



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2003 JUN 21 AM 10:29
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 212952

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: BOWIE, NIKOLAS, & REBECCA BOWIE C/O Rebel Builders

PETITIONER'S ADDRESS: 997 Chestnut St, Newton, MA 02464

LOCATION OF PROPERTY: 3 Hastings Sq., Cambridge, MA

TYPE OF OCCUPANCY: Single family residential **ZONING DISTRICT:** Residence C Zone

REASON FOR PETITION:

/Replacement of a basement window for a bigger one facing the front of the house; the front yard setback is already non conforming and possibly the building height will be altered the by the alteration of the existing window well. A skylight to be installed on the existing roof; The side setback is already non conforming on that area/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To add a window well that alters the average height of the building to be non-conforming.

To add a skylight within the existing side yard setback.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
- Article: 8.000 Section: 8.22.2.d, 8.22.2.c & 8.22.3 (Non-Conforming Structure)
- Article: 10.000 Section: 10.30 (Variance). & 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

Diana Pardo-Rebel
(Print Name) Builders

Address: _____

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

A) A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

n/a

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

n/a

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The proposed window well update won't affect the facade nor cast any shadows on the adjacent buildings. This won't affect nor impact negatively the surrounding areas nor the structure of the building itself. Such change will only bring more natural light and ventilation to the existing basement area

2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed window well update won't affect the facade nor cast any shadows on the adjacent buildings. This won't affect nor impact negatively the surrounding areas nor the structure of the building itself. Such change will only bring more natural light and ventilation to the existing basement area. The only relieves we are looking for are 0.4 ft on the height caused by a deeper window well and the current non-conforming front setback of the building structure.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 3 Hastings Sq., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The proposed window well update and skylight installation won't affect the facade nor cast any shadows on the adjacent buildings. This won't affect nor impact negatively the surrounding areas nor the structure of the building itself. Such change will only bring more natural light and ventilation to the existing basement area and increase the head height of the existing non-conforming stairs in the attic. The relief we are looking for is 0.4 ft on the height caused by a deeper window well and the current non-conforming front setback of the building structure and the possibility of installing a skylight on a non-conforming setback.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

No changes in traffic patterns

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The use of the building remains the same

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

No nuisance nor hazard will be created, the building will actually be improved

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

No changes in use are being proposed

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Tel. No. 617-755-2668
 E-Mail Address: hayley@rebeldesignbuild.com

Date: _____

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: BOWIE, NIKOLAS, & REBECCA BOWIE
Location: 3 Hastings Sq., Cambridge, MA
Phone: 617-755-2668

Present Use/Occupancy: Single family residential
Zone: Residence C Zone
Requested Use/Occupancy: Single family residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		4,837	4,837	4,500	(max.)
<u>LOT AREA:</u>		7,500	no changes (7,500)	min 5,000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.64	0.64	0.6	
<u>LOT AREA OF EACH DWELLING UNIT</u>		7,500	no change (7,500)	min 1,800	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	50	no change (50)	50	
	<u>DEPTH</u>	150	no change (150)	n/a	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	9.4 (without existing window well)	9.4 + 3 (proposed window well)	15.27	
	<u>REAR</u>	85.4	no change (85.4)	20	
	<u>LEFT SIDE</u>	20	no change (20)	18.02min	
	<u>RIGHT SIDE</u>	2.2	no change (2.2)	18.02min	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	34.08	35.48	35	
	<u>WIDTH</u>	56	56 (+3 from window well)	n/a	
	<u>LENGTH</u>	27	no change (27)	n/a	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		n/a	n/a	n/a	
<u>NO. OF DWELLING UNITS:</u>		1	no change (1)	n/a	
<u>NO. OF PARKING SPACES:</u>		5	no change (5)	n/a	
<u>NO. OF LOADING AREAS:</u>		n/a	n/a	n/a	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		n/a	n/a	n/a	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

n/a

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Nikolas Bowie and Rebecca Bowie
(OWNER)

Address: 3 Hastings Square, Cambridge MA 02139

State that I/We own the property located at 3 Hastings Square, which is the subject of this zoning application.

The record title of this property is in the name of Nikolas Bowie and Rebecca Bowie

*Pursuant to a deed of duly recorded in the date 10/10/2017, Middlesex South County Registry of Deeds at Book 70056, Page 65; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

[Signature]
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

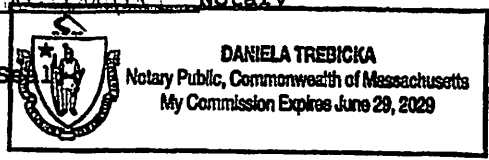
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex SS

The above-name Nikolas Bowie personally appeared before me, this 28th of October, 2022, and made oath that the above statement is true.

[Signature] Notary

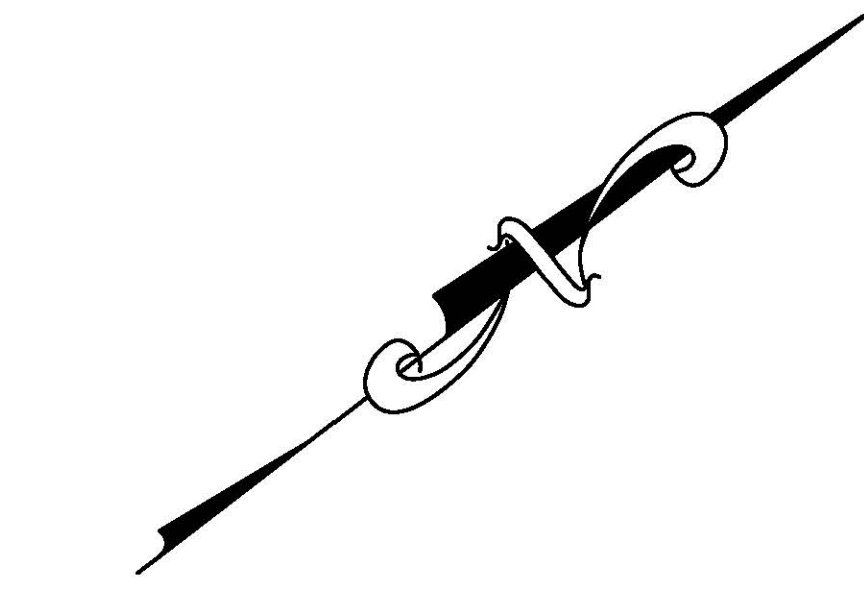
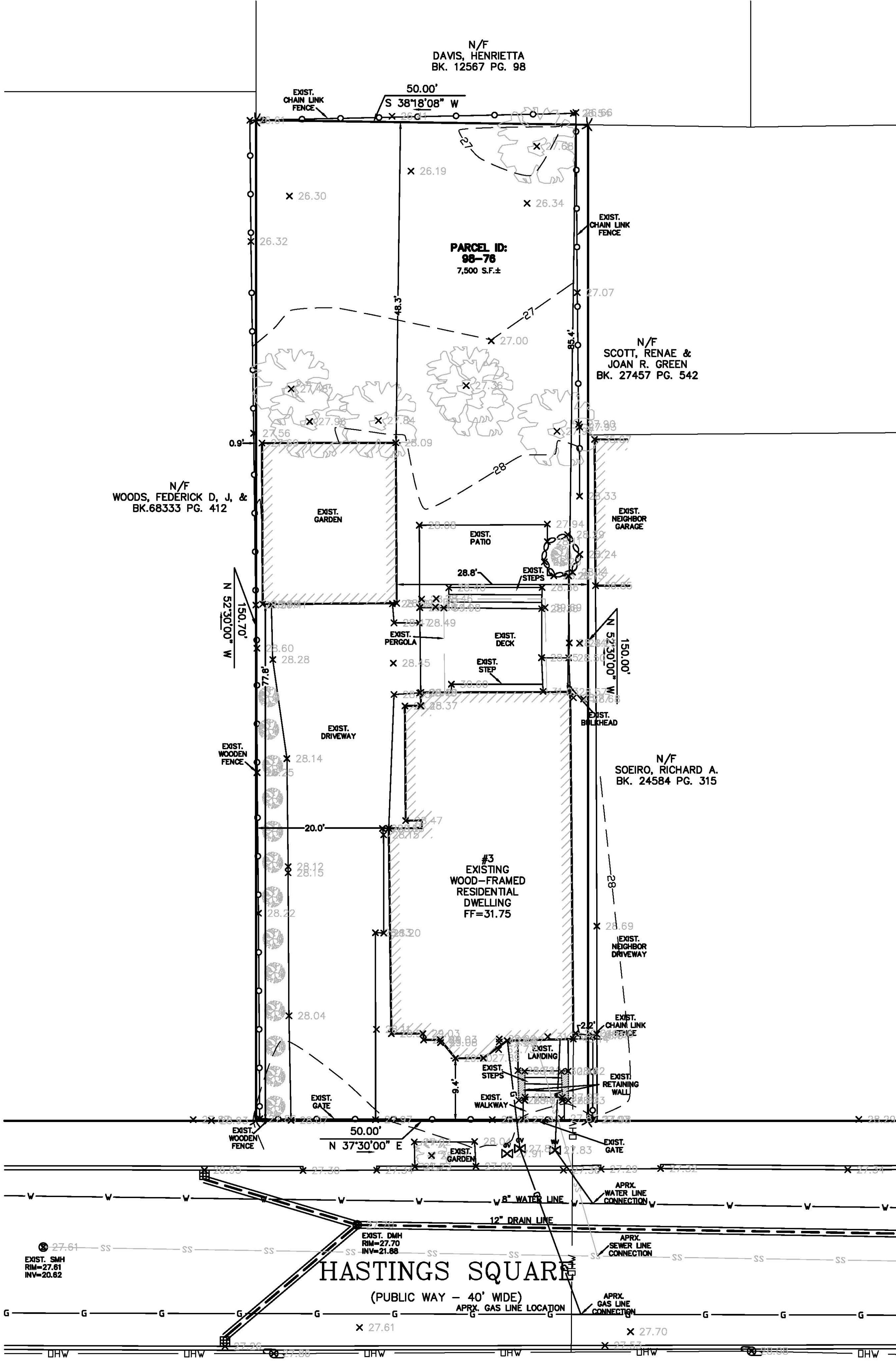
My commission expires June 29, 2029 (Notary Seal)



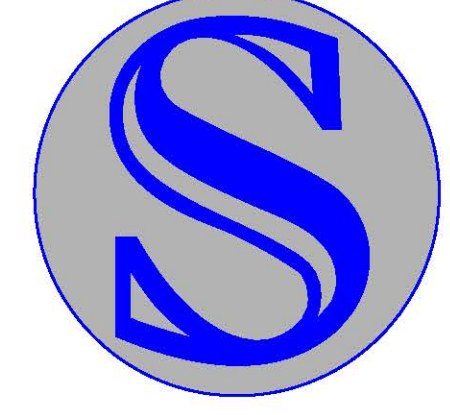
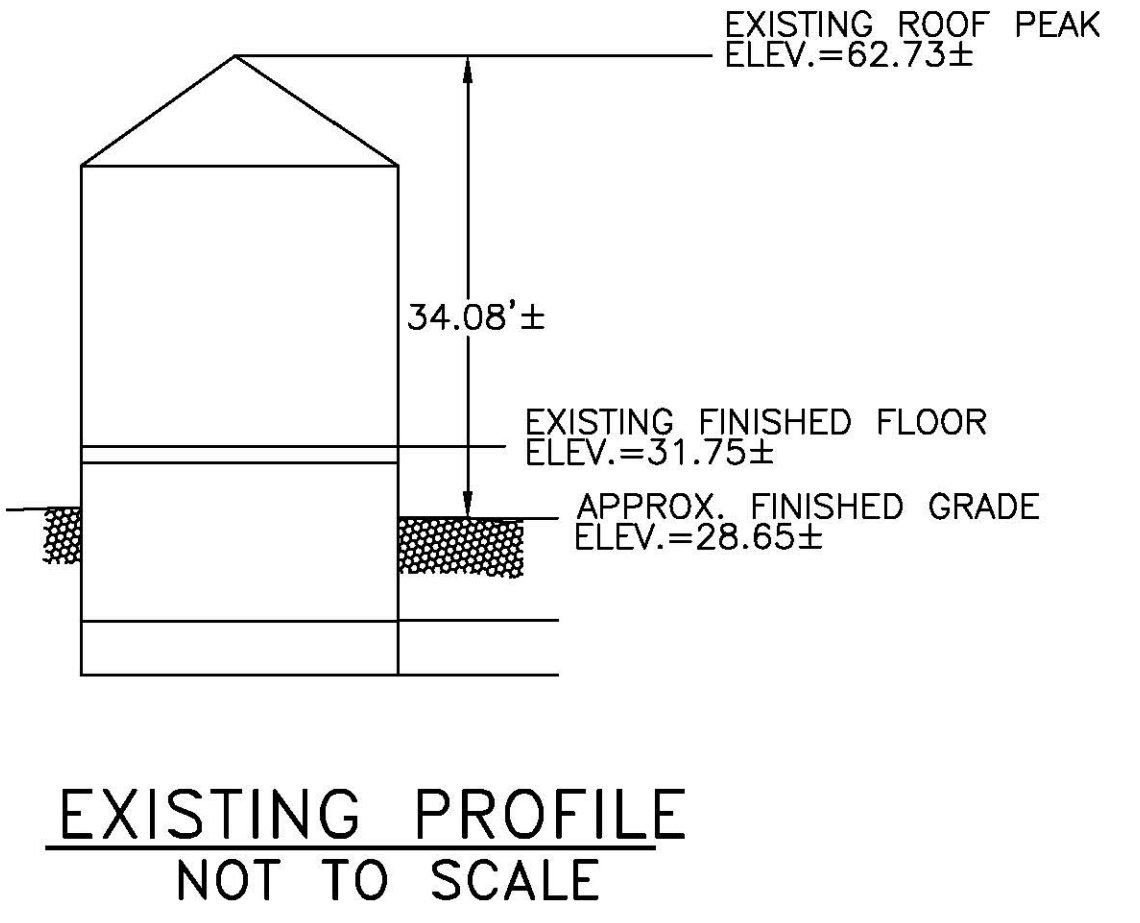
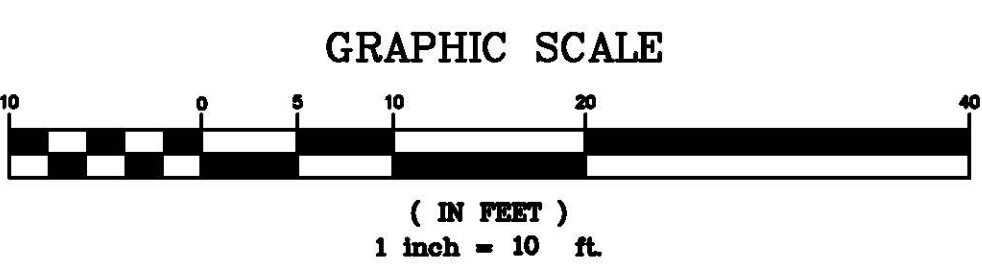
- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

NOTES:

- 1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 09/08/2022.
- 2. DEED REFERENCE: BOOK 70056, PAGE 65
PLAN REFERENCE 1: PLAN 1097 OF 1930
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
- 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
- 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0576E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.
- 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
- 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
- 8. THE ELEVATIONS SHOWN ARE ON A CITY OF CAMBRIDGE DATUM.
- 9. ZONING DISTRICT: RESIDENCE C.



LEGEND	
	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)



Spruhan Engineering, P.C.
80 JEWETT ST., (SUITE 2)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com

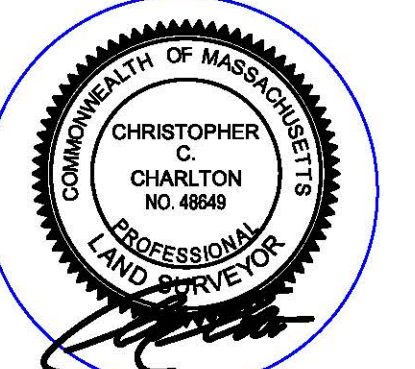
**3 HASTINGS SQUARE
CAMBRIDGE
MASSACHUSETTS**

SURVEY PLAN

REVISION BLOCK

DESCRIPTION	DATE

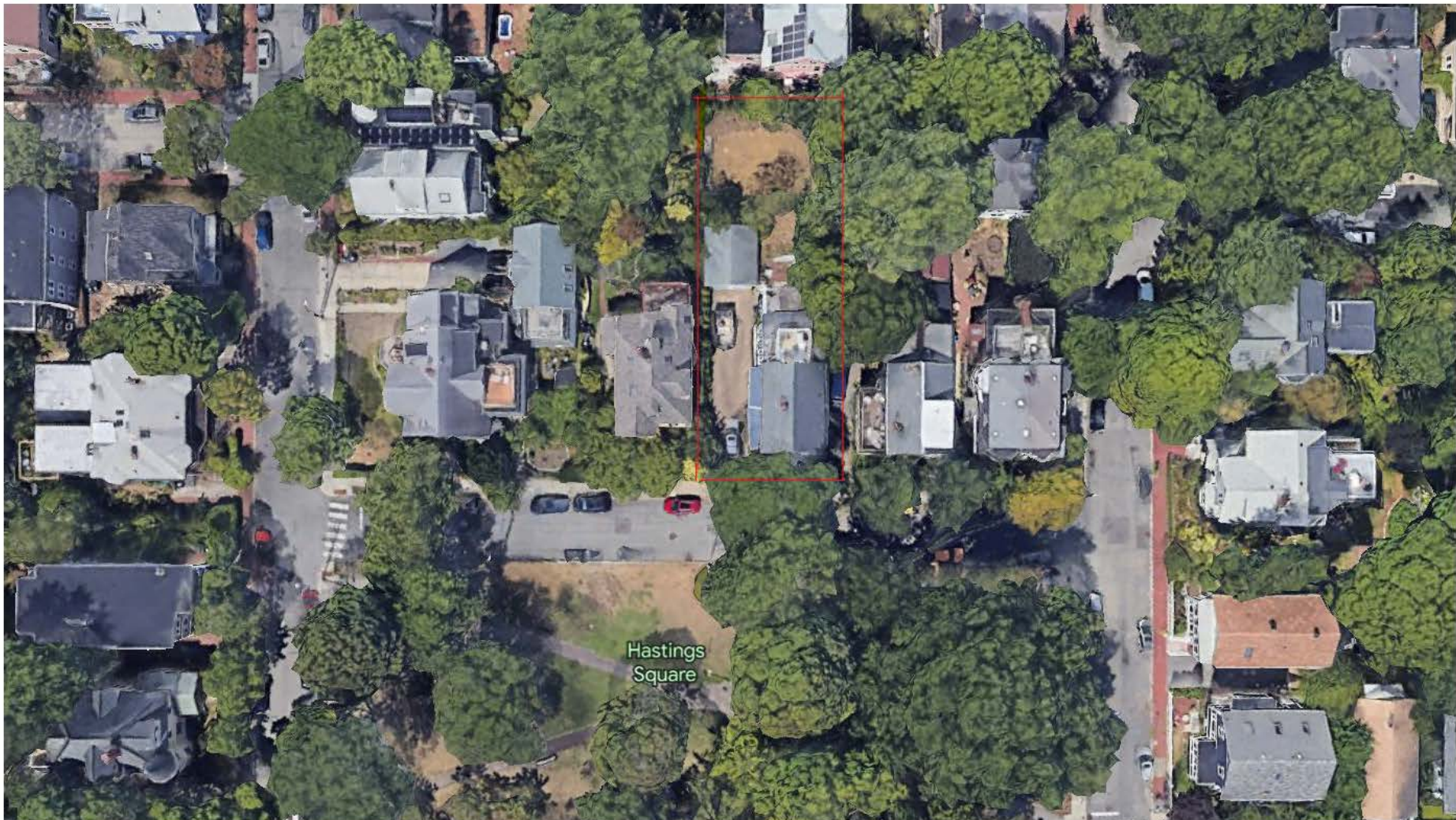
All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.



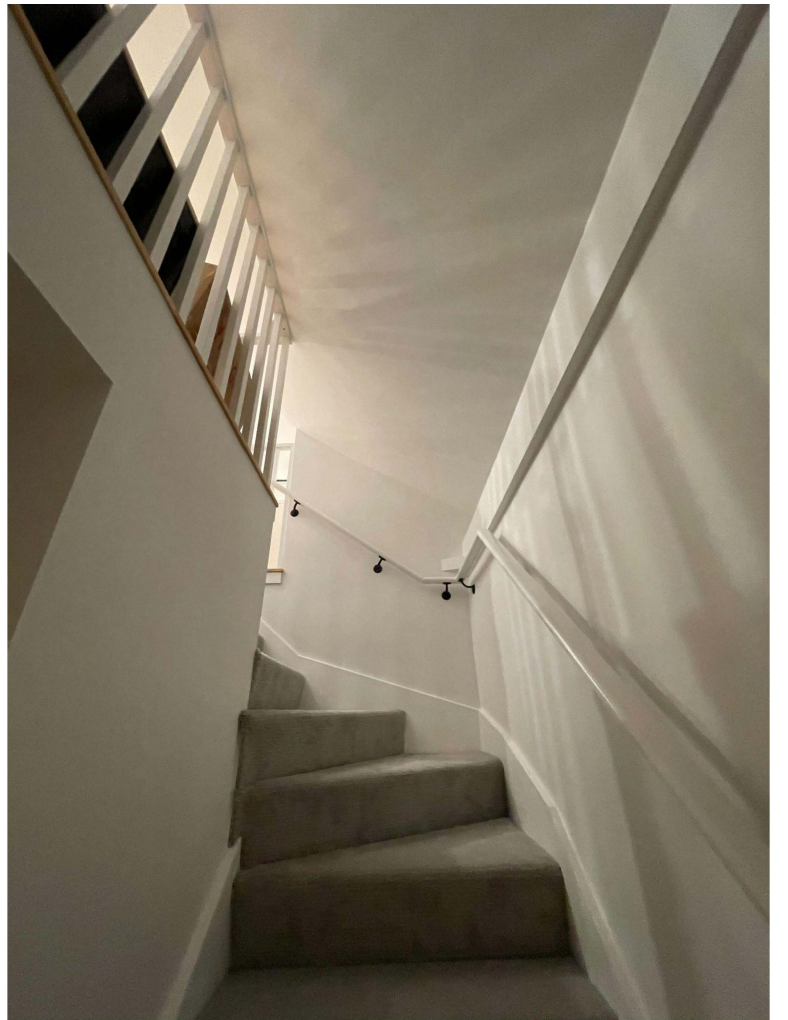
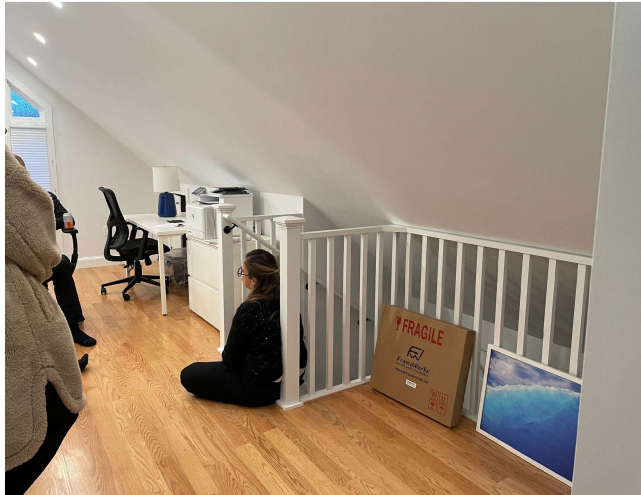
DATE:	09/19/2022
DRAWN BY:	M.G.
CHECKED BY:	C.C.
APPROVED BY:	F.S.

**EXISTING
CONDITIONS**





Hastings
Square



BOWIE RESIDENCE
 3 HASTINGS SQUARE
 CAMBRIDGE, MA 02139

PROPERTY OVERVIEW

Zone	C
Property Use	Single family
Lot Size	7,499 sf.
Style	Conventional
Year Built	1879
Existing Stories	2.5

PROJECT TEAM

Project Manager: Hayley Zeoli
 Lead Designer: Carolina Bitelli
 Design Director: Karina Alchaar

SHEET LIST

Page	Sheet Name
G-000	INDEX
G-001	SYMBOLS & ANNOTATIONS
C100	PLOT PLAN
A200	DEMO AND PROPOSED BASEMENT
A201	DEMO AND PROPOSED WESTERN ELEVATION
A202	PROPOSED SECTION 1
A203	DEMO AND PROPOSED ATTIC



OFFICE LOCATION
 REBEL BUILDERS LLC
 997 CHESTNUT ST #5
 NEWTON UPPER FALLS
 MASSACHUSETTS 02464

PROJECT
 BOWIE RESIDENCE

PROJECT LOCATION
 3 HASTINGS SQUARE
 CAMBRIDGE, MA 02139

DATE
 03/02/2023

PROJECT PHASE
 PERMIT SET

CONSULTANTS

NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

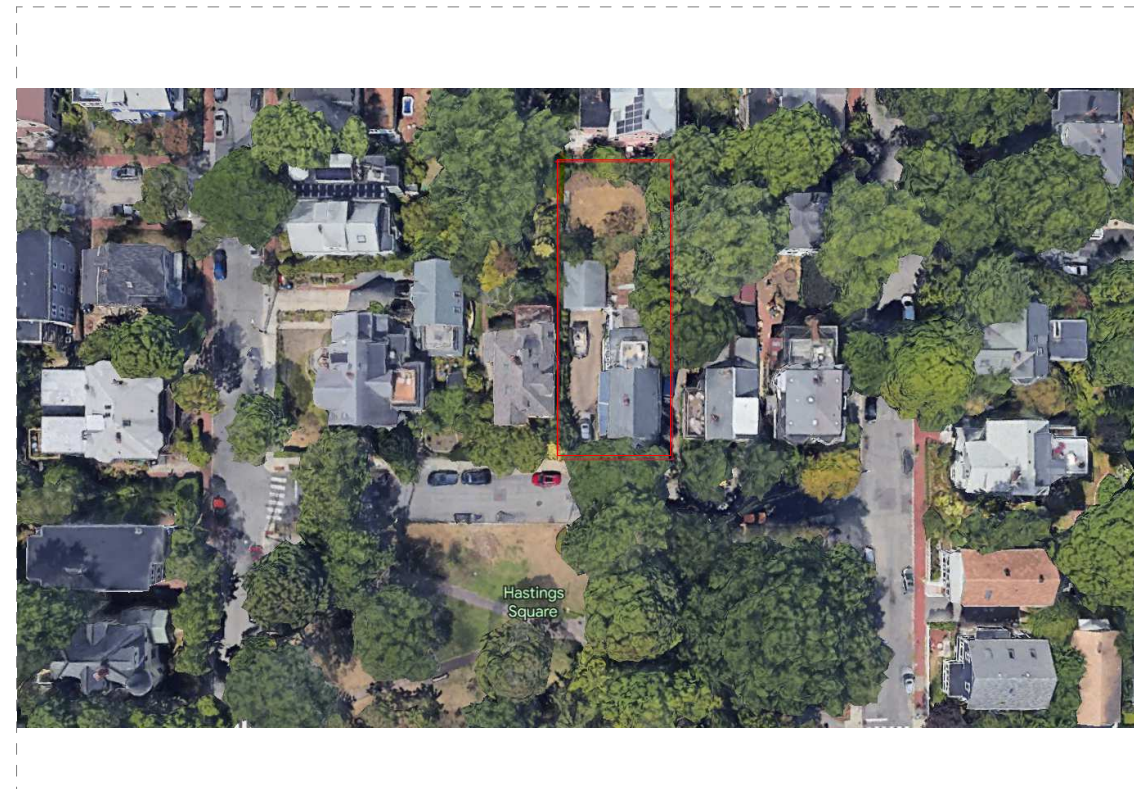
NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

REVISION **DATE**

THE PROPERTY LOCATED AT 3 HASTINGS SQUARE, CAMBRIDGE IS A THREE STORY SINGLE-FAMILY HOUSE. IN THIS PROJECT WE WILL BE UPDATING THE EXISTING WINDOW WELL AND INSTALLING A NEW SKYLIGHT ON THE EXISTING ROOF.



GIS MAP (LOT HIGHLIGHTED IN RED)

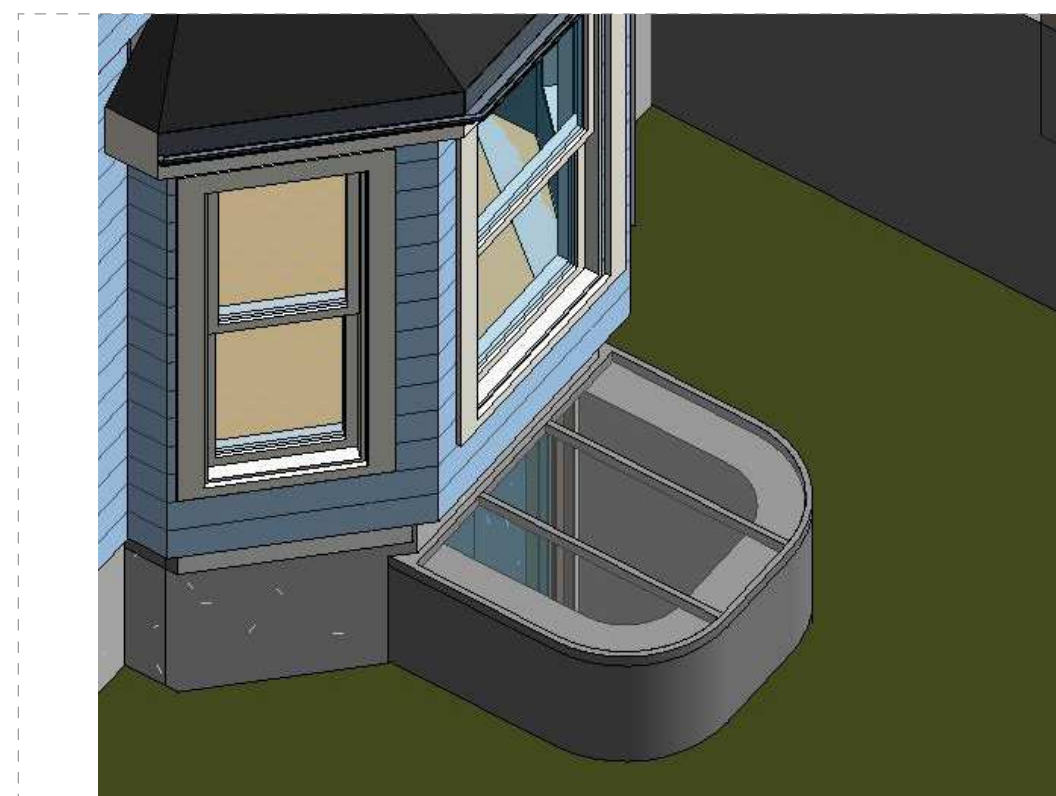


EXISTING SATELLITE AERIAL VIEW (LOT HIGHLIGHTED IN RED)



ZONING ANALYSIS

	REQ.	EX.	PROP.
BUILDING HEIGHT	35 ft.	34.08 ft.	35.48 ft.
FRONTAGE	n/a	50 ft.	50 ft.
FRONT SETBACK (H+L) / 4 at least 10	15.27 ft.	9.4 ft.	9.4 ft.
SIDE SETBACK (H+L) / 5 ≥ 7.5, sum ≥ 20	17.71 ft.	sum=22.2 ft.	sum=22.2 ft.
REAR SETBACK (H+L) / 4 at least 20	20 ft.	48.3 ft.	48.3 ft.
GROSS SF	n/a	4,837	4,852
F.A.R	0.60	0.45	0.45



PROPOSED



EXISTING

SHEET NAME
 INDEX

SHEET NUMBER
 G-000

SCALE

OFFICE LOCATION
 REBEL BUILDERS LLC
 997 CHESTNUT ST #5
 NEWTON UPPER FALLS
 MASSACHUSETTS 02464

PROJECT
 BOWIE RESIDENCE

PROJECT LOCATION
 3 HASTINGS SQUARE
 CAMBRIDGE, MA 02139

DATE
 03/02/2023

PROJECT PHASE
 PERMIT SET

CONSULTANTS

NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

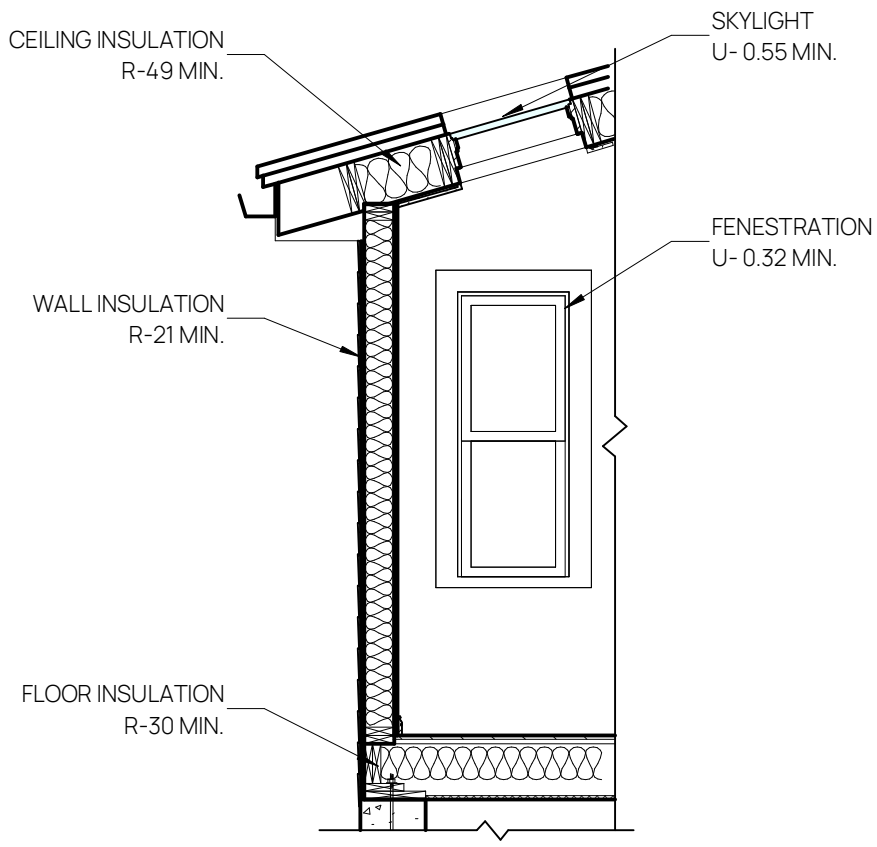
NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

REVISION **DATE**

SHEET NAME
 SYMBOLS &
 ANNOTATIONS

SHEET NUMBER
 G-001

SCALE As indicated



ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
APPROX.	APPROXIMATE	HDR.	HEADER	PLY.	PLYWOOD
AVG.	AVERAGE	HORIZ.	HORIZONTAL	REINF.	REINFORCED
BRNG.	BEARING	HT.	HEIGHT	S.F.	SQUARE FOOT
B.G.	BELOW GRADE	HTG.	HEATING	S.H.	SILL HEIGHT
C.H.	CEILING HEIGHT	H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	T.&G.	TONGUE AND GROOVE
C.M.U.	CONCRETE MASONRY UNIT	H.W.	HOT WATER	W.	WIRE
CONC.	CONCRETE	IN.	INCH	W.W.	WINDOW WELL
CONT.	CONTINUOUS	INT.	INTERIOR	W.H.	WINDOW HEIGHT
D.W.	DISH WASHER	INST.	INSTALLATION	%	PERCENTAGE
EA.	EACH	INSUL.	INSULATION	@	AT
E.P.	ELECTRICAL PANEL	L.E.D.	LIGHT EMITTING DIODE	&	AND
EXT.	EXTERIOR	MAX.	MAXIMUM	ℓ	INCH
FLR.	FLOOR	M.D.F.	MEDIUM-DENSITY FIBERBOARD	′	FOOT
FDN.	FOUNDATION	MIN.	MINIMUM	#	CENTERLINE NUMBER
FT.	FOOT	O.C.	ON CENTER		
FURN.	FURNITURE	PVMT.	PAVEMENT		

GRAPHIC LEGEND

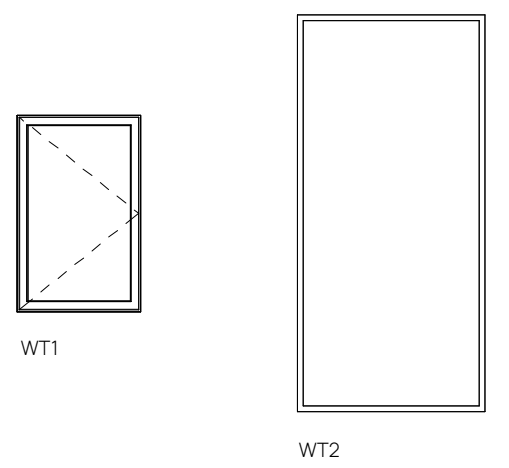
	DEMO
	EXISTING
	PROPOSED
	PROPERTY LINE
	SETBACK

SYMBOLS

H.V.A.C.	ELECTRICAL

WINDOW SCHEDULE

MARK	LOCATION		SIZE		ROUGH OPENING		FUNCTION	GLASS TYPE	GRILLE TYPE	NUMBER OF LIGHTS		INTERIOR FINISH			EXTERIOR FINISH			MANUFACTURER	U VALUE
	LEVEL	ROOM	WIDTH	HEIGHT	WIDTH	HEIGHT				HIGH	WIDE	MATERIAL	FINISH	TRIM WIDTH	MATERIAL	FINISH	TRIM WIDTH		
WT1	Basement		2' - 10"	4' - 6"	2' - 11"	4' - 6 1/2"	Window-Casement-Marvin-Ultimate											Marvin Windows and Doors	0.30
WT2	Roof		4' - 2 1/2"	9' - 0"	4' - 3"	9' - 0 1/2"	Skylight-Flat											Velux	0.44





**Spruhan
Engineering, P.C.**

80 JEWETT ST. (SUITE 2)

NEWTON, MA 02459

Tel: 617-616-0722

Email: edmond@spruhaneng.com

**3 HASTINGS SQUARE
CAMBRIDGE
MASSACHUSETTS**

SURVEY PLAN

REVISION BLOCK

DESCRIPTION	DATE

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.



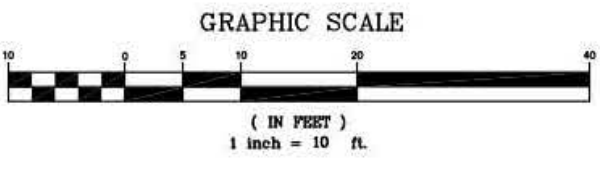
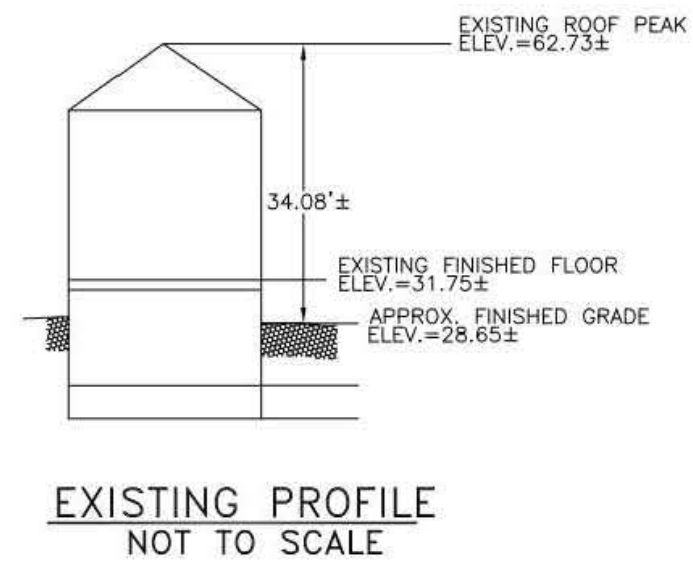
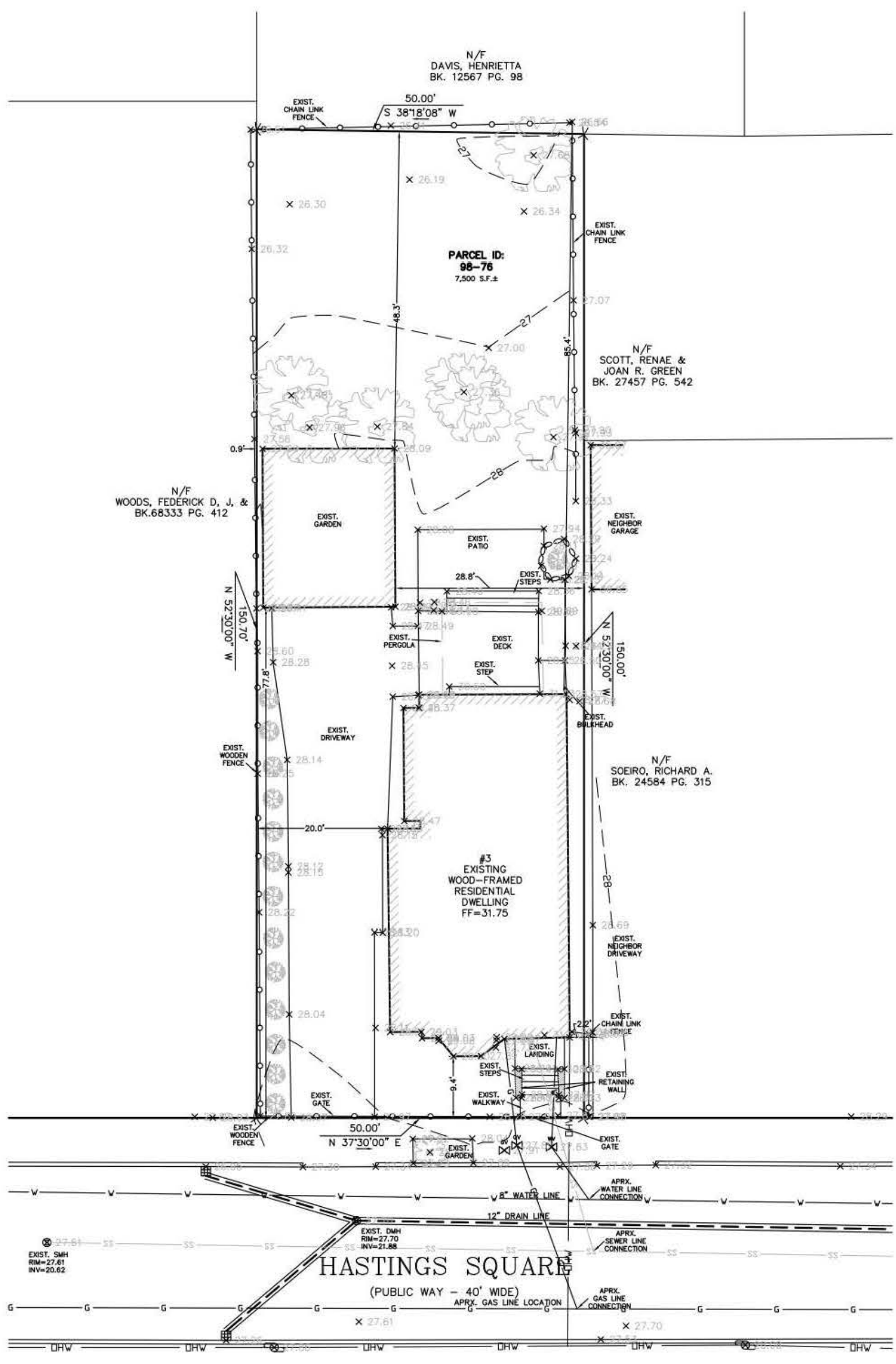
DATE: 09/19/2022
DRAWN BY: M.G.
CHECKED BY: C.C.
APPROVED BY: E.S.

**EXISTING
CONDITIONS**

SHEET 1 OF 1

- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 09/08/2022.
 2. DEED REFERENCE: BOOK 70056, PAGE 65
PLAN REFERENCE 1: PLAN 1097 OF 1930
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0576E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. THE ELEVATIONS SHOWN ARE ON A CITY OF CAMBRIDGE DATUM.
 9. ZONING DISTRICT: RESIDENCE C.

LEGEND	
	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)



OFFICE LOCATION
 REBEL BUILDERS LLC
 997 CHESTNUT ST #5
 NEWTON UPPER FALLS
 MASSACHUSETTS 02464

PROJECT
 BOWIE RESIDENCE

PROJECT LOCATION
 3 HASTINGS SQUARE
 CAMBRIDGE, MA 02139

DATE
 03/02/2023

PROJECT PHASE
 PERMIT SET

CONSULTANTS

NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

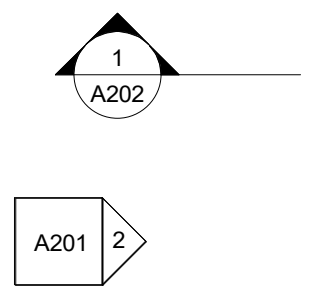
REVISION **DATE**

SHEET NAME
 DEMO AND
 PROPOSED
 BASEMENT

SHEET NUMBER
 A200

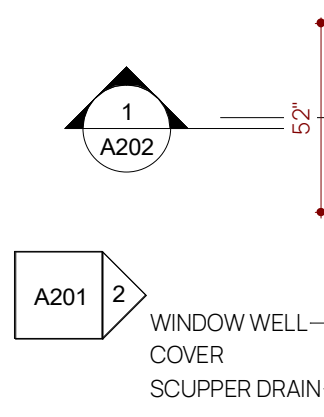
SCALE As indicated

DEMO BASEMENT WINDOW AND A PORTION OF THE WALL AS NEEDED FOR NEW WINDOW



② DEMO BASEMENT PLAN
 1/4" = 1'-0"

FRAME AND INSTALL WINDOW
 TOUCH UP AND PAINT AROUND THE WINDOW
 UPDATE EXISTING WINDOW WELL



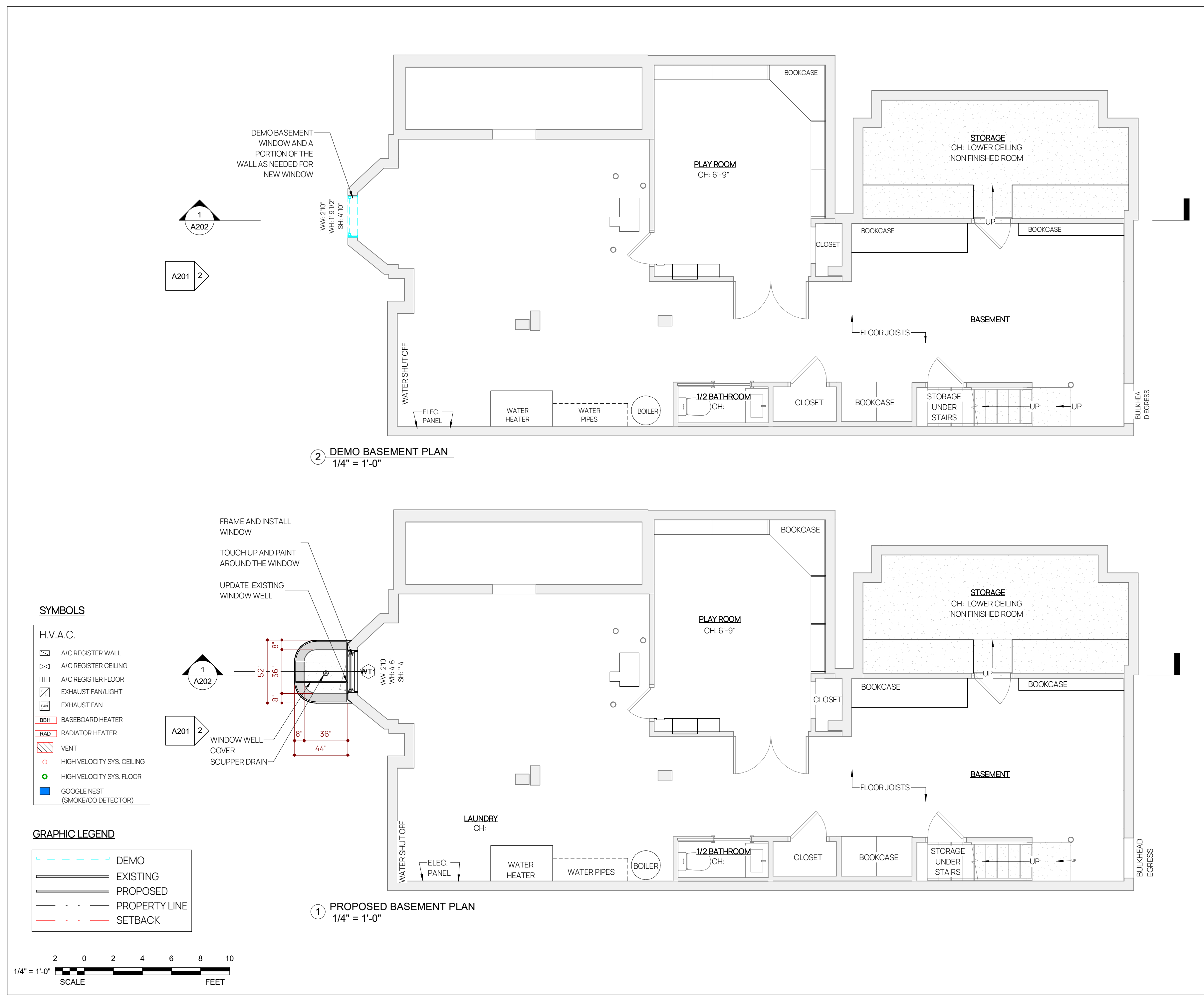
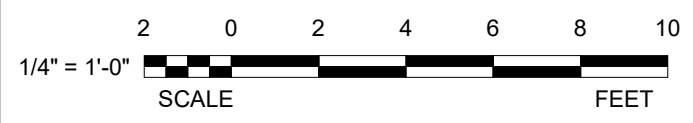
① PROPOSED BASEMENT PLAN
 1/4" = 1'-0"

SYMBOLS

- H.V.A.C.**
- A/C REGISTER WALL
 - A/C REGISTER CEILING
 - A/C REGISTER FLOOR
 - EXHAUST FAN/LIGHT
 - EXHAUST FAN
 - BASEBOARD HEATER
 - RADIATOR HEATER
 - VENT
 - HIGH VELOCITY SYS. CEILING
 - HIGH VELOCITY SYS. FLOOR
 - GOOGLE NEST (SMOKE/CO DETECTOR)

GRAPHIC LEGEND

- DEMO
- EXISTING
- PROPOSED
- PROPERTY LINE
- SETBACK



OFFICE LOCATION
 REBEL BUILDERS LLC
 997 CHESTNUT ST #5
 NEWTON UPPER FALLS
 MASSACHUSETTS 02464

PROJECT
 BOWIE RESIDENCE

PROJECT LOCATION
 3 HASTINGS SQUARE
 CAMBRIDGE, MA 02139

DATE
 03/02/2023

PROJECT PHASE
 PERMIT SET

CONSULTANTS

NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

NAME
 ADDRESS
 ADDRESS
 PHONE
 FAX
 E-MAIL

REVISION **DATE**

SHEET NAME
 DEMO AND
 PROPOSED
 WESTERN

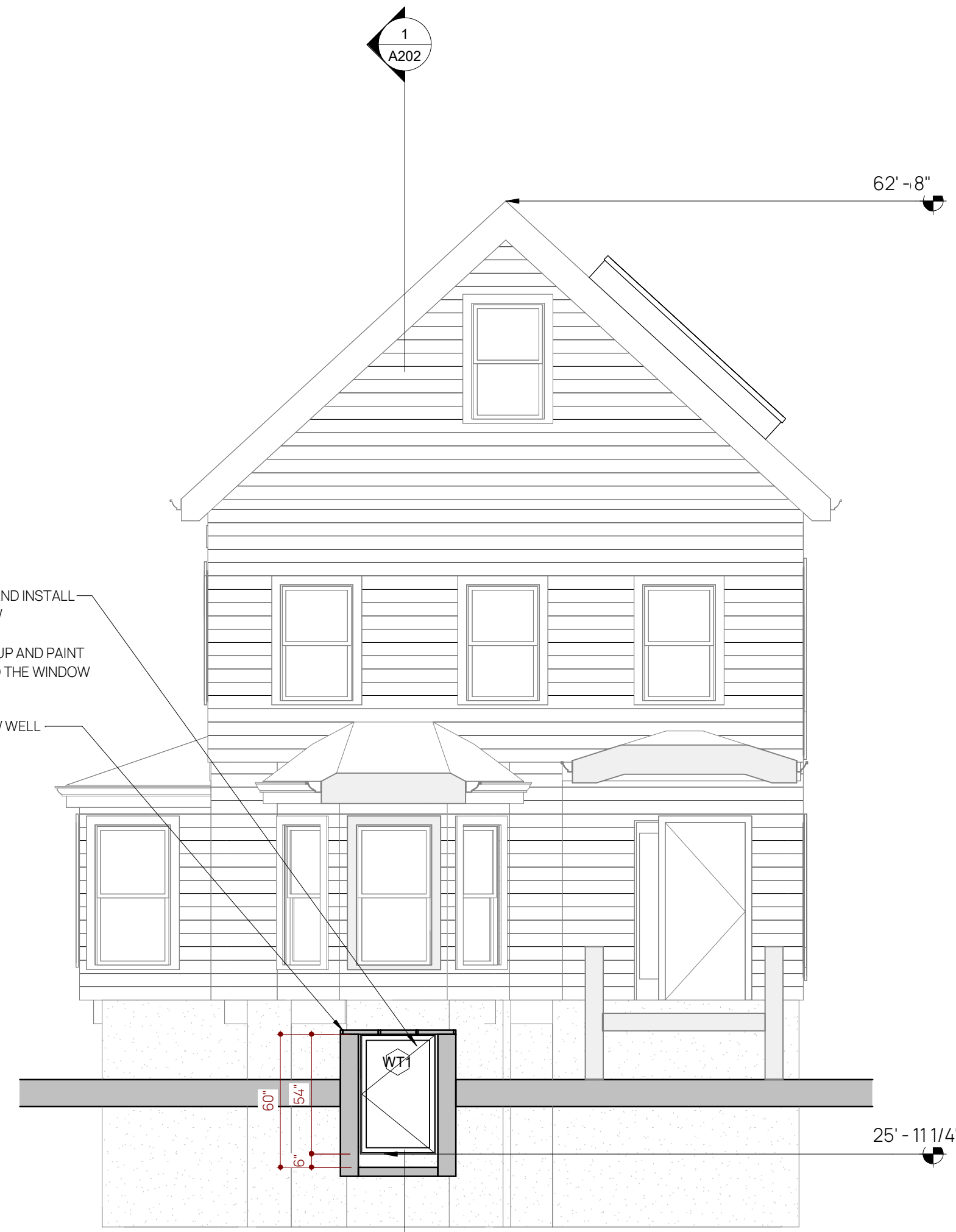
SHEET NUMBER
 A201

SCALE 1/4" = 1'-0"



DEMO BASEMENT WINDOW AND A PORTION OF THE WALL AS NEEDED FOR NEW WINDOW

① DEMO WESTERN ELEVATION
 1/4" = 1'-0"



FRAME AND INSTALL WINDOW
 TOUCH UP AND PAINT AROUND THE WINDOW
 WINDOW WELL COVER

② PROPOSED WESTERN ELEVATION
 1/4" = 1'-0"

OFFICE LOCATION

REBEL BUILDERS LLC
997 CHESTNUT ST #5
NEWTON UPPER FALLS
MASSACHUSETTS 02464

PROJECT

BOWIE RESIDENCE

PROJECT LOCATION

3 HASTINGS SQUARE
CAMBRIDGE, MA 02139

DATE

03/02/2023

PROJECT PHASE

PERMIT SET

CONSULTANTS

NAME
ADDRESS
PHONE
FAX
E-MAIL

NAME
ADDRESS
PHONE
FAX
E-MAIL

REVISION

DATE

SHEET NAME

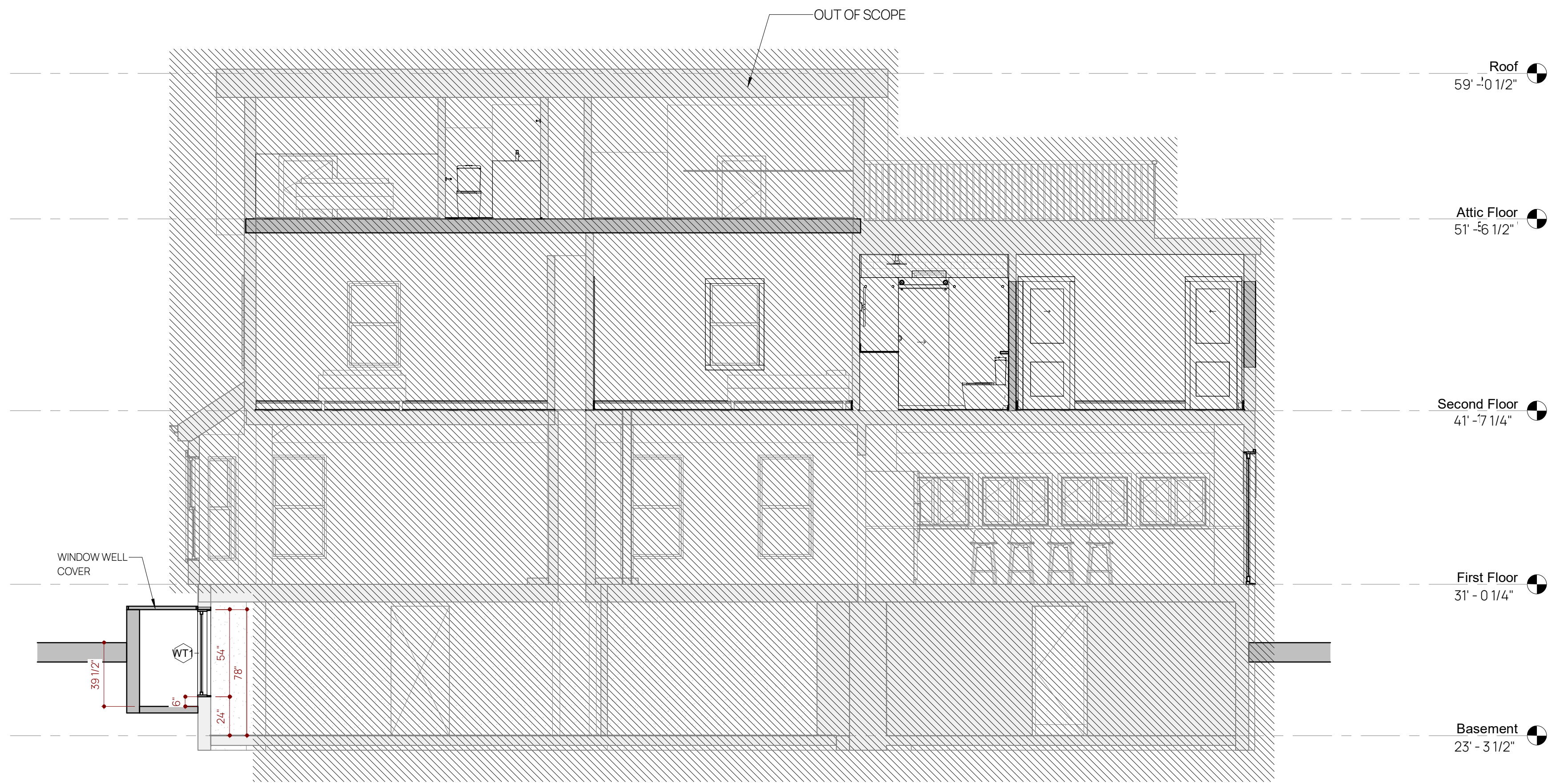
PROPOSED
SECTION 1

SHEET NUMBER

A202

SCALE

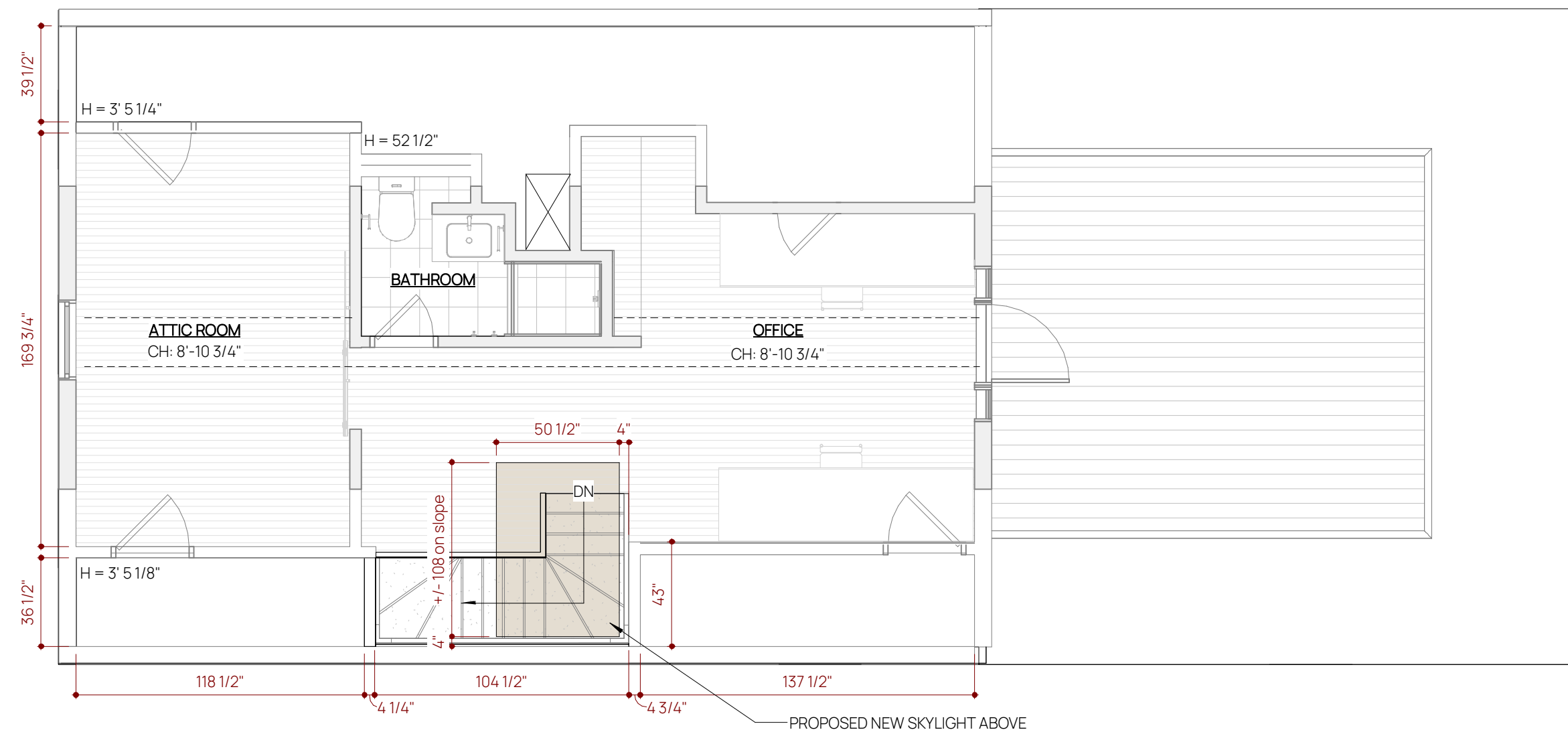
As indicated



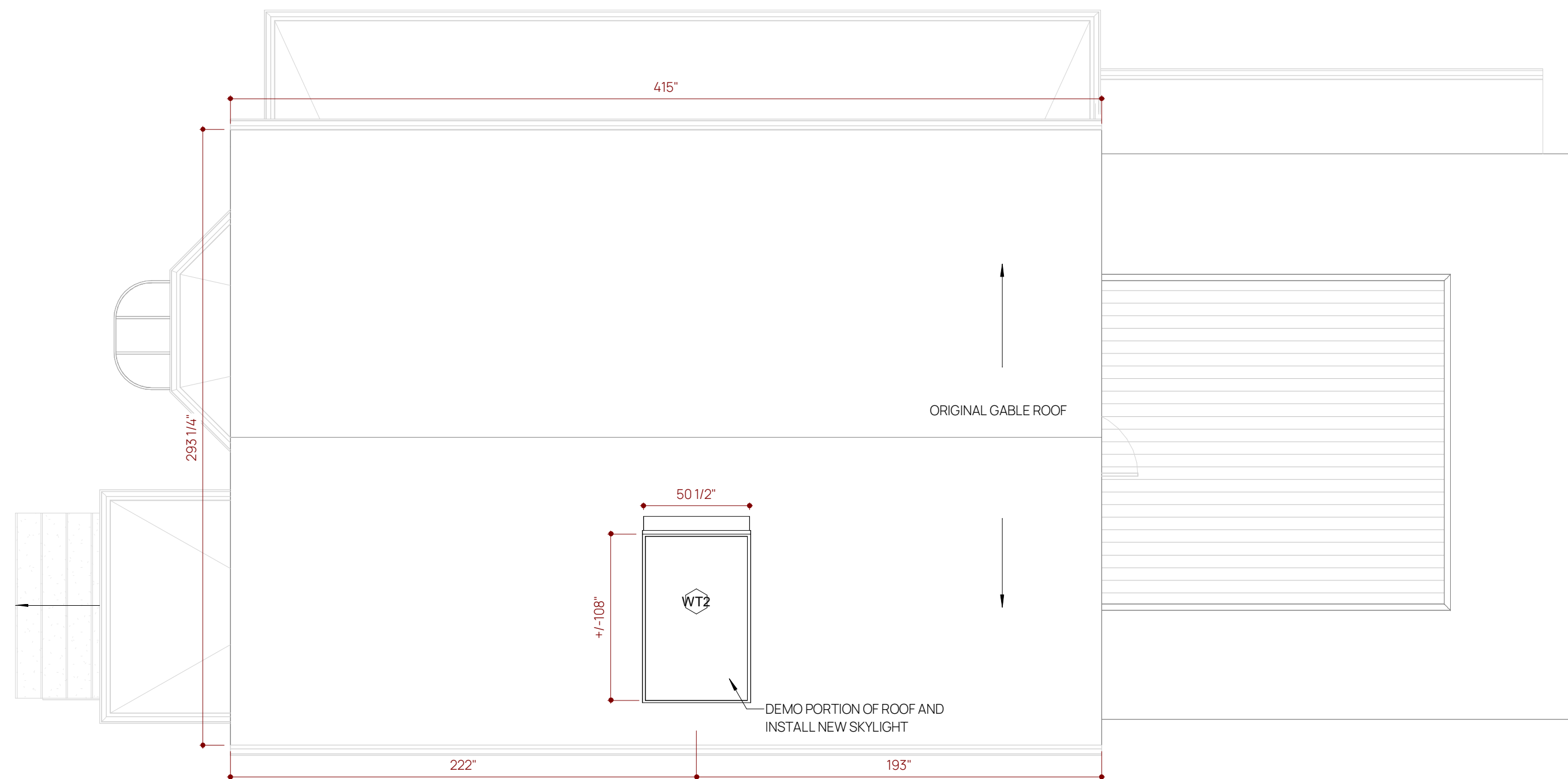
① PROPOSED SECTION 1
1/4" = 1'-0"



EXISTING ACCESS TO THE ATTIC



1 PROPOSED ATTIC FLOOR
1/4" = 1'-0"



2 PROPOSED ROOF PLAN
1/4" = 1'-0"

OFFICE LOCATION
REBEL BUILDERS LLC
997 CHESTNUT ST #5
NEWTON UPPER FALLS
MASSACHUSETTS 02464

PROJECT
BOWIE RESIDENCE

PROJECT LOCATION
3 HASTINGS SQUARE
CAMBRIDGE, MA 02139

DATE
03/02/2023

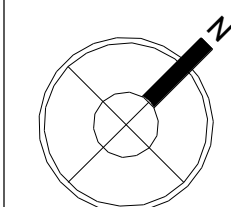
PROJECT PHASE
PERMIT SET

CONSULTANTS

NAME
ADDRESS
ADDRESS
PHONE
FAX
E-MAIL

NAME
ADDRESS
ADDRESS
PHONE
FAX
E-MAIL

REVISION **DATE**

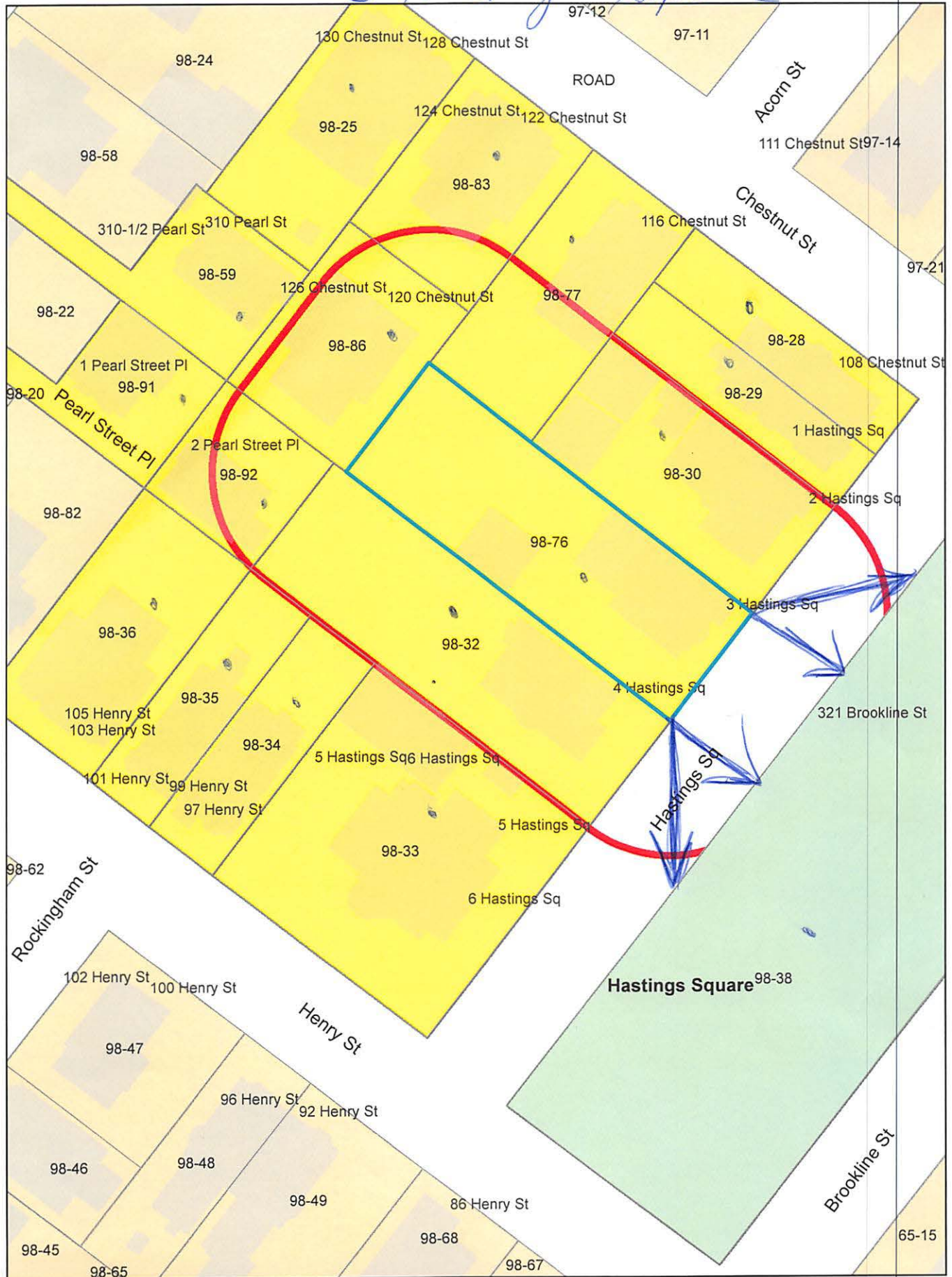


SHEET NAME
DEMO AND
PROPOSED ATTIC

SHEET NUMBER
A203

SCALE As indicated

3 Hastings Square



3 Hastings Sq

Petitioner

98-32
WOODS, FREDERICK D., JR. &
NANCY B. WOODS, TRUSTEES
4 HASTINGS SQ
CAMBRIDGE, MA 02139

98-34
KERSHNER, LAURA A LIFE ESTATE
97 HENRY ST
CAMBRIDGE, MA 02139

REBEL BUILDERS
997 CHESTNUT STREET #5
NEWTON UPPER FALLS, MA 02464

98-35
COLE, SUSAN & DAVID EISEN
99 HENRY ST.
CAMBRIDGE, MA 02139

98-83
HAMILTON, JOHN P.,
TR., ROBERT L. ROTH & MARLENE CLAUSS
122 CHESTNUT ST
CAMBRIDGE, MA 02139

98-76
BOWIE, NIKOLAS, & REBECCA BOWIE
3 HASTINGS SQ
CAMBRIDGE, MA 02139

98-59
TYSON, JOHN K.
310 1/2 PEARL ST.
CAMBRIDGE, MA 02139

98-91
ROOSEVELT, DIRCK & NANCY E. GLOWA
1 PEARL ST PL
CAMBRIDGE, MA 02139

HALEY Z. WILLARD
550 VICTORY ROAD - SUITE 441
QUINCY, MA 02171

98-77
HOFFMANN, JAMES S. &
MARTHA G. HOFFMANN
116 CHESTNUT STREET, UNIT #2
CAMBRIDGE, MA 02139-4704

98-25
KIMBERK, THERESA
132 CHESTNUT ST.
CAMBRIDGE, MA 02139

98-25
EISACK, ERIC A.
128-134 CHESTNUT ST. - UNIT#128
CAMBRIDGE, MA 02139

98-25
EISACK, JOHN JASON
128-134 CHESTNUT ST., UNIT #134
CAMBRIDGE, MA 02139-4704

98-25
EISACK, ERIC A.
128-134 CHESTNUT ST., UNIT #130
CAMBRIDGE, MA 02139

98-92
OSTOVARI MAHTA PINKHAM CHRISTOPHER B
2 PEARL STREET PL
CAMBRIDGE, MA 02139

98-33
DELUCIA RUSSELL J & ROBIN L BRENNER
6 HASTINGS SQ
CAMBRIDGE, MA 02139

98-28
VON BURCHARD ADRIANA &
PETER J VON BURCH
108 CHESTNUT ST
CAMBRIDGE, MA 02139

98-36
LUEDI PHILIPPE P & ALICE GUGELMANN
103-105 HENRY ST
CAMBRIDGE, MA 02478

98-29
SOEIRO, RICHARD & SUSANNA BURNS
TRS THE SOEIRO BURNS HOLDING TR
2 HASTINGS SQ
CAMBRIDGE, MA 02139

98-30
SOEIRO, RICHARD A & SUSANNA BURNS
2 HASTINGS SQ
CAMBRIDGE, MA 02139

98-77
TERRY, LINDA L
116 CHESTNUT ST - UNIT 1
CAMBRIDGE, MA 02139

98-86
DAVIS, HENRIETTA & RICHARD G
120 CHESTNUT ST
CAMBRIDGE, MA 02139

98-38
CAMBRIDGE CITY OF PUBLIC WORKS DEPT
147 HAMPSHIRE ST
CAMBRIDGE, MA 02139

98-38
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

98-38
CITY OF CAMBRIDGE
C/O YI-AN HUANG
CITY MANAGER

98-35
BARTZ, TIFFANY MARIE & ROBERT SHANE BUSSMANN
TRS OF THE OF THE BARTZMANN TRUST
371 S. 14TH ST
SAN JOSE, CA 95112