



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 159132

2022 MAR -1 PM 2:55
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASS 02142

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: _____

Variance: X

Appeal: _____

PETITIONER: Samantha Sarett C/O Roof Hub

PETITIONER'S ADDRESS: 240 E 8th St , Boston, MA 02127

LOCATION OF PROPERTY: 39 Regent St , Cambridge, MA

TYPE OF OCCUPANCY: n/a

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/ /Roof deck/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Relief to build a roof deck

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.3 (Non-Conforming Structure).
Article: 10.000	Section: 10.30 (Variance).

Original
Signature(s):

[Signature]
(Petitioner (s) / Owner)

TAYLOR FERGUSON
(Print Name)

Address: 240 E 8TH ST BOSTON MA 02127
Tel. No. 8579908555
E-Mail Address: taylor@myroofhub.com

Date: 2/16/22

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Samantha Sarett
(OWNER)
Address: 39 Regent St, Unit 3, Cambridge MA 02140


State that I/We own the property located at 39 Regent St, Cambridge, MA
which is the subject of this zoning application.

The record title of this property is in the name of Samantha Sarett

*Pursuant to a deed of duly recorded in the date April 29, 2021, Middlesex South
County Registry of Deeds at Book 77643, Page 285; or

Middlesex Registry District of Land Court, Certificate No. _____

Book _____ Page _____.


SIGNATURE BY LAND OWNER-OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

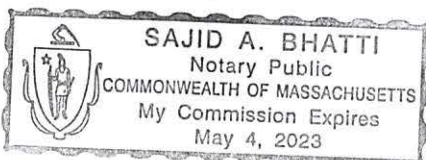
**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Middlesex

The above-name Samantha Sarett personally appeared before me,
this 5th of January, 2022, and made oath that the above statement is true.

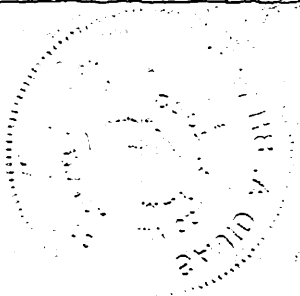
Sajid A. Bhatti Notary
My commission expires 05.04.2023 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



O-183-14 Splendid & beautiful

4-10-18



BZA Application Form**SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- n/a
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:
- n/a
- C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**
- 1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The homeowner desires to increase their accessible outdoor space.

 - 2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

n/a

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

*Revised
2/15/22*

APPLICANT: ROOF HUB PRESENT USE/OCCUPANCY: RESIDENCE

LOCATION: 39 REGENT ST ZONE: RESIDENCE B DISTRICT

PHONE: 857 990 8555 REQUESTED USE/OCCUPANCY: ROOF DECK

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>2,193</u>	<u>382 SF</u>	_____ (max.)
LOT AREA:	<u>2476</u>		_____ (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>.88</u>	<u>1.03</u>	<u>.50</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:			_____ (min.)
SIZE OF LOT:			
WIDTH	<u>26'</u>		_____ (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>13'</u>	<u>—</u>	<u>—</u> (min.)
REAR	<u>41'</u>	<u>—</u>	<u>—</u> (min.)
LEFT SIDE	<u>2'</u>	<u>—</u>	<u>—</u> (min.)
RIGHT SIDE	<u>2'</u>	<u>—</u>	<u>—</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>32' 10"</u>	<u>10' 2"</u>	<u>35'</u> (max.)
LENGTH	<u>42' 11"</u>	<u>CHIMNEY HEIGHT INCREASE</u>	
WIDTH	<u>22'</u>	<u>N/A</u>	<u>N/A</u>
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³			_____ (min.)
NO. OF DWELLING UNITS:	<u>3</u>	<u>N/A</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min./max.)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:			_____ (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

ROOF DECK TO BE ADDED ON EXISTING RUBBER ROOF.
CHIMNEY HEIGHT TO BE INCREASED.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVENWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

Revised 1/19/22 old

APPLICANT: ROOF HUB PRESENT USE/OCCUPANCY: N/A RESIDENCE

LOCATION: 39 REGENT ST ZONE: RESIDENCE B DISTRICT

PHONE: 857 990 8555 REQUESTED USE/OCCUPANCY: ROOF DECK

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u>
TOTAL GROSS FLOOR AREA:	<u>731 SF</u>	<u>382 SF</u>	_____ (max.)
LOT AREA:	<u>2,476 SF</u>		_____ (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA:	<u>.29</u>	<u>.44</u>	<u>.50</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:			_____ (min.)
SIZE OF LOT:			
WIDTH	<u>26'</u>		_____ (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>13'</u>	<u>-</u>	<u>-</u> (min.)
REAR	<u>41'</u>	<u>-</u>	<u>-</u> (min.)
LEFT SIDE	<u>2'</u>	<u>-</u>	<u>-</u> (min.)
RIGHT SIDE	<u>2'</u>	<u>-</u>	<u>-</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>32' 10"</u>	<u>10' 2"</u>	<u>35'</u> (max.)
LENGTH	<u>42' 11"</u>	<u>CHIMNEY HEIGHT INCREASE</u>	
WIDTH	<u>22'</u>	<u>N/A</u>	<u>N/A</u>
RATIO OF USABLE OPEN SPACE TO LOT AREA:			_____ (min.)
NO. OF DWELLING UNITS:	<u>3</u>	<u>N/A</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:			_____ (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.: wood frame, concrete, brick, steel, etc.

ROOF DECK TO BE ADDED ON EXISTING ROOF/ETC
ROOF. CHIMNEY HEIGHT TO BE INCREASED.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Samantha Sarett**Location:** 39 Regent St., Cambridge, MA**Phone:** 8579908555**Present Use/Occupancy:** n/a**Zone:** Residence B Zone**Requested Use/Occupancy:** Roof Deck

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
TOTAL GROSS FLOOR AREA:		750	1132 (382 square foot roof deck)	n/a	(max.)
LOT AREA:		2500	n/a	2500	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²		0.3	0.45	0.50	
LOT AREA OF EACH DWELLING UNIT		n/a	n/a	n/a	
SIZE OF LOT:	WIDTH	n/a	n/a	n/a	
	DEPTH	n/a	n/a	n/a	
SETBACKS IN FEET:	FRONT	15	n/a	15	
	REAR	25	n/a	25	
	LEFT SIDE	7.5	n/a	7.5	
	RIGHT SIDE	7.5	n/a	7.5	
SIZE OF BUILDING:	HEIGHT	35	44	35	
	WIDTH	n/a	n/a	n/a	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		n/a	n/a	n/a	
NO. OF DWELLING UNITS:		3	n/a	n/a	
NO. OF PARKING SPACES:		n/a	n/a	n/a	
NO. OF LOADING AREAS:		n/a	n/a	n/a	
DISTANCE TO NEAREST BLDG. ON SAME LOT		n/a	n/a	n/a	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

n/a

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

39 REGENT ST UNIT 3 - ROOF DECK

SAMANTHA SARETT

39 REGENT STREET, UNIT 3, CAMBRIDGE, MA 02140

FLOW PROJECT #21154

PERMIT SET

PROJECT TEAM

PERSPECTIVE VIEW

OWNER:
SAMANTHA SARETT
39 REGENT STREET,
UNIT 3, CAMBRIDGE,
MA 02140-996-1391

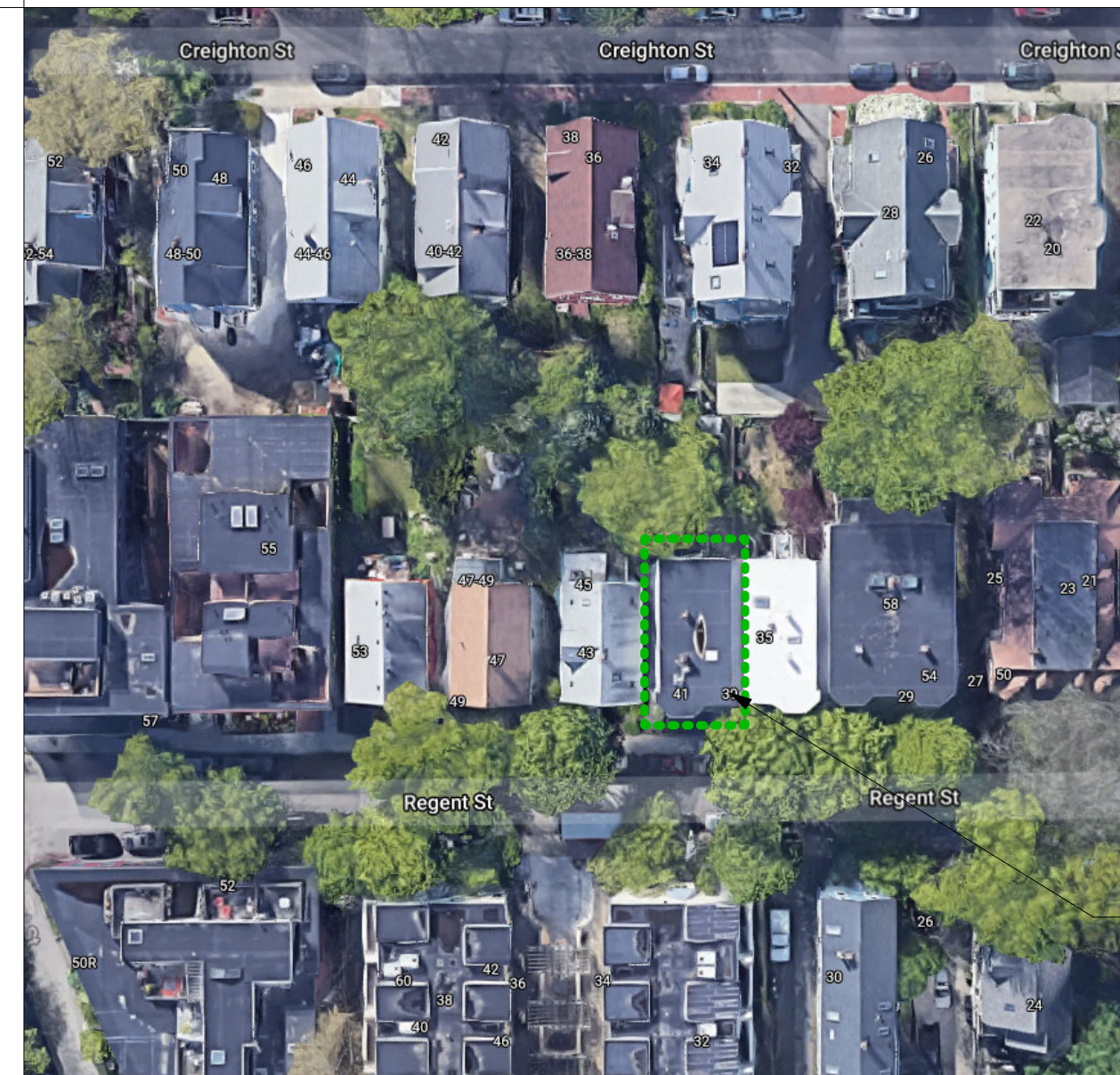
ARCHITECTURE :
FLOW DESIGN ARCHITECTS
 50 GROVE ST. SUITE 226
 SALEM, MA 01970
 TEL: 978-498-4370

GENERAL CONTRACTOR:
THE ROOF HUB
240 E. 8TH STREET #1,
BOSTON, MA 02127
TEL: 857-990-8555



EXISTING PROPERTY
PURPOSES ONLY

AERIAL VIEW



PROJECT LOCATION

GENERAL INFORMATION

THE EXISTING PROPERTY AT 39 REGENT ST. IS A THREE-STORY WOOD FRAMED STRUCTURE. THE EXISTING CURRENT USE IS MULTI-FAMILY RESIDENTIAL. THE RENOVATION INCLUDES A NEW ROOF ACCESS TO A NEW ROOF DECK WITH A PERGOLA SYSTEM.

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39 REGENT ST UNIT 3 - ROOF DECK

39 REGENT STREET, UNIT
3, CAMBRIDGE, MA 02140

SAMANTHA SARETT

ARCHITECT:

Flow Design Inc.

ARCHITECTURE ■ SALEM, MA 01970
RESIDENTIAL DESIGN 50 GROVE ST. SUITE 226
PLANNING SALEM, MA 01970
INTERIOR DESIGN TEL: 978.498.4370
CEL: 978.818.5109
CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

REVISION:

[illegible]

DRAWING TITLE:
TITLE SHEET

DRAWN BY:

JP

CHECKED BY:

MS

SCALE:

N.T.S

DATE: 09 05

PROJECT NO.:

21154

DRAWING



1

PROJECT LOCAT

\\flow\Project
DECKLA Revi

EAL:



ABBREVIATIONS			
A.C.P.	ACOUSTIC CEILING PANEL	K	KIP
A/C	AIR CONDITION	L.B.L.	LABEL
A.F.F.	ABOVE FINISH FLOOR	L.A.V.	LAVATORY
ALUM.	ALUMINUM	L.	LENGTH
A.B.	ANCHOR BOLT	L.T.L.	LINTEL
&	AND	L.V.R.	LOUVER
	ANGLE	L.P.	LOW POINT
APPROX.	APPROXIMATELY	M.H.	MANHOLE
ARCH	ARCHITECTURAL	M.	MARBLE
ARG	ASPHALT & GRAVEL	M.A.S.	MASONRY
B.L.	BASE LINE	M.O.	MASONRY OPENING
B.PL.	BASE PLATE	MATL.	MATERIAL
BEAM	BEAM	MECH.	MECHANICAL
BPC	BED PAN	MTL.	MATERIAL
BLK'G	BLOCKING	MIN.	MINIMUM
B.S.	BOTH SIDES	MISC.	MISCELLANEOUS
B.W.	BOTH WAYS	MTG.	MOUNTING
BOT	BOTTOM	NOM.	NOMINAL
BRK.	BRICK	N.I.C.	NOT IN CONTRACT
BLD'G	BUILDING	N.T.S.	NOT TO SCALE
B.	BOTTOM OF ---	NO. #	NUMBER
OPT.	CARPET	NC	NURSE CALL
CL.G	CEILING	OFF.	OFFICE
CL	CENTER LINE	O.C.	ON CENTER
C.T.C.	CERAMIC TILE COVE	OPG	OPENING
C.T.	CERAMIC TILE	OPP.	OPPOSITE
CERM	CERAMIC	OZ.	OZ.
C.F.	CEMENT FIBERBOARD	O.D.	OUTSIDE DIAMETER
C.L.F.	CHAIN LINK FENCE	O.F.	OUTSIDE FACE
CR	CHAIR RAIL	O.A.	OVERALL
C.O.	CLEAN OUT	O.H.D.	OVERHEAD DOOR
CLR.	CLEARANCE	O.F.I.	OWNER FURNISHED AND INSTALLED
CLSR.	CLOSER	O.F.I.	OWNER FURNISHED CONTRACTOR INSTALLED
C.L.S.	CLOSET	PT.	PNEUMATIC TUBE SYSTEM
CHK	COAT HOOK	PTD.	PAINTED
COL.	COLUMN	PNL.	PANEL
C.M.	COCOA MAT	PH	PARTIAL HEIGHT
CONC	CONCRETE	P.F.	PARTICULAR FILLED
C.B.	CONCRETE BLOCK	PTN.	PARTITION
CONC. BD.	CONCRETE BOUND	PLAS.	PLASTIC
C.M.U.	CONCRETE MASONRY UNIT	PL.	PLASTIC
CONSTR.	CONSTRUCTION	P.LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLUM.	PLUMBING
C.J.	CONTRACT JOINT	P.B.	POUND
C.G.	CORNER GUARD	P.S.I.	POUNDS / SQUARE INCH
CORR.	CORRIDOR	P.S.F.	POUNDS / SQUARE FOOT
CTSK.	COUNTERSUNK	PREF.	PREFINISHED
CRS.	COURSE	P.M.	PRESSED METAL
CH.	CYLINDER	PROP. /	PROPERTY / PROPOSED
CH.	CEILING HEIGHT	Q.T.	QUARRY TILE
DEPT	DEPARTMENT	Q.T.C.	QUARRY TILE COVE
DEP	DEPRESSION	R.	RADIUS / RISER
DIAG	DIAGONAL	REC	RECEPTACLE / ELECTRICAL
	DIAMETER, ROUND	RTPH	REFERENCE
DIM	DIMENSION	REF	REFERENCE
DO.	DITTO	REINF.	REINFORCE(ING)
DR	DOOR	REM	REMOVE
D.L.	DOCK LEVELER	REQ'D	REQUIRED
D.A.	DOUBLE ACTING	REV.	REVISION / REVERSE
D.S.	DOWNSPOUT	R.F.	RIGID FRAME
DRAIN	DRAIN	R.D.	ROAD
DWG.	DRAWING	R.D.	ROOF DRAIN
D.W.	DRYWALL	R.W.L.	RAIN WATER LEADER
EA.	EACH	RGH.	ROUGH
E.F.	EACH FACE	SECT	SECTION
E.W.	EACH WAY	S.S.	SERVICE SINK
ELEC.	ELECTRIC	S.S.	STAINLESS STEEL
E.W.C.	ELECTRIC WATER COOLER	SH.V.	SHEET VINYL
ELEV.	ELEVATOR, ELEVATION	S.W.	SHOP WELD
EL.	ELEVATION	SL.DR.	SLIDING DOOR
ENCL.	ENCLOSE, ENCLOSURE	S.C.	SOLID CORE
ENG.	ENGINEERING	SPEC.	SPECIFICATION
ENT	ENTRANCE	SPR.	SPRINKLER
EQ.	EQUAL	SQ. FT.	SQUARE FEET
EQUIP	EQUIPMENT	STD.	STANDARD
EXIST	EXISTING	STL.	STEEL
EXP	EXPANSION, EXPOSED	STRUCT.	STRUCTURAL
E.B.	EXPANSION BOLT	SUSP	SUSPENDED
E.J.	EXPANSION JOINT	SYMM.	SYMMETRICAL
EXTER	EXTERIOR	TELE	TELEPHONE
F.B.	FACE BRICK	TLB	THOUSAND POUND
FT.	FACE OF ---	THRD	THRESHOLD
TO F.	FACE TO FACE	TOIL	TOILET
FT.	FEET, FOOT	T/	TOP OF ---
F.W.	FIELD WELD	TB	TOWEL BAR
FIN.	FINISH	TRU-GLZ	TRU-GLAZE
F.E.C.	FIRE EXTINGUISHER CABINET	T.	TREAD
F.H.C.	FIRE HOSE CABINET	TYP.	TYPICAL
FLASH'G	FLASHING	UC.	UNDERCUT
FLR.	FLOOR	UNF.	UNFINISHED
FLRG	FLOORING	U.N.O.	UNLESS NOTED OTHERWISE
F.D.	FLOOR DRAIN	V.P.	VENT PIPE
FLUOR.	FLUORESCENT	VERT.	VERTICAL
FTG	FOOTING	VIN.	VINYL
FRT	FIRE RETARDANT TREATED	V.I.F.	VERIFY IN FIELD
FDN.	FOUNDATION	V.C.T.	VINYL COMPOSITION TILE
F/H	FULL HEIGHT	V.B.C.	VINYL BASE COVE
FUS LINK	FUSIBLE LINK	V.B.S.	VINYL BASE STRAIGHT
G.A.	GAUGE OR GAUGE	V.T.R.	VENT THROUGH ROOF
GALV	GALVANIZED	V.W.C.	VINYL WALL COVERING
G.C.	GENERAL CONTRACTOR	W.SCT	WAINSCOT
GL.	GLASS	W.C.	WATER CLOSET
GB	GRAB RAIL	WT	WEIGHT
GYP. BD.	GYPSUM WALLBOARD	W.W.F.	WELDED WIRE FABRIC
G.W.B.	GYPSUM WALLBOARD	WG.	WIRE GLASS
HDOP	HANDICAP	W.M.	WIRE MESH
HDWR	HARDWARE	W/	WITH
H.D.	HEAVY DUTY	W/O	WITHOUT
HGT. , HT.	HEIGHT	WO	WOOD
H.C.	HOLLOW CORE	WB.	WOOD BASE
H.M.	HOLLOW METAL	W.P.	WORKING POINT
HORIZ.	HORIZONTAL	W.P.	WATER PROOF
H.B.	HOSE BIBB		
H.W.H.	HOT WATER HEATER		

CODES & STANDARDS

Residential Code

GUIDELINES FOR DESIGN AND CONSTRUCTION OF
RESIDENTIAL PROJECTS - 2015 WITH MA.
AMENDMENTS 780 CMR 51

Fire/Life Safety

NFPA 1 - 101 - 2015 EDITION WITH MA. AMENDMENTS
527 CMR 1.00 & 780 CMR 51

STATE FIRE CODE SAF - C 6000 WITH MA. AMENDMENTS

Building

INTERNATIONAL BUILDING CODE 2015 WITH MA. AMENDMENTS

INTERNATIONAL EXISTING BUILDING CODE (IEBC2015) WITH
AMENDMENTS 780 CMR CHAPTER 34

ZONING REVIEW:

1. ZONING DISTRICT

CAMBRIDGE , MA - RESIDENCE B DISTRICT

2. GENERAL REQUIREMENTS

SECTION	APPLICABILITY	DESCRIPTION	REQUIRED	PROVIDED
RESIDENCE B DISTRICT	N/A	<input type="checkbox"/> Minimum Lot Area (square feet) : <input type="checkbox"/> Minimum Front Yard (feet) : <input type="checkbox"/> Minimum Side Yard (feet) : <input type="checkbox"/> Minimum Rear Yard (feet) : <input type="checkbox"/> Maximum Building Height (feet) : <input type="checkbox"/> Max. Far (Ratio) :	2,500 15 7.5 25 35 0.50	2,500 15 7.5 25 35 0.50

3. PROPOSED DECK

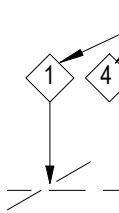
+/- 382 SF

EXISTING ROOF

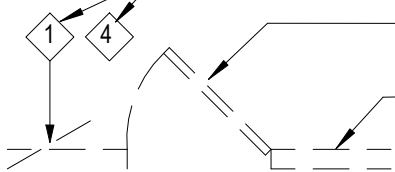
① EXISTING SITE PLAN

SHEET LIST			
SHEET NUMBER	SHEET NAME	INITIAL ISSUE DATE	DESCRIPTION
TITLE SHEETS			
T-100	TITLE SHEET	08.05.2021	PERMIT SET
T-101	SHEET LIST, NOTES AND LEGENDS	08.05.2021	PERMIT SET
EXISTING ARCHITECTURAL			
AEX-100	EXISTING FLOOR PLANS	08.05.2021	CONSTRUCTION REVISION
CIVIL DRAWINGS			
CD-01	CIVIL DRAWING EXISTING SITE PLAN	08.05.2021	PERMIT SET
ARCHITECTURAL			
A-100	PROPOSED FLOOR PLANS	08.05.2021	CONSTRUCTION REVISION
A-102	3D PERSPECTIVES	08.05.2021	CONSTRUCTION REVISION
A-200	ELEVATIONS & DETAILS	08.05.2021	CONSTRUCTION REVISION
A-700	PROPOSED PLANS	08.05.2021	CONSTRUCTION REVISION

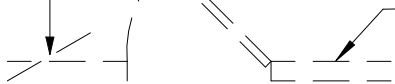
GENERAL LEGEND



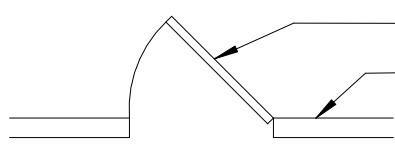
DEMOLITION NOTE KEY



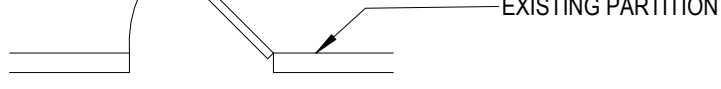
EXISTING DOOR TO BE REMOVED



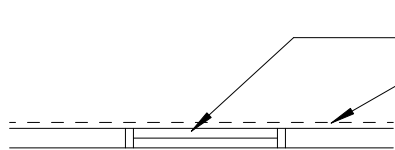
EXISTING PARTITION TO BE REMOVED



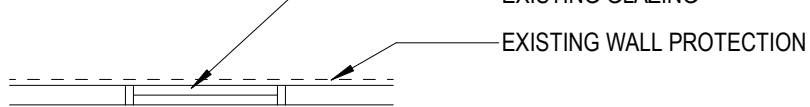
EXISTING DOOR



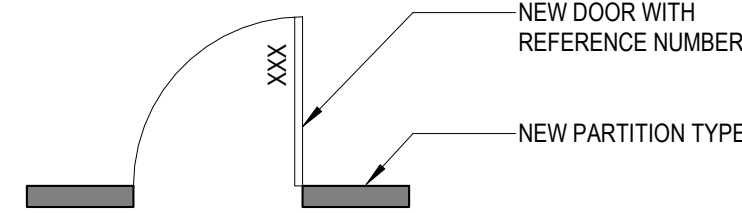
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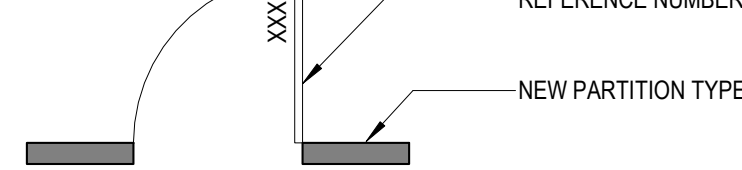
EXISTING GLAZING



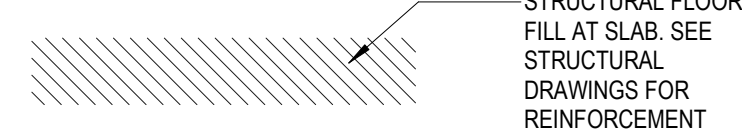
EXISTING WALL PROTECTION



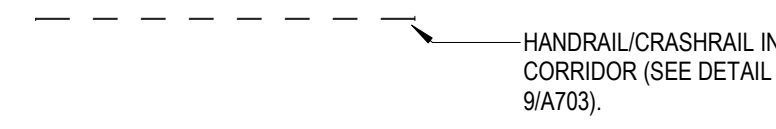
NEW DOOR WITH REFERENCE NUMBER



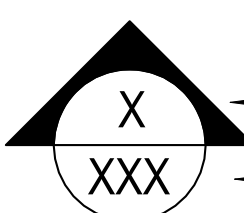
NEW PARTITION TYPE



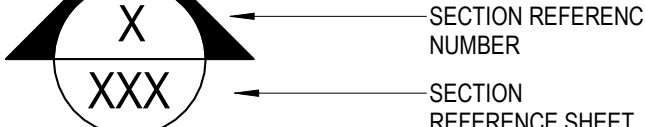
STRUCTURAL FLOOR FILL AT SLAB. SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT INFORMATION



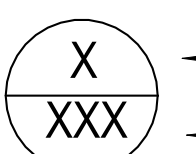
HANDRAIL/CRASHRAIL IN CORRIDOR (SEE DETAIL 9/A703).




SECTION REFERENCE NUMBER




SECTION REFERENCE SHEET



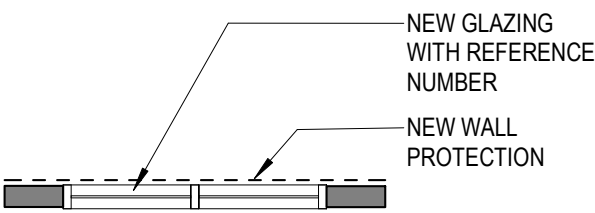
DETAIL REFERENCE NUMBER



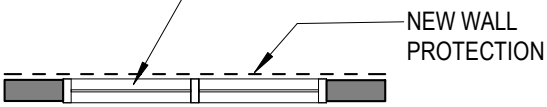
DETAIL REFERENCE SHEET



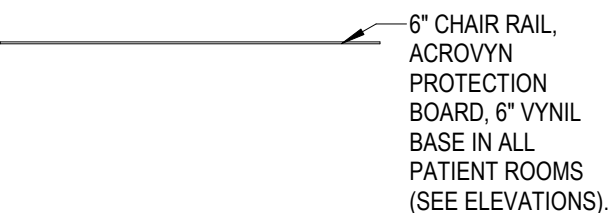
EXIT



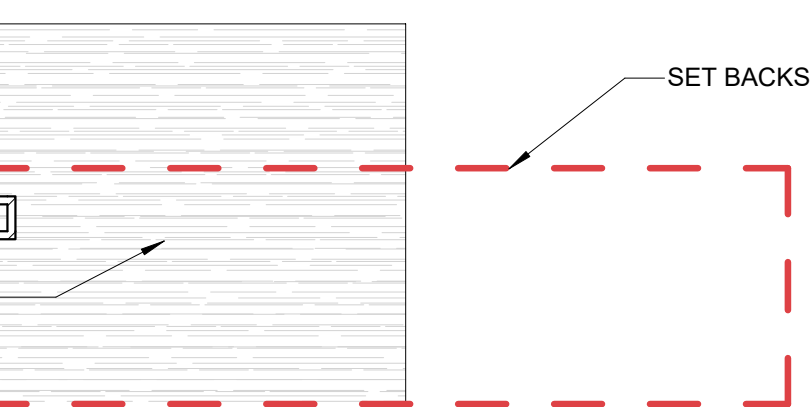
NEW GLAZING WITH REFERENCE NUMBER



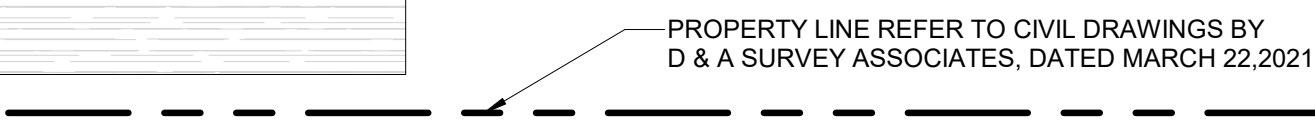
NEW WALL PROTECTION



6" CHAIR RAIL, ACROBYN PROTECTION BOARD, 6" VYNIL BASE IN ALL PATIENT ROOMS (SEE ELEVATIONS).



SET BACKS



PROPERTY LINE REFER TO CIVIL DRAWINGS BY D & A SURVEY ASSOCIATES, DATED MARCH 22, 2021

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39 REGENT STREET, UNIT
3, CAMBRIDGE, MA 02140

ARCHITECT:

SALEM, MA 01970

TEI: 978 498 4370

CEI - 978 818 5109

CONSULTANT:

CONSULTANT:

REVISION:

[illegible]

DRAWING TITLE:

DRAWN BY

JP

CHECKED BY _____

SCALE

As indicated

DATE: _____

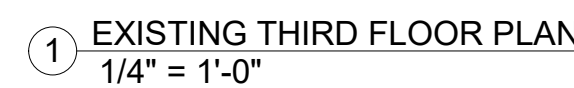
08.05.2021

2115

DRAWING NO.

PROJECT LOCATION

\\flow\Projects\Architecture\2021\21154 39 REGENT ST, UNIT 3 - ROOF
DECK\A_Revit\21154 39 REGENT ST, UNIT 3 - ROOF DECK.rvt



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**39 REGENT ST UNIT 3 -
ROOF DECK**

**39 REGENT STREET, UNIT
3, CAMBRIDGE, MA 02140**

SAMANTHA SARETT


ARCHITECT:

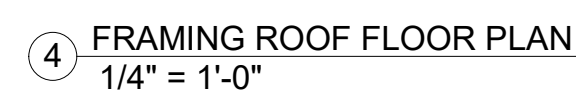
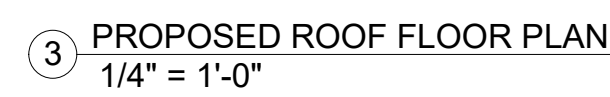
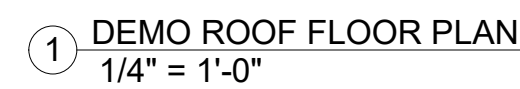
Flow Design Inc.

ARCHITECTURE
RESIDENTIAL DESIGN
PLANNING
INTERIOR DESIGN

■ SALEM, MA 01970
50 GROVE ST. SUITE 226
SALEM, MA 01970
TEL: 978.498.4370
CEL: 978.818.5109
CEL: 774.317.0491

CONSULTANT:

DRAWING TITLE: EXISTING FLOOR PLANS		SEAL: 
DRAWN BY: JP		
CHECKED BY: MS		
SCALE: As indicated		
DATE: 08.05.2021		
PROJECT NO.: 21154		
DRAWING NO.: AEX-100		
PROJECT LOCATION: (\\from\Projects\Architectural\2021\21154 39 REGENT ST. UNIT 3 - 300F DEC01A_Ren\21154 39 REGENT ST. UNIT 3 - 300F DEC01A.dwg		



- GENERAL DEMOLITION NOTES:**

1. REMOVE AND DISPOSE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE PLAN.
2. REMOVE AND DISCARD EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON THE PLAN.
3. PATCH AND MATCH CEILINGS AS NEEDED. CONFIRM AND COORDINATE WITH OWNER.
4. PATCH AND REPAIR EXISTING WALLS TO REMAIN AS REQUIRED.
5. PATCH AND REPAIR WALLS AND FINISHED ADJACENT TO AREAS OF DELISTED/REMOVED.
6. COORDINATE REMOVAL AND RELOCATION OF EXISTING FURNITURE WITH OWNER.
7. REMOVE AND DISCARD ANY EXISTING MILLWORK. CONFIRM AND COORDINATE WITH OWNER.
8. REMOVE AND DISCARD ALL EXISTING WOODWORK.
9. PROTECT ALL AREAS NOT BEING AFFECTED BY DEMOLITION.
10. REMOVE FOR REUSE & STORAGE ALL EXISTING LIGHT FIXTURES. CONFIRM AND COORDINATE WITH OWNER.
11. OWNER, GC, AND ARCHITECT TO WALK THROUGH AND MARK ALL EXISTING OUTLETS/DATA PORTS TO REMAIN. THESE OUTLETS/DATA PORTS MAY REQUIRE NEW PLATES AND/OR DEVICES.
12. GC TO PERFORM EXPLORATORY PROBES AT THICKENED WALL AREAS TO CONFIRM NO STRUCTURAL COLUMNS, DUCTS, PLUMBING, OR CHASES EXIST IN THESE CAVITIES PRIOR TO GENERAL DEMOLITION.
13. GC TO CUT BACK AND CAP ALL UNUSED WATER SUPPLY LINES BACK TO SOURCE.
14. REVIEW SPECIFICATIONS FOR ADDITIONAL DEMOLITION NOTES.

- GENERAL CONTRACTOR NOTES:**

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
2. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS.
3. CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK.
4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

GENERAL NOTES:

1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB.
U.N.O.
2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED
FIXTURES AND ACCESSORIES. TYP.
3. CONFIRM CEILING HEIGHTS IN FIELD.

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39 REGENT ST UNIT 3 - ROOF DECK

39 REGENT STREET, UNIT
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SAMANTHA SARETT

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CEL: 978.618.5109
CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

REVISION:

[illegible]

DRAWING TITLE:

PROPOSED FLOOR PLANS

DRAWN BY:

JP

CHECKED BY:

SCALE:

As indicated

DATE:
08.05.2021

PROJECT NO.:

21154

DRAWING NO.:

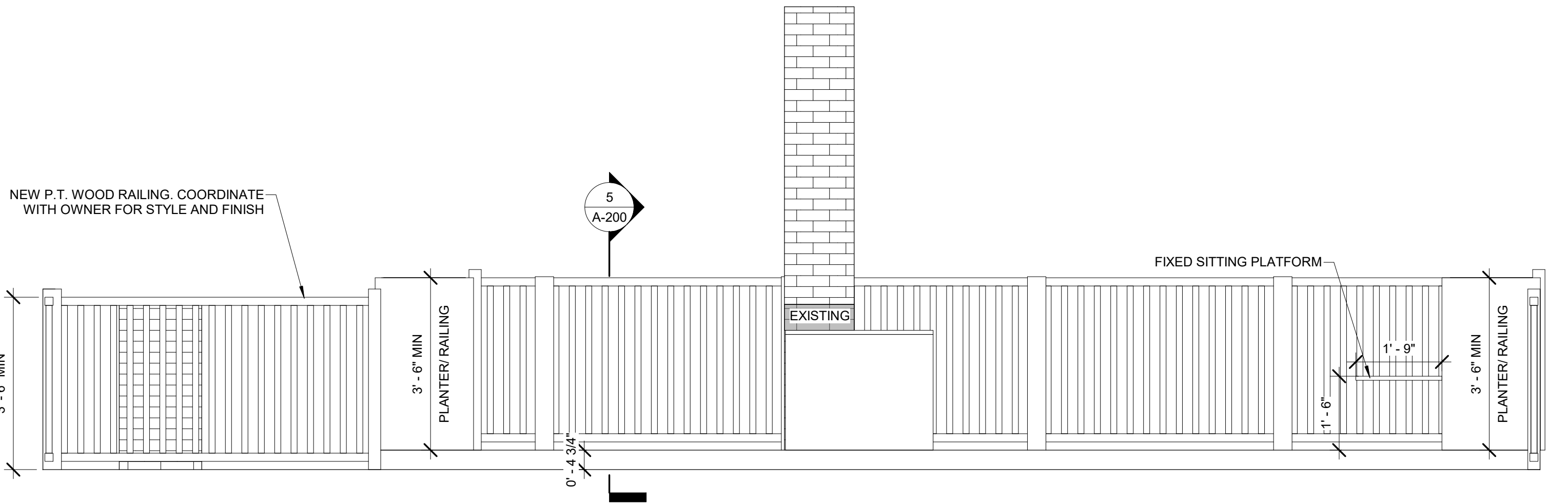
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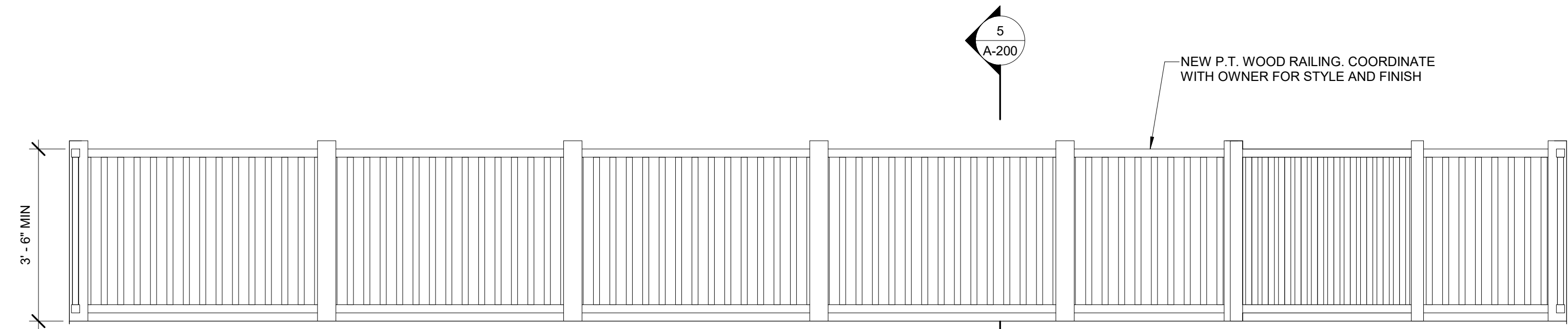
\\flow\Projects\Architecture\2021\21154 39 REGENT ST, UNIT 3 - ROOF
DECK\A_Revit\21154 39 REGENT ST, UNIT 3 - ROOF DECK.rvt

EAL:

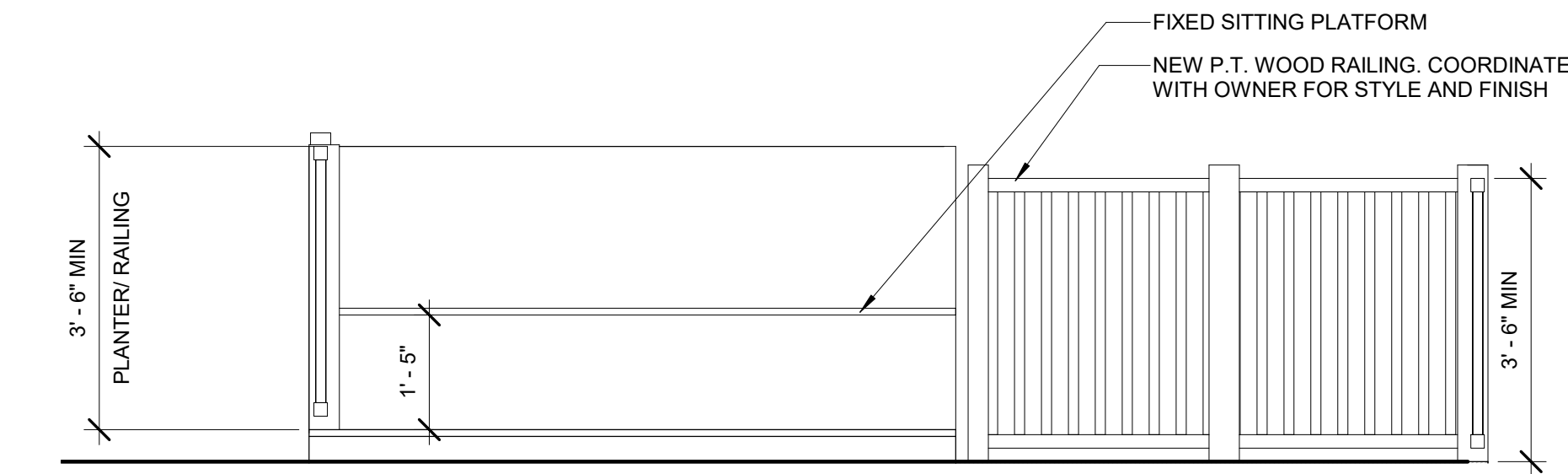




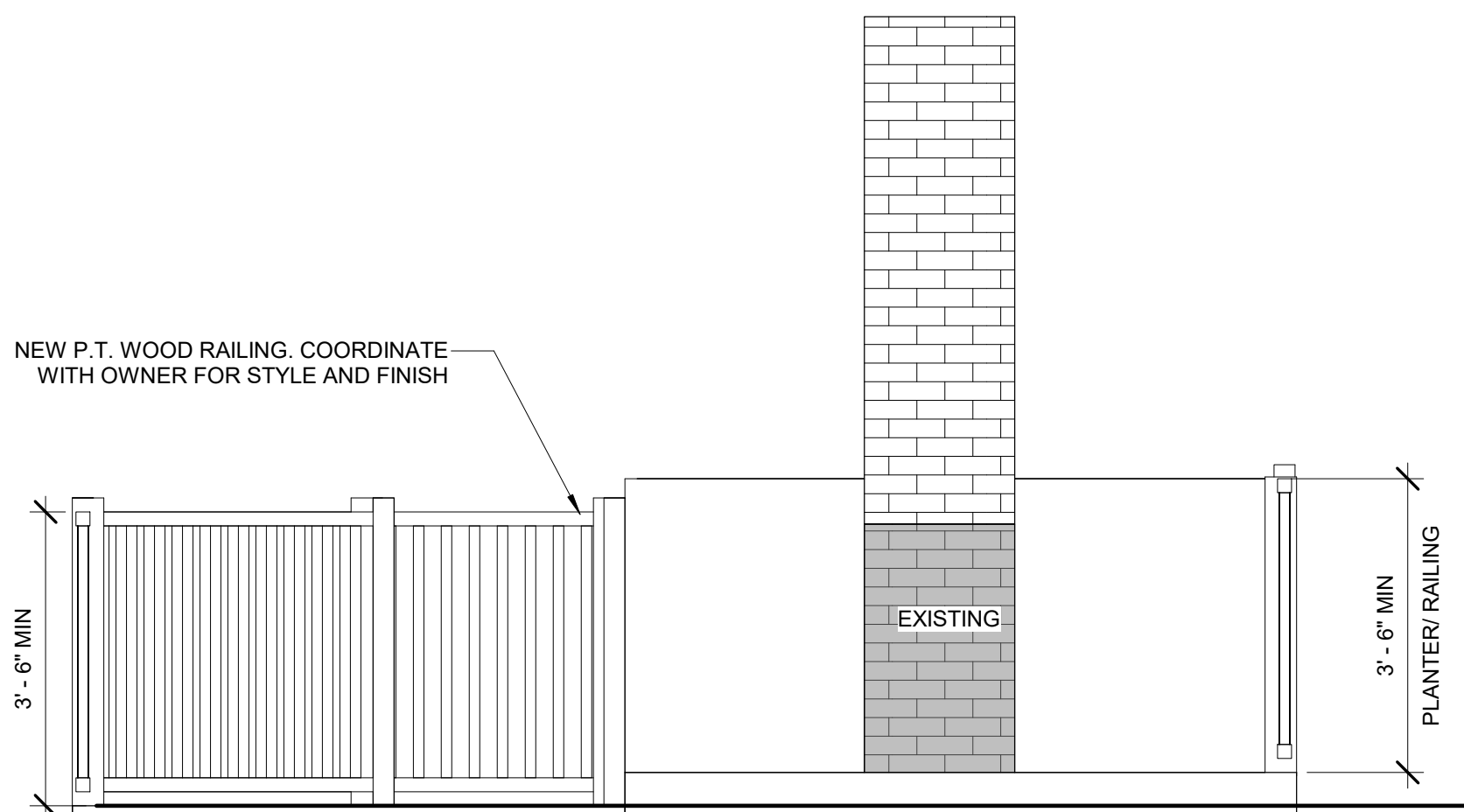
1 DECK ELEVATION 1
1/2" = 1'-0"



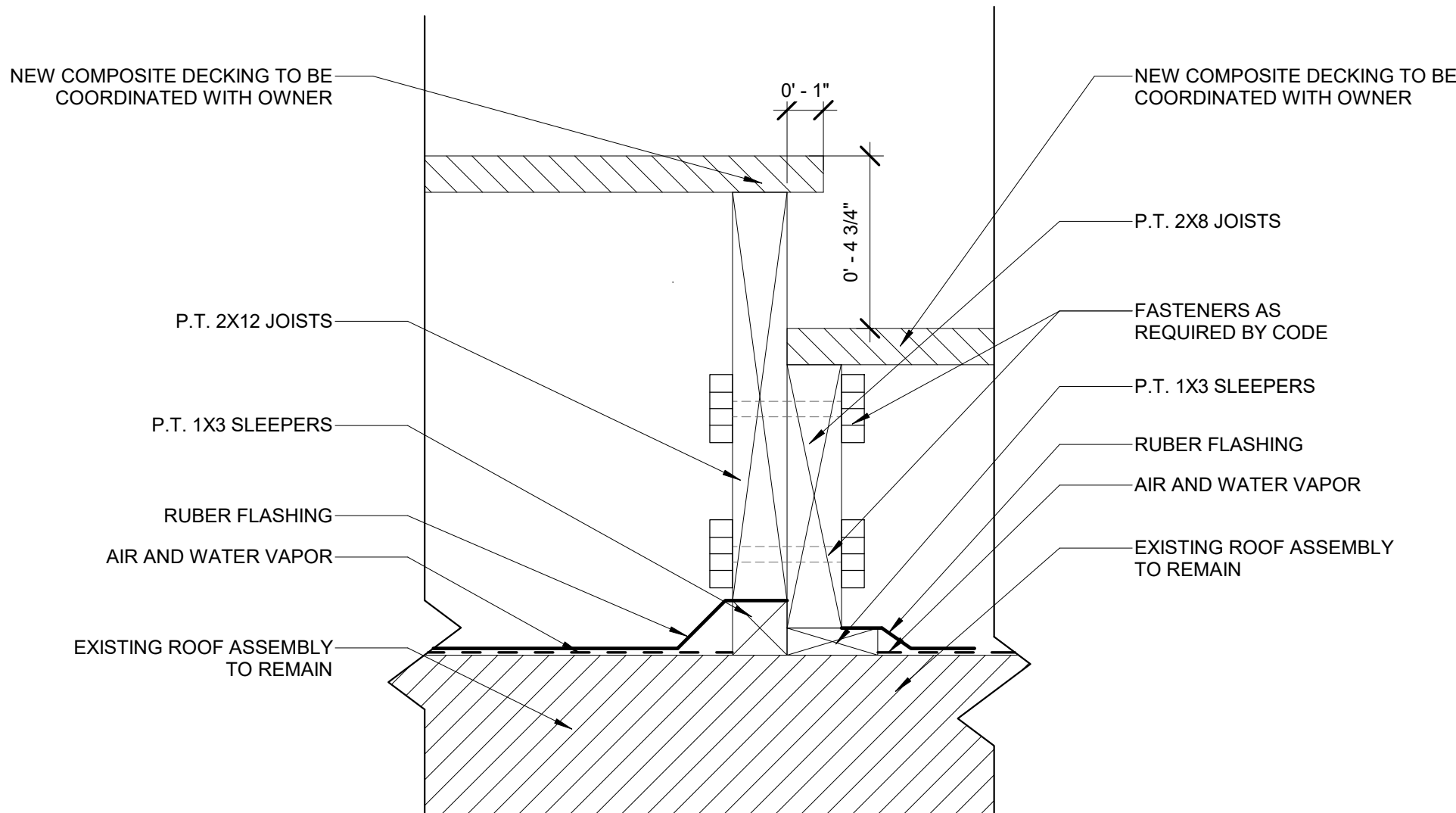
3 DECK ELEVATION 3
1/2" = 1'-0"



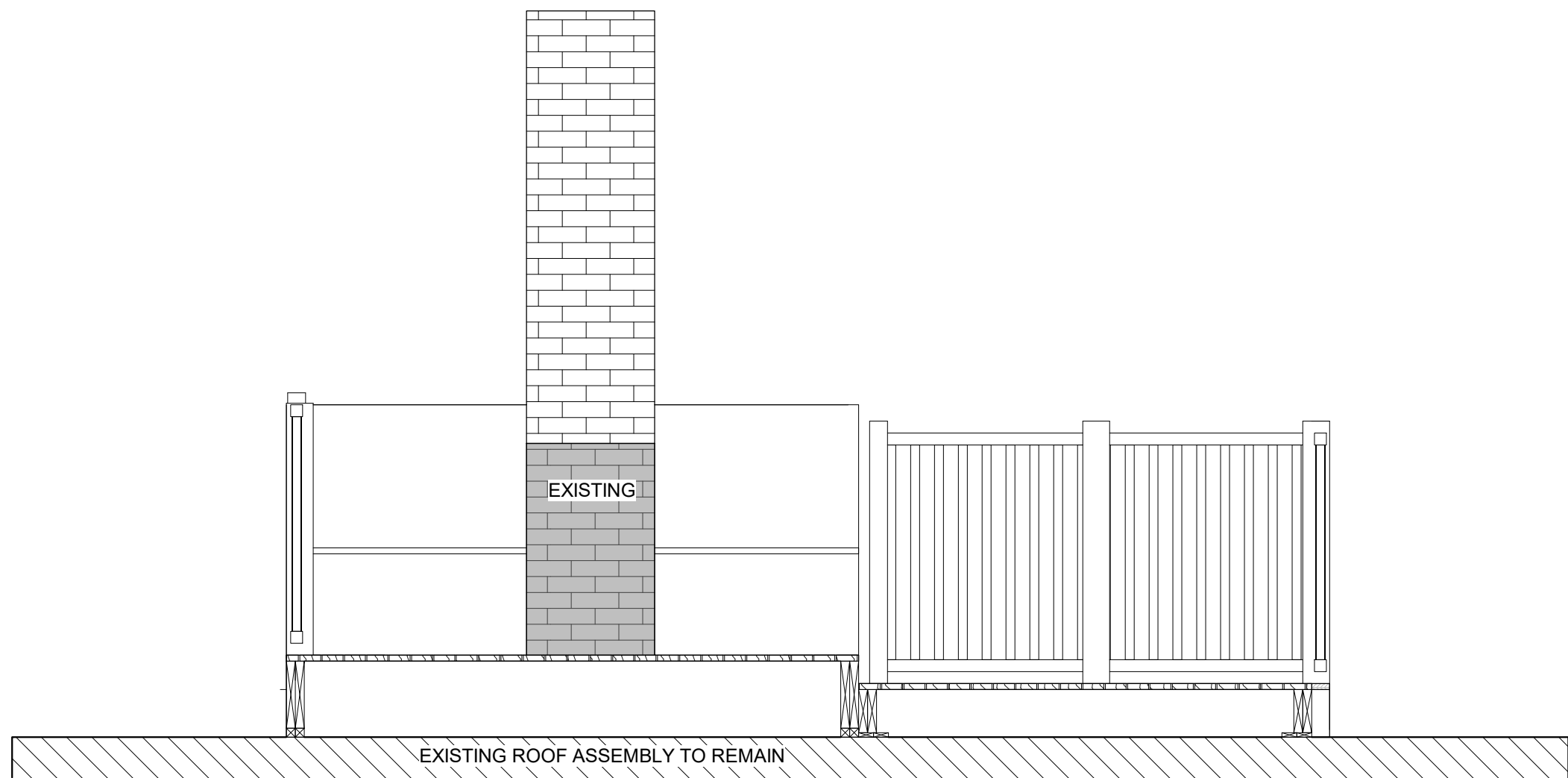
2 DECK ELEVATION 2
1/2" = 1'-0"



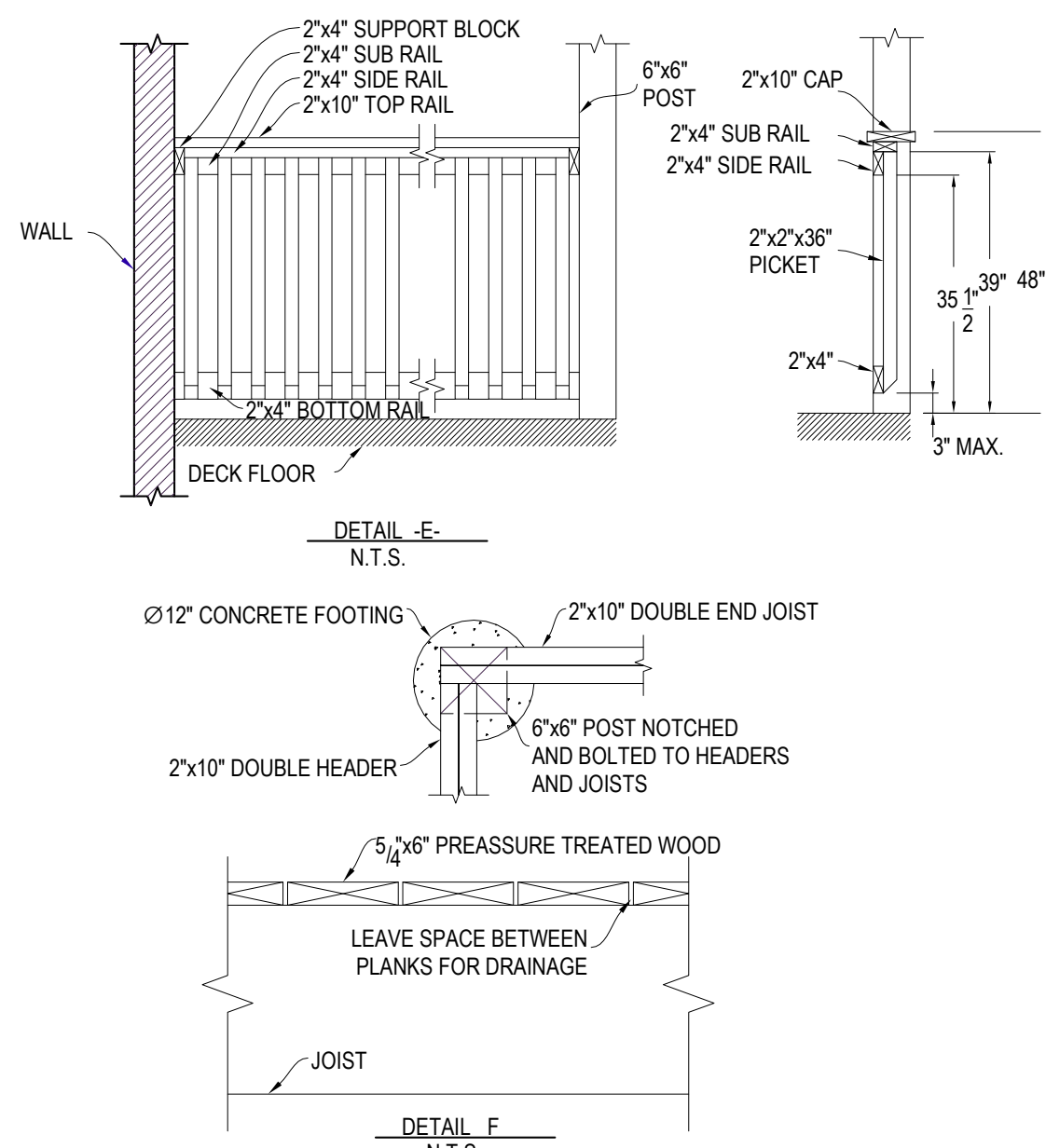
4 DECK ELEVATION 4
1/2" = 1'-0"



BASE OF DECK ASSEMBLY
3" = 1'-0"



5 ROOF DECK SECTION 1
1/2" = 1'-0"



6 RAILING AND DECK DETAILS
1/4" = 1'-0"

GENERAL CONTRACTOR NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD.
2. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE CODES AND REGULATIONS.
3. CONTRACTOR SHALL INFORM ARCHITECT OF ANY ERRORS OR DEVIATIONS PRIOR TO CONTINUING WORK.
4. CONTRACTOR SHALL COORDINATE WITH EACH SUB-CONTRACTOR AND ENSURE TO MEET ALL CODE AND SAFETY REQUIREMENTS.

GENERAL NOTES:

1. ALL INTERIOR DIMENSIONS ARE TO INTERIOR FACE OF GWB.
- U.N.O.
2. PROVIDE BLOCKING AT ALL WALLS W/ WALL MOUNTED FIXTURES AND ACCESSORIES. TYP.
3. CONFIRM CEILING HEIGHTS IN FIELD.

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39 REGENT ST UNIT 3 - ROOF DECK

39 REGENT STREET, UNIT 3, CAMBRIDGE, MA 02140

SAMANTHA SARETT

ARCHITECT:

Flow Design Inc.

ARCHITECTURE

RESIDENTIAL DESIGN

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SALEM, MA 01970

TEL: 978.498.4370

CEL: 978.818.5109

CEL: 774.317.0491

CONSULTANT:

CONSULTANT:

REVISION:

NO:	DATE:	DESCRIPTION:
1	08.05.2021	PERMIT SET
2	10.02.2021	CONSTRUCTION REVISION

DRAWING TITLE:

ELEVATIONS & DETAILS

DRAWN BY:

JP

CHECKED BY:

MS

SCALE:

As indicated

DATE:

08.05.2021

PROJECT NO.:

21154

DRAWING NO.:

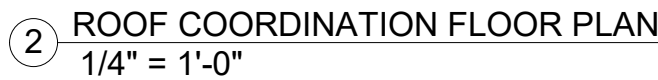
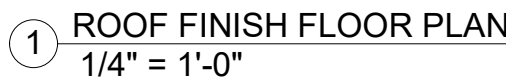
A-200

PROJECT LOCATION:

V:\flow\Projects\Architecture\2021\21154 39 REGENT ST, UNIT 3 - ROOF DECK\A_Rev1\21154 39 REGENT ST, UNIT 3 - ROOF DECK.rvt

SEAL:





FLOORING LEGEND	
FINISHES	
EXG	EXISTING FLOORING TO REMAIN
WD 1	COMPOSITE FLOORING - FINISH TO BE DETERMINED BY OWNER

CONSULTANT:

PROJECT LOCATION:
\\flow\Projects\Architecture\2021\21154 39 REGENT ST, UNIT 3 - ROOF
DECK\A_Revit\21154 39 REGENT ST, UNIT 3 - ROOF DECK.rvt

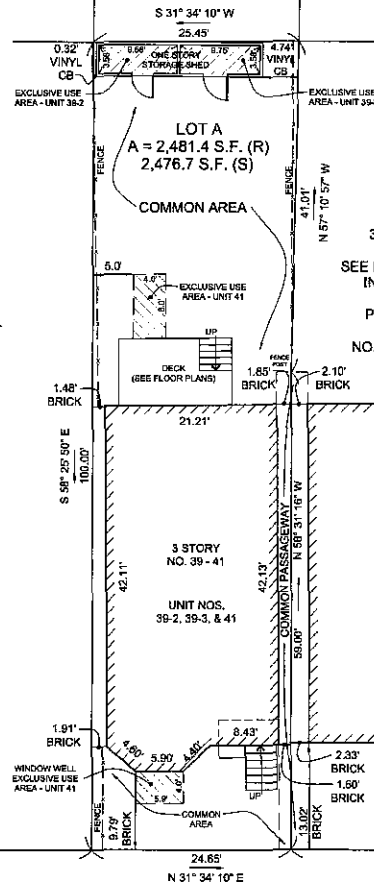
296 of 2021 (1 of 2)

FOR REGISTRY USE ONLY

N/F
DANIEL A. SMITH &
ELAINE SOO HOO
BK. 72875 PG. 392
LOT C
PLAN BOOK 288 PLAN 30
NO. 43 - 45 REGENT STREET

N/F
32 - 34 CREIGHTON STREET
CONDOMINIUM
SEE MASTER DEED RECORDED
IN BOOK 24576 PAGE 472
LOT 17
PLAN BOOK 57 PLAN 7

NO. 32 - 34 CREIGHTON STREET



REGENT (PUBLIC - 40.00' WIDE) STREET

SITE PLAN

REFERENCED PLANS:

- PLAN BOOK 322 PLAN 41
- PLAN BOOK 288 PLAN 30
- PLAN NO. 1486 OF 1983
- PLAN NO. 1221 OF 1982
- PLAN NO. 248 OF 1993
- PLAN NO. 1187 OF 1997
- PLAN BOOK 57 PLAN 7
- PLAN NO. 497 OF 1994
- PLAN NO. 1169 OF 1997
- LAND COURT PLAN NO. 8804 A
- 1988 PLAN OF REGENT STREET OF FILE AT THE CAMBRIDGE ENGINEERING OFFICE
- 1877 ACCEPTANCE PLAN OF REGENT STREET OF FILE AT THE CAMBRIDGE ENGINEERING OFFICE

NOTES:

- THE SQUARE FOOTAGE OF EACH UNIT IS THE GROSS FINISHED FLOOR AREA COMPUTED EXCLUSIVE OF COMMON AREA FACILITIES, EXCLUSIVE USE AREAS, MECHANICAL AREAS, FINISHED STORAGE AREAS, AND DEMISING WALLS AND IS DIMENSIONED TO THE FINISH FACE OF WALL.
- PLAN REFERENCE: BEING LOT A ON A PLAN BY W.A. MASON & SON CO., SURVEYORS, DATED JULY 6, 1923 AND RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 322 PLAN 41.
- THE BUILDING HAS NO NAME.

KEY:

PRIMARY ENTRANCE:	▲	EXCLUSIVE USE AREA UNIT 39-2:	
SECONDARY EGRESS:	△	EXCLUSIVE USE AREA UNIT 39-3:	
UNIT DEMISING WALL:	—	EXCLUSIVE USE AREA UNIT 41:	
NON - DEMISING WALL:	—		

UNIT AREA:

UNIT NO. 39-2: 731 S.F. ±

UNIT NO. 39-3: 750 S.F. ±

UNIT NO. 41: 765 S.F. ±

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBERS AND DIMENSIONS OF THE UNITS NUMBERED 39-2, 39-3, AND 41 IN "THE 39 - 41 REGENT STREET CONDOMINIUM" AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATIONS AND DIMENSIONS OF THE BUILDINGS AS BUILT AND FULLY LISTS THE UNITS CONTAINED THEREIN, AND FURTHER FULLY AND ACCURATELY DEPICTS, LOCATES, AND PROVIDES THE DIMENSIONS OF ALL LIMITED OR EXCLUSIVE USE COMMON AREAS AND FACILITIES OF THE CONDOMINIUM OUTSIDE OF ANY BUILDING.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

MASSACHUSETTS AVENUE

SITE AND FLOOR PLANS THE 39 - 41 REGENT STREET CONDOMINIUM

NO. 39 - 41 REGENT STREET

CAMBRIDGE, MA

0 6' 18' 24' 32'

SCALE: 1/8" = 1'-0"

MARCH 22, 2021

D & A SURVEY ASSOCIATES, INC.
P.O. BOX 621 MEDFORD, MA 02155
(781) 324 - 9566

SHEET 2 of 2

RECORD OWNERS:

ERIC K. STANGE & BARBARA M. COSTA,
TRUSTEES OF THE COSTANGE REALTY TRUST
BOOK 64800 PAGE 187









296 of 2021 (1 of 2)

1/1

FOR REGISTRY USE ONLY

1. THE SQUARE FOOTAGE OF EACH UNIT IS THE GROSS FINISHED FLOOR AREA COMPUTED EXCLUSIVE OF COMMON AREA FACILITIES, EXCLUSIVE USE AREAS, MECHANICAL AREAS, FINISHED STORAGE AREAS, AND DEMISING WALLS AND IS DIMENSIONED TO THE FINISH FACE OF WALL.
2. PLAN REFERENCE: BEING LOT A ON A PLAN BY W.A. MASON & SON CO., SURVEYORS, DATED JULY 6, 1923 AND RECORDED WITH THE MIDDLESEX SOUTH REGISTRY OF DEEDS IN PLAN BOOK 322 PLAN 41.
3. THE BUILDING HAS NO NAME.

KEY:

PRIMARY ENTRANCE:		COMMON AREA:	
SECONDARY EGRESS:		EXCLUSIVE USE AREA UNIT 39-2:	
UNIT DEMISING WALL:		EXCLUSIVE USE AREA UNIT 39-3:	
NON - DEMISING WALL:		EXCLUSIVE USE AREA UNIT 41:	

UNIT AREA:
UNIT NO. 39-2: 731 S.F. ±
UNIT NO. 39-3: 750 S.F. ±
UNIT NO. 41: 765 S.F. ±

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LAYOUT, LOCATION, UNIT NUMBERS AND DIMENSIONS OF THE UNITS NUMBERED 39-2, 39-3, AND 41 IN "THE 39 - 41 REGENT STREET CONDOMINIUM" AS BUILT.

I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATIONS AND DIMENSIONS OF THE BUILDINGS AS BUILT AND FULLY LISTS THE UNITS CONTAINED THEREIN, AND FURTHER FULLY AND ACCURATELY DEPICTS, LOCATES, AND PROVIDES THE DIMENSIONS OF ALL LIMITED OR EXCLUSIVE USE COMMON AREAS AND FACILITIES OF THE CONDOMINIUM OUTSIDE OF ANY BUILDING.

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY
WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE
COMMONWEALTH OF MASSACHUSETTS.

ROOF

THIRD FLOOR

SECOND FLOOR

FIRST FLOOR

BASEMENT

SITE AND FLOOR PLANS

THE 39 - 41 REGENT STREET CONDOMINIUM

NO. 39 - 41 REGENT STREET

CAMBRIDGE, MA



SCALE: 3/16" = 1'-0"

MARCH 22, 2021

D & A SURVEY ASSOCIATES, INC.
P.O. BOX 621 MEDFORD, MA 02155
(781) 324 - 9566

SHEET 1 of 2

RECORD OWNERS:

ERIC K. STANGE & BARBARA M. COSTA,
TRUSTEES OF THE COSTANGE REALTY TRUST
BOOK 64800 PAGE 187

29/6 of 2021 (20f2)

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: ROOF HUB PRESENT USE/OCCUPANCY: N/A RESIDENCE
LOCATION: 39 REGENT ST ZONE: RESIDENCE B DISTRICT
PHONE: 857 990 8555 REQUESTED USE/OCCUPANCY: ROOF DECK

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>731 SF</u>	<u>382 SF</u>	_____ (max.)
LOT AREA:	<u>2,476 SF</u>		_____ (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>.29</u>	<u>.44</u>	<u>.50</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:			_____ (min.)
SIZE OF LOT:			
WIDTH	<u>26'</u>		_____ (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>13'</u>	<u>-</u>	<u>5'</u> (min.)
REAR	<u>41'</u>	<u>-</u>	<u>-</u> (min.)
LEFT SIDE	<u>2'</u>	<u>-</u>	<u>-</u> (min.)
RIGHT SIDE	<u>2'</u>	<u>-</u>	<u>-</u> (min.)
SIZE OF BLDG.:			
HEIGHT	<u>32' 10"</u>	<u>10' 2"</u>	<u>35'</u> (max.)
LENGTH	<u>42' 11"</u>	<u>CHIMNEY HEIGHT INCREASE</u>	
WIDTH	<u>22'</u>	<u>N/A</u>	<u>N/A</u>
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³			_____ (min.)
NO. OF DWELLING UNITS:	<u>3</u>	<u>N/A</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:			_____ (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

ROOF DECK TO BE ADDED ON EXISTING RUBBER
ROOF. CHIMNEY HEIGHT TO BE INCREASED.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

BZA APPLICATION FORM
DIMENSIONAL INFORMATION

APPLICANT: ROOF HUB PRESENT USE/OCCUPANCY: RESIDENCE
 LOCATION: 39 REGENT ST ZONE: RESIDENCE B DISTRICT
 PHONE: 857 990 8555 REQUESTED USE/OCCUPANCY: ROOF DECK

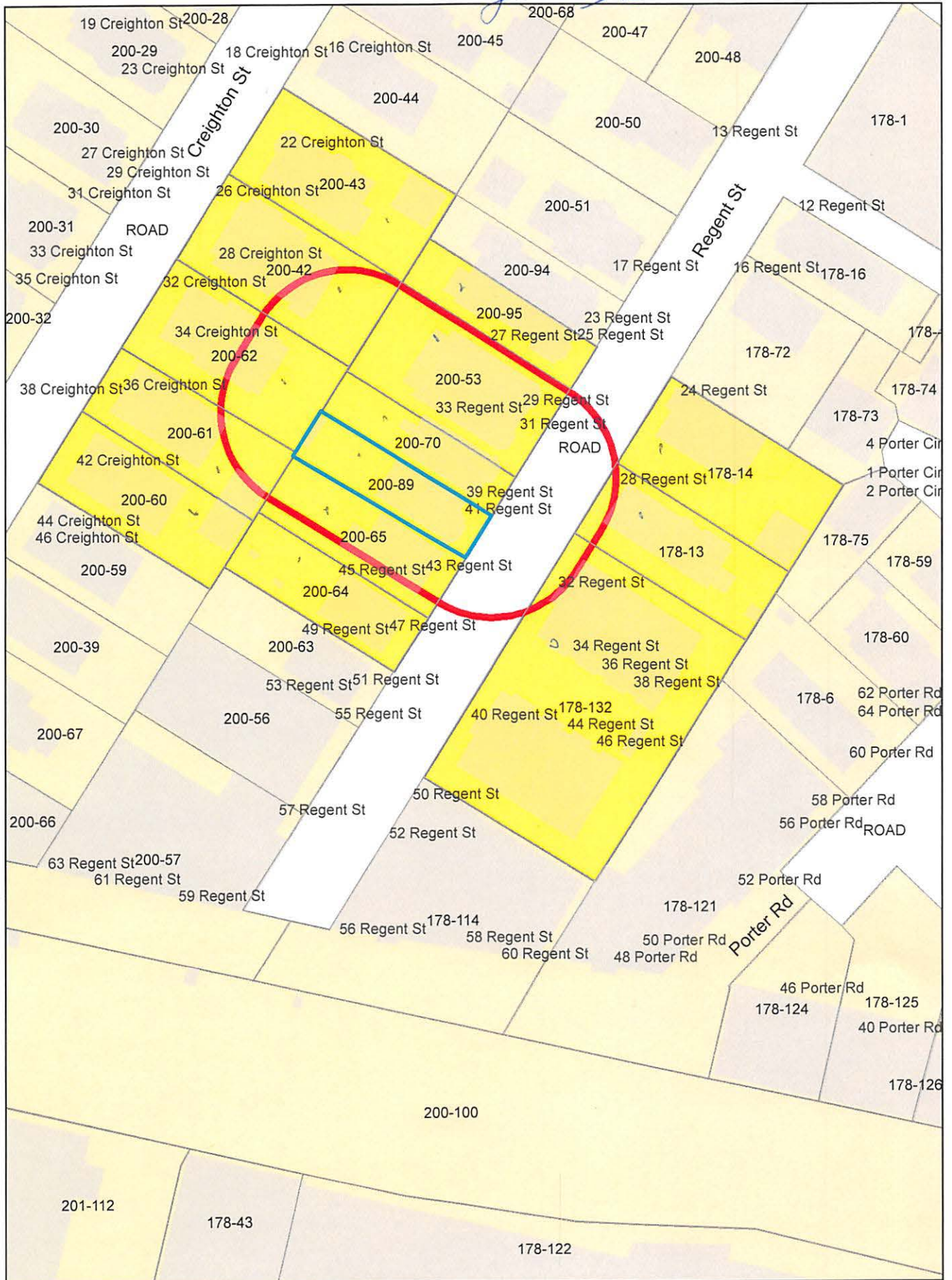
	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS¹</u>
TOTAL GROSS FLOOR AREA:	<u>2,193</u>	<u>382 SF</u>	_____ (max.)
LOT AREA:	<u>2476</u>		_____ (min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: ²	<u>.88</u>	<u>1.03</u>	<u>.50</u> (max.)
LOT AREA FOR EACH DWELLING UNIT:			_____ (min.)
SIZE OF LOT:			
WIDTH	<u>26'</u>		_____ (min.)
DEPTH			
Setbacks in Feet:			
FRONT	<u>13'</u>	<u>-</u>	_____ (min.)
REAR	<u>41'</u>	<u>-</u>	_____ (min.)
LEFT SIDE	<u>2'</u>	<u>-</u>	_____ (min.)
RIGHT SIDE	<u>2'</u>	<u>-</u>	_____ (min.)
SIZE OF BLDG.:			
HEIGHT	<u>32' 10"</u>	<u>10' 2"</u>	<u>35'</u> (max.)
LENGTH	<u>42' 11"</u>	<u>CHIMNEY HEIGHT INCREASE</u>	
WIDTH	<u>22'</u>	<u>N/A</u>	<u>N/A</u>
RATIO OF USABLE OPEN SPACE TO LOT AREA: ³			_____ (min.)
NO. OF DWELLING UNITS:	<u>3</u>	<u>N/A</u>	<u>N/A</u> (max.)
NO. OF PARKING SPACES:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min./max)
NO. OF LOADING AREAS:	<u>N/A</u>	<u>N/A</u>	<u>N/A</u> (min.)
DISTANCE TO NEAREST BLDG. ON SAME LOT:			_____ (min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

ROOF DECK TO BE ADDED ON EXISTING RUBBER ROOF.
CHIMNEY HEIGHT TO BE INCREASED.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

39 Regent St.



39 Regent St.

Petitioner

200-62
GRADY, JOHN M. & TESAIR LAUVE A LIFE ESTATE
32-34 CREIGHTON ST., #34
CAMBRIDGE, MA 02140

200-64
PETITPAS, JOSEPH A. F. &
ISABELLE PETITPAS, A LIFE ESTATE
47-49 REGENT ST
CAMBRIDGE, MA 02140

ROOF HUB
C/O TAYLOR FERGUSON &
240 E 8th STREET
BOSTON, MA 02127

200-43
PAPAGIANNOPOULOS, GEORGIOS
ELENI PAPAGIANNOPOULOS
22 CREIGHTON ST.
CAMBRIDGE, MA 02140

200-53
GHAFFARI, AHMAD, SARAH GHAFFARI-LECERF &
PARVINDOKHT MOAYEDIARAGHI
33 REGENT ST., UNIT 1L
CAMBRIDGE, MA 02140

200-53
FINCKE, BENJAMIN GRAEME
11 ARLINGTON ST
CAMBRIDGE, MA 02140

200-53
GIARRUSSO, MICHAEL A., JR
33 REGENT ST., #3L
CAMBRIDGE, MA 02140

200-53
LEE, PETER A.
133 MARLBOROUGH ST., #4
BOSTON, MA 02116

200-62
RASTEGAR, KAMRAN & CHRISTINE BUSTANY
32-34 CREIGHTON ST., #32
CAMBRIDGE, MA 02140

200-70
GREENE, DAVID P.
4711 SPICEWOOD SPRINGS RD., #243
AUSTIN, TX 78759

200-42
TUNG, LEIN H. & KRISTEN J. GRAVES
TR. THE LIEN H. TUNG FAM TRUST
28 CREIGHTON ST
CAMBRIDGE, MA 02140

200-70
FRAGA, MARIA F.
35-37 REGENT ST., UNIT #2
CAMBRIDGE, MA 02140

178-13
KASPEROWSKI, BRUNILDA
C/O BRULINDA MONTANEZ
28-30 REGENT ST., #1
CAMBRIDGE, MA 02140

178-14
THORNER, BENJAMIN & CHRISTINE P. THORNER
24 REGENT STREET
CAMBRIDGE, MA 02140

200-42
SOLTYS, LOU & CHRISTOPHER MORSE
26-28 CREIGHTON ST., #26
CAMBRIDGE, MA 02140

200-53
BENJAMIN, RENEE L.
33 REGENT ST #2R
CAMBRIDGE, MA 02140

178-13
ALPERT, EVA E.
28-30 REGENT ST
CAMBRIDGE, MA 02140

178-132
CHEN, YING & JUSTIN MICHAEL HILDEBRANDT
34 REGENT ST UNIT #42
CAMBRIDGE, MA 02140

178-132
HUGHES, CURTIS K. DORIA A. P. HUGHES
34 REGENT ST.
CAMBRIDGE, MA 02140

178-132
EVENCHIK, LEONARD N. &
SUZANNE R. KIRSCHNER
36 REGENT STREET #36
CAMBRIDGE, MA 02140

178-132
COLLET, THOMAS,
TRUSTEE THE THOMAS A. COLLET TRUST
34 REGENT ST., #38
CAMBRIDGE, MA 02140

178-132
TALLAPRAGADA, RAVI &
NARENDRA TALLAPRAGADA
34 REGENT ST., #46
CAMBRIDGE, MA 02140

200-89
STANGE, ERIC K. & BARBARA M. COSTA
TRS, THE COSTANGE REALTY TRUST
26 WOODLAND ST
ARLINGTON, MA 02476

200-95
NOMES, MOREL & AUGUSTINE NOMES
25-27 REGENT
CAMBRIDGE, MA 02140-2111

178-132
ALBERT, MICHAEL A. & DOROTHEE ROZENBERG
40 REGENT STREET UNIT #40
CAMBRIDGE, MA 02140

178-132
ZHANG, MENGYUE & LAKE BU
32 REGENT ST
CAMBRIDGE, MA 02140

200-65
SMITH, DANIEL A. ELAINE SOO HOO
43-45 REGENT ST
CAMBRIDGE, MA 02140

200-53
CAMHI, SARAH M. & ADAM S. SHERVANIAN TRS.
1404 FAIRVIEW ST
BERKELEY, CA 94702

178-132
TAN, HONG SHUIHUANG HUA
6 THOMPSON ST
WAYLAND, MA 01778

200-61
LIU, ZIJIE
36-38 CREIGHTON ST
CAMBRIDGE, MA 02140

39 Regent St.

178-13
STORER, ADINE M. TRS
28-30 REGENT ST #3
CAMBRIDGE, MA 02140

200-60
40-42 CREIGHTON ST LLC
40-42 CREIGHTON ST
CAMBRIDGE, MA 02140