



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2023 FEB -1 PM 12: 21

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 209129

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Frank Barbosa C/O James J. Rafferty

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 3 Porter Pk., Cambridge, MA

TYPE OF OCCUPANCY: two family

ZONING DISTRICT: Residence B/Massachusetts
Avenue Overlay

REASON FOR PETITION:

/Dormer/


DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioner seeks to construct dormers in excess of the required amount of Gross Floor Area within the required setback.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000 Section: 8.22.2(d) (Non-Conforming Structure).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):


(Petitioner (s) / Owner)

James J. Rafferty, Attorney for Petitioner
(Print Name)

Address:

907 Massachusetts Avenue, Suite 300
Cambridge, MA 02139

Tel. No.

617.492.4100

E-Mail Address:

jrafferty@adamsrafferty.com

Date: January 31, 2023

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Frank Barbosa, MGR

(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 1-3 Porter Park

the record title standing in the name of 1-3 Porter Park, LLC

whose address is 1-3 Porter Park, Cambridge MA 02140
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 80700 Page 37 or _____ Registry

District of Land Court Certificate No. _____ Book _____ Page _____



(Manager)

On this 5th day of December 2022, before me, the undersigned notary public, personally appeared Frank Barbosa proved to me through satisfactory evidence of identification, which were is that he is personally known to me to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.



Notary Public Laurel E. Bretta

My Commission Expires:

3/16/29

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 3 Porter Pk., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

Section 8.22.2(d) allows for the construction of the proposed additions to the pre-existing non-conforming structure upon the issuance of a Special Permit since the structure currently exceeds the allowable Floor Area Ratio of the Residence B Zoning District and no new zoning violations are being created.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed dormer will not alter traffic patterns.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The adjacent uses are all similarly sized two family dwellings. Their continued operation will not be impacted by the construction of dormers to this two family dwelling.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed additions will be constructed in accordance with all the requirements of the State Building Code.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The intensity and use of this dwelling will not be materially altered as a result of the proposed addition. As a result, there will not be any detrimental effect upon this neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Frank Barbosa

Present Use/Occupancy: two family

Location: 3 Porter Pk., Cambridge, MA

Zone: Residence B/Massachusetts Avenue Overlay

Phone: 617.492.4100

Requested Use/Occupancy: no change

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,772 sf	2,868 sf	1,018.5 sf	(max.)
<u>LOT AREA:</u>		2,037 sf	no change	5,000 sf	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		1.36	1.40	.5/.35	
<u>LOT AREA OF EACH DWELLING UNIT</u>		2,037 sf	no change	2,500 sf	
<u>SIZE OF LOT:</u>	WIDTH	45.7'	no change	50'	
	DEPTH	40'	no change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	7'	no change	15'	
	REAR	9.7'	no change	25'	
	LEFT SIDE	3'	no change	7'6"	
	RIGHT SIDE	3.6'	no change	7'6"	
<u>SIZE OF BUILDING:</u>	HEIGHT	38.5'	no change	35'	
	WIDTH	30'	no change	N/A	
	LENGTH	30'	no change	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		44	no change	40	
<u>NO. OF DWELLING UNITS:</u>		2	no change	2	
<u>NO. OF PARKING SPACES:</u>		2	no change	2	
<u>NO. OF LOADING AREAS:</u>		0	no change	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	no change	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

I PORTER PARK RENOVATIONS
1-3 PORTER PARK, CAMBRIDGE, MA 02140



CONSULTING ENGINEER:
NAME
ADDRESS 1
ADDRESS 2

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

GENERAL NOTES:

- 1. WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS ARE 1 HR FIRE RATED, SINGLE LAYER OF 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305).
- 3. CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- 4. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- 5. CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
- 6. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- 7. CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- 8. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- 9. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- 10. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- 11. DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

PERFORMANCE SPECIFICATIONS:

- 1. EXTERIOR WALLS:
EXISTING WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
BASEMENT: R10 CONTINUOUS INSULATION OR
R13 CAVITY INSULATION
- 2. WINDOWS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .32
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
5.75F OPERABLE CLEAR AREA,
44" MAX SILL HGT
- 3. EXTERIOR DOORS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .33
- 4. CEILING/ROOF
R49 MIN INSULATION VALUE
- 5. FOUNDATION
EXISTING
- 6. STAIRS:
8 1/4" MAX RISER
9" MIN TREAD
HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
BALUSTERS: 4" MAX CLEAR WIDTH

CODE ANALYSIS:

- 1. APPLICABLE CODES:
MA STATE BUILDING CODE, 9TH ED, BASE VOLUME (IBC 2015)
MA STATE BUILDING CODE, 9TH ED, RESIDENTIAL VOLUME (IRC 2015)
EXISTING BUILDING CODE OF MASSACHUSETTS (IEBC 2015)
2015 INTERNATIONAL MECHANICAL CODE (IMC 2015)
2020 MA STATE ENERGY CODE (IECC 2018)
527 CMR 1.00: MA Comprehensive Fire Safety Code (NFPA, 2015)
527 CMR 12.00: MA Electrical Code (NFPA 70, 2020)
National Fire Alarm and Signaling Code 2013 of Massachusetts (NFPA 72, 2013)
521 CMR: Architectural Access Board
248 CMR 10.00: UNIFORM STATE PLUMBING CODE
- 2. ZONING DISTRICT - CAMBRIDGE RESIDENCE B
SETBACKS:
FRONT 15' NO CHANGE
SIDE 7'-6" NO CHANGE
REAR 25' NO CHANGE
FAR: 0.50
LOT SIZE: 2036 SF
ALLOWED: 1018 SF
EXISTING: 2772 SF
PROPOSED: 2867.6 SF
- 3. USE GROUP CLASSIFICATION:
RESIDENTIAL R3
- 4. CONSTRUCTION CLASSIFICATION:
UNIT SEPARATION - 1 HR
TYPE 5A CONSTRUCTION
- 5. MEANS OF EGRESS:
EMERGENCY ESCAPE & RESCUE
BEDROOM EGRESS:
1 WINDOW MINIMUM REQUIREMENTS
5.75F OPERABLE CLEAR AREA
44" MAX. SILL HEIGHT

SHEET INDEX"

ARCHITECTURAL	
A0.0	TITLE SHEET; PROJECT DATA
A0.1	DRAWING SYMBOLS AND ABBREVIATIONS
AD1.0	DEMO PLANS
A1.0	FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS

VICINITY MAP



DATE:
DOCUMENT PHASE:
☐ PRELIMINARY DESIGN
☐ DESIGN DEVELOPMENT
☐ BID DRAWINGS
☐ PERMIT DRAWINGS
☐ CONSTRUCTION DRAWINGS

REV DATE REMARK

COVER SHEET

A0.0

1 PORTER PARK RENOVATIONS

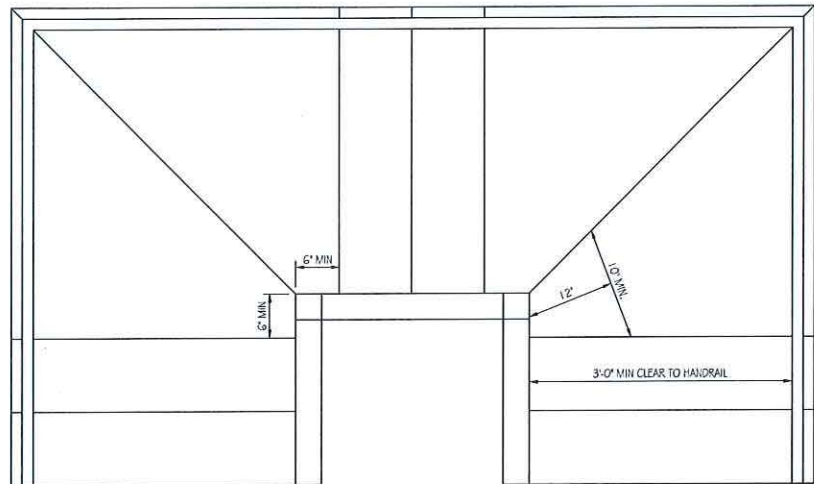
1-3 PORTER PARK
CAMBRIDGE, MA 02140

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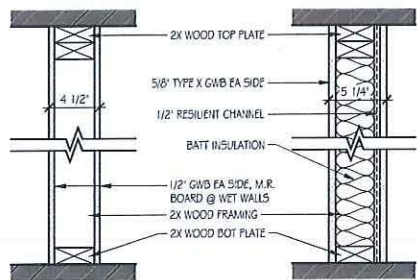
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DRAWING SYMBOLS
AND ABBREVIATIONS

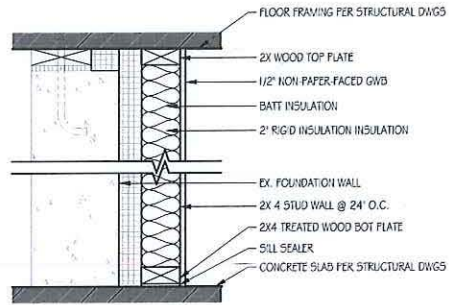
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2 TYPICAL WINDER STAIR
1'-0" x 1'-0"



WALL TYPES
1'-0" x 1'-0"



1 WALL TYPES
1'-0" x 1'-0"

SYMBOLS USED AS ABBREVIATIONS:
Z ANGLE
Q CENTERLINE
% PERCENTAGE

ABBREVIATIONS:

AB ANCHOR BOLT
AC AIR CONDITIONING
ACM ASBESTOS CONTAINING MATERIAL
ACT ACoustical CEILING TILE
ADA AMERICANS WITH DISABILITIES ACT
ADJ ADJUSTABLE
A.F.F. ABOVE FINISHED FLOOR
AHU AIR HANDLING UNIT
ALT ALTERNATE
AL ALUMINUM
ANNO ANNOTED
AP ACCESS PANEL
APPROX APPROXIMATE
ARCH ARCHITECT, ARCHITECTURAL
ASAP AS SOON AS POSSIBLE
ASPH ASPHALT
AUTO AUTOMATIC
A.V. AUDIO VISUAL

BD BOARD
BT BETWEEN
BT BITUMINOUS
BT CONC BITUMINOUS CONCRETE
BLDG BUILDING
BLK BLOCK
BLS BLOCKING
BSG BEARING
BRK BRICK
BS BRICK SHELF
BSMT BASEMENT
BTN BETWEEN

CAB CABINET
C.B. CATCH BASIN
CEM CEMENT
CFMF COLD FORM METAL FRAMING
CG CORNER GUARD
CH CEILING HEIGHT
CIP CAST IN PLACE
C.J. CONTROL JOINT
CL CENTERLINE
CLG CEILING
CLOS CLOSET
CLR CLEAR
CMU CONCRETE MASONRY UNIT
CNR CENTER
C.O. CLEAN OUT
CO. COLUMN
COB CONCRETE
COIST CONSTRUCTION
CONT CONTINUOUS
CONTR CONTRACTOR
CORR CORROSION
COORD COORDINATE, COORDINATION
CFT CARPET
CRS CURSE
CT CERAMIC TILE
CTR COUNTER
CUH CABINET UNIT HEATER
CW COLD WATER

DBL DOUBLE
DGR DEGREE
DEMO DEMOLITION
DEPT DEPARTMENT
DF DRINKING FOUNTAIN
DH DOUBLE HUNG
DIA DIAMETER
DAG DIAGONAL
DIFF DIFFUSER
DM DIMENSION
DSP DISPENSER
DIV DIVISION
DL DRAIN LEADER
DN DOWN
DO DOOR
DR DRAIN
DS DOWN SPOUT
DTL DETAIL
DW DRAWING
DW DISHWASHER

GA. GAUGE
GALV GALVANIZED
GC GENERAL CONTRACTOR
GD GRADE
GEN. GENERAL
GFRG GLASS FIBER REINFORCED CONCRETE
GFRG GLASS FIBER REINFORCED GYPSUM
GL GLASS, GLAZING
GR GRADE
GSP GROSS SQUARE FEET
GWB GYPSUM WALL BOARD
HB HOLLOW CORE
H.C. HEAVY DUTY
HWR HARDWARE
HWD HARDWOOD
HDR HEADER
HM HOLLOW METAL
HNDL HANDRAIL
H.O. HOLD OPEN
HORZ HORIZONTAL
HP HIGH POINT
HR HOUR
HT HEIGHT
HVAC HEATING, VENTILATION & AIR CONDITIONING
HW HOT WATER

ID INSIDE DIAMETER
I.D.F. INTERMEDIATE DEMARCATION FRAME
INCL INCLUDE, INCLUDING
INFO INFORMATION
INSUL INSULATED, INSULATION
INT INTERIOR
INTERM INTERMEDIATE
INV INVERT
I.T. IT (INFORMATION TECHNOLOGY)

FILL PATTERNS

UNDISTURBED SOIL

SITE GRASS

GRAVEL

STONE

GRANULAR FILL

CONCRETE

MASONRY CMU ELEVATION

PAVER O1

MASONRY ELEVATION

PAVER O2

PAVER O3

PAVER O4

PAVER O5

PAVER O6

PAVER O7

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CONSULTING ENGINEER:
NAME
ADDRESS 1
ADDRESS 2

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

DATE:

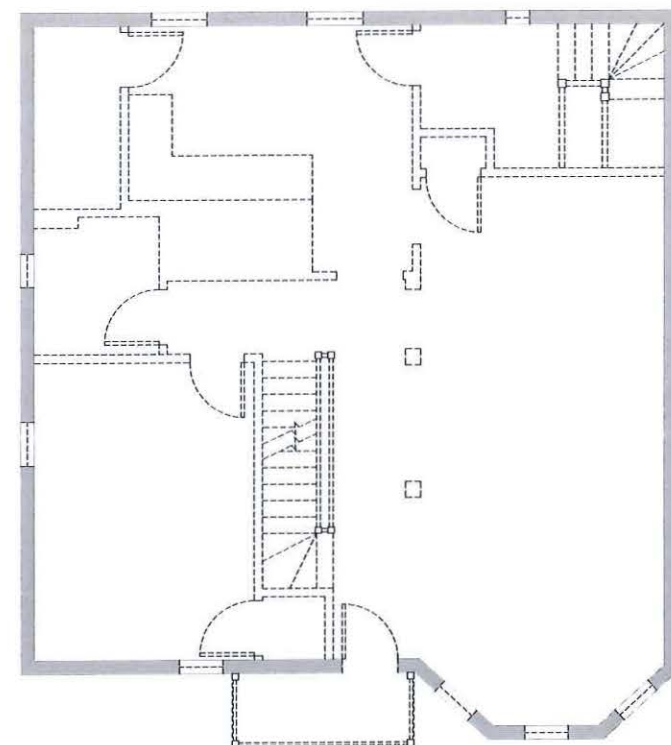
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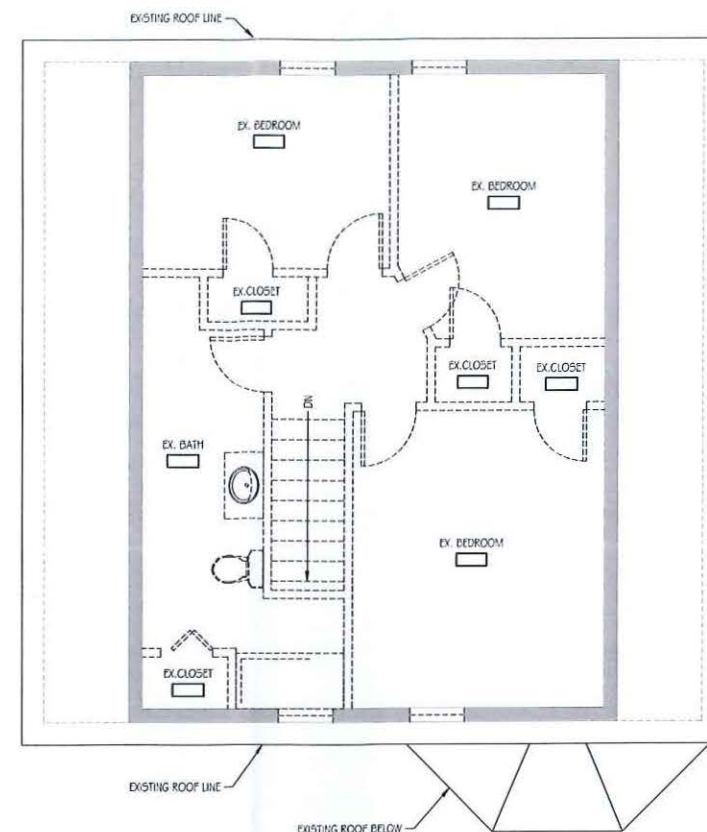
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DEMO PLANS

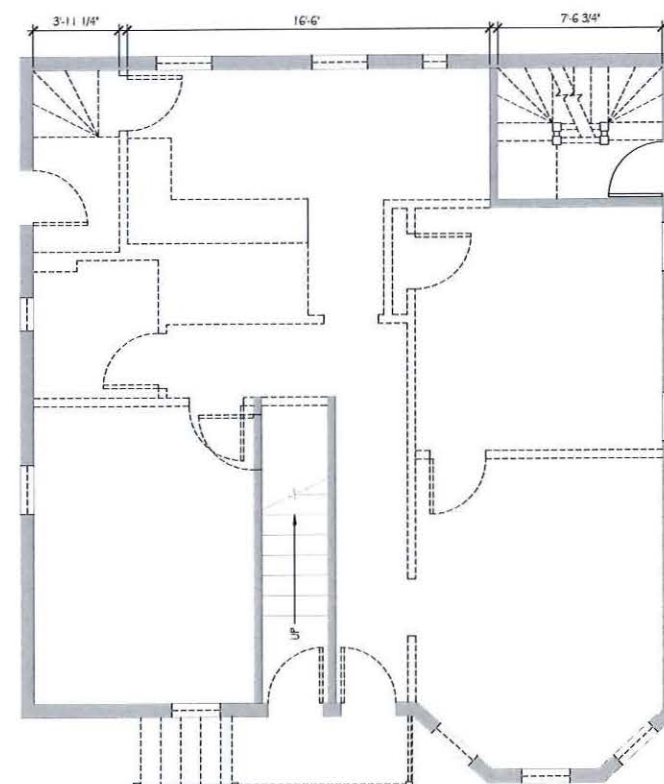
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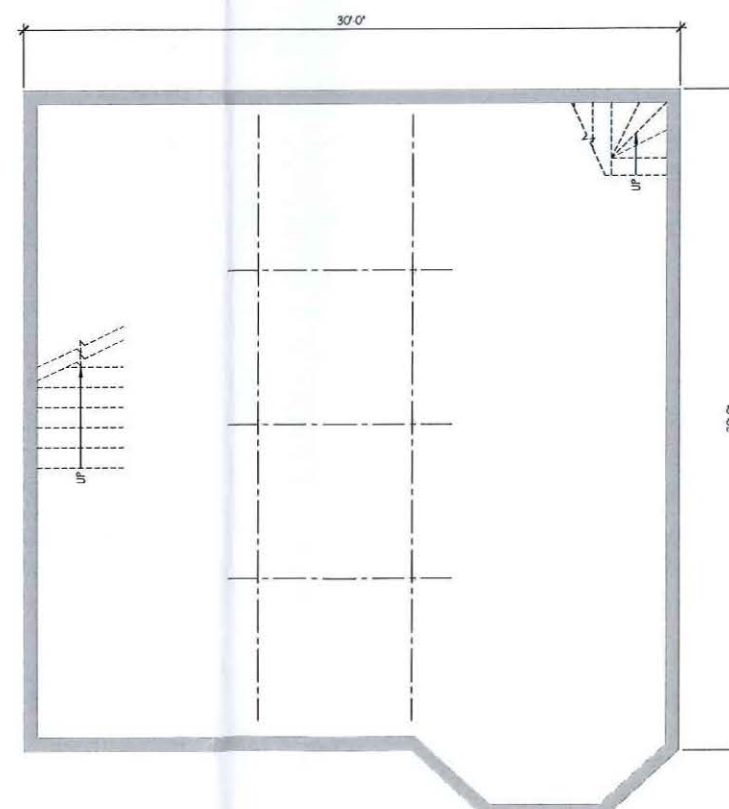
3 DEMO 2ND FLOOR
1/4" = 1'-0"



4 DEMO 3RD FLOOR
1/4" = 1'-0"



2 DEMO 1ST FLOOR
1/4" = 1'-0"



1 DEMO BASEMENT
1/4" = 1'-0"

- DEMO NOTES:
1. ALL EXISTING CEILING, FLOOR AND WALL FINISHES.
 2. ALL EXISTING INTERIOR PARTITIONS TO BE REMOVED. BEARING WALLS TO REMAIN UNTIL NEW BEARING WALLS/BEAMS INSTALLED.
 3. ALL EXISTING DOORS AND WINDOWS TO BE REMOVED.
 4. ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED.
 5. ALL EXISTING ELECTRICAL WIRING, DEVICES AND FIXTURES TO BE REMOVED.
 6. ALL EXISTING EXTERIOR MASONRY VENEER FOUNDATION TO REMAIN AND REPAIRED AS REQUIRED.
 7. EXISTING FRAMING TO BE REMOVED OR REVISED AS SHOWN ON FRAMING PLANS.
 8. EXISTING VINYL SIDING TO BE REMOVED.
 9. EXISTING ASPHALT SHINGLES AND MEMBRANE ROOFING TO BE REPLACED AND SHEATHING REPAIRED OR REPLACED AS REQUIRED.
 10. ALL EXISTING CHIMNEYS TO BE REMOVED IN THEIR ENTIRETY.
 11. EXISTING BASEMENT SLAB TO BE REMOVED AND LOWERED PER UNDERPIN DETAILING.



JARVIS
DRAFTING & DESIGN

11 MIDDLESEX AVE. UNIT 6
WILMINGTON, MA 01887

CONSULTING ENGINEER:

NAME
ADDRESS 1
ADDRESS 2

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

DATE:

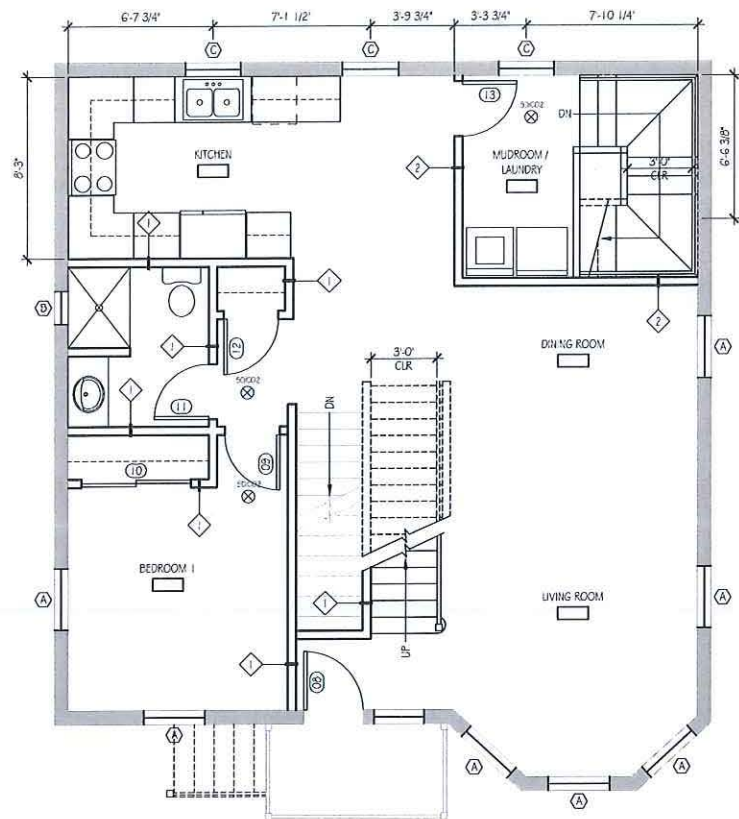
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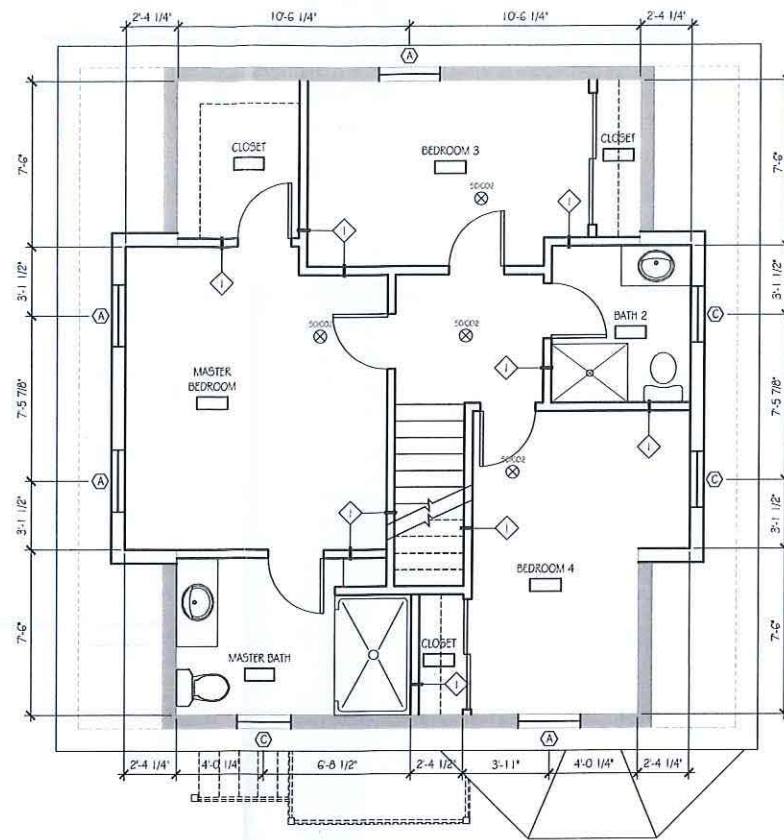
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FLOOR PLANS

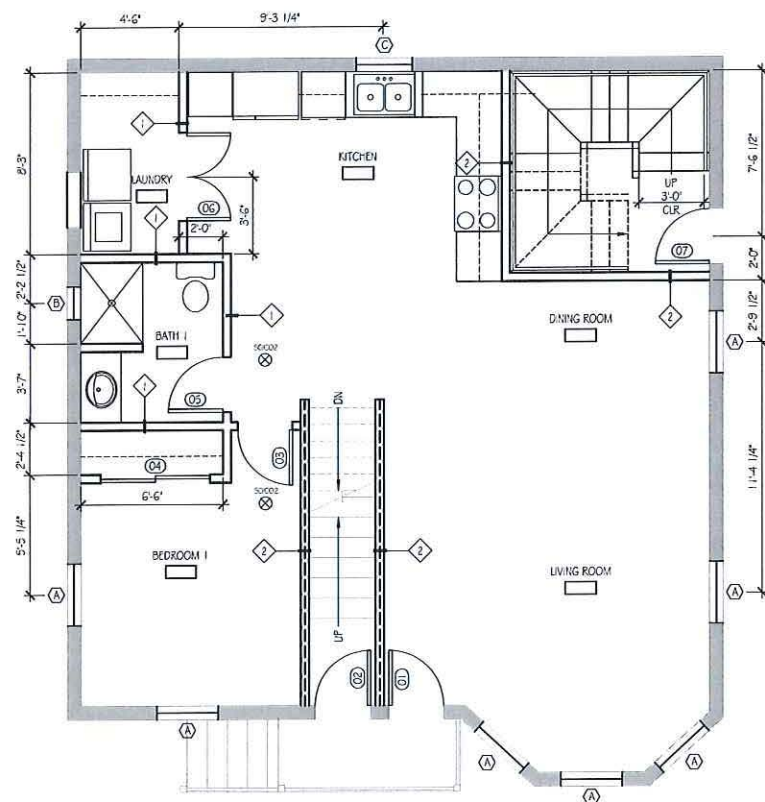
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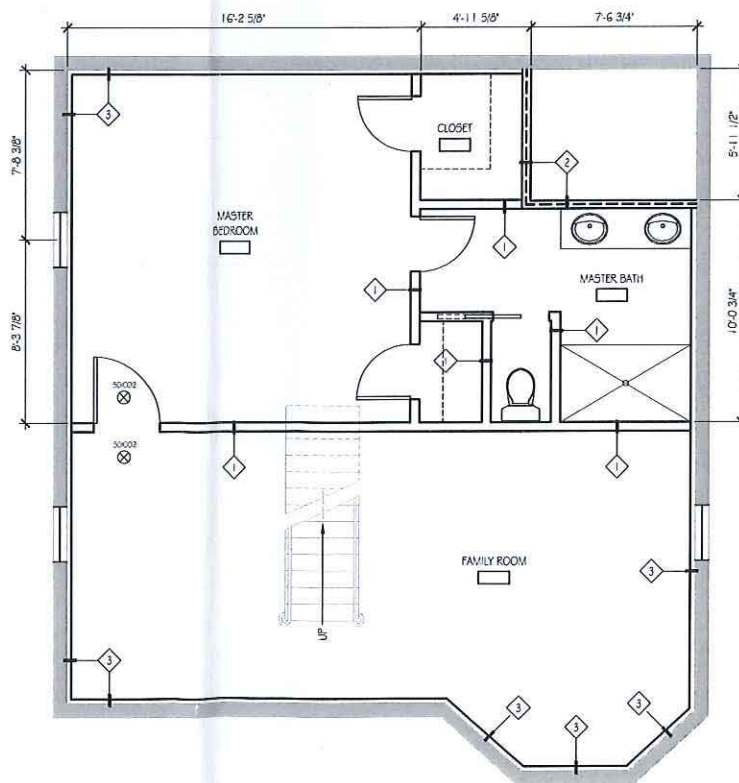
3 FLOOR PLAN: 2ND FLOOR
1/4" = 1'-0"



4 FLOOR PLAN: 3RD FLOOR
1/4" = 1'-0"



2 FLOOR PLAN: 1ST FLOOR
1/4" = 1'-0"



1 FLOOR PLAN: BASEMENT
1/4" = 1'-0"

CONSULTING ENGINEER:
NAME
ADDRESS 1
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1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

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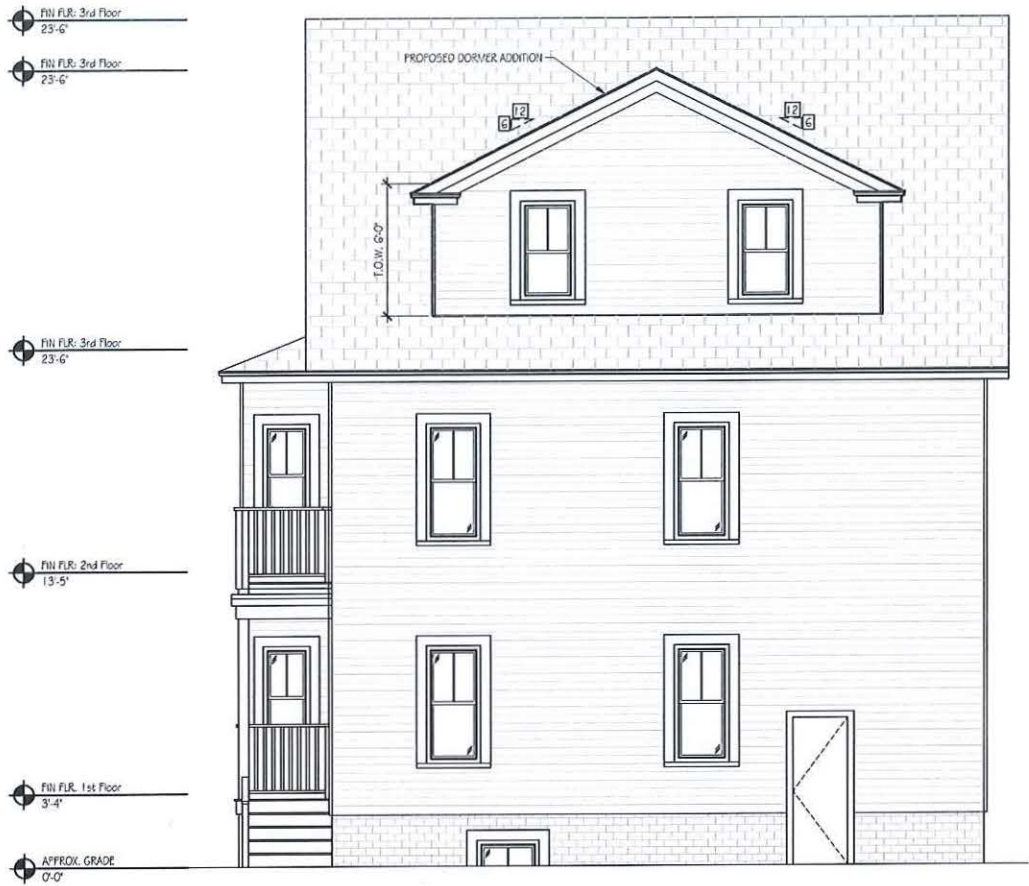
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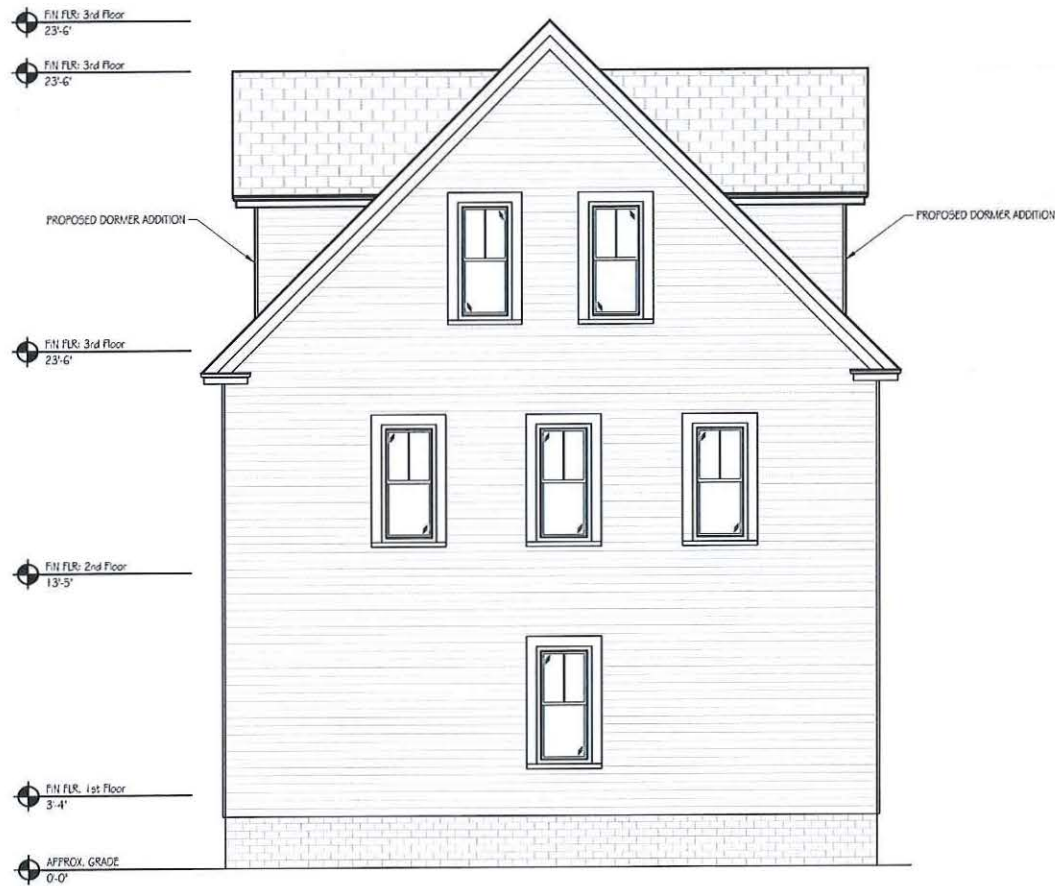
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EXTERIOR ELEVATIONS

A2.0



3 FLOOR PLAN: 2ND FLOOR
1/4" = 1'-0"



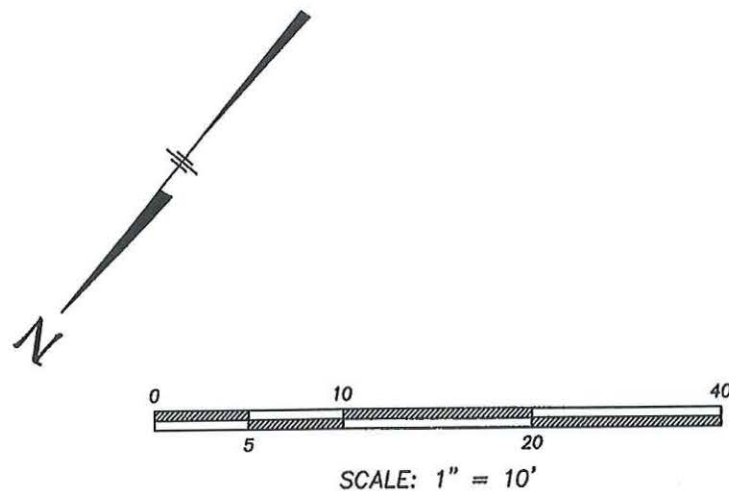
2 FLOOR PLAN: 1ST FLOOR
1/4" = 1'-0"



4 FLOOR PLAN: 3RD FLOOR
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: 1-3 PORTER PARK LLC
TITLE REFERENCE: BK 80700 PG 37
PLAN REFERENCE: 602 OF 1928

THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION AND IS NOT A CERTIFICATION TO THE TITLE OF THE LANDS SHOWN. THE OWNERSHIP OF ABUTTING PROPERTIES IS ACCORDING TO ASSESSORS RECORDS. THIS PLAN MAY OR MAY NOT SHOW ALL ENCUMBRANCES WHETHER EXPRESSED, IMPLIED OR PRESCRIPTIVE.

SURVEYOR'S CERTIFICATION:

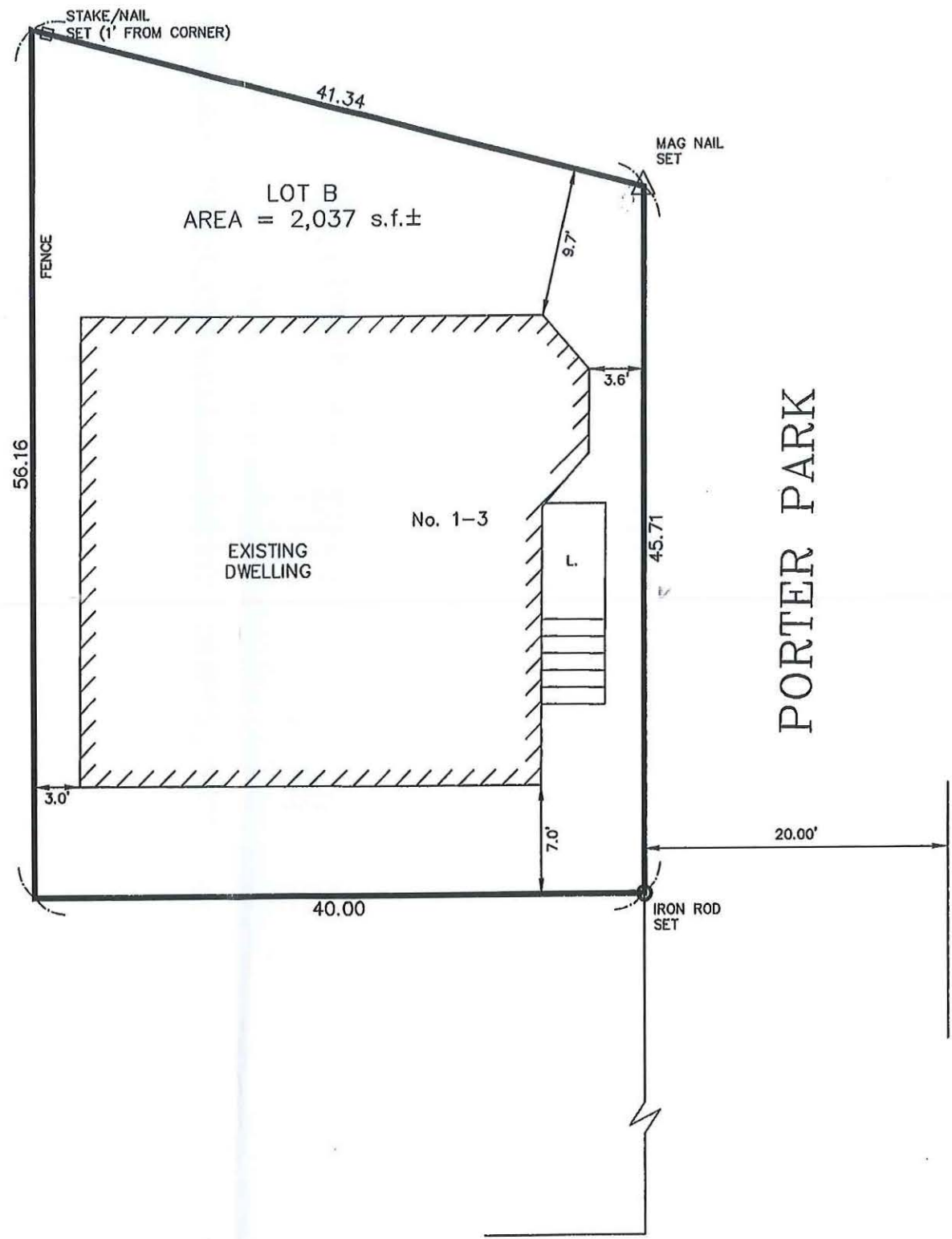
TO: 1-3 PORTER PARK LLC

I CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE GENERALLY ACCEPTABLE PRACTICES OF LAND SURVEYORS IN THE COMMONWEALTH OF MASSACHUSETTS FOR A PLAN AND SURVEY OF THIS TYPE. THIS CERTIFICATION IS MADE ONLY TO THE ABOVE NAMED INDIVIDUAL(S) AND IS NULL AND VOID UPON ANY FURTHER CONVEYANCE OF THIS PLAN.

THE FIELD WORK WAS COMPLETED ON: SEPTEMBER 19, 2022
DATE OF PLAN: SEPTEMBER 19, 2022


RICHARD J. MEDE, JR. P.L.S.

09/19/2022
DATE:



CERTIFIED PLOT PLAN
1-3 PORTER PARK
CAMBRIDGE, MA.
(MIDDLESEX COUNTY)

PREPARED BY:

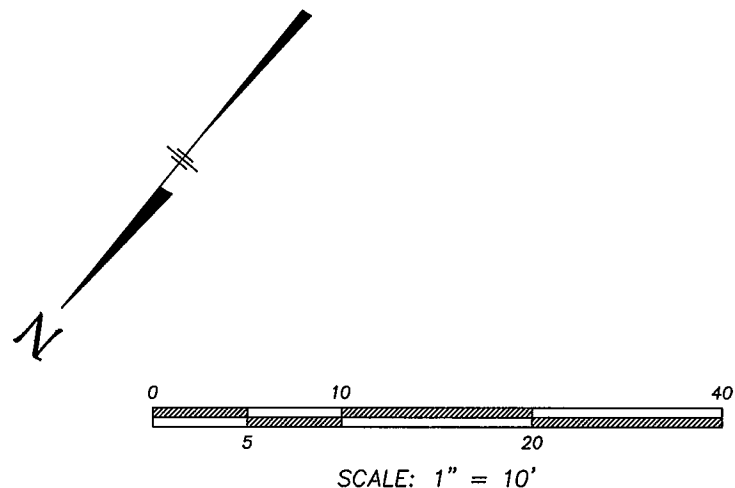
**MEDFORD
ENGINEERING
& SURVEY**

ANGELO B. VENEZIANO ASSOCIATES
15 HALL STREET, MEDFORD, MA 02155
781-396-4466 fax: 781-396-8052

PREPARED FOR:

FRANK BARBOSA

DRAWN	CHECKED	FILE No.
CAV	RJM	21719



NOTE: LOCATION OF FENCES SHOWN ARE APPROXIMATE AND FOR AESTHETIC PURPOSES ONLY. A DETAILED LOCATION WOULD BE REQUIRED FOR THE EXACT LOCATION.

CURRENT OWNER: 1-3 PORTER PARK LLC

TITLE REFERENCE: BK 80700 PG 37

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SURVEYOR'S CERTIFICATION:

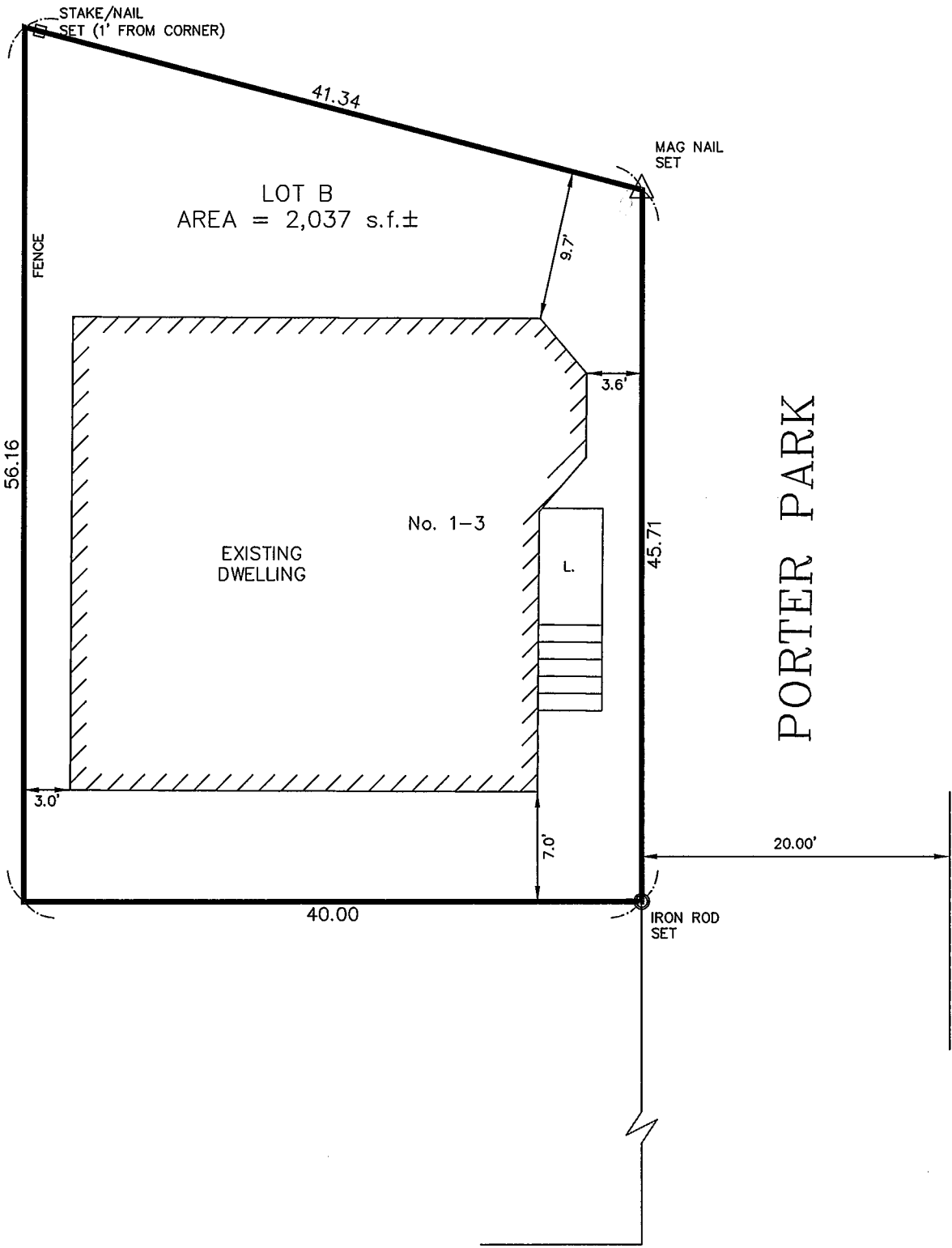
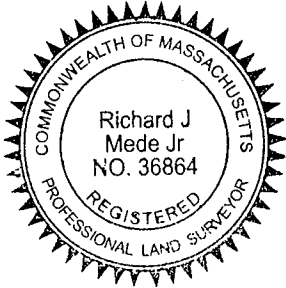
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RICHARD J. MEDE, JR. P.L.S.

09/19/2022
DATE:



CERTIFIED PLOT PLAN
1-3 PORTER PARK
CAMBRIDGE, MA.
(MIDDLESEX COUNTY)

PREPARED BY:

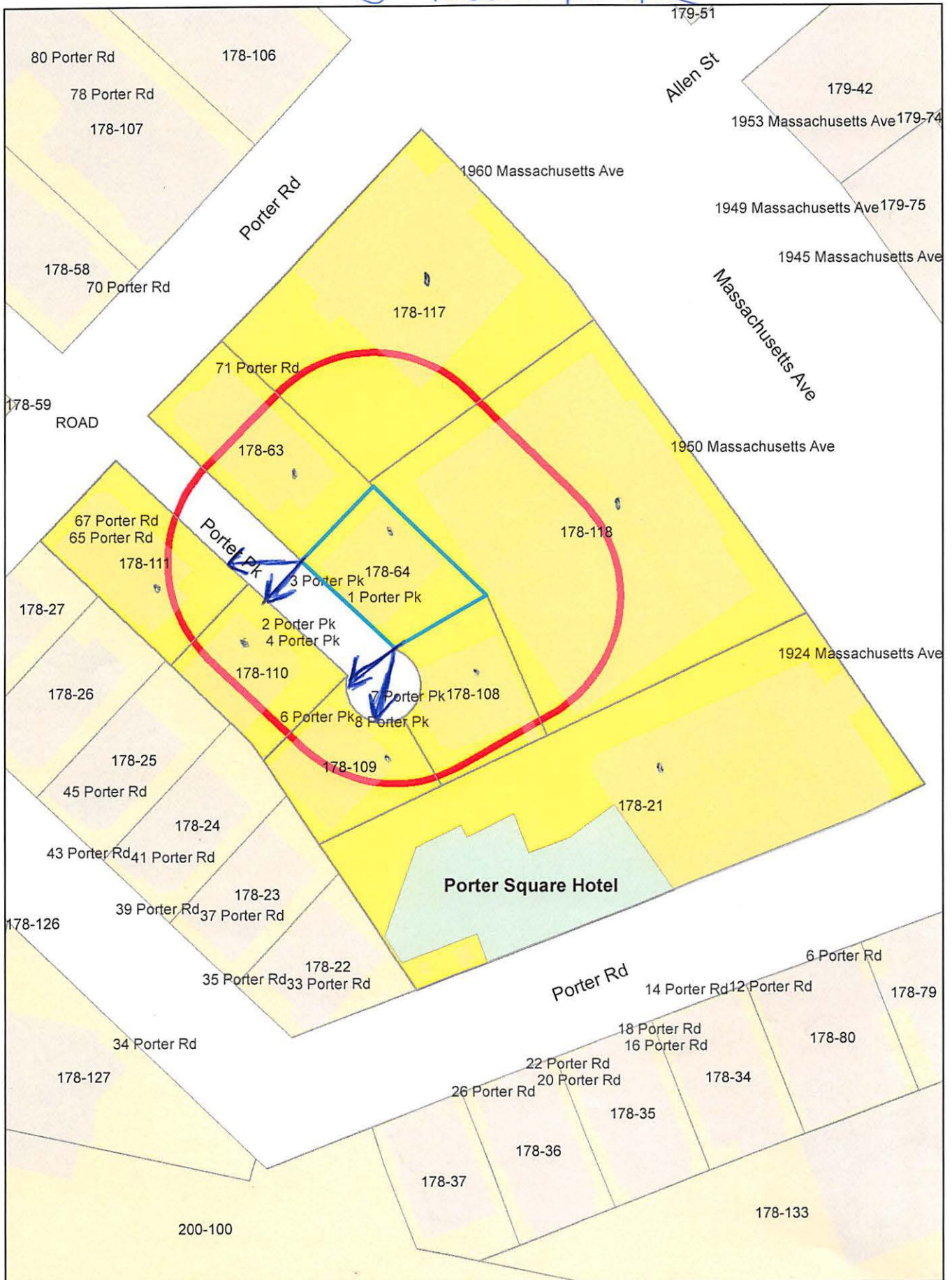


PREPARED FOR:

FRANK BARBOSA

DRAWN	CHECKED	FILE No.
CAV	RJM	21719

3 Porter Park



3 Porter pk.

178-117
RAMSEY, RICHARD R, JR & ROBERT J. RAMSEY
TRUSTEE OF DILBOY REALTY TR.
C/O W.T. PHELAN INSURANCE AGENCY
63 TRAPELO ROAD
BELMONT, MA 02478

178-111
DALEY, WENDY M.
67 PORTER RD. UNIT#1
CAMBRIDGE, MA 02140

178-21
PORTER SQUARE HOTEL, LLC
1924 MASS AVE
CAMBRIDGE, MA 02140

178-108
DALL, ROBERT D. MARGARET A. BRADY
7 PORTER PARK
CAMBRIDGE, MA 02140

178-63
LEVESQUE, COLLEEN A.,
TR. THE PATRICIA A. MALONEY IRREV TRUST
71 PORTER RD
CAMBRIDGE, MA 02140

178-118
CAMBRIDGE MASONIC HALL ASSOCIATION
1950 MASS AVE
CAMBRIDGE, MA 02140

178-110
HSIEH, LARRY & IAN HSIEH,
TRS. HSIEH REALTY TRUST
2-4 PORTER PK
CAMBRIDGE, MA 02140-2108

178-109
ZADIMOGHADDAM, MORTEZA &
FAEZEH MALAKOUTI RAD
8 PORTER PK
CAMBRIDGE, MA 02140

178-111
COLLINS VOULA & KATHARINE OLESKE
65-67 PORTER RD - UNIT 2
CAMBRIDGE, MA 02140

Petitioner
JAMES J. RAFFERTY, ESQ.
907 MASS AVENUE – SUITE 300
CAMBRIDGE, MA 02139

178-64
1-3 PORTER PARK LLC
53 STANLEY AVE
MEDFORD, MA 02155

178-109
JIN YIQI & LI QI
6 PORTER PK
CAMBRIDGE, MA 02140

178-111
DURAND, KEVIN & ELIZABETH ROSS
65 PORTER RD, UNIT #3
CAMBRIDGE, MA 02138

1 PORTER PARK RENOVATIONS
1-3 PORTER PARK, CAMBRIDGE, MA 02140

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
2023 MAR -2 P 2:13



CONSULTING ENGINEER:
NAME
ADDRESS 1
ADDRESS 2

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

DATE:
DOCUMENT PHASE:
○ PRELIMINARY DESIGN
○ DESIGN DEVELOPMENT
○ BID DRAWINGS
○ PERMIT DRAWINGS
○ CONSTRUCTION DRAWINGS
REV DATE REMARK

COVER SHEET

A0.0

GENERAL NOTES:

- 1. WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS. UNLESS OTHERWISE AGREED UPON, THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED TO PERFORM HIS OR HER WORK AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS FOR THE DURATION OF CONSTRUCTION.
- 2. CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS ARE 1 HR FIRE RATED, SINGLE LAYER OF 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305).
- 3. CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
- 4. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- 5. CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTAL FOR SMOKE ALARM FIXTURES FOR APPROVAL.
- 6. CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT OR THE APPROPRIATE CONSULTING ENGINEERS.
- 7. CONFIRM DIMENSIONS WITH THE ARCHITECT OR APPROPRIATE CONSULTING ENGINEER.
- 8. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITIONS ALTER THE DESIGN INTENT.
- 9. CONTRACTOR TO NOTIFY ARCHITECT, AFTER LAYOUT AND PRIOR TO FRAMING, IF DIMENSIONS INDICATED WITH "+/-" VARIES MORE THAN 3" FROM ACTUAL FIELD MEASUREMENTS.
- 10. CONTRACTOR RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED BY MANUFACTURER'S SPECIFICATIONS.
- 11. DAMAGED TO EXISTING OR NEW CONSTRUCTION CAUSED BY THE CONTRACTOR, HIS OR HER SUB-CONTRACTORS OR CREW IS THE RESPONSIBILITY OF THE CONTRACTOR.

PERFORMANCE SPECIFICATIONS:

- 1. EXTERIOR WALLS:
EXISTING WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
BASEMENT: R10 CONTINUOUS INSULATION OR
R13 CAVITY INSULATION
- 2. WINDOWS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .32
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
5.75F OPERABLE CLEAR AREA,
44" MAX SILL HGT
- 3. EXTERIOR DOORS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .33
- 4. CEILING/ROOF
R49 MIN INSULATION VALUE
- 5. FOUNDATION
EXISTING
- 6. STAIRS:
8 1/4" MAX RISER
9" MIN TREAD
HANDRAILS:
34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
BALUSTERS: 4" MAX CLEAR WIDTH

CODE ANALYSIS:

- 1. APPLICABLE CODES:
MA STATE BUILDING CODE, 9TH ED, BASE VOLUME (IBC 2015)
MA STATE BUILDING CODE, 9TH ED, RESIDENTIAL VOLUME (IRC 2015)
EXISTING BUILDING CODE OF MASSACHUSETTS (IEBC 2015)
2015 INTERNATIONAL MECHANICAL CODE (IMC 2015)
2020 MA STATE ENERGY CODE (IECC 2018)
527 CMR 1.00: MA Comprehensive Fire Safety Code (NFPA, 2015)
527 CMR 12.00: MA Electrical Code (NFPA 70, 2020)
National Fire Alarm and Signaling Code 2013 of Massachusetts (NFPA 72, 2013)
521 CMR: Architectural Access Board
248 CMR 10.00: UNIFORM STATE PLUMBING CODE
- 2. ZONING DISTRICT - CAMBRIDGE RESIDENCE B
SETBACKS:
FRONT 15' NO CHANGE
SIDE 7'-6" NO CHANGE
REAR 25' NO CHANGE
FAR: 0.50
LOT SIZE: 2036 SF
ALLOWED: 1018 SF
EXISTING: 2772 SF
PROPOSED: 2867.6 SF
- 3. USE GROUP CLASSIFICATION:
RESIDENTIAL R3
- 4. CONSTRUCTION CLASSIFICATION:
UNIT SEPARATION - 1 HR
TYPE 5A CONSTRUCTION
- 5. MEANS OF EGRESS:
EMERGENCY ESCAPE & RESCUE
BEDROOM EGRESS:
1 WINDOW MINIMUM REQUIREMENTS
5.75F OPERABLE CLEAR AREA
44" MAX. SILL HEIGHT

SHEET INDEX"

- ARCHITECTURAL
A0.0 TITLE SHEET; PROJECT DATA
A0.1 DRAWING SYMBOLS AND ABBREVIATIONS
AD1.0 DEMO PLANS
A1.0 FLOOR PLANS
A2.0 EXTERIOR ELEVATIONS

VICINITY MAP



CONSULTING ENGINEER:
NAME
ADDRESS 1
ADDRESS 2

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

DATE:

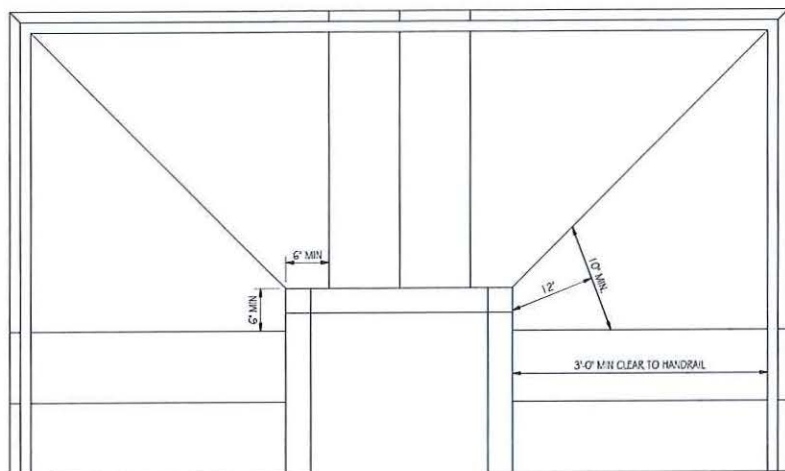
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- CONSTRUCTION DRAWINGS

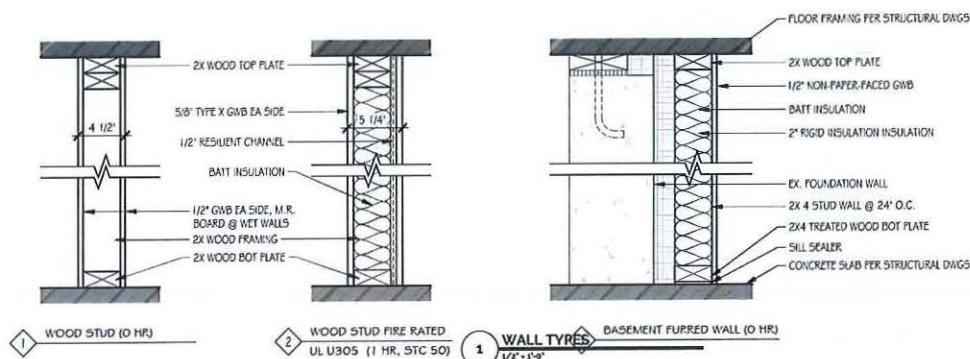
REV DATE REMARK

DRAWING SYMBOLS
AND ABBREVIATIONS

A0.1



2 TYPICAL WINDER STAIR
1'-0" x 1'-0"



WALL TYPES
1'-0" x 1'-0"

SYMBOLS USED AS ABBREVIATIONS:

ANGLE
CENTERLINE
PERCENTAGE

ABBREVIATIONS:

AB ANCHOR BOLT
A/C AIR CONDITIONING
ACM ASBESTOS CONTAINING MATERIAL
ACT ACoustical CEILING TILE
ADA AMERICANS WITH DISABILITIES ACT
ADJ ADJUSTABLE
A.F.F. ABOVE FINISHED FLOOR
AHU AIR HANDLING UNIT
ALT ALTERNATE
AL ALUM.
ALUM ALUMINUM
ANNO ANNOTED
AP ACCESS PANEL
APPROX APPROXIMATE
ARCH ARCHITECT, ARCHITECTURAL
ASAP AS SOON AS POSSIBLE
ASPH ASPHALT
AUTO AUTOMATIC
A.V. AUTO VISUAL

BD BOARD
BET BETWEEN
BIT BITUMINOUS
BHT CONC BITUMINOUS CONCRETE
BLDG BUILDING
BLK BLOCK
BLKG BLOCKING
BRG BEARING
BRK BRICK
BS BRICK SHELF
BSMT BASEMENT
BTN BETWEEN

CAB CABINET
C.B. CATCH BASIN
CDM CONCRETE
CMF COLD FORM METAL FRAMING
CG CORNER GUARD
CH CEILING HEIGHT
CP CAST IN PLACE
C.J. CONTROL JOINT
CL CENTERLINE
CLG CEILING
CLOS CLOSET
CLR CLEAR
CMU CONCRETE MASONRY UNIT
CNTR CENTER
C.O. CLEAN OUT
COL COLUMN
CONC CONCRETE
CONST CONSTRUCTION
CONT CONTINUOUS
CONTR CONTRACTOR
CORR CORRIDOR
COORD COORDINATE, COORDINATION
CPT CARPET
CRS COURSE
CT CERAMIC TILE
CTR COUNTER
CUH CASH UNIT HEATER
CW COLD WATER

DBL DOUBLE
DEG DEGREE
DEMO DEMOLITION
DEPT DEPARTMENT
DF DRINKING FOUNTAIN
DH DOUBLE HUNG
DIA DIAMETER
DIAG DIAGONAL
DIFF DIFFUSER
DIV DIVISION
DISP DISPENSER
DV DIVISION
DL DRAIN LEADER
DN DOWN
DO DOOR OPENING
DR DOOR
DRN DRAIN
DS DOWN SPOUT
DTL DETAIL
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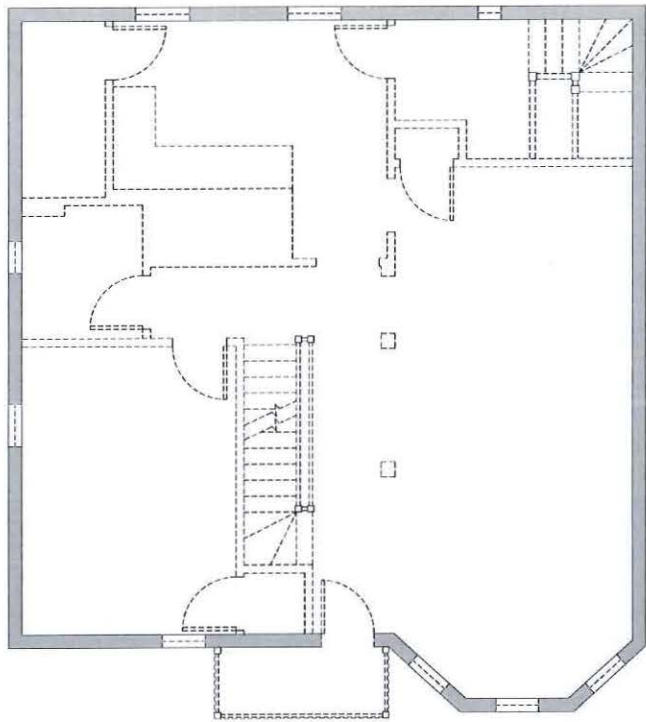
1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

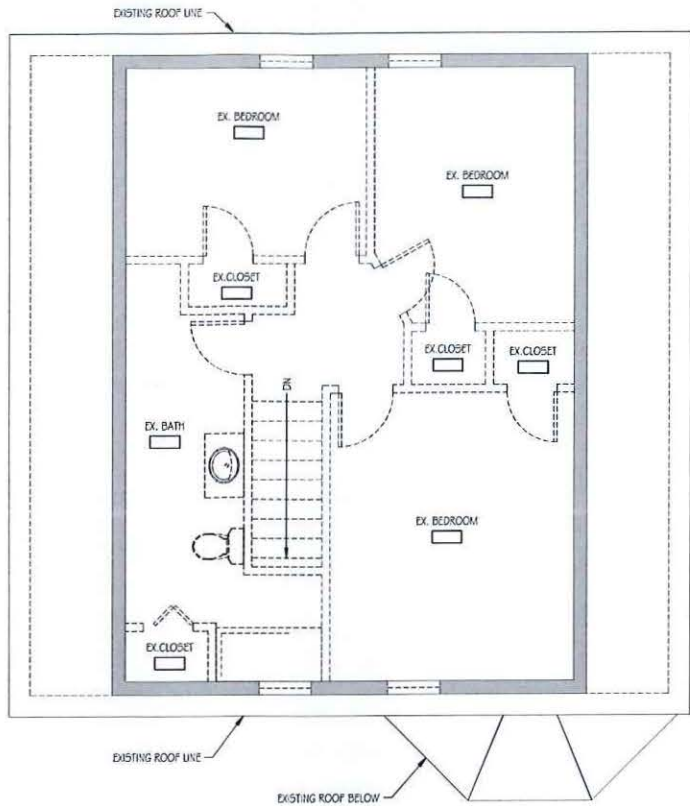
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<input type="radio"/> DESIGN DEVELOPMENT
<input type="radio"/> BID DRAWINGS
<input type="radio"/> PERMIT DRAWINGS
<input type="radio"/> CONSTRUCTION DRAWINGS
REV DATE REMARK

DEMO PLANS

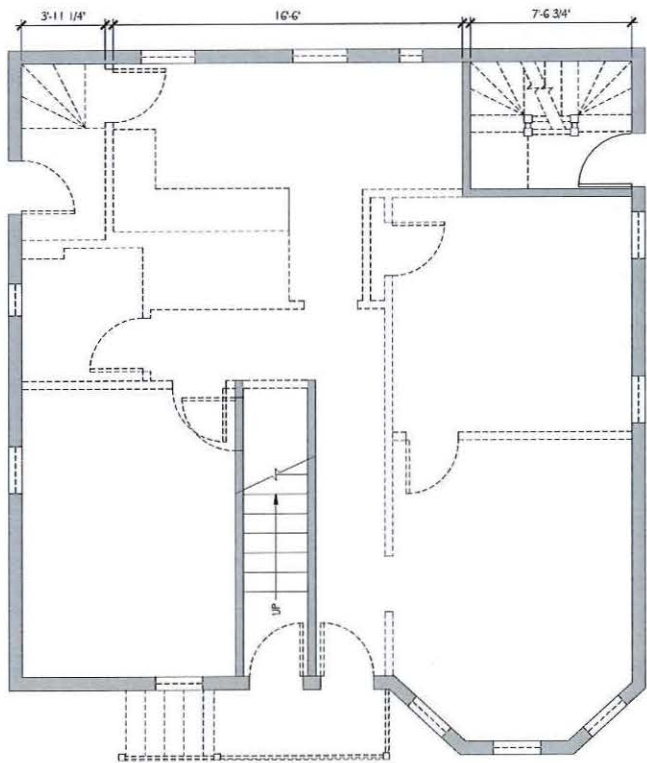
AD1.0



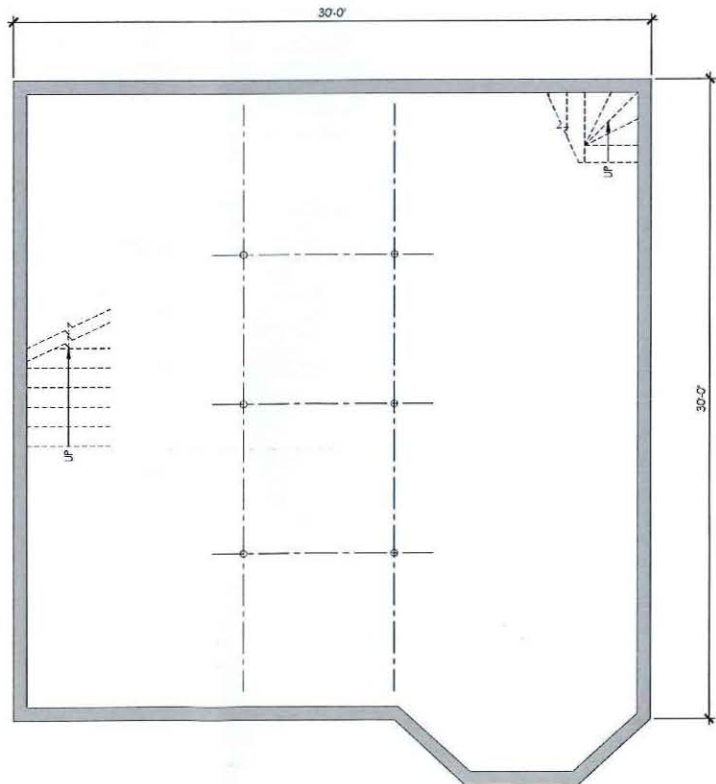
3 DEMO 2ND FLOOR
1/4" = 1'-0"



4 DEMO 3RD FLOOR
1/4" = 1'-0"



2 DEMO 1ST FLOOR
1/4" = 1'-0"



1 DEMO BASEMENT
1/4" = 1'-0"

- DEMO NOTES:
1. ALL EXISTING CEILING, FLOOR AND WALL FINISHES.
 2. ALL EXISTING INTERIOR PARTITIONS TO BE REMOVED, BEARING WALLS TO REMAIN UNTIL NEW BEARING WALLS/BEAMS INSTALLED.
 3. ALL EXISTING DOORS AND WINDOWS TO BE REMOVED.
 4. ALL EXISTING PLUMBING AND PLUMBING FIXTURES TO BE REMOVED.
 5. ALL EXISTING ELECTRICAL WIRING, DEVICES AND FIXTURES TO BE REMOVED.
 6. ALL EXISTING EXTERIOR MASONRY VENEER FOUNDATION TO REMAIN AND REPAIRED AS REQUIRED.
 7. EXISTING FRAMING TO BE REMOVED OR REVISED AS SHOWN ON FRAMING PLANS.
 8. EXISTING VINYL SIDING TO BE REMOVED.
 9. EXISTING ASPHALT SHINGLES AND MEMBRANE ROOFING TO BE REPLACED AND SHEATHING REPAIRED OR REPLACED AS REQUIRED.
 10. ALL EXISTING CHIMNEYS TO BE REMOVED IN THEIR ENTIRETY.
 11. EXISTING BASEMENT SLAB TO BE REMOVED AND LOWERED PER UNDERPIN DETAILING.

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

DATE: 12/06/2022

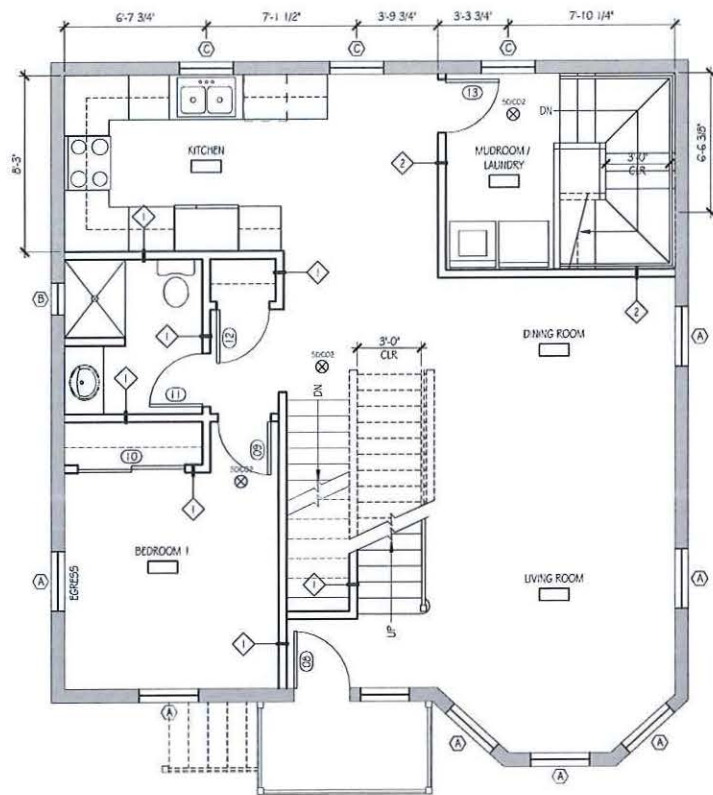
DOCUMENT PHASE:

- PRELIMINARY DESIGN
- DESIGN DEVELOPMENT
- BID DRAWINGS
- PERMIT DRAWINGS
- CONSTRUCTION DRAWINGS

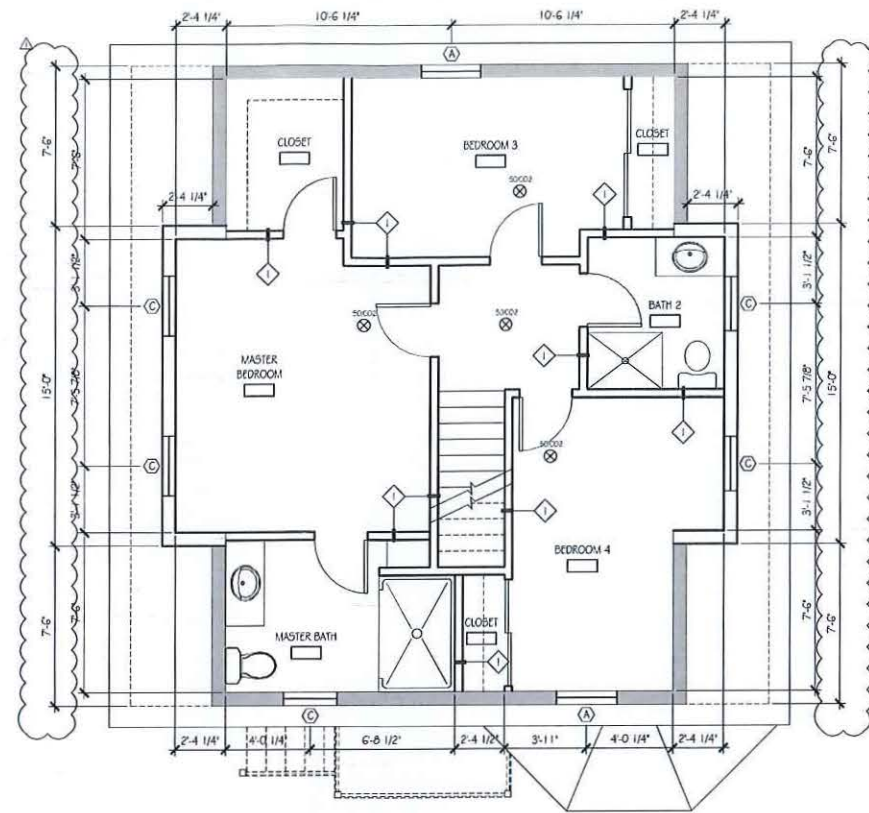
REV	DATE	REMARK
1	2/27/23	ADDED DIMS

FLOOR PLANS

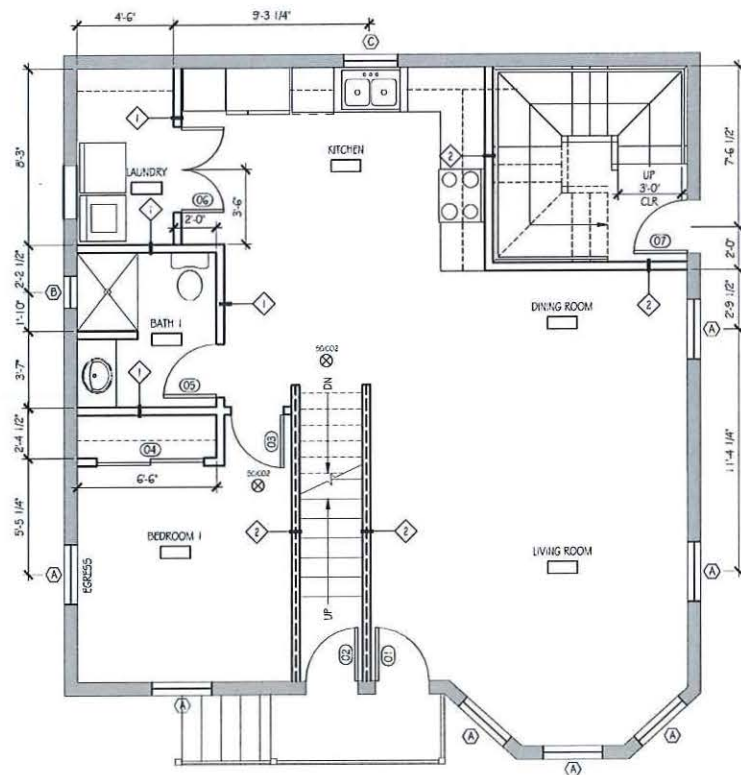
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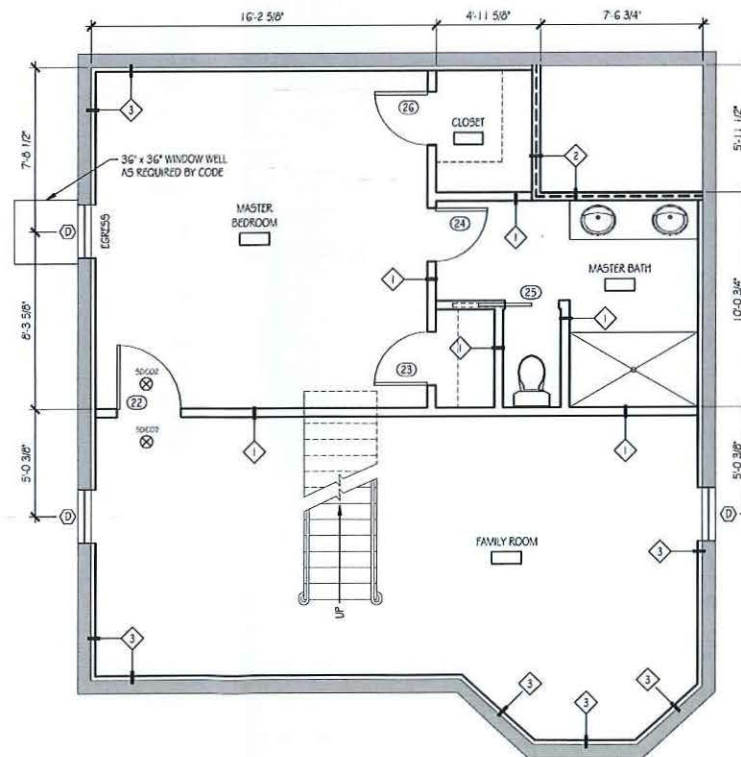
3 FLOOR PLAN: 2ND FLOOR
1/4" = 1'-0" - 734 SQ FT



4 FLOOR PLAN: 3RD FLOOR
1/4" = 1'-0" - 679 SQ FT



2 FLOOR PLAN: 1ST FLOOR
1/4" = 1'-0" - 737 SQ FT



1 FLOOR PLAN: BASEMENT
1/4" = 1'-0" - 761 SQ FT

1 PORTER PARK RENOVATIONS

1-3 PORTER PARK
CAMBRIDGE, MA 02140

DATE:

DOCUMENT PHASE:

- ☐ PRELIMINARY DESIGN
- ☐ DESIGN DEVELOPMENT
- ☐ BID DRAWINGS
- ☐ PERMIT DRAWINGS
- ☐ CONSTRUCTION DRAWINGS

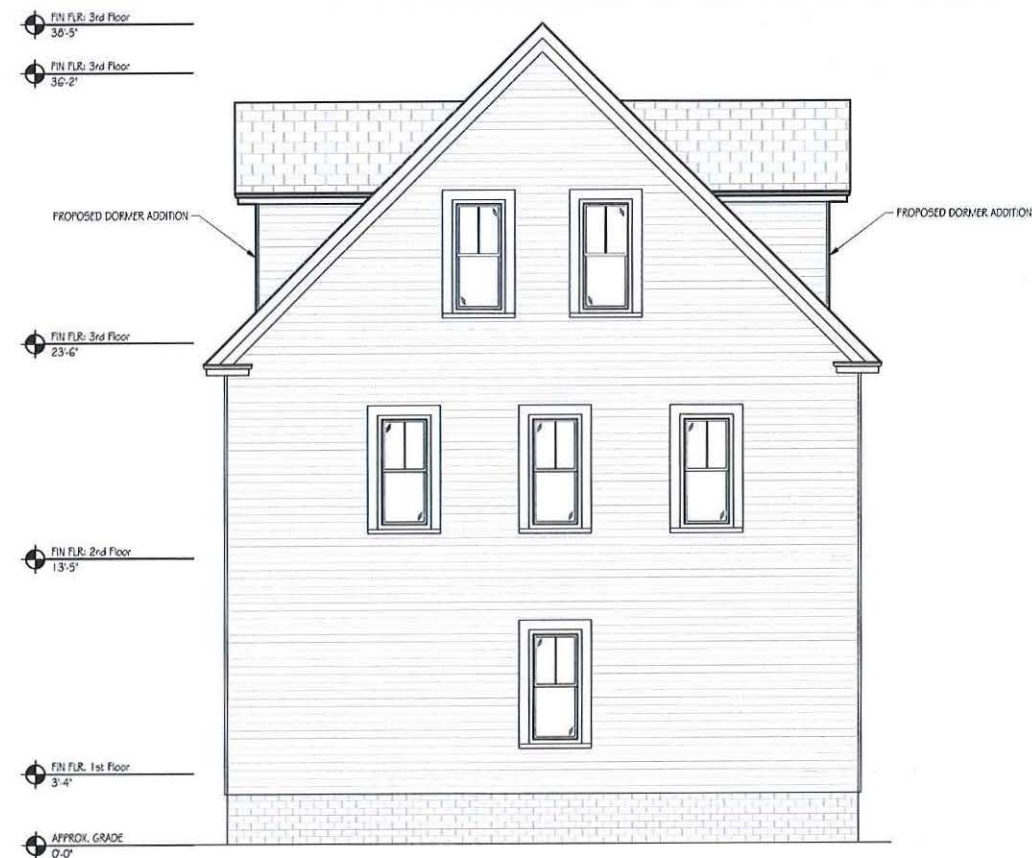
REV	DATE	REMARK
1	2/27/23	ADDED DIMS

EXTERIOR ELEVATIONS

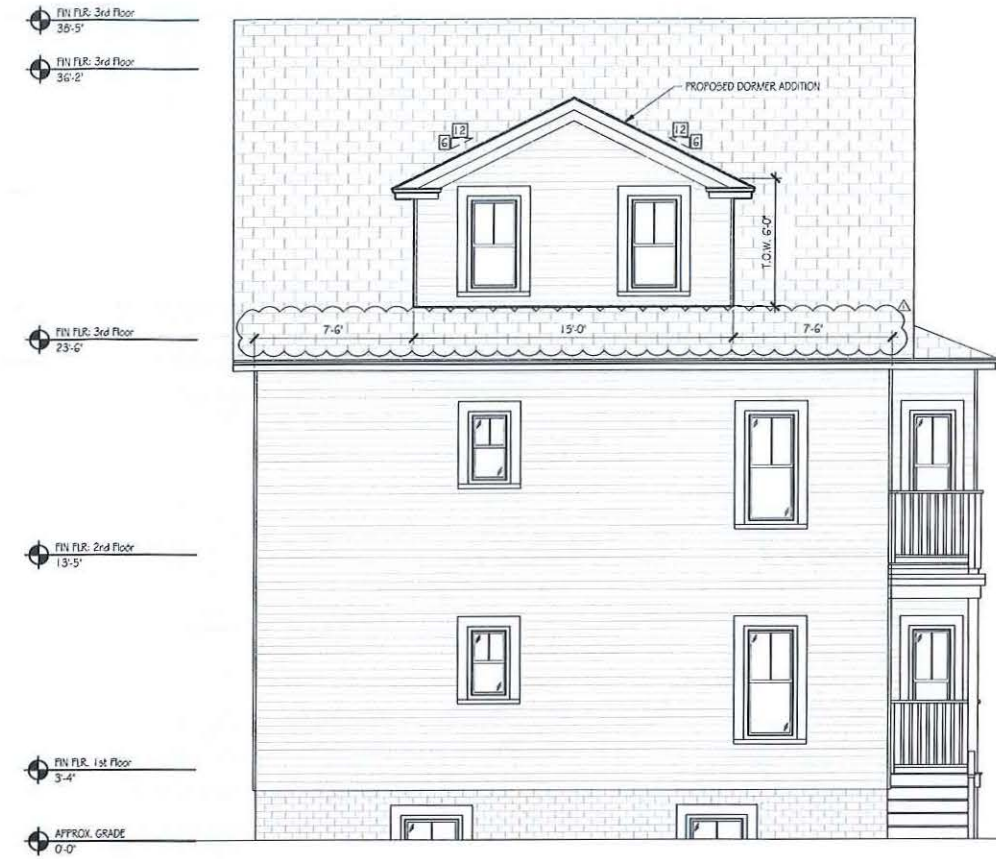
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3 FLOOR PLAN: 2ND FLOOR
1/4" = 1'-0"



2 FLOOR PLAN: 1ST FLOOR
1/4" = 1'-0"



4 FLOOR PLAN: 3RD FLOOR
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Frank Burso Date: 2-16-23
(Print)

Address: 3 Porter Park

Case No. BZA-209129

Hearing Date: 3/9/23

Thank you,
Bza Members