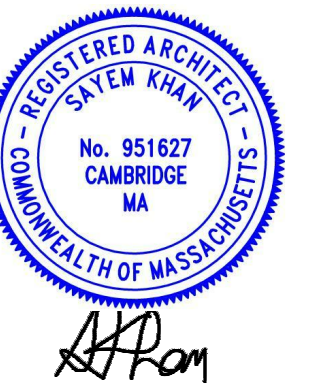
STRUCTURAL ENGINEER:

**BERDI CONSULTING**  
25 WAYLAND HILLS RD.  
WAYLAND, MA 01778  
TEL: (508) 308-9012

MEPFP ENGINEER:

CONTRACTOR:

**CRJ ENTERPEISE**  
73 POPLAR ST,  
DANVERS, MA 01923  
(617) 710-7520



## BZA REVIEW

05.12.2021

[illegible]

## PROPOSED ELEVATIONS

Date	05.12.2021
Drawn by	Author
Checked by	Checker

C

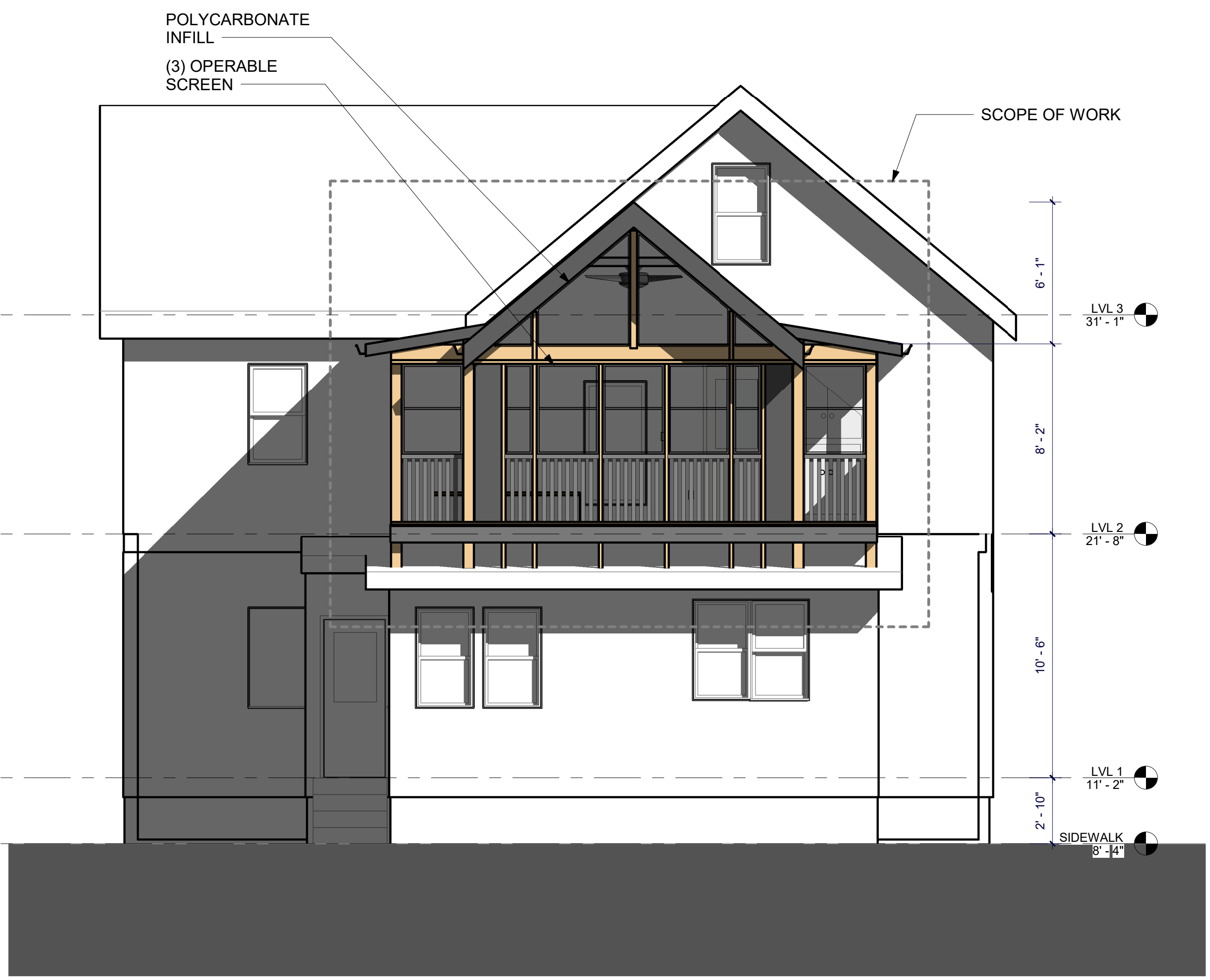
Scale  $1/4" = 1'-0"$

SHEET NOTES:

1. AS BUILT VERIFICATION: THE CONTRACTOR SHALL VERIFY DIMENSIONS OF AS-BUILT CONDITIONS, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
2. ALL INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS IS BASED ON FIELD MEASUREMENTS, OBSERVATIONS AND/OR THE ORIGINAL DOCUMENTS OF THE FACILITY.



1 SOUTH ELEVATION (FRONT) - PROPOSED  
1/4" = 1'-0"



② EAST ELEVATION (SIDE) - PROPOSED  
1/4" = 1'-0"

**BZA APPLICATION FORM**

**SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 39 HUBBARD AVE. (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:

THE PROPSED PROJECT IS WITH IN THE PRESCRIBED SETBACKS. THE PROJECT WITH IMPROVE THE LIVNIG CONDITIONS OF THE MEMBERS OF THE HOUSEHOLD AND THE APPREANCE FOR THE NEIGHBORS.

- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE WILL BE NO CHANGE IN TRAFFIC PATTERN DUE TO THIS PROJECT.

- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE IS NO ADVERSE AFFECT ON THE ZONING ORDINACE.

- D)** Nuisance or hazard would not be created to the detriment of the health, safety and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE IS NO HAZARD OR SAFETY ISSUES TO TEH OCCUPANTS.

- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

THE PROJECT IS REPLACING AN EXISTING DECK ON THE SECOND LEVEL OF A SINGLE FAMILY HOME WITH A NEW AND IMPROVED DECK, THERE IS NO NEGETIVE INFLUENCE ON THE DISTRICT.





39 Hubbard Ave

Petitioner

202-18  
WARD, JAMES J. & TAVIA MEAD  
172 RICHDALE AVE.  
CAMBRIDGE, MA 02140-3324

202-38  
RAHMAN, NAVEED &  
CAROLINE A. BUTLER-RAHMAN  
41 HUBBARD AVE  
CAMBRIDGE, MA 02140

SAYEM KHAN, ARCHITECT  
240 FRANKLIN STREET  
CAMBRIDGE, MA 02139

202-49  
ROSAND, JONATHAN & JUDY POLACHEK  
42 HUBBARD AVE  
CAMBRIDGE, MA 02140-3313

202-51  
RICHMAN, ANDREW S. & THALIA WHEATLEY  
36 HUBBARD AVE  
CAMBRIDGE, MA 02140

202-36  
BATTLE, GLORIA E. & PORTIA ANN BATTLE  
37 HUBBARD AVE.  
CAMBRIDGE, MA 02140-3312

202-38  
BROWN, WILSON H. & MARLENE J. BROWN  
43 HUBBARD AVE., #43  
CAMBRIDGE, MA 02140

202-134  
HAIG, DAVID & ENEIDA HAMAM PARDO  
29 HUBBARD AVE  
CAMBRIDGE, MA 02140

202-135  
BASU, GAURAB & SUDHA NATARAJAN  
31 HUBBARD AVE  
CAMBRIDGE, MA 02140

202-19  
CAMBRIDGE COMMUNITY HOUSING, INC.  
C/O WINN MANAGEMENT  
6 FANEUIL HALL MARKETPLACE  
BOSTON, MA 02109

202-37  
GIBSON, FRANK W. & TONI E. CLEAVER, M.D.  
39 HUBBARD AVE  
CAMBRIDGE, MA 02140

202-48  
RIDDICK, JOSEPHINE J.  
46 HUBBARD AVE, #2  
CAMBRIDGE, MA 02140

202-50  
ROLLINS, JANE B.  
38 HUBBARD AVE  
CAMBRIDGE, MA 02140

202-20  
SCHUBERT, RICHARD W. &  
VICTORIA F. SCHUBERT  
156 RICHDALE AVE., #2  
CAMBRIDGE, MA 02139

202-20  
LIPSHAW, JEFFREY M. & ALENES S. FRANKLIN  
154 RICHDALE AVE  
CAMBRIDGE, MA 02139

202-20  
TREVER, JOHN & LIN KAN TREVER  
156 RICHDALE AVE #1  
CAMBRIDGE, MA 02140-3324

202-39  
LAIRD, SCHUYLER ALEXANDER  
ALEXANDRA ARADER LAIRD  
45 HUBBARD AVE  
CAMBRIDGE, MA 02140

202-17  
JLP REALTY LLC  
42 ELIZABETH RD  
BELMONT, MA 02478