



CITY OF CAMBRIDGE
 MASSACHUSETTS
 BOARD OF ZONING APPEAL
 831 MASSACHUSETTS AVENUE
 CAMBRIDGE, MA 02139
 617 349-6100

BZA APPLICATION FORM

Plan No: BZA-017306-2020

GENERAL INFORMATION

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit : _____ Variance : v Appeal : _____

PETITIONER : Saint Anthony's Parish - C/O James J. Rafferty, Esq.

PETITIONER'S ADDRESS : 907 Massachusetts Avenue, Suite 300 Cambridge, MA 02139

LOCATION OF PROPERTY : 400 Cardinal Medeiros Ave Cambridge, MA

TYPE OF OCCUPANCY : _____ ZONING DISTRICT : Business A/Residence C-1
 Zone

REASON FOR PETITION :
 New Structure

DESCRIPTION OF PETITIONER'S PROPOSAL :

 Applicant seeks to construct a detached two car garage with second floor storage.

SECTIONS OF ZONING ORDINANCE CITED :

- | | |
|---------------------------|--|
| Article <u> 5.000 </u> | Section <u> 5.13 </u> (Minimum Distance Between Structures). |
| Article <u> 5.000 </u> | Section <u> 5.31 </u> (Table of Dimensional Requirements). |
| Article <u> 10.000 </u> | Section <u> 10.30 </u> (Variance). |

Original Signature(s) : _____
(Petitioner(s) / Owner)

 James J. Rafferty

 (Print Name)

Address : 907 Massachusetts Avenue, Suite 300
 Cambridge, MA 02139
 Tel. No. : (617) 492-4100
 E-Mail Address : jrafferty@adamsrafferty.com

Date : July 27, 2020

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Roman Catholic Archbishop of Boston, A Corporation Sole (OWNER)


Address: 66 Brooks Drive, Braintree, MA 02184

State that I/We own the property located at 400 Cardinal Medeiros Avenue, Cambridge, MA,

which is the subject of this zoning application.

The record title of this property is in the name of Roman Catholic Archbishop of Boston, A Corporation Sole

*Pursuant to three (3) deeds of duly recorded in the dates 9/13/1979, 11/30/1982 and 2/22/1989, Middlesex South County Registry of Deeds at Book 13787, Page 183, Book 14803, Page 470 and Book 19662, Page 092 respectively.



SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Norfolk

The above-name John Straub personally appeared before me,
this 12th of June, 2020, and made oath that the above statement is true.

 Notary

My commission expires October 24, 2025 (Notary Seal).

⌚ If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10:

A) A Literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

A literal enforcement of the Ordinance would prohibit the petitioner from constructing a garage with appropriate adjacency to the rectory.

B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

The hardship is unique and directly related to the location of an electrical transformer in the parking lot and the shape of the lot.

C) DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:

1) Substantial detriment to the public good for the following reasons:

The location of the proposed garage will not cause any detriment to the public good. The requested setback and building separation relief is modest. Moreover, constructing the garage in this location will facilitate the sale of land at the rear of the property that will become an integral part of the Grand Junction Pathway.

2) Relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed garage is well within the allowed Gross Floor Area and height allowed in the Residence C-1 Zoning District. Furthermore, the rear garage wall will align with the existing rectory wall and the roof lines have been designed to achieve architectural symmetry with the other structures on the site.

*** If You have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.**

BZA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: James Rafferty, Esq. **PRESENT USE/OCCUPANCY:** church

LOCATION: 400 Cardinal Medeiros Ave Cambridge, MA **ZONE:** Business A/Residence C-1 Zo

PHONE: _____ **REQUESTED USE/OCCUPANCY:** church

	<u>EXISTING CONDITIONS</u>	<u>REQUESTED CONDITIONS</u>	<u>ORDINANCE REQUIREMENTS</u> ¹	
<u>TOTAL GROSS FLOOR AREA:</u>	27,655	29,063	72,942	(max.)
<u>LOT AREA:</u>	97,256	no change	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²	.28	.30	.75	(max.)
<u>LOT AREA FOR EACH DWELLING UNIT:</u>	N/A	N/A	N/A	(min.)
<u>SIZE OF LOT:</u>				
WIDTH	543'	no change	50'	(min.)
DEPTH	192'	no change	N/A	
<u>SETBACKS IN FEET:</u>				
FRONT	23'	no change	54.66'	(min.)
REAR	29'	no change	20'	(min.)
LEFT SIDE	180'	142' 3"	24.28'	(min.)
RIGHT SIDE	22'	19' 2"	48'	(min.)
<u>SIZE OF BLDG.:</u>				
HEIGHT	46'	no change	35'	(max.)
LENGTH	275'	312' 9"	N/A	
WIDTH	156'	no change	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	38.5%	no change	30%	(min.)
<u>NO. OF DWELLING UNITS:</u>	0	no change	N/A	(max.)
<u>NO. OF PARKING SPACES:</u>	94	86	69	(min./max)
<u>NO. OF LOADING AREAS:</u>	0	no change	N/A	(min.)
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT:</u>	N/A	8'5"	10'	(min.)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



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2020 JUL 28 AM 11:40
 OFFICE OF THE CITY CLERK
 CAMBRIDGE, MASSACHUSETTS

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Original Signature(s) : *James J. Rafferty*
 (Petitioner(s) / Owner)
 James J. Rafferty
 (Print Name)

Address : 907 Massachusetts Avenue, Suite 300
 Cambridge, MA 02139

Tel. No. : (617) 492-4100

E-Mail Address : jrafferty@adamsrafferty.com

Date : July 27, 2020

St. Anthony Parish GARAGE

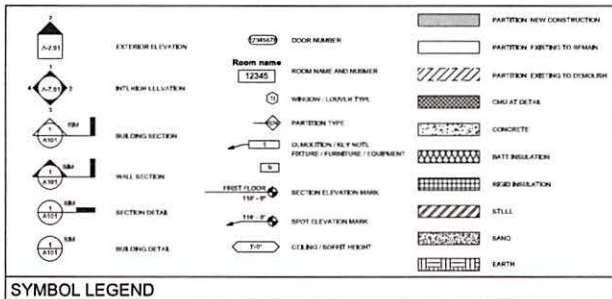
400 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA 02141
6/30/2020
CONSTRUCTION DOCUMENTS

DRAWING LIST	
SHEET NUMBER	DRAWING TITLE
00 - G - GENERAL	
G-1.0.1	GENERAL NOTES
G-1.0.2	CODE SUMMARY
02 - C - CIVIL	
C-1	PROJECT NOTES
C-2	EXISTING CONDITIONS PLAN
C-3	EROSION CONTROL AND SITE PREPARATION PLAN
C-4	SITE LAYOUT PLAN
C-5	SITE BASELINE AND STATIONING PLAN
C-6	SITE GRADING PLAN
C-7	DETAIL SHEET
C-8	DETAIL SHEET #2
04 - S - STRUCTURAL	
S-0.0.1	GENERAL NOTES, ABBREVIATIONS, LEGEND, AND SYMBOLS
S-0.0.2	PROGRAM OF STRUCTURAL TEST AND INSPECTION
S-1.0.1	FOUNDATION AND FRAMING PLANS
S-2.0.1	SECTIONS AND TRUSS LOAD DIAGRAMS
S-7.0.1	TYPICAL DETAILS
05 - A - ARCHITECTURAL	
A-0.0.0	SPECIFICATIONS
A-0.0.1	SPECIFICATIONS
A-1.0.0	FLOOR PLANS & EXT ELEVATIONS
A-2.0.0	BUILDING & WALL SECTIONS
A-3.0.0	INT ELEVATIONS, REFLECTED CEILING PLANS, OPENINGS & STAIR
Grand total: 20	



Architectural Resources Cambridge
501 Boylston Street, Suite 4101, Boston, MA 02116
617.547.2200 www.arcusa.com

CIVIL	STRUCTURAL
BRISTOL ENGINEERING 675 Massachusetts Ave Cambridge, MA 02139	SDE 49 Walnut Park Building 2 Wellesley, MA 02481
tel 617.662.7303	tel 781.237.2226

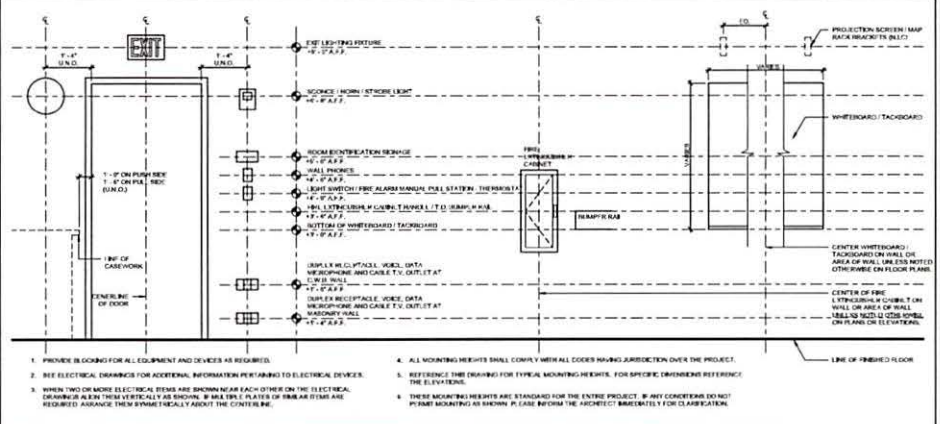


- #### 1 DRAWINGS SHALL NOT BE SCALED. USE WRITTEN DIMENSIONS ONLY.
- #### 2 DIMENSIONS:
- A. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
 - B. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
 - C. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
3. FLOOR ELEVATIONS, WHERE INDICATED, REFER TO TOP OF CONCRETE SLAB AND ALL VERTICAL DIMENSIONS TO FINISHES ARE FROM TOP OF SLAB UNLESS NOTED OTHERWISE.
4. ARCHITECTURAL LAYOUT, ELEVATIONS AND LOCATION OF THE BUILDING ELEMENTS ARE BASED ON ASSUMED SITE SURVEY INFORMATION. IF THE INFORMATION PROVIDED TO THE ARCHITECT DOES NOT CORRELATE TO THE ASSUMED SITE SURVEY INFORMATION, THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION FROM THE SURVEYOR. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION FROM THE SURVEYOR.
5. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROVED HIGHWAY AND AIRPORT AUTHORITY. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND ALL UTILITIES SHALL BE PROTECTED AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETE.
6. ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL COMPLY WITH ALL APPLICABLE STATE AND CITY CONSTRUCTION CODES.
7. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL MEASURES AND MATERIALS TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT ALL TIMES UNTIL THE WORK IS COMPLETE.
8. ALL WORK NOT SHOWN AND SPECIFIED BY CONTRACTOR TO BE DONE SHALL BE DONE IN ACCORDANCE WITH THE GENERAL CONTRACTOR'S RESPONSIBILITY. THIS INCLUDES COORDINATION LAYOUT OF ALL PLUMBING, HEATING AND VENTILATION AND ELECTRICAL WORK WITH THE ARCHITECT'S INTENT AND UNDER THE ARCHITECT'S SUPERVISION AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
9. IT IS THE INTENT OF THIS PROJECT TO CONFORM TO THE DESIGN, CONSTRUCTION, AND OPERATION OF MECHANICAL ROOMS, UNLESS NOTED OTHERWISE.
10. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND PROTECT THE LOCATION OF ALL MECHANICAL ROOMS AS SHOWN ON THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION FROM THE ARCHITECT.
11. ALL MECHANICAL ROOMS SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND PROTECT THE LOCATION OF ALL MECHANICAL ROOMS AS SHOWN ON THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION FROM THE ARCHITECT.
12. ALL MECHANICAL ROOMS SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND PROTECT THE LOCATION OF ALL MECHANICAL ROOMS AS SHOWN ON THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION FROM THE ARCHITECT.
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14. ALL MECHANICAL ROOMS SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE LOCATION AND PROTECT THE LOCATION OF ALL MECHANICAL ROOMS AS SHOWN ON THESE DRAWINGS AND SHALL BE RESPONSIBLE FOR OBTAINING THE CORRECT INFORMATION FROM THE ARCHITECT.

ABBREVIATIONS

A	AND	FFN	FOUNDATION	FIN	FINISH	FL	FLOOR
AL	ALUMINUM	F	FLOOR	FL	FLOOR	FL	FLOOR
AS	ASBESTOS	FL	FLOOR	FL	FLOOR	FL	FLOOR
C	CENTRE LINE	FND	FOUNDATION	FIN	FINISH	FL	FLOOR
CL	CENTRE LINE	FND	FOUNDATION	FIN	FINISH	FL	FLOOR
CL	CENTRE LINE	FND	FOUNDATION	FIN	FINISH	FL	FLOOR

GENERAL NOTES



TYPICAL MOUNTING HEIGHTS

- 1. PROVIDE BORDERS FOR ALL EQUIPMENT AND DEVICES AS REQUIRED.
- 2. SEE ELECTRICAL SPECIFICATIONS FOR ADDITIONAL INFORMATION PERTAINING TO ELECTRICAL DEVICES.
- 3. WHEN TWO OR MORE ELECTRICAL DEVICES ARE SHOWN NEAR EACH OTHER ON THE ELECTRICAL DRAWING, ALL DIMENSIONS SHALL BE TO THE CENTER LINE OF THE DEVICES UNLESS NOTED OTHERWISE.
- 4. ALL MOUNTING HEIGHTS SHALL COMPLY WITH ALL CODES REGARDING JURISDICTION OVER THE PROJECT.
- 5. REFER TO THE DRAWING FOR TYPICAL MOUNTING HEIGHTS. FOR SPECIFIC DIMENSIONS REFER TO THE ELECTRICAL DRAWING.
- 6. THESE MOUNTING HEIGHTS ARE STANDARD FOR THE ENTIRE PROJECT. IF ANY CONDITIONS DO NOT PERMIT MOUNTING AT SHOWN PLANE WITHIN THE ARCHITECT'S JURISDICTION, CONTACT ARCHITECT.

CODE SUMMARY

St. Anthony's Parish Garage
400 Cardinal Medeiros Avenue
Cambridge, Massachusetts

June 24, 2020

Prepared by: Kevin S. Hastings, P.E., LEED AP

Code Type	Applicable Code (Model Code Basis)
Building	780 CMR: Massachusetts State Building Code, 9 th Edition (2015 International Building Code (IBC))
Fire Prevention	527 CMR: Massachusetts Fire Prevention Regulations (2015 NFPA 1)
Accessibility	521 CMR: Massachusetts Architectural Access Board Regulations 2015 ADA Standards
Electrical	527 CMR: 12.00 Massachusetts Electrical Code (2020 National Electrical Code)
Mechanical	2015 International Mechanical Code (IMC)
Plumbing	248 CMR: Massachusetts Plumbing Code
Energy Conservation	2015 International Energy Conservation Code ^A

^A Compliance with the 2018 Edition of the I.E.C.C. is mandatory for permit applications beginning on August 1, 2020. However, it is expected that this date will be extended until January 1, 2021.

1. **Use Group Classification**

Use Group S-1 (Storage)

2. **Construction Type**

Type VB

3. **Height and Area Limitations**

Allowed (IBC 504 & 506) 2 Stories / 55 Feet, 17,500 SF

Actual 2 Stories / 55 Feet, 705 SF

4. **Fire Ratings**

Building Element (IBC Table 601)	Fire Resistance Rating (Hours)
Primary Structural Frame	0
Exterior Bearing Walls	+10' Fire Separation Distance + 0
Interior Bearing Walls	+10' Fire Separation Distance + 1 CHA hour (opening protected)
Floor Construction	0
Roof Construction	0

5. **Means of Egress**

A single means of egress is permitted from both levels since the calculated occupant load (3 people per level) is less than 20 people and the travel distance is less than 75 feet (IBC Table 1006.3.2(2)).

The proposed stair is permitted to be an open exit access stair by IBC Section 1010.3(1) and requires a minimum width of 36" since it serves less than 50 occupants (IBC 1011.2 Exception 1).

6. **Required Fire Protection Systems**

Fire Extinguishers (IBC 906.1)

7. **Energy Conservation**

The building will not be conditioned and therefore is not required to comply with the energy code.

8. **Accessibility for Persons With Disabilities**

Since the building is not open to members of the public it is not required to comply with the accessibility requirements of the Massachusetts Architectural Access Board (521 CMR Section 16.1).

St. Anthony Parish

GARAGE

400 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA 02141

CODE SUMMARY

G-1.0.2

CONSTRUCTION DOCUMENTS

SCALE: _____
JOB NO: _____
DATE: 5/27/2020
DRAWN BY: _____
CHECKED BY: _____



Architectural Resources Cambridge
501 Boylston Street, Suite 4101, Boston, MA 02116
617.547.2200 www.arcusa.com



ALEXANDRIA REAL ESTATE EQUITIES
 ST. ANTHONY CHURCH PARKING LOT RE-DESIGN
 PROJECT NOTES

SHEET
 C-1

GENERAL NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON BOTH A FIELD SURVEY AND THE LATEST PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. THE OWNER CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLAN. ONCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY AND DIG SAFE (1-800-344-7233) AT LEAST 72-HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. NOTIFY THE ENGINEER IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- EXISTING INFORMATION, INCLUDING EXISTING PROPERTY LINE INFORMATION, EXISTING UTILITY INFORMATION AND EXISTING TOPOGRAPHY HAS BEEN TAKEN FROM PLANS PREPARED BY FELDMAN LAND SURVEYORS DATED 10-04-2016.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS.
- CONTRACTOR SHALL PERFORM ALL LAYOUT ASSOCIATED WITH THIS WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED WORK.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION PURPOSES WITHIN THE WORK AREA SHOWN ON THE PLANS.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL PRIVATE UTILITY COMPANIES, CAMBRIDGE DPW, CAMBRIDGE WATER DEPARTMENT, CAMBRIDGE TRAFFIC AND PARKING DEPARTMENT, CAMBRIDGE POLICE DEPARTMENT, AND CAMBRIDGE FIRE DEPARTMENT. THE CONTRACTOR SHALL NOTE THAT SOME PRIVATE AND PUBLIC UTILITY COMPANIES ARE NOT PART OF DIGSAFE AND MAY HAVE ADDITIONAL NOTIFICATION REQUIREMENTS.
- CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING MANHOLES AND CATCHBASINS AS NECESSARY FOR CHANGES IN GRADE AND RESET ALL FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADES. REQUIRED NEW MASONRY SHALL BE CLAY BRICK CONFORMING TO MANHOLE SPECIFICATION MATERIAL NUMBER MA.00.2.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- EXISTING SLOPED GRANITE CURB ALONG THE NORTHERN SIDE OF THE SITE SHALL REMAIN AND BE PROTECTED.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, BONDS AND FEES REQUIRED FOR THE PROJECT.
- ANY DAMAGE TO PUBLIC AND PRIVATE PROPERTY, AS A DIRECT OR INDIRECT RESULT OF THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES.
- DURING CONSTRUCTION, ALL STORMWATER RUNOFF IS TO BE CONTROLLED ON-SITE TO PREVENT THE TRANSPORT OF SILT AND/OR SEDIMENT OFF SITE.

SUMMARY OF WORK

- A GENERAL DESCRIPTION OF THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE:
- THE INSTALLATION, MAINTENANCE, AND REMOVAL OF EROSION CONTROLS AS SHOWN ON THE CIVIL SHEETS THROUGHOUT THE DURATION OF THE CIVIL RELATED WORK.
 - THE PROTECTION OF EXISTING SITE FEATURES AS SHOWN ON THE PLANS, INCLUDING, BUT NOT LIMITED TO: ELECTRICAL TRANSFORMER, EXISTING TREES, SLOPED GRANITE CURBING LOCATED ALONG THE NORTHERN LIMIT OF THE SITE, WOOD FENCE ALONG SOUTHERN LIMIT OF THE SITE, CHAIN LINK FENCE ALONG EASTERN LIMIT OF THE SITE, GRANITE POSTS, FLAGPOLES, AND ALL LANDSCAPE AREAS. ALL SIDEWALKS SHALL NOT BE DAMAGED. SIDEWALK PANELS THAT HAVE CRACKED, HEAVED OR SETTLED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED PER CITY STANDARDS AT NO COST TO THE OWNER.
 - THE TEMPORARY RELOCATION AND REINSTALLATION OF DUMPSTER AND PLANT AID BOXES.
 - THE REMOVAL, STOOPING, AND REINSTALLATION OF EXISTING SITE SIGNAGE (ASSUME UP TO 12 SIGNS).
 - THE REMOVAL & DISPOSAL OF EXISTING SLOPED GRANITE CURBING AND CONCRETE CURBING AS SHOWN ON THE CIVIL SHEETS (APPROXIMATELY 780 LF).
 - THE REMOVAL & DISPOSAL OF EXISTING CHAIN LINK FENCE AND WOOD STOCKADE FENCE AS SHOWN ON THE CIVIL SHEETS (APPROXIMATELY 90 LF).
 - THE REMOVAL & DISPOSAL OF EXISTING PAVEMENT AS SHOWN ON THE CIVIL SHEETS (APPROXIMATELY 33,400 SF).
 - THE REMOVAL & DISPOSAL OF EXISTING CONCRETE PAD AT DUMPSTER AREA AS SHOWN ON THE CIVIL SHEETS (APPROXIMATELY 200 SF).
 - THE INSTALLATION OF NEW FENCING PER DETAILS SHOWN ON THE ARCHITECTURAL PLANS (APPROXIMATELY 600 LF).
 - THE INSTALLATION OF NEW CONCRETE CURBING AS SHOWN ON THE CIVIL PLANS (APPROXIMATELY 850 LF).
 - THE INSTALLATION OF NEW PAVEMENT TO THE GRADES SHOWN AND PAVEMENT MARKINGS AS SHOWN ON THE CIVIL PLANS (APPROXIMATELY 28,100 SF).
 - THE ADJUSTING OF EXISTING MANHOLE AND CATCH BASIN FRAMES & COVERS TO MATCH NEW GRADING.
 - THE INSTALLATION OF NEW CONCRETE DUMPSTER PAD (6" THICK REINFORCED) AS SHOWN ON THE CIVIL PLANS (APPROXIMATELY 280 SF). ALSO THE INSTALLATION OF NEW 6" CHAIN LINK FENCE (APPROX. 70 LF) AND 10' WIDE DOUBLE GATE WITH PRIVACY SCREENING AROUND THE DUMPSTER PAD.
 - SUPPLYING AND INSTALLATION OF 3" THICK LAYER OF 1/2" CRUSHED STONE OR SEPARATION FABRIC AS SHOWN ON THE CIVIL PLANS (APPROX. 2,600 SF).
 - SUPPLYING AND INSTALLATION OF 4" THICK TOPSOIL AND GRASS SEED AS SHOWN ON THE CIVIL PLANS (APPROX. 2,500 SF).
 - SUPPLYING AND PLANTING NEW TREES (3-INCH CALIPER, 3 TREES ASSUMED).
 - THE INSTALLATION OF NEW REINFORCED CONCRETE WALKWAYS (APPROX. 290 SF).
 - REPLACING EXISTING LANDSCAPED AREAS - SCOPE TBD. CONTRACTOR TO CARRY A \$10,000 ALLOWANCE.

PRICING

DUE TO THE UNCERTAINTY OF THE DATE OF WHEN THIS PROJECT WILL START, IT IS REQUESTED THAT THE CONTRACTOR PROVIDE PRICING AS FOLLOWS: TBD

PAVEMENT

- FOR FULL DEPTH CONSTRUCTION:
 - GRADE SUBGRADE AND PLACE GRAVEL AS NEEDED.
 - PROOF ROLL SUBGRADE.
 - PLACE 2" OF BINDER COURSE.
 - PLACE 2" OF TOP COURSE.
- JOINTS BETWEEN HOT MIX ASPHALT ROADWAY PAVEMENT AND SANICUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDS. HOT MIX ASPHALT TOP COURSE REQUIRES HOT Poured RUBBERIZED ASPHALT SEALER BE USED FOR LONGITUDINAL JOINTS AND ALSO BETWEEN ASPHALT PASSES.

SIGNAGE AND STRIPING

- INCLUDE COSTS RELATED TO LINE STRIPPING AND DIRECTION ARROWS.
- INCLUDE COSTS FOR REPLACEMENT OF SIGNS AND POSTS AND FOR ADDITION OF NEW SIGNS

EROSION CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, THE MASSACHUSETTS CONSERVATION CODE, SEPTEMBER 1984, AND THE LOCAL REGULATIONS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS. CONTROL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GRASS COVER IS ESTABLISHED.
- ACTIVITIES ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO TEMPORARY DRAINAGE SWALES AND SEDIMENT BASINS. NO RUNOFF SHALL LEAVE THE SITE UNTRAFFICED.
- ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED ON A WEEKLY BASIS (ONCE EVERY SEVEN DAYS) AND CLEANED, REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAIN EVENT.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR TRANSPORT OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER.
- UPON COMPLETION OF ALL SITE WORK CONSTRUCTION THE CONTRACTOR SHALL INSPECT ALL ON-SITE AND OFF-SITE CATCH BASINS (THAT RECEIVE CATCH BASIN PROTECTION) AND REMOVE ALL SEDIMENT AND TRASH DEBRIS THAT HAS ACCUMULATED WITHIN EACH STRUCTURE DURING THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING CONSTRUCTION. CONTRACTOR SHALL BE PREPARED TO UTILIZE WATER TO SUPPRESS DUST. ANY OTHER DUST CONTROL METHODS SHALL REQUIRE APPROVAL BY THE OWNER PRIOR TO IMPLEMENTATION. CONTRACTOR TO CONTACT JOHN BLOUIN OF THE CAMBRIDGE WATER DEPT AT 617 349 4023 FOR HYDRANT PERMIT.
- THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITIONS, SEASON AND EXPECTED FUTURE ACTIVITIES.
- CONTRACTOR TO SHEEP STREETS WEEKLY, 200-Feet ON EITHER SIDE OF CONSTRUCTION EXTENTS.

TRAFFIC AND PEDESTRIAN MANAGEMENT

- WORK MAY BE REQUIRED TO ALLOW USE OF THE PARKING LOT AT SPECIFIC TIMES FOR WEEKEND MASSES AND FOR SPECIAL FUNCTIONS. CONTRACTOR TO PROVIDE ALLOWANCE OF \$10,000 FOR TEMP CONDITIONS RELATED TO THE PERIODIC USE OF THE LOT DURING OFF HOURS.

AS-BUILTS

- UPON COMPLETION OF WORK, AS-BUILT DRAWINGS SHOWING THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL INSTALLED SIDEWALKS, CURBING, PAVEMENT, SIGNS, SITE FENCES, LANDSCAPE FEATURES, AND FINAL GRADES SHALL BE SUBMITTED IN ELECTRONIC FORMAT (AUTOCAD).
- AS-BUILT SHALL USE CAMBRIDGE CITY BASE FOR THE VERTICAL DATUM AND MASS STATE PLANE COORDINATE SYSTEM MAD 83 FOR THE HORIZONTAL DATUM.
- THE PLANS OF THIS SET WILL BE PROVIDED TO THE CONTRACTOR FOR USE IN GENERATING THE AS-BUILTS.

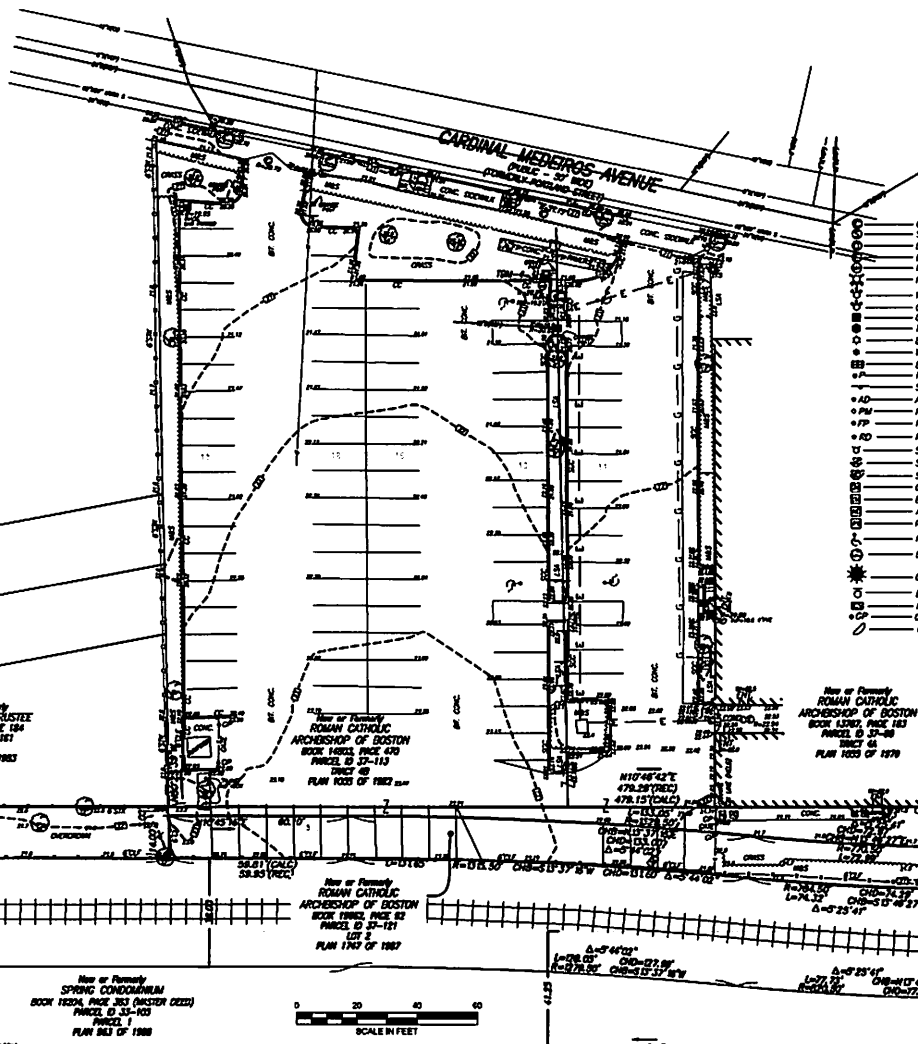
COORDINATION CONTACTS

DEPARTMENT	CONTACT NAME	CONTACT NUMBER
EVERSOURCE GAS	SCOTT JOHNSON	(339) 987-8063
EVERSOURCE ELECTRIC	JAMES SAYERS	(781) 441-3824
CAMB. WATER DEPT.	STEVE LUSH	(617) 349-4782
CAMB. WATER DEPT.	JOHN BLOUIN	(617) 349-4770
CAMBRIDGE DPW	JIM WILCOX	(617) 349-4800
VERIZON	MATT KING	(781) 378-8572
CAMBRIDGE SEWER	JIM WILCOX	(617) 349-8428
CAMBRIDGE ELECTRICAL	TOM GRANDE	(617) 349-4025
MA WATER RES. AUTH.	DAVID KUBERK	(617) 305-5460
CAMB. FIRE ALARM	CFO HEADQUARTERS	(617) 349-4918
CITY INSPECTOR	LEOHY RUSSELL	(657) 829-8642
COMCAST	ANTHONY VATALARO	(617) 279-7037

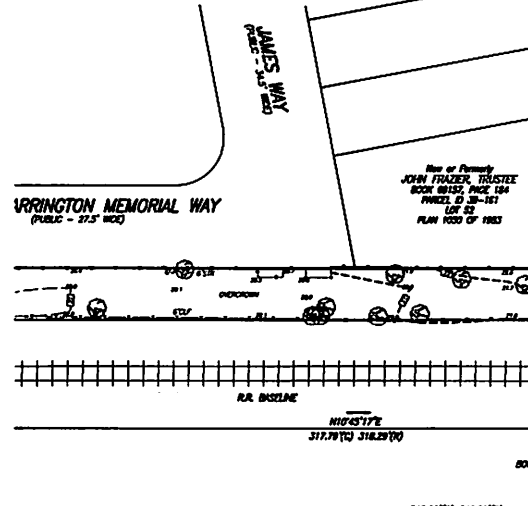
100%
 CONSTRUCTION
 DOCUMENTS
 08-30-20

NOTES:

- 1) BENCH MARK INFORMATION:
BENCH MARK USED:
 TM-051: X-CUT ON SOUTHEAST ANCHOR BOLT ON LIGHT POLE AT NORTHWEST CORNER OF THE INTERSECTION OF BINNEY STREET AND FULKERSON STREET. ELEV=21.32 (F.L.S JOB NO. 134034)
 TM-052: FLAT SPIKE SET 1' UP ON THE BACKSIDE FACE OF A UTILITY POLE ON THE EAST SIDE OF FULKERSON STREET APPROXIMATELY 110± NORTH OF BINNEY STREET. ELEV=23.07 (F.L.S JOB NO. 134034)
 TEMPORARY BENCH MARKS SET:
 TM-1: SQUARE CUT SET ON THE CONCRETE CURB ON THE EASTERLY SIDE OF THE CHARGE ACCESS ROAD NEAR THE NORTHERLY SIDE OF BINNEY STREET. (AS SHOWN HEREON) ELEV=20.83
 TM-2: SQUARE CUT SET ON THE CONCRETE CURB ON THE EASTERLY SIDE OF THE CHARGE ACCESS ROAD NEAR THE NORTHEASTERLY ENTRANCE TO THE CHARGE. (AS SHOWN HEREON) ELEV=21.48
 TM-3: SQUARE CUT SET ON THE CONCRETE PEDESTAL OF THE RAILROAD SIGNAL POST ON THE SOUTHERLY SIDE OF CAMBRIDGE STREET. (AS SHOWN HEREON) ELEV=22.15
 TM-4: SQUARE CUT SET ON THE CONCRETE CURB IN THE CHURCH PARKING LOT, 37± FEET FROM THE SOUTHWESTERLY CORNER OF THE CHURCH BUILDING AND 19± FEET FROM THE EASTERLY LINE OF CARDINAL MEDeiros AVENUE. (AS SHOWN HEREON) ELEV=21.44
- 2) ELEVATIONS REFER TO CAMBRIDGE CITY DISE.
- 3) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- 4) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN LAND SURVEYORS ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN LAND SURVEYORS' SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN LAND SURVEYORS.



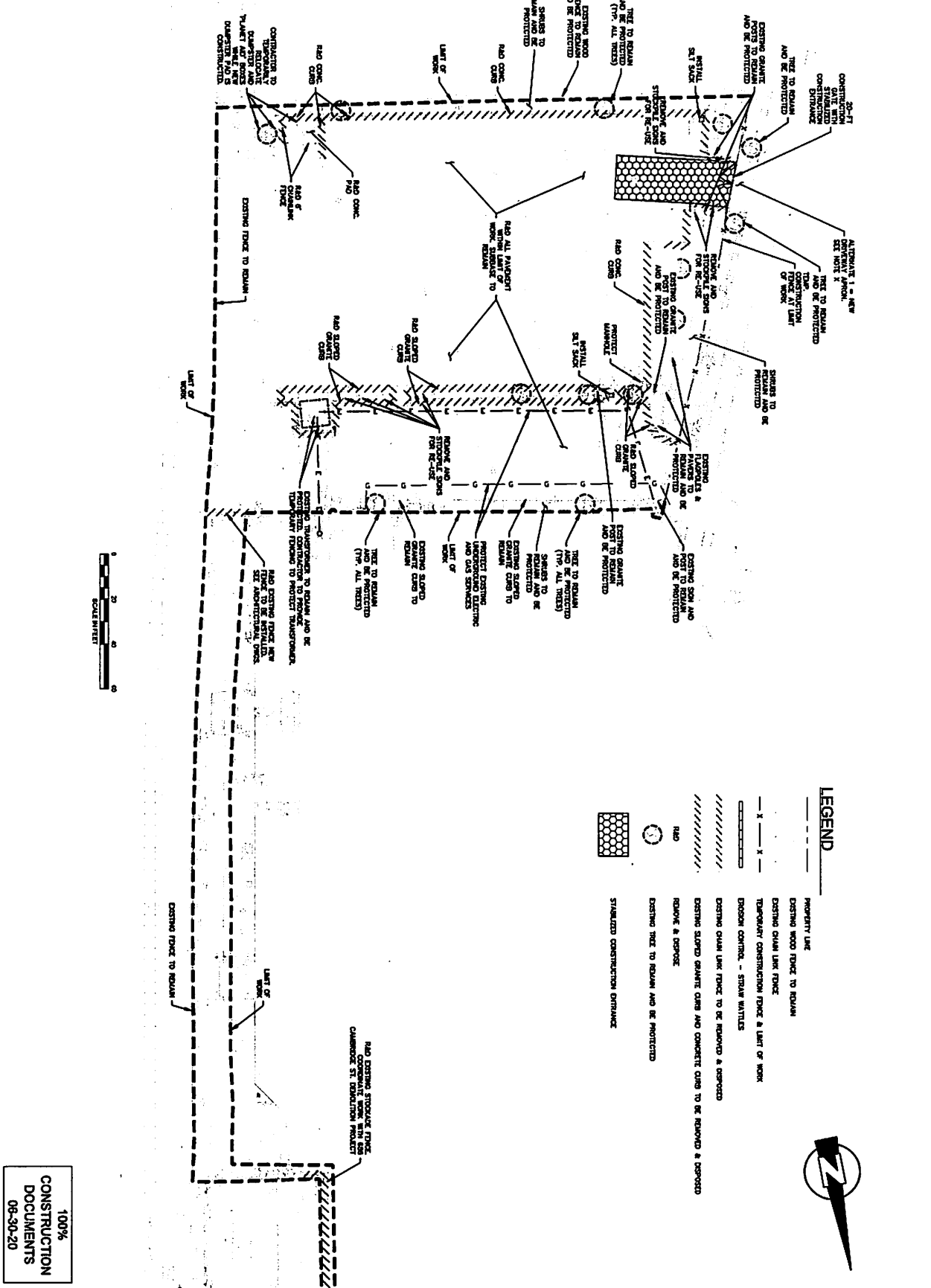
- LEGEND**
- CABLE TV MANHOLE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - MANHOLE
 - HYDRANT
 - WATER SHUT OFF/WATER GATE
 - GAS SHUT OFF/GAS GATE
 - CATCH BASIN
 - TRAFFIC SIGNAL
 - LIGHT POLE
 - WALK LIGHT
 - BB ELECTRIC MANHOLE
 - P POST
 - SON
 - AD AREA DRAIN
 - PM PARKING METER
 - FP FLAG POLE
 - RD ROOF DRAIN
 - SC SECURITY CAMERA
 - SS STAND PIPE/SWAGE CONNECTION
 - SP SPOT
 - SM GAS METER
 - EL ELECTRIC METER
 - AC AIR CONDITIONING UNIT
 - HYDRANT
 - ANCHOR PARKING SPACE
 - DECIDUOUS TREE
 - CONFEROUS TREE
 - EZ-PASS SCANNER
 - WIRCHRON CONTROL VALVE
 - CP DATE POST
 - CURB RETURN
- ELEVATIONS**
- BOF BOTTOM ELEVATION
 - BC BOTTOM OF CURB
 - BT BUTTRESS
 - BR BRICK
 - BS BOTTOM OF STEPS
 - BW BOTTOM OF WALL
 - CAL CALCULATED
 - CC CONCRETE CURB
 - CRW CONCRETE RETAINING WALL
 - CRB CONCRETE BEARING
 - CHD CHORD DISTANCE
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - COB CORNER
 - ENT ENTRANCE
 - FC FLOOR GRANITE CURB
 - FLC FLOOR
 - IN INVERT ELEVATION
 - INFC INACCESSIBLE
 - LA LANDSCAPED AREA
 - MA MASONRY
 - MIP NO VISIBLE PIPES
 - OW OPEN
 - RV RADIUS OR RIM ELEVATION
 - REL RETIRED
 - SDC SLOPED GRANITE CURB
 - SO FT SQUARE FEET
 - SF STORING FENCE
 - TM TEMPORARY BENCH MARK
 - TOP TOP OF CURB
 - TOW TOP OF WALL
 - TOF TOP OF DRIVE
 - TRP TOP OF VERTICAL PIPE
 - TH THRESHOLD
 - TS TOP OF STEPS
 - TW TOP OF WALL
 - VE VERTICAL GRANITE CURB
 - WIF WOODEN IRON FENCE
 - WV METAL FENCE
 - WF WOOD FENCE
 - WRF WOODEN IRON FENCE
 - ES EDGE OF SHOULDER



100% CONSTRUCTION DOCUMENTS
08-30-20

PROJECT NO.	DATE	DESCRIPTION	REVISIONS

ALEXANDRIA REAL ESTATE EQUITIES
ST. ANTHONY CHURCH PARKING LOT RE-DESIGN
EXISTING CONDITIONS PLAN
SHEET C-2



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CONSTRUCTION
DOCUMENTS
06-30-20

PROJECT	ALEXANDRIA REAL ESTATE EQUITIES		
	PROJECT NO.	131	
DRAWN BY	DATE		
	FILE NAME		
CHECKED BY	NO.		
	DESCRIPTION		
DATE	REVISIONS		

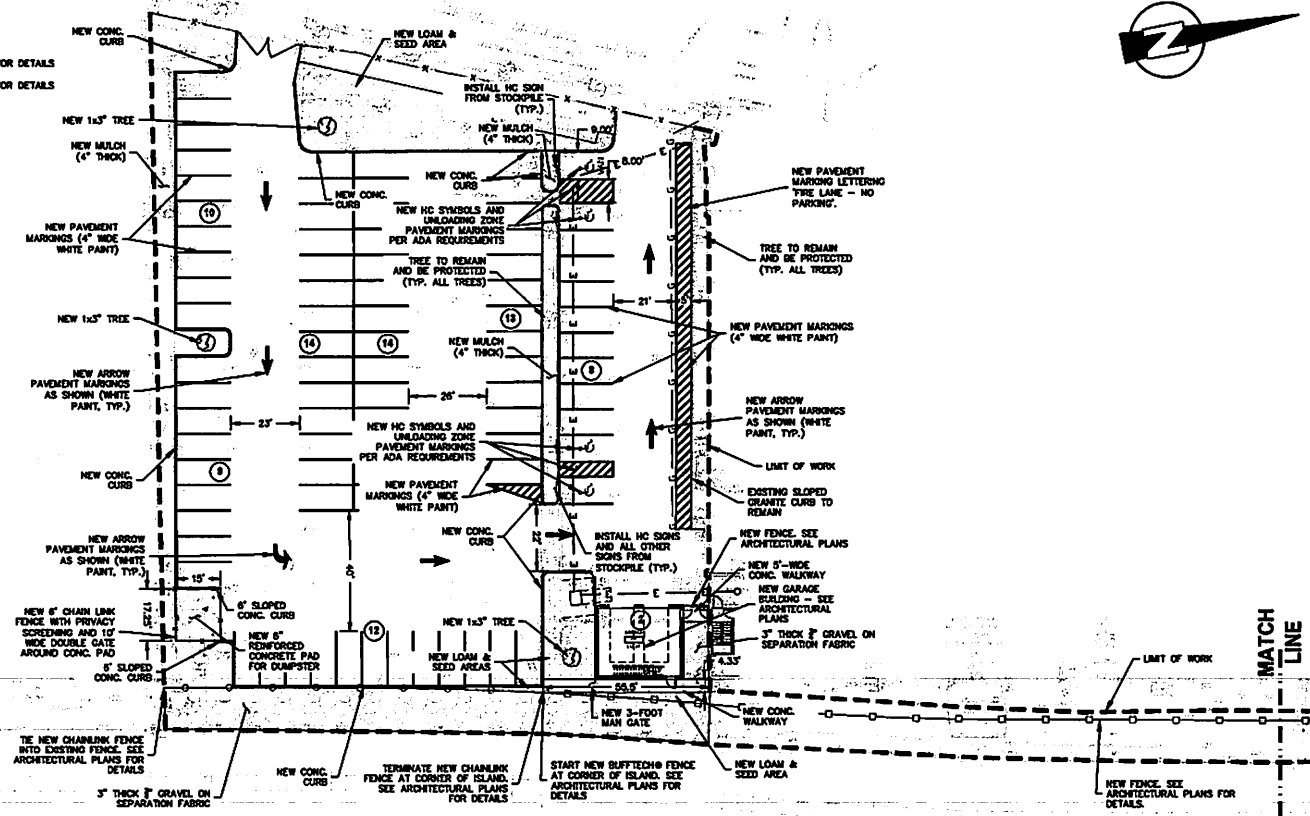


ST. ANTHONY CHURCH PARKING LOT RE-DESIGN
EROSION CONTROL AND SITE PREPARATION PLAN



LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- NEW BUFFTECH® FENCE - SEE ARCHITECTURAL PLANS FOR DETAILS
- NEW CHAIN LINK FENCE - SEE ARCHITECTURAL PLANS FOR DETAILS
- EXISTING CONTOUR
- 23 --- PROPOSED CONTOUR
- TO 21.5
BC 21.0 --- TOP OF CURB (TC) SPOT ELEVATION
BOTTOM OF CURB (BC) SPOT ELEVATION
- NEW LOAM AND SEED AREA
- NEW CONCRETE WALKWAY
- 3" THICK LAYER OF 3" GRAVEL ON SEPARATION FABRIC



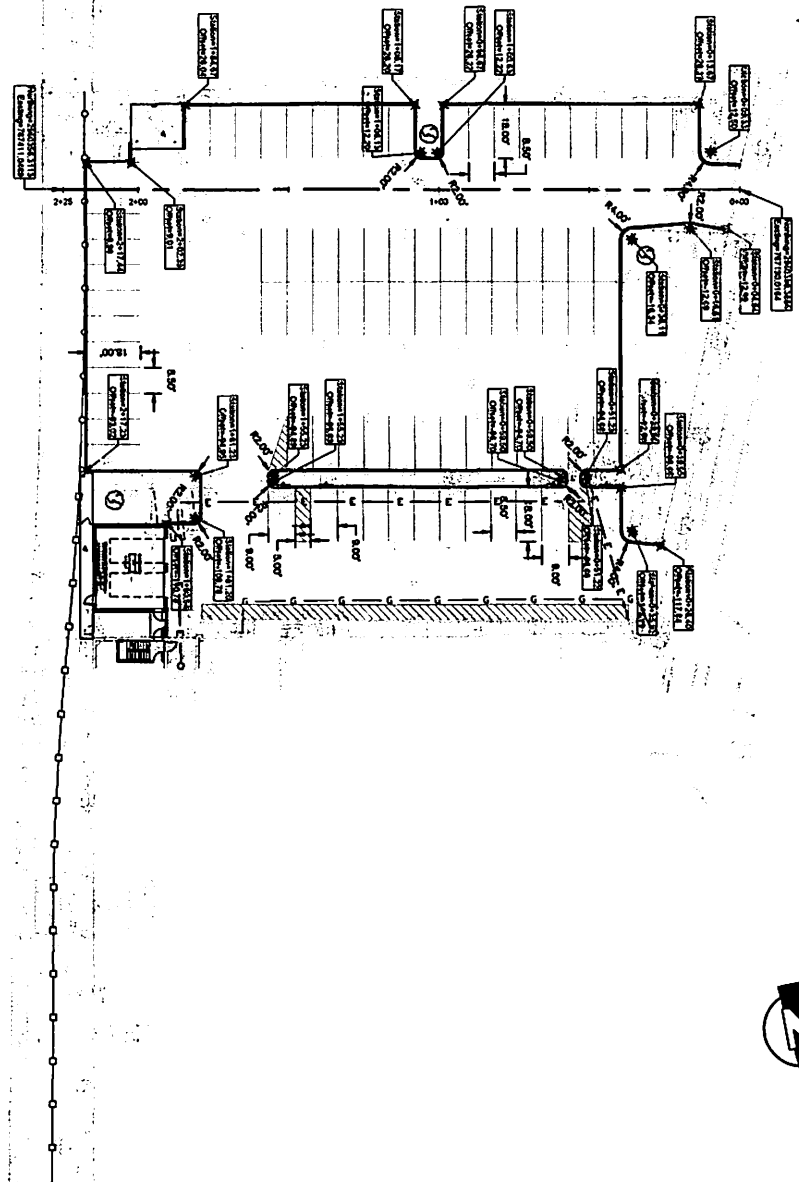
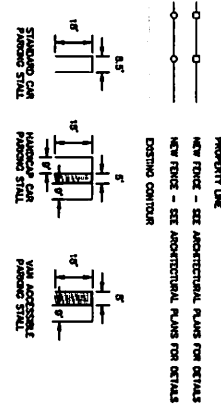
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CONSTRUCTION
DOCUMENTS
06-30-20

NO.	DATE	DESCRIPTION

ALEXANDRIA REAL ESTATE EQUITIES
ST. ANTHONY CHURCH PARKING LOT RE-DESIGN
SITE LAYOUT PLAN

CAD FILE: C:\Users\jacob\Documents\Bristol\Projects\StAnthonyChurch\SiteLayoutPlan.dwg
 LAYOUT: 06-10-20

LEGEND



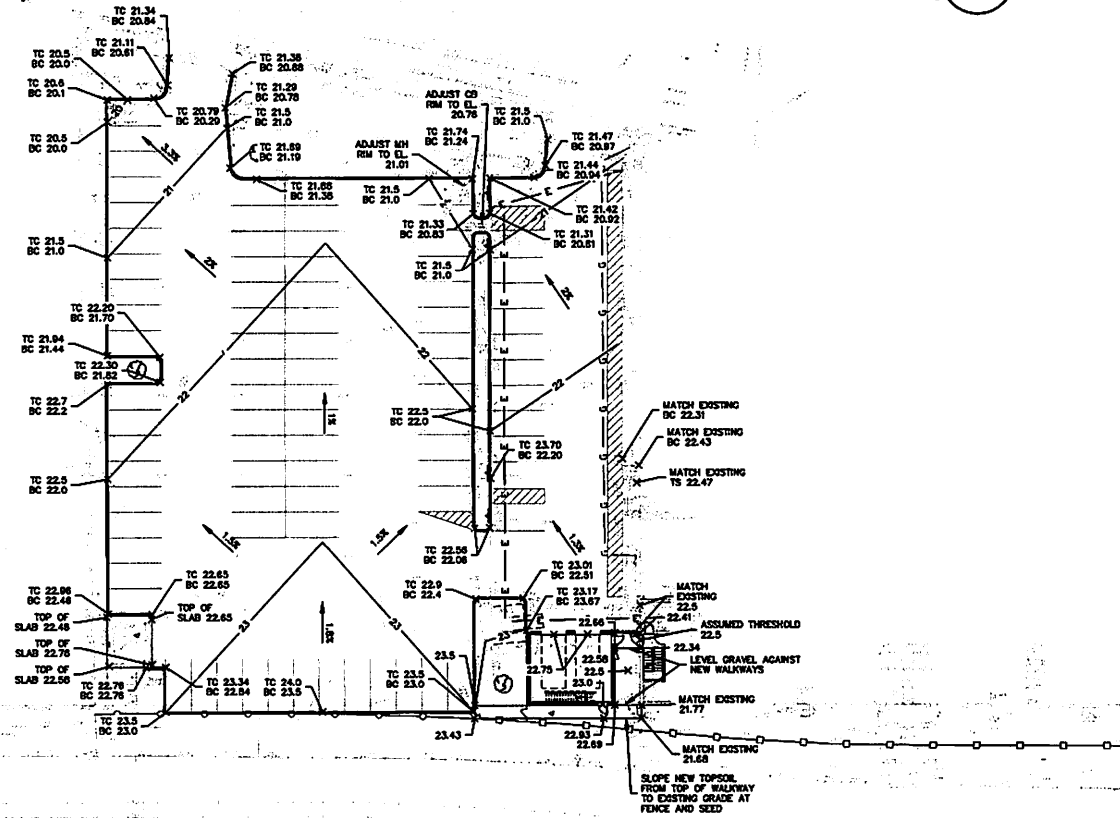
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 CONSTRUCTION
 DOCUMENTS
 06-30-20

C-6	ALEXANDRIA REAL ESTATE EQUITIES		PROJECT NO.	24			
	ST. ANTHONY CHURCH PARKING LOT RE-DESIGN SITE BASELINE AND STATIONING PLAN		DRAWN BY	RDC			
			CHECKED BY	TAT			
			FILE NAME	NO.	DESCRIPTION	DATE	
					REVISIONS		



LEGEND

- PROPERTY LINE
- NEW FENCE - SEE ARCHITECTURAL PLANS FOR DETAILS
- NEW FENCE - SEE ARCHITECTURAL PLANS FOR DETAILS
- EXISTING CONTOUR
- 25 — PROPOSED CONTOUR
- X TC 21.5 BC 21.0 TOP OF CURB (TC) SPOT ELEVATION
BOTTOM OF CURB (BC) SPOT ELEVATION



DATE: 01/24/2014 09:15:30 AM PROJECT: ST. ANTHONY CHURCH PARKING LOT RE-DESIGN

REVISIONS		NO.	DESCRIPTION	DATE

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DRAWN BY	ENC
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FILE NAME	

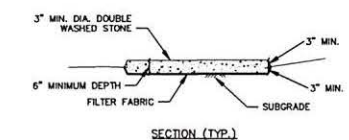
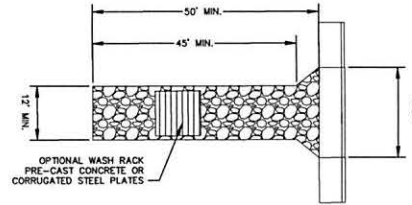
ALEXANDRIA REAL ESTATE EQUITIES	SHEET
ST. ANTHONY CHURCH PARKING LOT RE-DESIGN	C-6
SITE GRADING PLAN	

100% CONSTRUCTION DOCUMENTS
 06-30-20



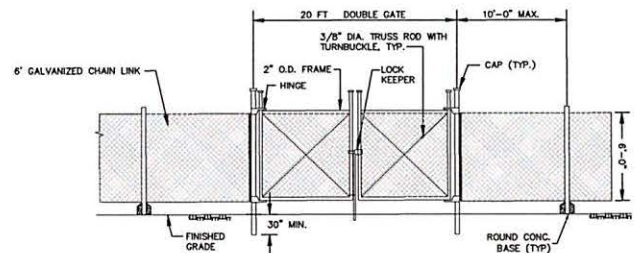
- NOTES FOR EROSION CONTROL:**
- CONTRACTOR SHALL REMOVE SEDIMENT AS NECESSARY TO MAINTAIN LEVEL BELOW OVERFLOW HOLES IN SILT SACK.
 - SILT SACK SHALL BE USED ON EXISTING CATCH BASINS AS SHOWN ON THE DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SEDIMENTATION BARRIERS THROUGHOUT THE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF SEDIMENT AS REQUIRED.
 - CONTRACTOR SHALL REMOVE SILT SACKS AND LEGALLY DISPOSE OFF-SITE, UPON COMPLETION OF THE PROJECT AND AS REQUIRED.

CATCH BASIN SILT SACK DETAIL
SCALE: N.T.S.

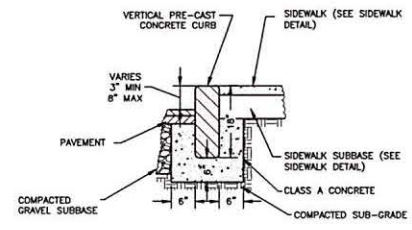


- NOTES:**
- LENGTH OF PAD MUST BE A MINIMUM OF 50 FEET.
 - IF TRUCKS ENTERING AND EXITING THE SITE ARE LONGER THAN THE MINIMUM 50', THE PAD SHALL BE CONSTRUCTED TO A LENGTH THAT WILL ACCOMMODATE THE LENGTH OF THE TRUCK.
 - PADS MUST BE CONSTRUCTED AT THE GATE.
 - SLOPE PAD AWAY FROM PUBLIC SIDEWALK AND ROAD.
 - PROVIDE TEMPORARY WATER SPIGOT AND 100' HOSE FOR MANUAL WHEEL WASHING BEFORE EXITING TO PUBLIC ROADWAY.
 - NO PARKING WITHIN 10' OF ALL CONSTRUCTION ENTRANCES. CONTRACTOR TO POST SIGNS.

STABILIZED CONSTRUCTION ENTRANCE
SCALE: N.T.S.

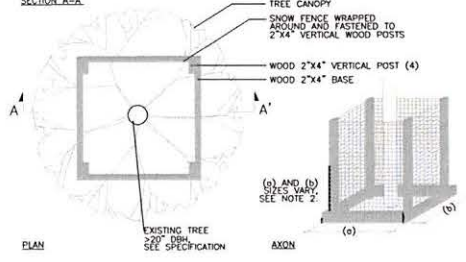
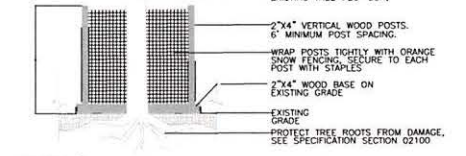


TEMPORARY CONSTRUCTION FENCE AND GATE DETAIL
SCALE: N.T.S.



VERTICAL CONCRETE CURB DETAIL
SCALE: N.T.S.

- NOTES:**
- TREE BOX RESTS ON EXISTING GRADE AND IS NOT ANCHORED TO THE GROUND.
 - SIZE OF TREE PROTECTION BOX VARIES, BASED UPON TRUNK SIZE AND LIMITS OF SURFACE ROOTS. FINAL SIZE TO BE DETERMINED BY CITY ADDRESS IN FIELD DURING PRE-CONSTRUCTION SITE WALK.
 - TREE PROTECTION SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES AND MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - SUBMIT SHOP DRAWINGS SHOWING ALL MATERIALS AND ATTACHMENTS.



TREE PROTECTION DETAIL
SCALE: N.T.S.

775 Salem Street, Woonsocket, RI 02896, RI, 401-863-7133
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PRECAST CONCRETE CURB
TRANSITION SECTION

6' TRANSITION - 6FT TAPER

ITEM NO. WEIGHT
CRE-6 655#

6' TRANSITION - 2FT TAPER

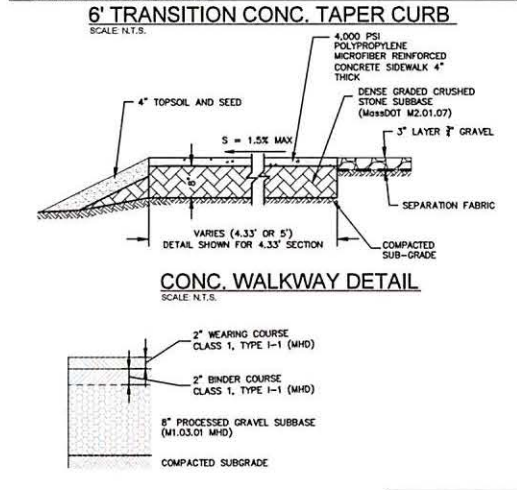
ITEM NO. WEIGHT
CRE-2 678#

NOTES:

- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS

DATE PROJECT	REVISED TO:	PREPARED FOR:	DATE	FILE NAME
08/17/18	08/17/18	ARO	08/17/18	ETAPER.dwg
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE	SCALE
	ARO		08/17/18	AS2

775 Salem Street, Woonsocket, RI 02896, RI, 401-863-7133
www.precastconcrete.com
Specifications subject to change without notice.



6' TRANSITION CONC. TAPER CURB
SCALE: N.T.S.

CONC. WALKWAY DETAIL
SCALE: N.T.S.

ALL MHD REFERENCES ARE FROM THE 1988 STANDARD SPECIFICATIONS FOR BRIDGES AND HIGHWAYS (ENGLISH VERSION)

NEW PAVEMENT DETAIL
SCALE: N.T.S.

**100%
CONSTRUCTION
DOCUMENTS
06-30-20**

PROJECT NO.	DATE	DESCRIPTION	REVISIONS	NO.	FILE NAME	CHECKED BY	DATE
DESIGNED BY	DRAWN BY	CHECKED BY	DATE	SCALE	FILE NAME		

ALEXANDRIA REAL ESTATE EQUITIES

**ST. ANTHONY CHURCH PARKING LOT RE-DESIGN
DETAIL SHEET**

SHEET C-7

DATE FILE: C:\Users\paul_carter\Documents\Bristol\Projects\StAnthonyChurch\DWG\063020\063020_01.dwg LAYOUT: 063020

PROGRAM OF STRUCTURAL TEST & INSPECTION

LABORATORY CONSTRUCTION (Sect. 9)

Table with columns: APPLICATION AND INSPECTION, FREQUENCY OF INSPECTION, REFERENCE FOR CRITERIA, and a grid of checkboxes and codes (e.g., 401.1.3, 401.1.4, 401.1.5).

CONCRETE CONSTRUCTION

Table with columns: APPLICATION AND INSPECTION, FREQUENCY OF INSPECTION, REFERENCE FOR CRITERIA, and a grid of checkboxes and codes (e.g., 402.1.1, 402.1.2, 402.1.3).

POST-INSTALLED CONCRETE ANCHORS AND BOLTS

Table with columns: APPLICATION AND INSPECTION, FREQUENCY OF INSPECTION, REFERENCE FOR CRITERIA, and a grid of checkboxes and codes (e.g., 403.1.1, 403.1.2, 403.1.3).

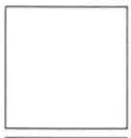
WOOD CONSTRUCTION

Table with columns: ITEM, SCORE, and a grid of checkboxes and codes (e.g., 501.1.1, 501.1.2, 501.1.3).



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GARAGE
400 CARDINAL MEDEROS AVE
CAMBRIDGE, MA

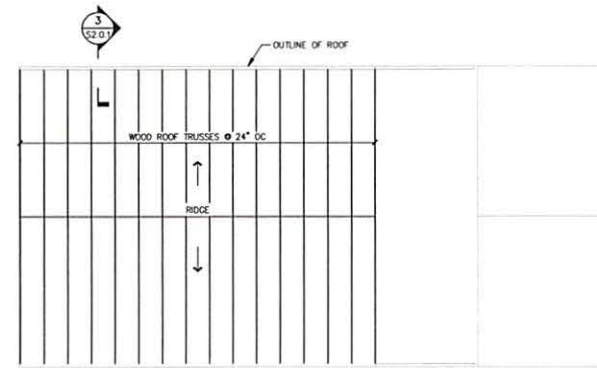


PROGRAM OF STRUCTURAL TEST
AND INSPECTION

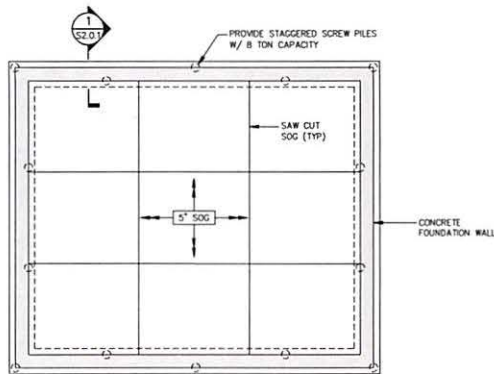
S-0.0.2

DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____

WOOD TRUSS LOAD SCHEDULE		
ROOF	SNOW LOAD	30 PSF + ALLOW FOR DRIFT
	TOP CHORD DEAD LOAD	10 PSF
	BOTTOM CHORD DEAD LOAD	5 PSF
	TOTAL	45 PSF
DEFLECTION LIMITATIONS	WIND UPLIFT	12 PSF
	LIVE LOAD DEFLECTION LIMIT	L/360
	TOTAL LOAD DEFLECTION LIMIT	L/240



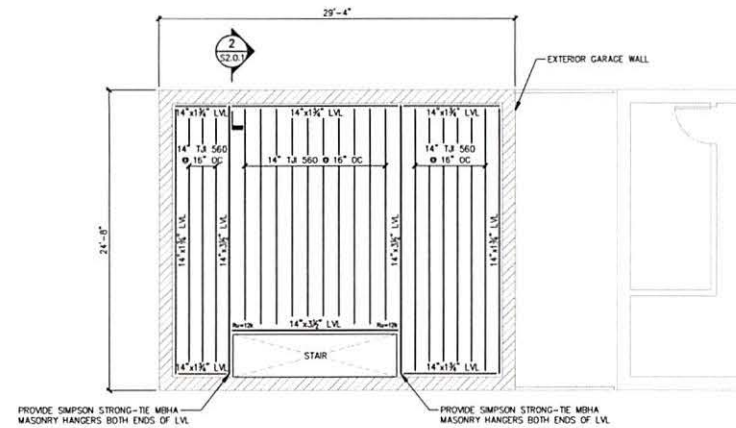
ROOF - FRAMING PLAN
X¹=1'-0"



FOUNDATION PLAN
X¹=1'-0"

NOTES:

1. FOR GENERAL INFORMATION, SEE SHEET S-0.0.1.
2. FOR TYPICAL DETAILS, SEE SHEET S-7.0.1.
3. SLAB-ON-GRADE CONSTRUCTION TO CONSIST OF 5" NORMAL WEIGHT, FIBER REINFORCED CONCRETE.
4. PROVIDE 12" OF COMPACTED GRANULAR FILL BELOW SLAB-ON-GRADE.
5. MINIMUM 28-DAY CONCRETE COMPRESSIVE STRENGTH f_c TO BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
SLAB-ON-GRADE: 4,000 PSI
SPREAD FOOTINGS: 4,000 PSI



SECOND FLOOR - FRAMING PLAN
X¹=1'-0"

LEGEND:

R₂=XXX INDICATES ASD BEAM REACTION FOR CONNECTION DESIGN



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FOUNDATION AND FRAMING PLANS

S-1.0.1

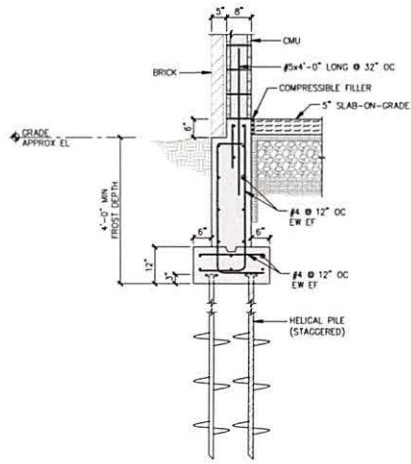
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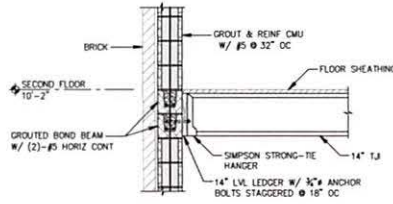
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DESIGNED BY: _____

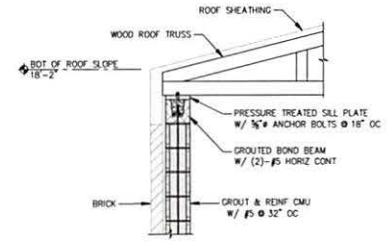
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SECTION 1
1/4" = 1'-0" (1/2" = 1'-0")

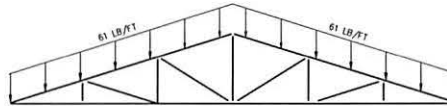


SECTION 2
1/4" = 1'-0" (1/2" = 1'-0")

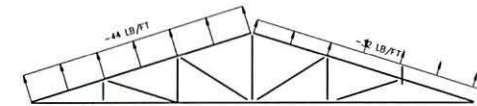


SECTION 3
1/4" = 1'-0" (1/2" = 1'-0")

- GENERAL TRUSS NOTES:**
1. TRUSSES SHOWN ARE DIAGNAMATIC.
 2. USE MOST UNFAVORABLE LOAD COMBINATION OF DEAD LOAD, SNOW LOAD, AND WIND LOAD FOR TRUSS DESIGN.
 3. ROOF LIVE LOAD IS NOT SHOWN AS SNOW LOAD CONTROLS.

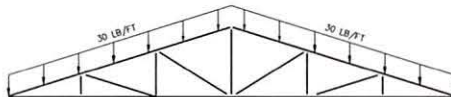


SNOW LOAD CASE A - BALANCED:



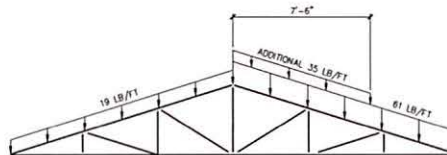
WIND LOAD - CASE A:

1. TRUSSES SHALL ALSO BE DESIGNED FOR MIRROR OF LOADS SHOWN.
2. NEGATIVE VALUES ARE UPLIFT FORCES ACTING AWAY FROM ROOF SURFACE.



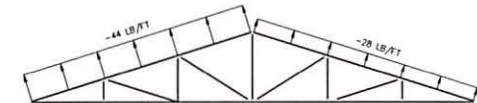
DEAD LOAD:

1. DOES NOT INCLUDE SELF-WEIGHT OF TRUSS OR BRACING.



SNOW LOAD CASE B - UNBALANCED:

1. TRUSSES SHALL ALSO BE DESIGNED FOR MIRROR OF SNOW LOADS SHOWN.



WIND LOAD - CASE B:

1. TRUSSES SHALL ALSO BE DESIGNED FOR MIRROR OF LOADS SHOWN.
2. NEGATIVE VALUES ARE UPLIFT FORCES ACTING AWAY FROM ROOF SURFACE.



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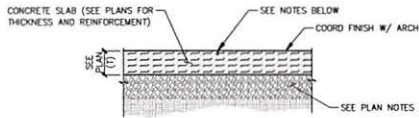
400 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA

SECTIONS AND TRUSS LOAD DIAGRAMS

S-2.0.1

CD SET

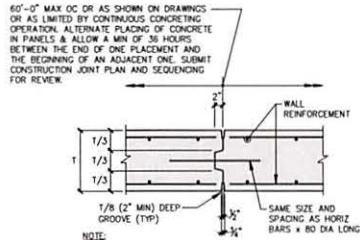
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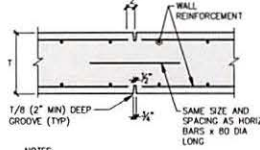
- NOTES:
1. FOR SLAB-ON-GRADE SAW CUT REQUIREMENTS, SEE GENERAL NOTES AND PLANS.
 2. SAW CUTS SHALL BE 1/8" WIDE x 0.25" DEEP (1" MIN).
 3. SEAL JOINTS PER WATERPROOFING SPECIFICATION.

TYPICAL SLAB-ON-GRADE DETAIL

NTS

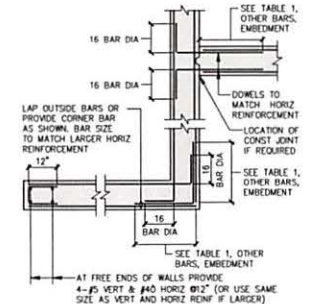


- NOTE:
- CONTINUE GROOVE ON TOP OF EXPOSED WALLS
- CONSTRUCTION JOINT IN CONCRETE WALL**
- NTS



- NOTES:
1. MAX SPACING OF CONTROL JOINTS, UNLESS OTHERWISE NOTED ON DRAWINGS, SHALL BE:

WALL HEIGHT (H)	SPACING
8 FEET OR LESS	3 x H
BETW 8' AND 12 FEET	2 x H
12 FEET OR GREATER	1 x H
 2. CONTINUE GROOVE ON TOP OF EXPOSED WALLS
- CONTROL JOINT IN CONCRETE WALL**
- NTS



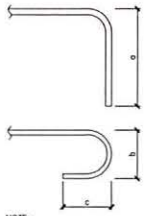
HORIZONTAL REINFORCEMENT OF CONCRETE WALLS

NTS

TABLE 1 - REINFORCEMENT EMBEDMENT AND TENSION LAP LENGTHS

BAR SIZE	TOP BARS IN MEMBERS WHERE D>12"		OTHER BARS	
	EMBEDMENT	TENSION LAP	EMBEDMENT	TENSION LAP
#4	2'-1"	2'-9"	1'-7"	2'-1"
#5	2'-7"	3'-5"	2'-0"	2'-7"
#3	3'-2"	4'-1"	2'-5"	3'-2"
#7	4'-6"	5'-11"	3'-6"	4'-6"
#8	5'-2"	6'-9"	4'-0"	5'-2"
#9	5'-10"	7'-7"	4'-6"	5'-10"
#10	6'-7"	8'-6"	5'-1"	6'-7"
#11	7'-5"	9'-5"	5'-7"	7'-5"

NOTE: LENGTHS BASED ON ACI 318, CHAPTER 25 FOR NORMAL WEIGHT CONCRETE (f_c=4,000 PSI) AND UNCOATED BARS (f_y=60,000 PSI) WITH CLEAR SPACING NOT LESS THAN TWO BAR DIAMETERS AND CLEAR COVER NOT LESS THAN ONE BAR DIAMETER. LENGTHS SHOWN MUST BE MODIFIED FOR ALL OTHER CONDITIONS.



NOTE: ALL DIMENSIONS ARE MINIMUM OUT-TO-OUT BASED ON ACI 318, CHAPTER 25.

TABLE 2 - STANDARD REINFORCING BAR HOOKS TABLE

BAR	a	b	c
#4	8"	4"	4 1/2"
#5	10"	5"	5"
#6	12"	6"	6"
#7	14"	7"	7"
#8	16"	8"	8"
#9	19 1/2"	11 1/2"	10 1/2"
#10	22 1/2"	12 3/4"	11 3/4"
#11	24"	14 1/2"	12 3/4"

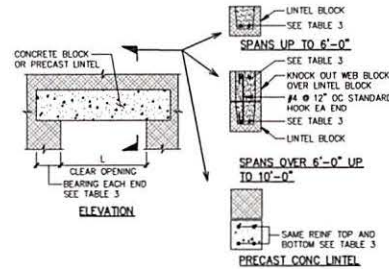


TABLE 4 - STEEL LINTEL SCHEDULE

CLEAR SPAN, L	LINTEL SIZE
UP TO 4'-6"	L4"x3 1/2"x4"
4'-7" TO 6'-0"	L5"x3 1/2"x4"
6'-1" TO 8'-0"	L6"x3 1/2"x4"

- STEEL ANGLE LINTEL NOTES:**
1. PROVIDE LINTELS OVER ALL OPENINGS EXCEPT WHERE LINTEL BLOCKS ARE PROVIDED.
 2. PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS.
 3. FOR 6" WALLS PROVIDE TEE OR BUILT UP SECTION WITH PROPERTIES EQUAL TO OR GREATER THAN 1.5 TIMES ANGLE PROPERTIES FOR 4" WALL THICKNESS.
 4. PROVIDE 6" MINIMUM BEARING AT EACH END BUT NOT LESS THAN 1" PER FOOT OF SPAN. FILL 2 COURSES OF MASONRY BELOW BEARING WITH GROUT.
- STEEL LINTEL SCHEDULE AND NOTES**

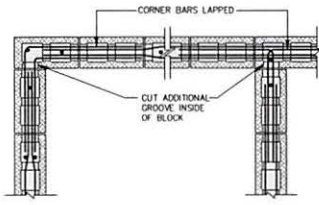
TABLE 3 - REQUIRED REINFORCEMENT FOR CLEAR SPAN

CLEAR SPAN, L	8" WALL	12" WALL	MIN END BEARING
< 4'-0"	(2) #4 BOT	(2) #4 BOT	8"
< 5'-0"	(2) #5 BOT	(2) #5 BOT	8"
< 6'-0"	(2) #5 BOT	(2) #5 BOT	8"
< 7'-0"	(2) #6 TAB	(2) #6 TAB	16"
< 8'-0"	(2) #6 TAB	(2) #6 TAB	16"
< 9'-0"	(2) #7 TAB	(2) #7 TAB	16"
< 10'-0"	(2) #7 TAB	(2) #7 TAB	16"

- CONCRETE LINTEL NOTES:**
1. LINTEL SHALL BE SHORED AND GROUTED SOLID FULL LENGTH. GROUT (f_c=3,000 PSI MINIMUM). SHORING SHALL REMAIN IN PLACE FOR 14 DAYS OR UNTIL GROUT HAS ATTAINED ITS FULL COMPRESSIVE STRENGTH OF 3,000 PSI MINIMUM VERIFIED THROUGH TESTING, WHICHEVER IS LONGER.
 2. DO NOT SPLICE REINFORCING BARS.
 3. FILL COURSES BELOW BEARING WITH GROUT.

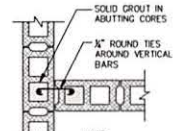
CONCRETE BLOCK AND PRECAST CONCRETE LINTEL DETAILS AND SCHEDULE

- LINTEL GENERAL NOTES:**
1. FULLY GROUT VERTICAL CELLS ON EACH SIDE OF OPENING.
 2. AT BEARING LENGTHS GREATER THAN 8", ALSO FILL TWO COURSES BELOW BEARING WITH GROUT.



TYPICAL CMU BOND BEAM CORNER DETAILS

NTS



TYPICAL JOINT REINFORCING DETAIL AT INTERSECTING CMU WALLS AND CORNERS

NTS

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CAMBRIDGE, MA

TYPICAL DETAILS

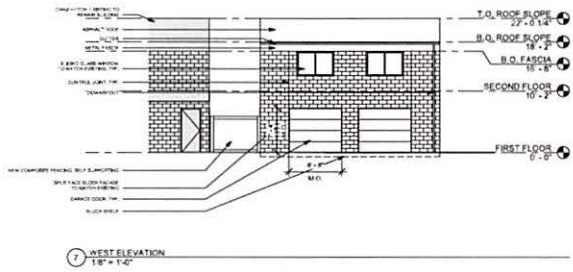
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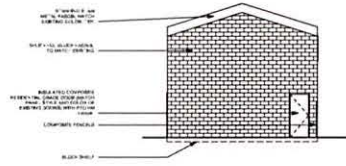
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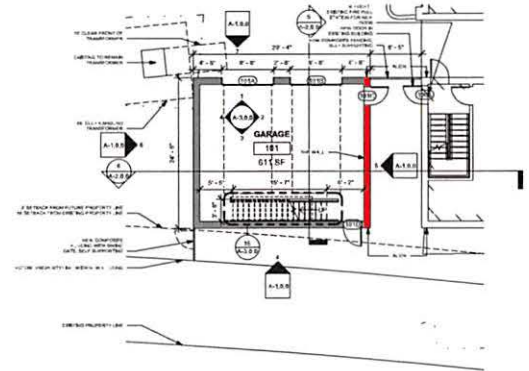
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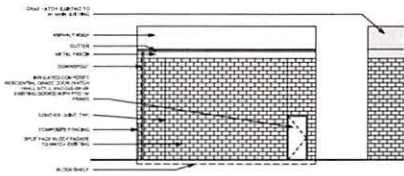
7 WEST ELEVATION
1/8" = 1'-0"



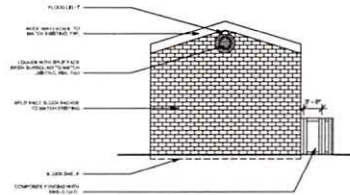
8 NORTH ELEVATION
1/8" = 1'-0"



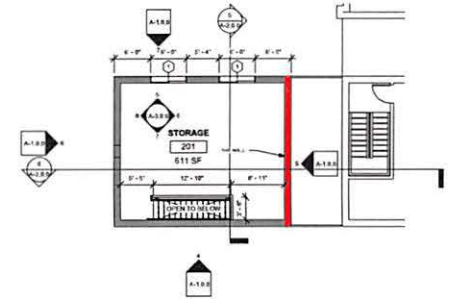
1 FIRST FLOOR - FLOOR PLAN
1/8" = 1'-0"



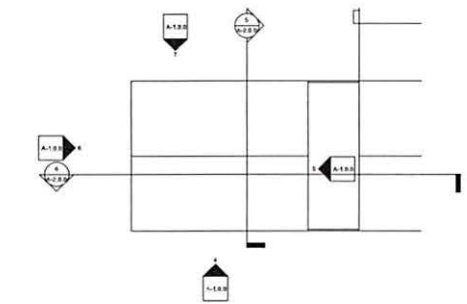
4 EAST ELEVATION
1/8" = 1'-0"



5 SOUTH ELEVATION
1/8" = 1'-0"



2 SECOND FLOOR - FLOOR PLAN
1/8" = 1'-0"



3 ROOF - FLOOR PLAN
1/8" = 1'-0"



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FLOOR PLANS & EXT ELEVATIONS

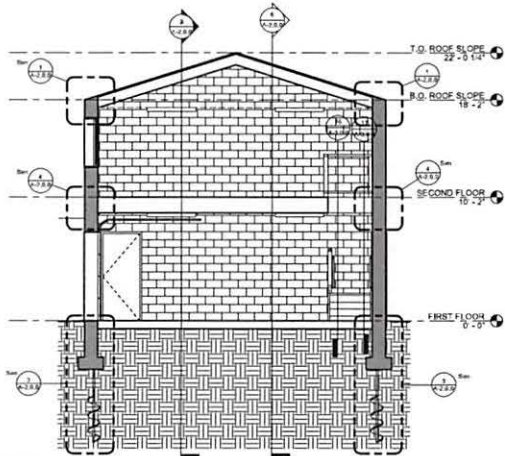
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CONSTRUCTION DOCUMENTS

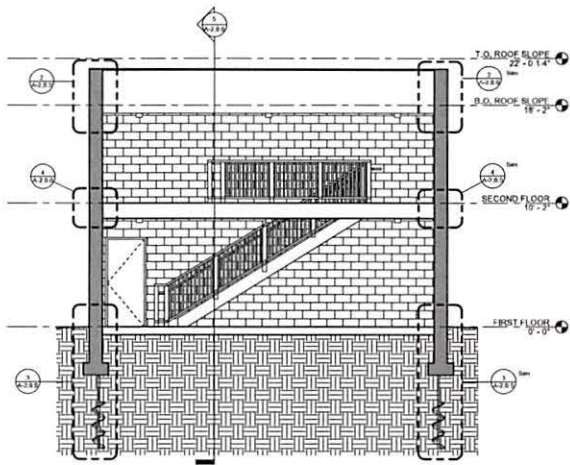
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DATE: 12/20/2014

SEE NEXT PLAN FOR CONTINUING



5 EAST-WEST BUILDING SECTION
1/4" = 1'-0"



6 NORTH-SOUTH BUILDING SECTION
1/4" = 1'-0"

TYPICAL ROOFING ASSEMBLY:
ASPHALT/FLYSHIELD MATCH EXISTING
COLOR
1/8" BS. INSULATION SHIELD
1/2" COVER BOARD
3/4" PLYWOOD UNDERLAYMENT

METAL SING WITH 1" STANDING SEAM
ON SIP EXTERIOR GRADE PL WOOD

WOOD TRUSS & RIF STRUCTURAL FOR ROOF OR ORNAMENT
2" X 4" @ 24" O.C. RIF FRAMING WITH
BLOCKING TO B.G. WOOD TRUSS
2" X 6" CONTINUOUS PLATE W/ SIP DIMETER ANCHOR
ROX TO @ 18" O.C.

CRUI PANEL

GROUPED SOING BEAM # 2 W/ HORIZ. CONTINUOUS

4" X 8" X 16" SIPR FACE BLOCK FACADE
AIR SPACE
LEAD APPLIED AIR/WATER BARRIER
6" X 8" X 16" CMU BLOCK WALL WITH
REINFORCING

7 DETAIL SECTION @ N/S ROOF
1.1/2" = 1'-0"

TYPICAL ROOFING ASSEMBLY:
ASPHALT/FLYSHIELD MATCH EXISTING
COLOR
1/8" BS. ICE AND WATER SHIELD
1/2" COVER BOARD
3/4" PLYWOOD UNDERLAYMENT

METAL CRUI PANEL

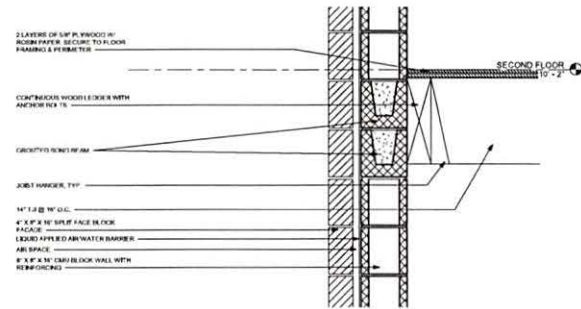
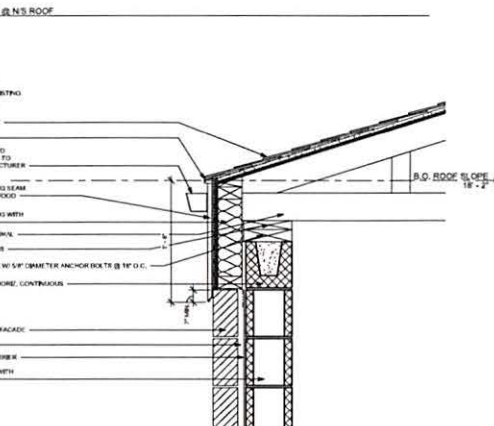
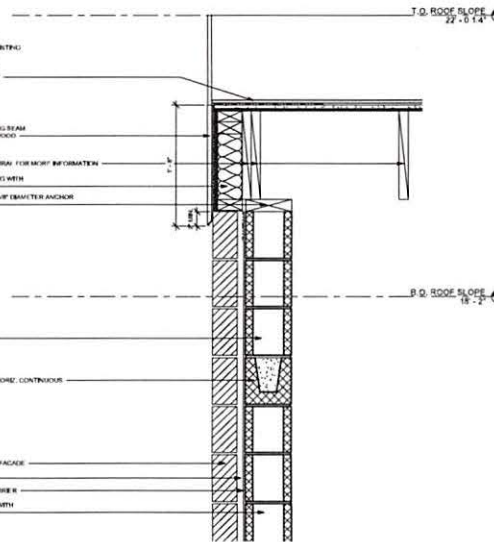
METAL SING WITH 1" STANDING SEAM
ON SIP EXTERIOR GRADE PL WOOD

2" X 4" @ 24" O.C. RIF FRAMING WITH
BLOCKING TO B.G. WOOD TRUSS
2" X 6" CONTINUOUS SHELL PLATE W/ SIP DIMETER ANCHOR
ROX TO @ 18" O.C.

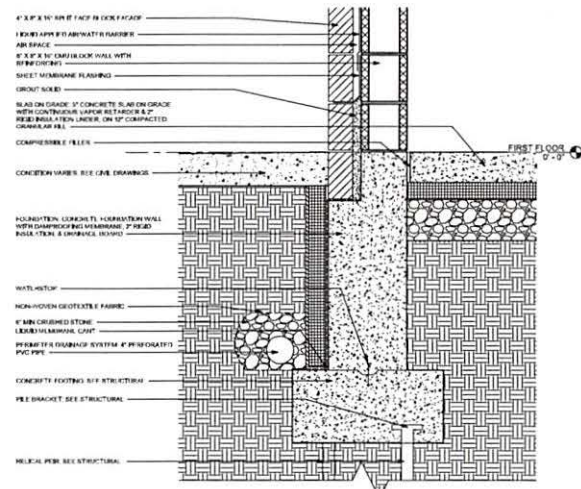
GROUPED SOING BEAM # 2 W/ HORIZ. CONTINUOUS

4" X 8" X 16" SIPR FACE BLOCK FACADE
AIR SPACE
LEAD APPLIED AIR/WATER BARRIER
6" X 8" X 16" CMU BLOCK WALL WITH
REINFORCING

8 DETAIL SECTION @ E/W ROOF
1.1/2" = 1'-0"



9 DETAIL SECTION @ SECOND FLOOR
1.1/2" = 1'-0"



10 DETAIL SECTION @ FOUNDATION
1.1/2" = 1'-0"

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BUILDING & WALL SECTIONS

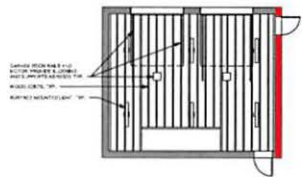
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CONSTRUCTION DOCUMENTS

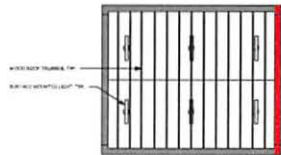
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DATE: 1/2/2016
DRAWN BY: JLM
FILE NAME: 17-0000-17-0000



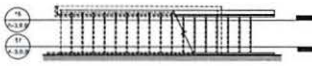
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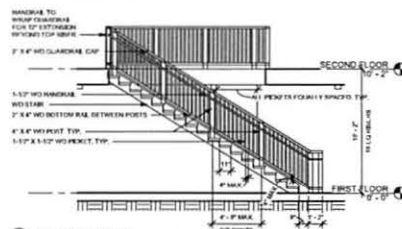
12 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



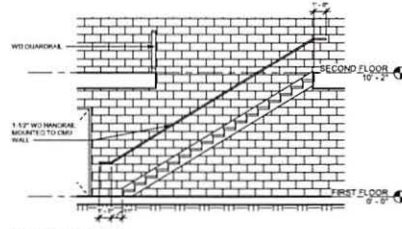
9 SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



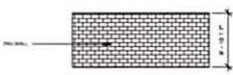
15 ENLARGED STAIR PLAN - FIRST FLOOR
1/4" = 1'-0"



16 NORTH STAIR SECTION
1/4" = 1'-0"



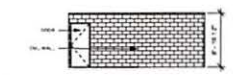
17 SOUTH STAIR SECTION
1/4" = 1'-0"



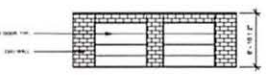
4 LEVEL 1 ELEVATION D
1/8" = 1'-0"



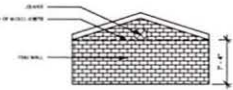
5 LEVEL 1 ELEVATION C
1/8" = 1'-0"



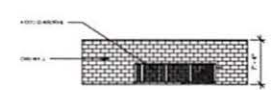
2 LEVEL 1 ELEVATION B
1/8" = 1'-0"



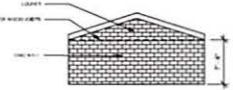
1 LEVEL 1 ELEVATION A
1/8" = 1'-0"



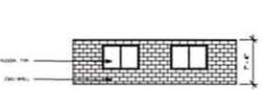
6 LEVEL 2 ELEVATION D
1/8" = 1'-0"



7 LEVEL 2 ELEVATION C
1/8" = 1'-0"

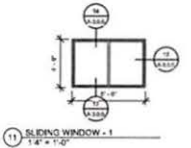


8 LEVEL 2 ELEVATION B
1/8" = 1'-0"

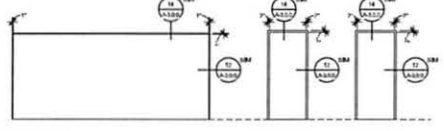


3 LEVEL 2 ELEVATION A
1/8" = 1'-0"

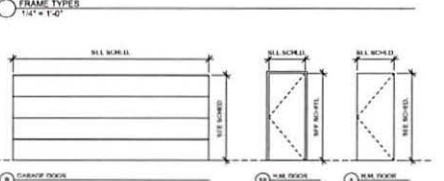
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		TYPE	LABEL	MATERIAL	FINISH	VISION	GLASS TYPE	WIDTH	HEIGHT	TYPE	DEPTH	MATERIAL		FINISH	HEAD DTL.	JAMB DTL.	THRESHOLD	HARDWARE	SECURITY	
100A	STAIR	KA	G-1HN	HM	PTD			3'-0"	7'-2"	KA	3"	HM	PTD							INCLUDE "NOT AN EXIT SIGN INSIDE STAIR"
101A	GARAGE	B		4 IN GLASS	PTD			8'-0"	7'-3"	B	3"	MTL	PTD							
101B	GARAGE	B		FIBERGLASS	PTD			8'-0"	7'-3"	B	3"	MTL	PTD							
101C	GARAGE	KA	G-1HN	HM	PTD			3'-0"	7'-2"	KA	3"	HM	PTD							
101D	GARAGE	A		HM	PTD			3'-0"	7'-2"	A	3"	HM	PTD							



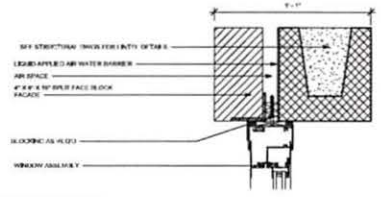
11 SLIDING WINDOW - 1
1/4" = 1'-0"



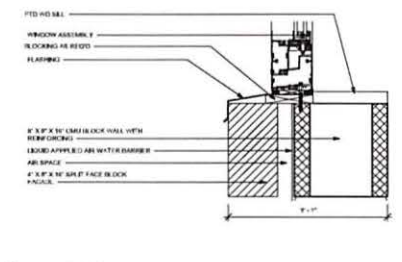
6 GARAGE DOOR TYPES
1/4" = 1'-0"



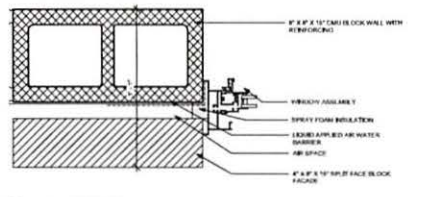
13 WINDOW SILL DETAIL
3" = 1'-0"



14 WINDOW HEAD DETAIL
3" = 1'-0"



15 WINDOW JAMB DETAIL
3" = 1'-0"



16 WINDOW JAMB DETAIL
3" = 1'-0"



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INT ELEVATIONS, REFLECTED CEILING PLANS, OPENINGS & STAIR

A-3.0.0

CONSTRUCTION DOCUMENTS

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DATE: _____

DESIGNER: _____

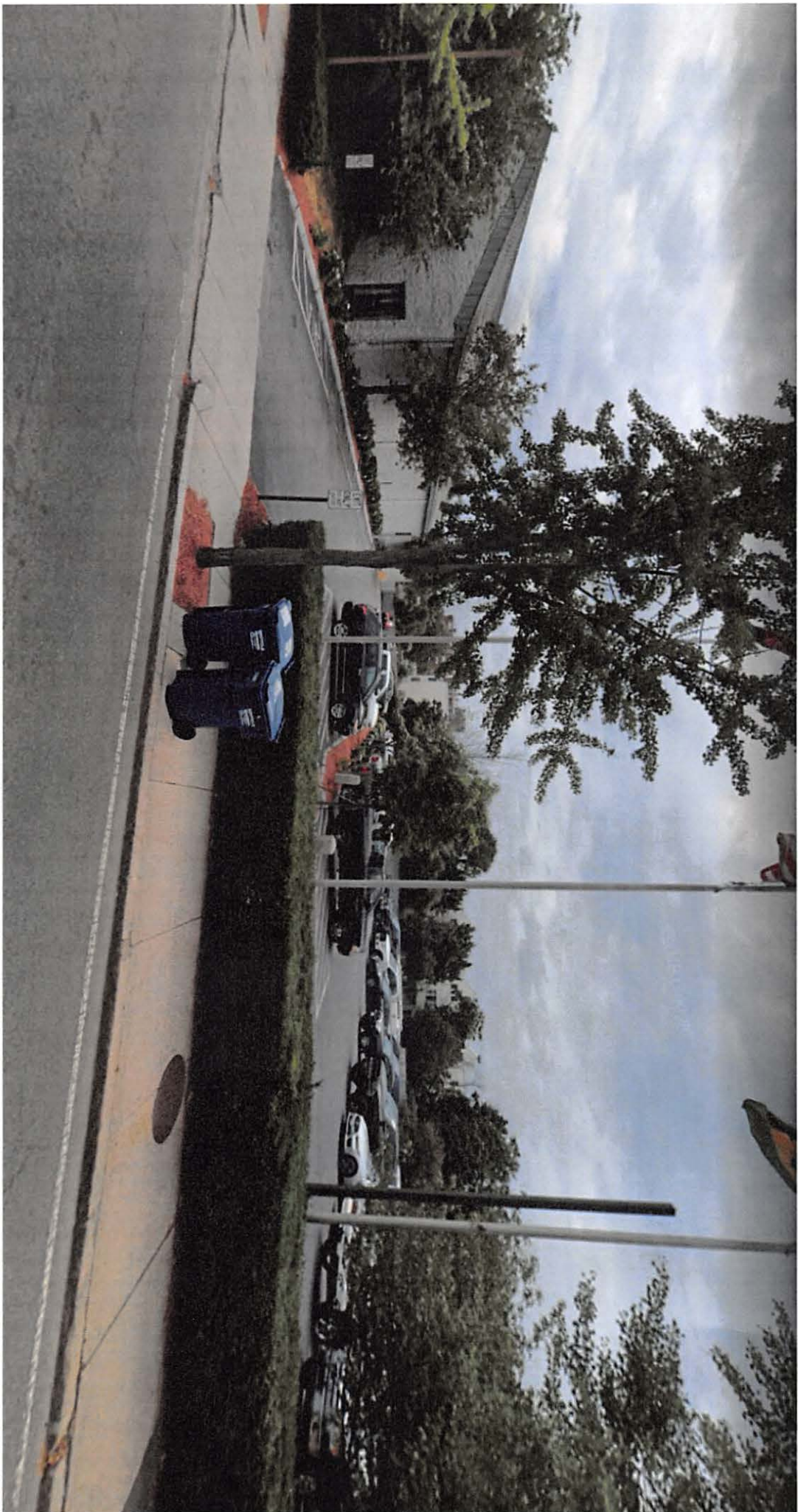
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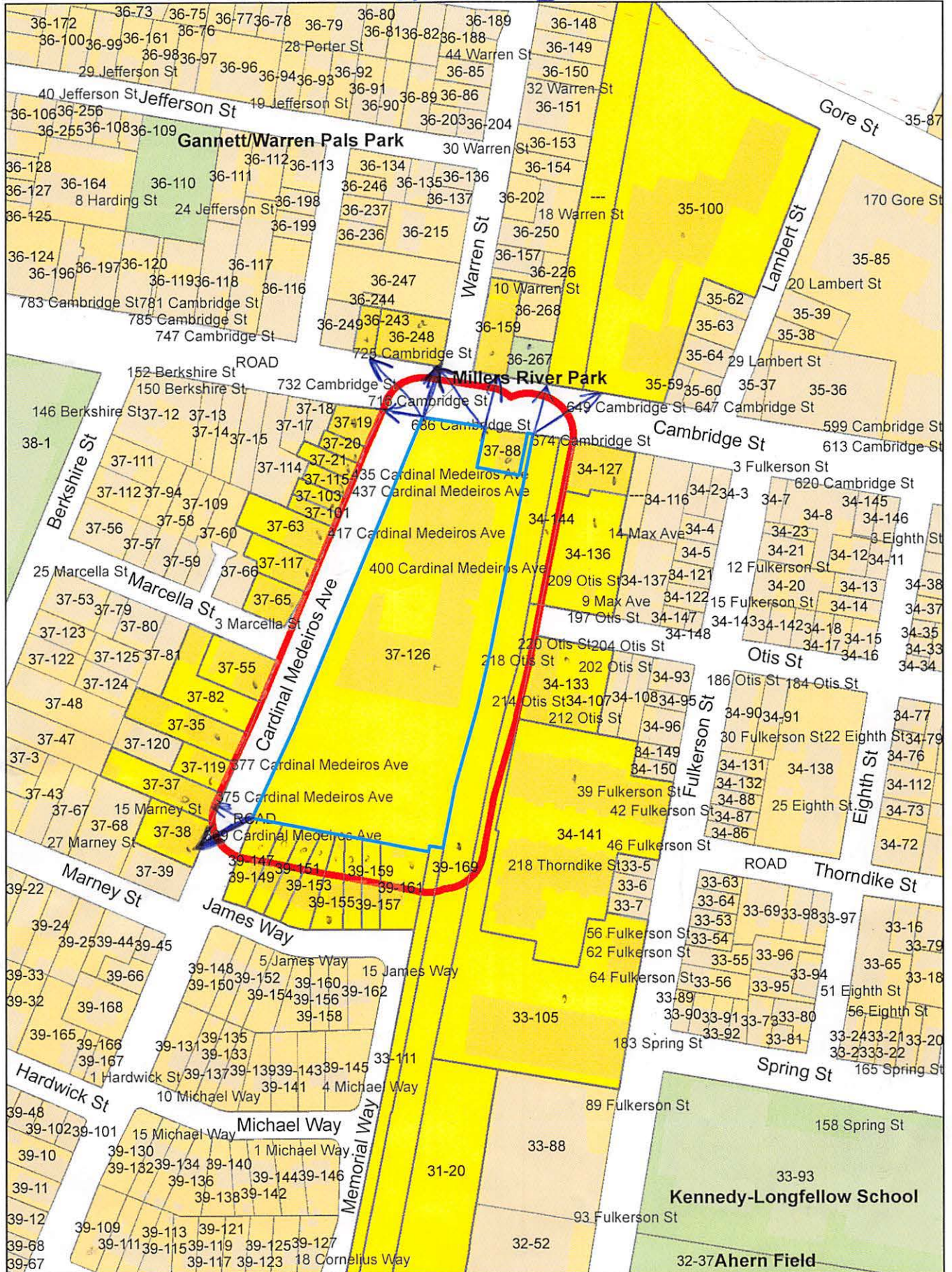
DATE: _____



450 Cardinal Medeiros Ave



400 Cardinal Medeiros Ave



400 Cardinal Medeiros Ave

1815

Petitioner
JAMES J. RAFFERTY, ESQ.
907 MASS AVENUE - SUITE 300
CAMBRIDGE, MA 02139

39-155
POLLOCK, GREGORY S. &
EMILY BRAUNSTEIN POLLOCK
10 JAMES WAY
CAMBRIDGE, MA 02141

39-169
CONSOLIDATED RAILROAD PROPERTY TAX DEPT.
P.O. BOX 8499
PHILADELPHIA, PA 19101

33-105
ZHANG, XIANG, GENMU ZHANG &
MEIYUN ZHANG
71 FULKERSON ST., #103
CAMBRIDGE, MA 02141

33-105 /34-141
MASSACHUSETTS INSTITUTE OF TECHNOLOGY
OFFICE OF THE TREASURER
ONE BROADWAY, 9TH FL, SUITE 200
CAMBRIDGE, MA 02142

33-105
KENNEDY, SOFIA S. & ARJUNA J. COSTA
41 KIGS HIGHWAY NORTH
WESTPORT, CT 06880

33-105
LADDIS, STEPHEN J.
71 FULKERSON ST. UNIT#111
CAMBRIDGE, MA 02141

33-105 / 34-141
RAMACHANDRAN, KALI A. &
INDRADEVI VYRAVANADAN
63-71 FULKERSON ST., #209
CAMBRIDGE, MA 02141

33-105
JOHNSTON, ERIKA E.
71 FULKERSON ST., UNIT #302
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36-267
CAMBRIDGE CITY OF COMM DEV
57 INMAN ST
CAMBRIDGE, MA 02139

36-267
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

36-267
CITY OF CAMBRIDGE
C/O LOUIS DEPASQUALE
CITY MANAGER

33-105
WAHID, ZABIA,
TR. THE 72 FULKERSON ST REALTY TRUST
15 PENACOOK LANE
NATICK, MA 01760

34-136
CAMBRIDGE ELECTRIC LIGHT CO
C/O NSTAR ELECTRIC CO.
PROPERTY TAX DEPT
PO BOX 270
HARTFORD, CT 06141-0270

34-141
QUINN, JOHN A.
217 THORNDIKE ST., #101A
CAMBRIDGE, MA 02141

34-141
BUDIN, DAN & ALINA BUDIN
150 COUNTRY CLUB RD
NEWTON, MA 02459

34-141
RHODES, WARREN A.
217 THORNDIKE ST UNIT 104A
CAMBRIDGE, MA 02141

34-141
LAROCQUE, JEAN CULLNAN
218 THORNDIKE ST., #102
CAMBRIDGE, MA 02141

34-141
KRAUSE, PETER
31 SIXTH ST.
CAMBRIDGE, MA 02141

33-105
FINCH, DIANNE M. & BRIAN J. CLAYDON
71 FULKERSON ST. #307
CAMBRIDGE, MA 02141

34-141
GOFFREDO, PATRICIA A.
218 THORNDIKE ST UNIT 201B
CAMBRIDGE, MA 02141

34-141
TRUONG, ANNIE
217 THORNDIKE ST. UNIT #204A
CAMBRIDGE, MA 02141

34-141
VANDICK, RAYMOND E. & LYNN T. VANDICK
218 THORNDIKE ST., #206B
CAMBRIDGE, MA 02141

34-141
FILOON, JOHN W. JR.
217 THORNDIKE ST #210A
CAMBRIDGE, MA 02141

35-100
MILLERS RIVER HOLDING LLC,
362 GREEN ST
CAMBRIDGE, MA 02139

34-141
CHUNG, KWANGHUN
217 THORNDIKE ST., #301A
CAMBRIDGE, MA 02139

34-141
YI, ROBERT SNGHO
218 THORNDIKE ST., #303B
CAMBRIDGE, MA 02141

34-141
CHANG, CHIHWEI
314 CARNATION DR.
FARMINGDALE, NY 11735

34-141
B & JJ HOLDINGS, LLC
3325 ST. CLAIR AVE
CLEVELAND, OH 44115

34-141
DIEHL, ERNST W.
170 GORE ST., #104
CAMBRIDGE, MA 02138

34-141
YANG, MO
217 THORNDIKE ST. UNIT 109
CAMBRIDGE, MA 02139

34-141
LIU, XIANG
141 DORCHESTER AVE #710
BOSTON, MA 02127

34-141
WERKMAN, JANET & STEPHEN NORMAN
RUDNICK TRS, THE WERKMAN-RUDNICK TRT
217 THORNDIKE PL UNIT 106A
CAMBRIDGE, MA 02141

34-141
DRELA, MARK
218 THORNDIKE ST
CAMBRIDGE, MA 02141

39-161
YU, DEQLANG LAN ZHANG
16 JAMES WAY
CAMBRIDGE, MA 02141

34-141
LOU, CHANGGANG & JINGXIA WEN
218 THORNDIKE ST., #207B
CAMBRIDGE, MA 02141

34-141
GAO, XIN & BAO QING YAN
18 BEECH ST
CAMBRIDGE, MA 02140

39-149
PELETRINO, ELSIE S.
4 JAMES WAY
CAMBRIDGE, MA 02141

39-151
KAMENEV, VLADIMIR
6 JAMES WAY
CAMBRIDGE, MA 02141

37-119
CARNEIRO, ANA C., ANTONIO R. &
CARLOS A. COSTA & HELENA COSTA
377-379 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA 02141

39-147
RASKAR, RAMESH H.
2 JAMES WAY
CAMBRIDGE, MA 02141

39-157
FORLIZZI ASSOCIATES, LLC
7260 WINDING BAY LANE
WEST PALM BEACH, FL 33412-3040

34-141
GUILFOY, THEO F. & JOHN M. RATLIFF
218 THORNDIKE ST., #106B
CAMBRIDGE, MA 02141

34-141
BHAIREDDY, SREENIVASA R. & GEETANJALI
TRSTEE OF THE BHAIREDDY FAMILY TRST
217 THORNDIKE ST 201A
CAMBRIDGE, MA 02141

34-141
KOO, TERRY Y. & YOUNG J. KOO
218 THORNDIKE ST. UNIT# 202B
CAMBRIDGE, MA 02141

34-141
MUNSHI, NIKHIL C. & MEDHA MUNSHI
217 THORNDIKE ST. UNIT#203A
CAMBRIDGE, MA 02138

34-141
DIAL, ROBERT B.
14820 OAKVINE DRIVE
LUTZ, FL 33559

34-141
RITTENHOUSE, TILGHMAN L.
217 THORNDIKE ST #206A
CAMBRIDGE, MA 02141

34-141
BRASSARD, JOSEPH M.
218 THORNDIKE ST, UNIT #209B
CAMBRIDGE, MA 02141

37-37
FORD, ETHAN E.
373 CARDINAL MEDEIROS AVE -UNIT#373/3
CAMBRIDGE, MA 02139

34-141
ADLER, SUSANNAH KERR & JOHN ADLER
TRUSTEES OF THE SUSANNAH KERR ADLER TR
2119 ELLIOT AVE
MCLEAN, VA 22101

34-141
BARBOSA, LUIS & MARIA E. BARBOSA
158 CHARLES ST
CAMBRIDGE, MA 02141

34-141
OZEN, GURER & DAMLA NUR OZEN
217 THORNDIKE ST., #307A
CAMBRIDGE, MA 02141

34-141
JOHNSON, PETER C. & HANAH SEVIAN
217 THORNDIKE ST., UNIT #308A
CAMBRIDGE, MA 02140

34-141
WANG, WENDY,
TR. THE 218 THORNDIKE ST REALTY TRUST
218 THORNDIKE ST. UNIT 308
CAMBRIDGE, MA 02141

34-133
JAS CONSOLIDATED PROPERTIES LLC
C/O JAS CORPORATION
1035 CAMBRIDGE ST., #12
CAMBRIDGE, MA 02141

34-144
660 CAMBRIDGE STREET REALTY TRUST,
JOSEPH P. BISOGNANO, III, TRUSTEE
1200 SOLDIERS FIELD RD
BOSTON, MA 02134

34-141
SANTOS, SANDRA & ERICO ROSA
218 THORNDIKE ST 108B
CAMBRIDGE, MA 02141

34-141
CHESNAKAS, NANCY & ANTHONY CHESNAKAS
217 THORNDIKE ST., #208A
CAMBRIDGE, MA 02141

34-141
SRINIVASAN, KARUNYA & ARAVIND SRINIVASAN
218 THORNDIKE ST, #105B
CAMBRIDGE, MA 02141

34-141
ANDERSON, DAVID ARTHUR
217 THORNDIKE ST UNIT 209A
CAMBRIDGE, MA 02141

34-141
ALCATRAZ, LLC
158 NORMAN RD
BROCKTON, MA 02302

34-141
PESHKIN, MELISSA CATHERINE
218 THORNDIKE ST., #301B
CAMBRIDGE, MA 02141

34-141
SAIGAL, ANIL & RANJANI SAIGAL
TRUSTEES OF THE A & R SAIGAL REVOC TRST
2 LEE AVENUE
BURLINGTON, MA 01803

37-37
POLACK, EVELYNE W.,
TRUSTEE THE EVELYNE W.POLACK REV TRUST
371 CARDINAL MEDEIROS AVE., #371/2
CAMBRIDGE, MA 02139

34-141
DRAKE, MATTHIAS CORWIN
218 THORNDIKE ST., UNIT #307B
CAMBRIDGE, MA 02141

34-141
EVANS, DONALD H. & MARIANNE M. EVANS
CASEY EVANS & ARIELLE EVANS
218 THORNDIKE ST., #309B
CAMBRIDGE, MA 02141

37-37
ZELENKOVAS, ANDRE & NAOMI MAEKAWA
375 CARDINAL MEDEIROS AVE. -UNIT# 375/1
CAMBRIDGE, MA 02139

36-159
IANELLI, JOSEPH J. & NINA R. IANELLI,
TRS. OF JACI REALTY TRUST
80 PARK AVE.
CAMBRIDGE, MA 02138

36-243
BARROS, MANUEL S. & MARIA T. BARROS
TRS. OF M&M BARROS REALTY TRUST
4 MARION STREET
CAMBRIDGE, MA 02141-1413

37-19
DIDOMENICO, SALVATORE &
MARIE DIDOMENICO TRS.
716 CAMBRIDGE STREET
CAMBRIDGE, MA 02141-1497

37-82
KOBAYASHI, TAKASHI &
CITY OF CAMBRIDGE TAX TITLE
C/O REAL PROPERTY MGMT BOSTON
179 BOYLSTON ST
JAMAICA PLAIN, MA 02130

37-20/37-19
DIDOMENICO, SALVATORE & MARIE DIDOMENICO,
TRS. OF SALMAR REAL ESTATE TRUST
716 CAMBRIDGE ST
CAMBRIDGE, MA 02141

37-35
KYT ASSOCIATES LLC
10 YORK PLACE
CAMBRIDGE, MA 02141

37-38
ROSS, FRAN
369 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA 02141

37-55
CAMBRIDGE COMMUNITY HOUSING, INC.
C/O WINN MANAGEMENT
810 MEMORIAL DR SUITE 102
CAMBRIDGE, MA 02139

37-126
ROMAN CATHOLIC ARCHBISHOP OF BOSTON
CORPORATION SOLE
66 BROOKS DRIVE
BRAintree, MA 02184

37-37
STANDISH, ADAM
371 CARDINAL MEDEIROS AVE. -UNIT#371/1
CAMBRIDGE, MA 02139

34-141
YOUNG, LAURENCE R.
TR. OF THE LAURENCE R. YOUNG REV TR. 2009
P.O. BOX 217
WATERVILLE VALLEY, NH 03215

34-141
HARSHA, PAUL EDWIN & JAMES J. LORDAN, JR
218 THORNDIKE ST., UNIT #109B
CAMBRIDGE, MA 02141

34-141
CASSA, CHRISTOPHER
103 GORE ST. UNIT 2
CAMBRIDGE, MA 02139

37-38
KINLEY-STEFFENSON, JOHN D & ANNE
TRS. OF THE STEFFENSON-KINLEY FAMILY TRS.
1503 EATON AVE
SAN CARLOS, CA 94070

37-38
SALIB, CHRISTINE R.
191 WINTER ST
HOPKINTON, MA 01748-2021

37-38
TAN, LONGJUN
367 CARDINAL MEDEIROS AVE UNIT #/2
CAMBRIDGE, MA 02141

37-63
UEP VENTURE LLC
ATTN: TORRINGTON PROPERTIES INC
11 ELKINS ST. SUITE 420
BOSTON, MA 02127

37-101
SOUSA, MARIA C.
427 CARDINAL MEDEIROS AVE.
CAMBRIDGE, MA 02141

37-103/115
MEDEIROS, ANTONIO & MICHAEL VITAL,
JOAO CARVALHO, TRUSTEES OF THE JAM
REALTY TRUST
732 CAMBRIDGE ST
CAMBRIDGE, MA 02141

33-105
MCKEARNEY, SCOTT A.
TR. OF THE MARY J. MCKEARNEY IRREV TRT
45 LOWE ST
TEWSBURY, MA 01876

36-248
DIBIASE, GIRO & ELIZABETH DIBIASE,
TRS. OF DIBIASE FAMILY TRUST
26 GERARD RD.
WINCHESTER, MA 01890

33-105
ALVAREZ, LUIS & LUCY D. ALVAREZ,
TRS THE 71 FULKERSON ST UNIT 204 REALTY TR
3 STONEWALL RD
LEXINGTON, MA 02421

34-141
HIBBS, CHRISTINAS C.
4-74 48TH AVENUE APT 3N
LONG ISLAND CITY, NY 11109

33-105
WANG, DANNIE
63-71 FULKERSON ST UNIT 301
CAMBRIDGE, MA 02141

37-21
MCCLENDON, CHRISTOPHER LEE
TING YING WU MCCLENDON
207 RICHDALE AVE., #27
CAMBRIDGE, MA 02140

37-38
MAHONEY, DAVID J.
363-369 CARDINAL MEDEIROS AVE., #365/1
CAMBRIDGE, MA 02141

37-38
BECK, RYAN S.
365 CARDINAL MEDEIROS AVE.,#2
CAMBRIDGE, MA 02141

37-65
CAMBRIDGE COMMUNITY HOUSING DEVELOPMENT
C/O WINN COMPANIES
1 WASHINGTON MALL - SUITE 500
BOSTON, MA 02108

37-88
RUNNING BROOK ASSOCIATES, LLC
PO BOX 847
CARLSBAD, CA 92018

37-117
JAS CONSOLIDATED PROPERTIES LLC
C/O JAS CORPORATION
1035 CAMBRIDGE ST., #12
CAMBRIDGE, MA 02141

39-153
MORK, CHRISTINA & PAUL BLAINEY
8 JAMES WAY
CAMBRIDGE, MA 02141

39-159
HUANG, EVEREST & REGINA CHEUNG
14 JAMES WAY.
CAMBRIDGE, MA 02141

31-20
ARE-MA REGION NO. 61, LLC
PO BOX 847
CARLSBAD, CA 92018

37-37
MOHR, STEPHANIE
373 CARDINAL MEDEIROS AVE. - UNIT#373/2
CAMBRIDGE, MA 02139

37-82
BAKER, JEFFREY S.,
TR. THE NEW MARCELLA REALTY TR
12-14 MARCELLA ST.,#B, #1 & #2
CAMBRIDGE, MA 02141

33-105
CAO, YUAN
71 FULKERSON ST., #110
CAMBRIDGE, MA 02141

33-105
CUE, JONATHAN C. & MARIA A. CUE
TRS. THE JONATHAN C. CUE REVOC. TRUST
28 HARDING RD
LEXINGTON, MA 02420

33-105
FUNK, SALLY J.
71 FULKERSON ST., #205
CAMBRIDGE, MA 02141

33-105
ARNAOUT, RAMY &
CITY OF CAMBRIDGE TAX TITLE
508 HEALTH ST. #2
CHESTNUT HILL, MA 02467

33-105
HEALEY, MICHAEL D.
C/O PETER KRAUSE
31 SIXTH ST
CAMBRIDGE, MA 02141

35-100
MILLERS RIVER LLC,
C/O CAMBRIDGE HOUSING AUTHORITY
362 GREEN ST.
CAMBRIDGE, MA 02139

33-105
KENEMUTH, SARAH E.,
TRUSTEE THE SARAH KENEMUTH FAM TRUST
63-71 FULKERSON ST., #102
CAMBRIDGE, MA 02141

33-105
KENNEDY, SOFIA S. & ARJUNA J. COSTA
41 KINGS HIGHWAY NORTH
WESTPORT, CT 06880

37-37
MACKOFF, DEVIN
371 CARDINAL MEDEIROS AVE, UNIT #371-3
CAMBRIDGE, MA 02139

33-105
JONES, RITA M.
71 FULKERSON ST., #101
CAMBRIDGE, MA 02141

33-105
ROGER, STEPHEN D.
71 FULKERSON ST. UNIT#303
CAMBRIDGE, MA 02141

33-105
HAND, JOHN T. & JANET L. GHATTAS
71 FULKERSON ST., #113
CAMBRIDGE, MA 02141

33-105
GOLDSMITH, DANIEL KUBSIK &
KELLY SHERMAN GOLDSMITH
71 FULKERSON ST., #201
CAMBRIDGE, MA 02141

34-141
MENDELSON, JAMES D.
217 THORNDIKE ST. UNIT#103A
CAMBRIDGE, MA 02141

33-105
FALCONE, ERIC
71 FULKERSON ST UNIT #206
CAMBRIDGE, MA 02141

34-141
AGARWAL, ANUP
218 THORNDIKE ST UNIT #204B
CAMBRIDGE, MA 02141

33-105
PAVLINIC, MARTIN & KALYN PAVLINIC
TRUSTEES OF THE UNIT #304 REALTY TRUST
71 FULKERSON ST 304
CAMBRIDGE, MA 02141

400 Cardinal Medeiros Ave

S 95

33-105
XU, XIAOCUN
20 PRENTISS LANE
BELMONT, MA 02478

33-111
ARE-MA REGION NO. 58 LLC,
PO BOX 847
CARLSBAD, CA 92108

34-127
660 CAMBRIDGE STREET REALTY TRUST
JOSEPH P. BISOGNANO, III, TRUSTEE
1200 SOLDIERS FIELD RD
BOSTON, MA 02134

34-141
DONGRE, SAGAR & XIAO HUA ZHOU
218 THORNDIKE ST., #101B
CAMBRIDGE, MA 02141

34-141
TAMANINI, VANESSA G.
79 SW 12ST ST., APT 1710-S
MIAMI, FL 33130

34-141
DRANSFIELD, TIMOTHY
218 THORNDIKE ST., #104B
CAMBRIDGE, MA 02141



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

3 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

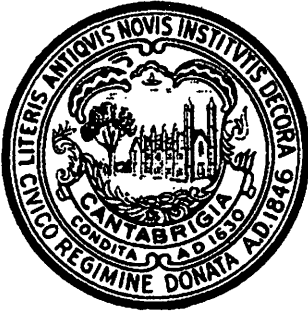
Name: James Rafferty Date: _____
(Print)

Address: 400 Cardinal Medeiros Ave

Case No. BZA-017306-2020

Hearing Date: 8/27/20

Thank you,
Bza Members



CITY OF CAMBRIDGE, MASSACHUSETTS

PLANNING BOARD

CITY HALL ANNEX, 344 BROADWAY, CAMBRIDGE, MA 02139

August 13, 2020

To: The Board of Zoning Appeal

From: The Planning Board

RE: BZA cases to be heard on August 27, 2020.

The Planning Board have no comments on the cases listed on the BZA agenda.

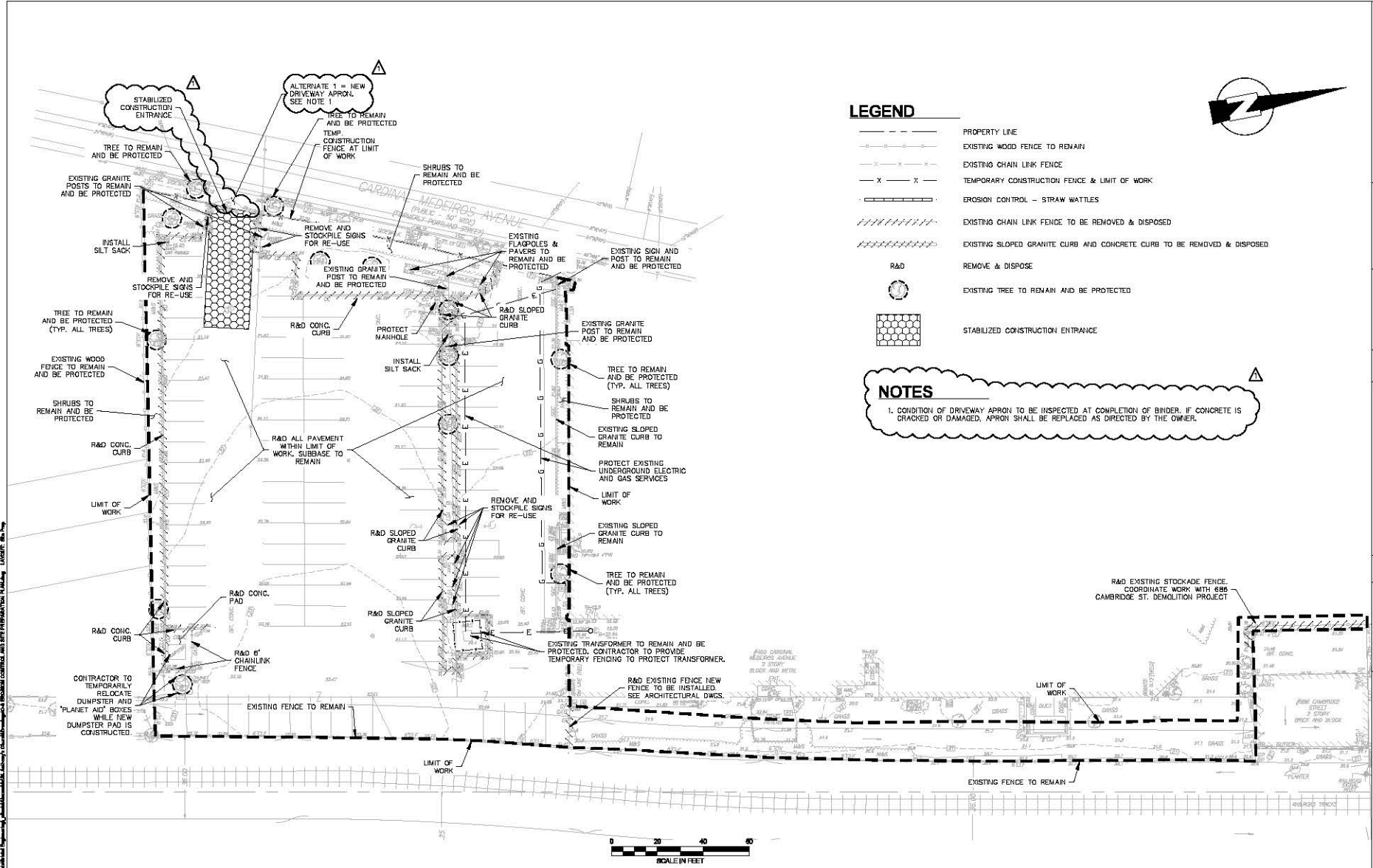


LEGEND

- PROPERTY LINE
- - - - - EXISTING WOOD FENCE TO REMAIN
- - - - - EXISTING CHAIN LINK FENCE
- X - X - TEMPORARY CONSTRUCTION FENCE & LIMIT OF WORK
- ===== EROSION CONTROL - STRAW WATTLES
- //// //// EXISTING CHAIN LINK FENCE TO BE REMOVED & DISPOSED
- //// //// EXISTING SLOPED GRANITE CURB AND CONCRETE CURB TO BE REMOVED & DISPOSED
- R&D REMOVE & DISPOSE
- EXISTING TREE TO REMAIN AND BE PROTECTED
- ◻ STABILIZED CONSTRUCTION ENTRANCE

NOTES

1. CONDITION OF DRIVEWAY APRON TO BE INSPECTED AT COMPLETION OF BIDDER. IF CONCRETE IS CRACKED OR DAMAGED, APRON SHALL BE REPLACED AS DIRECTED BY THE OWNER.

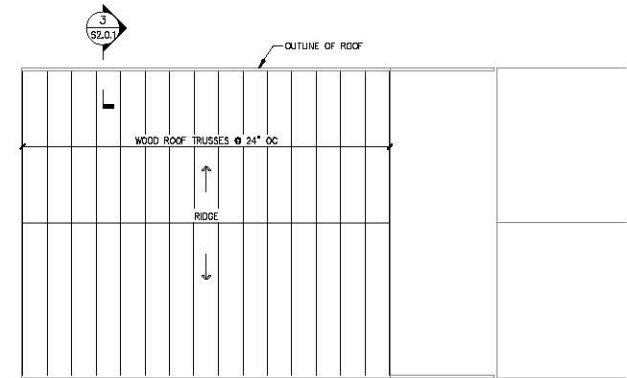


PROJECT NO.	DATE	DESCRIPTION	REVISION
18	8/7/20		
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			

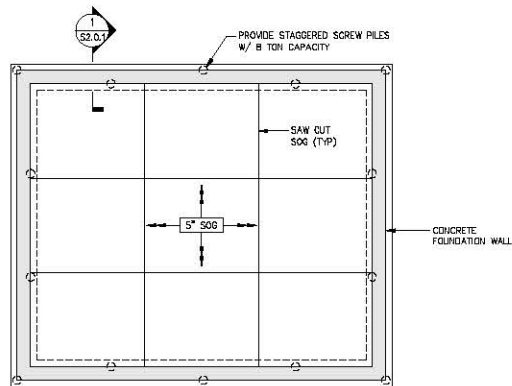
ALEXANDRIA REAL ESTATE EQUITIES
ST. ANTHONY CHURCH PARKING LOT RE-DESIGN
EROSION CONTROL AND SITE PREPARATION PLAN

100%
CONSTRUCTION
DOCUMENTS
06-30-20

WOOD TRUSS LOAD SCHEDULE		
ROOF	SNOW LOAD	30 PSF + ALLOW FOR DRIFT
	TOP CHORD DEAD LOAD	10 PSF
	BOTTOM CHORD DEAD LOAD	5 PSF
	TOTAL	45 PSF
DEFLECTION LIMITATIONS	WIND UPLIFT	12 PSF
	LIVE LOAD DEFLECTION LIMIT	L/360
	TOTAL LOAD DEFLECTION LIMIT	L/240



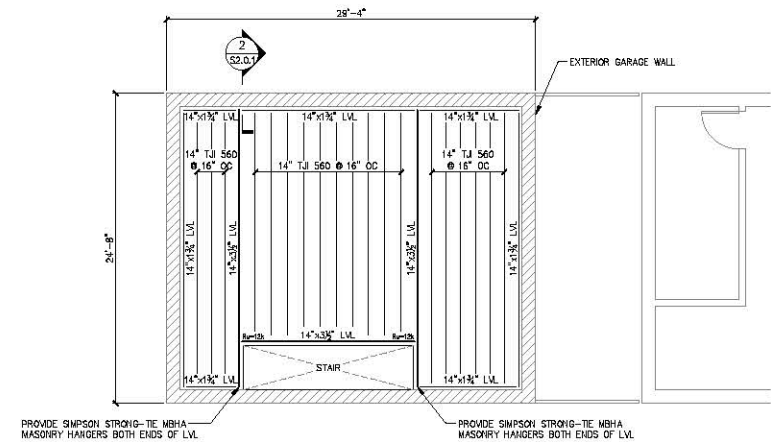
ROOF — FRAMING PLAN
¾"=1'-0"



FOUNDATION PLAN
¾"=1'-0"

NOTES:

- FOR GENERAL INFORMATION, SEE SHEET S-0.0.1.
- FOR TYPICAL DETAILS, SEE SHEET S-7.0.1.
- SLAB-ON-GRADE CONSTRUCTION TO CONSIST OF 5" NORMAL WEIGHT, FIBER REINFORCED CONCRETE.
- PROVIDE 12" OF COMPACTED GRANULAR FILL BELOW SLAB-ON-GRADE.
- MINIMUM 28-DAY CONCRETE COMPRESSIVE STRENGTH f_c TO BE AS FOLLOWS, UNLESS OTHERWISE NOTED:
SLAB-ON-GRADE: 4,000 PSI
SPREAD FOOTINGS: 4,000 PSI



SECOND FLOOR — FRAMING PLAN
¾"=1'-0"

LEGEND:

$R_u=XXk$ INDICATES ASD BEAM REACTION FOR CONNECTION DESIGN



Architectural Resources Cambridge
501 Boylston Street, Suite 4101, Boston, MA 02116
617.547.2200 www.arcusa.com

St. Anthony Parish

GARAGE

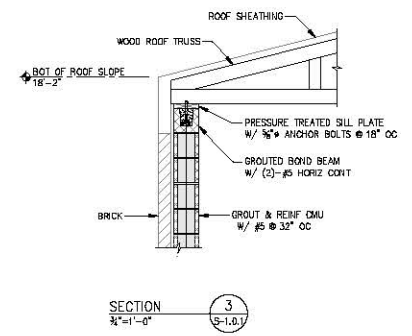
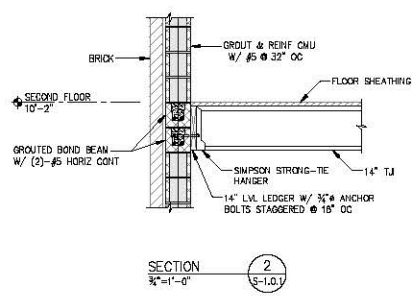
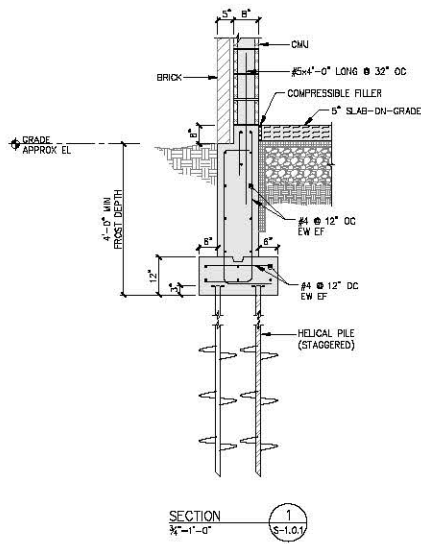
400 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA

FOUNDATION AND FRAMING PLANS

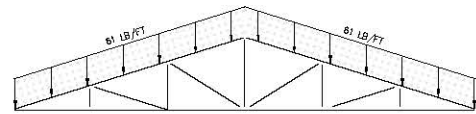
S-1.0.1

CD SET

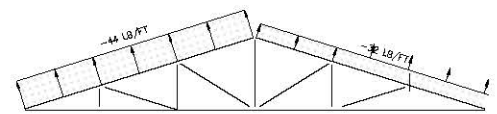
SCALE: As Indicated
JOB NO: 20-018
DATE: 09/20/2020
DESIGN BY: RJC
FILE NAME: FOUNDATION AND FRAMING PLANS



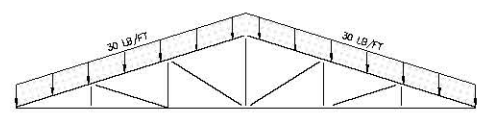
- GENERAL TRUSS NOTES:**
1. TRUSSES SHOWN ARE DIAGRAMMATIC.
 2. USE MOST UNFAVORABLE LOAD COMBINATION OF DEAD LOAD, SNOW LOAD, AND WIND LOAD FOR TRUSS DESIGN.
 3. ROOF LIVE LOAD IS NOT SHOWN AS SNOW LOAD CONTROLS.



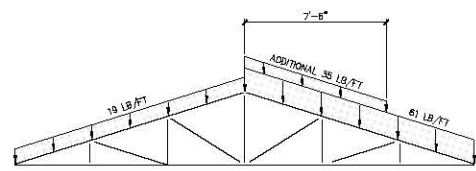
SNOW LOAD CASE A - BALANCED:



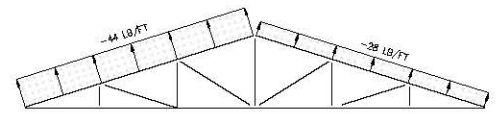
WIND LOAD - CASE A:
1. TRUSSES SHALL ALSO BE DESIGNED FOR MIRROR OF LOADS SHOWN.
2. NEGATIVE VALUES ARE UPLIFT FORCES ACTING AWAY FROM ROOF SURFACE.



DEAD LOAD:
1. DOES NOT INCLUDE SELF-WEIGHT OF TRUSS OR BRACING.

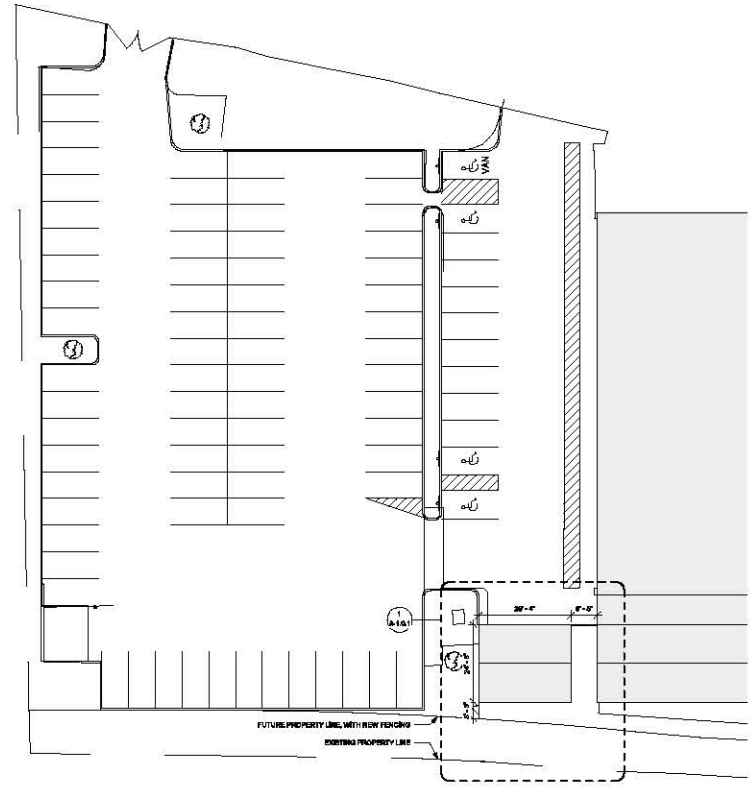


SNOW LOAD CASE B - UNBALANCED:
1. TRUSSES SHALL ALSO BE DESIGNED FOR MIRROR OF SNOW LOADS SHOWN.

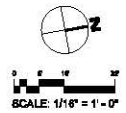


WIND LOAD - CASE B:
1. TRUSSES SHALL ALSO BE DESIGNED FOR MIRROR OF LOADS SHOWN.
2. NEGATIVE VALUES ARE UPLIFT FORCES ACTING AWAY FROM ROOF SURFACE.





1 FIRST FLOOR - SITE PLAN
1/16" = 1'-0"



Architectural Resources Cambridge
501 Boylston Street, Suite 4101, Boston, MA 02116
617.547.2200 www.arcusa.com

St. Anthony Parish

GARAGE

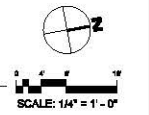
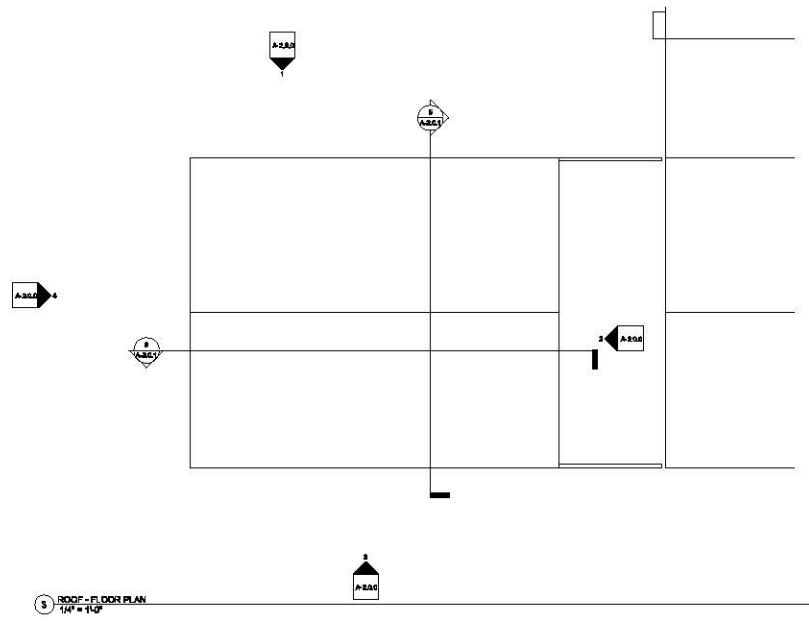
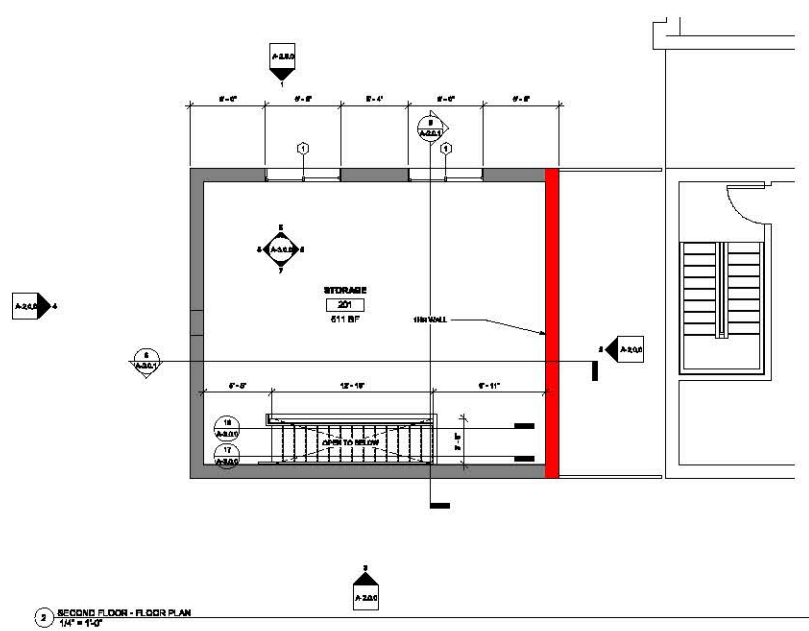
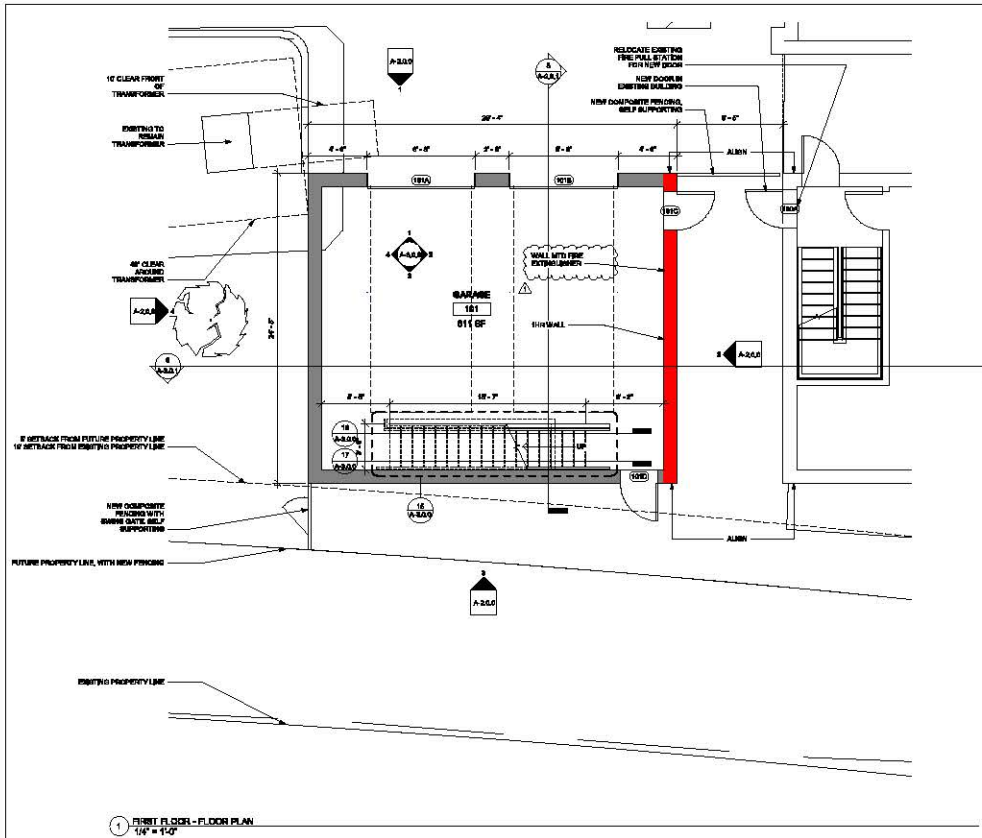
400 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA 02141

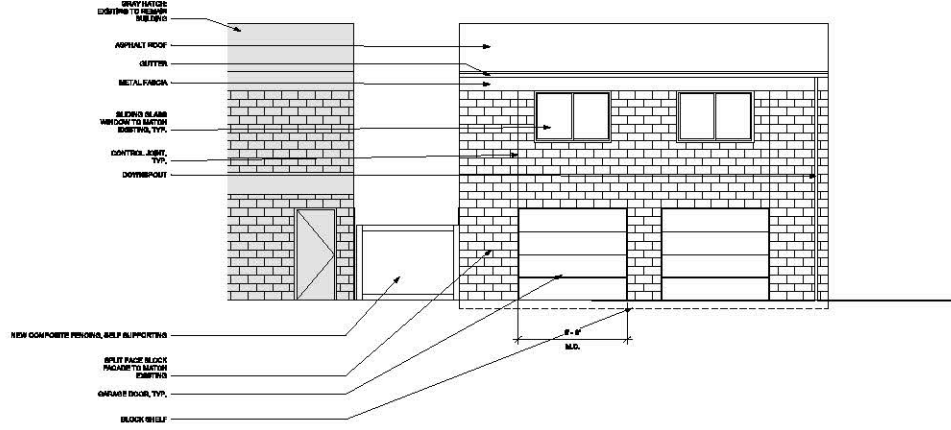
OVERALL SITE PLAN

A-1.0.0

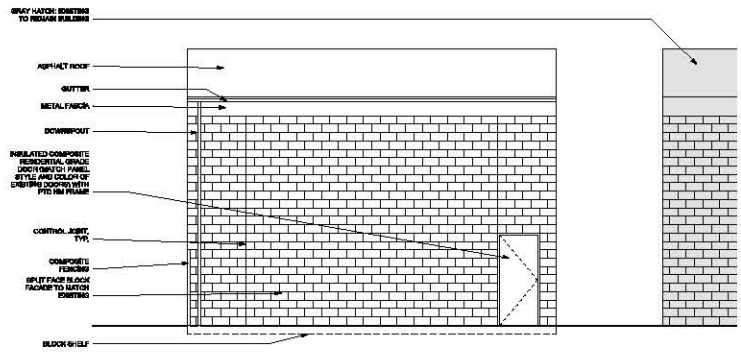
ADDENDUM #1

SCALE: 1/16" = 1'-0"
JOB NO: 1420
DATE: 4/10/2000
DRAWN BY: Author
FILE NAME: OVERALL SITE PLAN

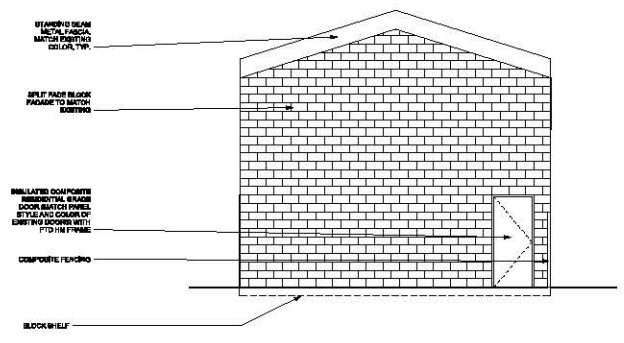




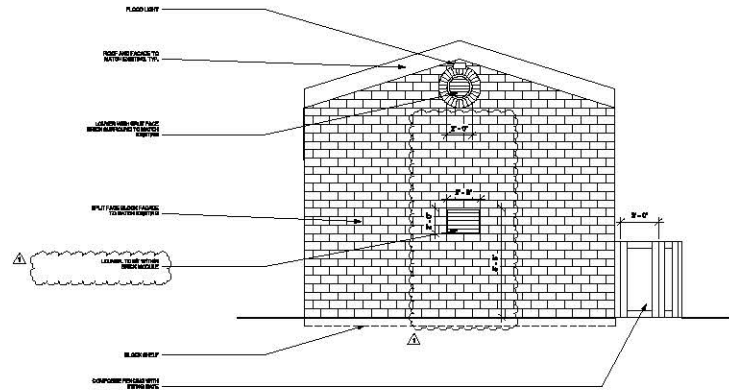
1 WEST ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"



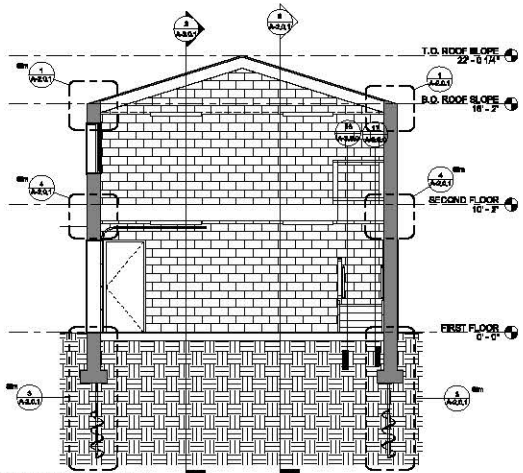
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St. Anthony Parish
GARAGE
400 CARDINAL MEDEIROS AVE
CAMBRIDGE, MA 02141

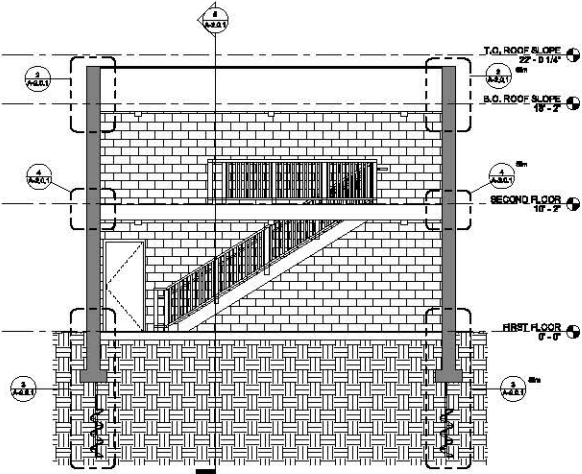


EXTERIOR ELEVATIONS
DATE: 8/10/2020
DRAWN BY: Author
FILE NAME: EXTERIOR ELEVATIONS

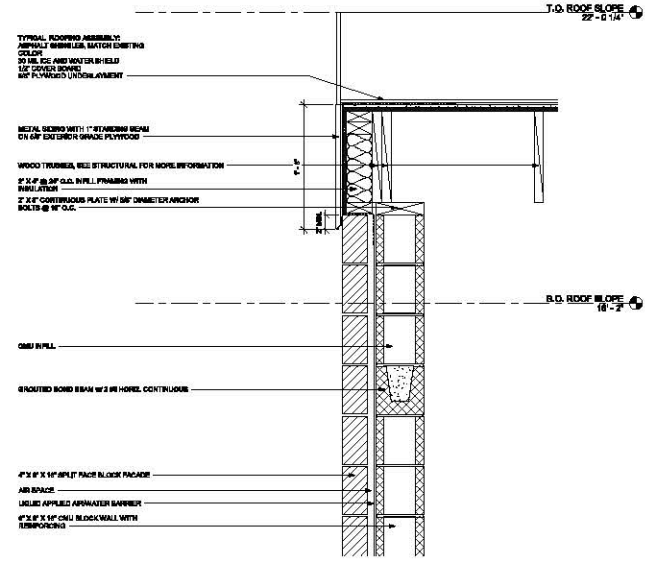
A-2.0.0
ADDENDUM #1
SCALE: 1/4" = 1'-0"
JOB NO.: 1920
DATE: 8/10/2020
DRAWN BY: Author
FILE NAME: EXTERIOR ELEVATIONS



6 EAST-WEST BUILDING SECTION
1/4" = 1'-0"



8 NORTH-SOUTH BUILDING SECTION
1/4" = 1'-0"



TYPICAL ROOFING ASSEMBLY:
APPLY 1/2" BRICKS, MATCH EXISTING
COLOR.
2" MIN. INS. AND WATER-BARRIER
1/2" COVER BOARD
5/8" FIBERGLASS UNDERLAYMENT

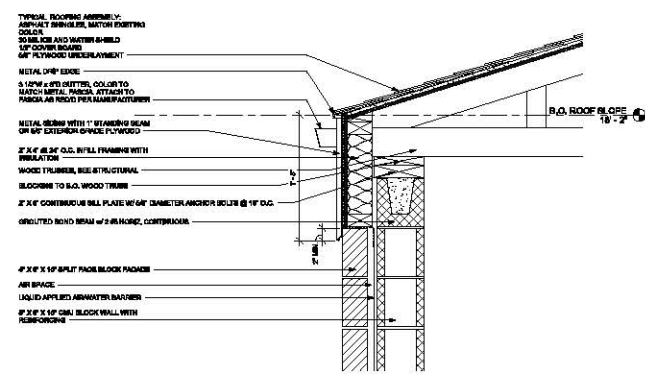
METAL SIDING WITH 1" STANDING SEAM
ON 1/2" EXPOSURE GRADE PLYWOOD

WOOD TRUSS, SEE STRUCTURAL FOR MORE INFORMATION
2" X 2" @ 24" O.C. INFL. FINISHES WITH
INSULATION
2" X 2" CONCRETE SLAB WITH 1/2" DIAMETER ANCHOR
BOLTS @ 16" O.C.

CMU WALL
ROUTED BOND BEAM W/ 2 #3 HORIZ. CONT. REIN.

2" X 2" X 1/2" SP. FACE BLOCK PACKAGE
AIR SPACE
LIQUID APPLIED AIR/WATER BARRIER
2" X 2" X 1/2" CMU BLOCK WALL WITH
REINFORCING

2 DETAIL SECTION @ T.O. ROOF
1 1/2" = 1'-0"



TYPICAL ROOFING ASSEMBLY:
APPLY 1/2" BRICKS, MATCH EXISTING
COLOR.
2" MIN. INS. AND WATER-BARRIER
1/2" COVER BOARD
5/8" FIBERGLASS UNDERLAYMENT

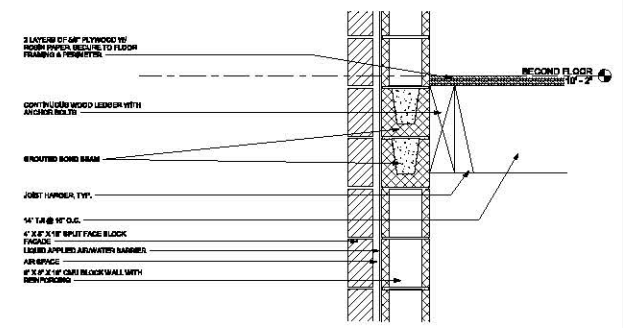
METAL SIDING WITH 1" STANDING SEAM
ON 1/2" EXPOSURE GRADE PLYWOOD

WOOD TRUSS, SEE STRUCTURAL
SLOTTING TO S.D. WOOD TRUSS
2" X 2" @ 24" O.C. INFL. FINISHES WITH
INSULATION

2" X 2" CONCRETE SLAB WITH 1/2" DIAMETER ANCHOR BOLTS @ 16" O.C.
ROUTED BOND BEAM W/ 2 #3 HORIZ. CONT. REIN.

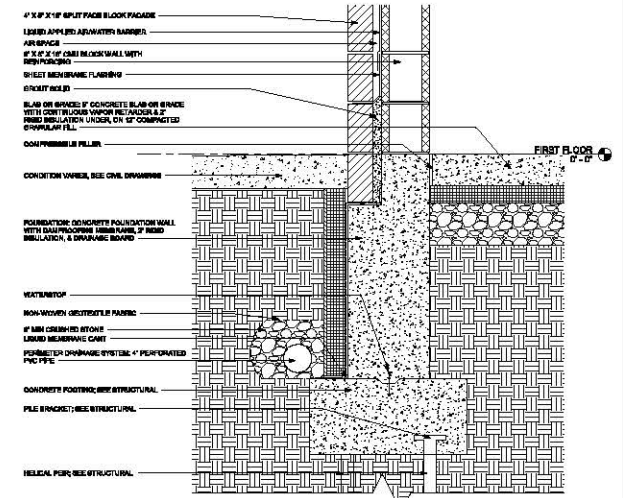
2" X 2" X 1/2" SP. FACE BLOCK PACKAGE
AIR SPACE
LIQUID APPLIED AIR/WATER BARRIER
2" X 2" X 1/2" CMU BLOCK WALL WITH
REINFORCING

1 DETAIL SECTION @ N/S ROOF
1 1/2" = 1'-0"



3 LAYERS OF 5/8" PLYWOOD W/
ROOF PAPER SECURE TO FLOOR
FRAMING & JOIST/BEAM
CONTINUOUS WOOD JOIST WITH
ANGULAR BOLTS
ROUTED BOND BEAM
JOIST/WALL, TYP.
1/4" TA @ 16" O.C.
2" X 2" X 1/2" SP. FACE BLOCK
PACKAGE
LIQUID APPLIED AIR/WATER BARRIER
AIR SPACE
2" X 2" X 1/2" CMU BLOCK WALL WITH
REINFORCING

4 DETAIL SECTION @ SECOND FLOOR
1 1/2" = 1'-0"



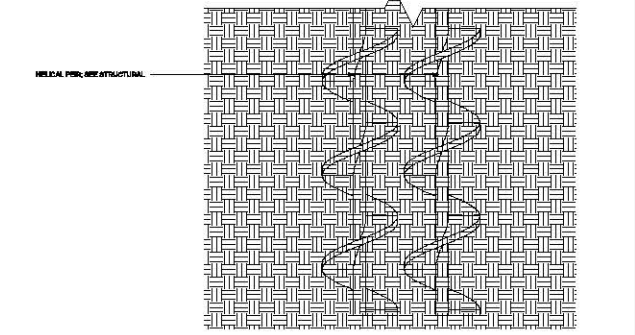
2" X 2" X 1/2" SP. FACE BLOCK PACKAGE
LIQUID APPLIED AIR/WATER BARRIER
AIR SPACE
2" X 2" X 1/2" CMU BLOCK WALL WITH
REINFORCING
SHEET MEMBRANE FLASHING
SHEET WALL
SLAB OR BRIDGE OF CONCRETE SLAB OR BRIDGE
WITH CONT. INSULATION UNDER REINFORCING &
FIBERGLASS UNDERLAYMENT OR 1" COMPACTED
GRAVEL FILL
COMPRESSED AIR FILLER
CONCRETE WINDSTOP, SEE CIVIL DRAWINGS

FOUNDATION: CONCRETE FOUNDATION WALL
WITH BUILT-IN REINFORCING BARS, 1/2" FIBER
GLASS INSULATION, & DIVISIBLE BOARD

WEATHERSTOP
NON-WOVEN GEOTEXTILE FABRIC
2" MIN. CRUSHED STONE
LIQUID MEMBRANE CAULK
FOUNDATION DRAINAGE SYSTEM: 1" PERFORATED
PVC PIPE

CONCRETE FOOTING, SEE STRUCTURAL
PILE BRACKET, SEE STRUCTURAL

HELICAL PILE, SEE STRUCTURAL



3 DETAIL SECTION @ FOUNDATION
1 1/2" = 1'-0"

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BUILDING & WALL SECTIONS

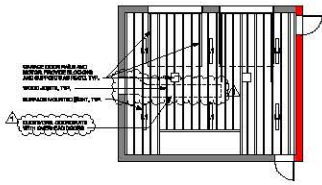
A-2.0.1

ADDENDUM #1

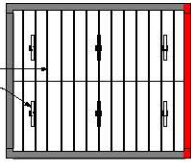
SCALE: As Indicated
JOB NO.: 1420
DATE: 8/10/2020
DRAWN BY: Author
FILE NAME: 20200810_1420.dwg



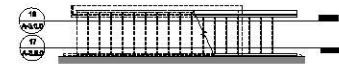
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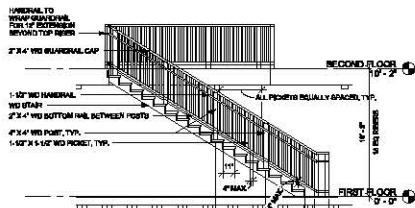
10 FIRST FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



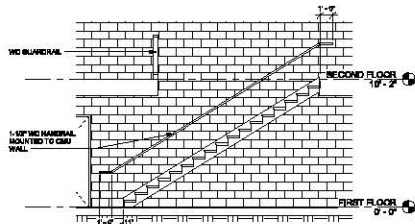
8 SECOND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"



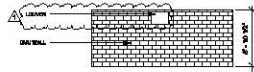
16 ENLARGED STAIR PLAN - FIRST FLOOR
1/4" = 1'-0"



18 NORTH STAIR SECTION
1/4" = 1'-0"



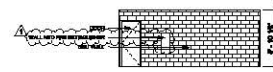
17 SOUTH STAIR SECTION
1/4" = 1'-0"



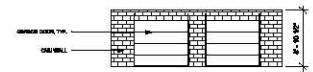
4 LEVEL 1 ELEVATION D
1/8" = 1'-0"



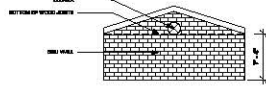
3 LEVEL 1 ELEVATION C
1/8" = 1'-0"



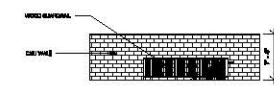
2 LEVEL 1 ELEVATION B
1/8" = 1'-0"



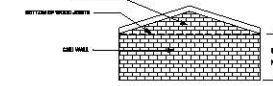
1 LEVEL 1 ELEVATION A
1/8" = 1'-0"



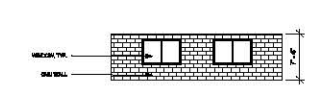
8 LEVEL 2 ELEVATION D
1/8" = 1'-0"



7 LEVEL 2 ELEVATION C
1/8" = 1'-0"

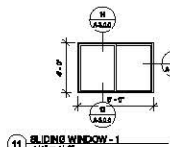


6 LEVEL 2 ELEVATION B
1/8" = 1'-0"

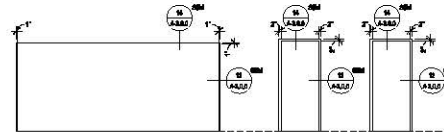


5 LEVEL 2 ELEVATION A
1/8" = 1'-0"

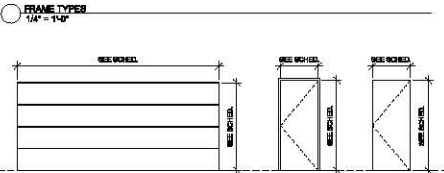
DOOR SCHEDULE																				
DOOR										FRAME			MISC.							
DOOR NO.	ROOM	TYPE	LABEL	MATERIAL	FINISH	VISION	GLASS TYPE	WIDTH	HEIGHT	TYPE	DEPTH	MATERIAL	FINISH	HEAD DTL.	JAMB DTL.	THRESHOLD	HANDWARE	SECURITY	REMARKS	
100A	STAIR	XA	C-1HR	HM	PTD			3'-0"	7'-2"	X1		HM	PTD							INCLUDE "NOT AN EXIST. OPEN INSIDE STAIR"
101A	GARAGE	B		FIBERGLASS	PTD			6'-0"	7'-0"	2		MTL	PTD							
101B	GARAGE	B		FIBERGLASS	PTD			6'-0"	7'-0"	2		MTL	PTD							
101C	GARAGE	XA	C-1HR	HM	PTD			3'-0"	7'-2"	X1		HM	PTD							
101D	GARAGE	A		HM	PTD			3'-0"	7'-2"	1		HM	PTD							



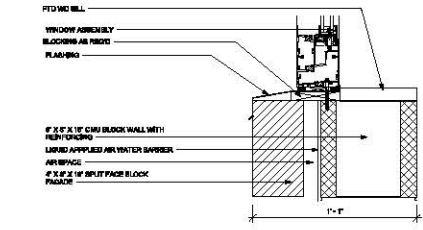
11 SLIDING WINDOW - 1
1/4" = 1'-0"



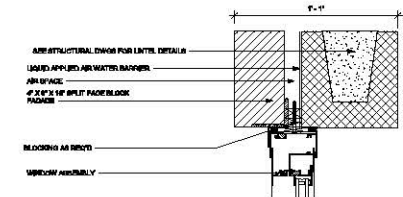
9 GARAGE FRAME
1/4" = 1'-0"



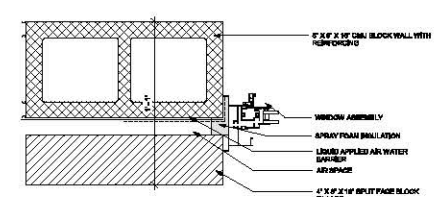
10 GARAGE DOOR
1/4" = 1'-0"



13 WINDOW SILL DETAIL
3/4" = 1'-0"



14 WINDOW HEAD DETAIL
3/4" = 1'-0"



12 WINDOW JAMB DETAIL
3/4" = 1'-0"



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INT ELEVATIONS, REFLECTED CEILING PLANS, OPENINGS & STAIR

A-3.0.0
ADDENDUM #1

SCALE: As Indicated
JOB NO.: 1420
DATE: 4/10/2020
DRAWN BY: Author
PLR NAME: [Signature]