



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 OCT 19 PM 2:13
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 197312

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: sravya kommineni and prabhav potluri

PETITIONER'S ADDRESS: 48 fresh pond lane, cambridge, MA 02138

LOCATION OF PROPERTY: 48 Fresh Pond Ln , Cambridge, MA

TYPE OF OCCUPANCY: Residential ZONING DISTRICT: Residential A-2 Zone

REASON FOR PETITION:

/Dormer/ /Exterior Alterations/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Complete renovation of the existing structure. Alterations to the exterior and construction of larger dormer.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2.d (Non-Conforming Structure).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

P. Prabhav / Sravya K

(Petitioner (s) / Owner)

Prabhav Potluri / Sravya Kommineni

(Print Name)

Address:

48 Fresh Pond Lane, Cambridge, MA 02138

Tel. No.

5714265103

E-Mail Address:

shravyak@gmail.com

Date: 10/19/2022

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Sravya Kommineni & Prabhav Potluri
(OWNER)

Address: 48 Fresh Pond Lane, Cambridge, MA 02138

State that I/We own the property located at 48 Fresh Pond Lane, Cambridge which is the subject of this zoning application.

The record title of this property is in the name of Sravya Kommineni & Prabhav Potluri

*Pursuant to a deed of duly recorded in the date 10/28/21, Middlesex South County Registry of Deeds at Book 79020, Page 409; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Sravya K P. Prabhav
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

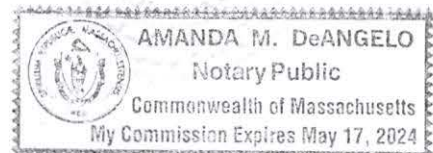
Commonwealth of Massachusetts, County of Middlesex

The above-name Sravya Kommineni & Prabhav Potluri personally appeared before me, this 30th of September, 2022, and made oath that the above statement is true.

Amanda M. DeAngelo Notary

My commission expires May 17, 2024 (Notary Seal).

• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



REGISTRATION FORM - OVERSEAS INVESTMENT

To be completed by owner. Please refer to the Secretary of the Board of Overseas Investment for details.

Name of the person or company: _____

Address: _____

State that the property is located in _____ which is the subject of this registration.

The record title of this property is in the name of _____

Reference to a deed of duly recorded in the _____

County Registry of Deeds as Book _____

Ministry Registry District of Land Office Certificate No. _____

REGISTRATION OF LAND OFFICE OR AUTHORIZED OFFICER OF AGENCY

Where evidence of agent's standing to represent business may be required.

Signature of the person or company: _____

The above-named _____ personally appeared before me,

and made oath that the facts stated in this _____

By commission expires _____

If ownership is not shown in recorded deed, etc., it is hereby certified that the above-named _____



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 48 Fresh Pond Ln , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The majority of the proposed construction work is cosmetic in nature, does not alter the character of the building and is not visible to the street

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed construction will not generate additional traffic or affect existing traffic patterns

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The project does not propose any changes to the existing use and has no effect on the uses of adjacent properties.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The project does not create any hazard to the safety and welfare of the occupants , property neighbors or any citizens of the city.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The project does not propose any changes to the existing , conforming use of the property.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

DIMENSIONAL INFORMATION

Applicant: sravya kommineni and prabhav potluri
Location: 48 Fresh Pond Ln., Cambridge, MA
Phone: 5714265103

Present Use/Occupancy: Residential
Zone: Residential A-2 Zone
Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3068	3199	3441	(max.)
<u>LOT AREA:</u>		6883	6883	6000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.446	0.465	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		6883	no change	4500	
<u>SIZE OF LOT:</u>	WIDTH	100+	no change	50	
	DEPTH	60	60	60	
<u>SETBACKS IN FEET:</u>	FRONT	21.3	no change	20	
	REAR	17.6	no change	25	
	LEFT SIDE	25.1	no change	10	
	RIGHT SIDE	25.4	no change	sum of 25	
<u>SIZE OF BUILDING:</u>	HEIGHT	30.5	no change	35	
	WIDTH	55	no change	55	
	LENGTH	24	no change	35	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		0.591	0.598	0.5	
<u>NO. OF DWELLING UNITS:</u>		1	no change	1	
<u>NO. OF PARKING SPACES:</u>		1	no change	1	
<u>NO. OF LOADING AREAS:</u>		N.A.	N.A.	N.A.	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		5.5	no change	n.a.	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Proposed Construction: Concrete foundation, wood framing

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

DIMENSIONAL REGULATIONS

Applicant: James Komari and Virginia Polun
 Location: 111 West Park Ln, Cambridge MA
 Present Use/Company: Residential
 Requested Use/Company: Residential
 Requested Use/Company: Residential
 Reference: RT4252103

Existing Conditions	Requested Conditions	Ordinance Requirements
TOTAL GROSS FLOOR AREA	3000	3441
TOTAL AREA	8883	8000
RATIO OF GROSS FLOOR AREA TO LOT AREA	0.443	0.5
MIN AREA OF EACH CONVEYANCE UNIT	8000	1000
SIZE OF LOT		
WIDTH	100'	80'
DEPTH	80'	80'
REAR	51.3'	no change
FRONT	17.3'	no change
LEFT SIDE	25.1'	no change
RIGHT SIDE	25.4'	no change
HEIGHT	30.5'	no change
WIDTH	32'	no change
LENGTH	34'	no change
RATIO OF DEEP OPEN SPACE TO LOT AREA	0.581	0.5
NO. OF OVERHANG DECKS	1	no change
NO. OF PARKING SPACES	1	no change
NO. OF LOADING AREAS	N/A	N/A
DISTANCE TO NEAREST OPEN SPACE TO LOT	25'	no change

Describe where applicable other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed (e.g. wood frame, concrete, brick, steel, etc.)

Project Construction: Concrete foundation wood framing

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 8 000, SECTION 8.10 (DISTRICT OF DIMENSIONAL REGULATIONS)

2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5'0" DIVIDED BY LOT AREA)

3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 18'

SHRAVYA & PRABHAV POTLURI

48 FRESH POND LANE
CAMBRIDGE, MA 02138

May 10th, 2022

DRAWING INDEX

G-01	Cover page
G-02	General Notes
D-100	Basement and First Floor - Demolition Plan
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D-102	Roof Plan - Demolition Plan
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D-201	Rear and Right Elevation - Demolition Plan
A-100	Basement Floor - Proposed Plan
A-101	First Floor - Proposed Plan
A-102	Second Floor - Proposed Plan
A-103	Attic - Proposed Plan
A-104	Roof Plan - proposed Plan
A-200	Front and Left Elevation - Proposed Elevation
A-201	Rear and Right Elevation - Proposed Elevation
A-300	Building sections
I-200 - 207	Interior Elevations
A-400	Basement and First Floor - Finish Floor Plan
A-401	Second and Attic Floor - Finish Floor Plan
E-100	Basement - Lighting & Electrical Plan
E-101	First Floor - Lighting & Electrical Plan
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A-500	Casework & Details
A-600 - 601	Door and Window schedules

DRAWING SYMBOL LEGEND

	Partition type
	Elevation Detail
	Detail Key
	Section Key
	Window Symbol
	Door Symbol
	Revision Symbol

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
NTS

Drawing Title:
GENERAL NOTES

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

G-01

REFLECTED CEILING PLAN LEGEND:

- RECESSED LIGHT, REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- SURFACE MOUNT LIGHT
- WALL SCONCE (SEE ELEVATIONS FOR HEIGHT)
- UNDER COUNTER LIGHTING - REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- EXHAUST FAN IN THE BATHROOMS
PANASONIC WHISPER GREEN
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- CEILING MOUNTED SPEAKER
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR

NOTES:

1. PROVIDE DIMMER SWITCHES FOR ALL INCANDESCENT LIGHTING FIXTURES.
2. ALL SWITCHES ARE TO BE LUTRON DIVA SWITCHES WHITE FINISH.
3. ALL SWITCHES/PHONE/CABLE/ELECTRICAL OUTLETS SHOWN TO BE GANGED.
4. STACK VOLUME CONTROL OVER LIGHTING SWITCHES.
5. ALL LIGHTING/SPEAKERS/FANS ARE TO BE WIRED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELECTRICAL PLAN LEGEND:

- NEW DUPLEX OUTLET
- NEW QUAD OUTLET
- NEW GFI OUTLET
- NEW RECESSED "CLOCK" OUTLET
- NEW PHONE OUTLET
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- EXISTING OUTLET
- DEDICATED CONNECTION

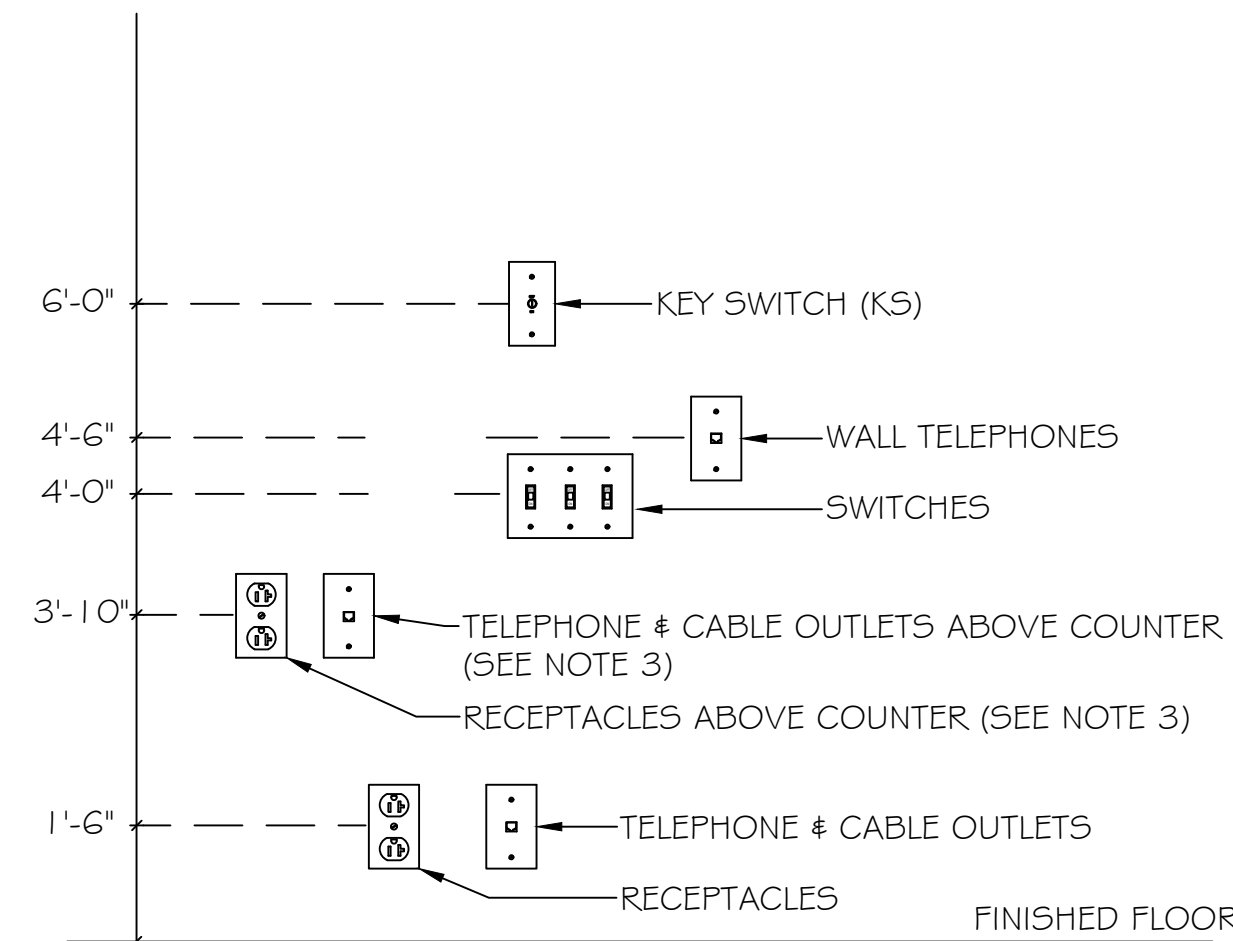
RECEPTACLE DENOTATION DESCRIPTION

- "W" WASHING MACHINE
- "D" DRYER
- "WT" WATER TIGHT
- "R" REFRIGERATOR
- "DW" DISHWASHER
- "M" MICROWAVE
- "RA" RANGE

NOTES:

1. ALL ELECTRICAL/PHONE/CABLE & ETHERNET OUTLETS TO BE FINISHED WHITE.
2. ALL SWITCHES/PHONE/CABLE/ELECTRICAL OUTLETS SHOWN TO BE GANGED.

TYPICAL DEVICE MOUNTING HEIGHTS DETAIL:



NOTES:

1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF DEVICE.
2. DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHERE EVER POSSIBLE.
3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH PLANS AND ELEVATIONS PRIOR TO ROUGHING IN ANY DEVICES ABOVE COUNTERS.

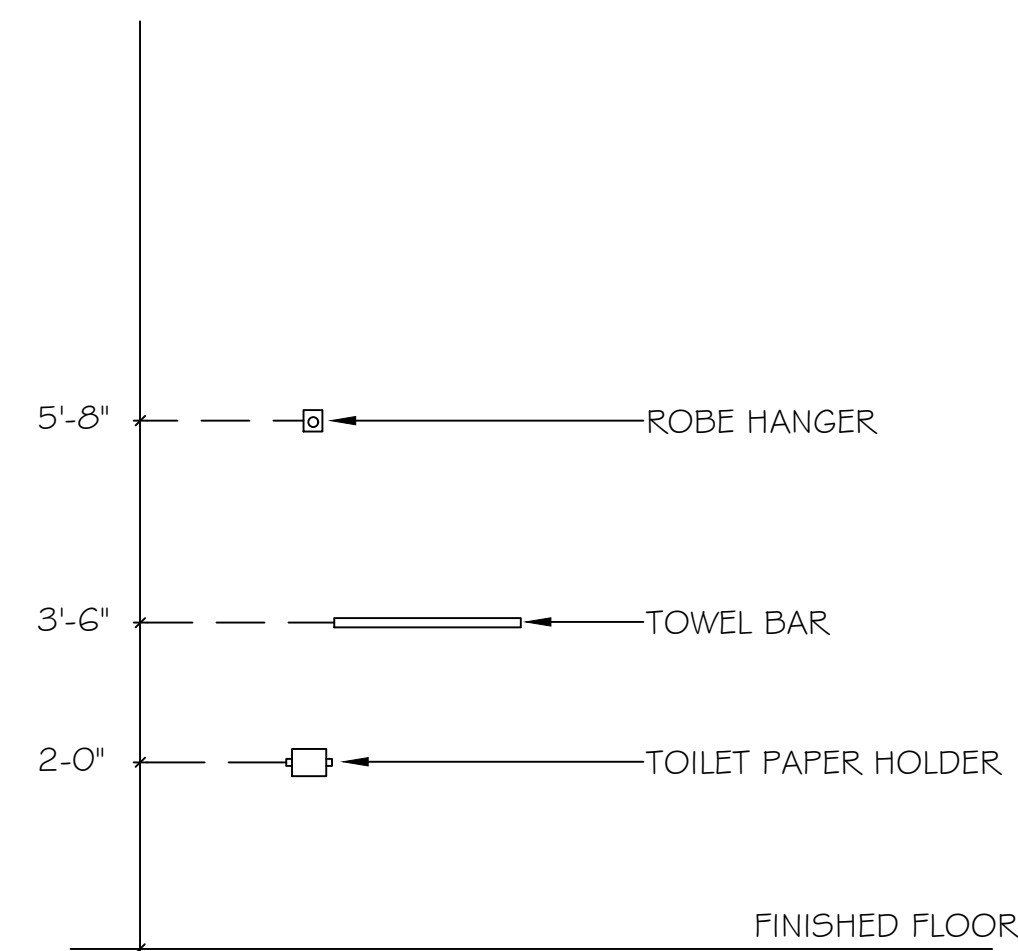
GENERAL NOTES:

1. Contractor to comply with the Massachusetts State Building Code, latest edition, along with all appropriate, municipal and regulatory agencies' codes and requirements. Contractor is responsible for securing necessary permits and approval for all trades under contract.
2. The contract drawings and specifications have been prepared by America Dural, Inc. (AD, Inc.) to provide contract documents which define design intent the Contractor is expected to achieve. In order to discover and resolve any omissions, errors or conflicts which could create construction conflicts, or otherwise inhibit the work, the Contractor shall, visit the site and verify all job conditions, dimensions and details prior to submitting any bids. AD, Inc. to be notified of any discrepancies or omissions which would interfere with the satisfactory completion of the work, prior to the submission of bids.
3. The Owner reserves the right to make changes in the drawings and specifications as the work progresses. Bulletins, change orders, drawings, specifications or Designer's supplemental instructions covering such changes will be issued to the Contractor whose responsibility it will be to distribute these immediately to all subcontractors affected to take such measures as may be necessary to avoid errors or delays in the project.
4. No material substitutions to be made without first informing AD, Inc. Submit substitute material, specifications and samples for review and approval by AD, Inc. prior to commencement of work.
5. Contractors' access to the existing building for the delivery, movement of manpower, handling and installation of material and equipment and disposal of debris must be coordinated with the Owner to avoid inconvenience and annoyance.
6. Drawings are not to be scaled; dimensions govern. Large scaled details govern over small scaled plans.
7. All equipment and materials, as well as methods and processes used in the performance of the work, shall conform to the standard recommendations of the manufacturer.
8. AD, Inc. review and approval of shop drawings shall indicate only that such drawings generally express the design intent of the contract documents. Review by the Designer does not relieve the Contractor from responsibilities for errors which may exist in the submitted data, in manufacture or coordination with other trades.
9. Whatever work is done where no definite details or specifications are given, the contractor shall perform the work in accordance with best acceptance practice of the respective trades.

ARCHITECTURAL PLAN LEGEND:

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW CASEWORK
- EXISTING DOOR TO REMAIN
- DOOR #
- NEW DOOR AND HARDWARE
- HARDWARE #
- EXISTING WINDOW TO REMAIN
- WINDOW TAG
- WALL TYPE IDENTIFIER
- ELEVATION #
- INTERIOR ELEVATION SYMBOL
- PAGE #
- SECTION #
- SECTION SYMBOL
- PAGE #

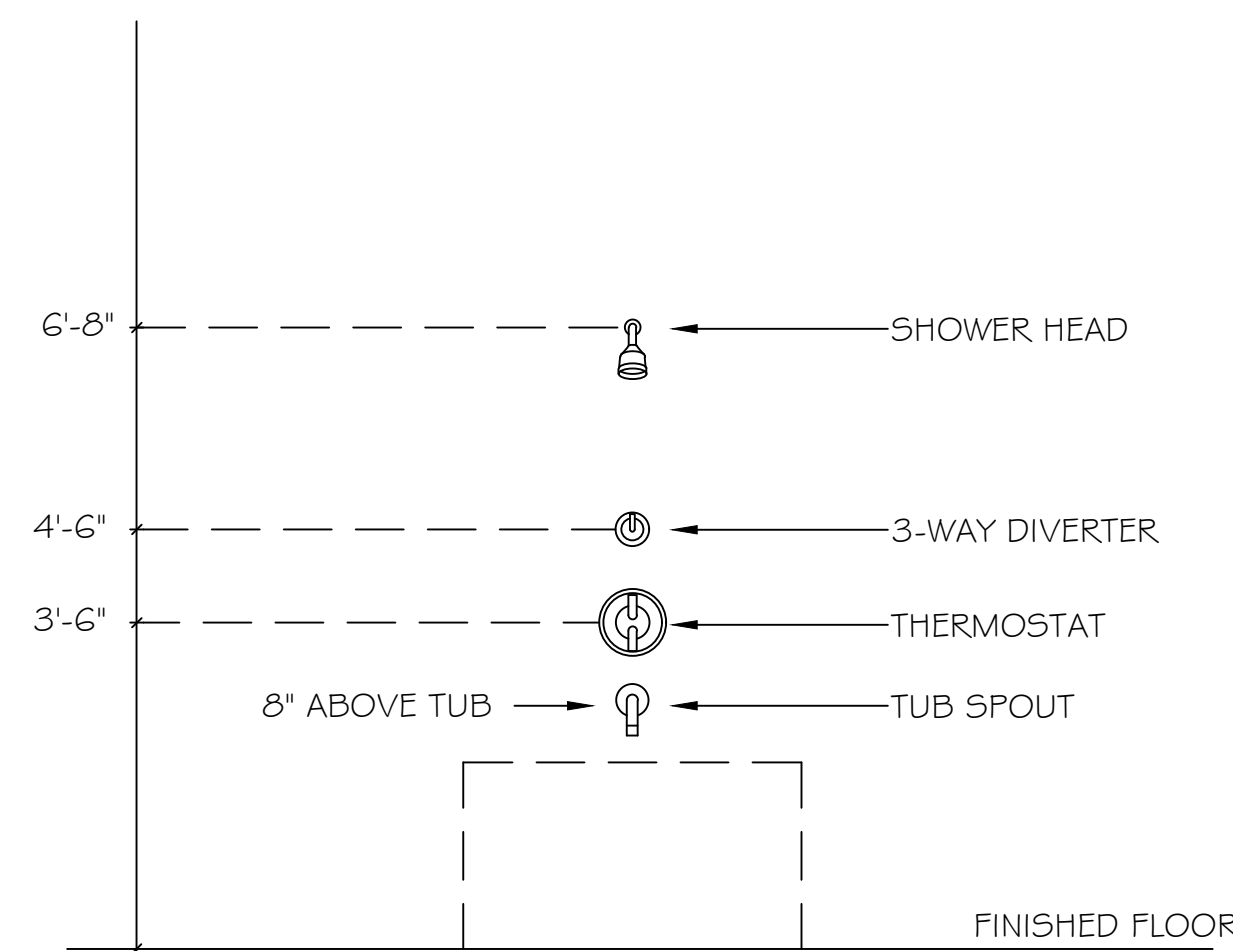
FIXTURE MOUNTING HEIGHTS:



NOTES:

1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF FIXTURE.
2. PROVIDE SOLID WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES.

TYPICAL PLUMBING MOUNTING HEIGHTS:



NOTES:

1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF FIXTURE.
2. FIXTURES SHALL BE INSTALLED ON A COMMON CENTERLINE WHEREVER POSSIBLE.

CONSTRUCTION NOTES:

1. Contractor to verify all dimensions and job conditions prior to commencing work and will report to AD, Inc. any discrepancies or omissions which would interfere with the satisfactory completion of the work.
2. All dimensions are from finish surface to finish surface or from face of columns and existing walls to finish surface unless noted otherwise.
3. All new sheet rock surfaces to be properly taped, $\frac{1}{8}$ " skim coat of plaster and sanded smooth to receive paint or wall covering.
4. Contractor shall be responsible for patching of existing GWB, taping and skim-coating to the satisfaction of AD, Inc. and appropriate Finish Contractors.
5. The Contractor shall be responsible for coordination of cutting and patching for all trades. Where drywalls are in conflict with ductwork, plumbing lines, etc., Contractor to provide all necessary bridging and bracing required to secure drywall and to maintain fire or sound rating where required.
6. The Contractor to provide all necessary cut-outs for the installation of electrical outlets, telephone and data outlets, switches and other electrical and/or plumbing devices.
7. Contractor to coordinate with Millworker and Finish Carpenter to install all wood grounds and metal supports in ceiling and partitions where necessary for the installation of other trade work.
8. All window and door sizing, manufacturer, and styles are to follow specifications schedules. Any deviation requires review and approval by AD, Inc.
9. Placement and/or relocation of heating and cooling vents/returns for forced air systems are to be reviewed onsite and approved by AD, Inc. prior to installation.
10. All new insulation to meet or exceed all local and state building code regulations.
11. Finish texture and color of wood floors to be approved on site by Client and Designer before application.

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAYVA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
NTS

Drawing Title:
GENERAL NOTES

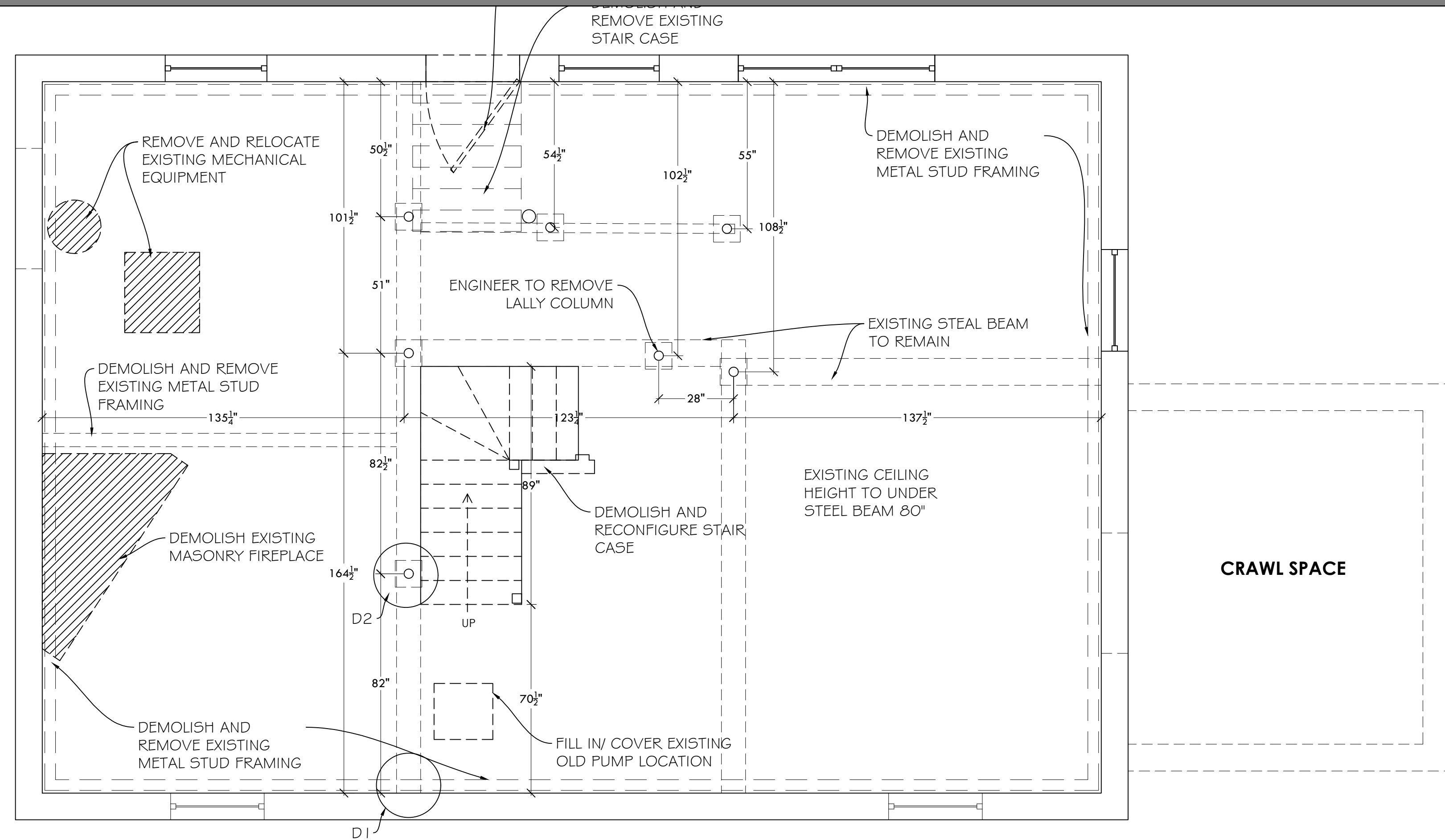
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AMERICA DURAL
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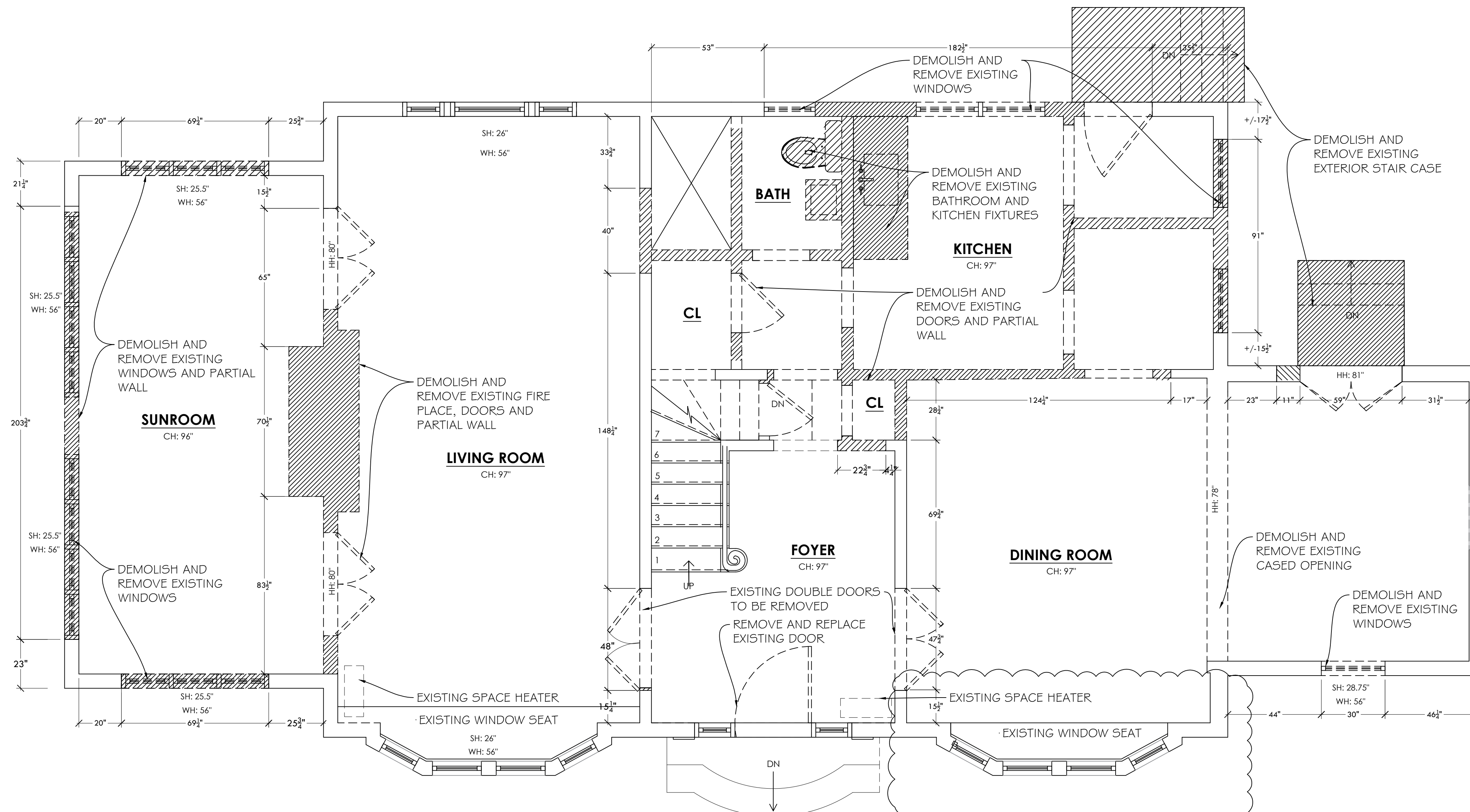
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Sheet No.

G-02



BASEMENT PLAN- DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



FIRST FLOOR - DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

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LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

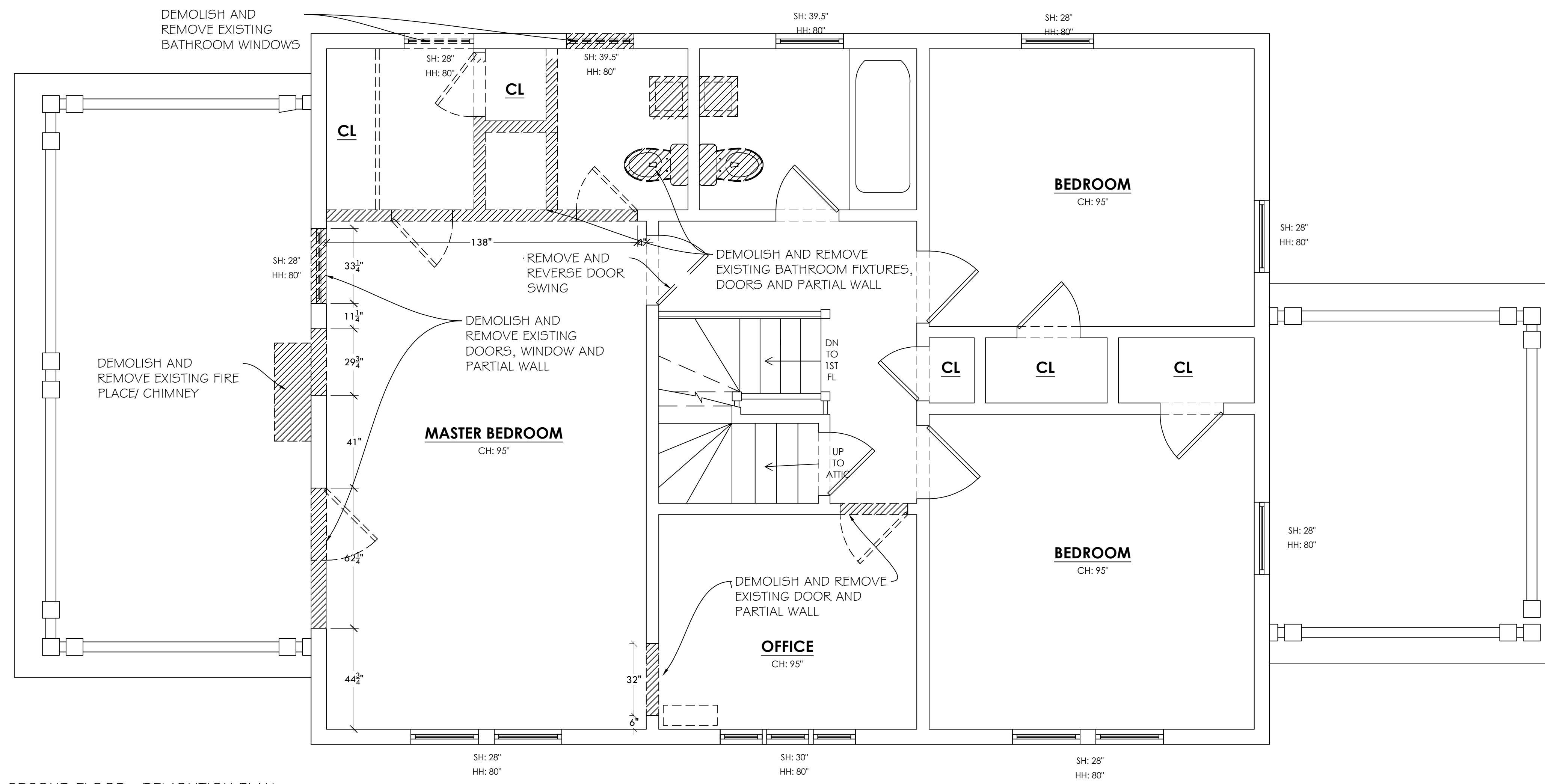
Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"
Drawing Title:
BASEMENT AND FIRST FLOOR DEMOLITION PLANS

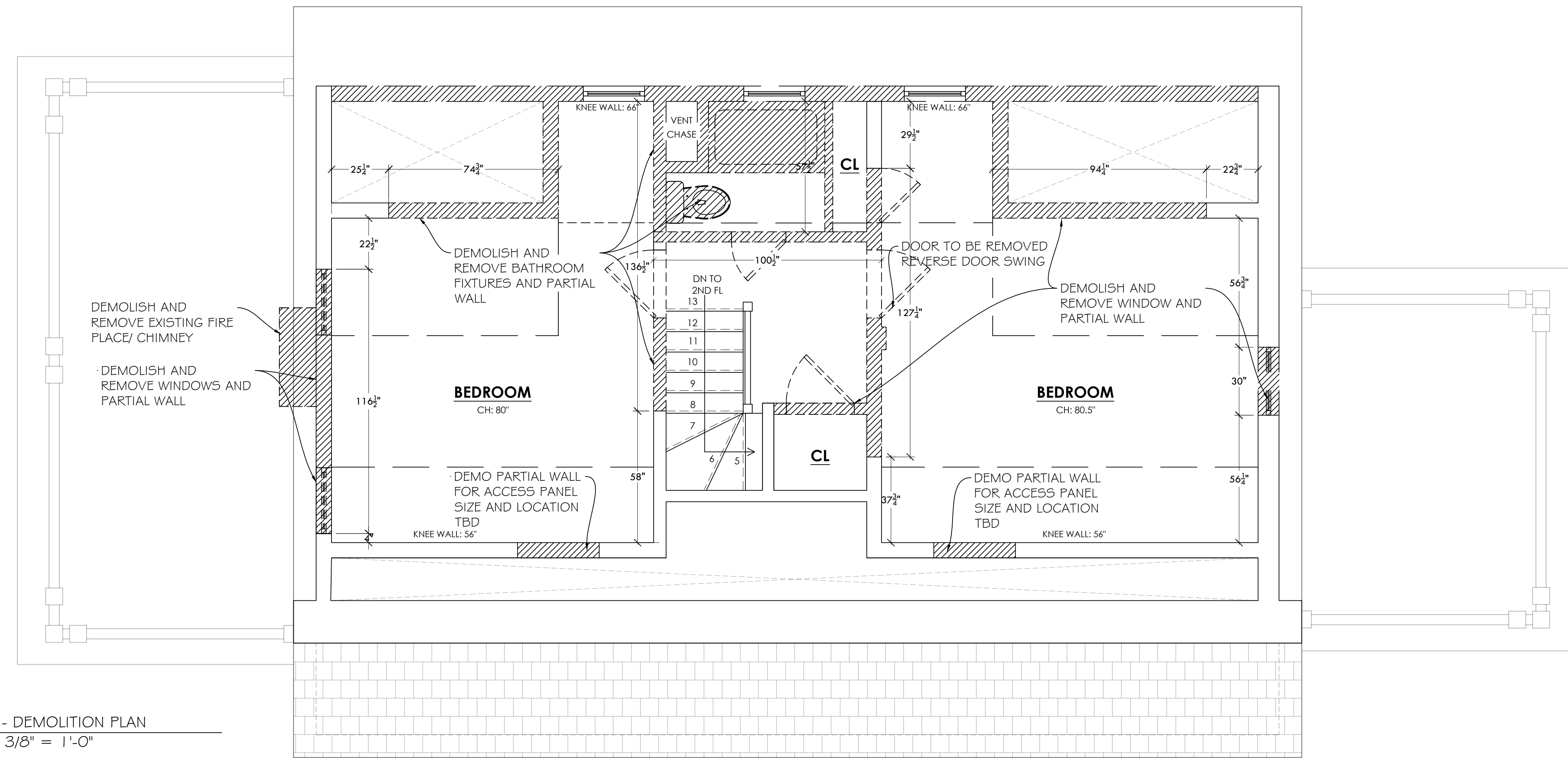
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(617) 661-4100 FAX (617) 661-4145

Sheet No.
D-100
Page No. 3 of 33



SECOND FLOOR - DEMOLITION PLAN
Scale: 3/8" = 1'-0"



ATTIC - DEMOLITION PLAN
Scale: 3/8" = 1'-0"

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- LEGEND:**
- Existing to be demolished
 - Existing to remain
 - New construction
 - New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
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REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
SECOND AND ATTIC
DEMOLITION PLANS

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

D-101

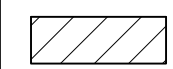
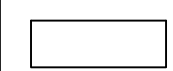


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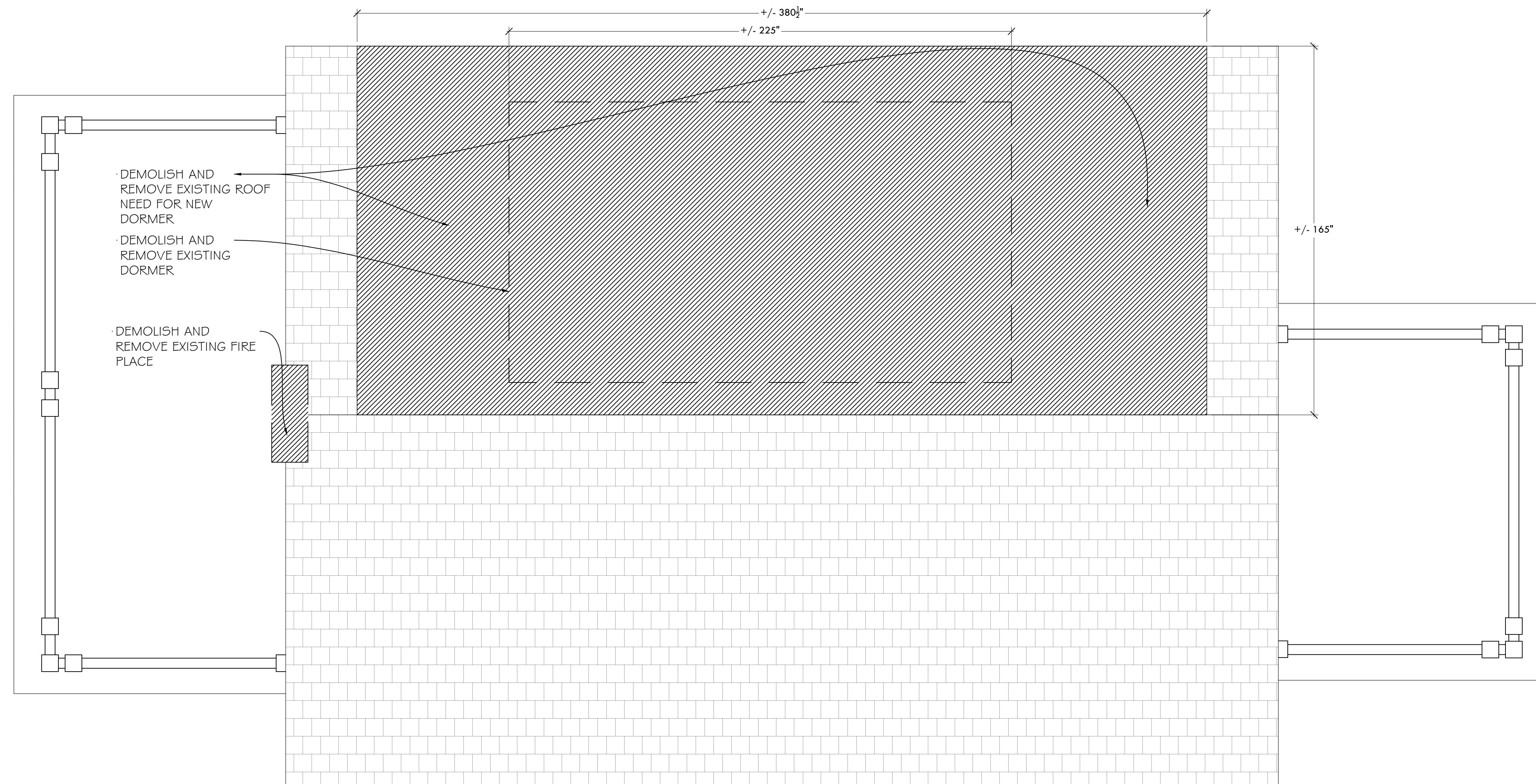
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LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



ROOF - DEMOLITION PLAN
Scale: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
ROOF DEMOLITION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

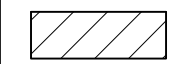
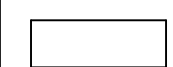


Sheet No.
D-102

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

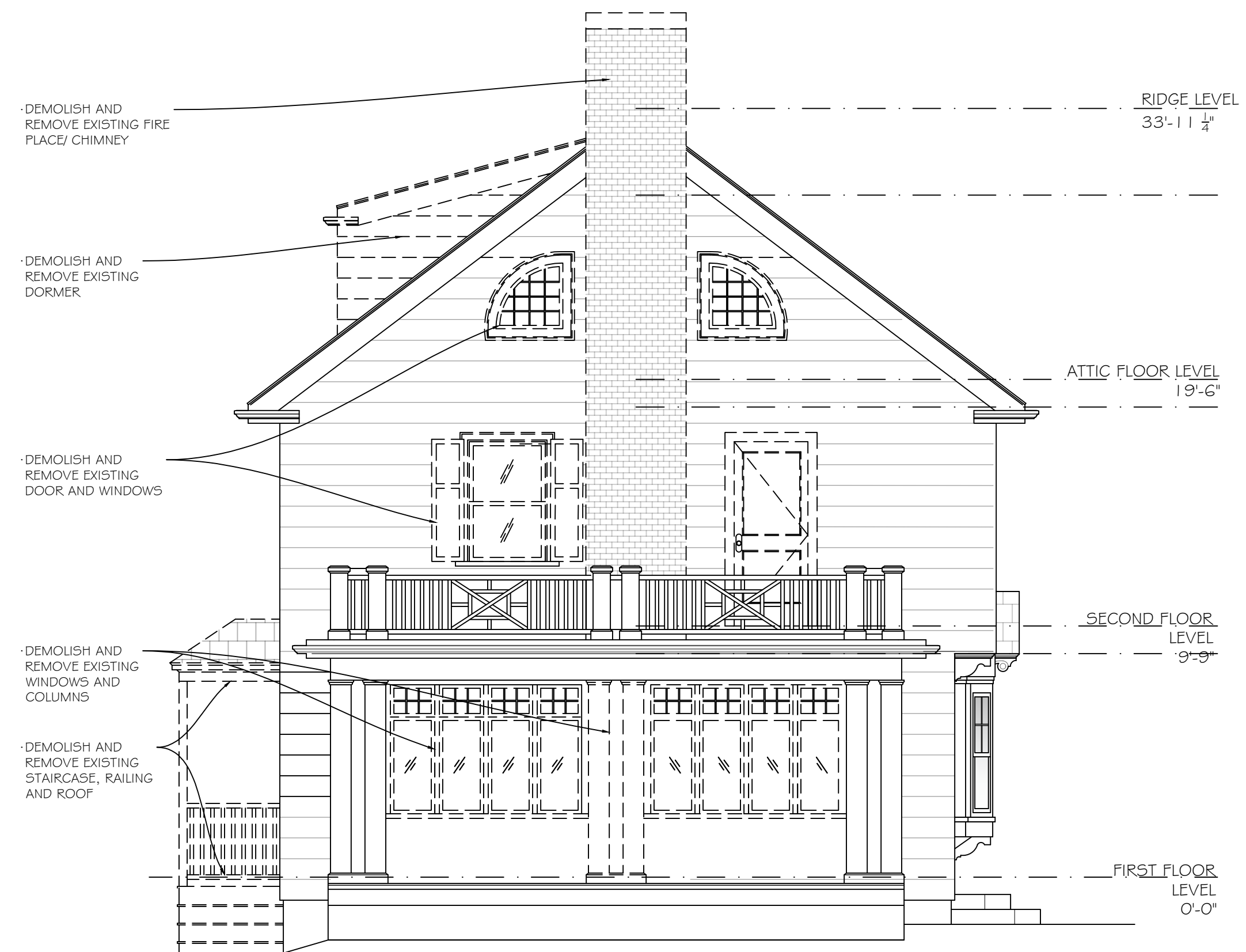
ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



FRONT ELEVATION- DEMOLITION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
FRONT & LEFT ELEVATION
DEMOLITION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

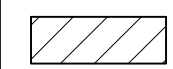
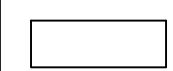


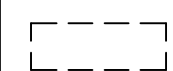
Sheet No.
D-200

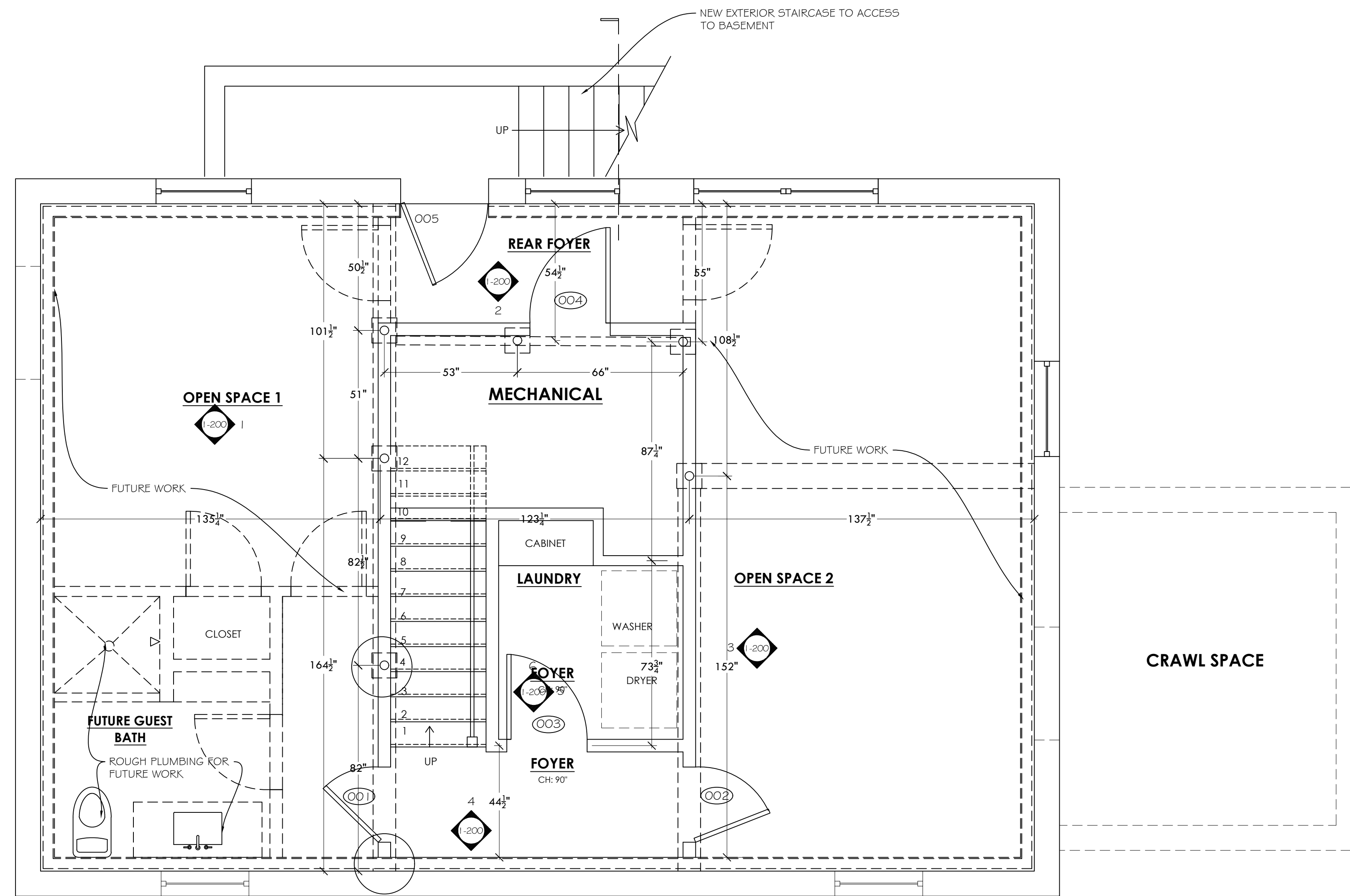
PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework
-  Future work



PROPOSED BASEMENT PLAN
SCALE: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

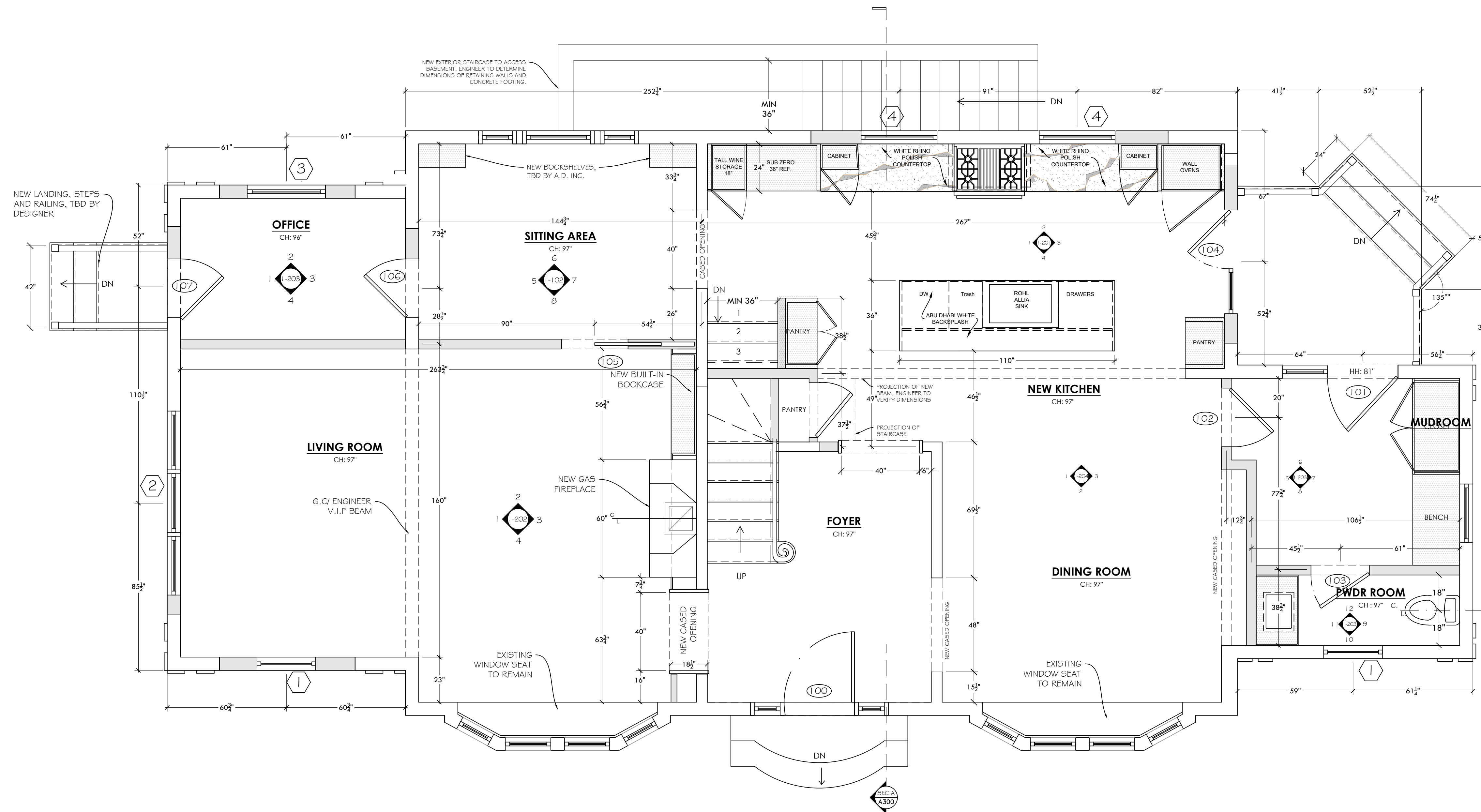
Scale:
3/8" = 1'0"
Drawing Title:
PROPOSED BASEMENT PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-100



PROPOSED FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

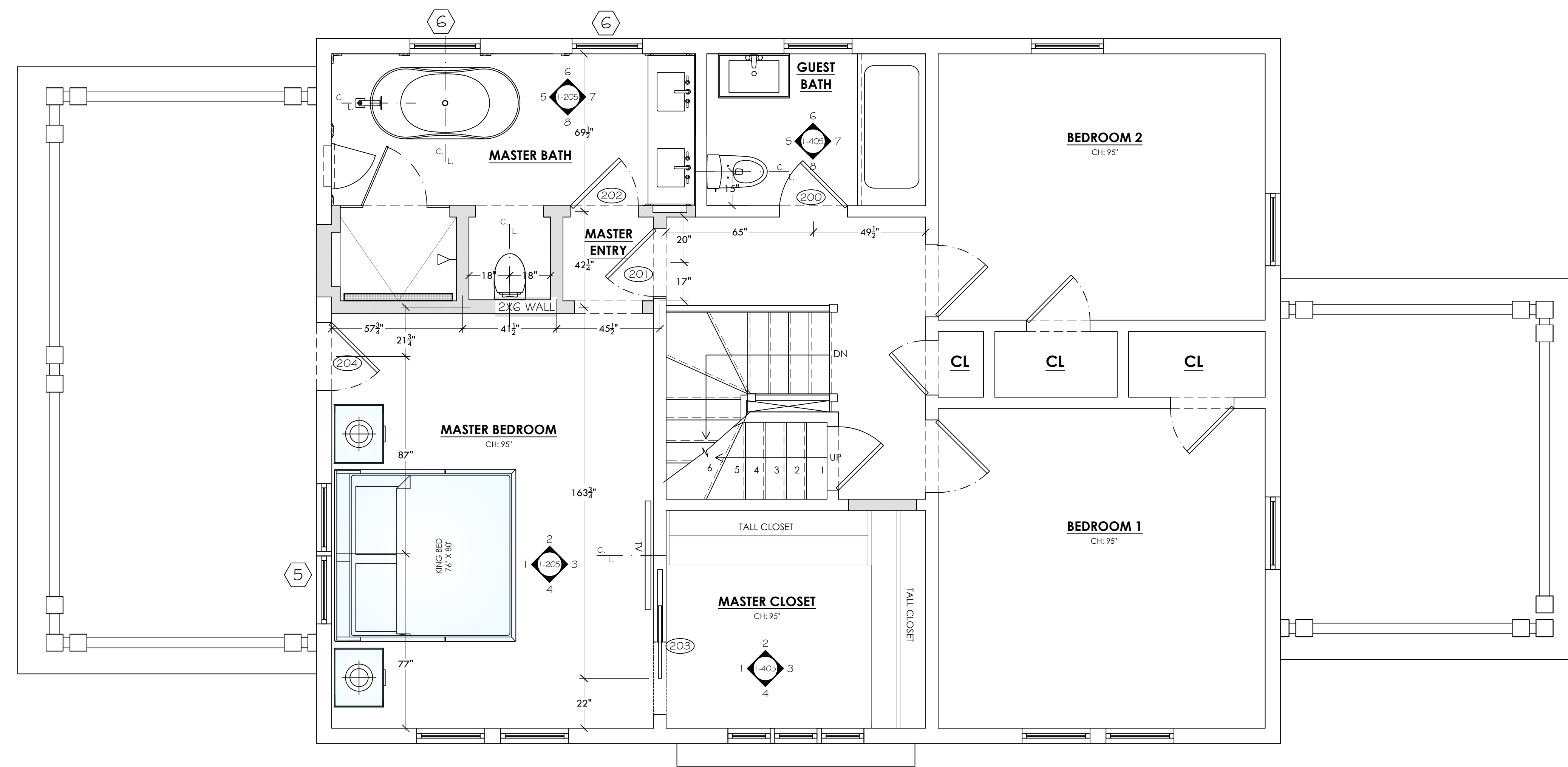
Scale:
3/8" = 1'0"
Drawing Title:
PROPOSED FIRST FLOOR PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-101



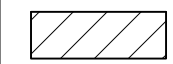
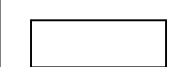


PROPOSED SECOND FLOOR PLAN
 Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'0"

Drawing Title:
 PROPOSED SECOND FLOOR PLAN

Issue Date:
 August 29, 2022

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.

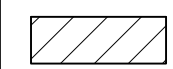
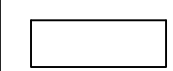


A-102

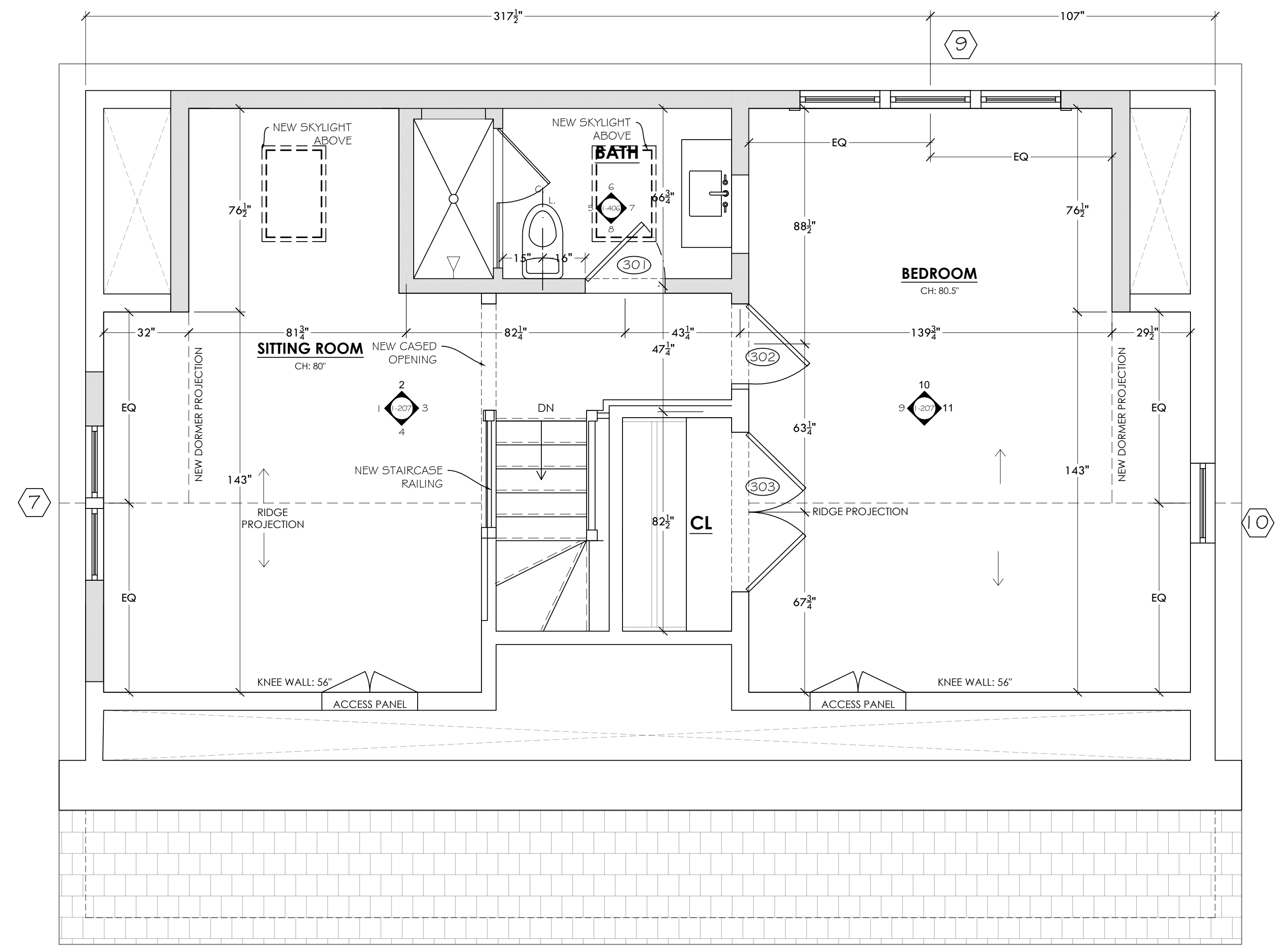
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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



PROPOSED ATTIC PLAN
Scale: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

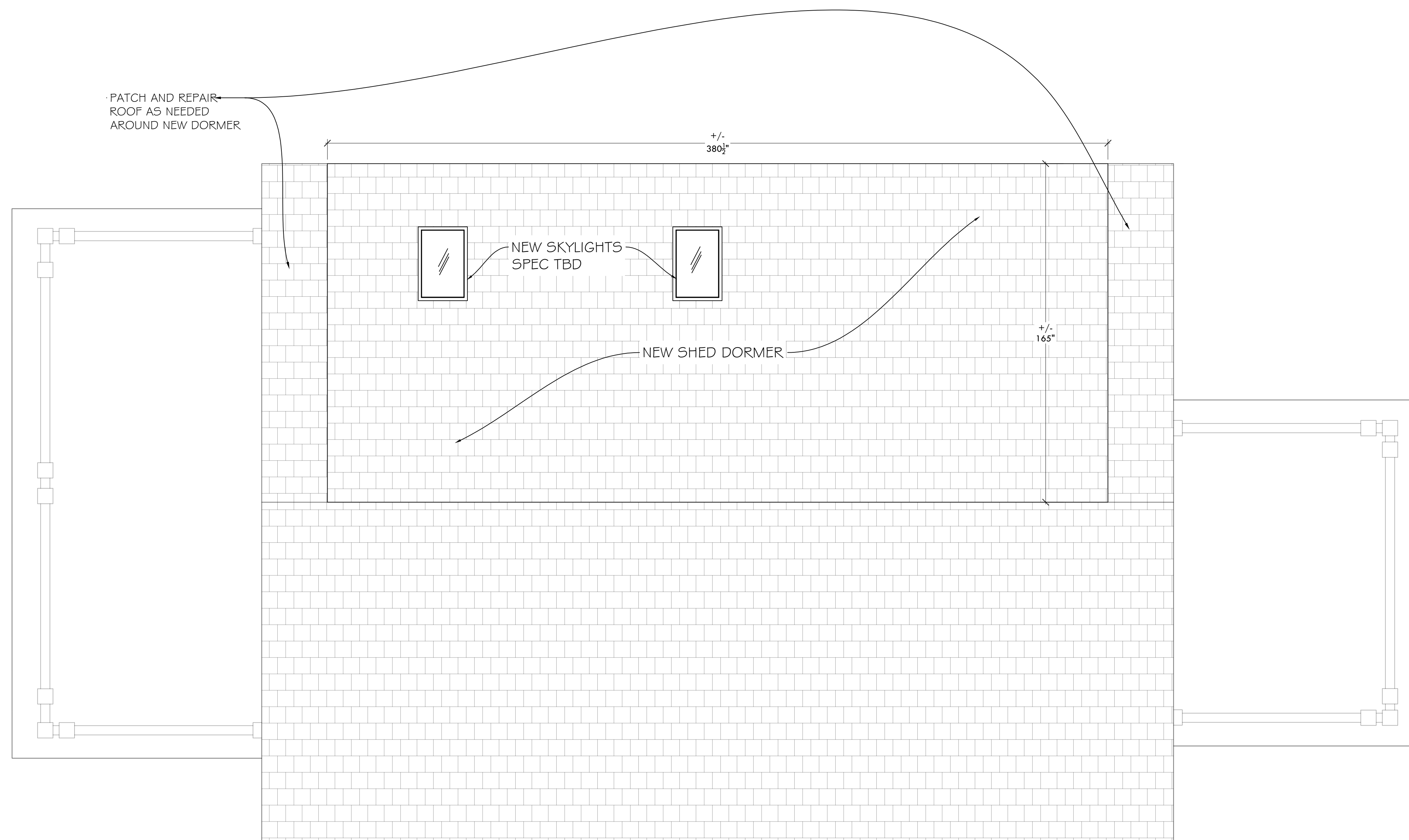
Scale:
3/8" = 1'0"
Drawing Title:
PROPOSED ATTIC PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-103



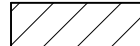
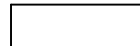


ROOF - PROPOSED PLAN
Scale: 3/8" = 1'-0"

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'0"

Drawing Title:
PROPOSED ROOF PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-104



PROPOSED FRONT ELEVATION
Scale: 3/8" = 1'-0"



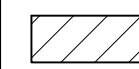
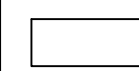


PROPOSED LEFT ELEVATION
Scale: 1/4" = 1'-0"

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
PROPOSED FRONT & LEFT
ELEVATION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

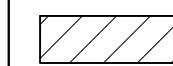
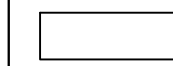


Sheet No.
A-200

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
PROPOSED REAR & RIGHT
ELEVATION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-201

Page No. 14 of 33

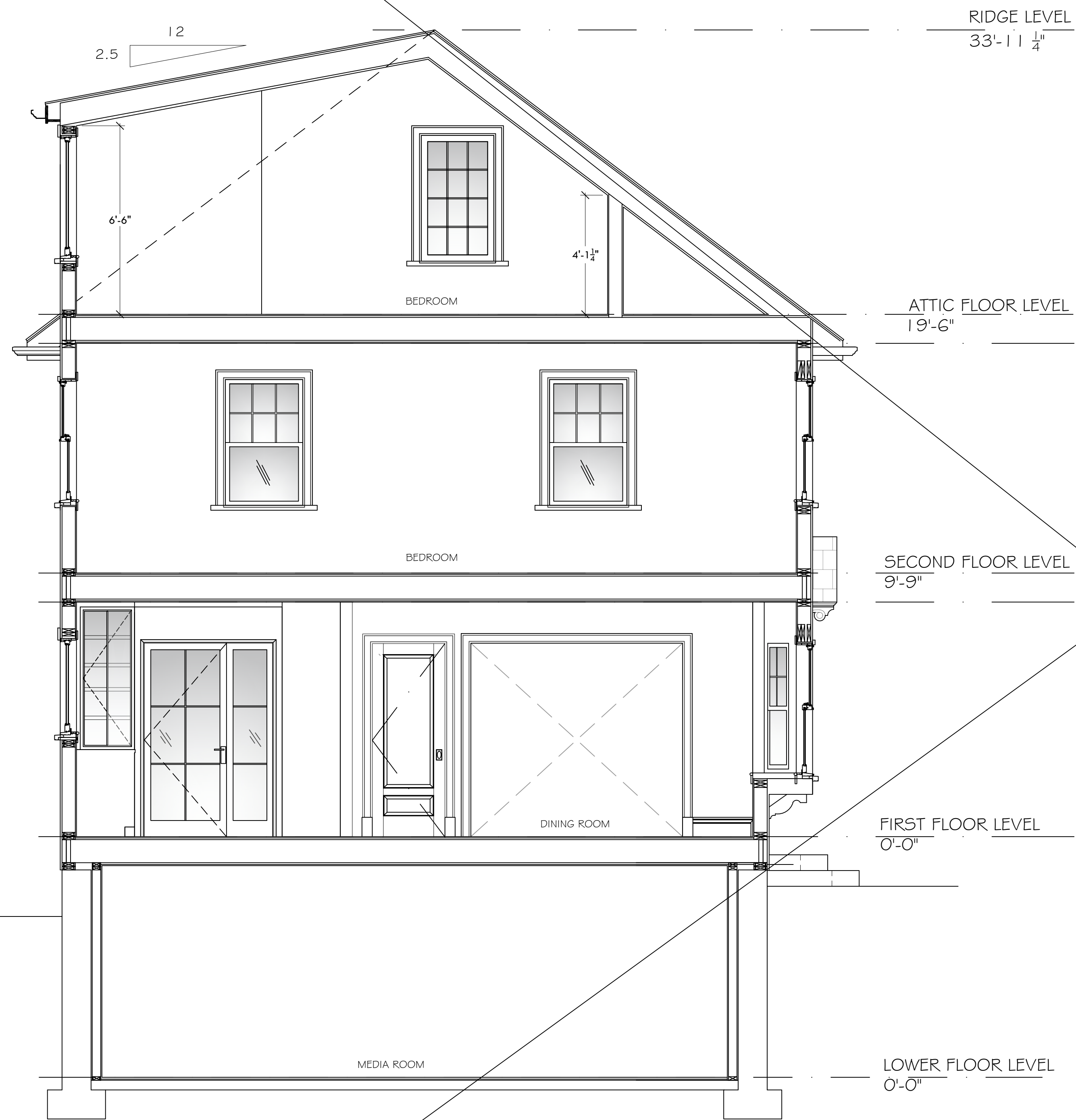


PROPOSED REAR ELEVATION DEMOLITION
Scale: 1/4" = 1'-0"

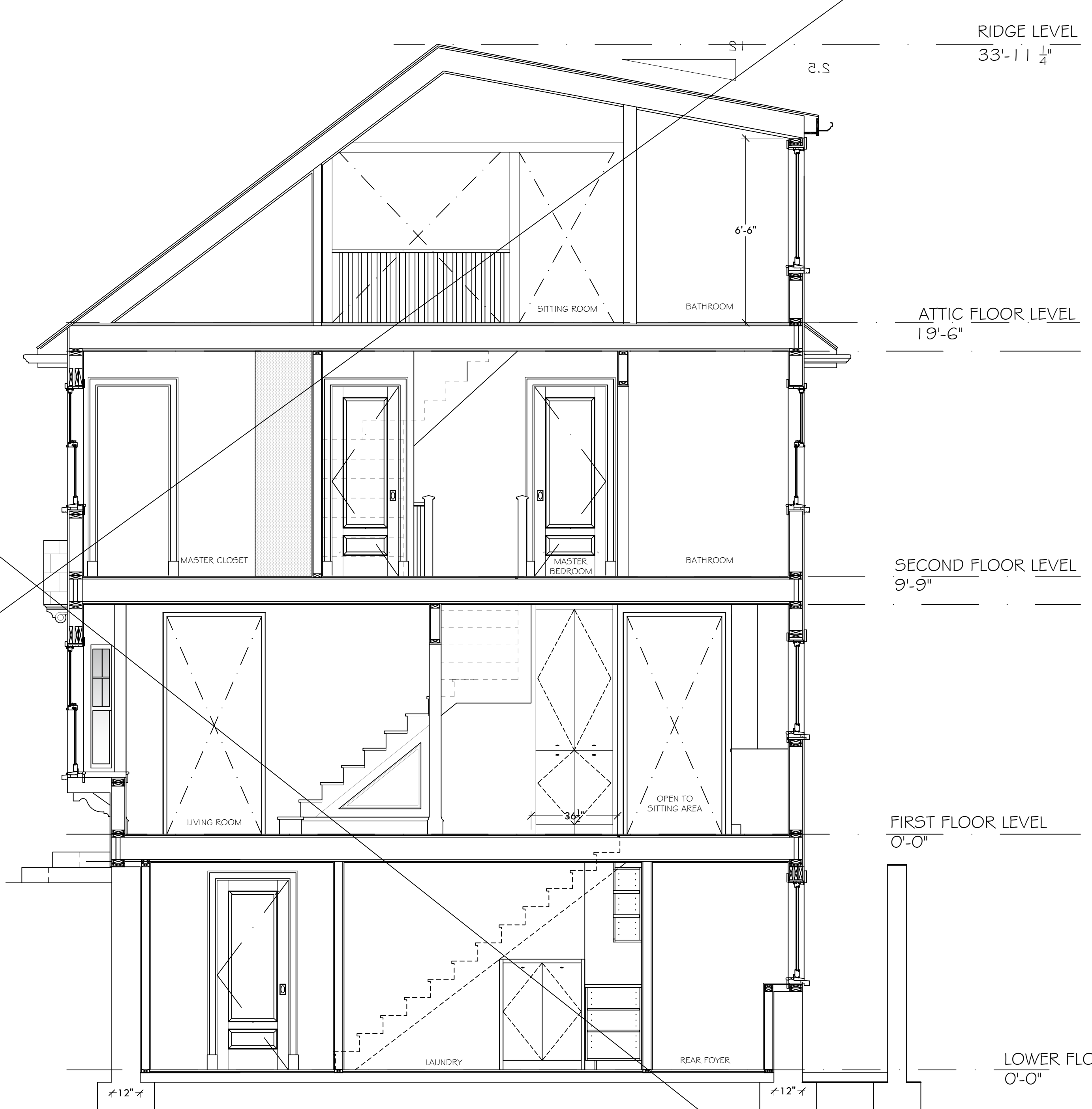


PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"

UPDATE TO FOLLOW



SECTION 1
Scale: 3/8" = 1'-0"



SECTION 2
Scale: 3/8" = 1'-0"

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
BUILDING SECTIONS

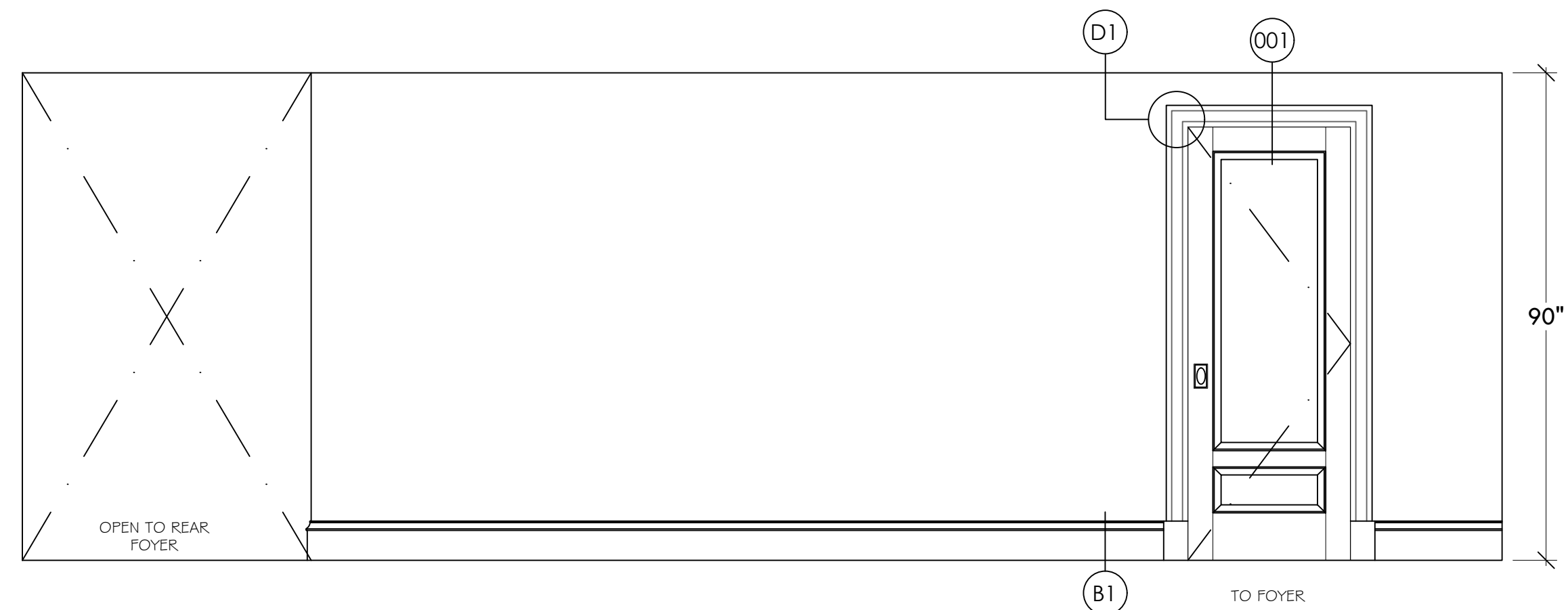
Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

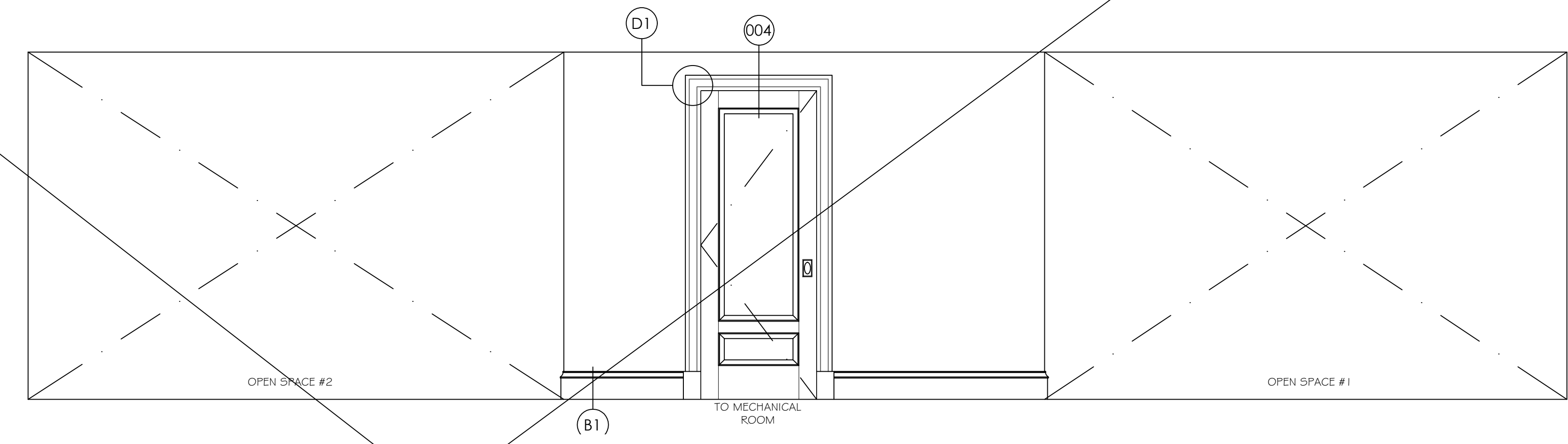
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

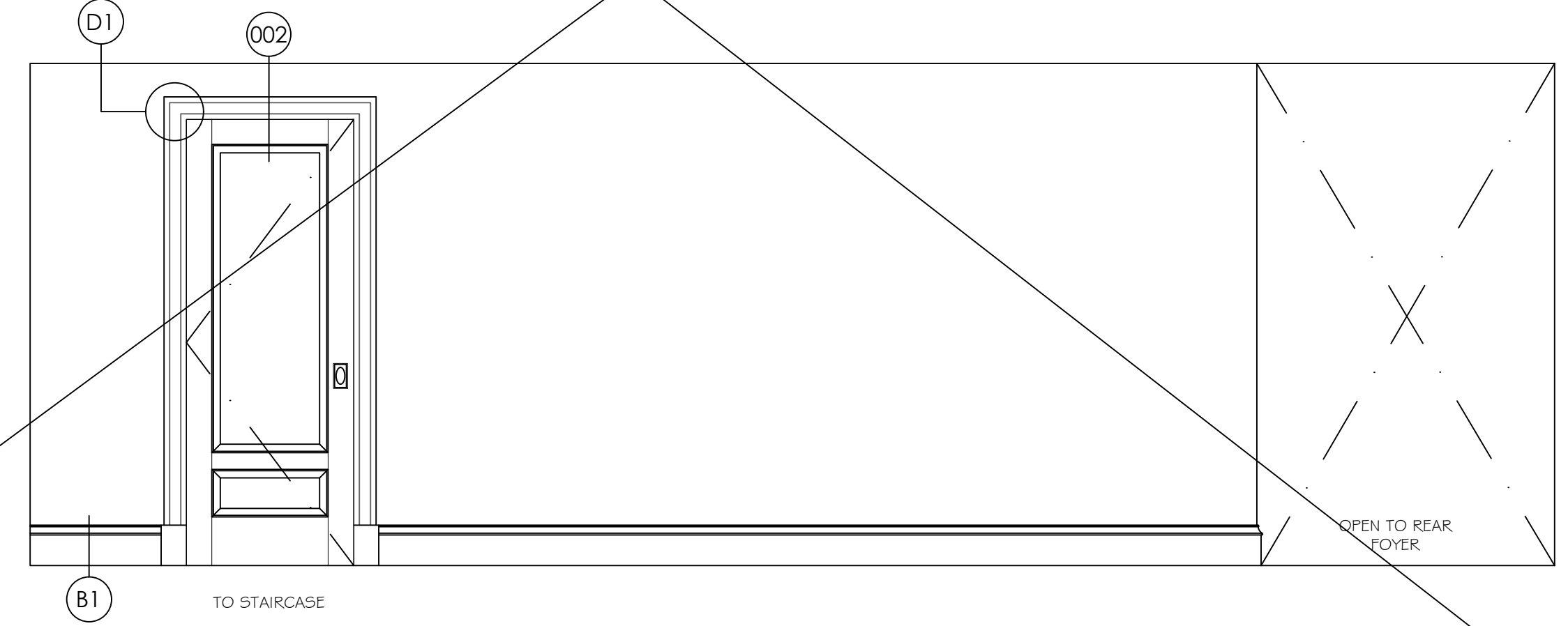
A-300



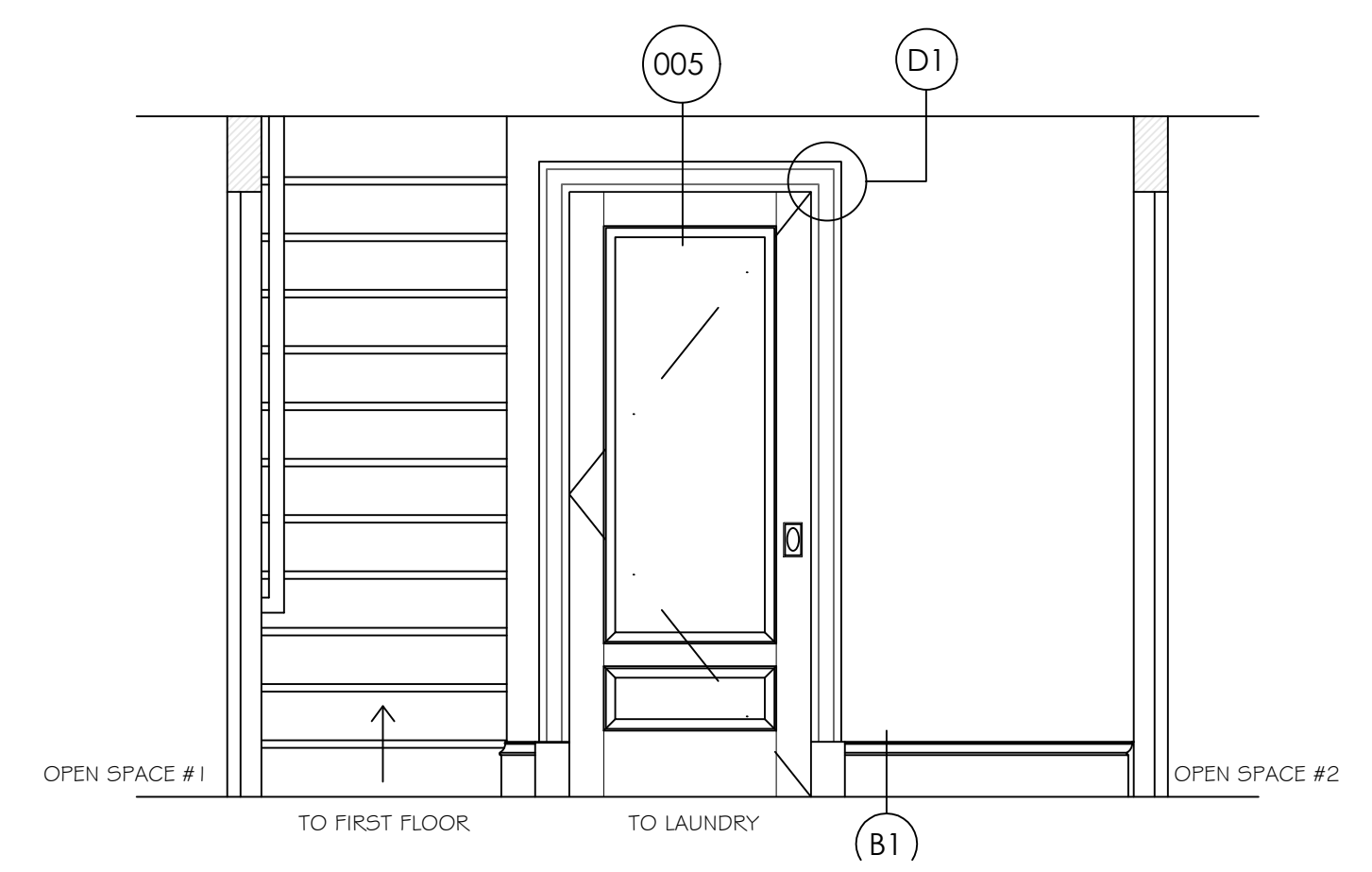
1 OPEN SPACE 1
Scale: 1/2" = 1'-0"



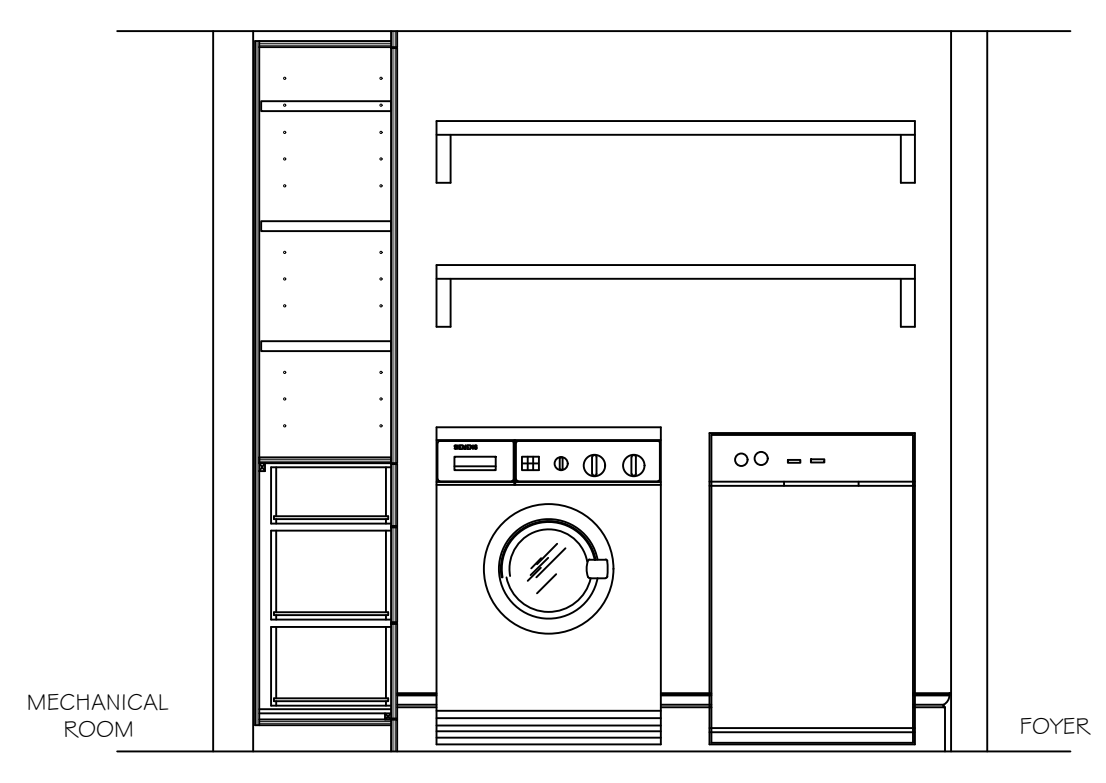
2 REAR FOYER
Scale: 1/2" = 1'-0"



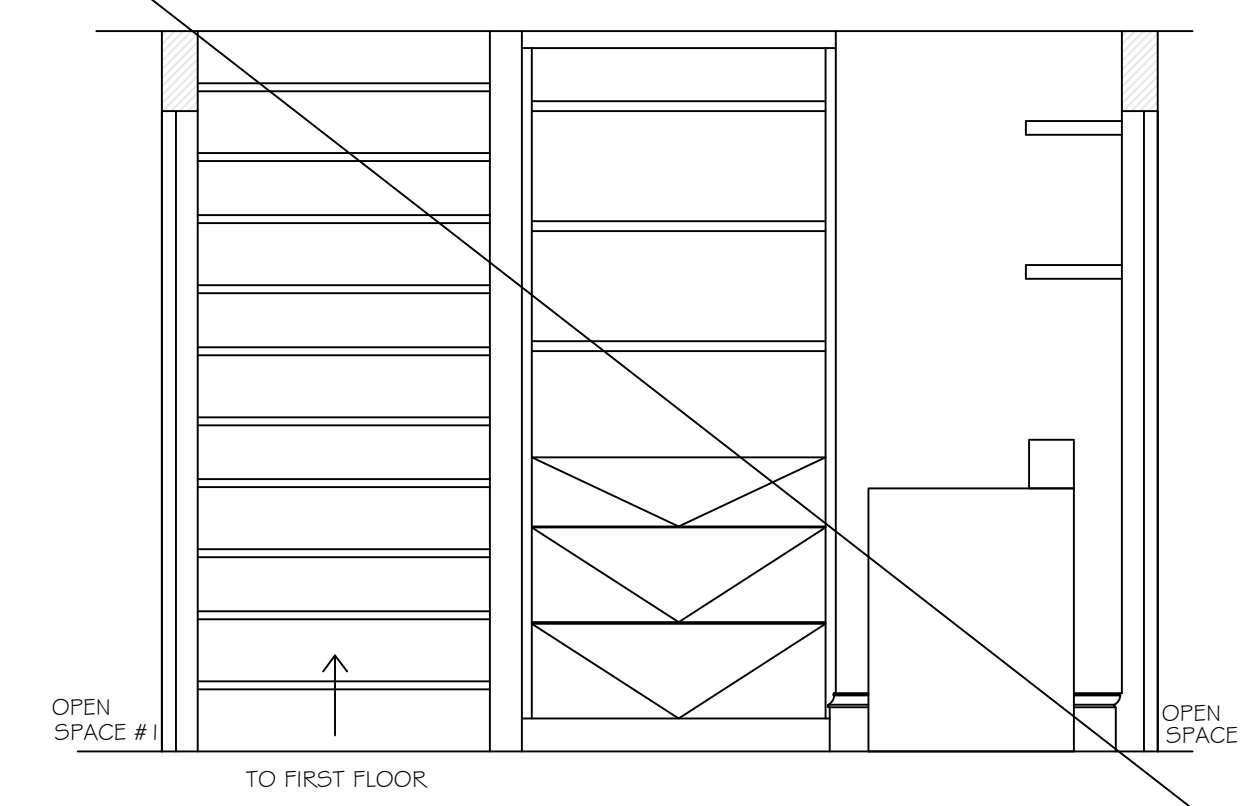
3 OPEN SPACE 2
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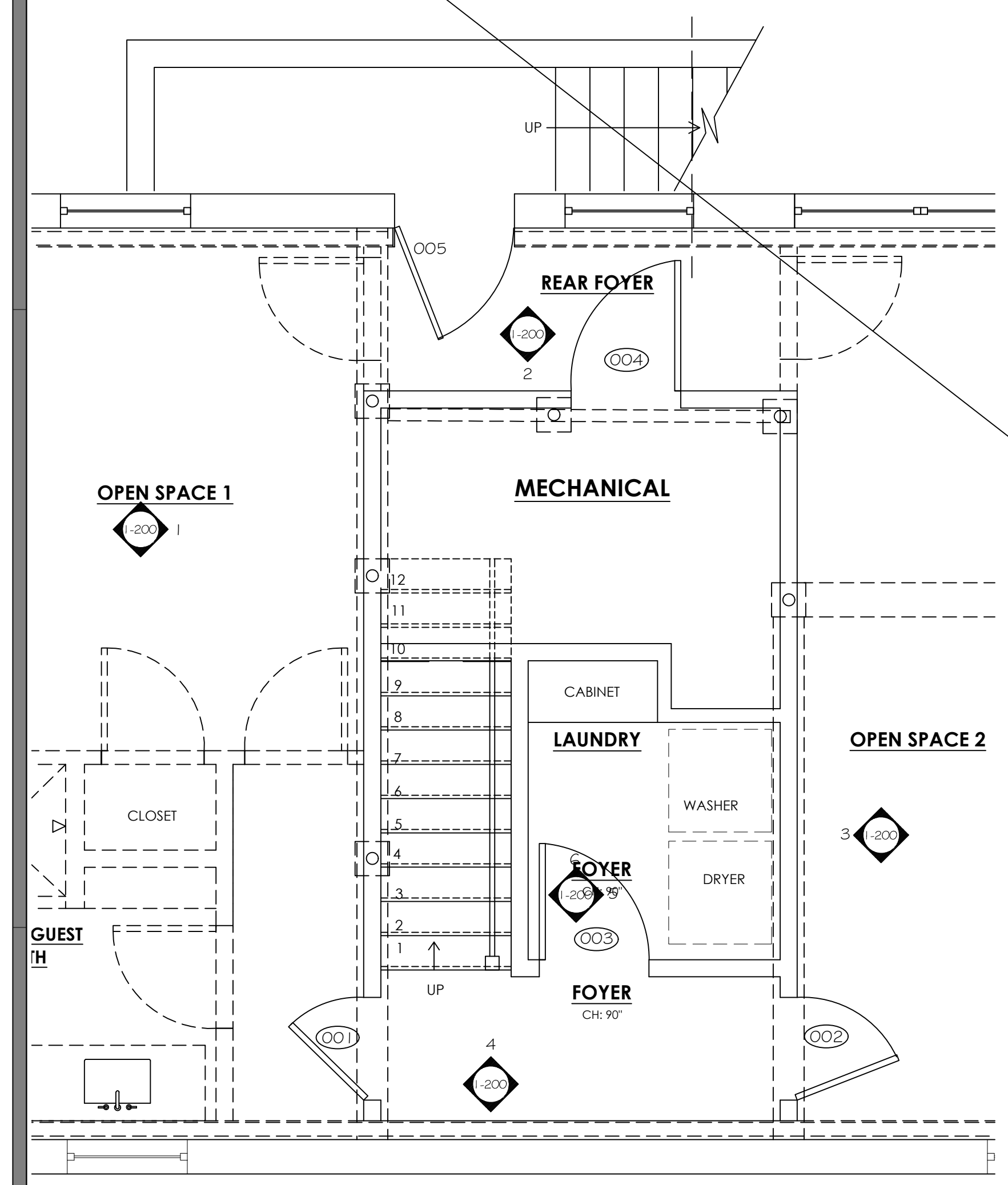
4 FOYER
Scale: 1/2" = 1'-0"



5 LAUNDRY ROOM
Scale: 1/2" = 1'-0"



6 LAUNDRY ROOM
Scale: 1/2" = 1'-0"



PARTIAL BASEMENT PLAN
Scale: 3/8" = 1'-0"

UPDATE TO FOLLOW

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

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ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER		DATE	
Susana		03232022	
J. Sousa		05012022	
J. Sousa		08182022	
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

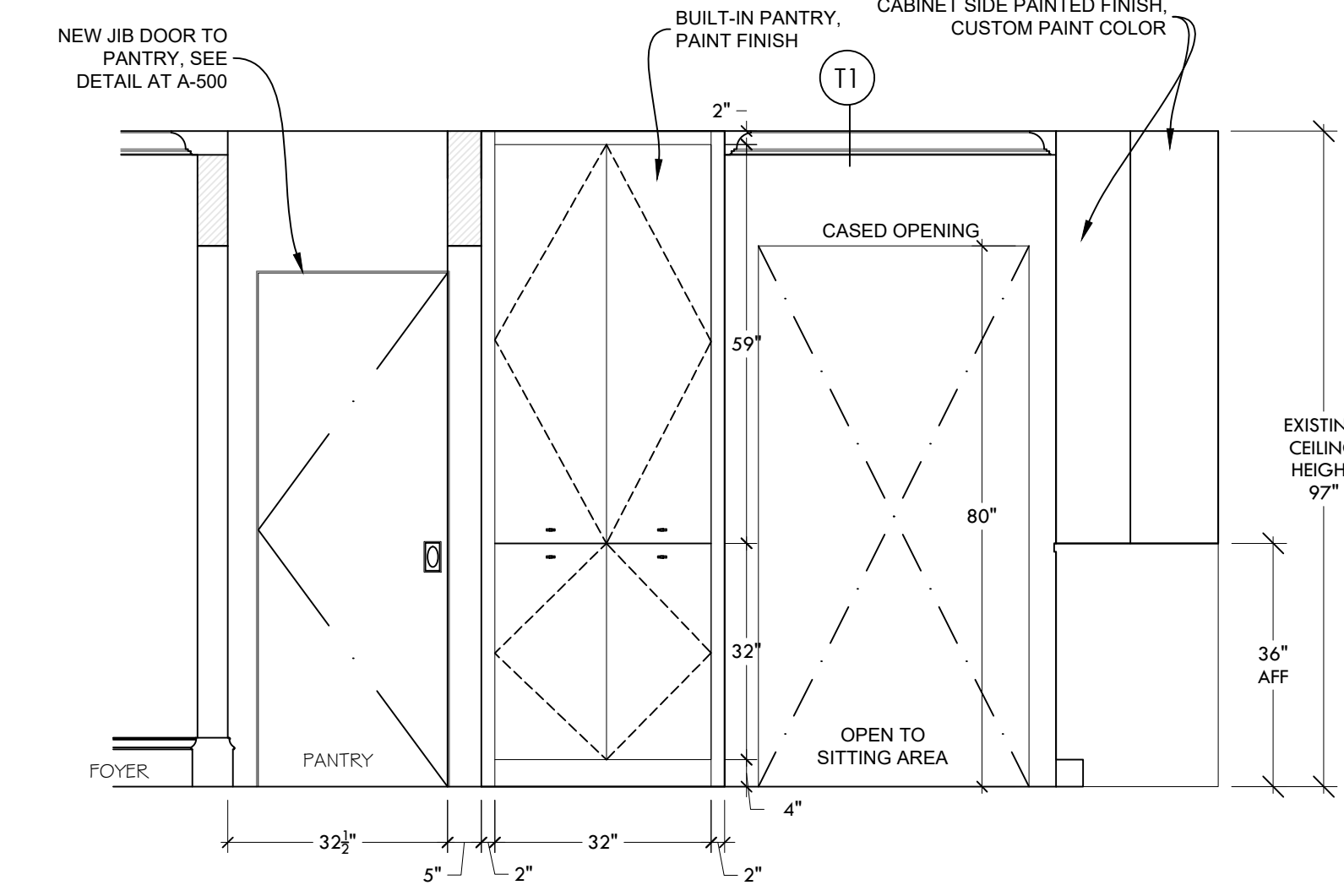
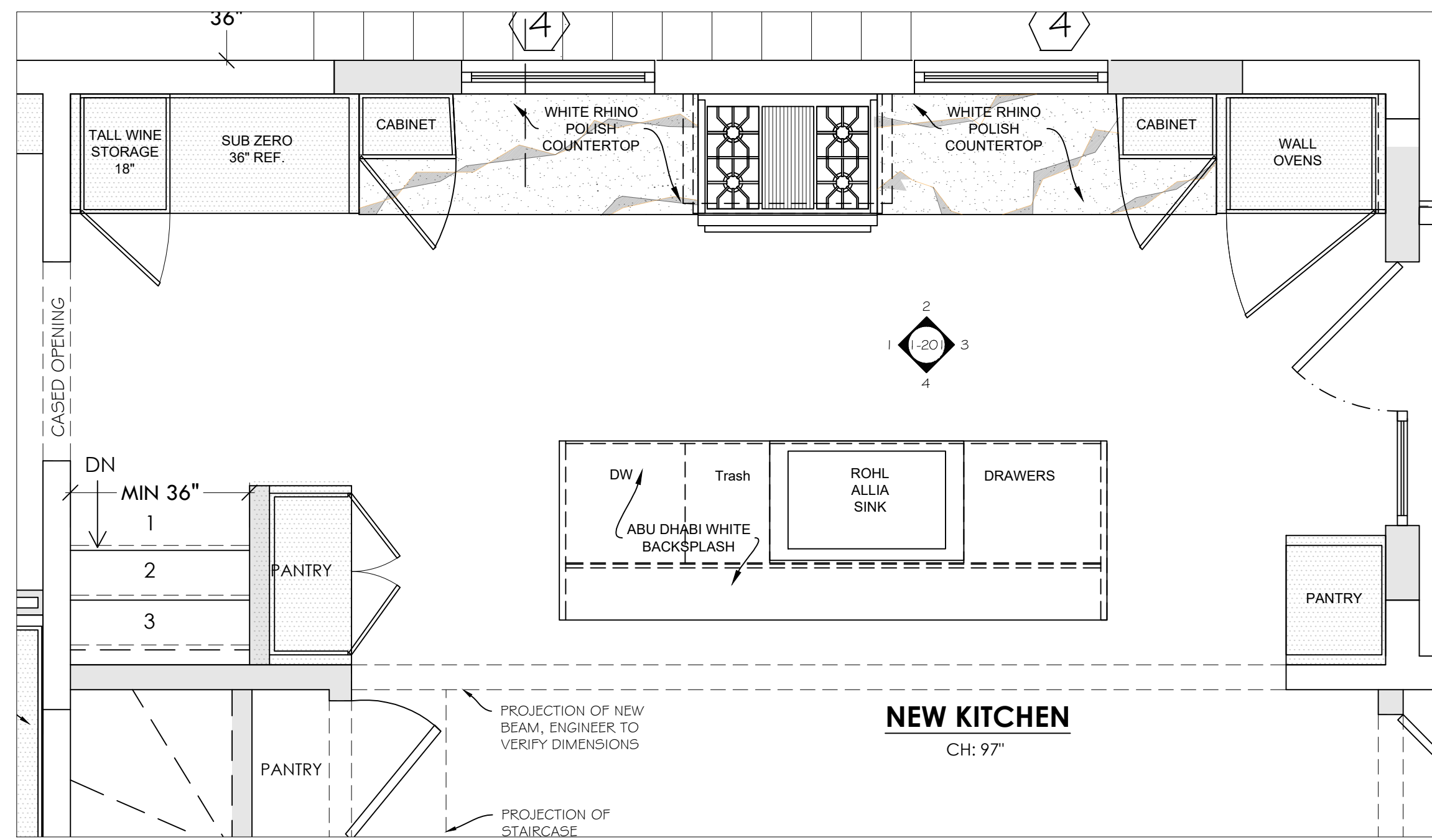
Scale:
As Noted
Drawing Title:
BASEMENT-INTERIOR
ELEVATIONS

Issue Date:
DATE August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

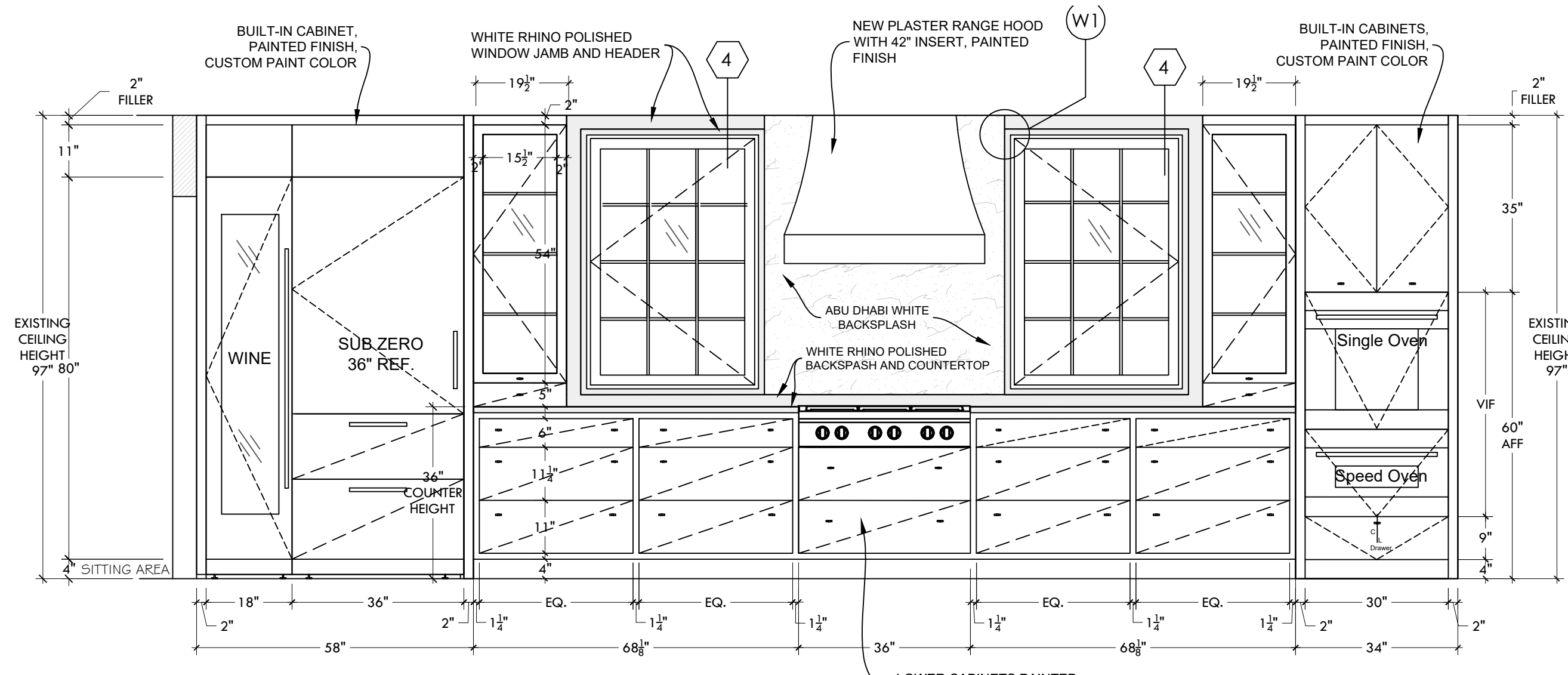
143 HURON AVENUE, CAMBRIDGE, MA 02138
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Page No. 16 of 33

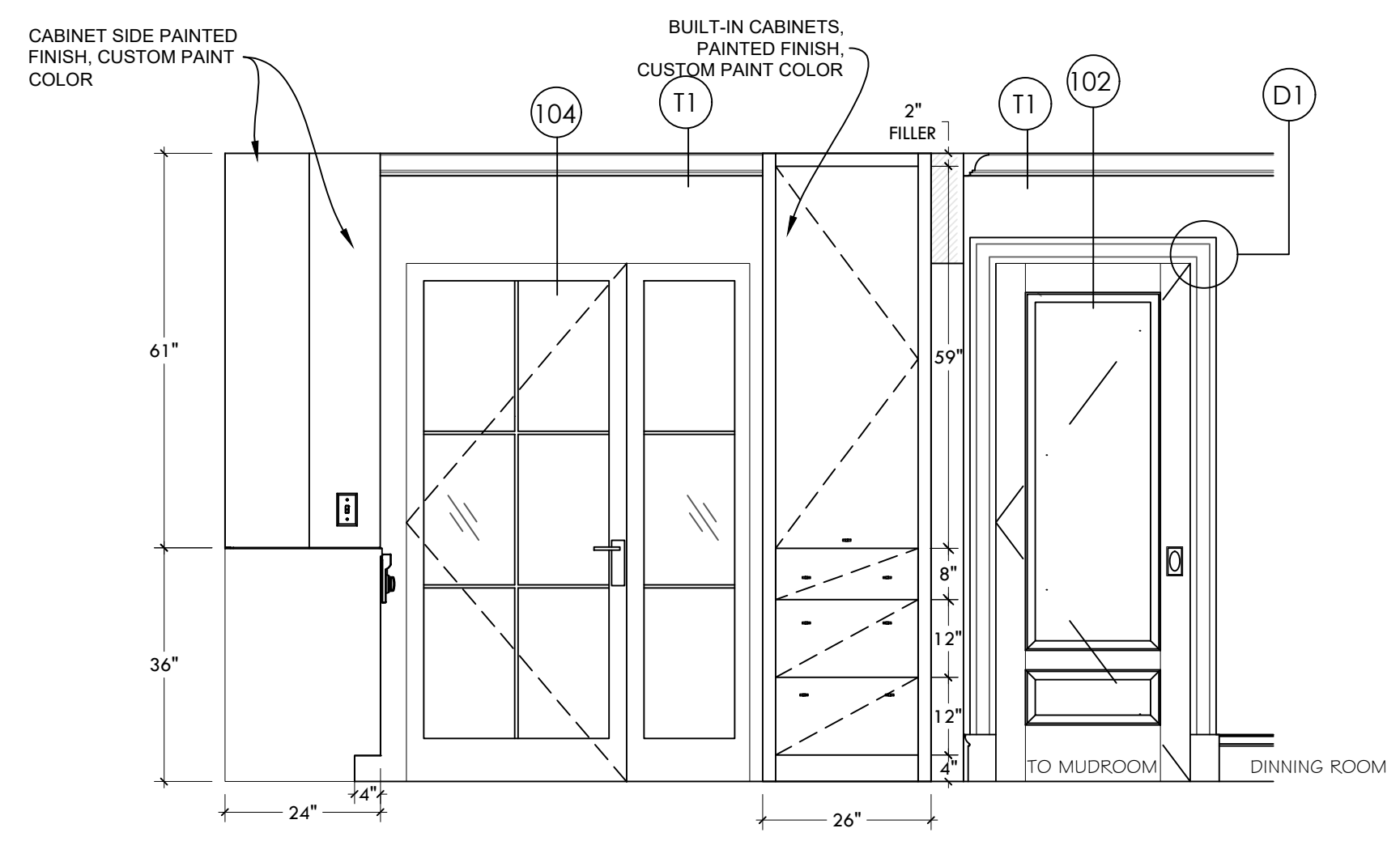


1 KITCHEN
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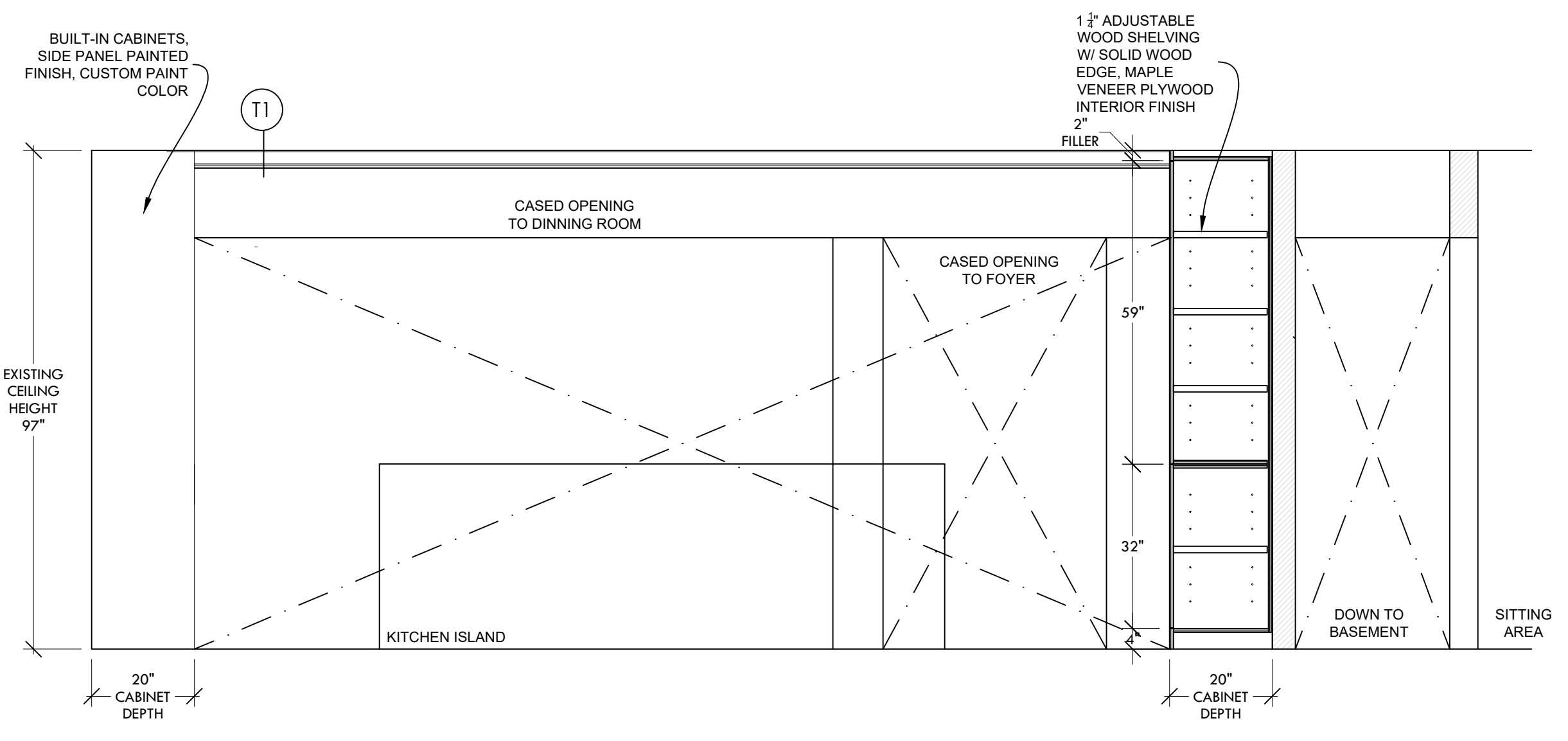
KITCHEN PLAN
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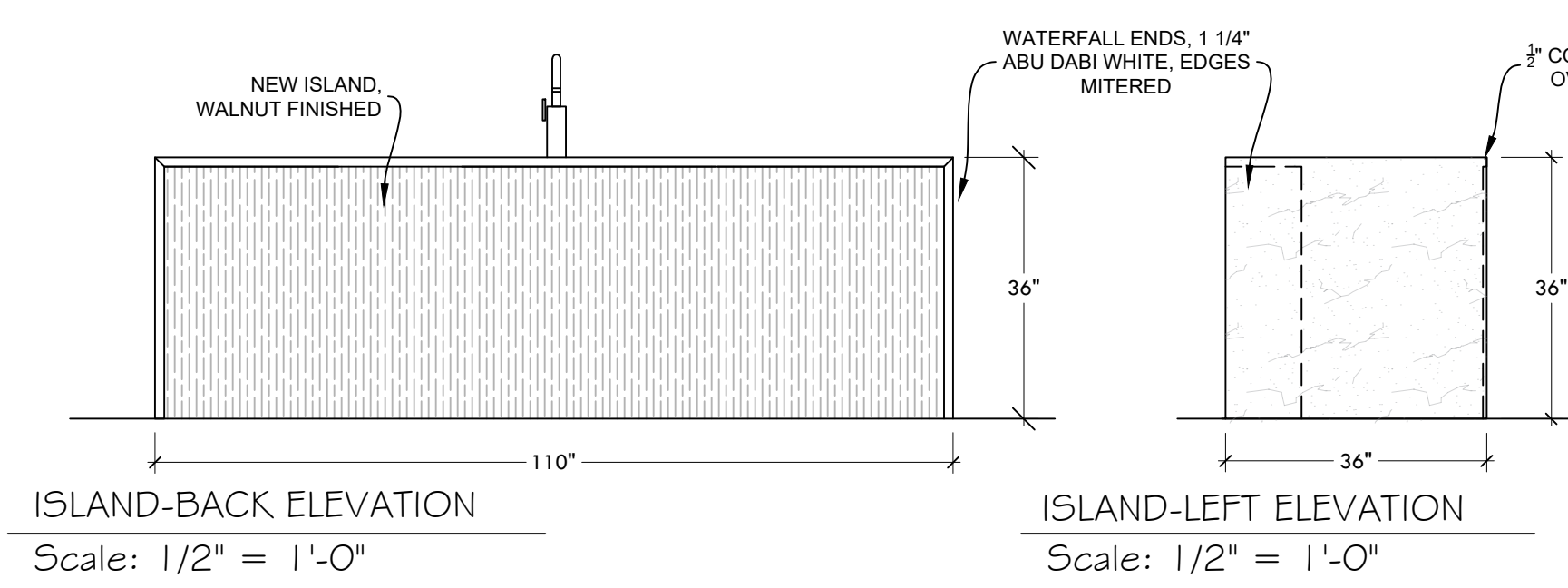
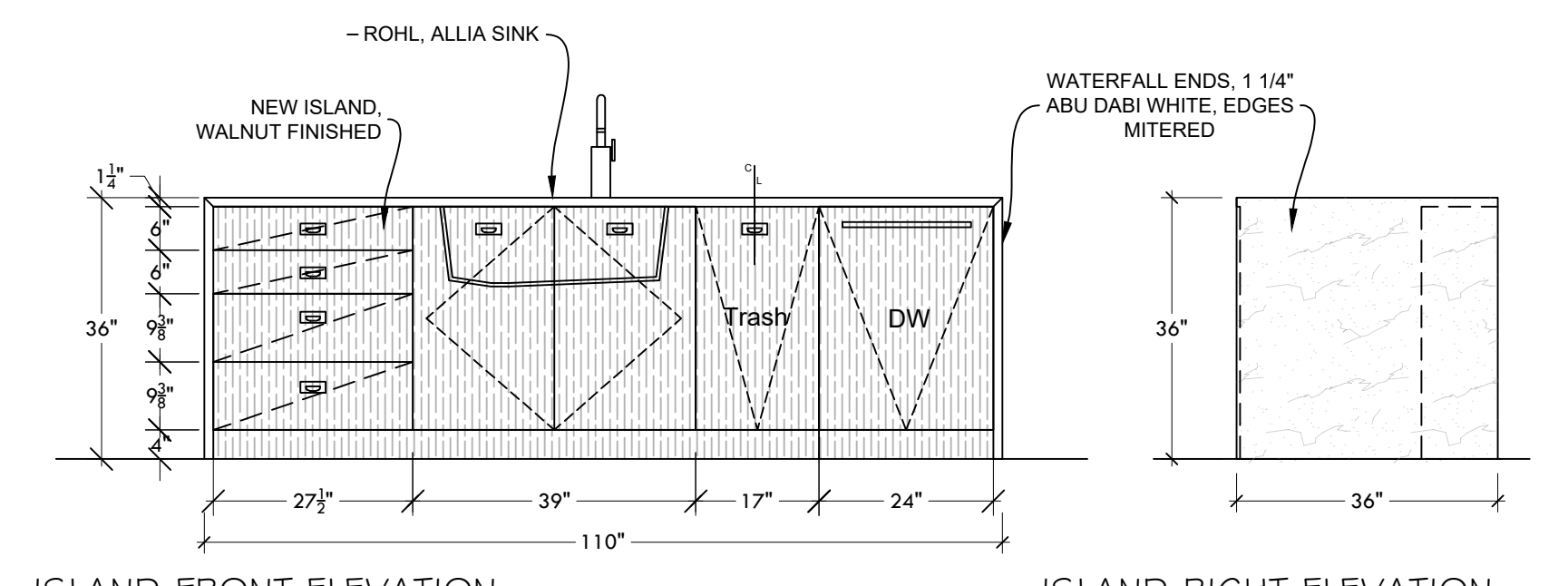
2 KITCHEN
Scale: 1/2" = 1'-0"



3 KITCHEN
Scale: 1/2" = 1'-0"



4 KITCHEN
Scale: 1/2" = 1'-0"



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NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/2" = 1'-0"

Drawing Title:
KITCHEN- INTERIOR ELEVATIONS

Issue Date:
DATE August 29, 2022

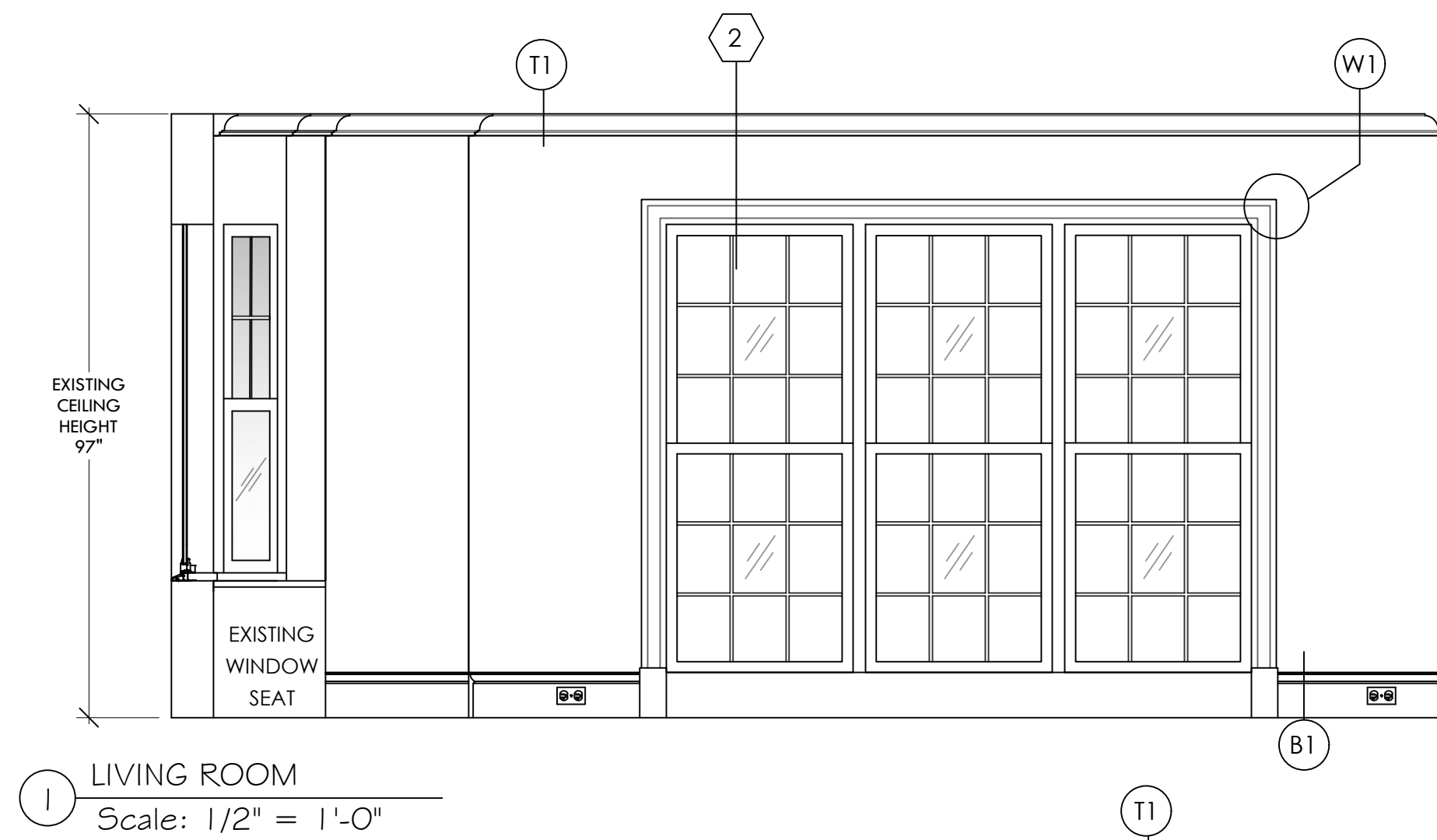
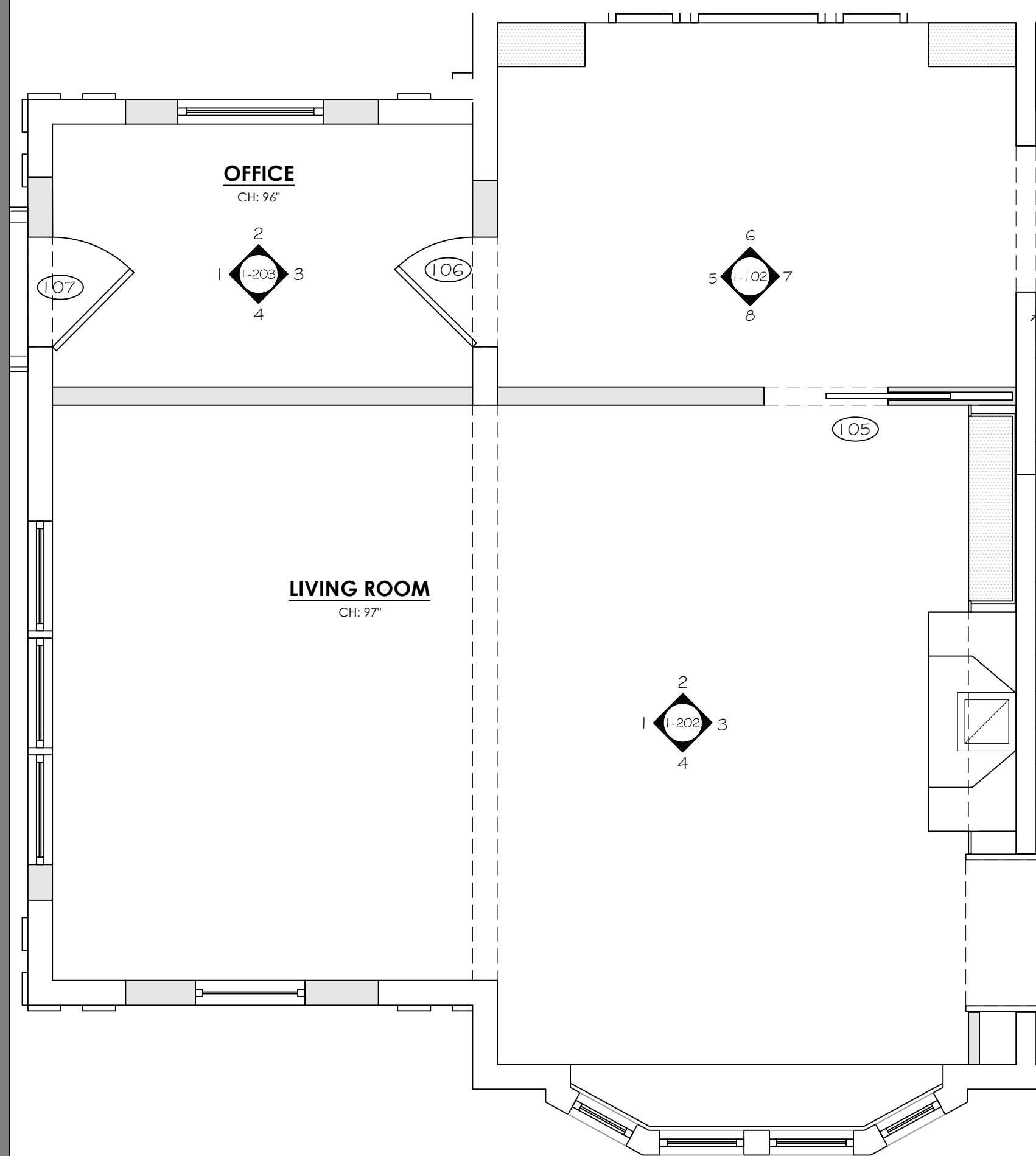
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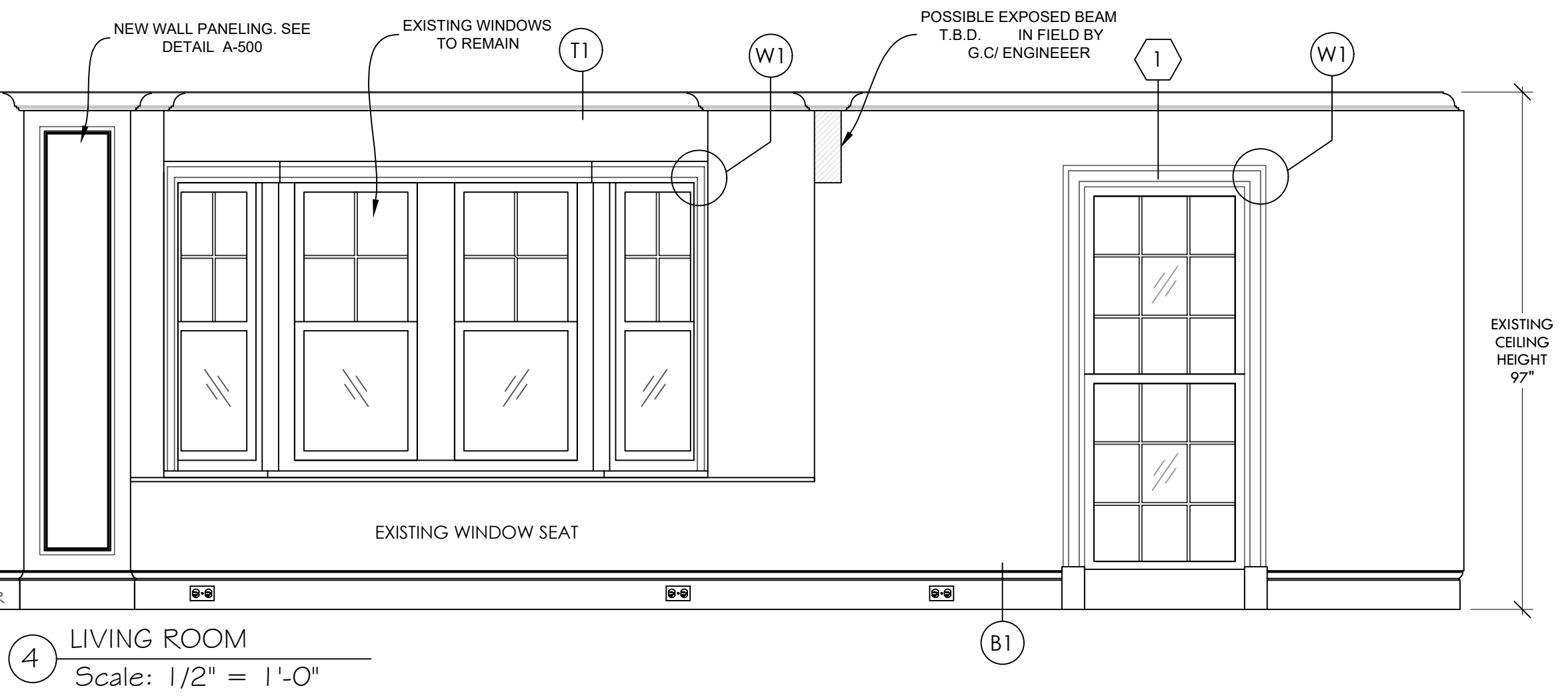
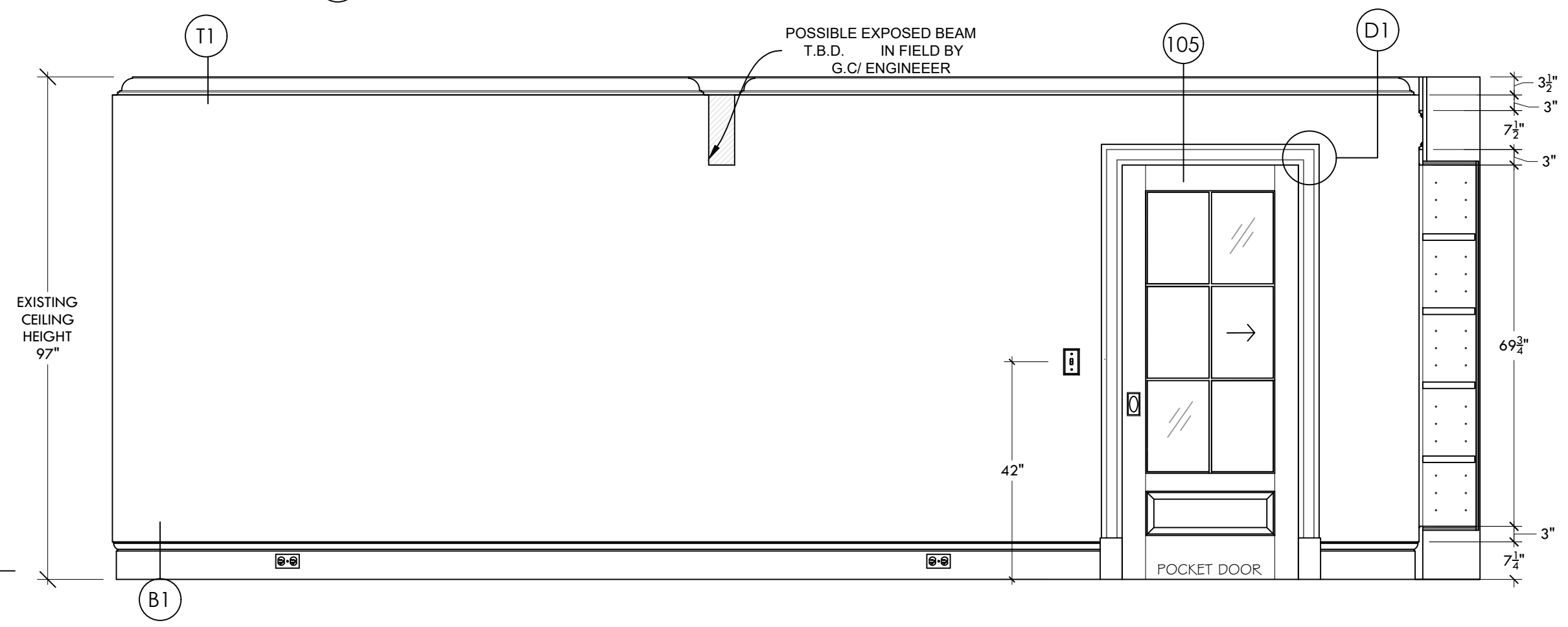
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I-201

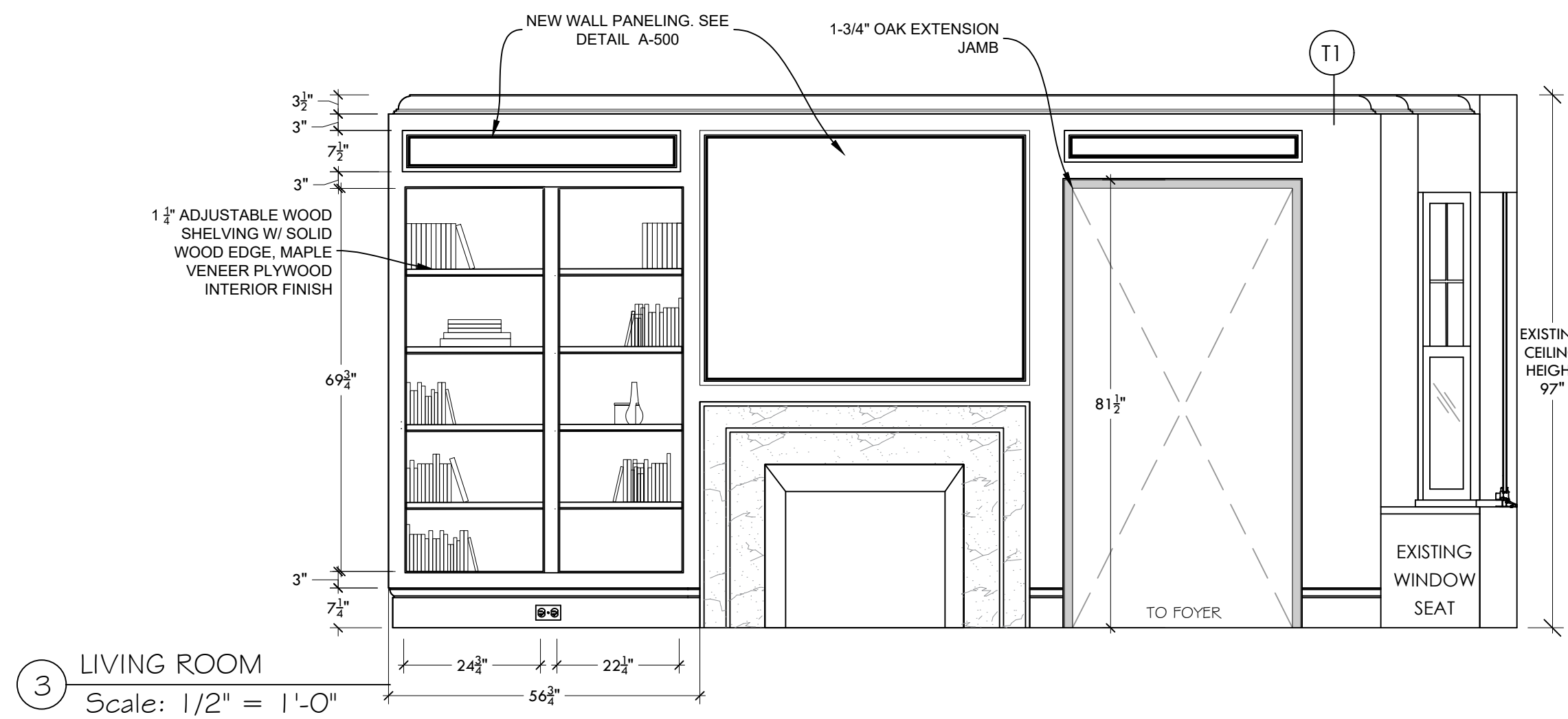
Page No. 17 of 33



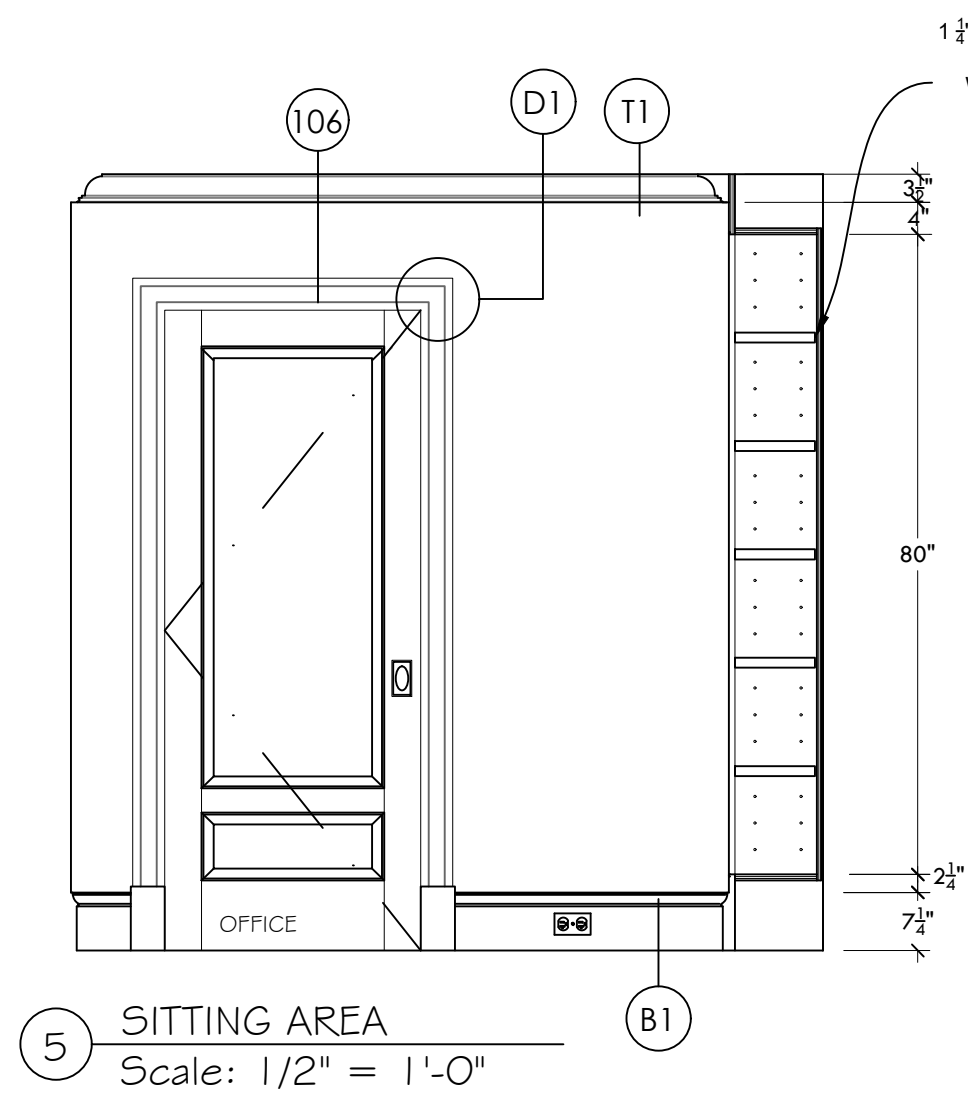
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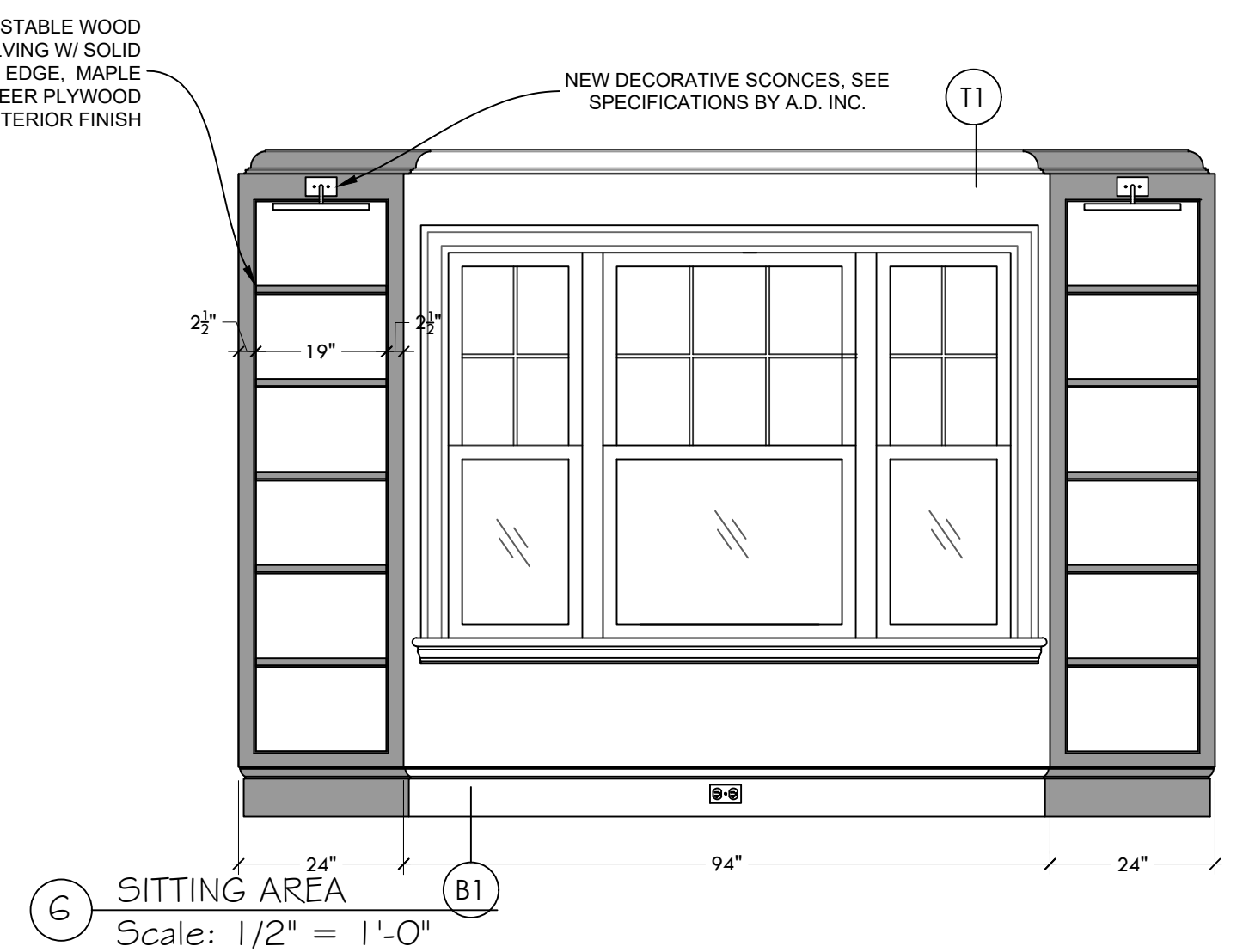
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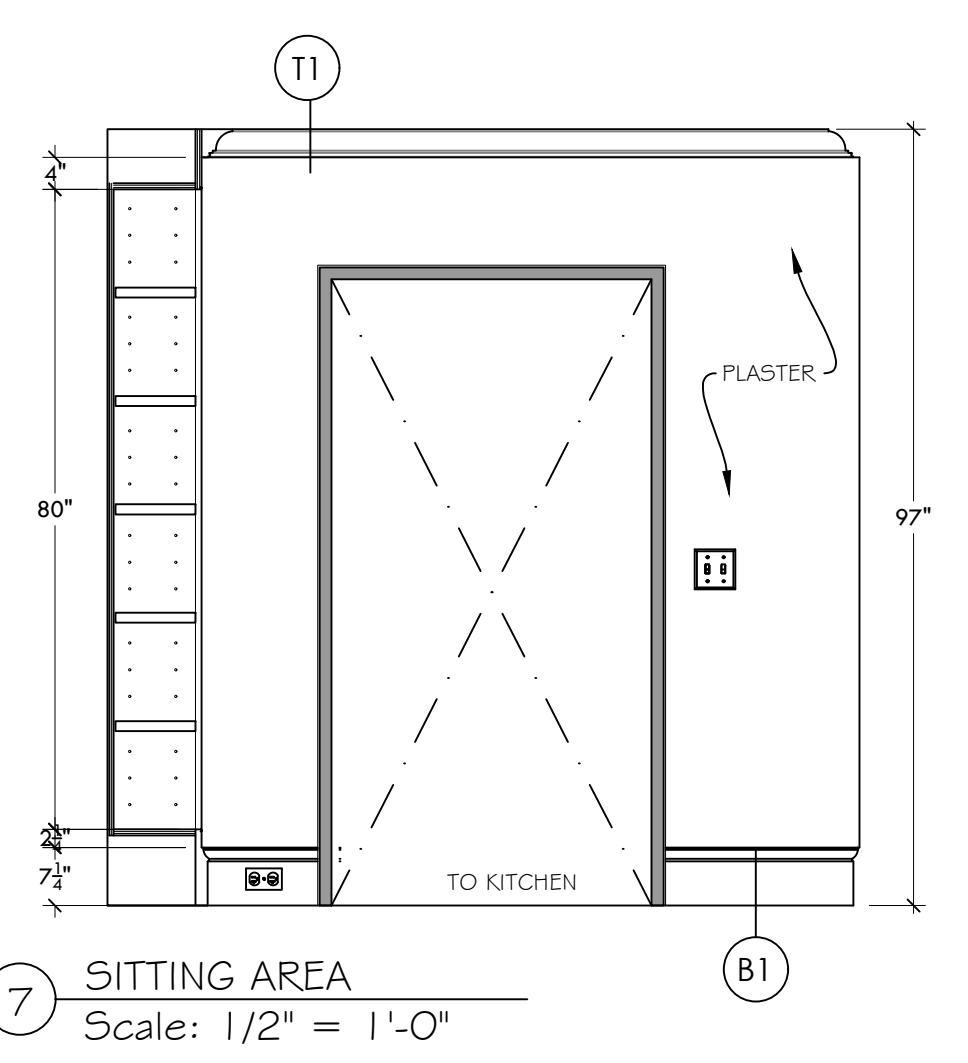
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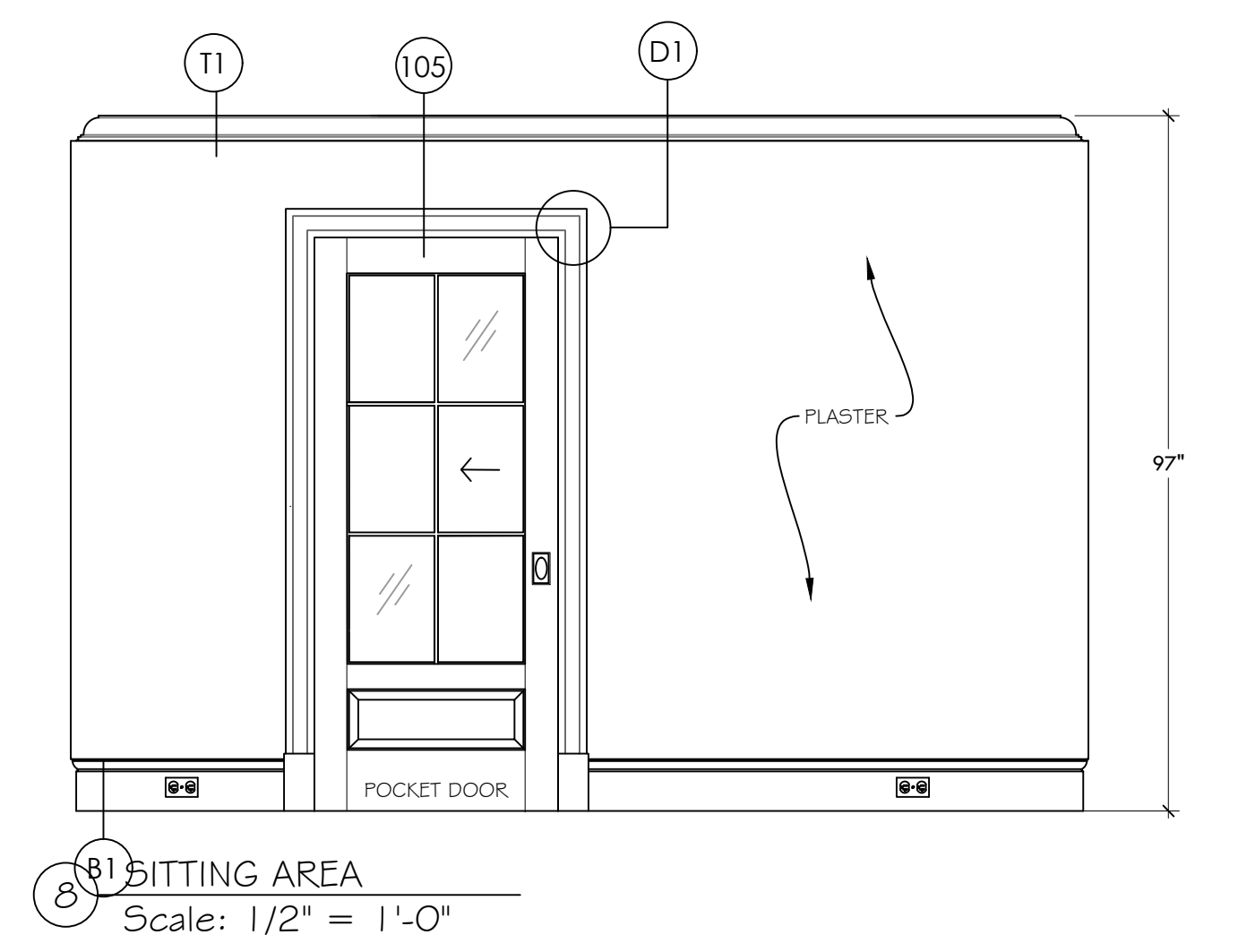
5 SITTING AREA
Scale: 1/2" = 1'-0"



6 SITTING AREA
Scale: 1/2" = 1'-0"



7 SITTING AREA
Scale: 1/2" = 1'-0"



8 SITTING AREA
Scale: 1/2" = 1'-0"

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LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAYVA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted

Drawing Title:
FIRST FLOOR- INTERIOR ELEVATIONS

Issue Date:
DATE August 29, 2022

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Sheet No.

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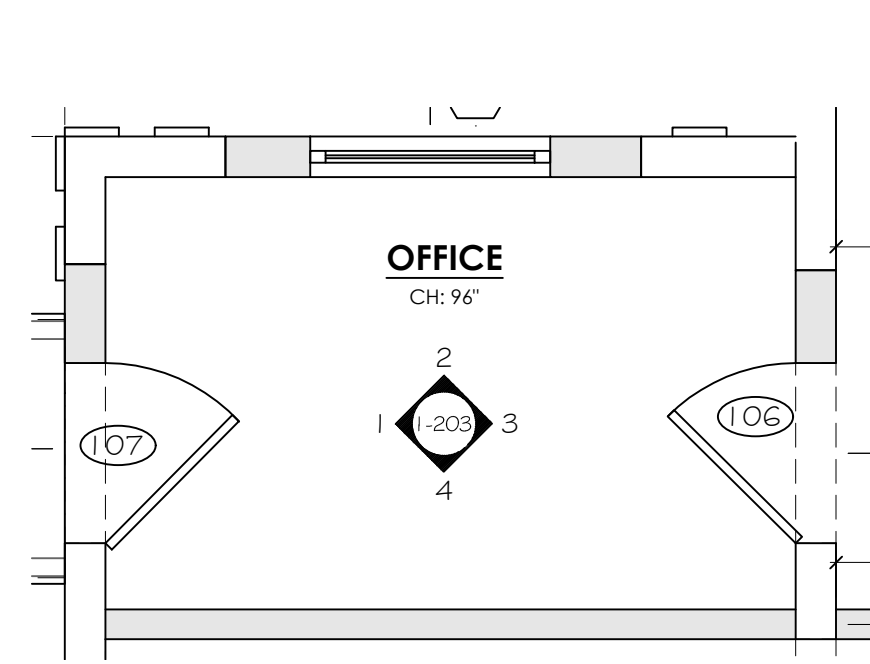
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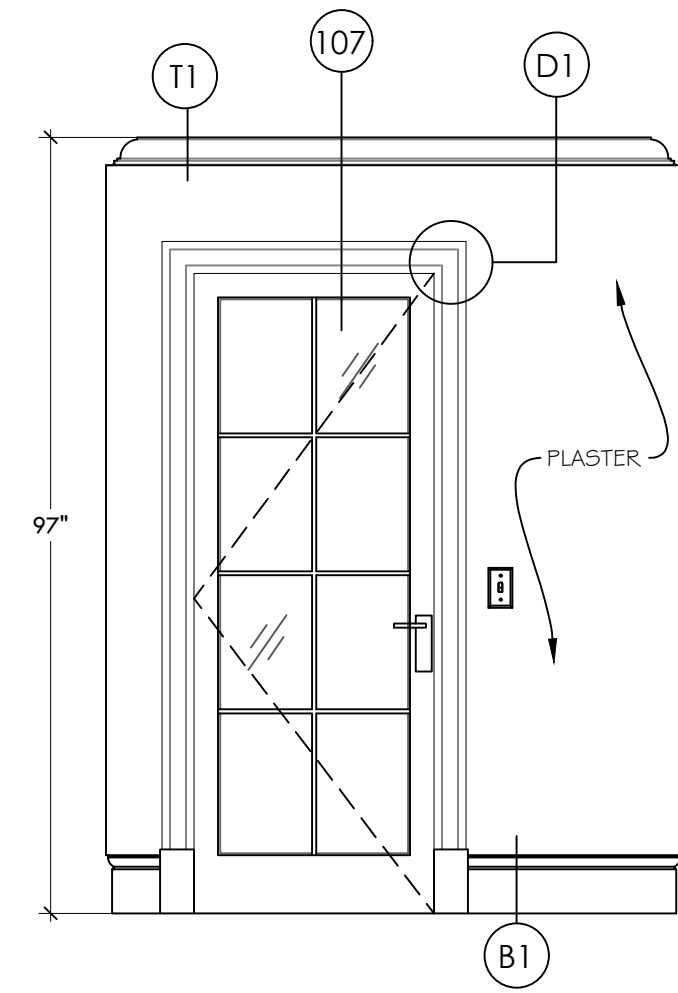
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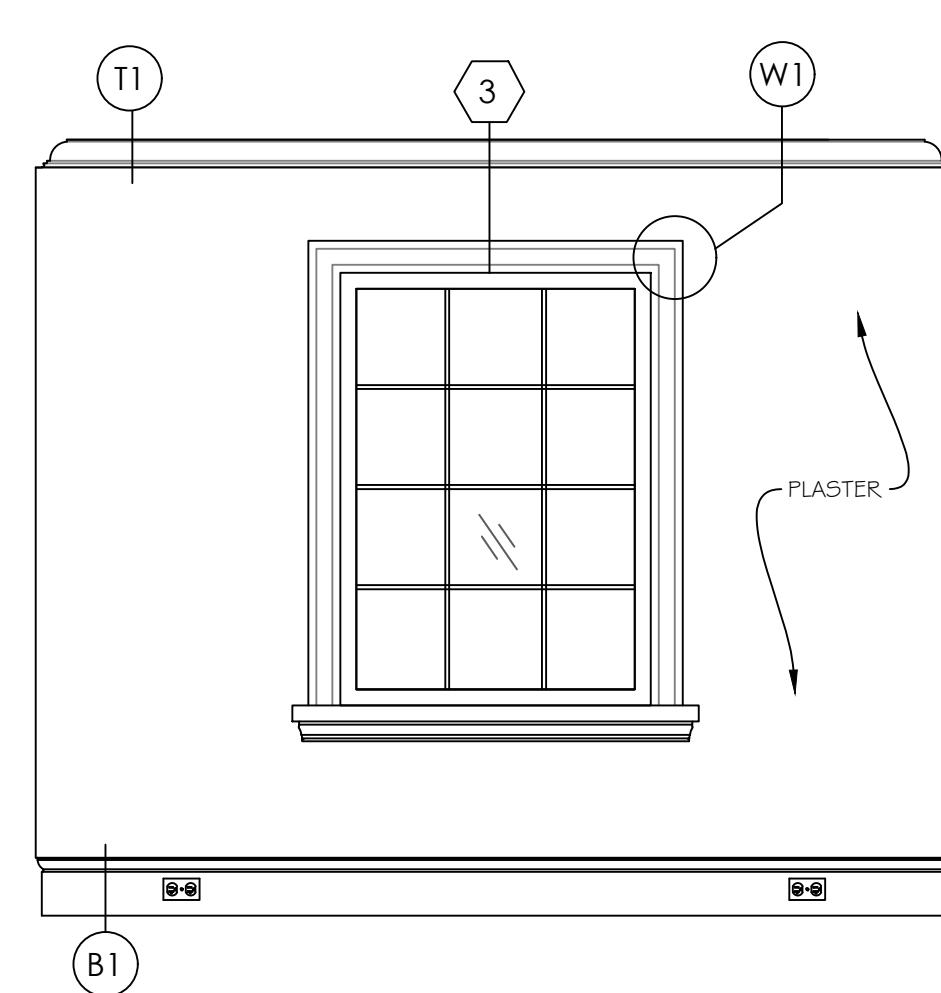
PRELIMINARY
NOT FOR CONSTRUCTION



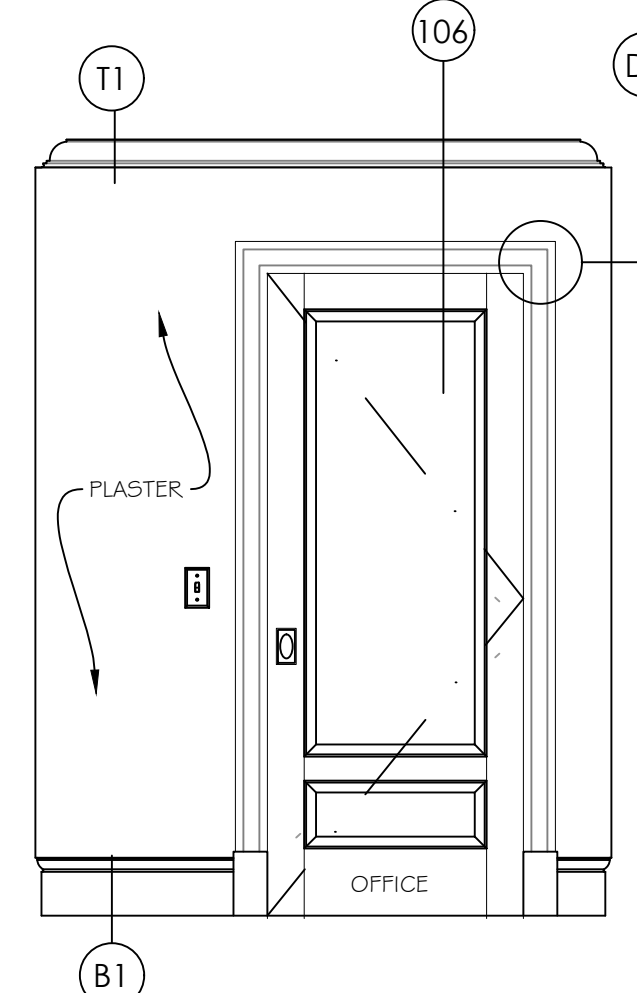
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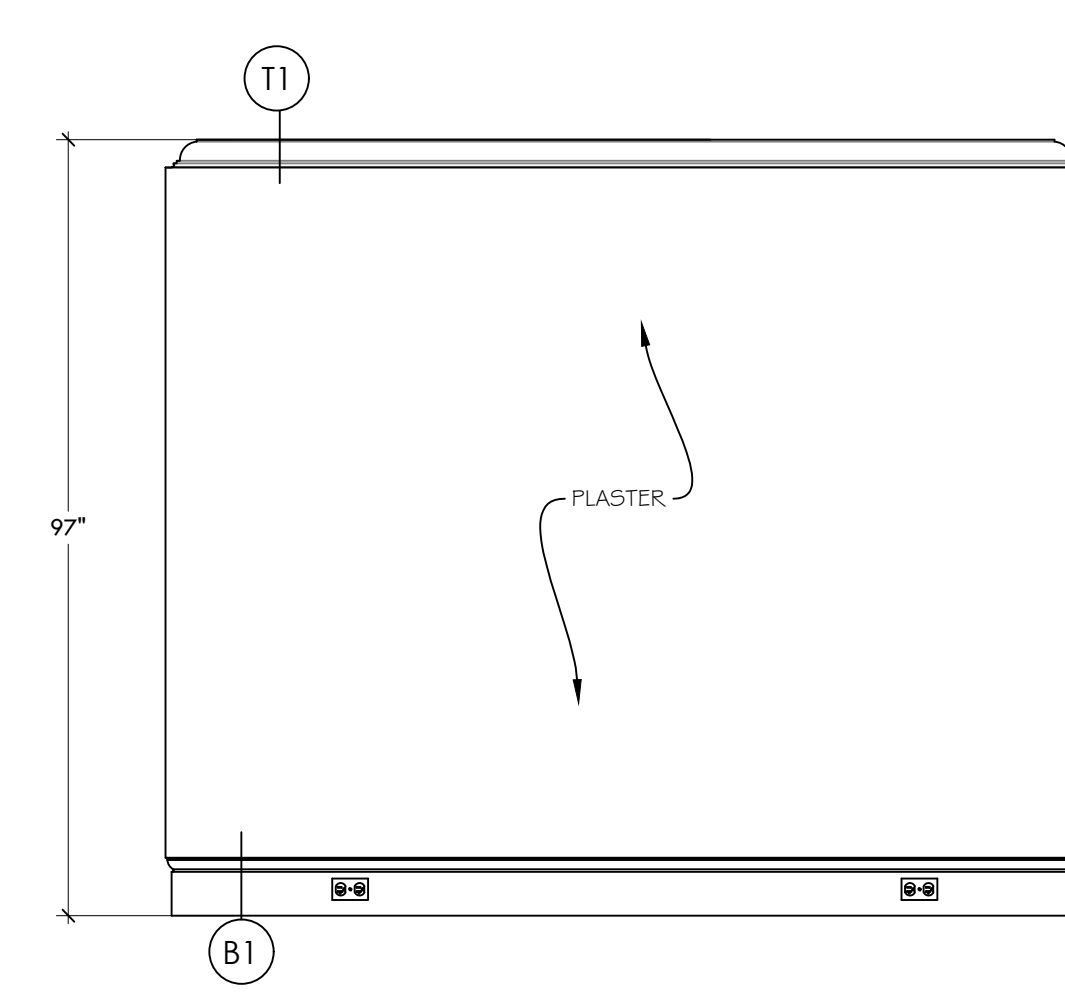
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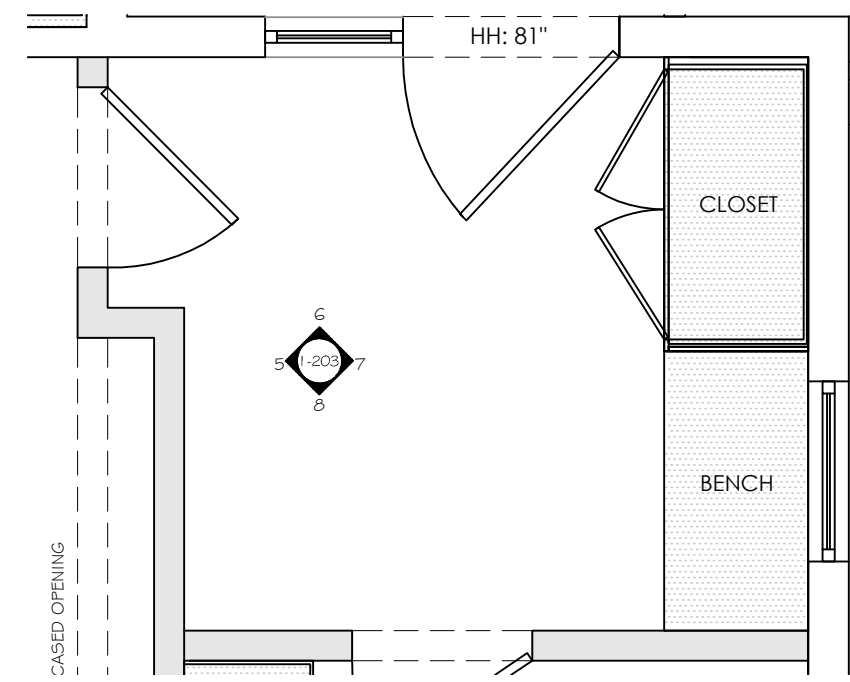
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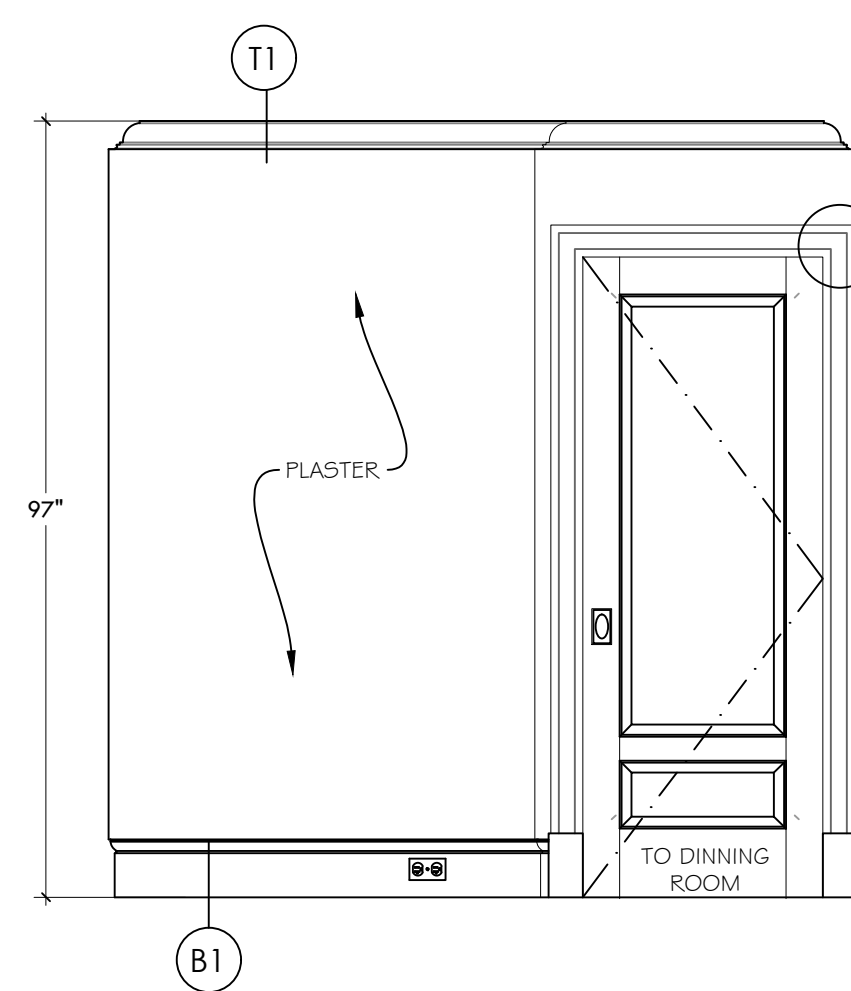
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Scale: 1/2" = 1'-0"



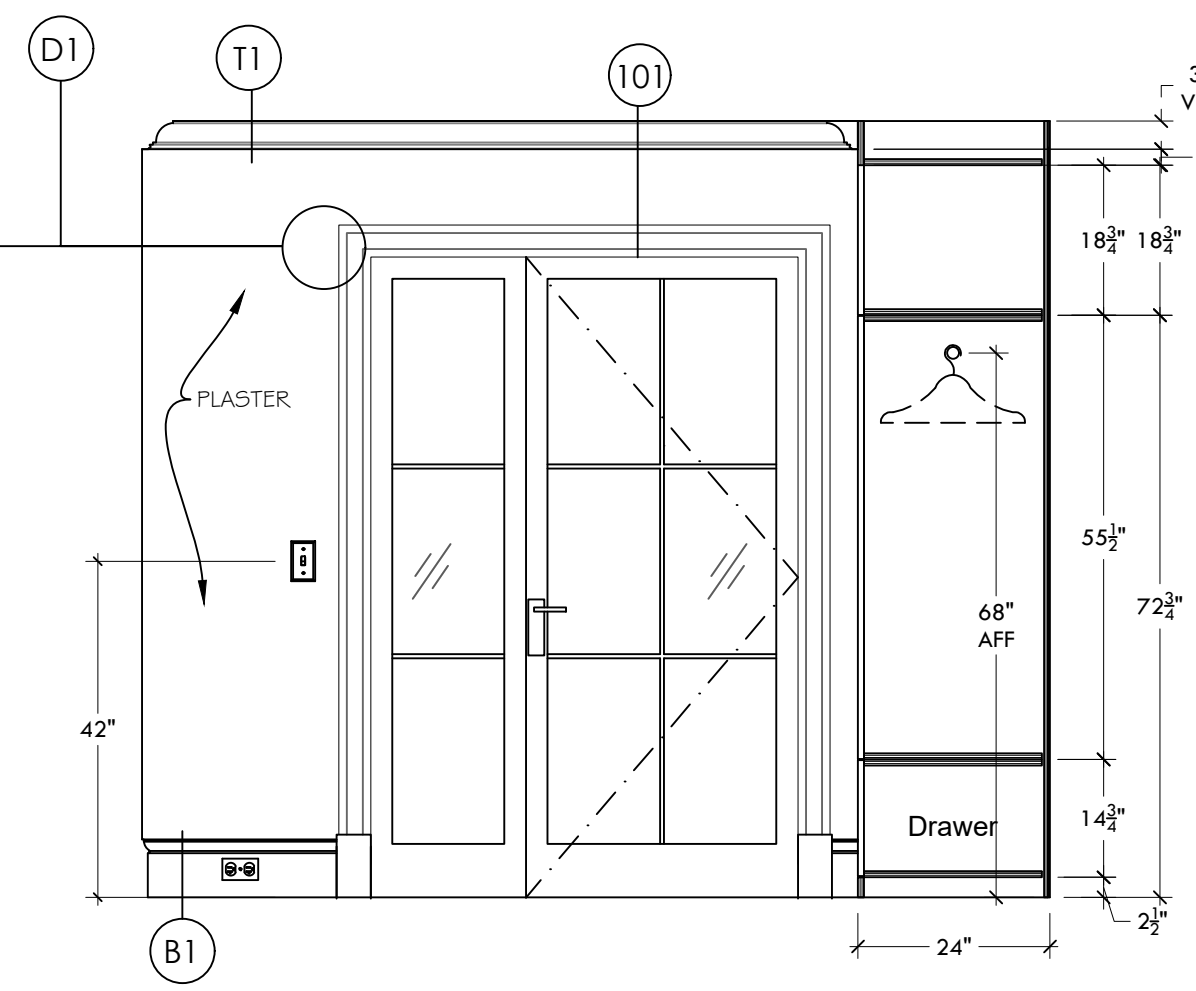
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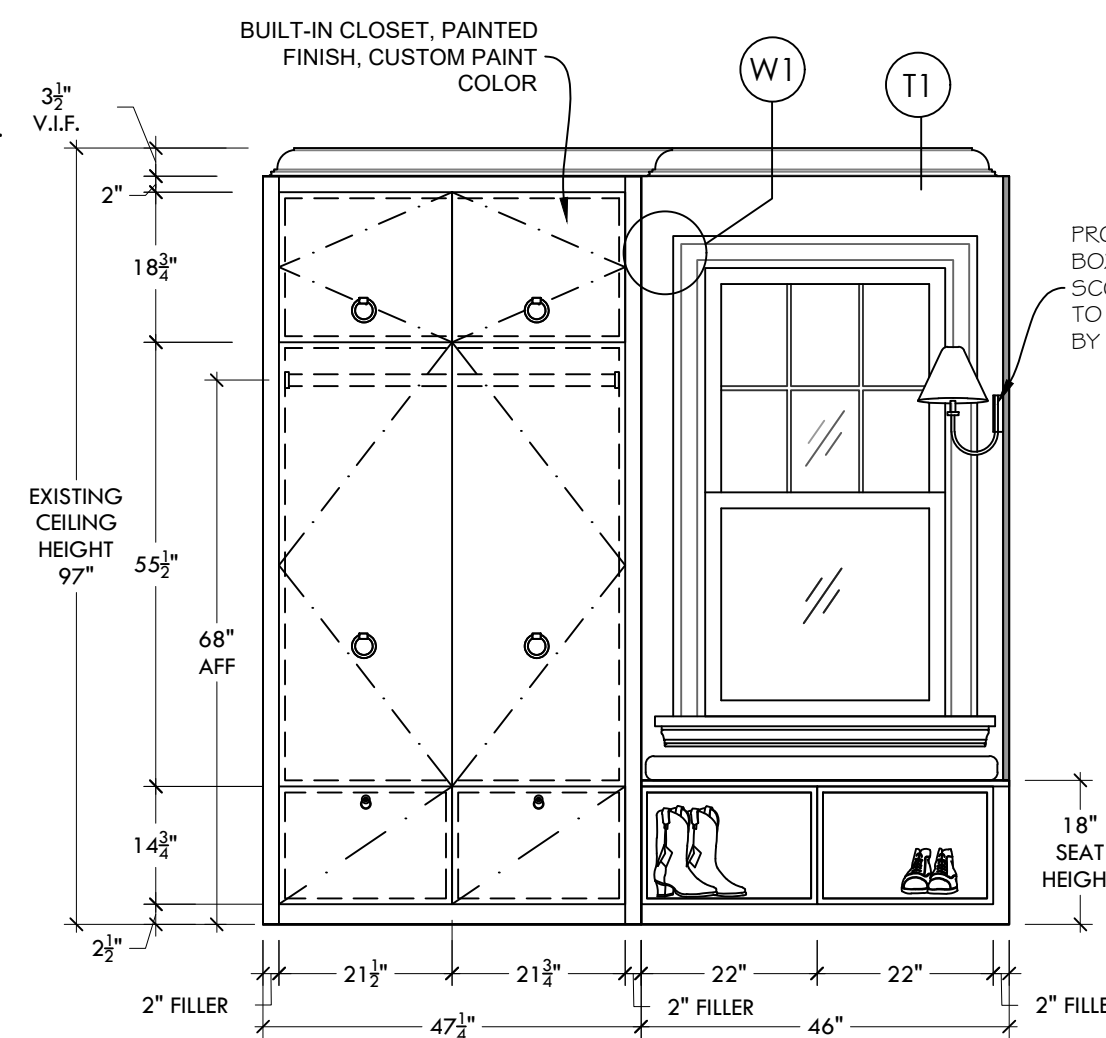
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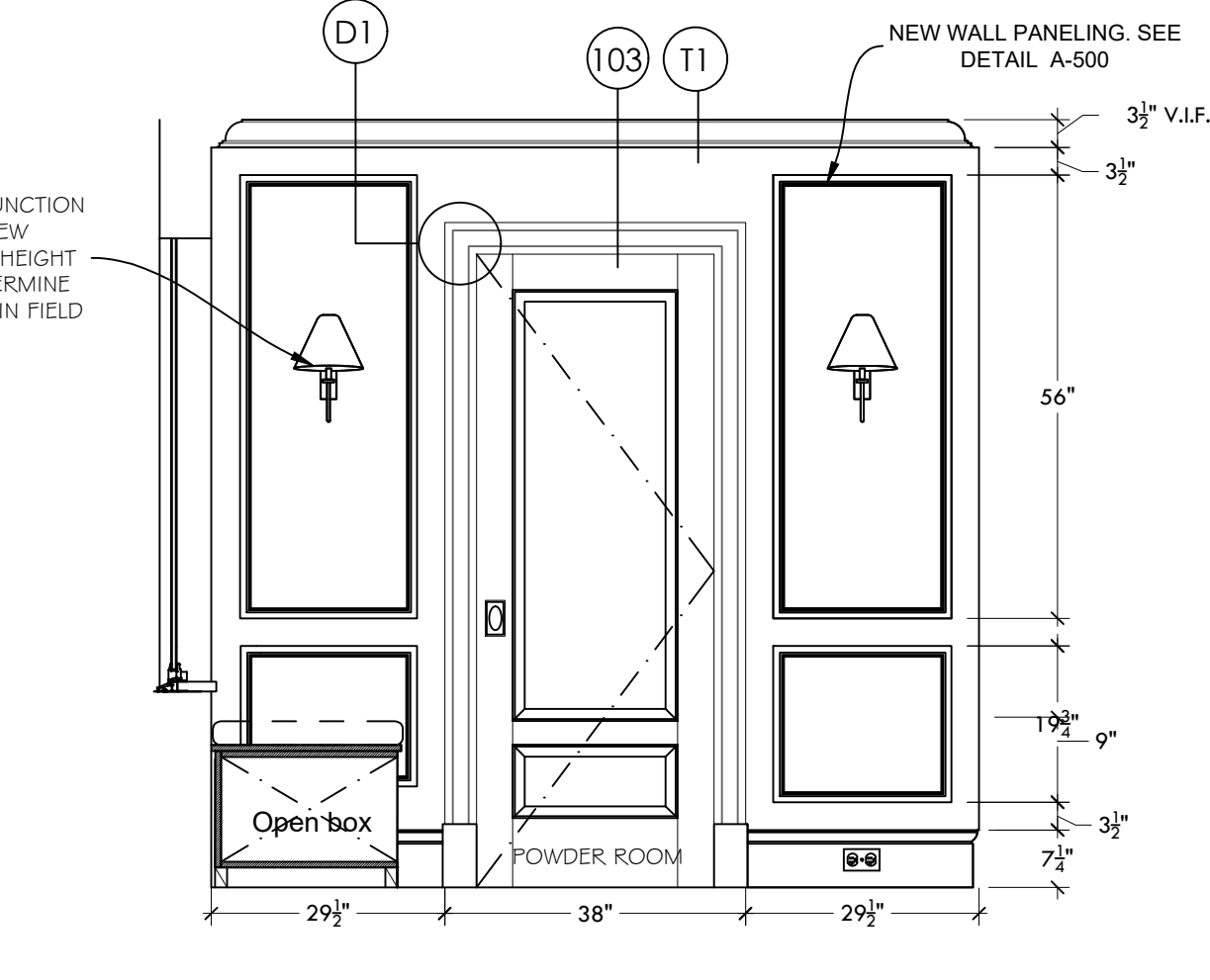
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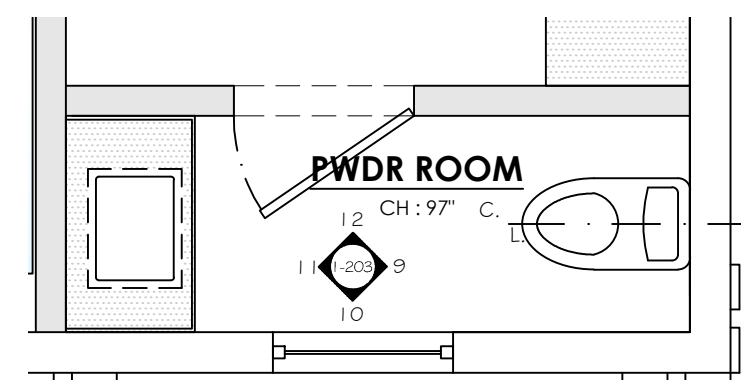
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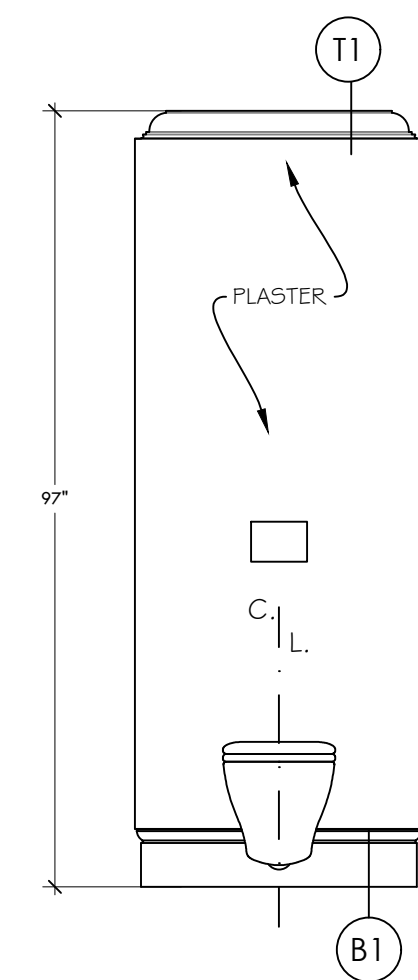
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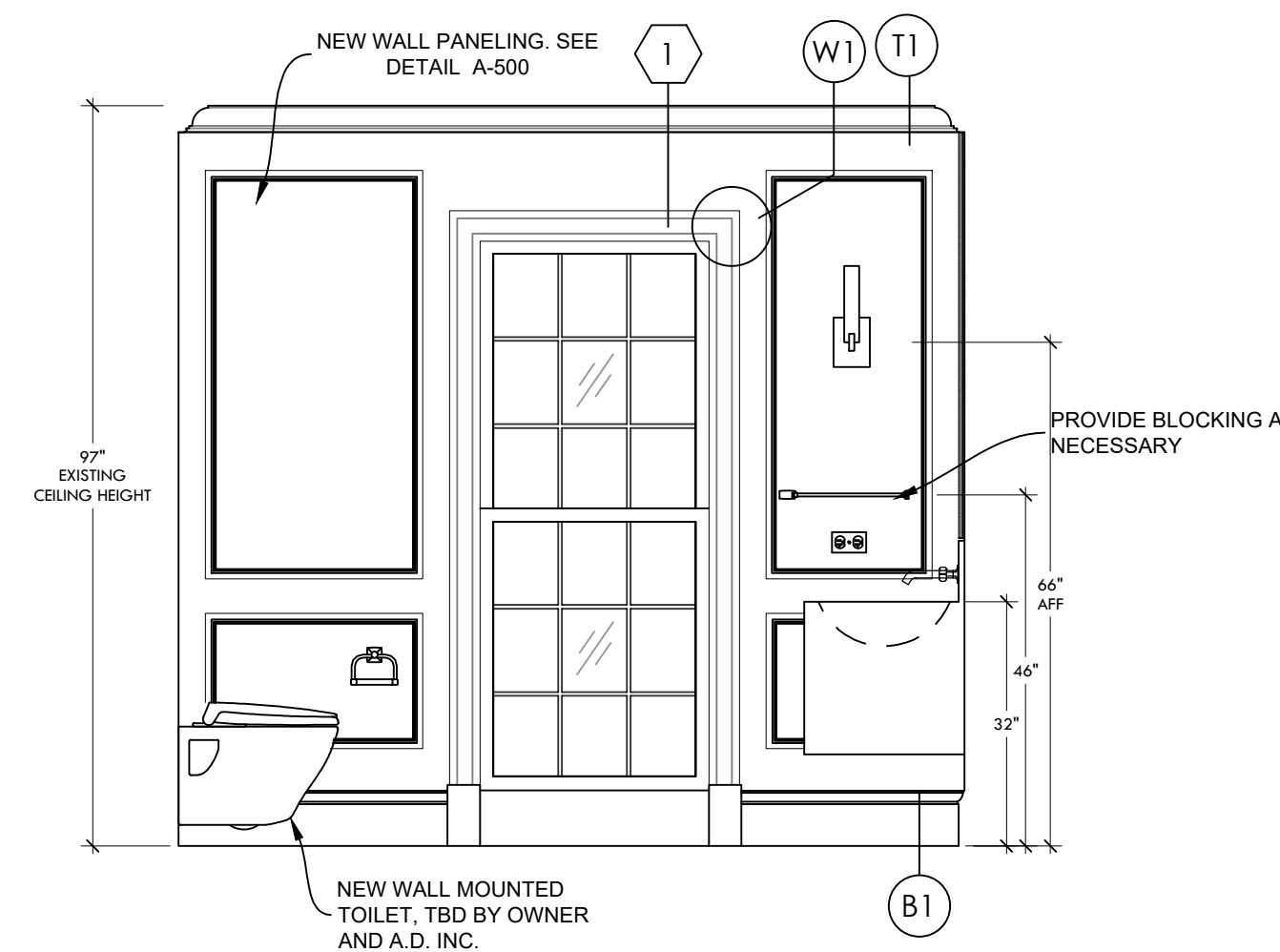
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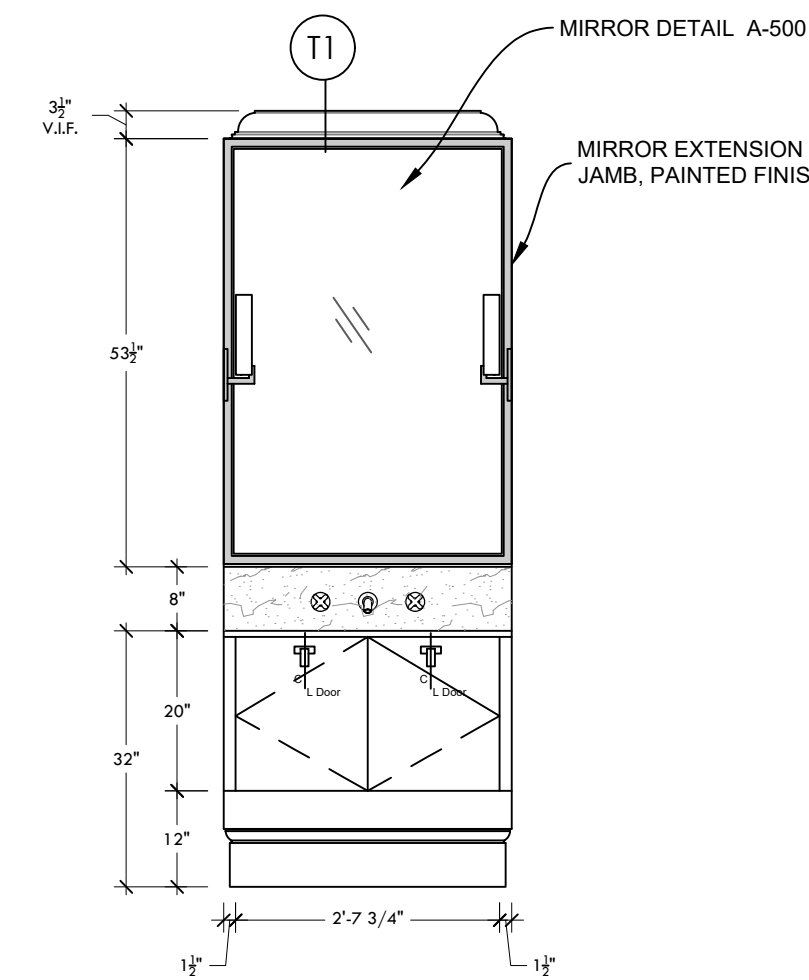
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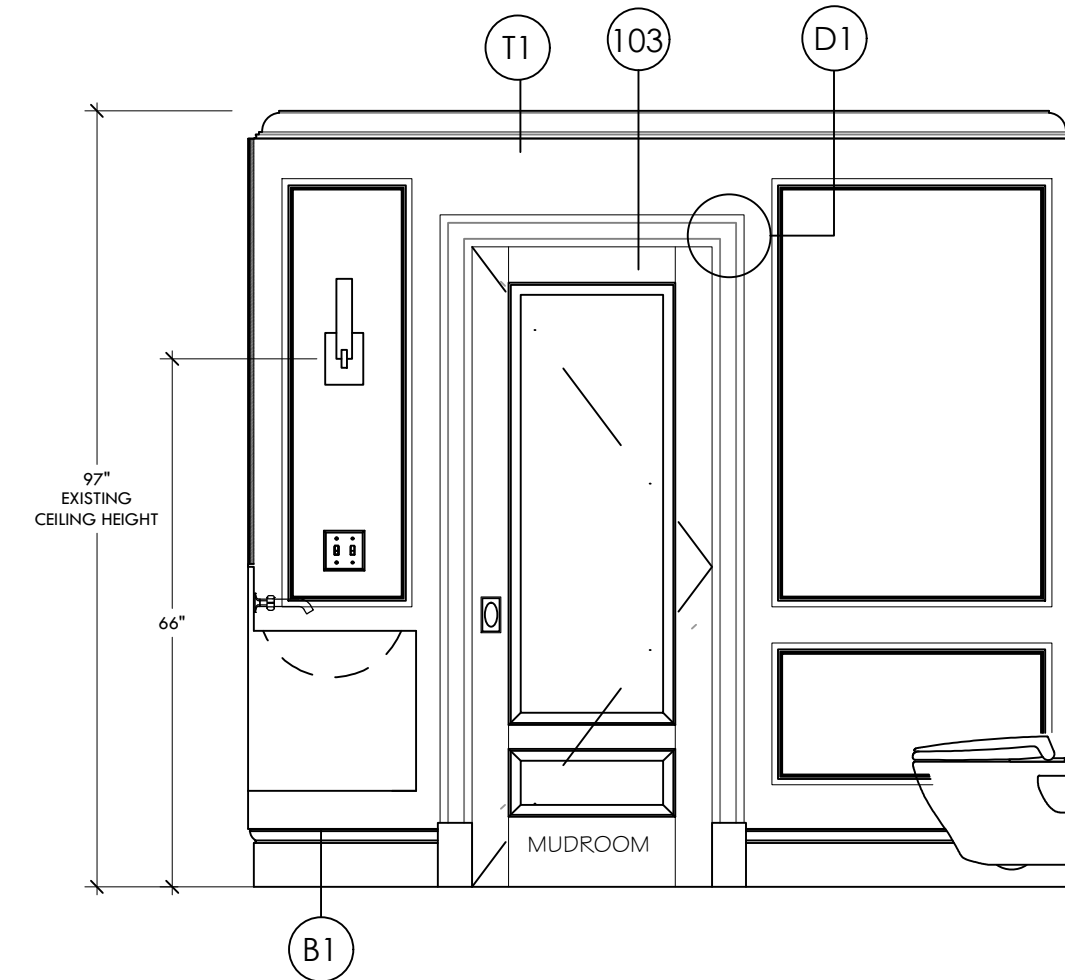
9 POWDER ROOM
Scale: 1/2" = 1'-0"



10 POWDER ROOM
Scale: 1/2" = 1'-0"



11 POWDER ROOM
Scale: 1/2" = 1'-0"



12 POWDER ROOM
Scale: 1/2" = 1'-0"

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
FIRST FLOOR - INTERIOR
ELEVATIONS

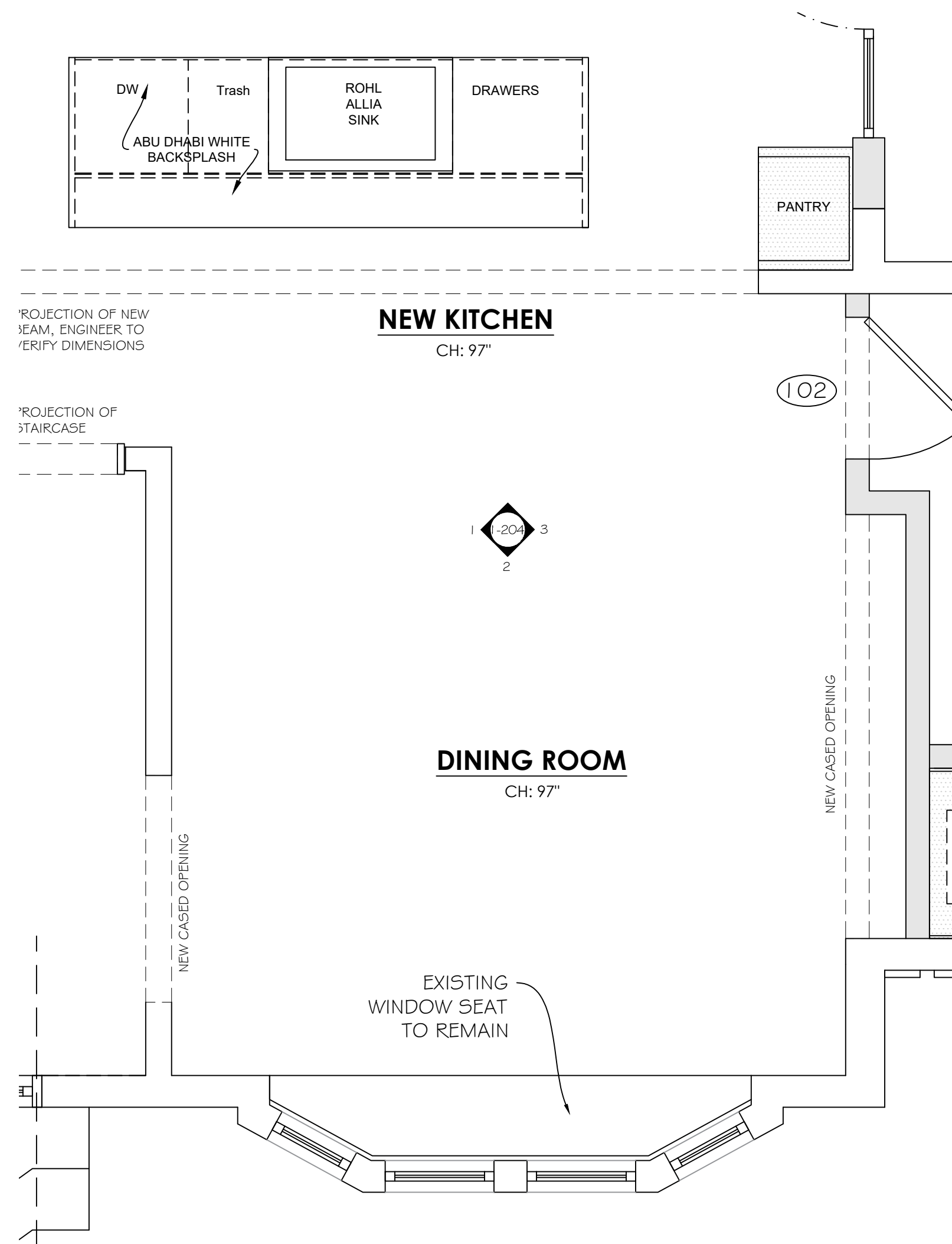
Issue Date:
August 29, 2022

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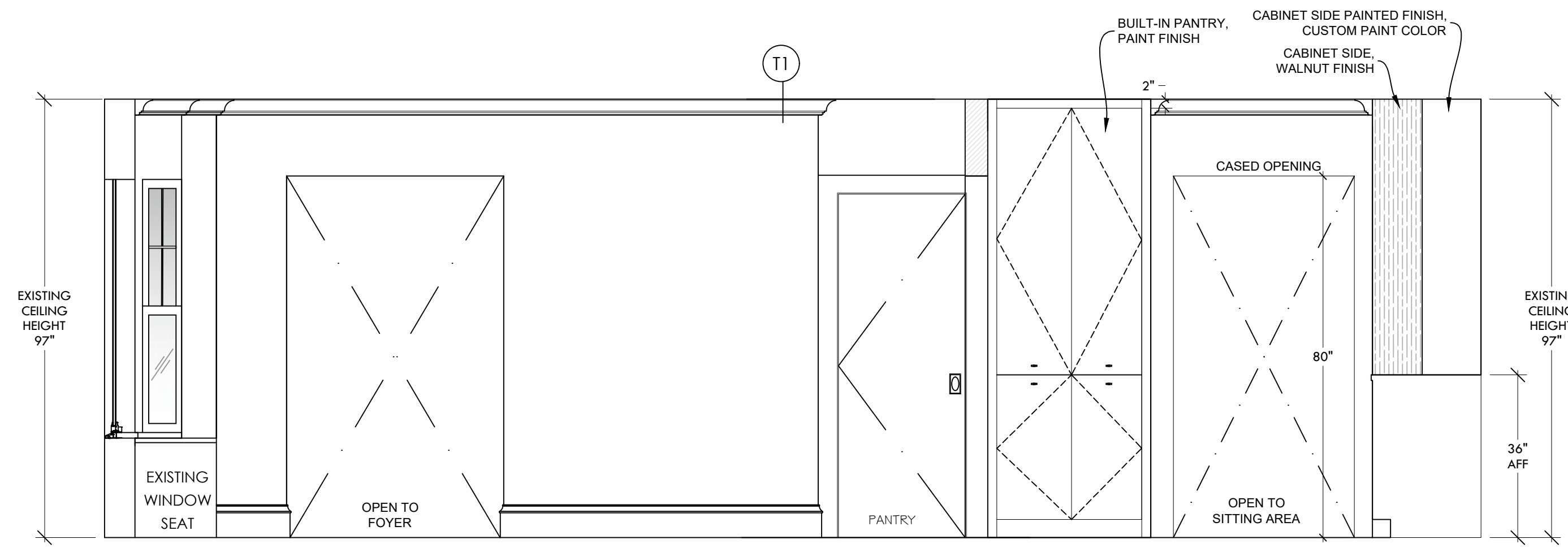
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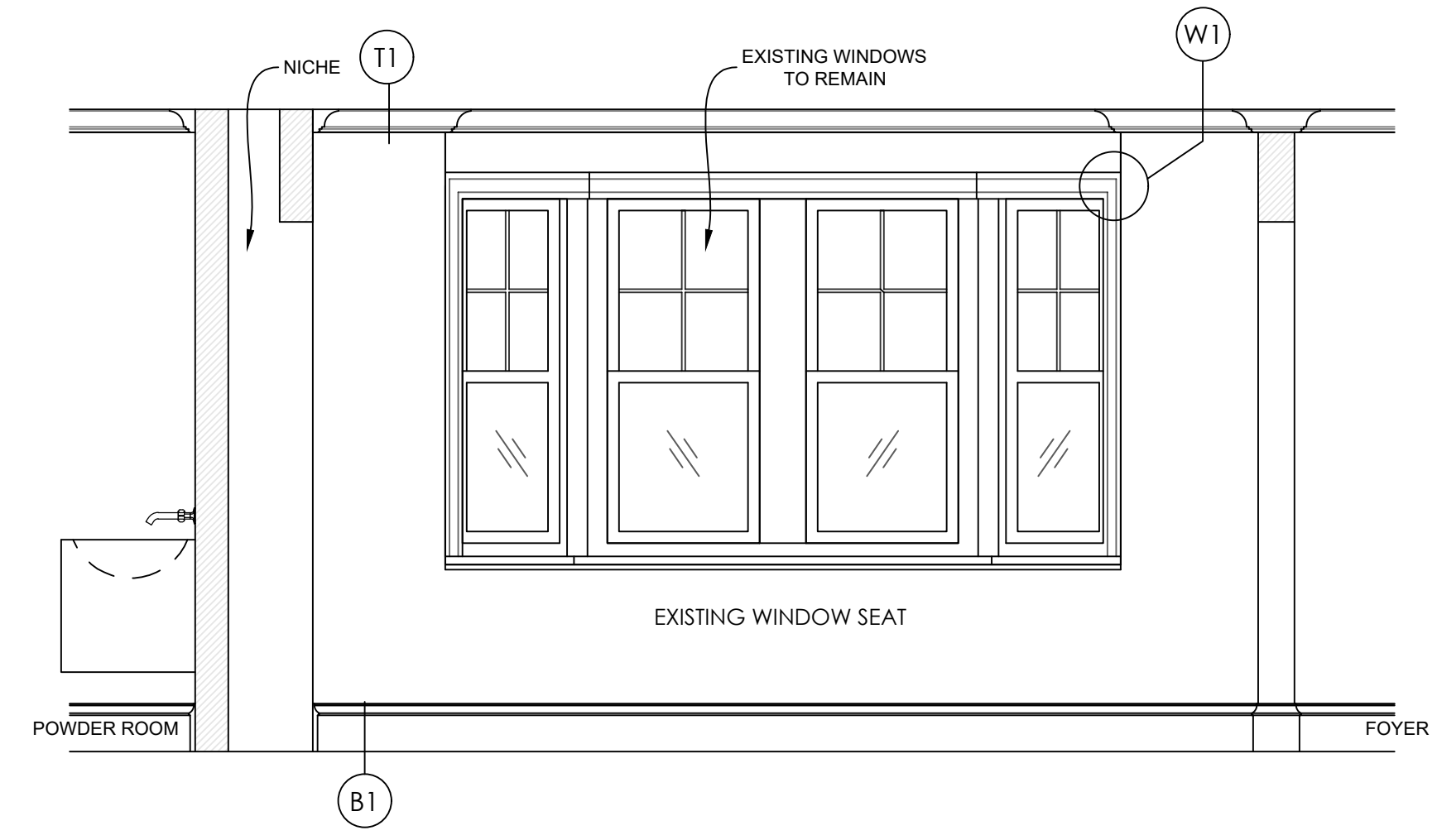
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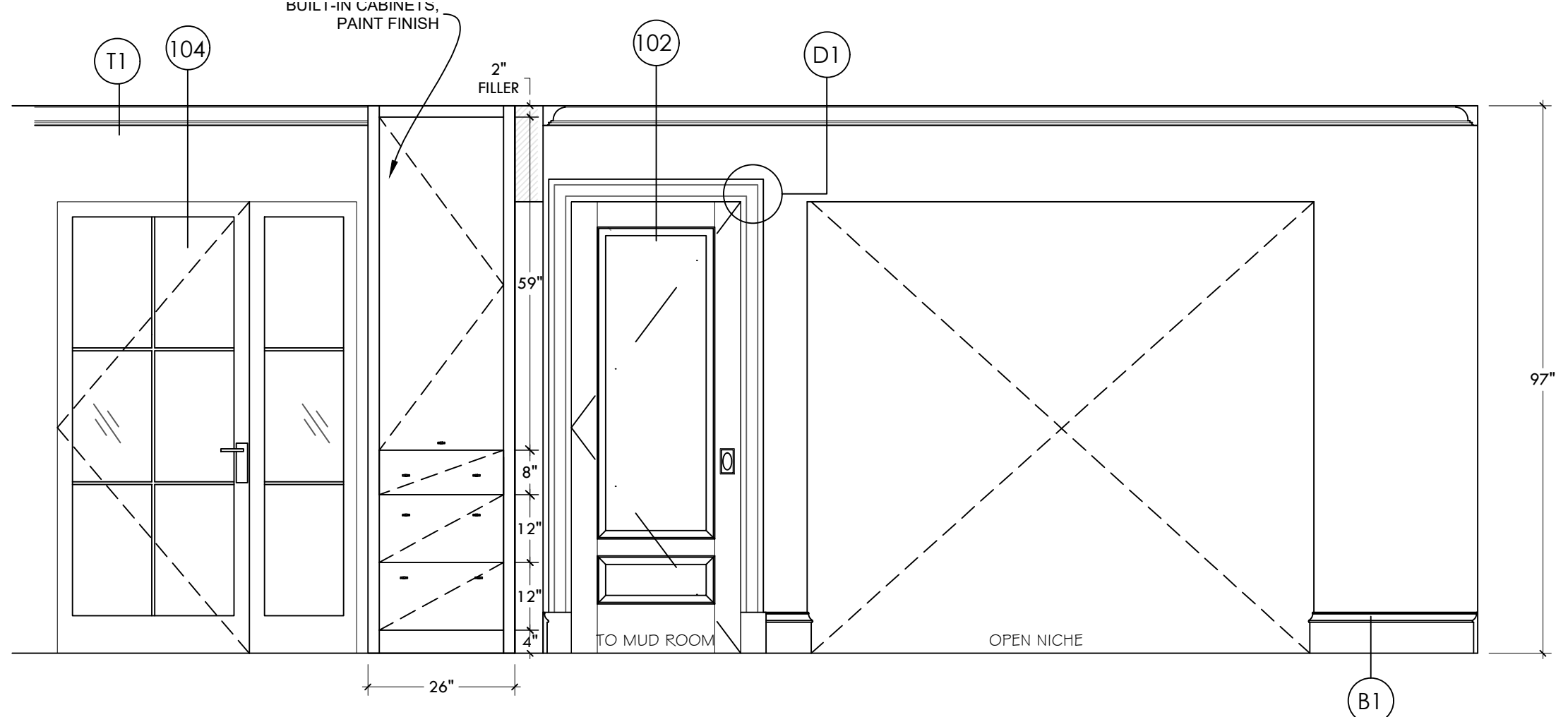
DINNING ROOM PLAN
Scale: 1/2" = 1'-0"



1 DINNING ROOM
Scale: 1/2" = 1'-0"



2 DINNING ROOM
Scale: 1/2" = 1'-0"



3 DINNING ROOM
Scale: 1/2" = 1'-0"

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Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
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Scale:
As Noted

Drawing Title:
FIRST FLOOR - INTERIOR
ELEVATIONS

Issue Date:
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I-204

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J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
SECOND FLOOR - INTERIOR
ELEVATIONS

Issue Date:
August 29, 2022

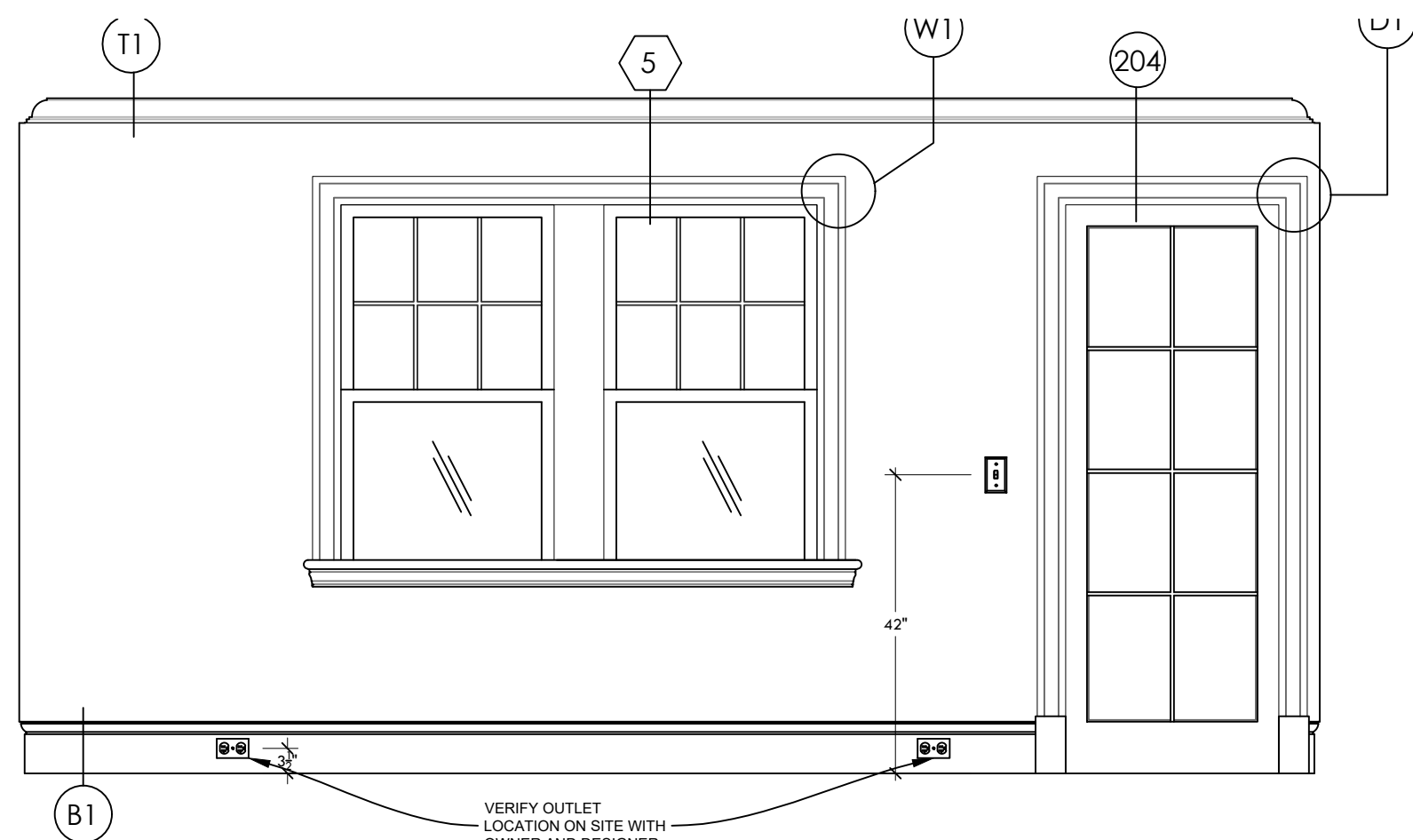
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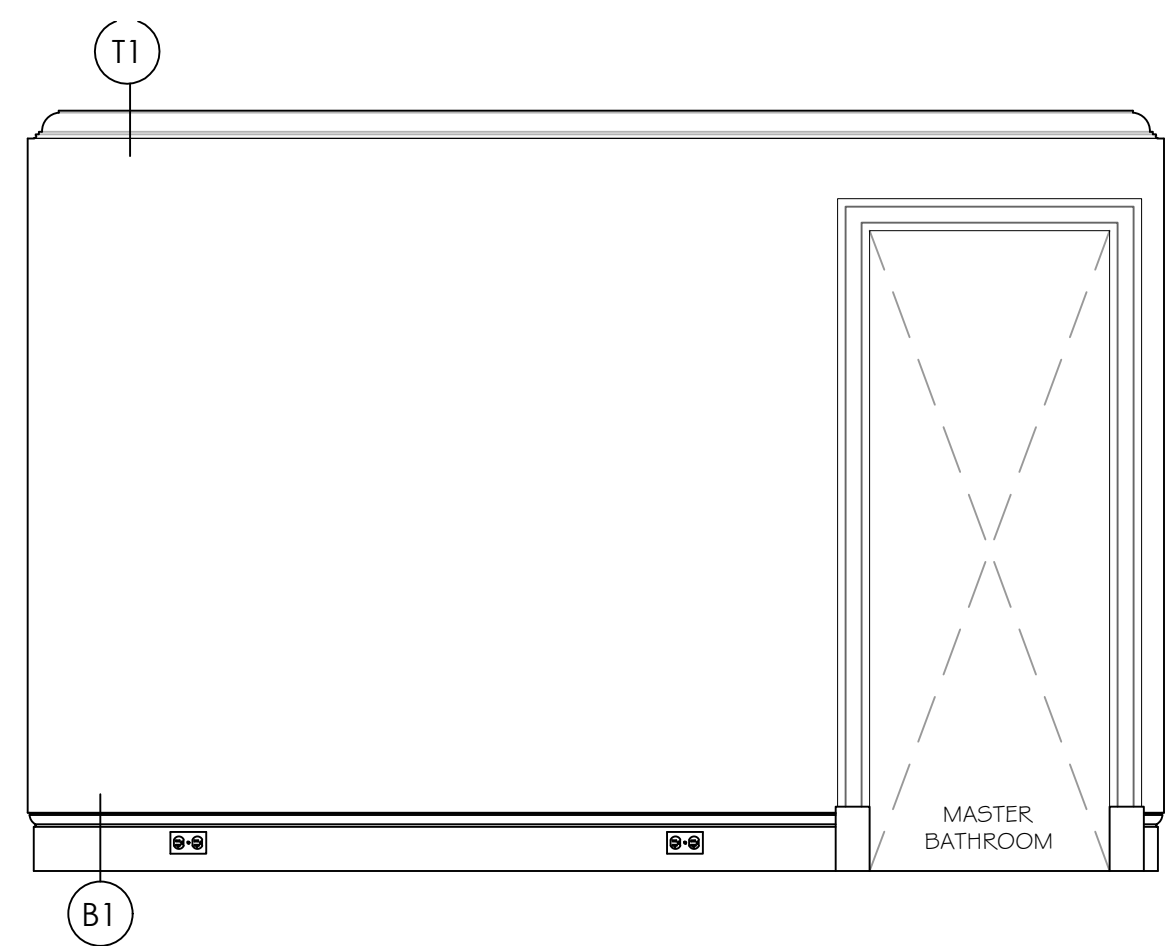
Sheet No.

I-205

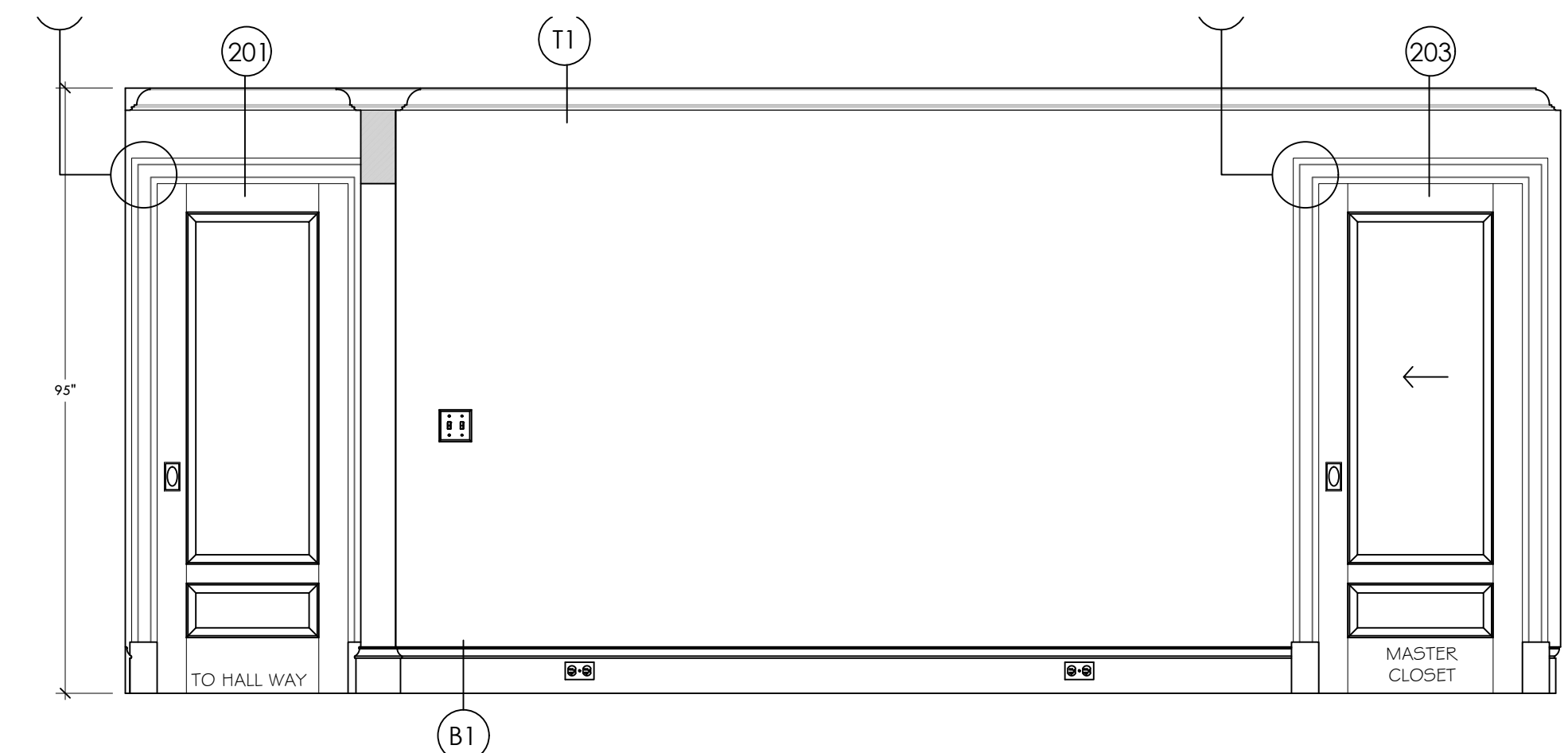
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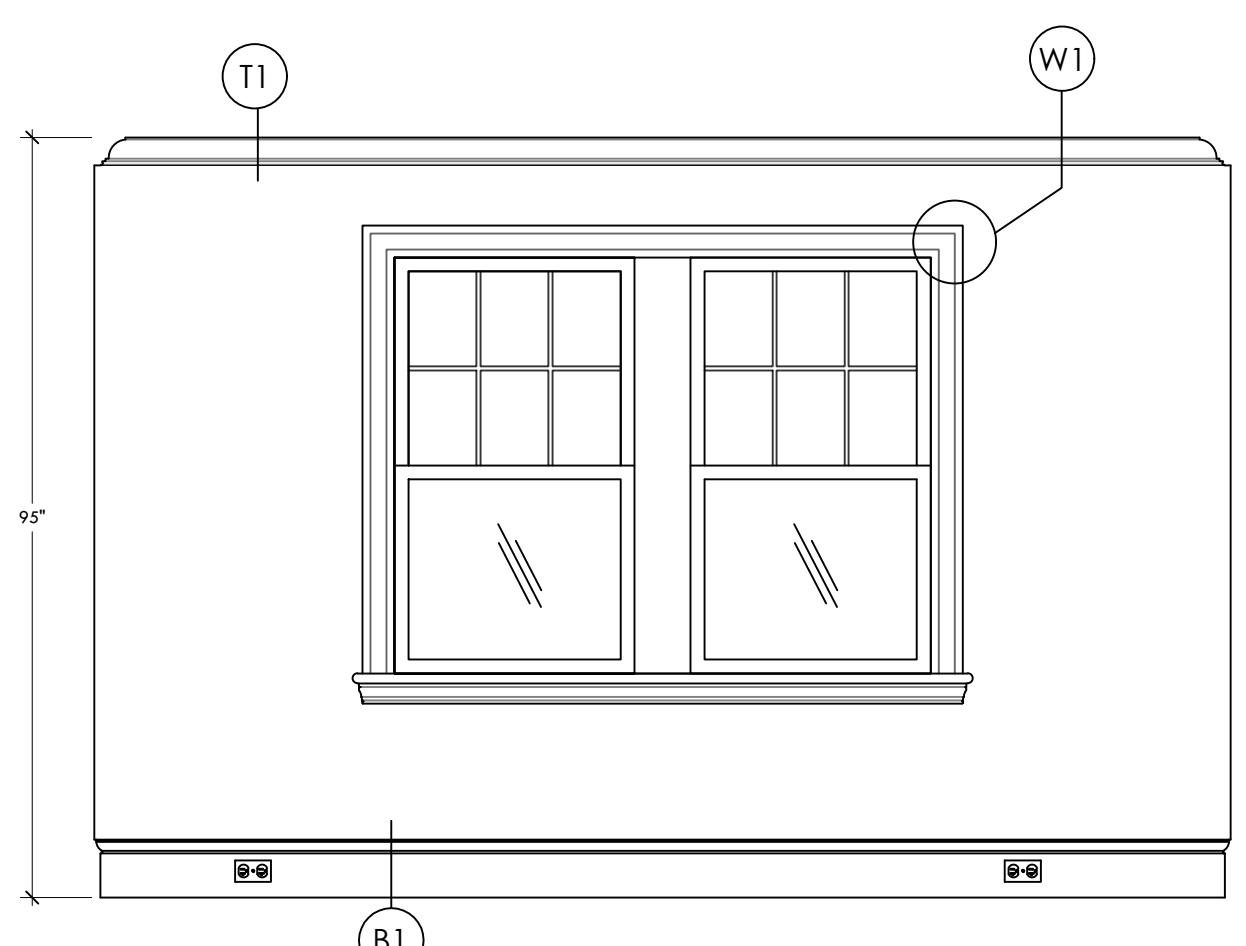
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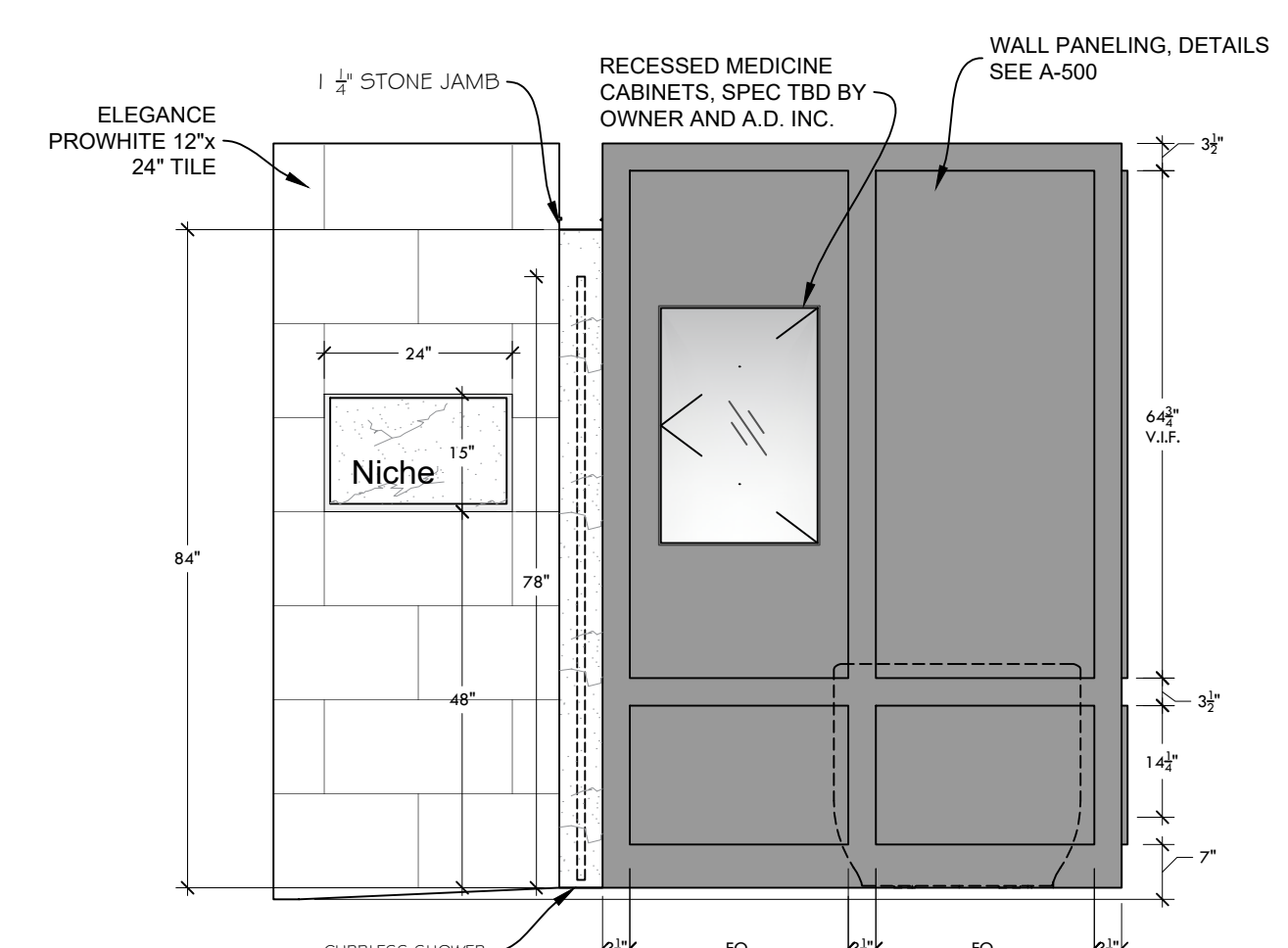
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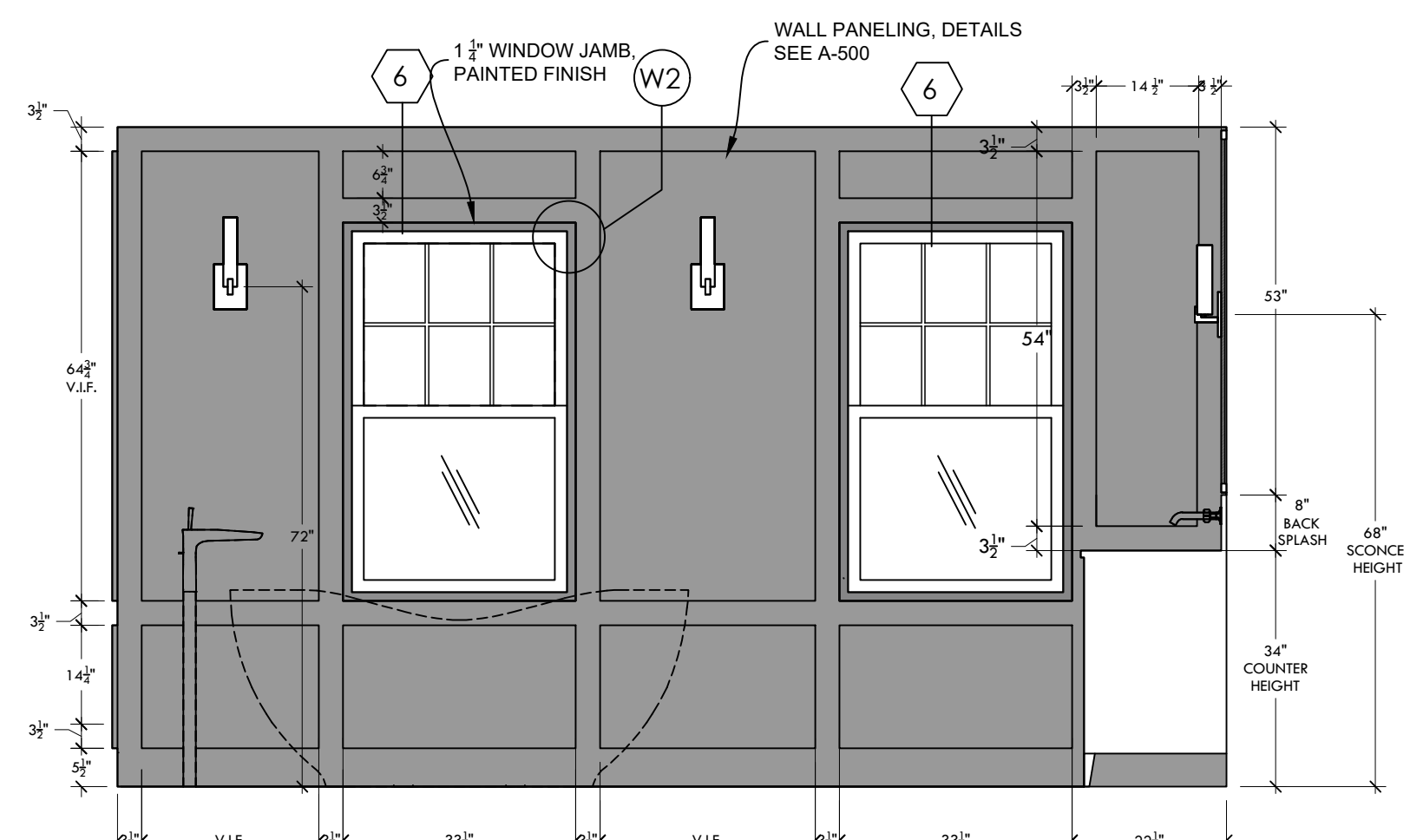
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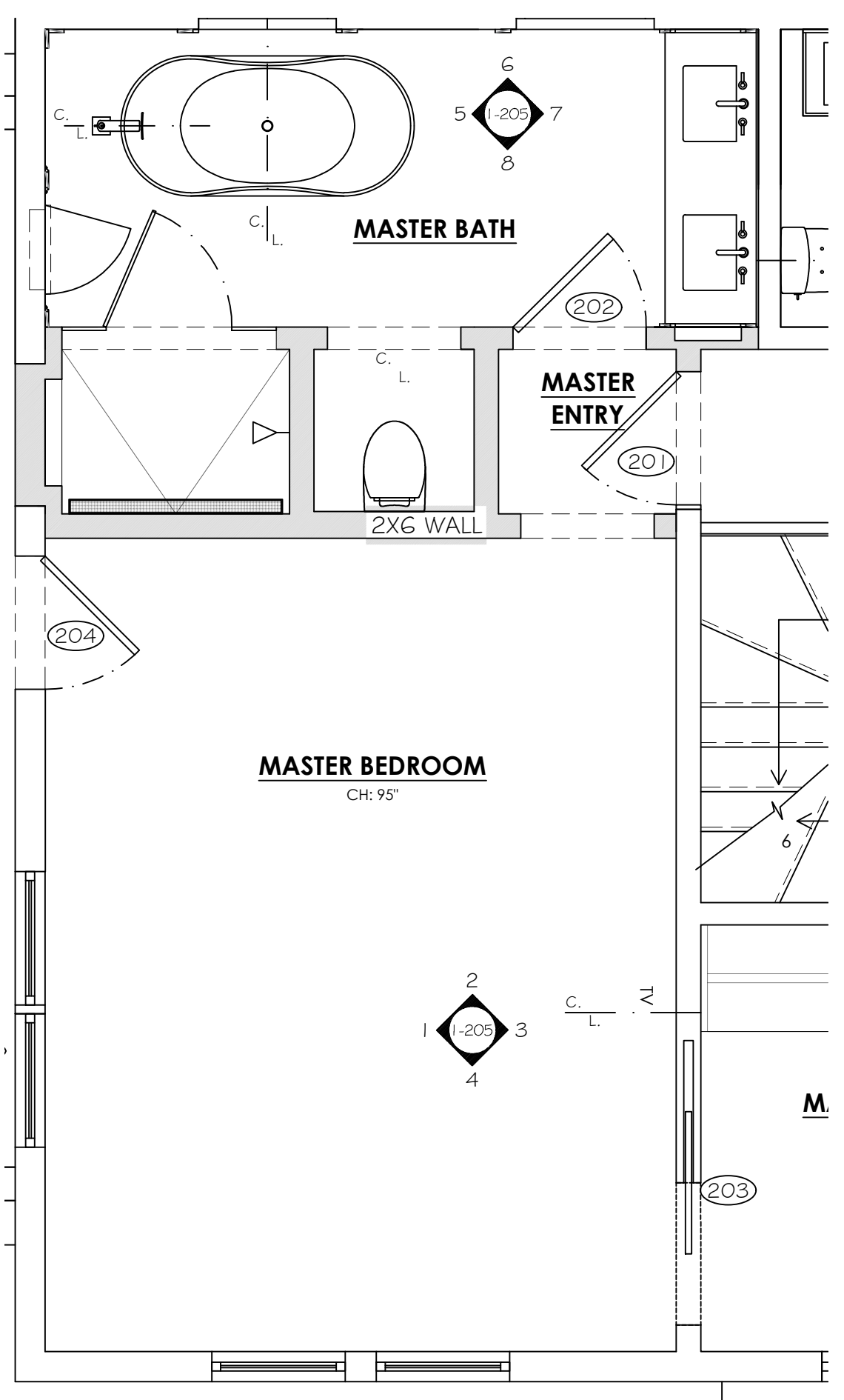
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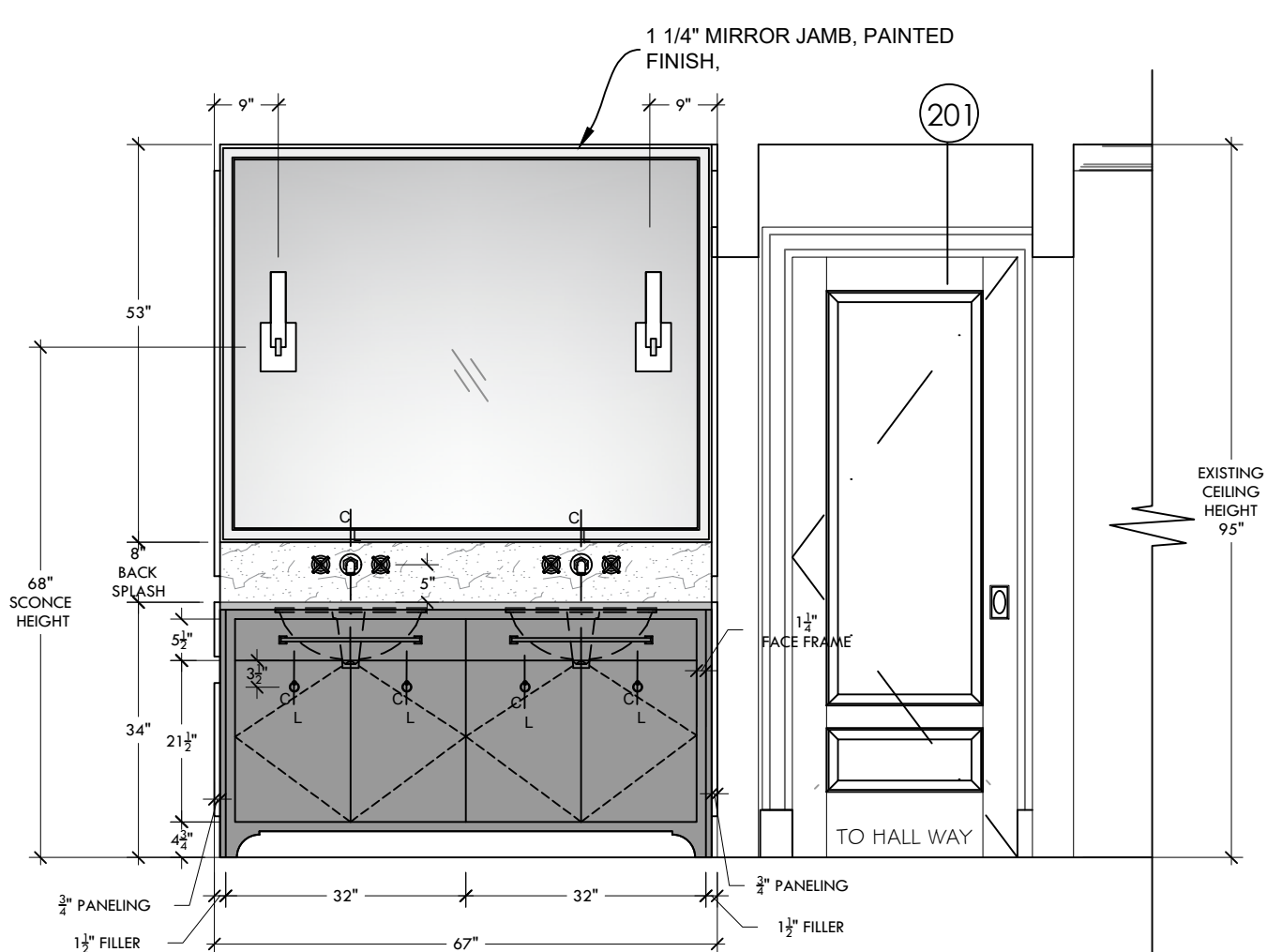
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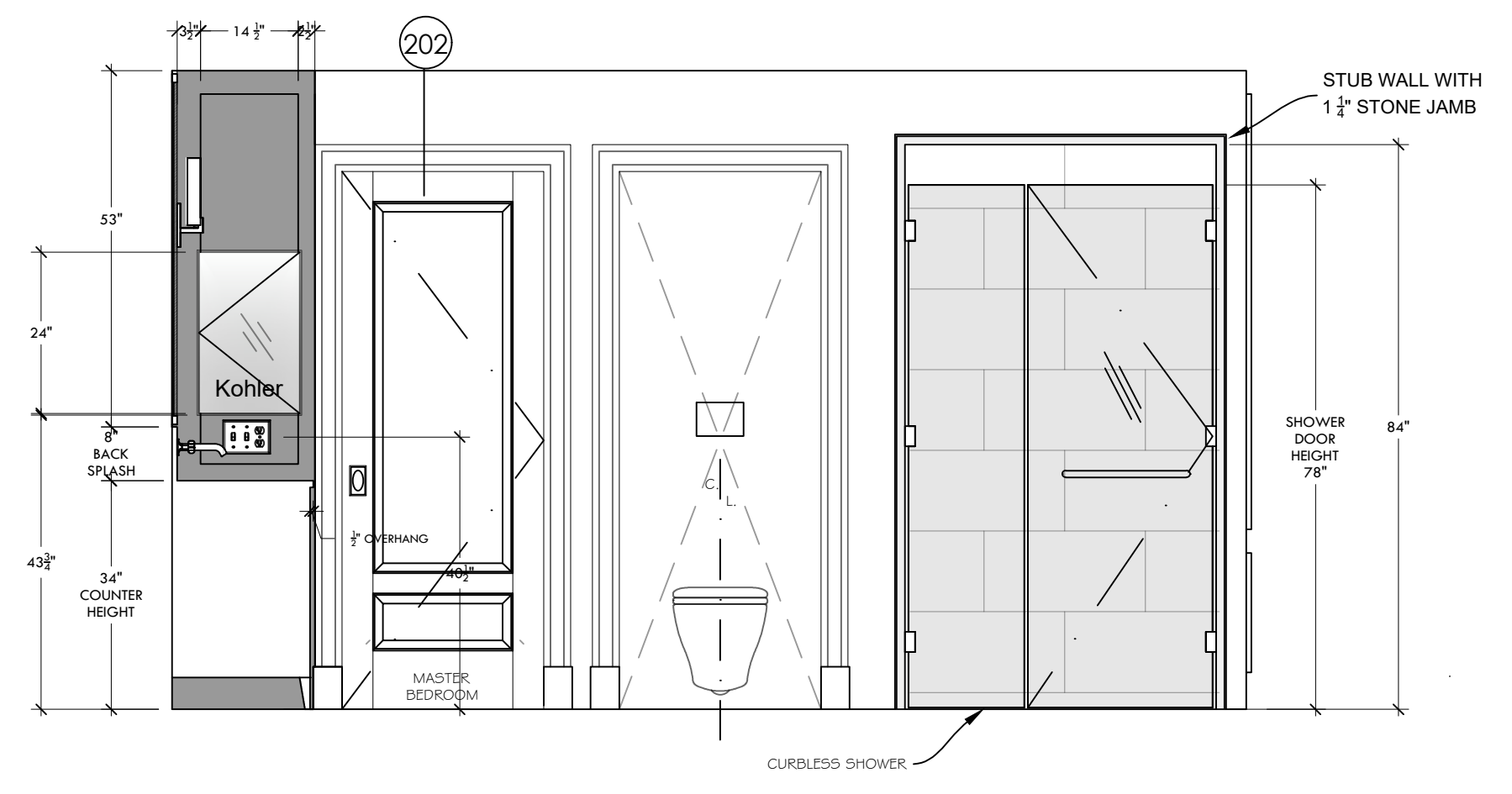
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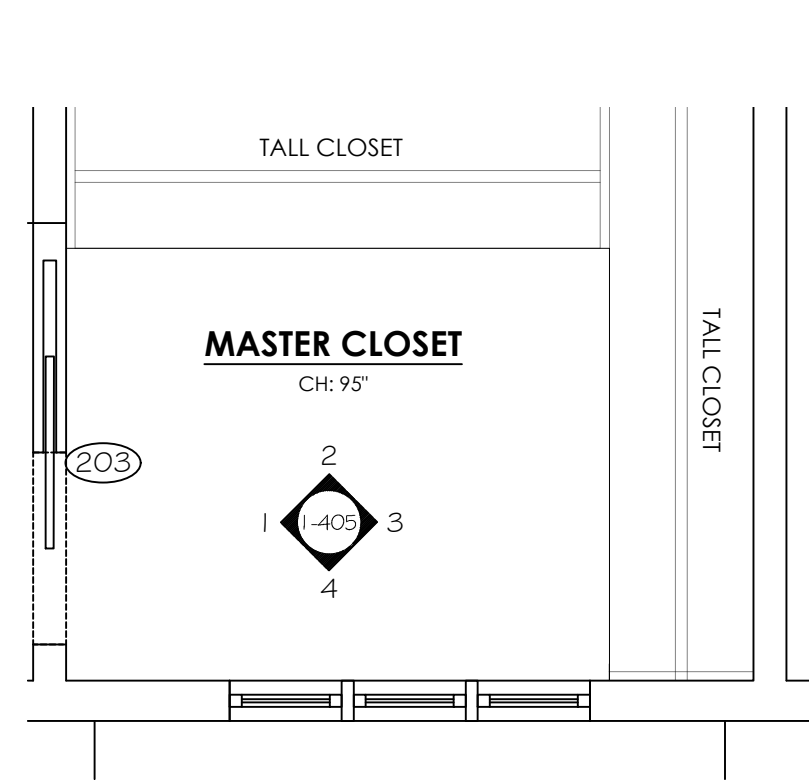
MASTER BEDROOM &
BATHROOM PLAN
Scale: 3/8" = 1'-0"



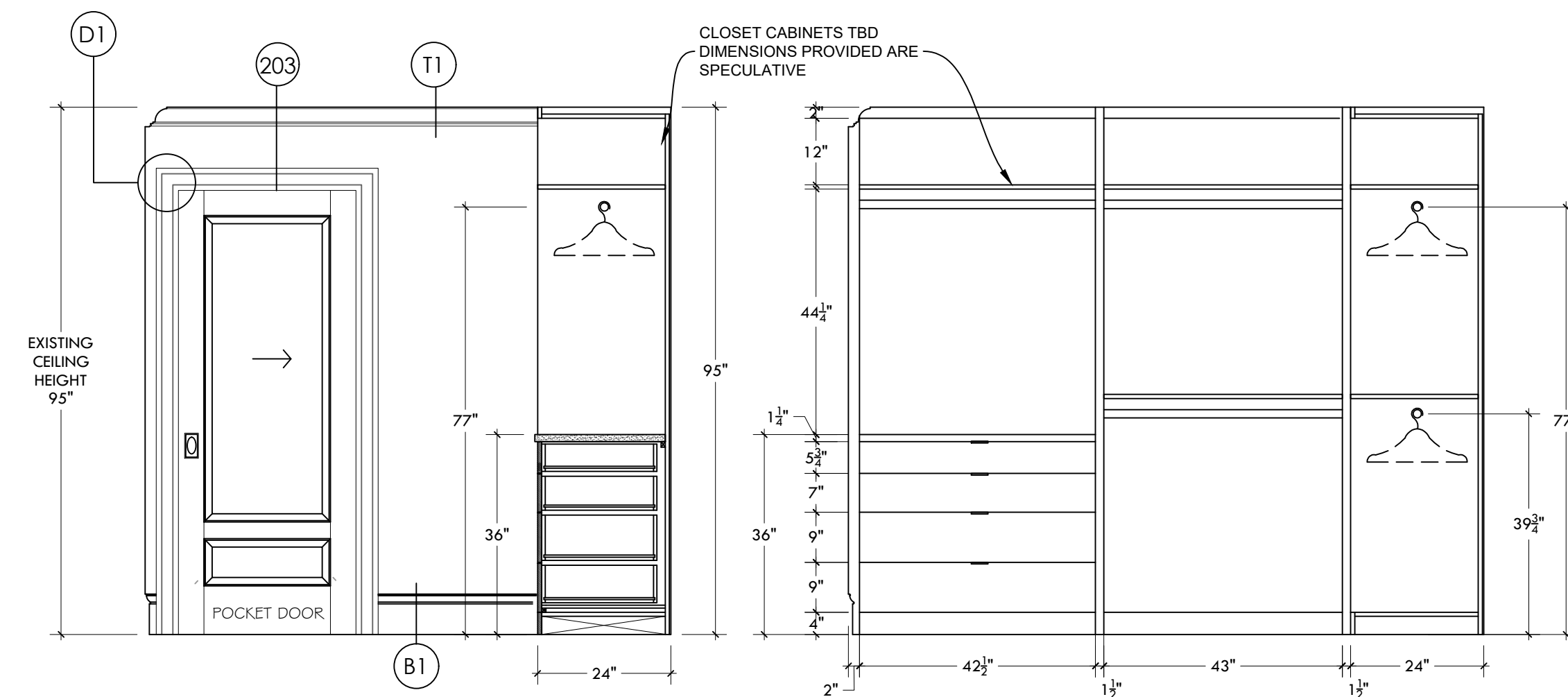
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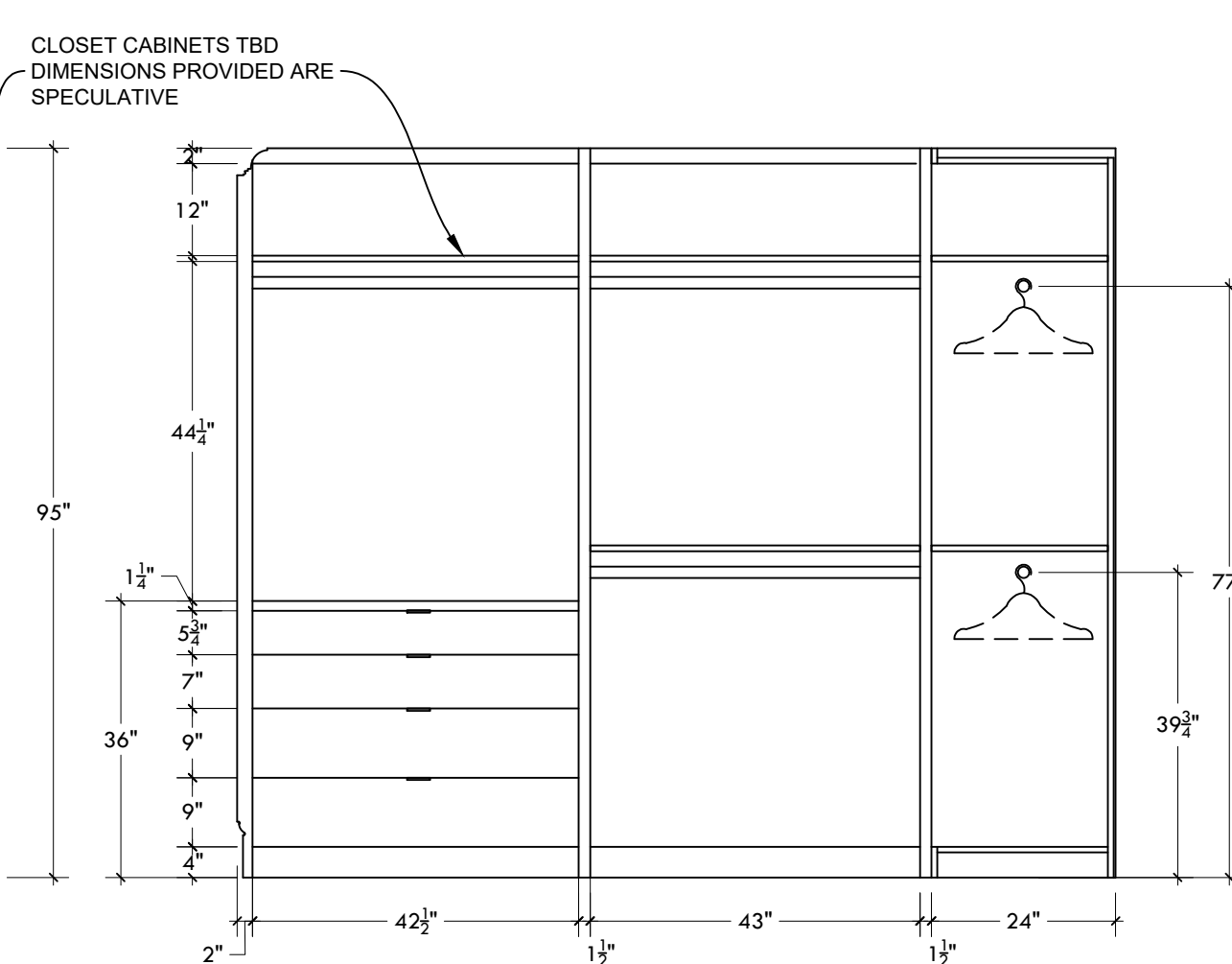
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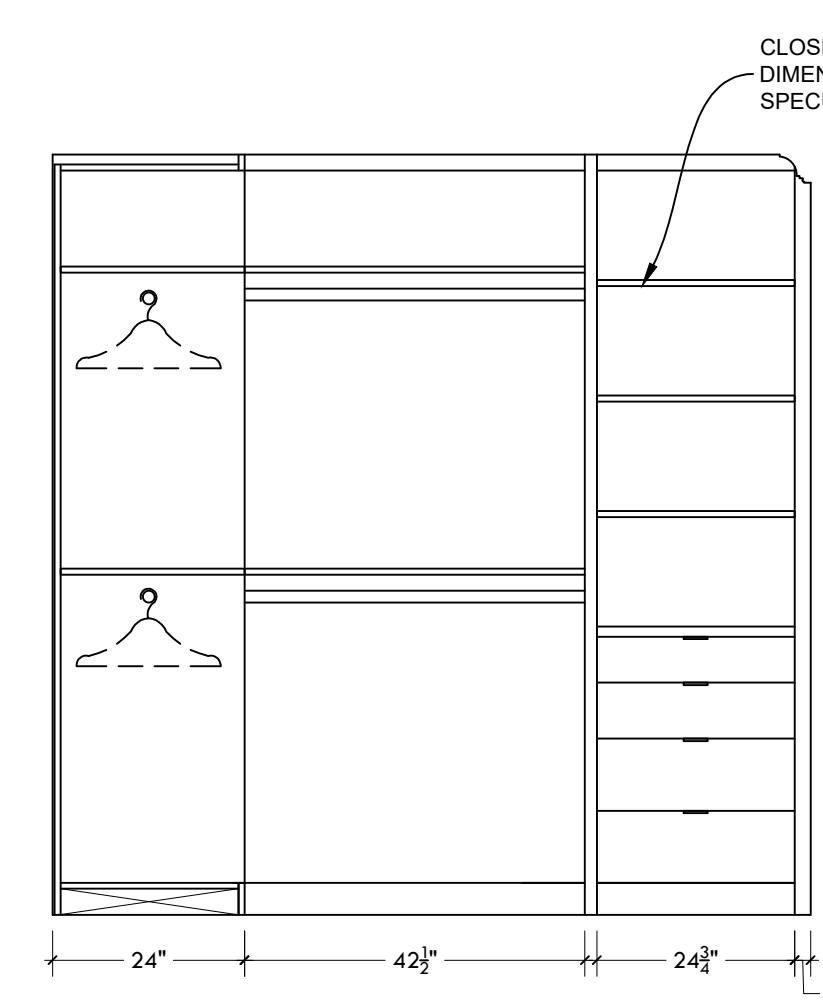
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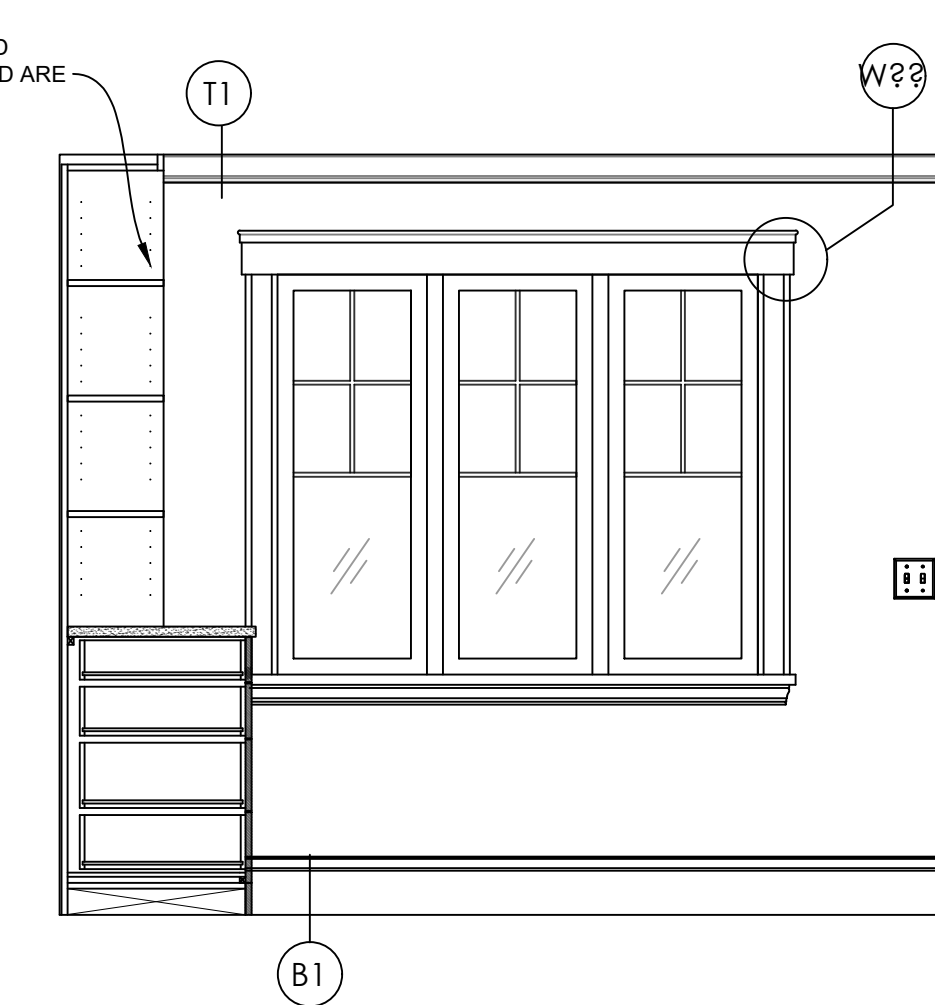
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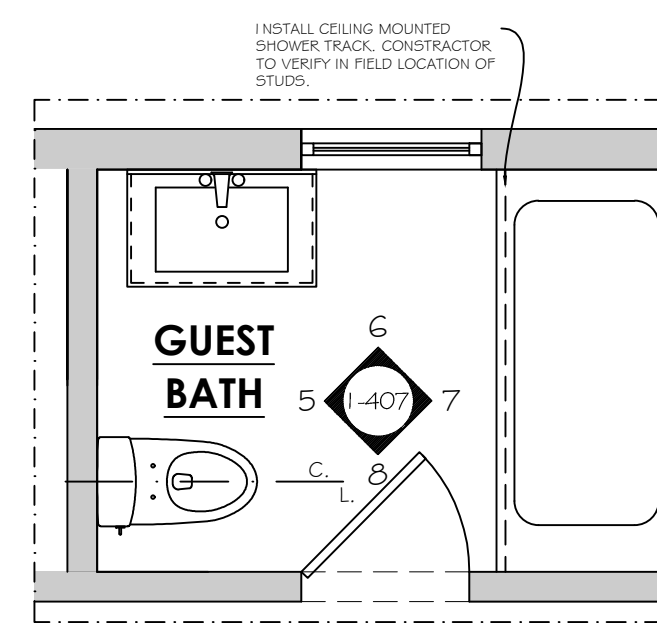
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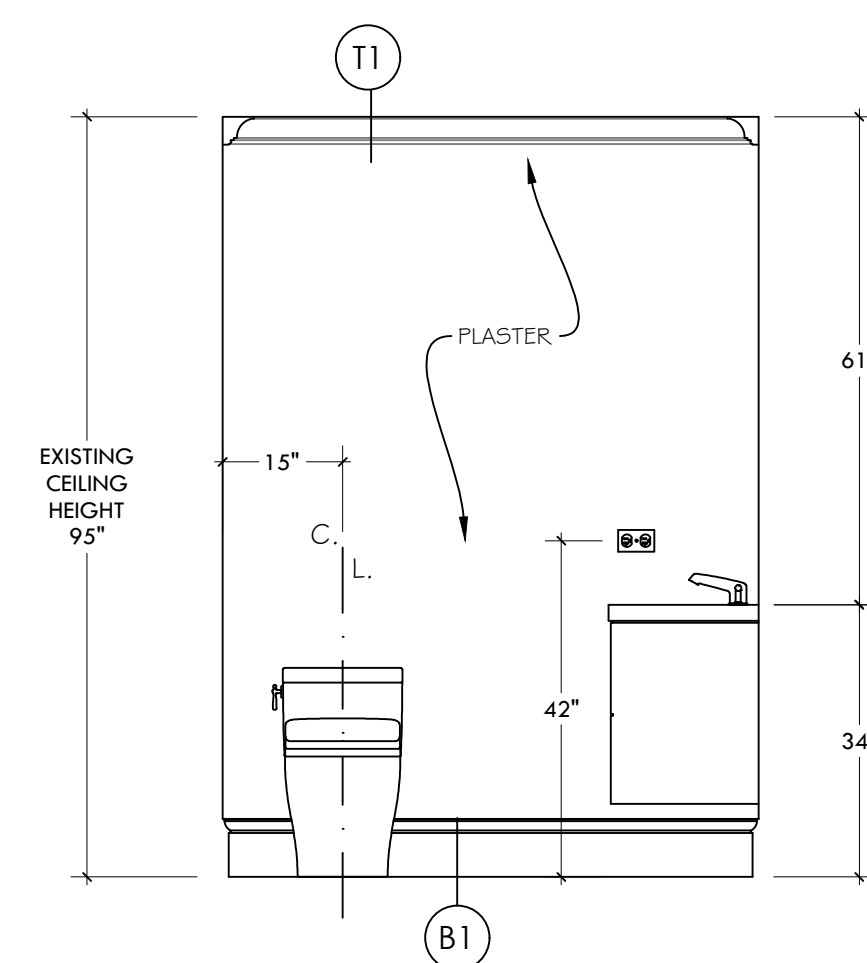
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Scale: 1/2" = 1'-0"



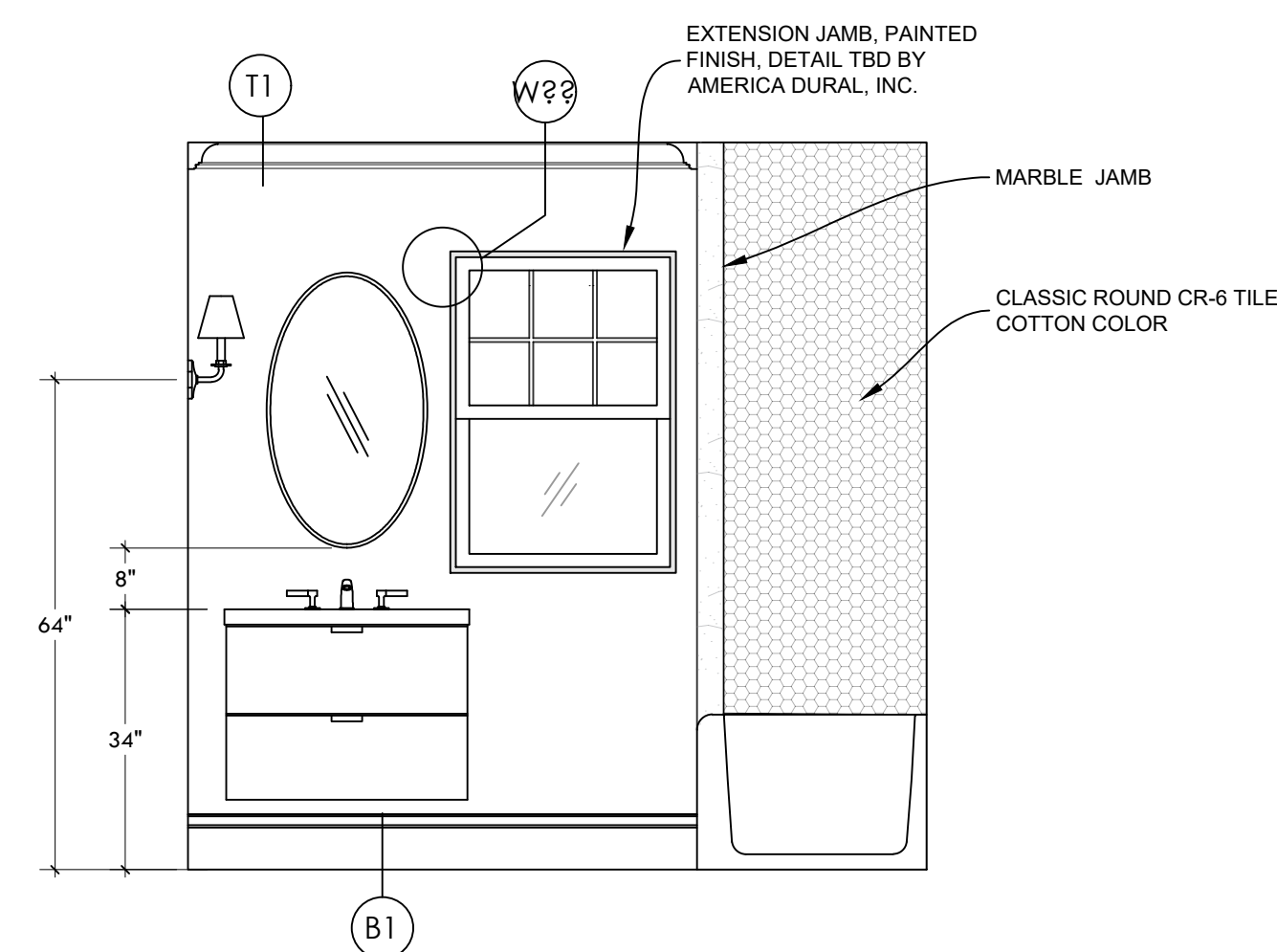
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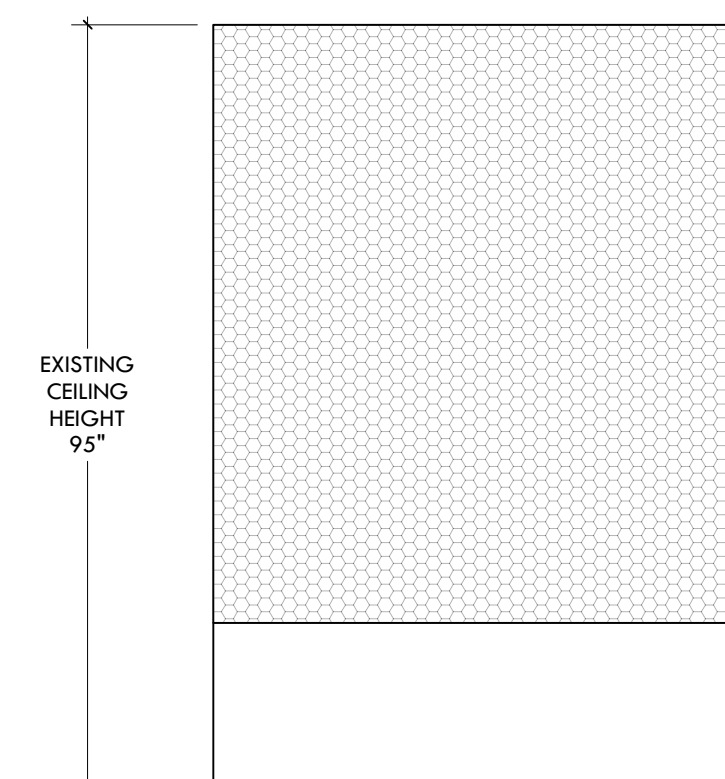
GUEST BATH PLAN
SCALE: 3/8" = 1'-0"



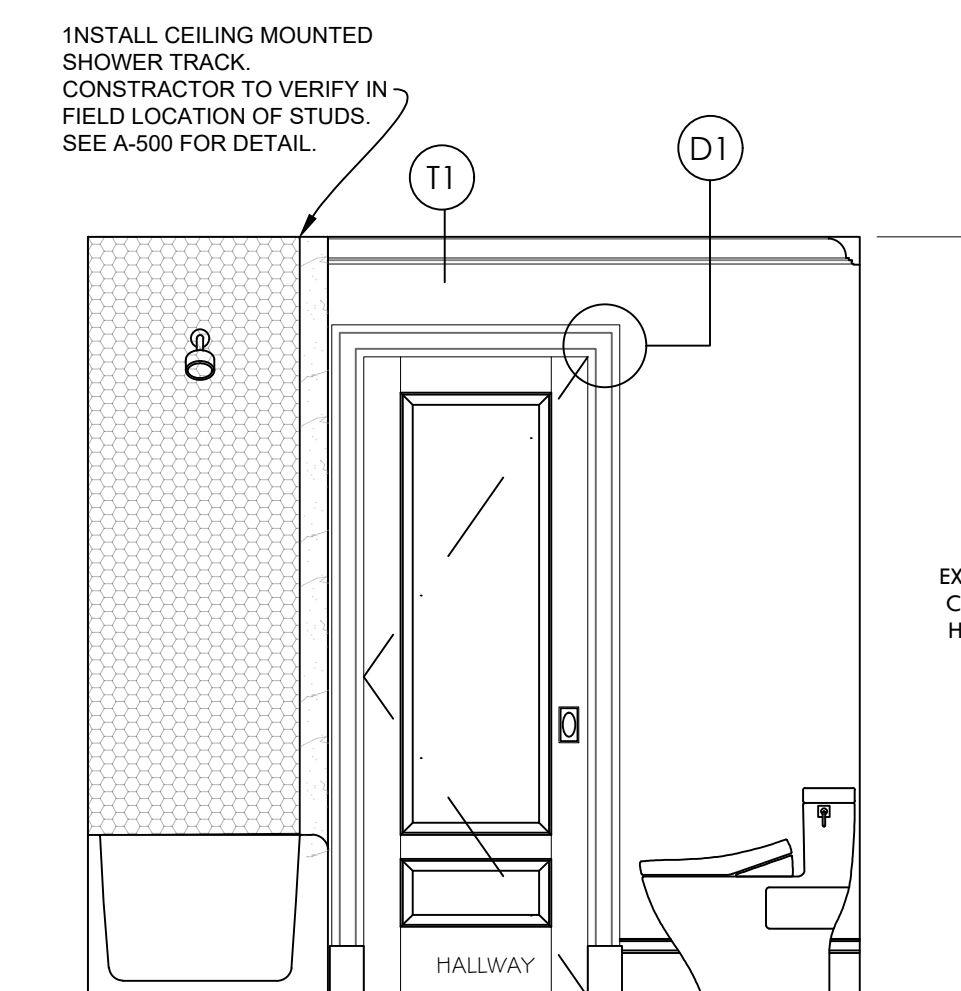
5 GUEST BATHROOM
Scale: 1/2" = 1'-0"



6 GUEST BATHROOM
Scale: 1/2" = 1'-0"



7 GUEST BATHROOM
Scale: 1/2" = 1'-0"



8 GUEST BATHROOM
Scale: 1/2" = 1'-0"

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Susana	03232022		
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J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'-0"
Drawing Title:
SECOND FLOOR - INTERIOR
ELEVATIONS

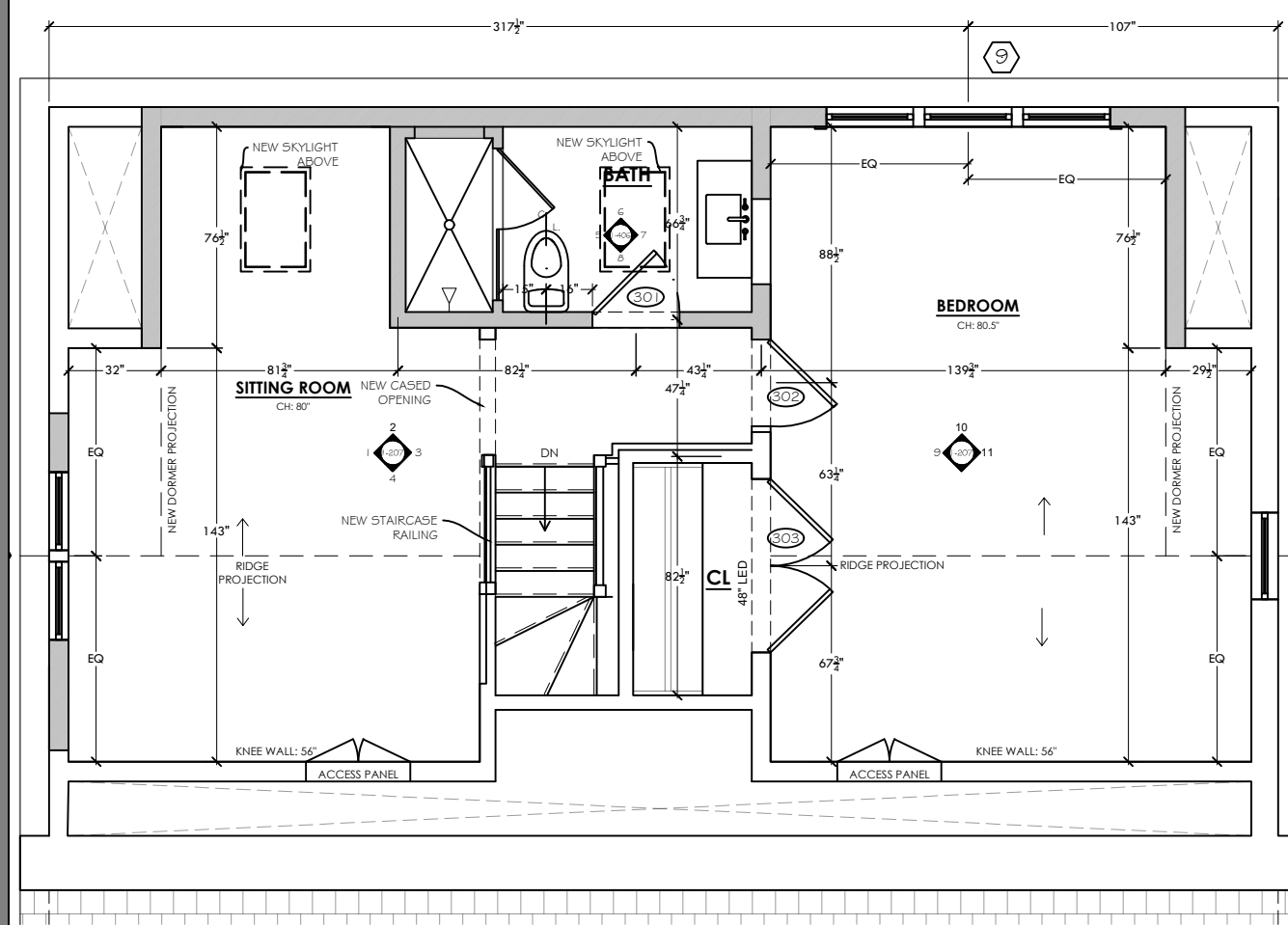
Issue Date:
August 29, 2022

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RESIDENTIAL DESIGN

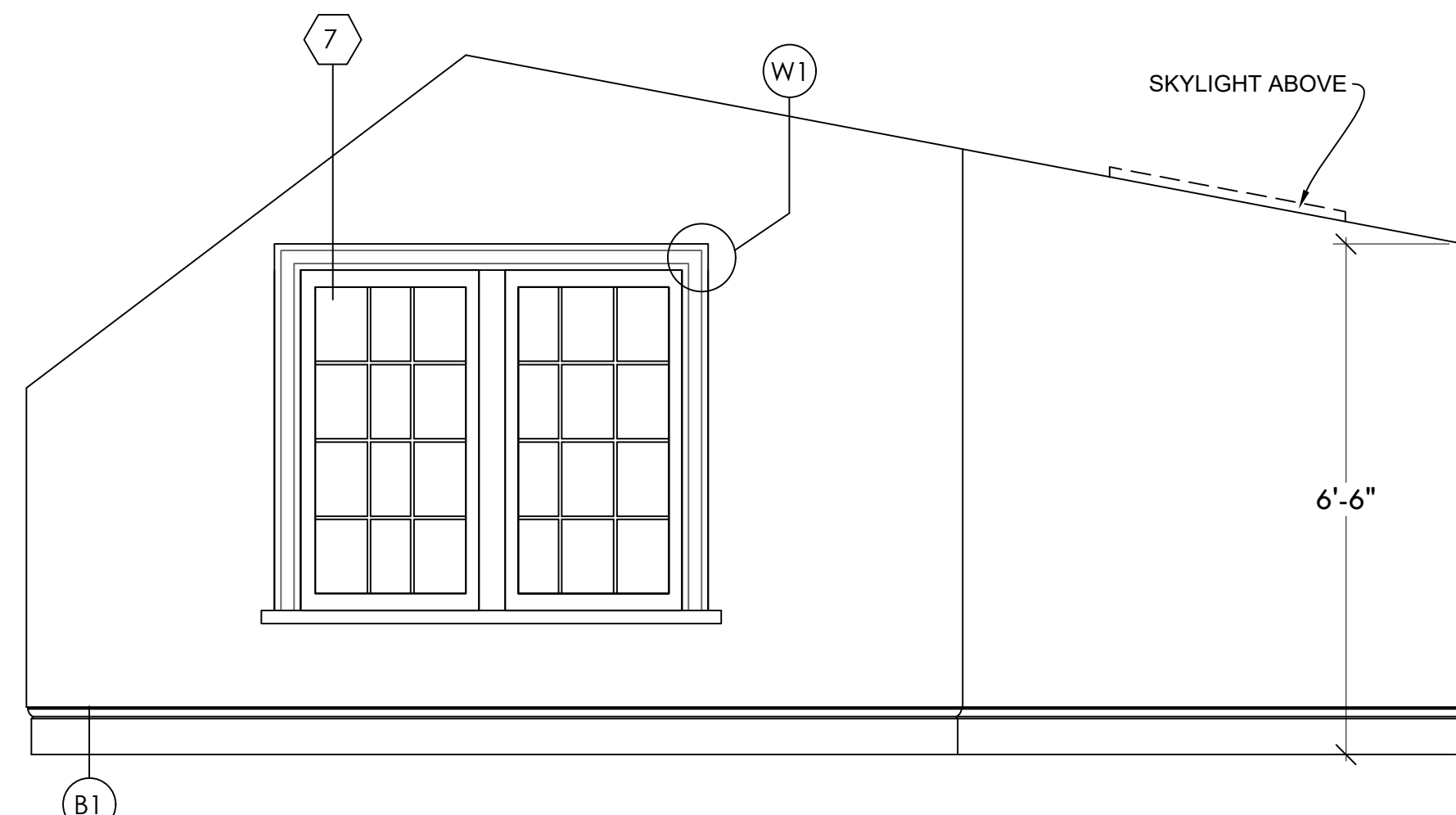
143 HURON AVENUE, CAMBRIDGE, MA 02138
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Sheet No.

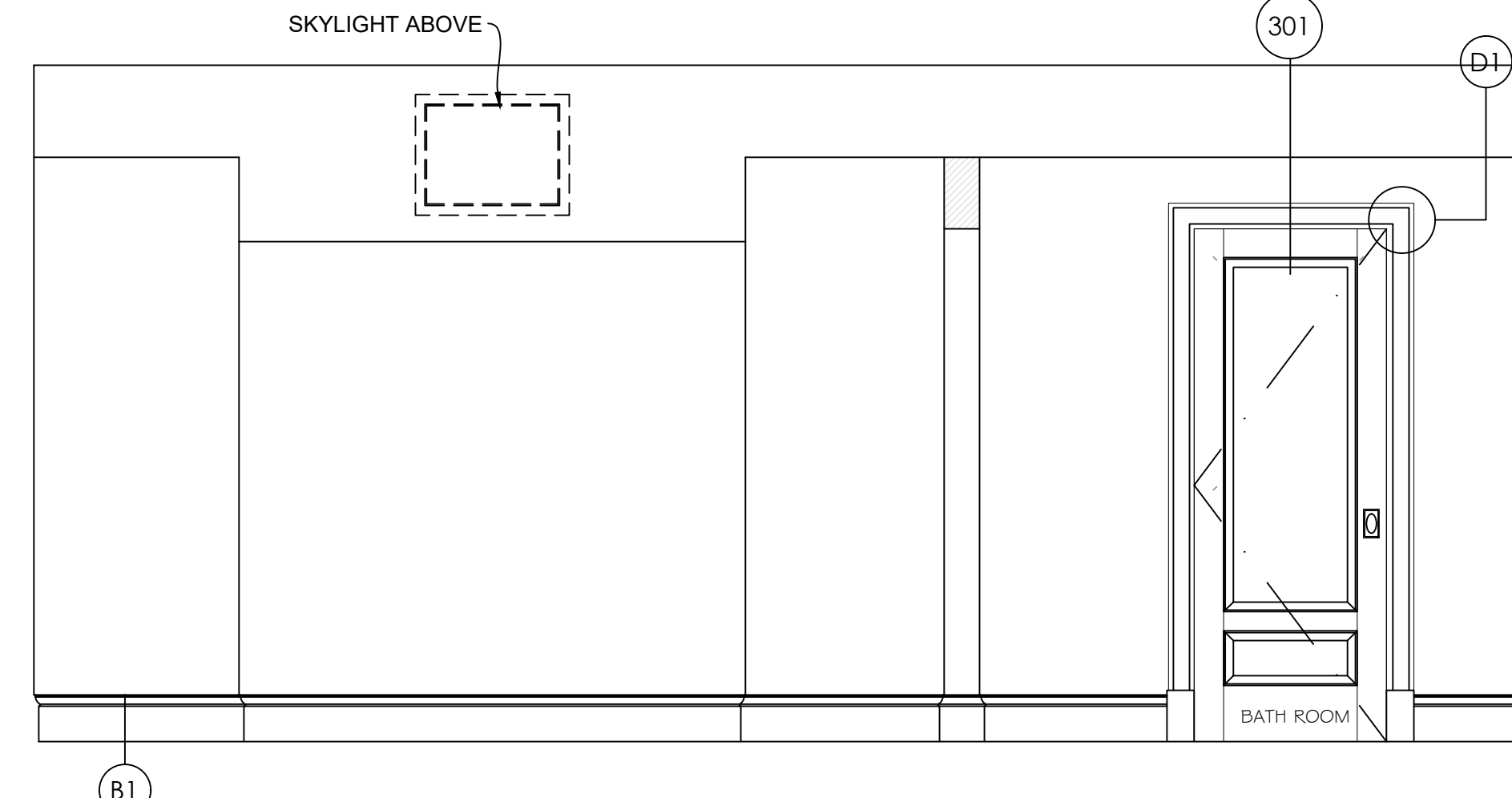
I- 206



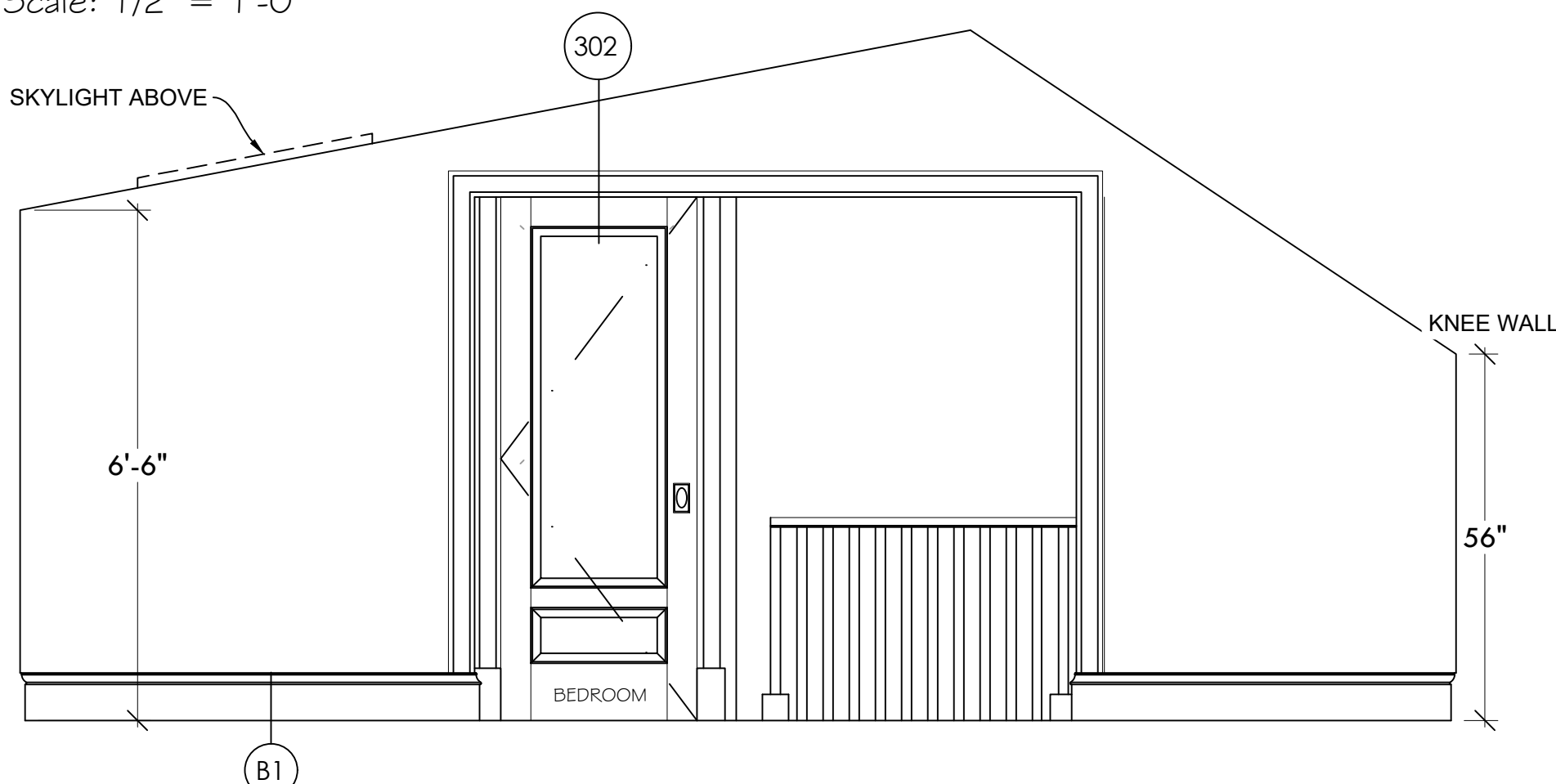
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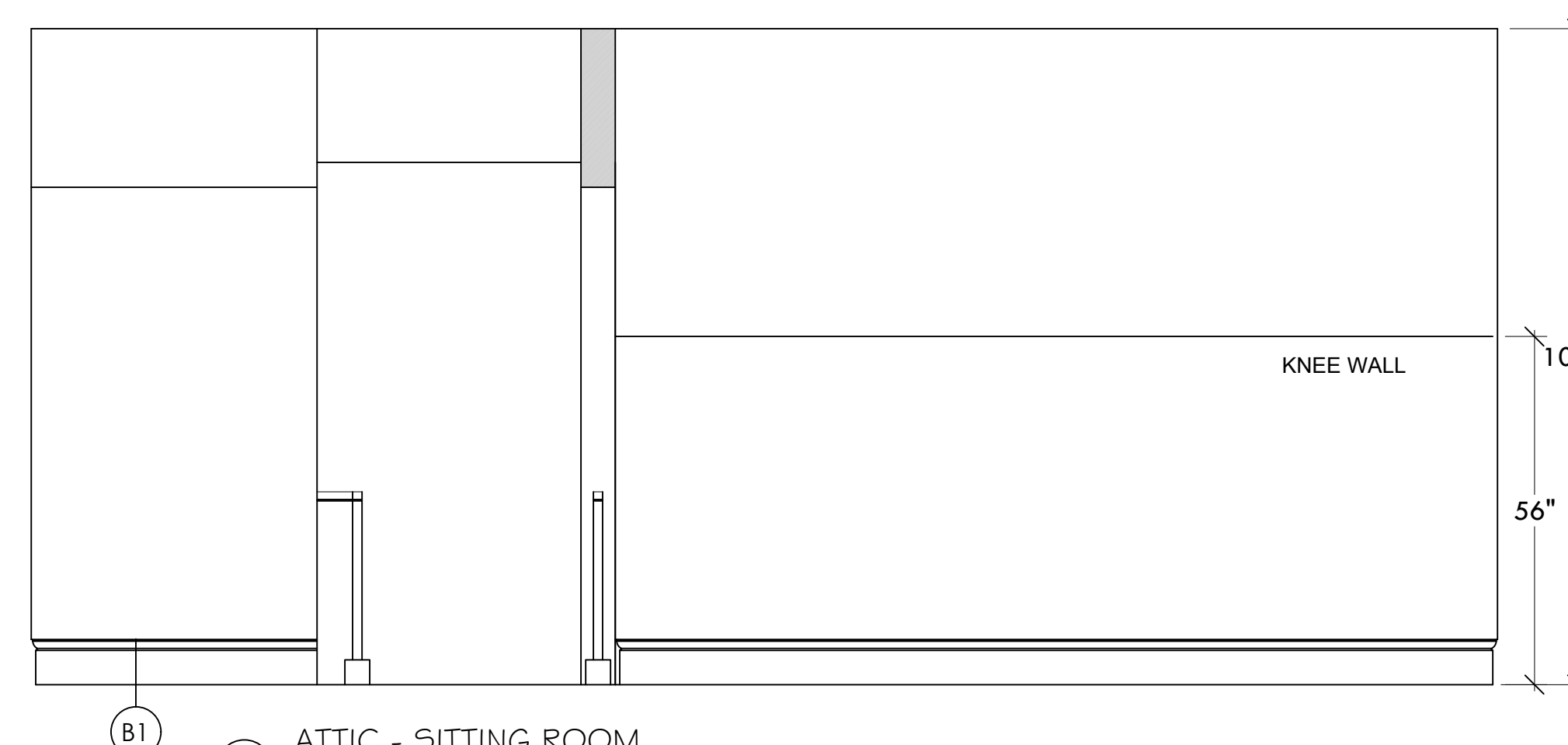
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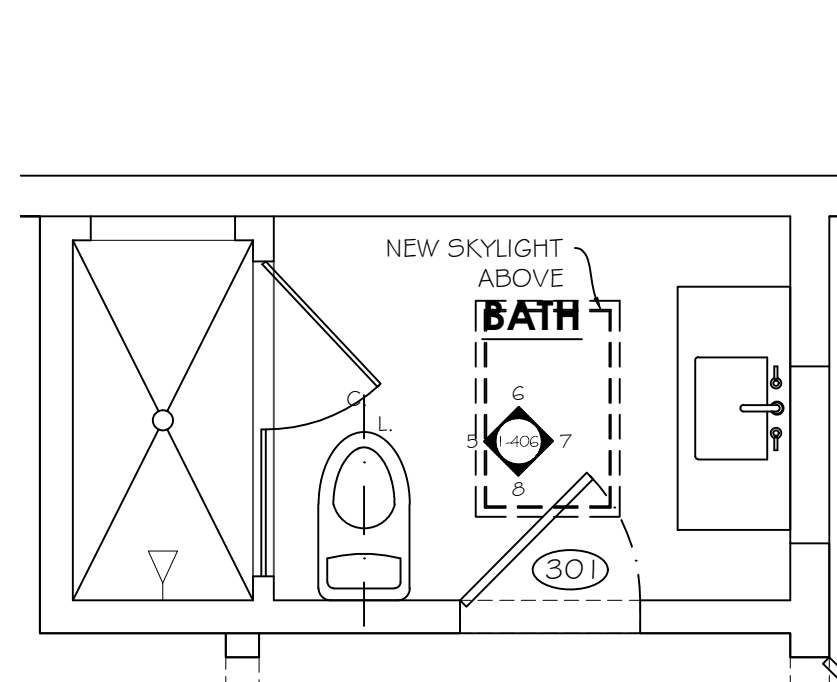
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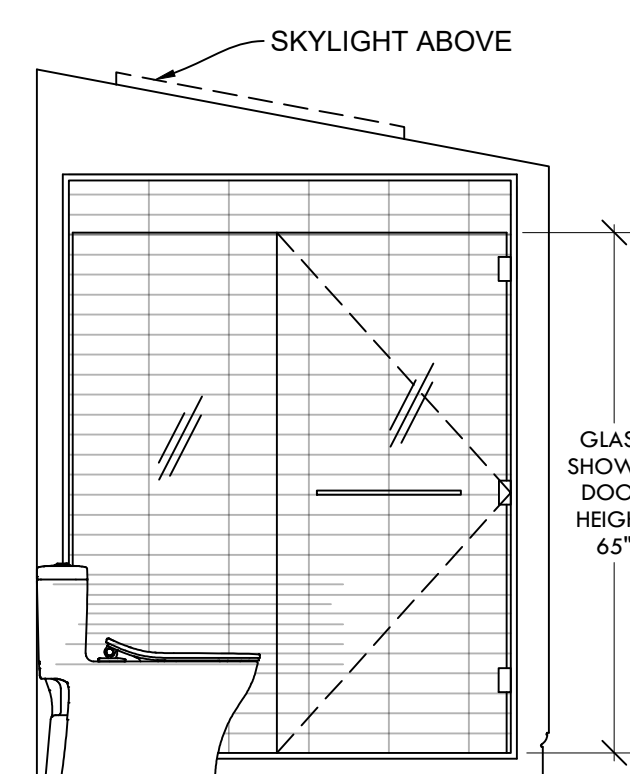
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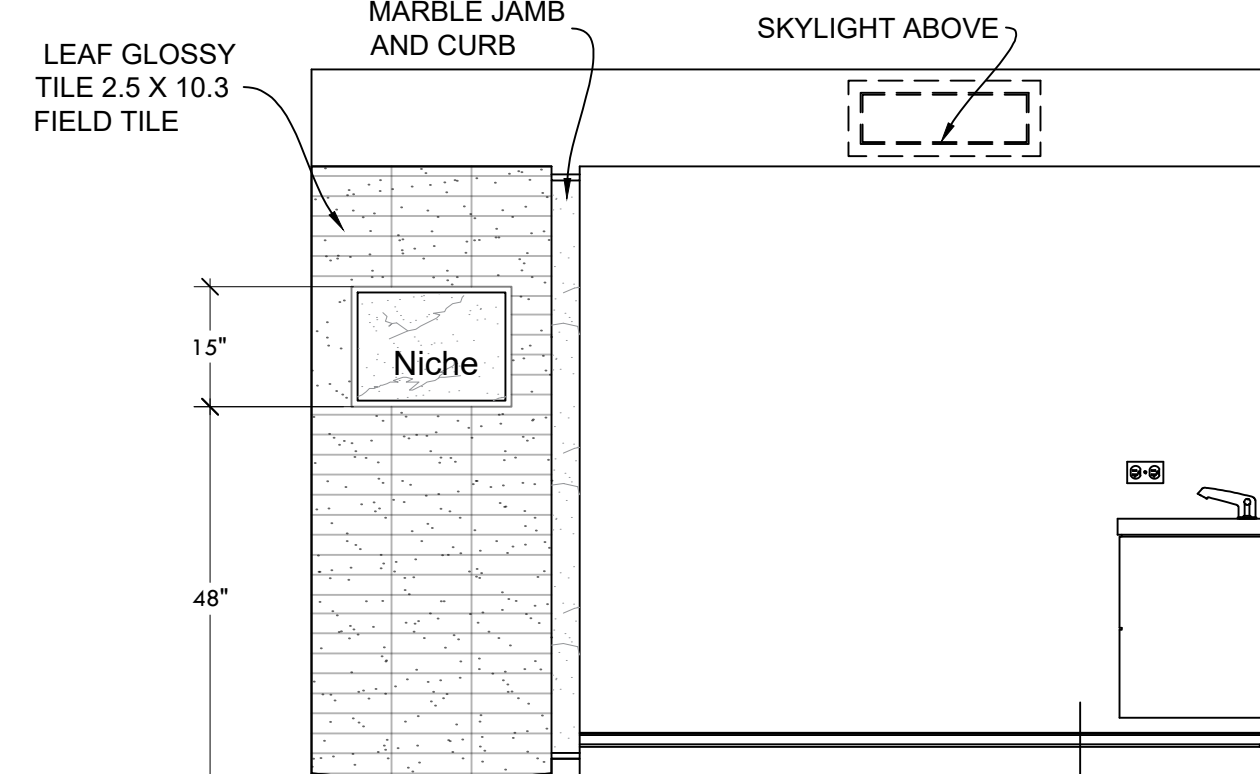
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Scale: 1/2" = 1'-0"



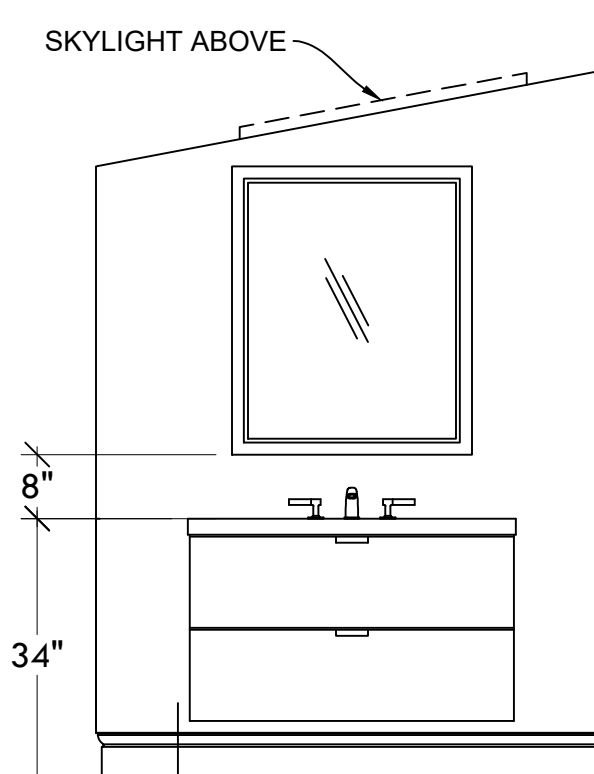
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Scale: 3/8" = 1'-0"



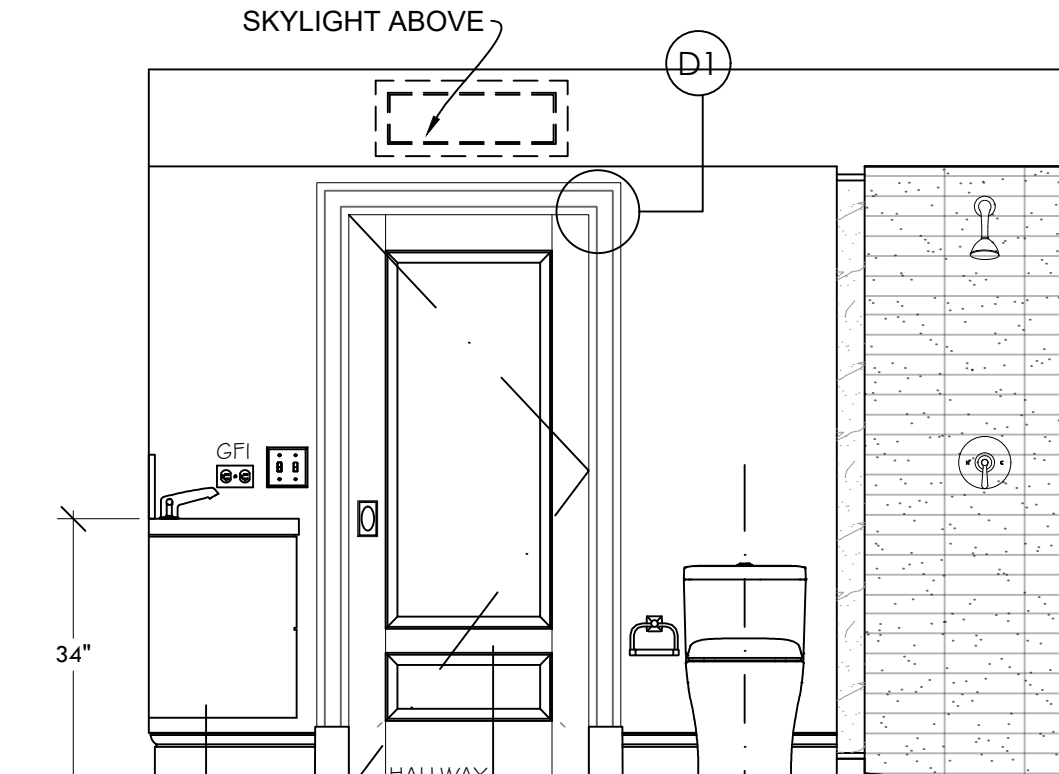
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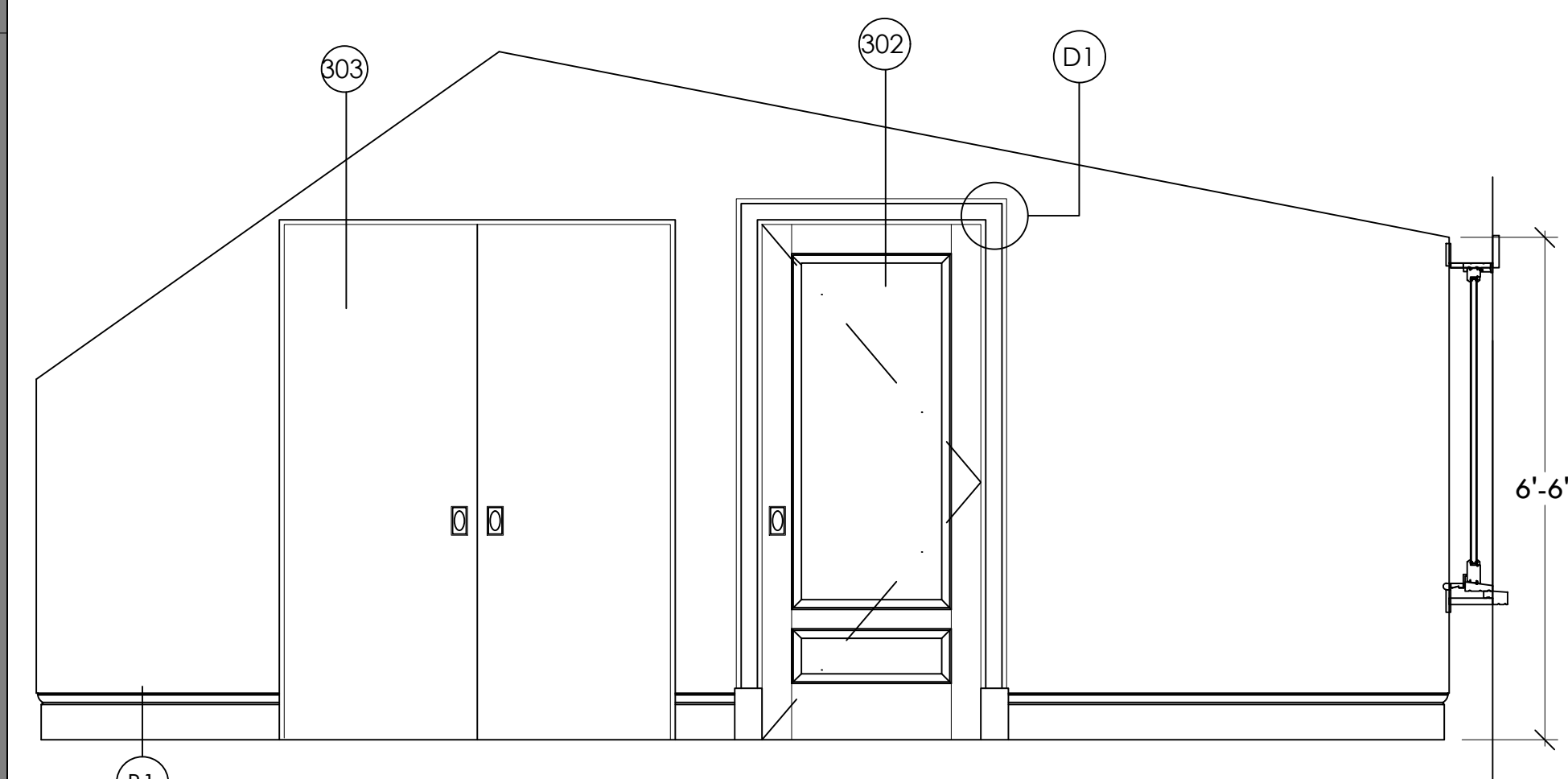
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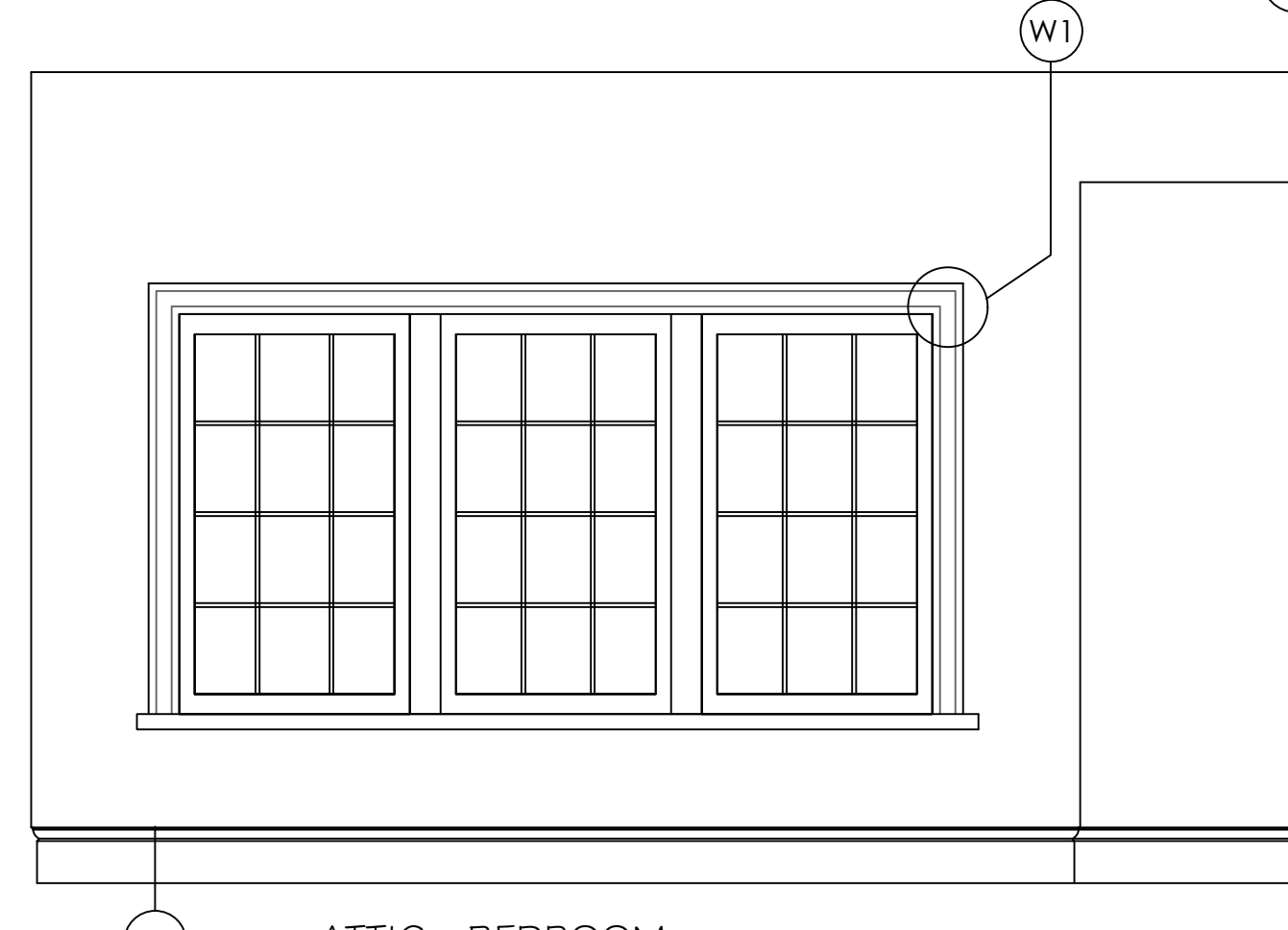
7 UPPER LEVEL-BATHROOM
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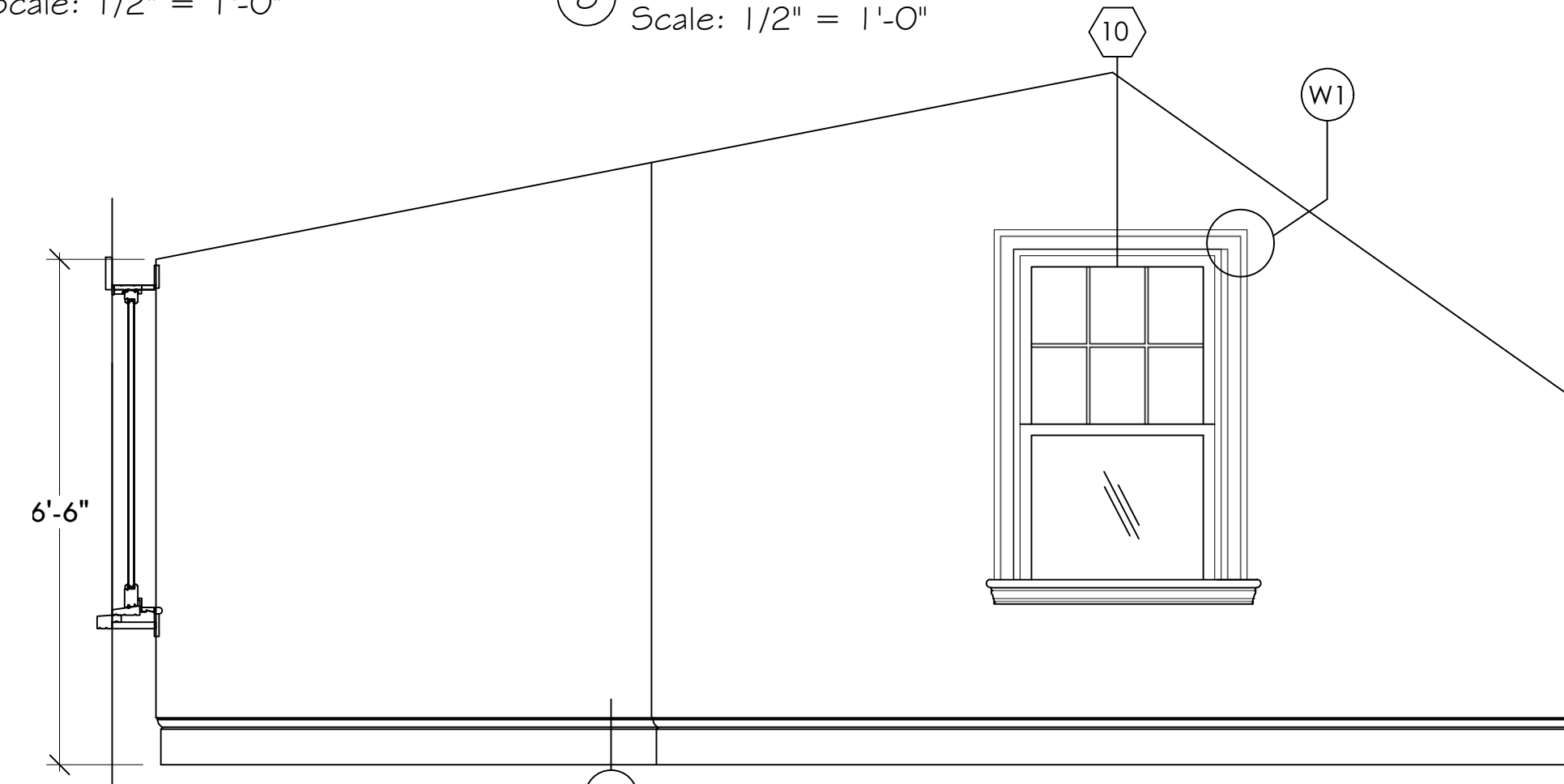
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Scale: 1/2" = 1'-0"



9 ATTIC-BEDROOM
Scale: 1/2" = 1'-0"



10 ATTIC-BEDROOM
Scale: 1/2" = 1'-0"



11 ATTIC-BEDROOM
Scale: 1/2" = 1'-0"

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LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
ATTIC - INTERIOR
ELEVATIONS

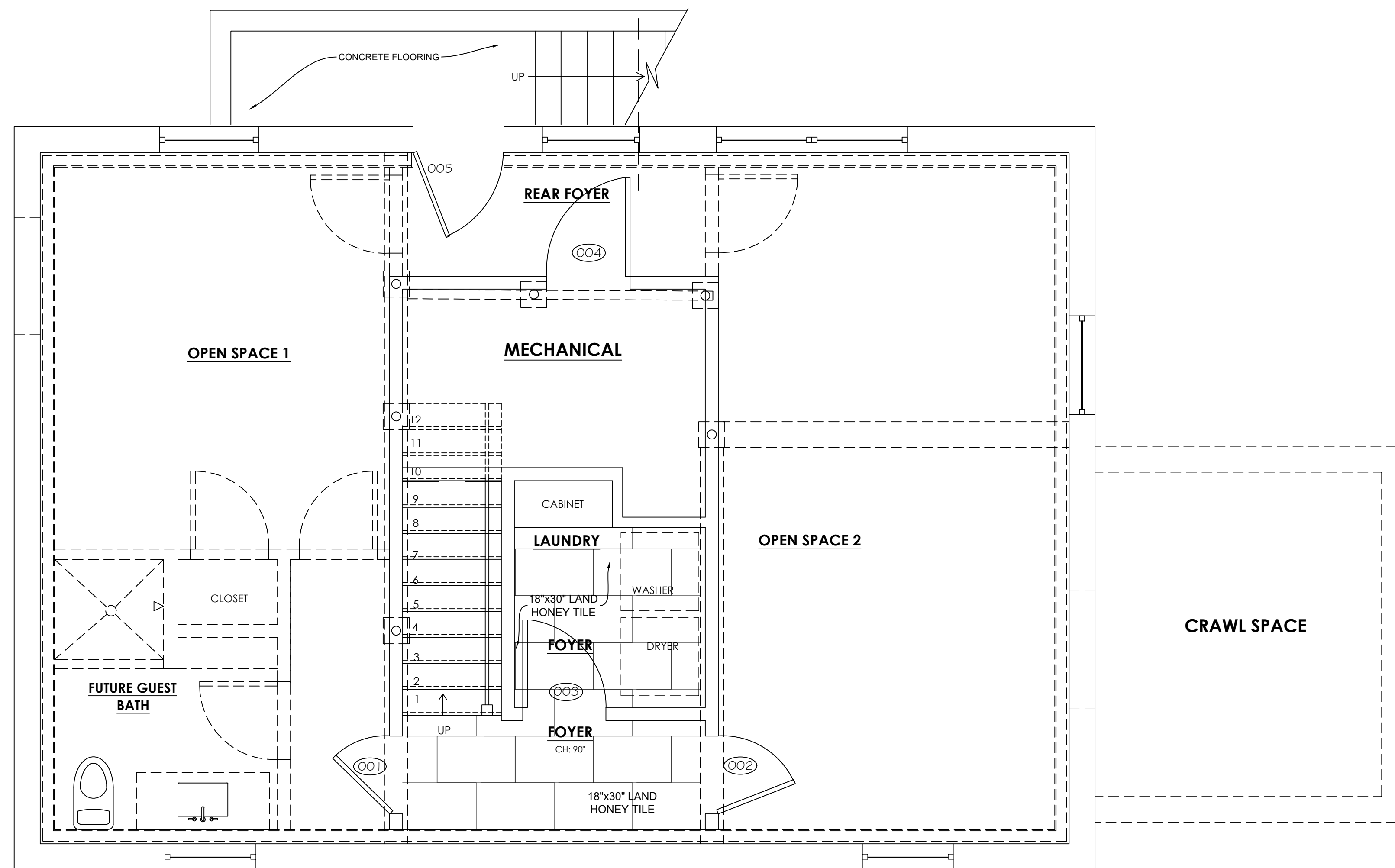
Issue Date:
August 29, 2022

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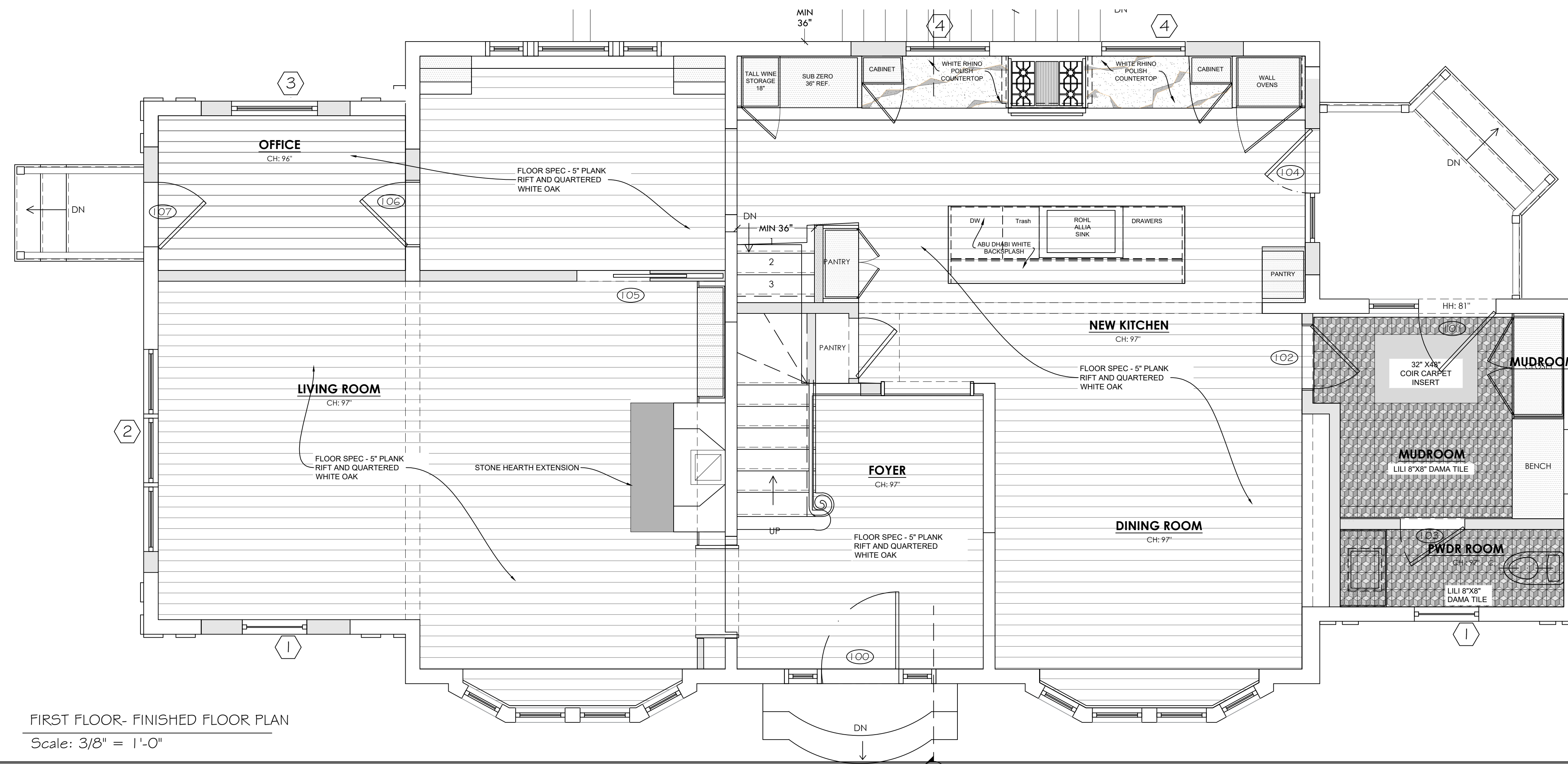
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Sheet No.

I-207



BASEMENT- FINISHED FLOOR PLAN
Scale: 3/8" = 1'-0"



FIRST FLOOR- FINISHED FLOOR PLAN
Scale: 3/8" = 1'-0"

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LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
BASEMENT AND FIRST
FLOOR - FINISHED FLOOR
PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

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Sheet No.

A-400

WINDOW SCHEDULE

KEY	UNIT TYPE	ROUGH OPENING	DIMENSION	MODEL #	QNTY	HEAD HEIGHT	TYPE	REMARKS		FLOOR	ROOM
1	SINGLE DOUBLE HUNG	30 1/2" X 72 1/4"	29 1/2" X 71 3/4"	ELDH 3072	2	SEE INT. ELEV.		NEW SINGLE D/H WINDOW		1ST FL	POWDER ROOM; LIVING ROOM
2	TRIPLE DOUBLE HUNG	90 1/2" X 72 1/4"	89 1/2" X 71 3/4"	ELDH 3072 - 3 MULL	1	SEE INT. ELEV.		NEW TRIPLE D/H WINDOW		1ST FL	LIVING ROOM
3	SINGLE CASEMENT	41" X 53 5/8"	40" X 53 1/8"	UAC4054 E	1			NEW SINGLE CASEMENT WINDOW		1ST FL	OFFICE
4	SINGLE CASEMENT	37" X 53 5/8"	36" X 53 5/8"	UAC3654 E	2			NEW SINGLE CASEMENT WINDOW		1ST FL	KITCHEN
5	DOUBLE DOUBLE HUNG	61" X 52 1/4"	59" X 51 3/4"	ELDH 3052 - 2 MULL	1			NEW DOUBLE D/H WINDOW		2ND FL	MASTER BEDROOM
6	SINGLE DOUBLE HUNG	30 1/2" X 52 1/4"	29 1/4" X 39 1/2"	ELDH 3052 - TEMPERED	2			NEW SINGLE D/H WINDOW - TEMPERED	SQUARE STICKING CASEMENT	2ND FL	MASTER BATHROOM
7	DOUBLE CASEMENT	58" X 53 5/8"	57" X 53 1/8"	UCA2854 E - 2 MULL	2			NEW DOUBLE CASEMENT WINDOW		3RD FL	SITTING ROOM
8	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E - TEMP.	1			NEW SINGLE CASEMENT WINDOW - TEMPERED		3RD FL	BATHROOM
9	TRIPLE CASEMENT	87" X 53 5/8"	86" X 53 1/8"	UCA2854 E - 3 MULL	1			NEW TRIPLE CASEMENT WINDOW		3RD FL	BEDROOM
10	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E	1			NEW SINGLE CASEMENT WINDOW		3RD FL	BEDROOM

Note for all windows: black clad exterior and Paint grade finish for interior

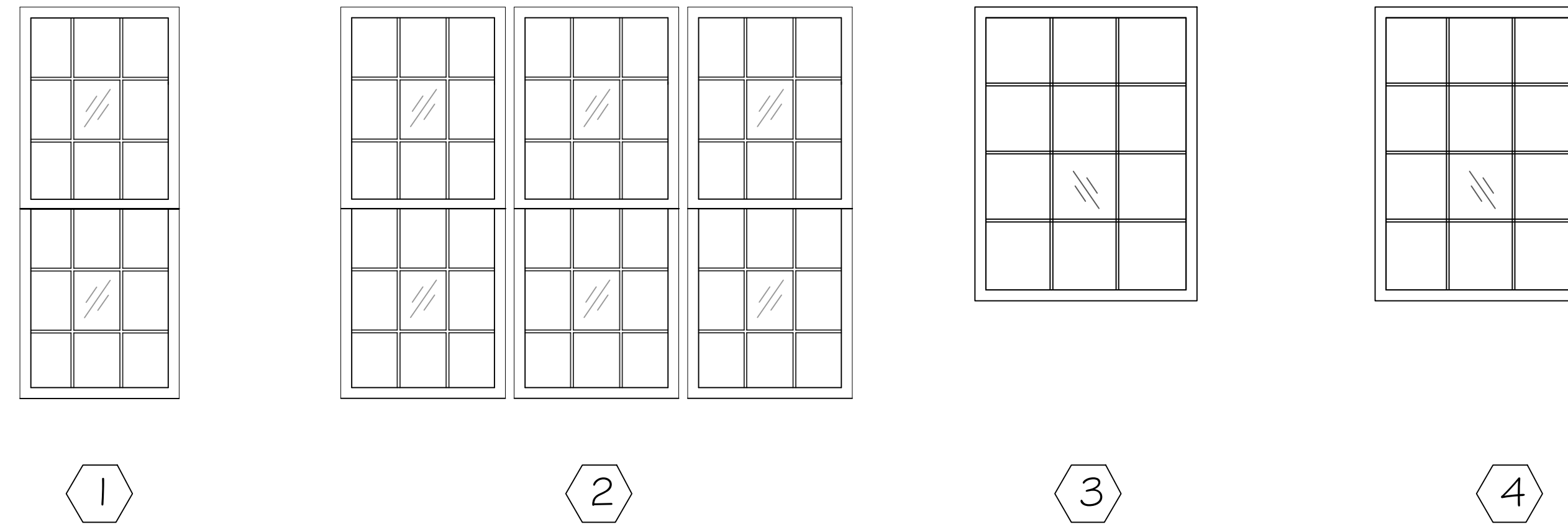
WINDOW NOTES

ALL WINDOWS SPECIFIED ULTIMATE FROM MARVIN WOOD-ULTREX SERIES, U.N.O.
 EXTERIOR COLOR: COCONUT CREAMT CLAD EXTERIOR
 INSECT SCREEN (FULL SIZE) @ ALL OPERABLE WINDOWS
 PRIMED WHITE INTERIOR FINISH
 7/8" SIMULATED DIVIDED LIGHTS WITH SPACER BARS PER ELEVATION LAYOUTS
 CONFIRM HARDWARE SELECTION AND FINISH WITH AMERICA DURAL

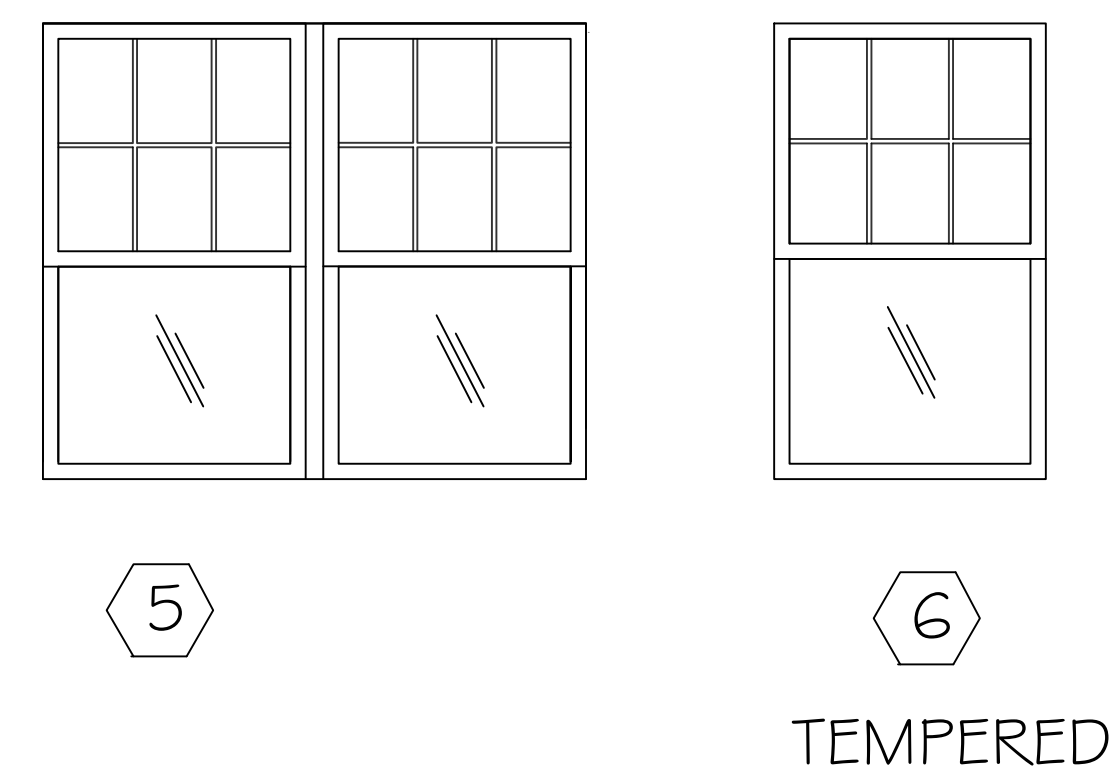
IF APPLICABLE, INSTALL WINDOWS PER BUILDING CODE IMPACT REQUIREMENTS (CONFIRM MPH REQUIREMENTS W/ LOCAL BUILDING CODES)

SUBMIT FINAL WINDOW PACKAGE TO AMERICA DURAL FOR REVIEW PRIOR TO PLACING ORDER

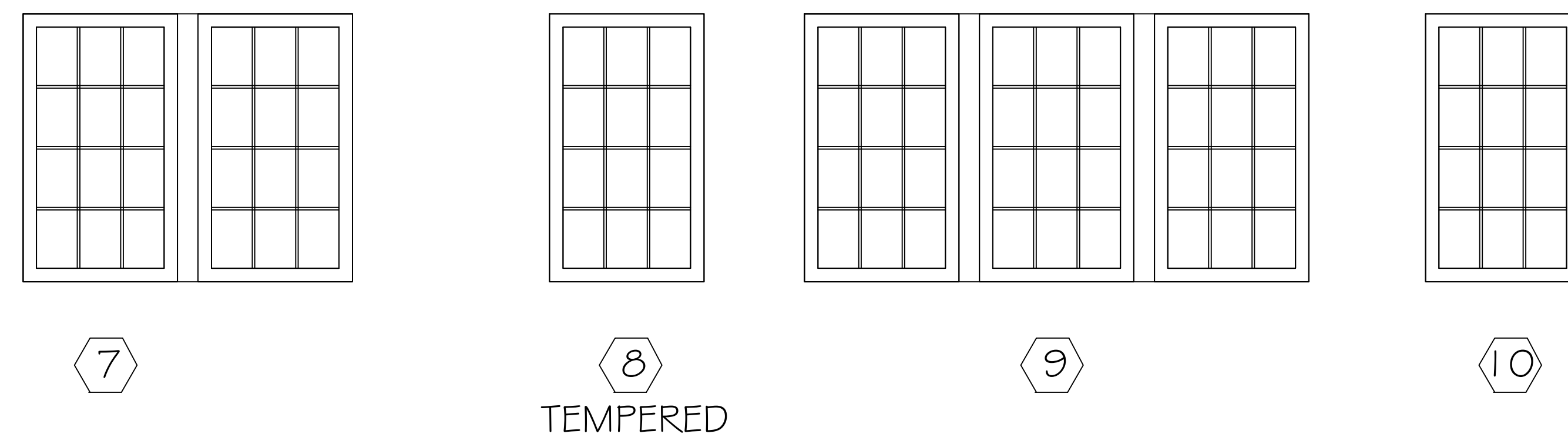
WINDOW TYPES FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



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RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
T: (617) 661-4100 | F: (617) 661-4145

LEGEND:

NO. REVISION DATE

JOB NAME AND ADDRESS:

SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

WINDOW SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

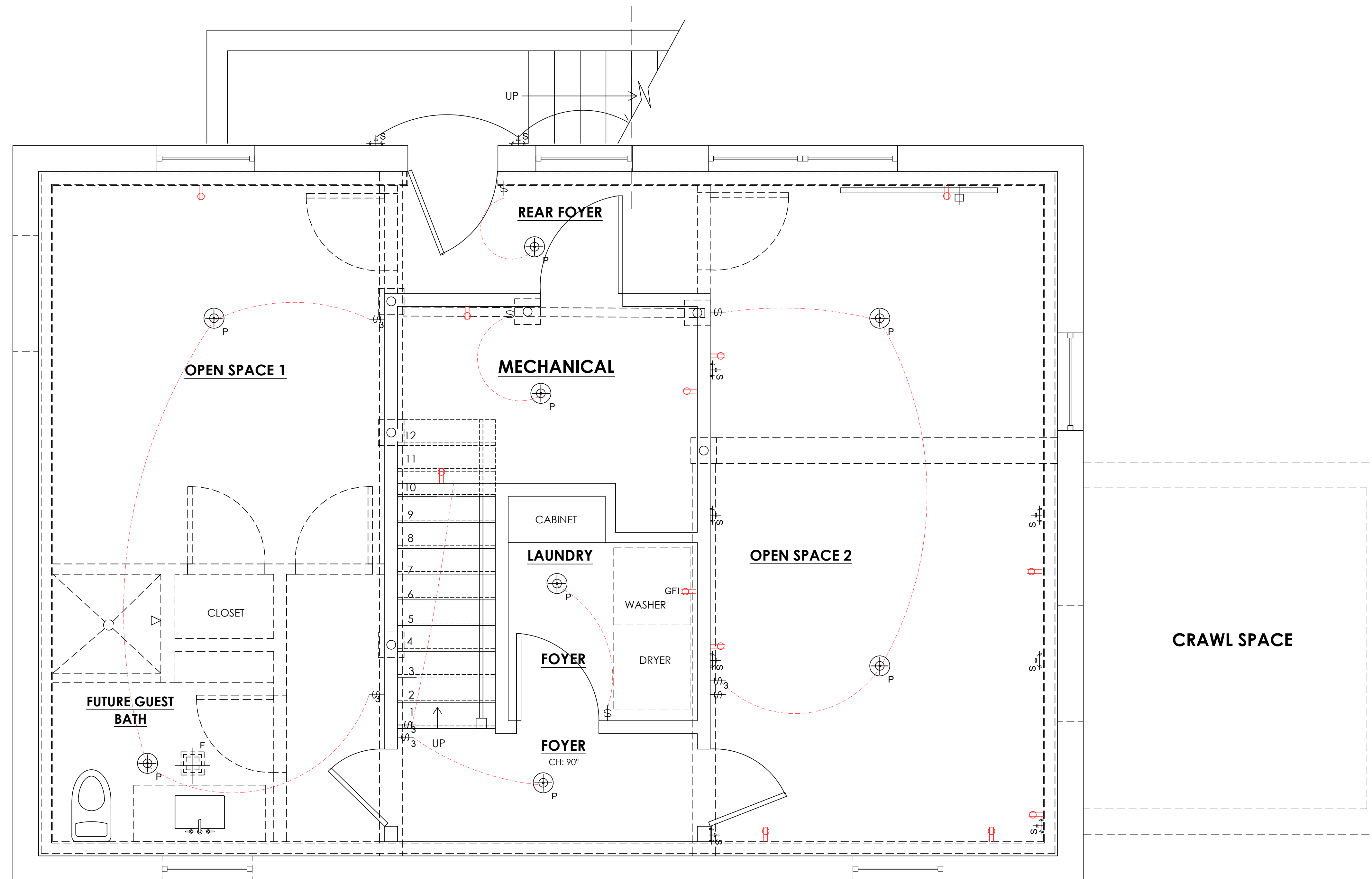
Sheet No.

A-602

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Page No.

33 of 33



BASEMENT- ELECTRICAL & LIGHTING PLAN
 Scale: 1/2" = 1'-0"

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LEGEND:

- NEW DUPLEX OUTLET
- NEW GFI OUTLET
- NEW DUPLEX OUTLET WITH USB PLUG
- NEW RECESSED CLOCK OUTLET
- NEW PHONE CONNECTION
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- NEW HDMI CONNECTION
- NEW RECESSED FIXTURE
- NEW RECESSED FIXTURE moisture protected
- NEW SURFACE MOUNT LIGHT
- WALL SCONCE (see elevations for height)
- LED STRIP LIGHTS
- LED SPOT LIGHTS
- EXHAUST FAN IN THE BATHROOMS
- SINGLE POLE SWITCH
- THREE WAY SWITCH

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 1/2" = 1'-0"

Drawing Title:
 BASEMENT - LIGHTING & ELECTRICAL PLAN

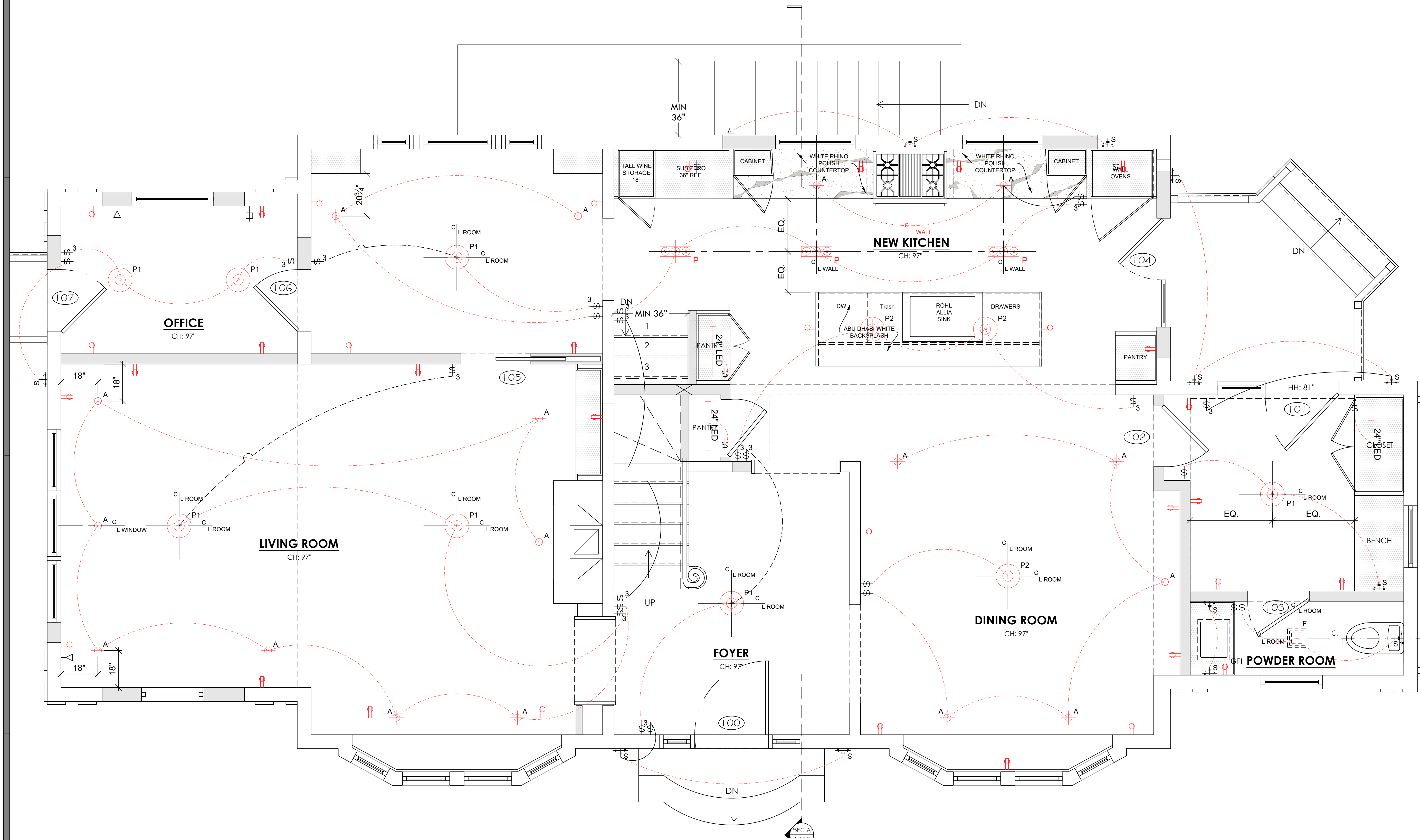
Issue Date:
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Sheet No.

E-100



FIRST FLOOR - ELECTRICAL & LIGHTING PLAN
 Scale: 1/2" = 1'-0"

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LEGEND:

- NEW DUPLEX OUTLET
- NEW GFI OUTLET
- NEW DUPLEX OUTLET WITH USB PLUG
- NEW RECESSED CLOCK OUTLET
- NEW PHONE CONNECTION
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- NEW HDMI CONNECTION
- NEW RECESSED FIXTURE
- NEW RECESSED FIXTURE moisture protected
- NEW THREE GANG WAC LIGHT
- NEW SURFACE MOUNT LIGHT
- NEW PENDANT LIGHT
- WALL SCONCE (see elevations for height)
- LED STRIP LIGHTS
- LED SPOT LIGHTS
- EXHAUST FAN IN THE BATHROOMS
- SINGLE POLE SWITCH
- THREE WAY SWITCH

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 1/2" = 1'-0"

Drawing Title:
 FIRST FLOOR - LIGHTING & ELECTRICAL PLAN

Issue Date:
 August 29, 2022

AMERICA DURAL
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
















E-101

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LEGEND:

-  NEW DUPLEX OUTLET
-  NEW GFI OUTLET
-  NEW DUPLEX OUTLET WITH USB PLUG
-  NEW RECESSED CLOCK OUTLET
-  NEW PHONE CONNECTION
-  NEW ETHERNET OUTLET
-  NEW CABLE OUTLET
-  NEW HDMI CONNECTION
-  NEW RECESSED FIXTURE
-  NEW RECESSED FIXTURE moisture protected
-  NEW SURFACE MOUNT LIGHT
-  WALL SCONCE (see elevations for height)
-  LED STRIP LIGHTS
-  LED SPOT LIGHTS
-  EXHAUST FAN IN THE BATHROOMS
-  SINGLE POLE SWITCH
-  THREE WAY SWITCH

**PRELIMINARY
NOT FOR CONSTRUCTION**

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/2" = 1'-0"

Drawing Title:
SECOND FLOOR - ELECTRICAL & LIGHTING PLAN

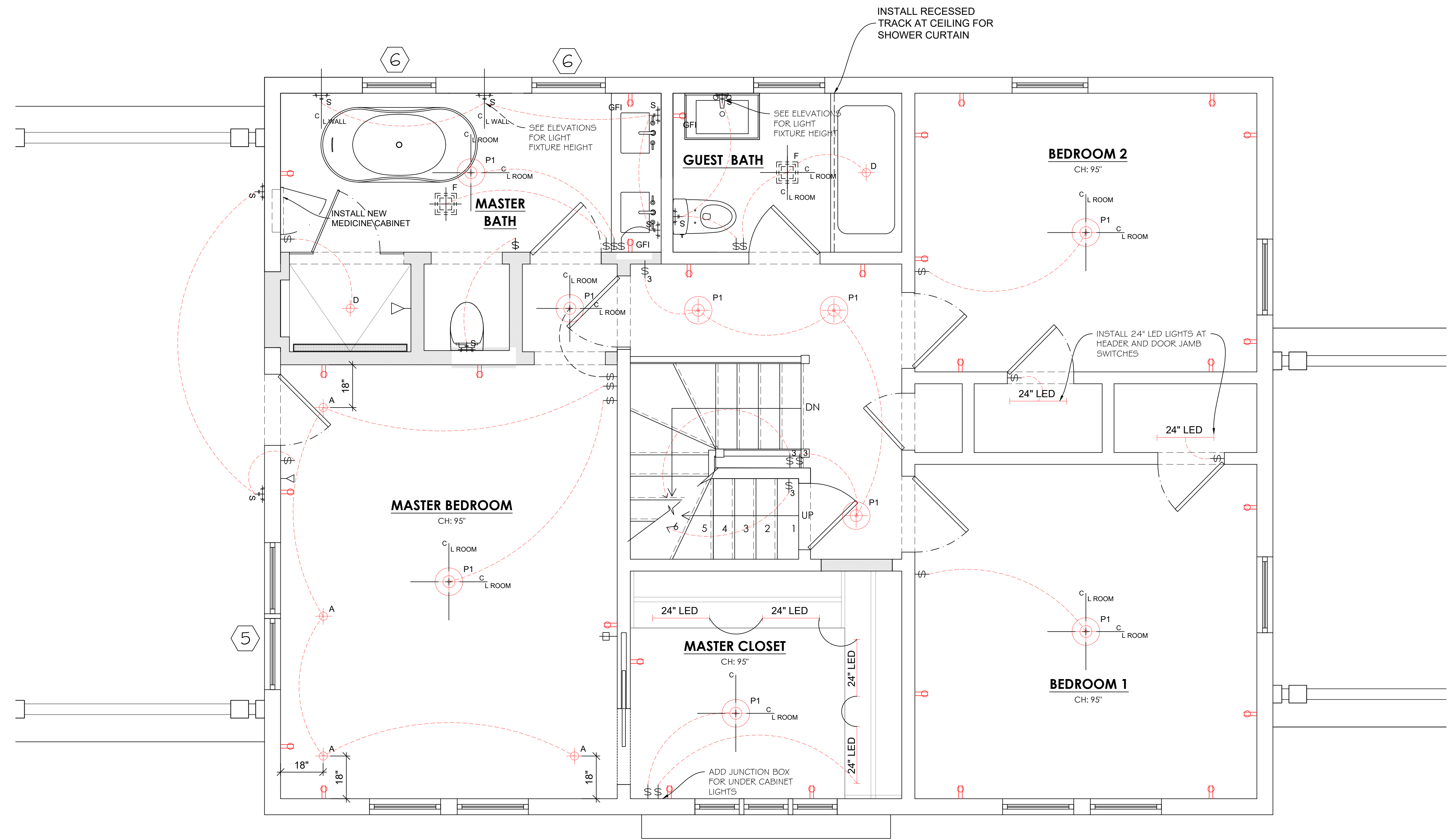
Issue Date:
August 29, 2022

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Sheet No.
E-102

Page No. 28 of 33



SECOND FLOOR - ELECTRICAL & LIGHTING PLAN
Scale: 3/8" = 1'-0"

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- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- NEW HDMI CONNECTION
- NEW RECESSED FIXTURE
- NEW RECESSED FIXTURE moisture protected
- NEW SURFACE MOUNT LIGHT
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- LED STRIP LIGHTS
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- THREE WAY SWITCH

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REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/2" = 1'-0"

Drawing Title:
ATTIC- ELECTRICAL & LIGHTING PLAN

Issue Date:
August 29, 2022

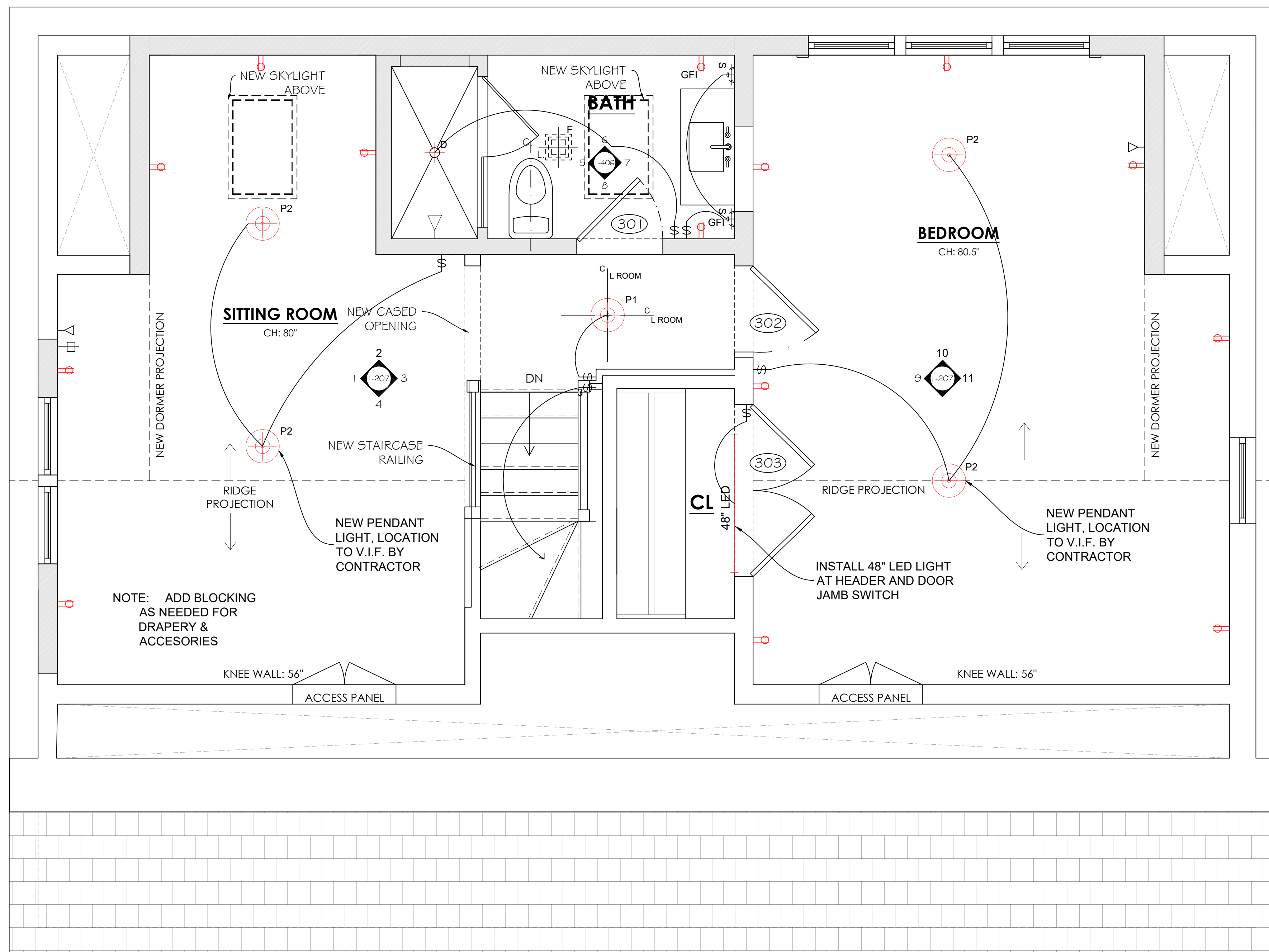
AMERICA DURAL
RESIDENTIAL DESIGN

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(617) 661-4100 FAX (617) 661-4145

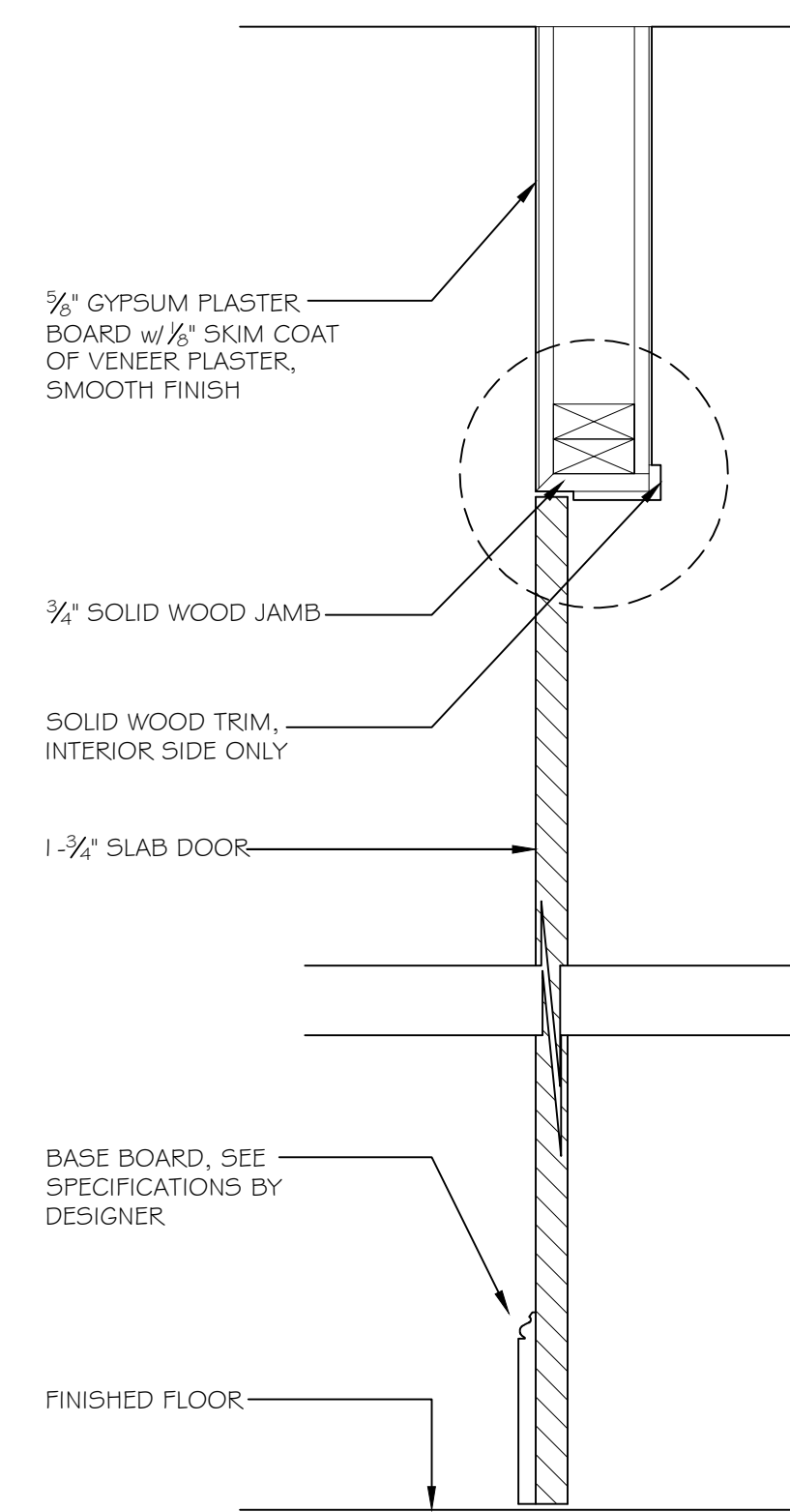
Sheet No.

E-103

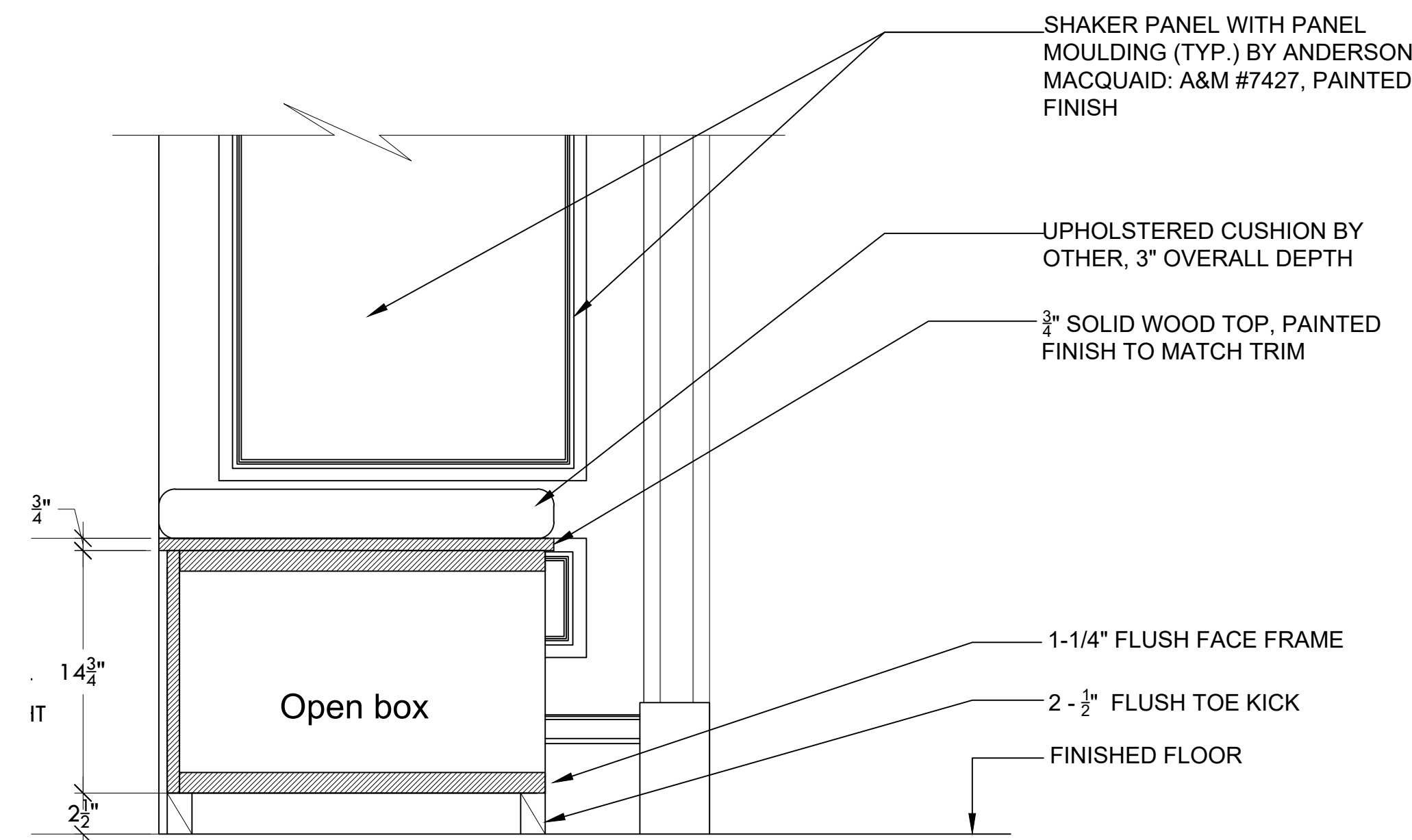
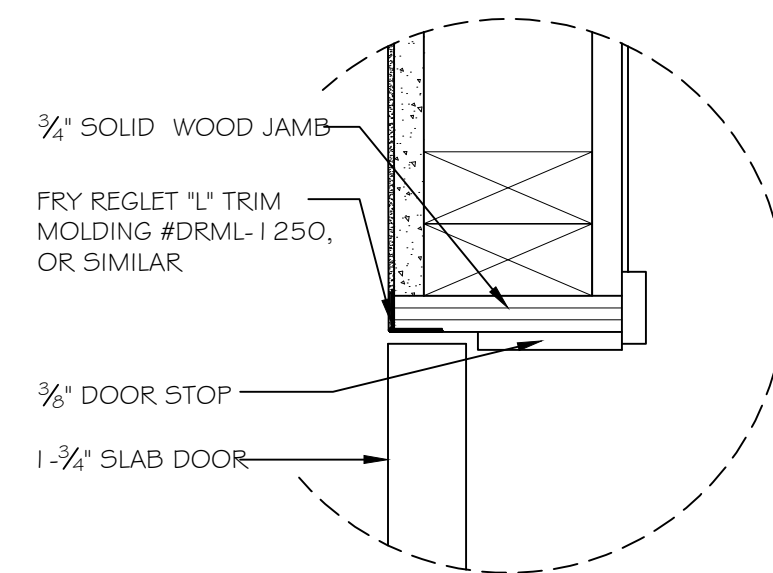
Page No. 29 of 33



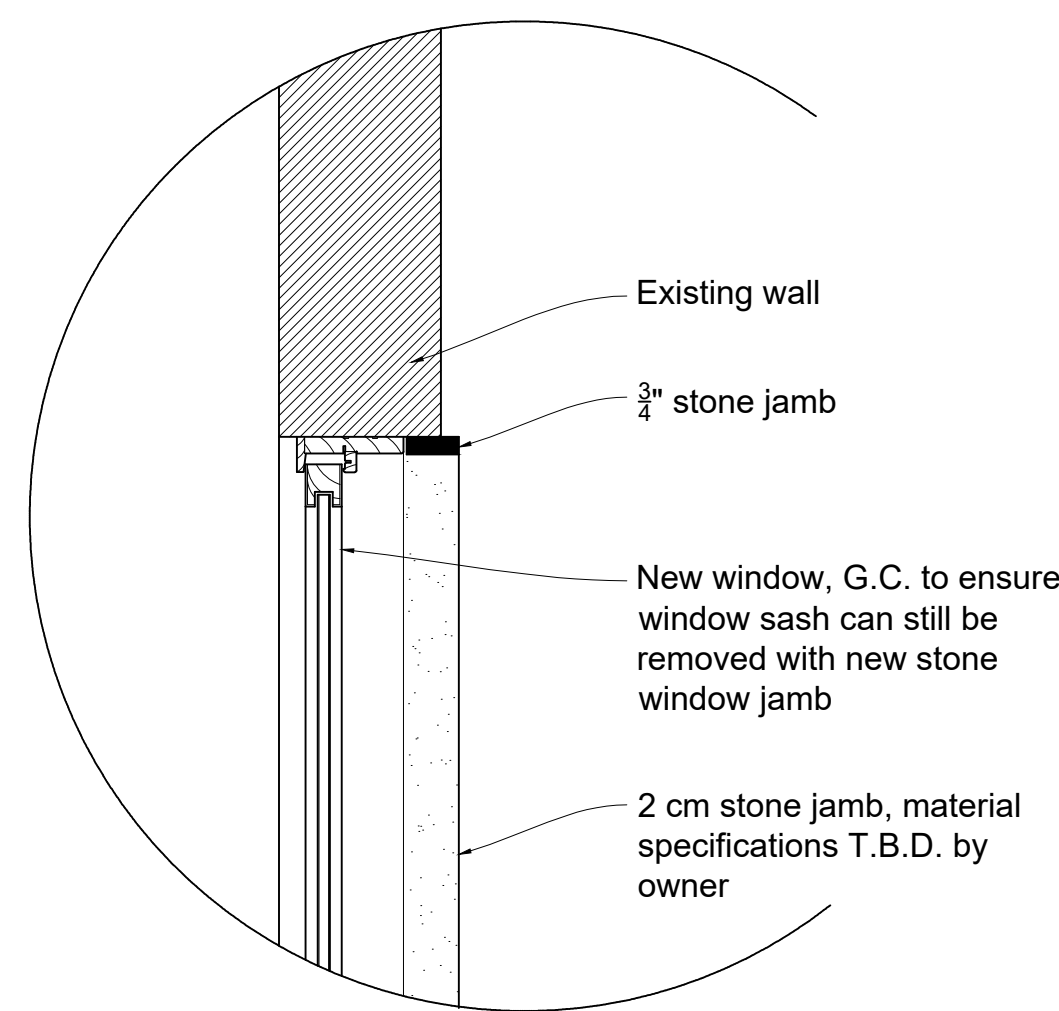
ATTIC - ELECTRICAL & LIGHTING PLAN
Scale: 3/8" = 1'-0"



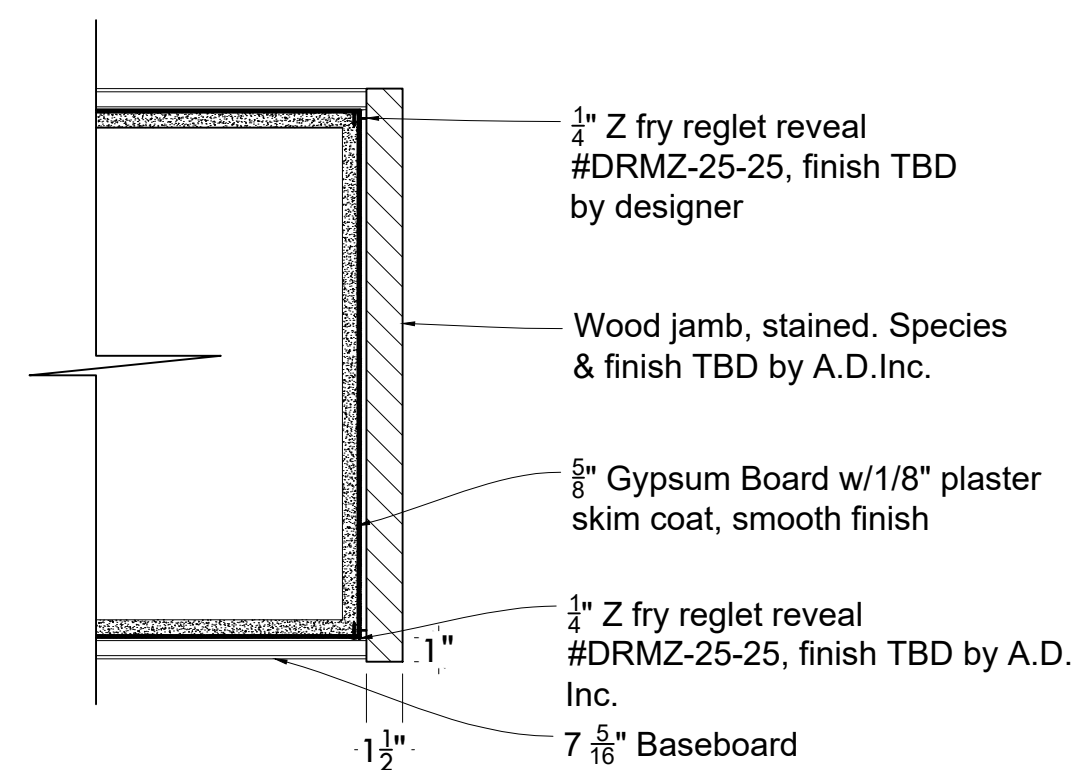
1 TYPICAL JIB DOOR DETAIL
Scale: 1-1/2" = 1'-0"



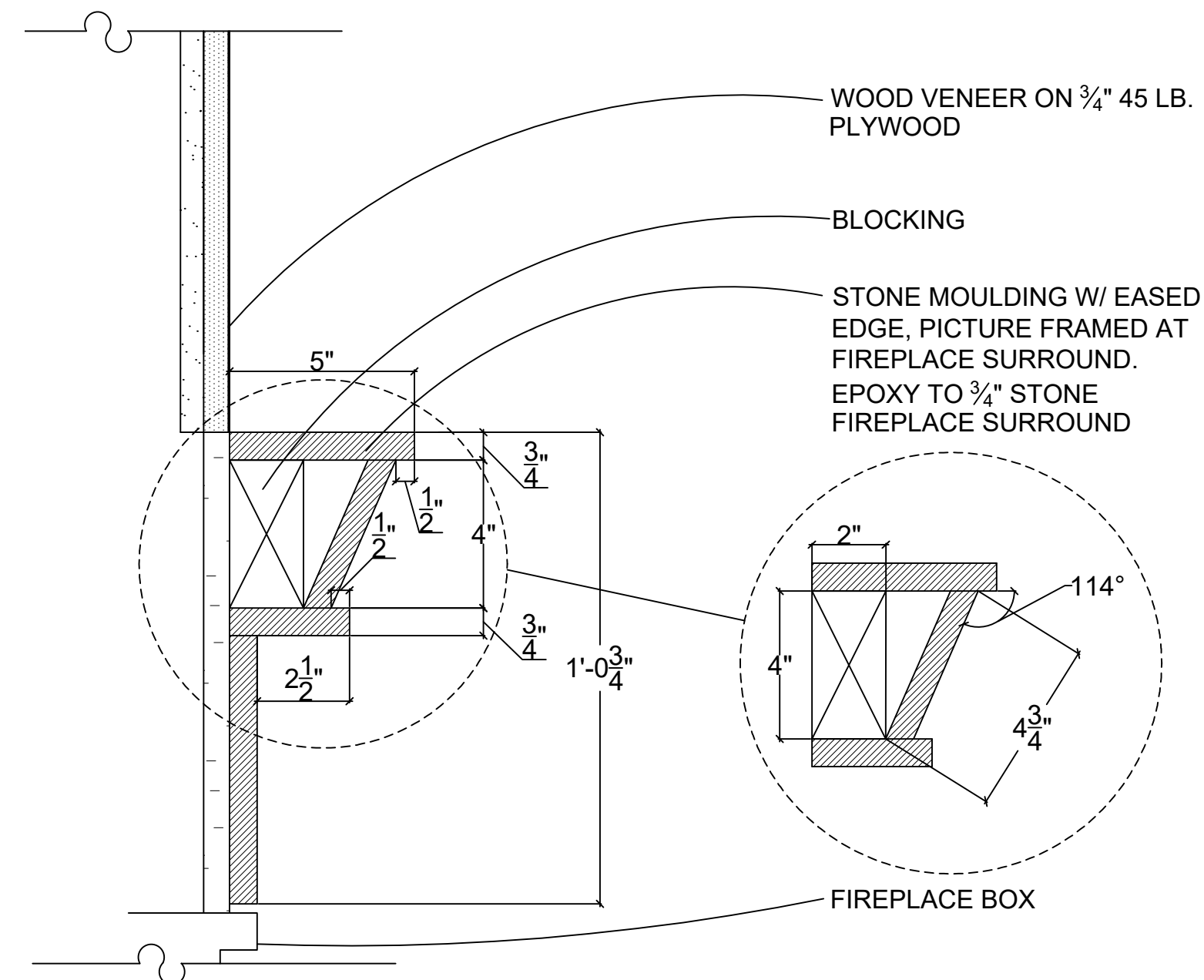
2 WINDOW SEAT DETAIL
Scale: 1 1/2" = 1'-0"



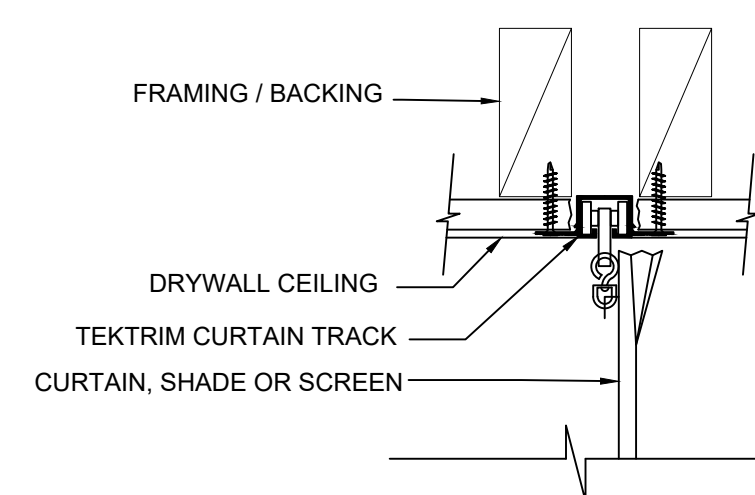
3 WINDOW EXTENSION JAMB DETAIL
Scale: 1 1/2" = 1'-0"



4 EXTENSION JAMB DETAIL
Scale: 1 1/2" = 1'-0"



5 DETAIL @ STONE FIREPLACE SURROUND
Scale: 3" = 1'-0"



6 EXTENSION JAMB DETAIL
Scale: 3" = 1'-0"

7 CASING DETAIL
Scale: 3" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

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LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
CONSTRUCTION DETAILS

Issue Date:
DATE August 29, 2022

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(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-500

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EXTERIOR DOOR SCHEDULE

MARK	DOOR SIZE	QTY	TYPE	L/R	LOCATION	MANUFACTURER	MODEL	DESCRIPTION	DOOR SPECIFICATIONS
005	36" x 80"	1			Entry to Lower level				
100	36" x 80"	1			Main entry				With 2 side lights
101	36" X 80"	1			Back entry to Mudroom				With 1 side light
104	53" X 80"	1			Entry to Kitchen				Double door
107	30" X 80"	1			Entry to Office				
204	30" X 80"	1			Master Bedroom to Balcony				

EXTERIOR HARDWARE SCHEDULE

MARK	MANUFACTURER	MODEL	FINISH	DESCRIPTION	HARDWARE SPECIFICATIONS
008		TBD	TBD		
100		TBD	TBD		
101		TBD	TBD		
104		TBD	TBD		

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LEGEND:

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISION	DATE

JOB NAME AND ADDRESS:

SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

EXTERIOR DOOR SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

Sheet No.

A-600

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Page No.

31 of 33

INTERIOR DOOR SCHEDULE

MARK	DOOR SIZE	QTY	TYPE	L/R	LOCATION	MANUFACTURER	MODEL	DESCRIPTION	DOOR SPECIFICATIONS
001	30" x 72"	1			Hallway to Foyer	Marvin	Trustyle - TS2210	Interior panel door	
002	30" x 72"	1			Hallway to Bath	Marvin	Trustyle - TS2210	Interior panel door	
003	30" x 72"	1			Hallway to Guest Bedroom	Marvin	Trustyle - TS2210	Interior panel door	
004	30" x 72"	1			Guest Bedroom to Closet	Marvin	Trustyle - TS2210	Interior panel door	
102	30" X 80"	1			Mudroom to Dining Room	Marvin	Trustyle - TS2210	Interior panel door	
103	30" X 80"	1			Mudroom to Bathroom	Marvin	Trustyle - TS2210	Interior panel door	
105	34" X 80"	1			Sitting Area to Living Room			Pocket door	
106	30" X 80"	1			Sitting Area to office	Marvin	Trustyle - TS2210	Interior panel door	
200	30" X 80"	1			Hallway to Bathroom	Marvin	Trustyle - TS2210	Interior panel door	
201	30" X 80"	1			Hallway to Master Bedroom	Marvin	Trustyle - TS2210	Interior panel door	
202	30" X 80"	1			Master Bedroom to Master Bath	Marvin	Trustyle - TS2210	Interior panel door	
203	32" X 80"	1			Master Bedroom to Master Closet			Pocket door	
301	30" X 72"	1			Hallway to Bathroom	Marvin	Trustyle - TS2210	Interior panel door	
302	30" X 72"	1			Bathroom door	Marvin	Trustyle - TS2210	Interior panel door	
303	60" X 72"	1			Bedroom door			Double Jib door	

INTERIOR HARDWARE SCHEDULE

MARK	MANUFACTURER	MODEL	FINISH	DESCRIPTION	HARDWARE SPECIFICATIONS
		TBD	TBD		
		TBD	TBD		
		TBD	TBD		
		TBD	TBD		

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LEGEND:

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISION	DATE

JOB NAME AND ADDRESS:

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48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

INTERIOR DOOR SCHEDULE

Sheet No.

A-601

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SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

Page No.
32 of 33

WINDOW SCHEDULE

KEY	UNIT TYPE	ROUGH OPENING	DIMENSION	MODEL #	QNTY	HEAD HEIGHT	TYPE	REMARKS		FLOOR	ROOM
1	SINGLE DOUBLE HUNG	30 1/2" X 72 1/4"	29 1/2" X 71 3/4"	ELDH 3072	2	SEE INT. ELEV.		NEW SINGLE D/H WINDOW		1ST FL	POWDER ROOM; LIVING ROOM
2	TRIPLE DOUBLE HUNG	90 1/2" X 72 1/4"	89 1/2" X 71 3/4"	ELDH 3072 - 3 MULL	1	SEE INT. ELEV.		NEW TRIPLE D/H WINDOW		1ST FL	LIVING ROOM
3	SINGLE CASEMENT	41" X 53 5/8"	40" X 53 1/8"	UAC4054 E	1			NEW SINGLE CASEMENT WINDOW		1ST FL	OFFICE
4	SINGLE CASEMENT	37" X 53 5/8"	36" X 53 5/8"	UAC3654 E	2			NEW SINGLE CASEMENT WINDOW		1ST FL	KITCHEN
5	DOUBLE DOUBLE HUNG	61" X 52 1/4"	59" X 51 3/4"	ELDH 3052 - 2 MULL	1			NEW DOUBLE D/H WINDOW		2ND FL	MASTER BEDROOM
6	SINGLE DOUBLE HUNG	30 1/2" X 52 1/4"	29 1/4" X 39 1/2"	ELDH 3052 - TEMPERED	2			NEW SINGLE D/H WINDOW - TEMPERED	SQUARE STICKING CASEMENT	2ND FL	MASTER BATHROOM
7	DOUBLE CASEMENT	58" X 53 5/8"	57" X 53 1/8"	UCA2854 E - 2 MULL	2			NEW DOUBLE CASEMENT WINDOW		3RD FL	SITTING ROOM
8	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E - TEMP.	1			NEW SINGLE CASEMENT WINDOW - TEMPERED		3RD FL	BATHROOM
9	TRIPLE CASEMENT	87" X 53 5/8"	86" X 53 1/8"	UCA2854 E - 3 MULL	1			NEW TRIPLE CASEMENT WINDOW		3RD FL	BEDROOM
10	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E	1			NEW SINGLE CASEMENT WINDOW		3RD FL	BEDROOM

Note for all windows: black clad exterior and Paint grade finish for interior

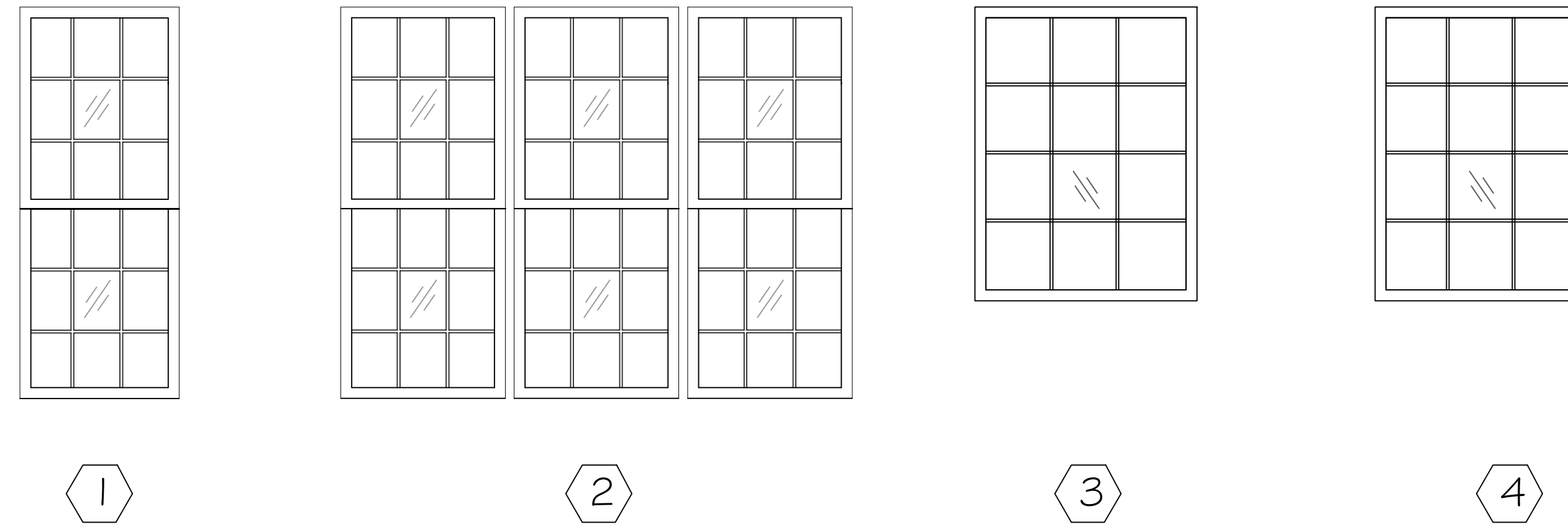
WINDOW NOTES

ALL WINDOWS SPECIFIED ULTIMATE FROM MARVIN WOOD-ULTREX SERIES, U.N.O.
 EXTERIOR COLOR: COCONUT CREAMT CLAD EXTERIOR
 INSECT SCREEN (FULL SIZE) @ ALL OPERABLE WINDOWS
 PRIMED WHITE INTERIOR FINISH
 7/8" SIMULATED DIVIDED LIGHTS WITH SPACER BARS
 PER ELEVATION LAYOUTS
 CONFIRM HARDWARE SELECTION AND FINISH WITH AMERICA DURAL

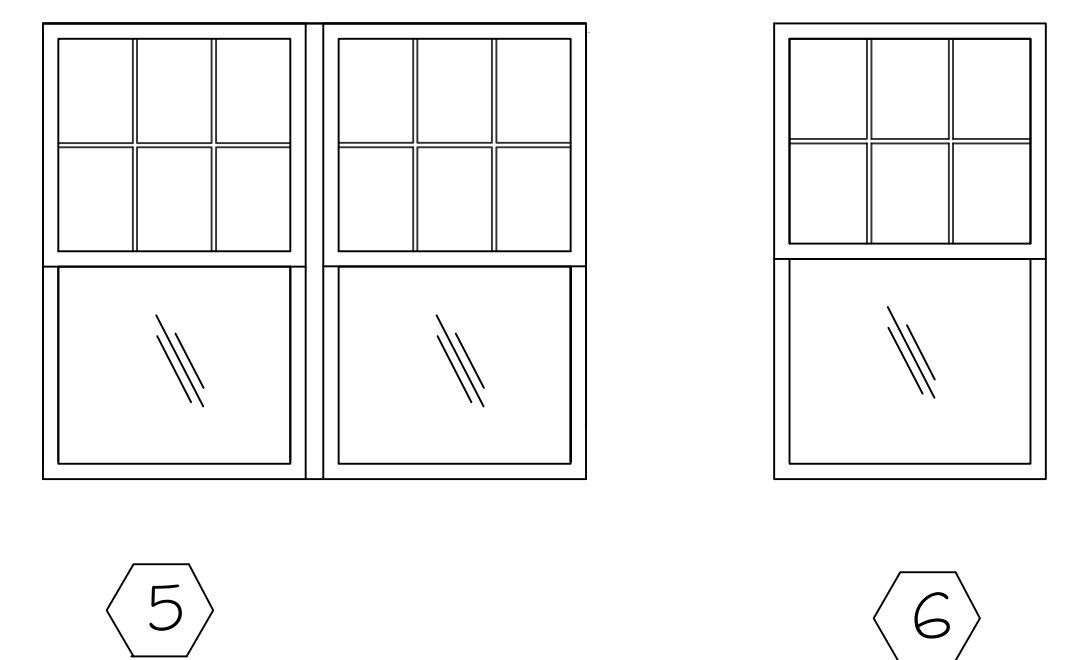
IF APPLICABLE, INSTALL WINDOWS PER BUILDING CODE IMPACT REQUIREMENTS (CONFIRM MPH REQUIREMENTS W/ LOCAL BUILDING CODES)

SUBMIT FINAL WINDOW PACKAGE TO AMERICA DURAL FOR REVIEW PRIOR TO PLACING ORDER

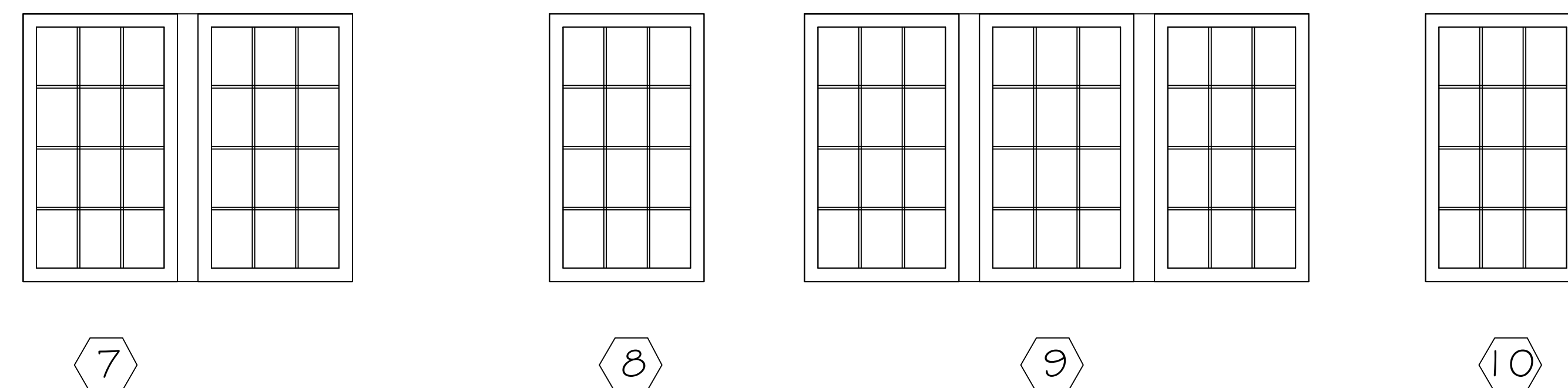
WINDOW TYPES FIRST FLOOR



SECOND FLOOR



THIRD FLOOR



TEMPERED

TEMPERED

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LEGEND:

NO. REVISION DATE

JOB NAME AND ADDRESS:

SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

WINDOW SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

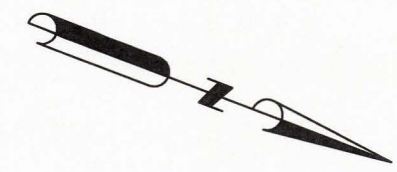
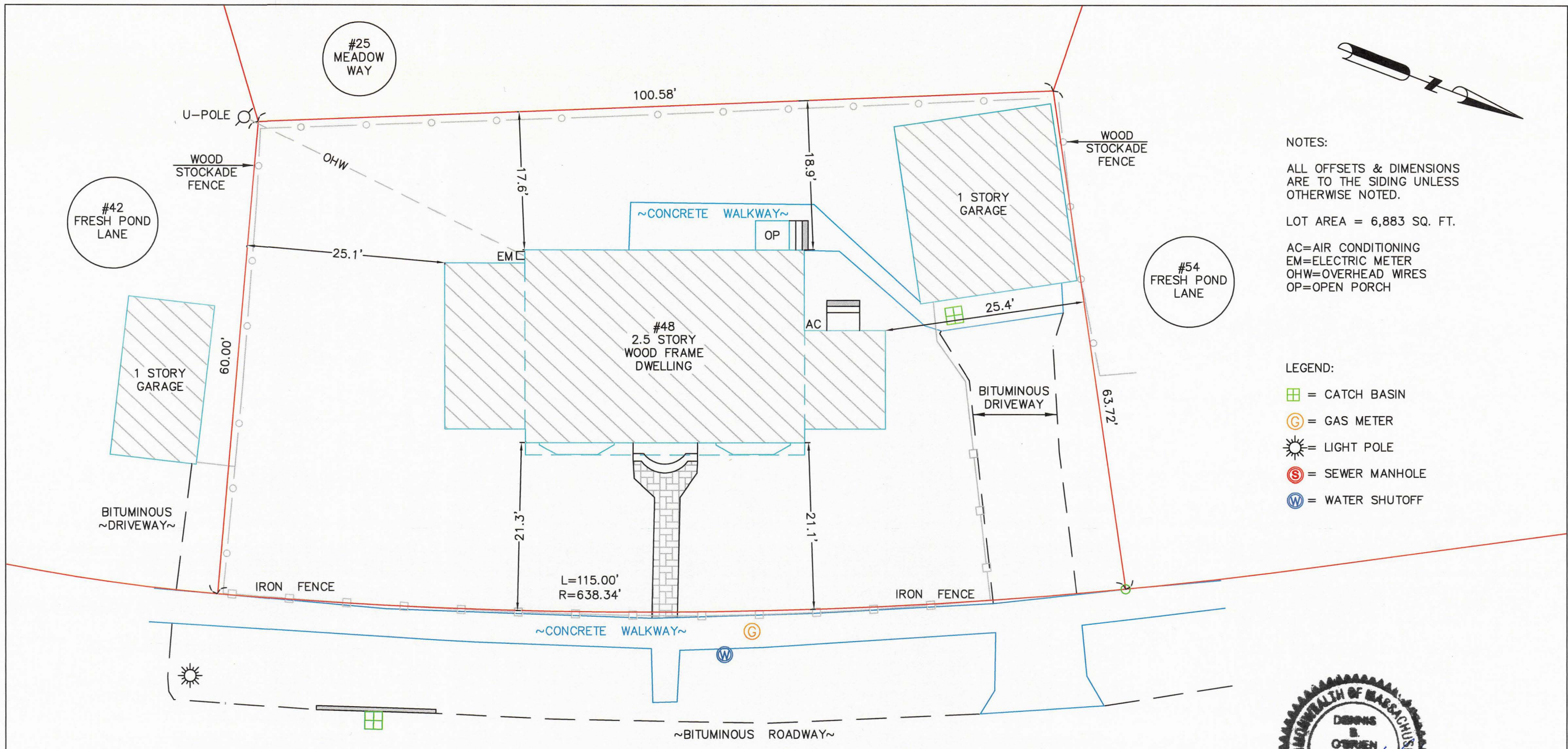
Sheet No.

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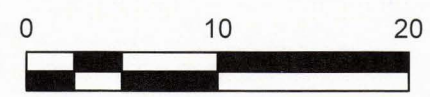
NOTES:
 ALL OFFSETS & DIMENSIONS ARE TO THE SIDING UNLESS OTHERWISE NOTED.
 LOT AREA = 6,883 SQ. FT.
 AC=AIR CONDITIONING
 EM=ELECTRIC METER
 OHW=OVERHEAD WIRES
 OP=OPEN PORCH

LEGEND:
 = CATCH BASIN
 = GAS METER
 = LIGHT POLE
 = SEWER MANHOLE
 = WATER SHUTOFF

FRESH POND LANE



Dennis O'Brien P.L.S.



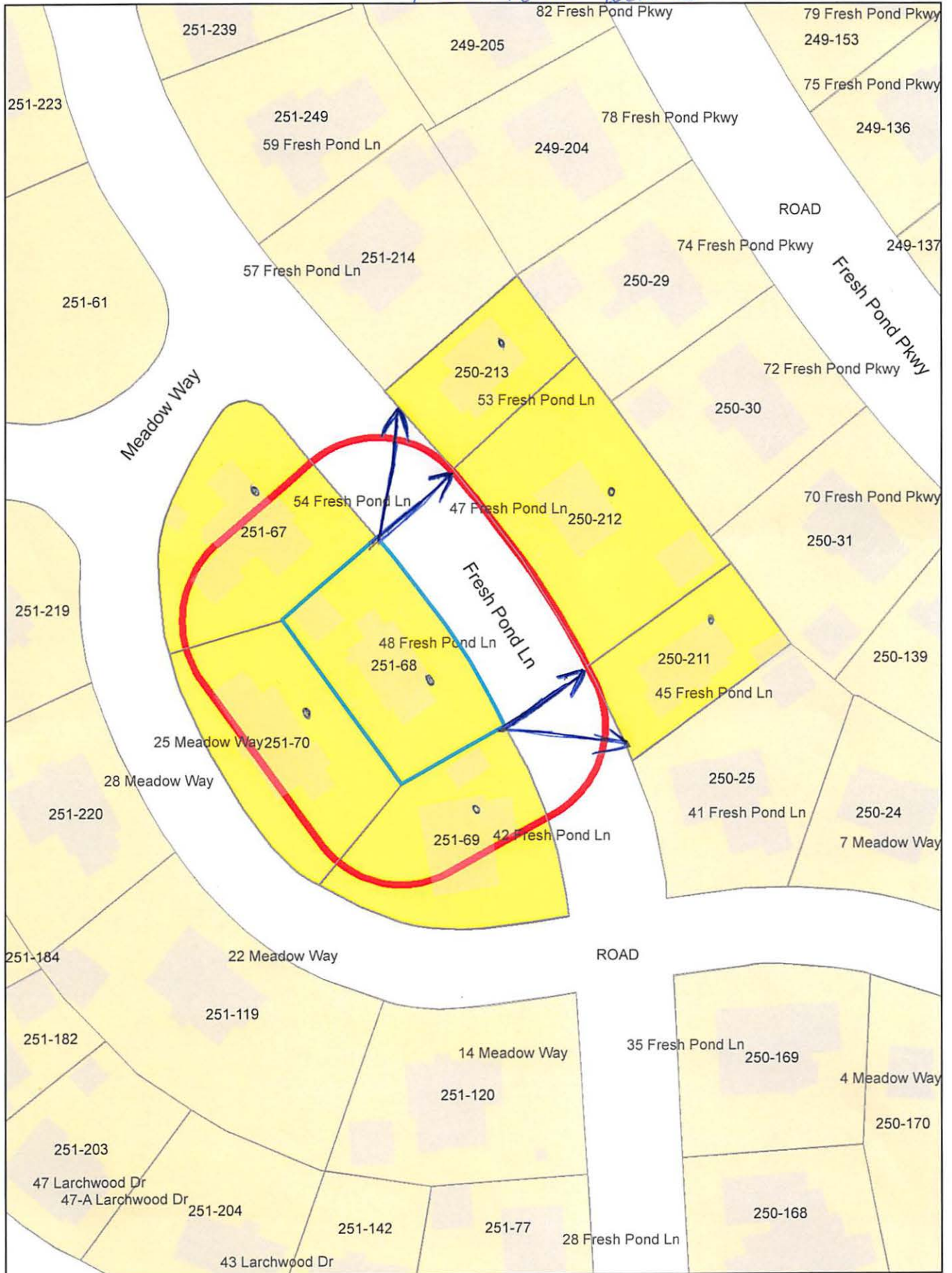
D. O'BRIEN
 LAND SURVEYING
 480 WEST CENTRAL STREET EST 1996
 FRANKLIN, MA 02038 508-541-0048

PLAN SHOWING EXISTING CONDITIONS				
48 FRESH POND LANE				
CAMBRIDGE, MA MIDDLESEX COUNTY				
SCALE: 1:10	DATE: 5/17/2022	REVISED: ---	DRAWN BY: W.M.N.	CHECKED BY: D.O.





48 Fresh Pond Lane



48 Fresh Pond Lane

Petitioner

250-213
UYSAL, MEHTAP LEYLA TURANALP &
KADIR TEOMAN UYSAL
53 FRESH POND LN
CAMBRIDGE, MA 02138

251-69
POOR, MARY A.
42 FRESH POND LN
CAMBRIDGE, MA 02138

SRAVYA KOMMINENI &
PRABHAV POTLURI
48 FRESH POND LANE
CAMBRIDGE, MA 02138

250-212
WETHERELL, JR. D. BRADFORD &
FRANCES S. WETHERELL, TRUSTEES
221 MT. AUBURN ST. APT 506
CAMBRIDGE, MA 02138-4849

250-211
SHAIKEWITZ, ERIC & PATRICIA M. BREEN
50 BUTTERFLY LANE
MONTECITO, CA 93108

251-67
ROSE, PETER D. & EVE M. BLAU
54 FRESH POND LANE
CAMBRIDGE, MA 02138-4616

251-68
DAVIS, ROBERT F.
THE ROBERT FORBES DAVIS REVOC TRUST
48 FRESH POND LN
CAMBRIDGE, MA 02138

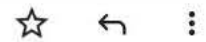
251-70
BASNIGHT, TODD & TOINETTE S. RIVAS TR.
25 MEADOW WAY
CAMBRIDGE, MA 02138



Prabhav Potluri

to Todd, Toini, me ▾

Sat, Sep 10, 10:13 AM



Todd,

Windows in the bathroom and sitting room on the 3rd floor have been eliminated . The shutters have been put in as per Cambridge City requirement .The interior layout drawings reflect the same.

We are happy to discuss this to avoid any confusion.

Thanks

Prabhav



Todd Basnight <tbasnight@gmail.com>

to Prabhav, Toini, me ▾

Sun, Sep 11, 7:17 AM



Hi Prabhav,

Thanks for the clarification. So the windows are removed and the shutters are simply decorative against the wall of the home with no windows behind them? If so, we would support those changes.