



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 OCT 19 PM 2:13
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 197312

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: sravya kommineni and prabhav potluri

PETITIONER'S ADDRESS: 48 fresh pond lane, cambridge, MA 02138

LOCATION OF PROPERTY: 48 Fresh Pond Ln , Cambridge, MA

TYPE OF OCCUPANCY: Residential ZONING DISTRICT: Residential A-2 Zone

REASON FOR PETITION:

/Dormer/ /Exterior Alterations/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Complete renovation of the existing structure. Alterations to the exterior and construction of larger dormer.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000 Section: 8.22.2.d (Non-Conforming Structure).
Article: 10.000 Section: 10.40 (Special Permit).

Original
Signature(s):

P. Prabhav / Sravya K

(Petitioner (s) / Owner)

Prabhav Potluri / Sravya Kommineni

(Print Name)

Address:

48 Fresh Pond Lane, Cambridge, MA 02138

Tel. No.

5714265103

E-Mail Address:

shravyak@gmail.com

Date: 10/19/2022

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Sravya Kommineni & Prabhav Potluri
(OWNER)

Address: 48 Fresh Pond Lane, Cambridge, MA 02138

State that I/We own the property located at 48 Fresh Pond Lane, Cambridge which is the subject of this zoning application.

The record title of this property is in the name of Sravya Kommineni & Prabhav Potluri

*Pursuant to a deed of duly recorded in the date 10/28/21, Middlesex South County Registry of Deeds at Book 79020, Page 409; or Middlesex Registry District of Land Court, Certificate No. _____ Book _____ Page _____.

Sravya K P. Prabhav
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

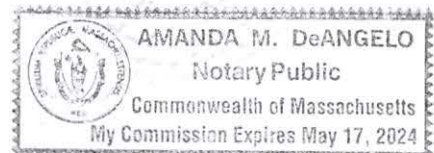
Commonwealth of Massachusetts, County of Middlesex

The above-name Sravya Kommineni & Prabhav Potluri personally appeared before me, this 30th of September, 2022, and made oath that the above statement is true.

Amanda M. DeAngelo Notary

My commission expires May 17, 2024 (Notary Seal).

• If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



REGISTRATION FORM - CHANGING INTERESTS

To be completed by owner. Please advise the Secretary of the Board of Registrars of any change of interest in the property.

Name of owner: _____

Address: _____

State that the property is located in _____ which is the subject of this registration.

The record title of this property is in the name of _____

Reference to a deed of duly recorded in the _____

County Registry of Deeds as Book _____

Register of Deeds of Land _____

REGISTERED TO THE LAND OFFICE OR
REGISTERED TO THE REGISTER OF DEEDS

Witness evidence of agent's authority to represent business may be required.

Signature of _____

The above named _____ personally appeared before me

and made oath that the above statement is true.

Signature of _____

My commission expires _____

If ownership is not shown in recorded deed, it is hereby certified that the above named _____ is the owner of the property.



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 48 Fresh Pond Ln , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The majority of the proposed construction work is cosmetic in nature, does not alter the character of the building and is not visible to the street

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed construction will not generate additional traffic or affect existing traffic patterns

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The project does not propose any changes to the existing use and has no effect on the uses of adjacent properties.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The project does not create any hazard to the safety and welfare of the occupants , property neighbors or any citizens of the city.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The project does not propose any changes to the existing , conforming use of the property.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

DIMENSIONAL INFORMATION

Applicant: sravya kommineni and prabhav potluri
Location: 48 Fresh Pond Ln , Cambridge, MA
Phone: 5714265103

Present Use/Occupancy: Residential
Zone: Residential A-2 Zone
Requested Use/Occupancy: Residential

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3068	3199	3441	(max.)
<u>LOT AREA:</u>		6883	6883	6000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		0.446	0.465	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		6883	no change	4500	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	100+	no change	50	
	<u>DEPTH</u>	60	60	60	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	21.3	no change	20	
	<u>REAR</u>	17.6	no change	25	
	<u>LEFT SIDE</u>	25.1	no change	10	
	<u>RIGHT SIDE</u>	25.4	no change	sum of 25	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	30.5	no change	35	
	<u>WIDTH</u>	55	no change	55	
	<u>LENGTH</u>	24	no change	35	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		0.591	0.598	0.5	
<u>NO. OF DWELLING UNITS:</u>		1	no change	1	
<u>NO. OF PARKING SPACES:</u>		1	no change	1	
<u>NO. OF LOADING AREAS:</u>		N.A.	N.A.	N.A.	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		5.5	no change	n.a.	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Proposed Construction: Concrete foundation, wood framing

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

SHRAVYA & PRABHAV POTLURI

48 FRESH POND LANE
CAMBRIDGE, MA 02138

May 10th, 2022

DRAWING INDEX

G-01	Cover page
G-02	General Notes
D-100	Basement and First Floor - Demolition Plan
D-101	Second and Third Floor - Demolition Plan
D-102	Roof Plan - Demolition Plan
D-200	Front and Left Elevation - Demolition Plan
D-201	Rear and Right Elevation - Demolition Plan
A-100	Basement Floor - Proposed Plan
A-101	First Floor - Proposed Plan
A-102	Second Floor - Proposed Plan
A-103	Third floor - Proposed plan
A-104	Roof Plan - Proposed Plan
A-200	Front and Left Elevation - Proposed Elevation
A-201	Rear and Right Elevation - Proposed Elevation
A-400	Basement and First Floor - Finish Floor Plan
A-401	Second - Finish Floor Plan
A-402	Third floor - Finish floor plan
A-500	NOT IN USE
E-100's	NOT IN USE
A-600's	NOT IN USE

DRAWING SYMBOL LEGEND

	Partition type
	Elevation Detail
	Detail Key
	Section Key
	Window Symbol
	Door Symbol
	Revision Symbol

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
NTS

Drawing Title:
GENERAL NOTES

Issue Date:
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
G-01

REFLECTED CEILING PLAN LEGEND:

- RECESSED LIGHT, REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- SURFACE MOUNT LIGHT
- WALL SCONCE (SEE ELEVATIONS FOR HEIGHT)
- UNDER COUNTER LIGHTING - REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- EXHAUST FAN IN THE BATHROOMS PANASONIC WHISPER GREEN
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- CEILING MOUNTED SPEAKER
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR

NOTES:

1. PROVIDE DIMMER SWITCHES FOR ALL INCANDESCENT LIGHTING FIXTURES.
2. ALL SWITCHES ARE TO BE LUTRON DIVA SWITCHES WHITE FINISH.
3. ALL SWITCHES/PHONE/CABLE/ELECTRICAL OUTLETS SHOWN TO BE GANGED.
4. STACK VOLUME CONTROL OVER LIGHTING SWITCHES.
5. ALL LIGHTING/SPEAKERS/FANS ARE TO BE WIRED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELECTRICAL PLAN LEGEND:

- NEW DUPLEX OUTLET
- NEW QUAD OUTLET
- NEW GFI OUTLET
- NEW RECESSED "CLOCK" OUTLET
- NEW PHONE OUTLET
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- EXISTING OUTLET
- DEDICATED CONNECTION

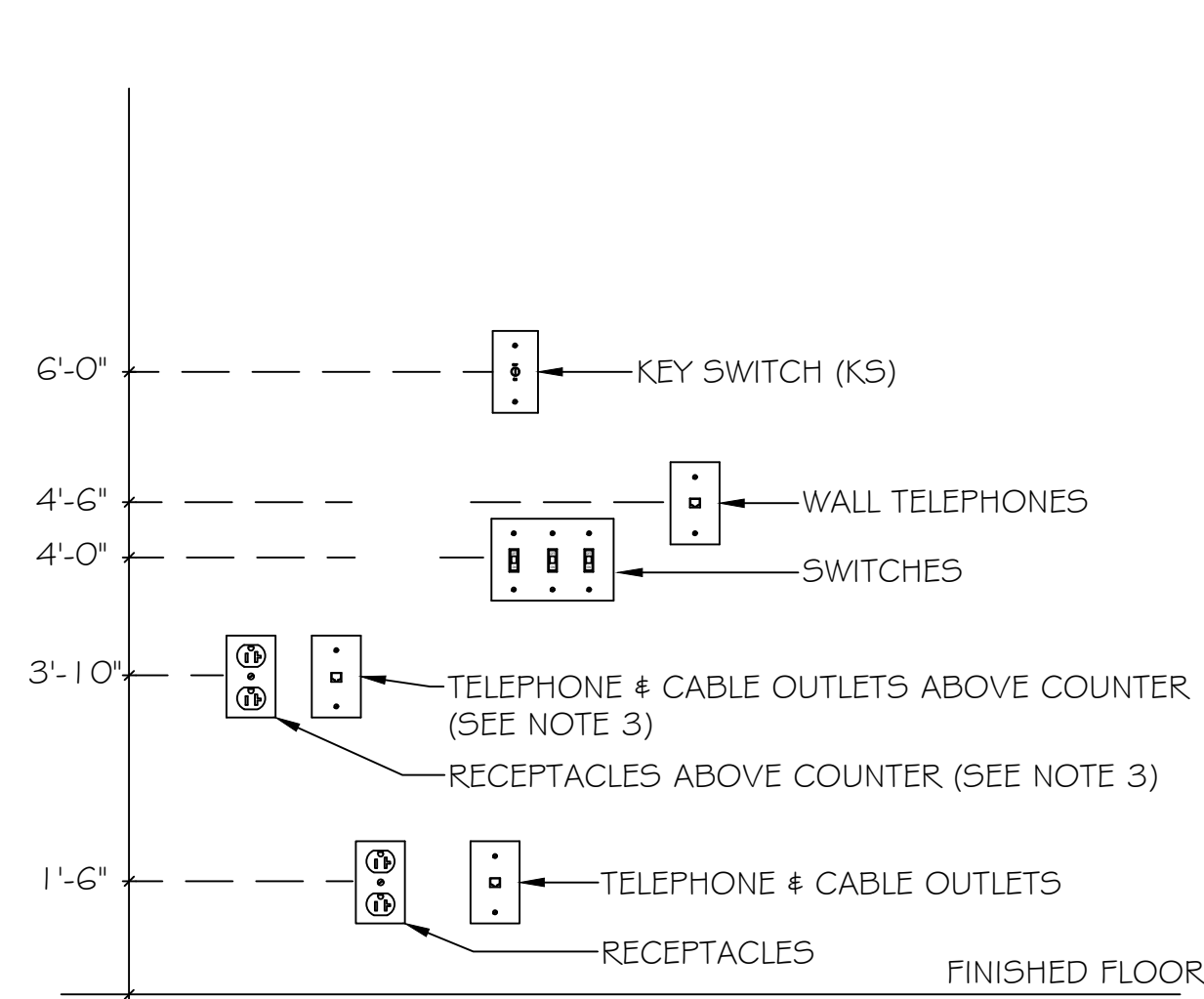
RECEPTACLE DENOTATION DESCRIPTION

- "W" WASHING MACHINE
- "D" DRYER
- "WT" WATER TIGHT
- "R" REFRIGERATOR
- "DW" DISHWASHER
- "M" MICROWAVE
- "RA" RANGE

NOTES:

1. ALL ELECTRICAL/PHONE/CABLE & ETHERNET OUTLETS TO BE FINISHED WHITE.
2. ALL SWITCHES/PHONE/CABLE/ELECTRICAL OUTLETS SHOWN TO BE GANGED.

TYPICAL DEVICE MOUNTING HEIGHTS DETAIL:



NOTES:

1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF DEVICE.
2. DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHERE EVER POSSIBLE.
3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH PLANS AND ELEVATIONS PRIOR TO ROUGHING IN ANY DEVICES ABOVE COUNTERS.

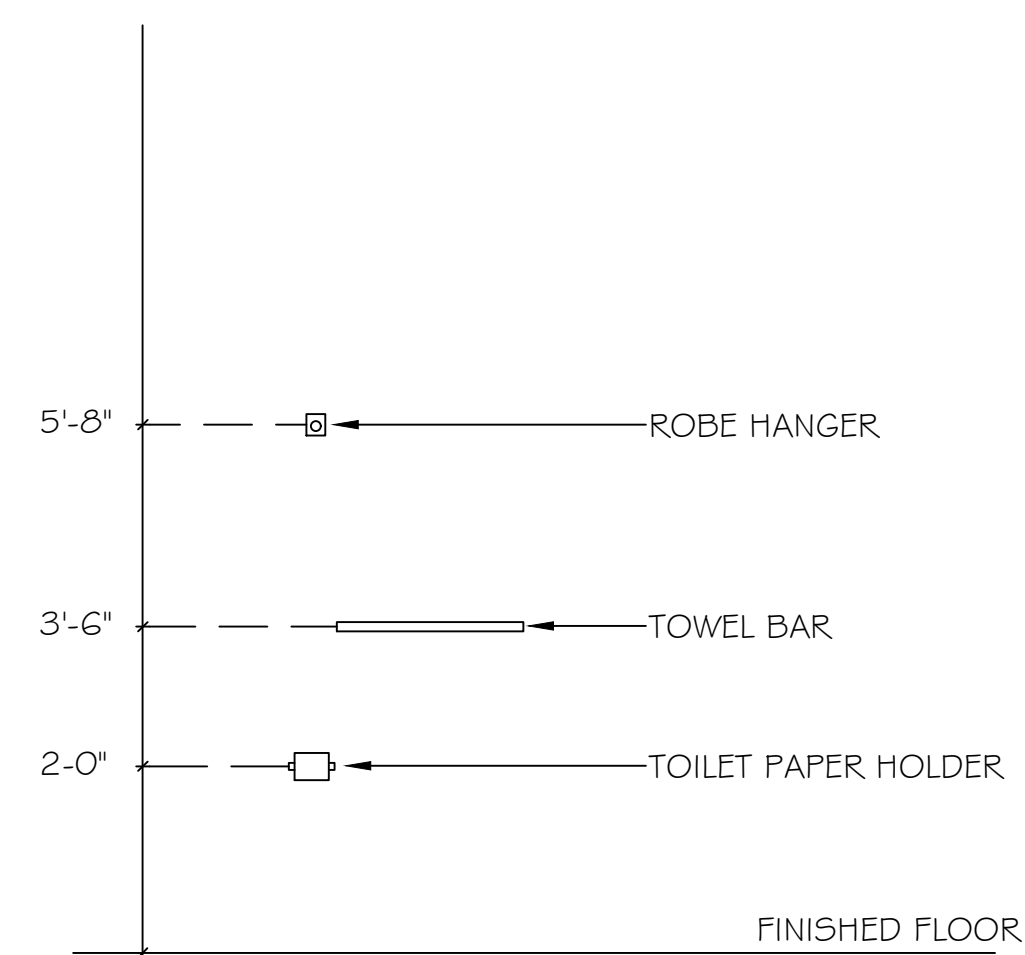
GENERAL NOTES:

1. Contractor to comply with the Massachusetts State Building Code, latest edition, along with all appropriate, municipal and regulatory agencies' codes and requirements. Contractor is responsible for securing necessary permits and approval for all trades under contract.
2. The contract drawings and specifications have been prepared by America Dural, Inc. (AD, Inc.) to provide contract documents which define design intent the Contractor is expected to achieve. In order to discover and resolve any omissions, errors or conflicts which could create construction conflicts, or otherwise inhibit the work, the Contractor shall, visit the site and verify all job conditions, dimensions and details prior to submitting any bids. AD, Inc. to be notified of any discrepancies or omissions which would interfere with the satisfactory completion of the work, prior to the submission of bids.
3. The Owner reserves the right to make changes in the drawings and specifications as the work progresses. Bulletins, change orders, drawings, specifications or Designer's supplemental instructions covering such changes will be issued to the Contractor whose responsibility it will be to distribute these immediately to all subcontractors affected to take such measures as may be necessary to avoid errors or delays in the project.
4. No material substitutions to be made without first informing AD, Inc. Submit substitute material, specifications and samples for review and approval by AD, Inc. prior to commencement of work.
5. Contractors' access to the existing building for the delivery, movement of manpower, handling and installation of material and equipment and disposal of debris must be coordinated with the Owner to avoid inconvenience and annoyance.
6. Drawings are not to be scaled; dimensions govern. Large scaled details govern over small scaled plans.
7. All equipment and materials, as well as methods and processes used in the performance of the work, shall conform to the standard recommendations of the manufacturer.
8. AD, Inc. review and approval of shop drawings shall indicate only that such drawings generally express the design intent of the contract documents. Review by the Designer does not relieve the Contractor from responsibilities for errors which may exist in the submitted data, in manufacture or coordination with other trades.
9. Whatever work is done where no definite details or specifications are given, the contractor shall perform the work in accordance with best acceptance practice of the respective trades.

ARCHITECTURAL PLAN LEGEND:

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW CASEWORK
- EXISTING DOOR TO REMAIN
- DOOR #
- NEW DOOR AND HARDWARE
- HARDWARE #
- EXISTING WINDOW TO REMAIN
- WINDOW TAG
- WALL TYPE IDENTIFIER
- ELEVATION #
- INTERIOR ELEVATION SYMBOL
- PAGE #
- SECTION #
- SECTION SYMBOL
- PAGE #

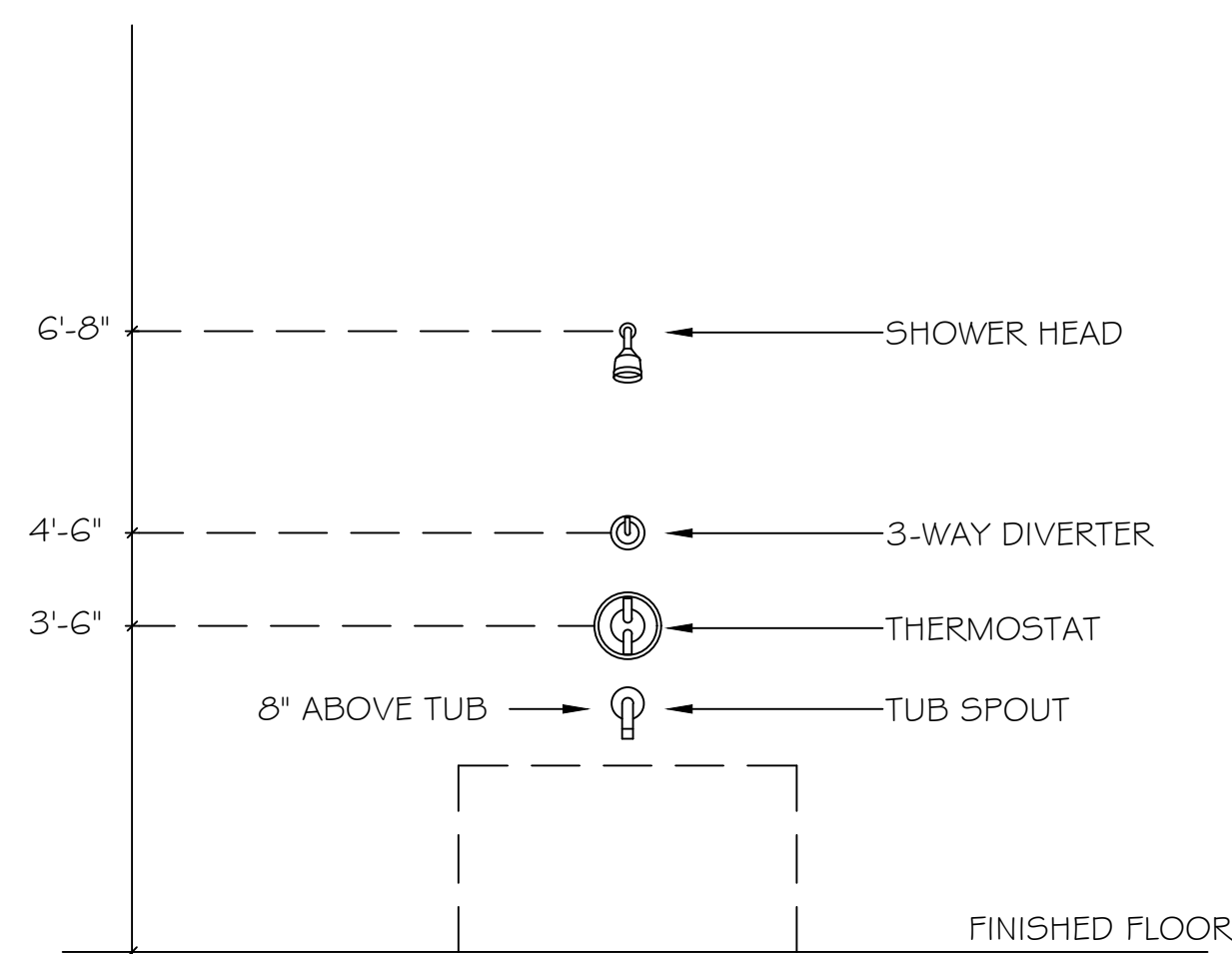
FIXTURE MOUNTING HEIGHTS:



NOTES:

1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF FIXTURE.
2. PROVIDE SOLID WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES.

TYPICAL PLUMBING MOUNTING HEIGHTS:



NOTES:

1. ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF FIXTURE.
2. FIXTURES SHALL BE INSTALLED ON A COMMON CENTERLINE WHEREVER POSSIBLE.

CONSTRUCTION NOTES:

1. Contractor to verify all dimensions and job conditions prior to commencing work and will report to AD, Inc. any discrepancies or omissions which would interfere with the satisfactory completion of the work.
2. All dimensions are from finish surface to finish surface or from face of columns and existing walls to finish surface unless noted otherwise.
3. All new sheet rock surfaces to be properly taped, $\frac{1}{8}$ " skim coat of plaster and sanded smooth to receive paint or wall covering.
4. Contractor shall be responsible for patching of existing GWB, taping and skim-coating to the satisfaction of AD, Inc. and appropriate Finish Contractors.
5. The Contractor shall be responsible for coordination of cutting and patching for all trades. Where drywalls are in conflict with ductwork, plumbing lines, etc., Contractor to provide all necessary bridging and bracing required to secure drywall and to maintain fire or sound rating where required.
6. The Contractor to provide all necessary cut-outs for the installation of electrical outlets, telephone and data outlets, switches and other electrical and/or plumbing devices.
7. Contractor to coordinate with Millworker and Finish Carpenter to install all wood grounds and metal supports in ceiling and partitions where necessary for the installation of other trade work.
8. All window and door sizing, manufacturer, and styles are to follow specifications schedules. Any deviation requires review and approval by AD, Inc.
9. Placement and/or relocation of heating and cooling vents/returns for forced air systems are to be reviewed onsite and approved by AD, Inc. prior to installation.
10. All new insulation to meet or exceed all local and state building code regulations.
11. Finish texture and color of wood floors to be approved on site by Client and Designer before application.

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

ZONING SET

DRAFTER	DATE
J. Sousa	12302022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
NTS

Drawing Title:
GENERAL NOTES

Issue Date:
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

G-02

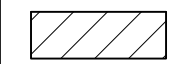
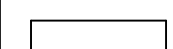


Page No. 2 of 23

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'-0"

Drawing Title:
BASEMENT AND FIRST FLOOR DEMOLITION PLANS

Issue Date:
 January 4, 2023

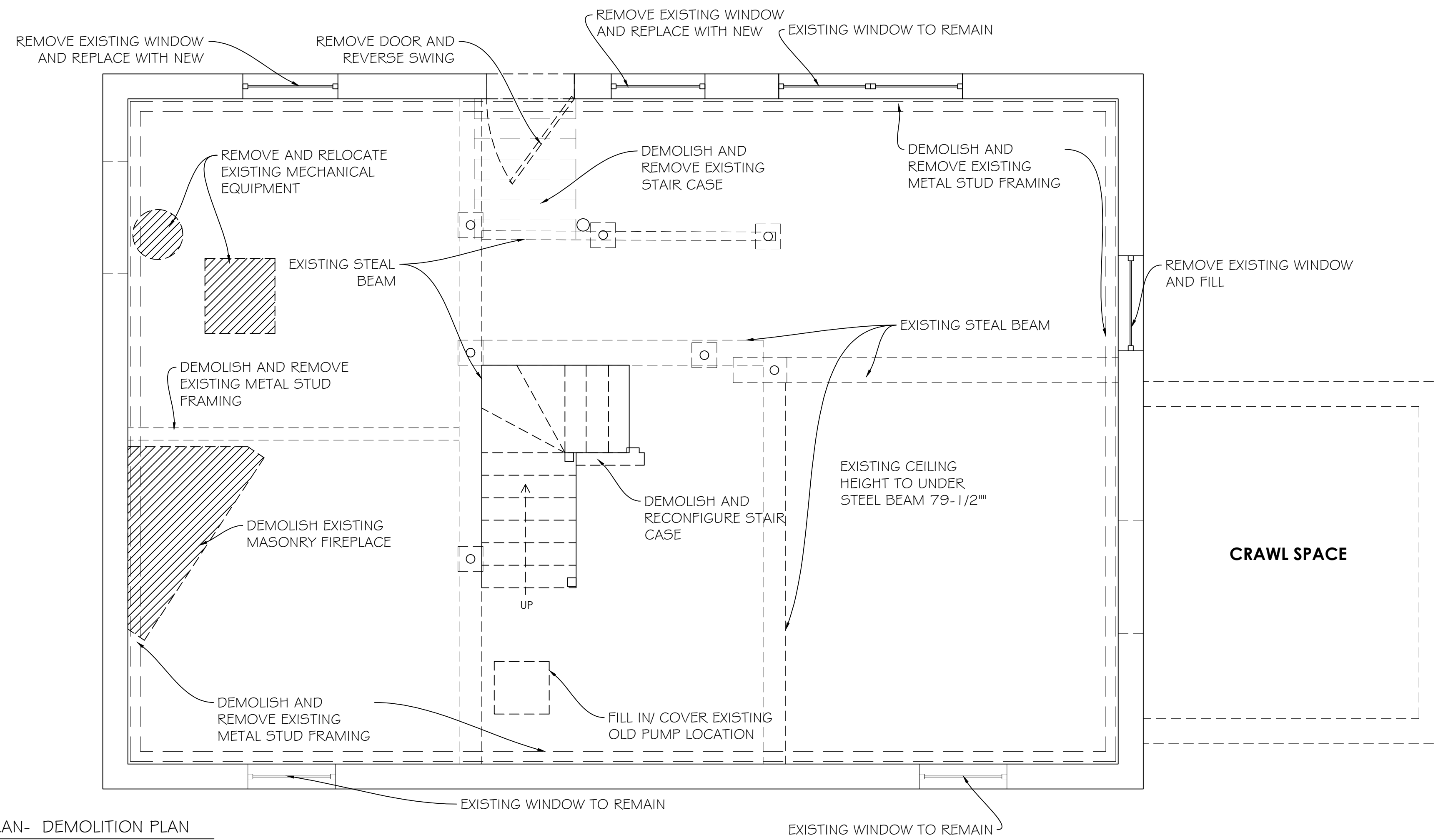
AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

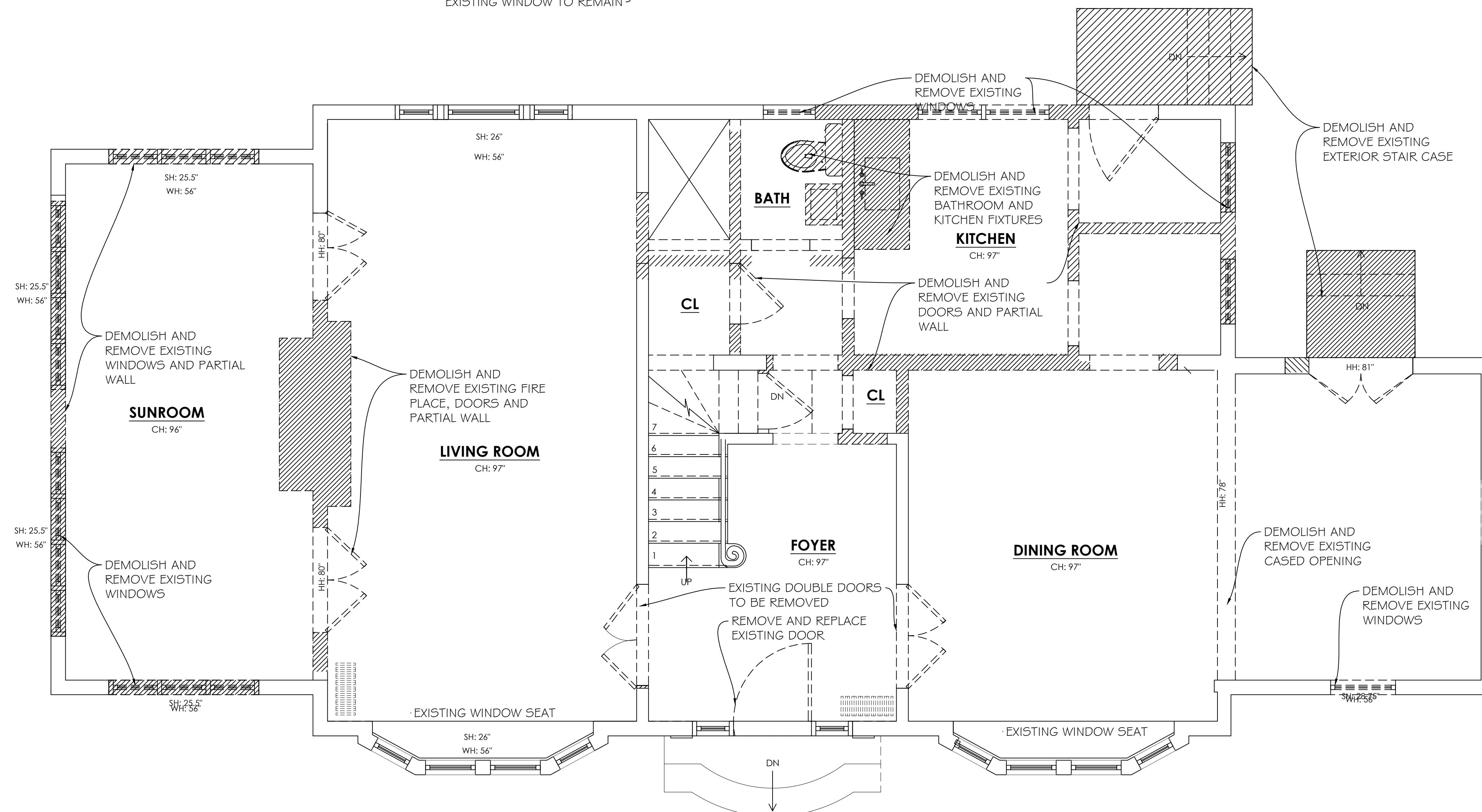
Sheet No.

D-100

Page No. 3 of 23



BASEMENT PLAN- DEMOLITION PLAN
 SCALE: 3/8" = 1'-0"

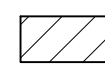
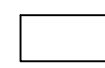

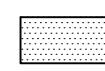


FIRST FLOOR - DEMOLITION PLAN
 SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

- LEGEND:**
-  Existing to be demolished
 -  Existing to remain
 -  New construction
 -  New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'-0"

Drawing Title:
SECOND AND THIRD FLOOR DEMOLITION PLANS

Issue Date:
 January 4, 2023

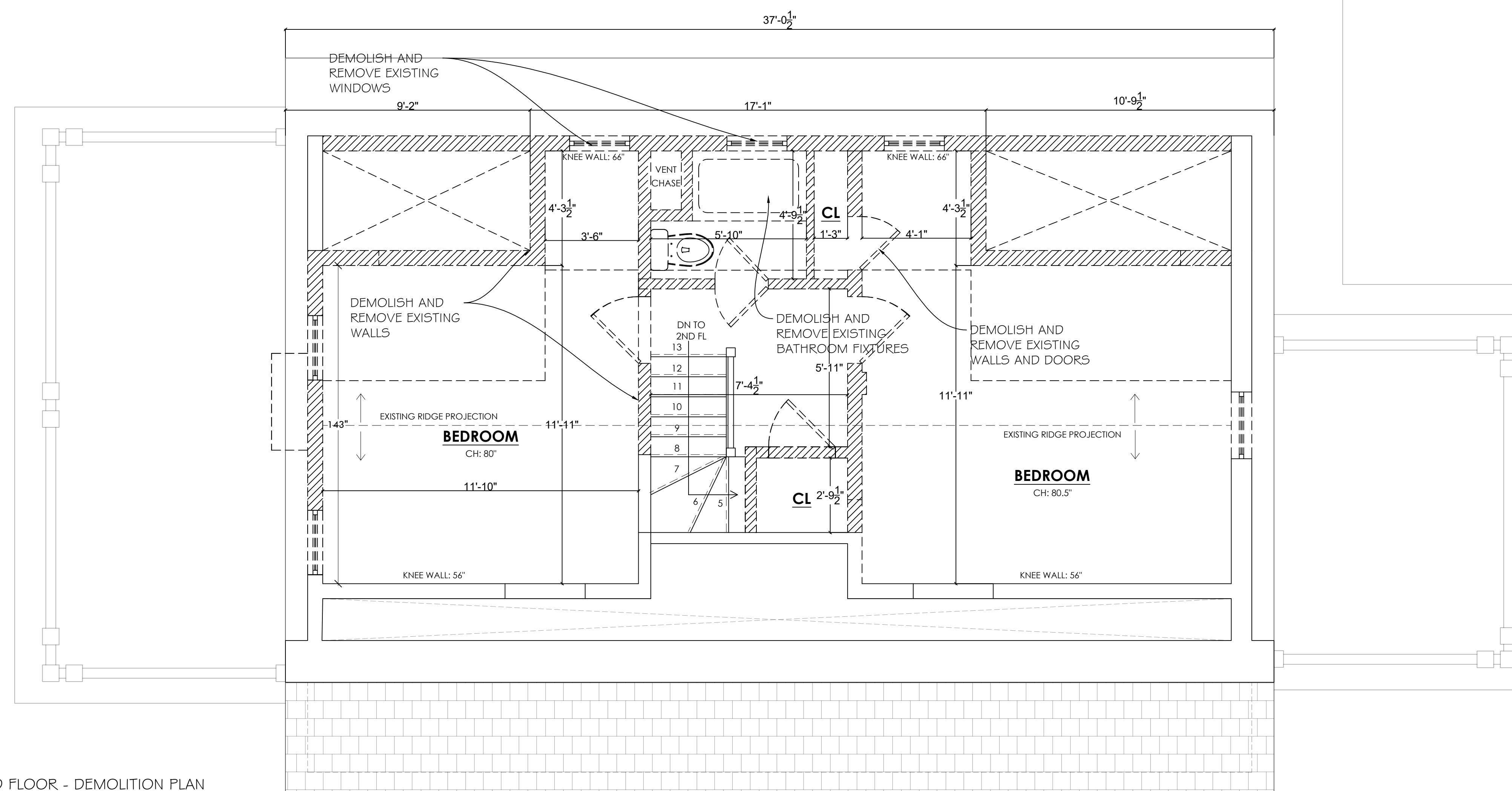
AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

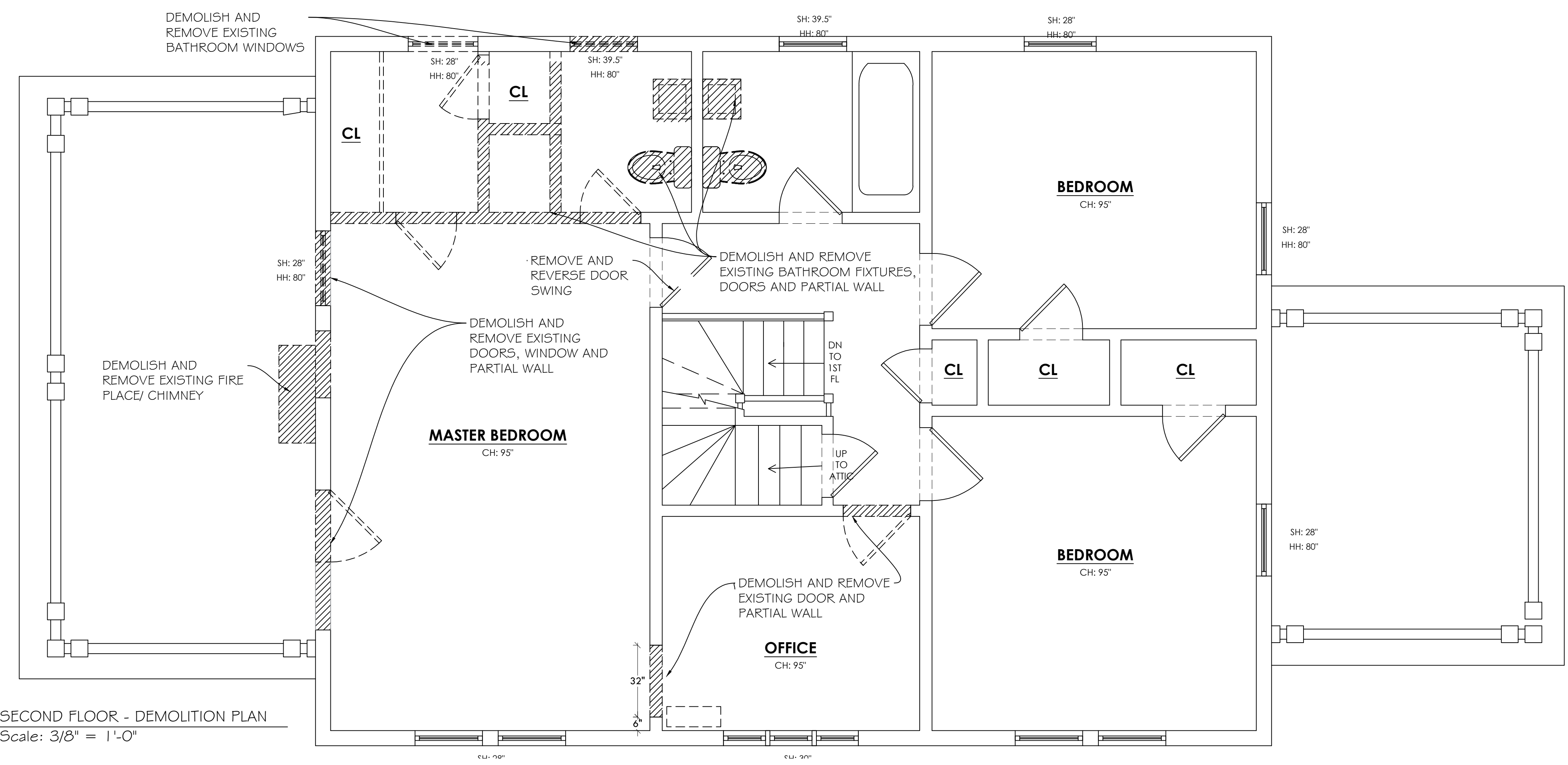
Sheet No.

D-101

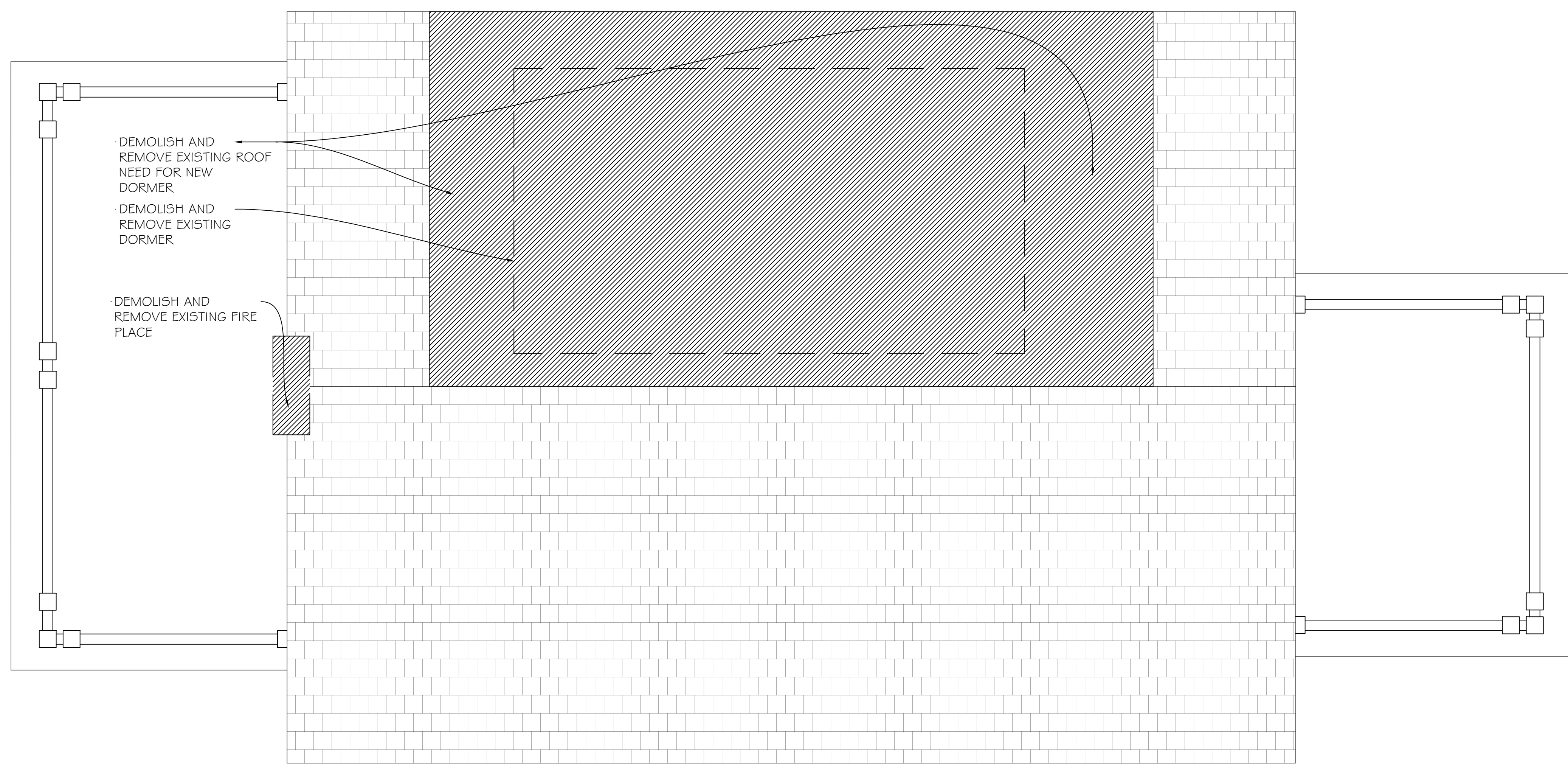
Page No. 4 of 23



THIRD FLOOR - DEMOLITION PLAN
 Scale: 3/8" = 1'-0"



SECOND FLOOR - DEMOLITION PLAN
 Scale: 3/8" = 1'-0"



ROOF- DEMOLITION PLAN
 Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'-0"

Drawing Title:
 ROOF DEMOLITION PLAN

Issue Date:
 January 4, 2023

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

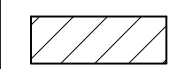
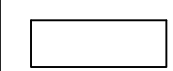


Sheet No.
D-102

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
FRONT & LEFT ELEVATION
DEMOLITION PLAN

Issue Date:
January 4, 2023

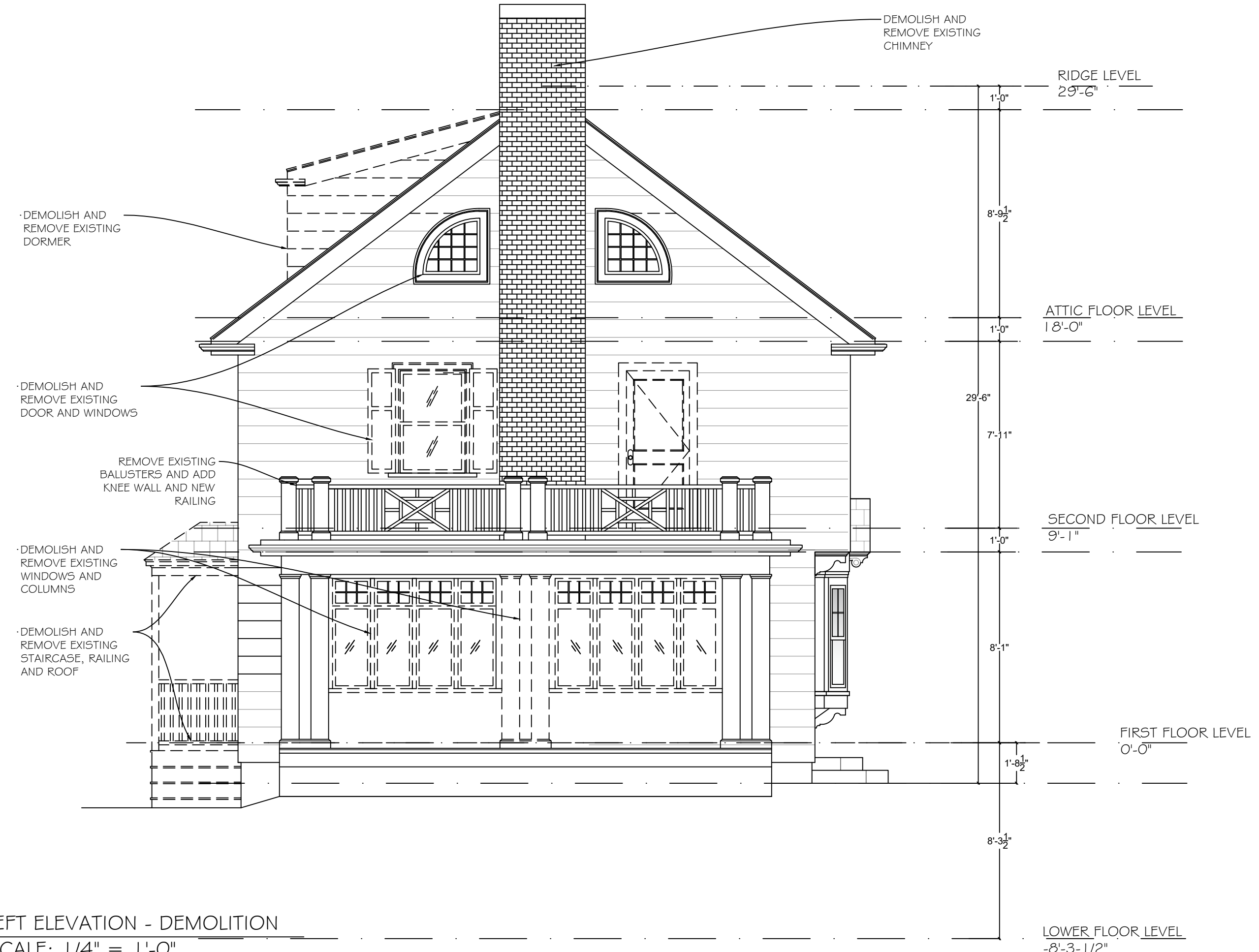
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
D-200



FRONT ELEVATION- DEMOLITION
SCALE: 1/4" = 1'-0"



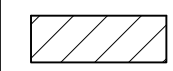
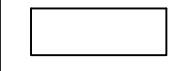
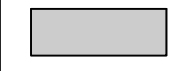

LEFT ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
1/4" = 1'-0"

Drawing Title:
RIGHT & REAR ELEVATION DEMOLITION PLAN

Issue Date:
 January 4, 2023

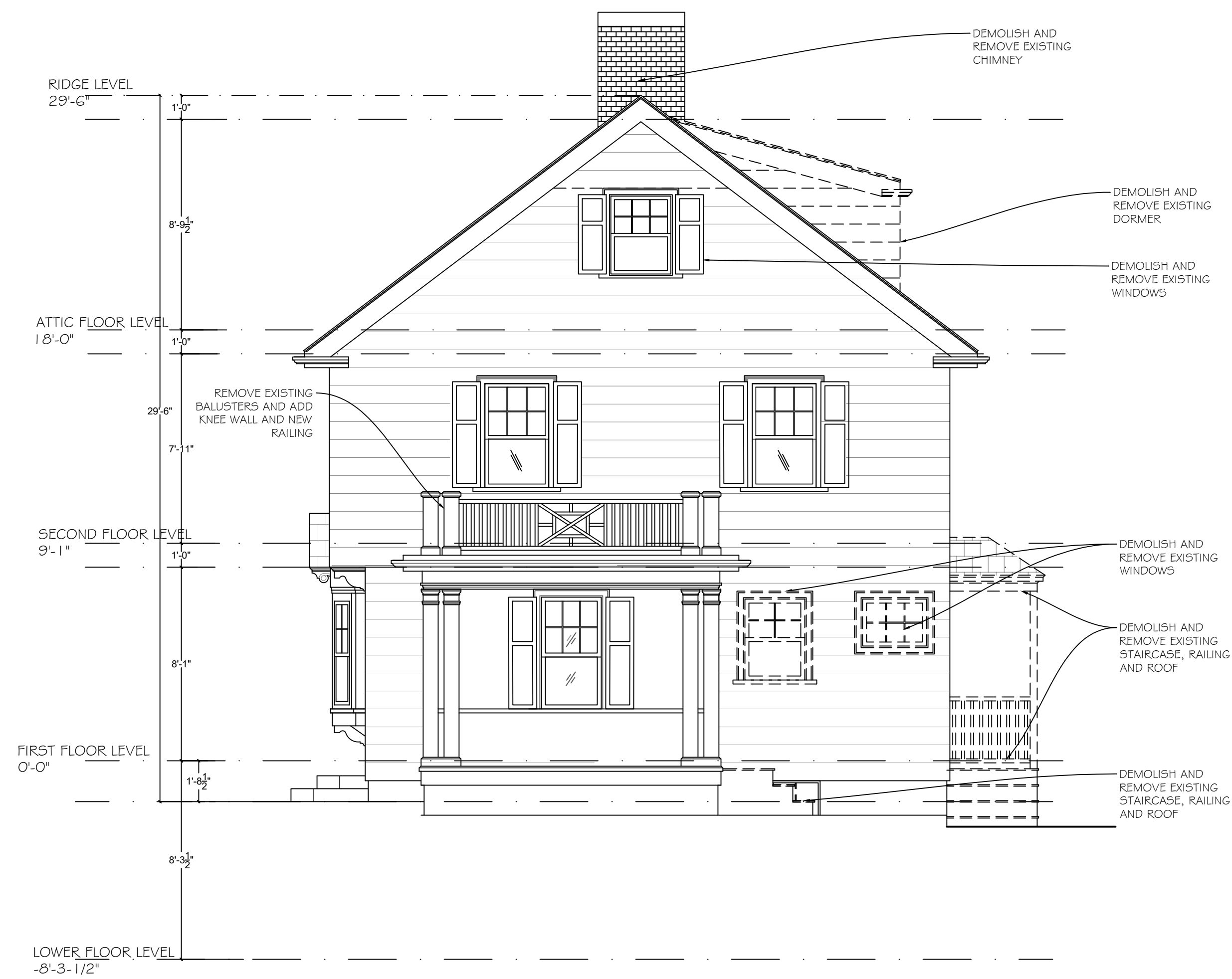
AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

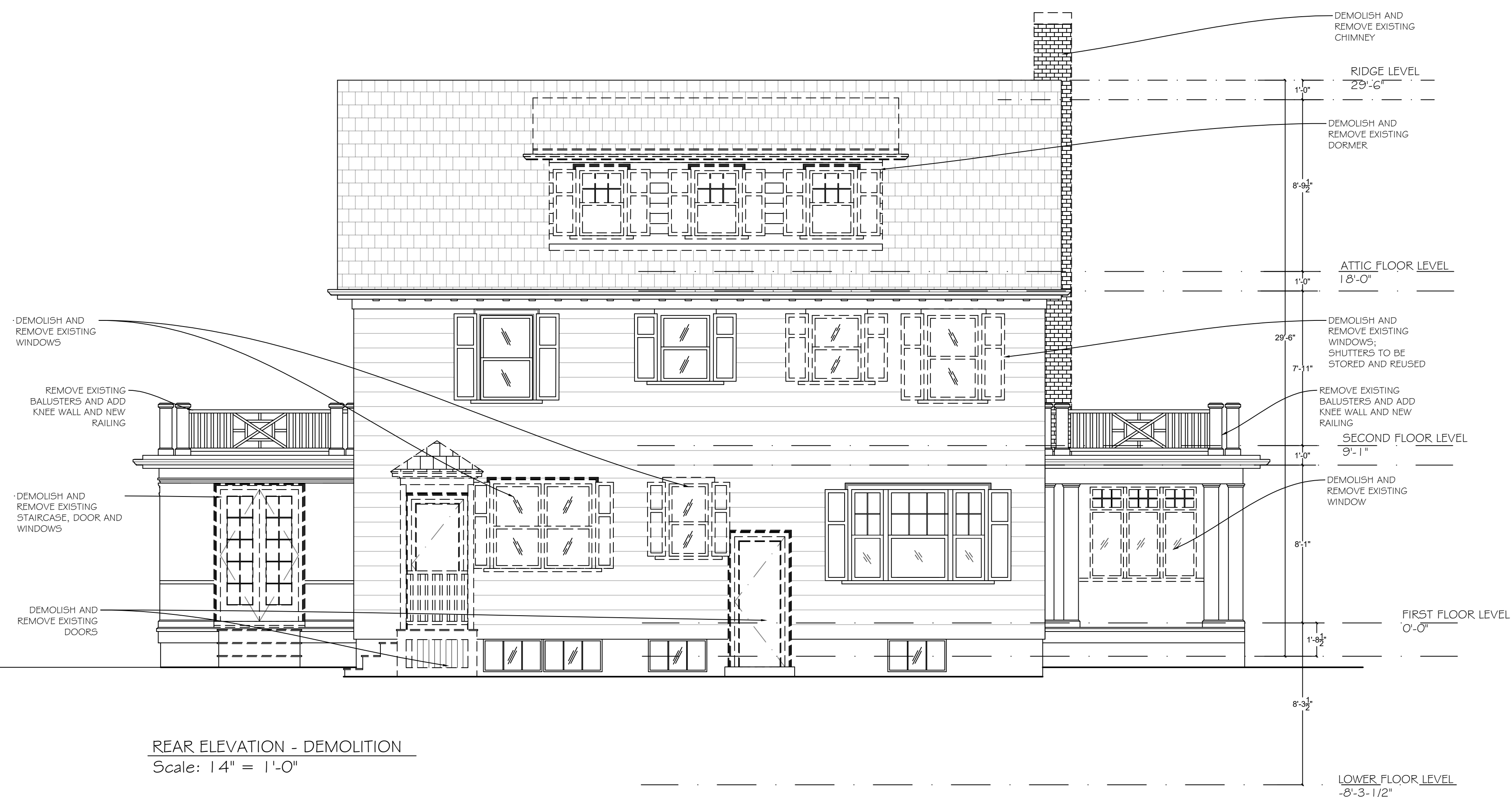
Sheet No.

D-201

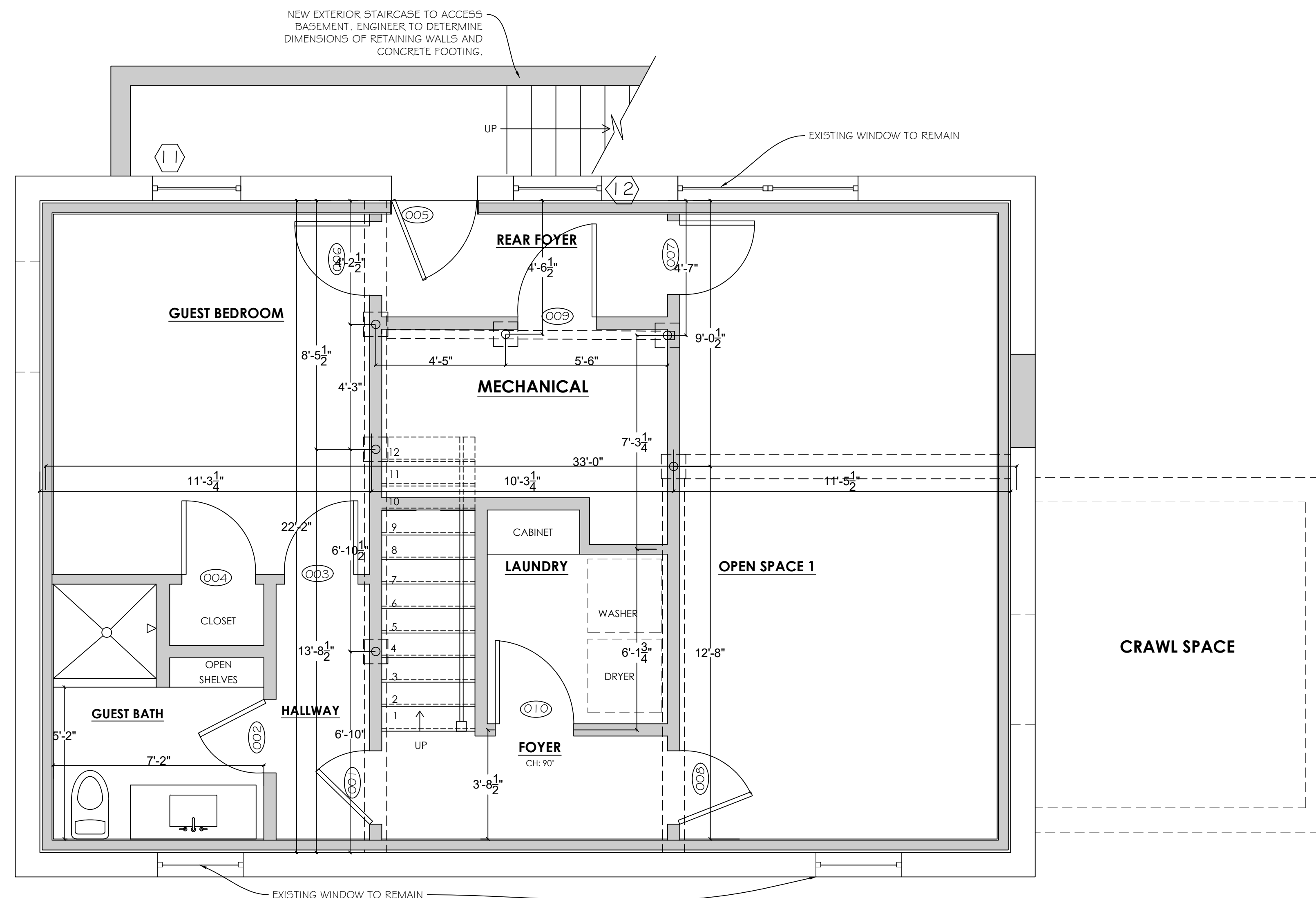
Page No. 7 of 23



RIGHT ELEVATION - DEMOLITION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION - DEMOLITION
 Scale: 1/4" = 1'-0"



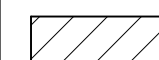
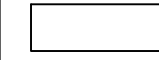


PROPOSED BASEMENT PLAN
 SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

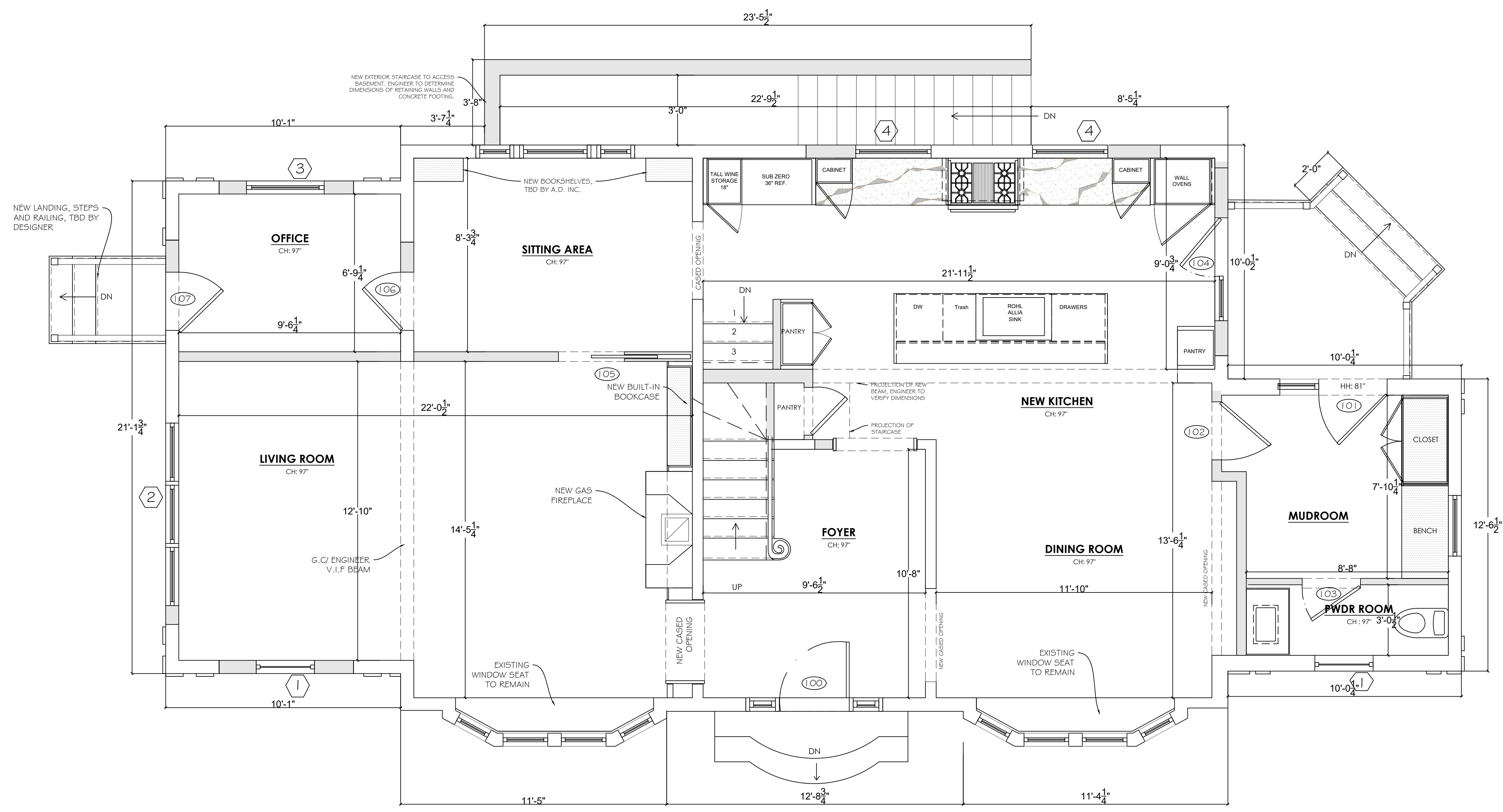
Scale:
 3/8" = 1'0"
 Drawing Title:
 PROPOSED BASEMENT PLAN

Issue Date:
 January 4, 2023

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.
A-100



PROPOSED FIRST FLOOR PLAN
 SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

- LEGEND:**
- Existing to be demolished
 - Existing to remain
 - New construction
 - New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12302022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'0"
 Drawing Title:
 PROPOSED FIRST FLOOR PLAN

Issue Date:
 January 9, 2023

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

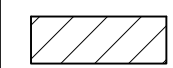
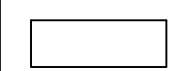
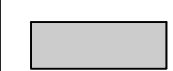

Sheet No.
A-101
 Page No. 9 of 23

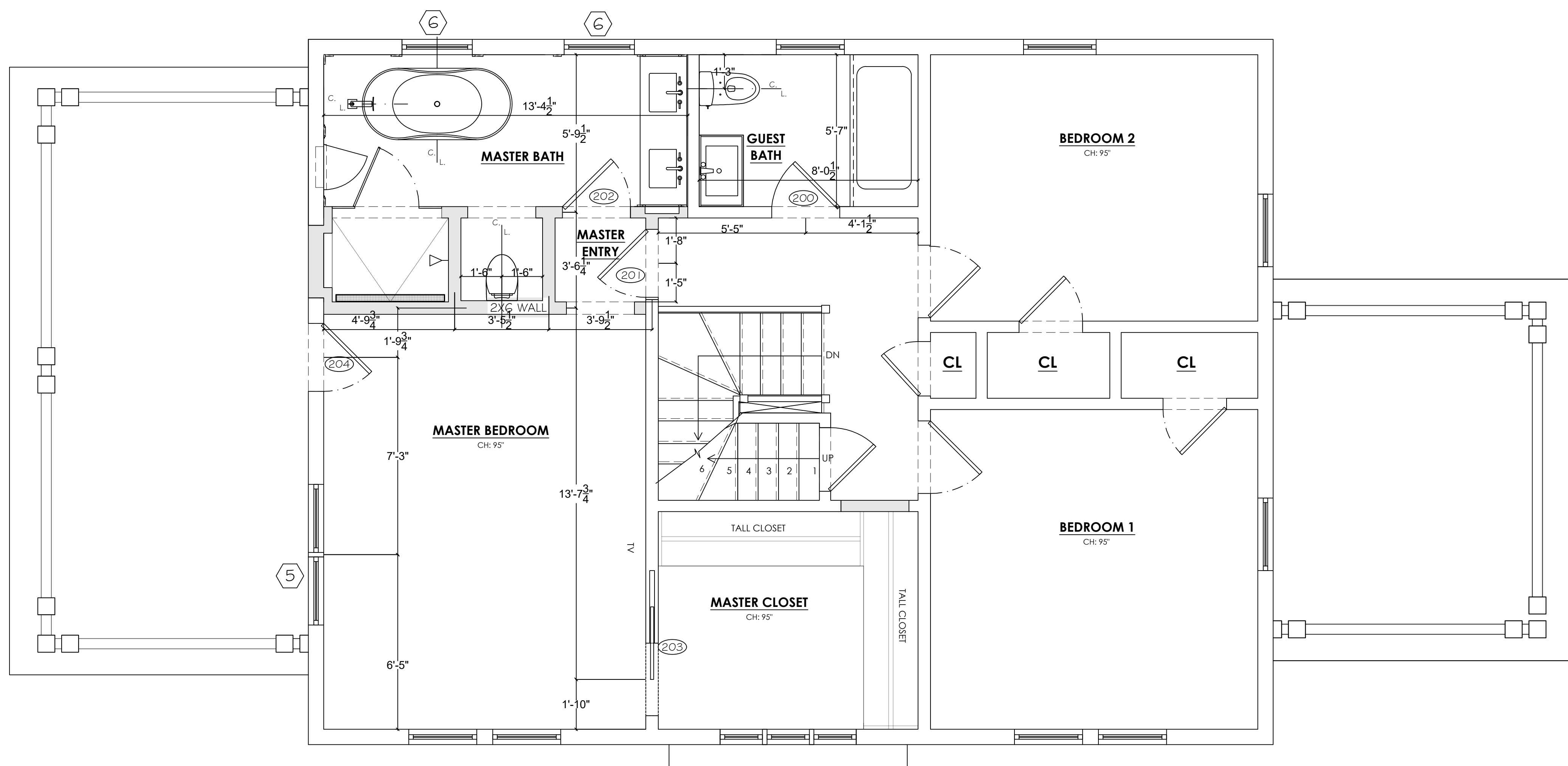
PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



PROPOSED SECOND FLOOR
Scale: 3/8" = 1'-0"

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'0"

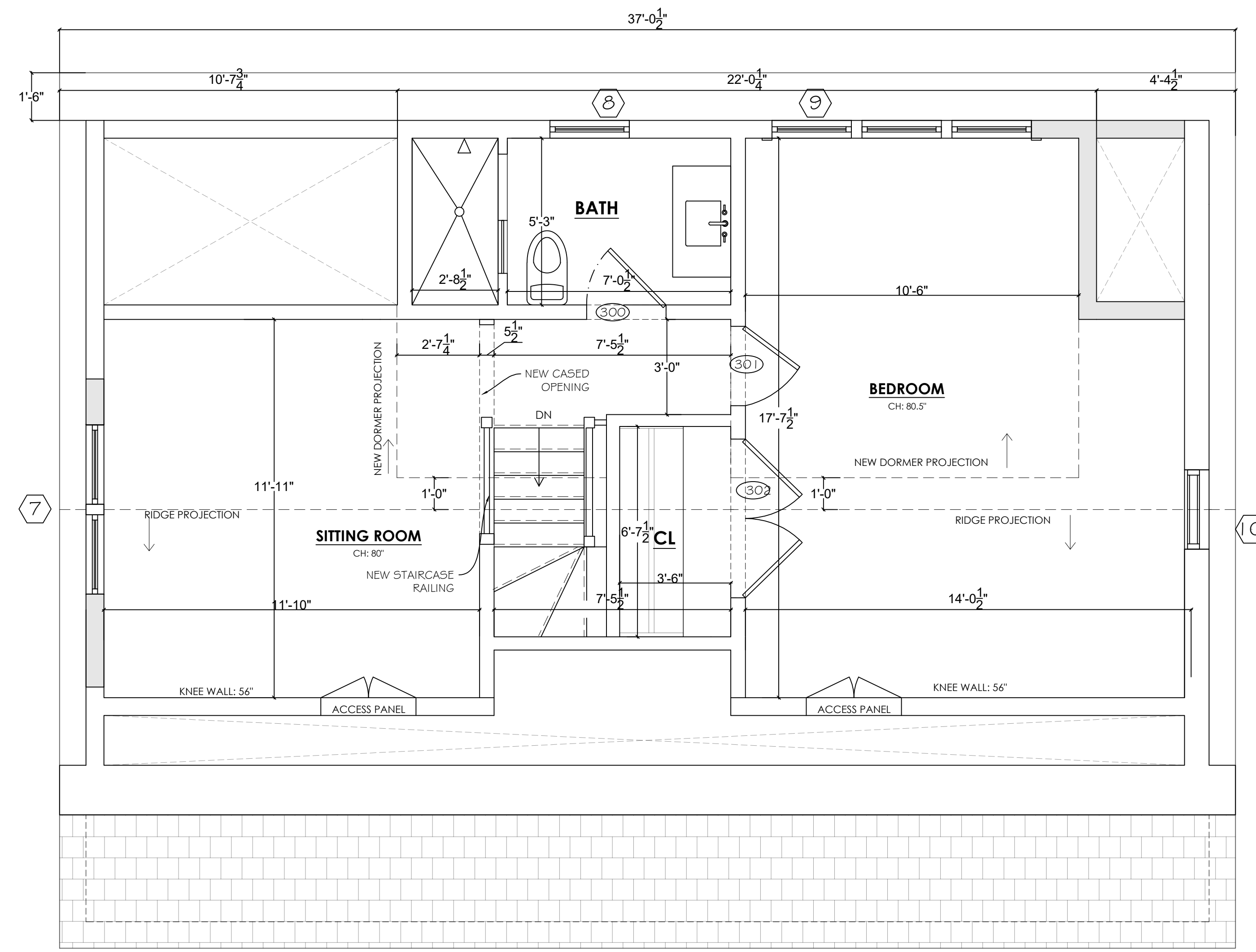
Drawing Title:
PROPOSED SECOND FLOOR
PLAN

Issue Date:
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-102



PROPOSED THIRD FLOOR PLAN
 Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

- LEGEND:**
- Existing to be demolished
 - Existing to remain
 - New construction
 - New Casework

ZONING SET

DRAFTER	DATE
J. Sousa	12302022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'0"

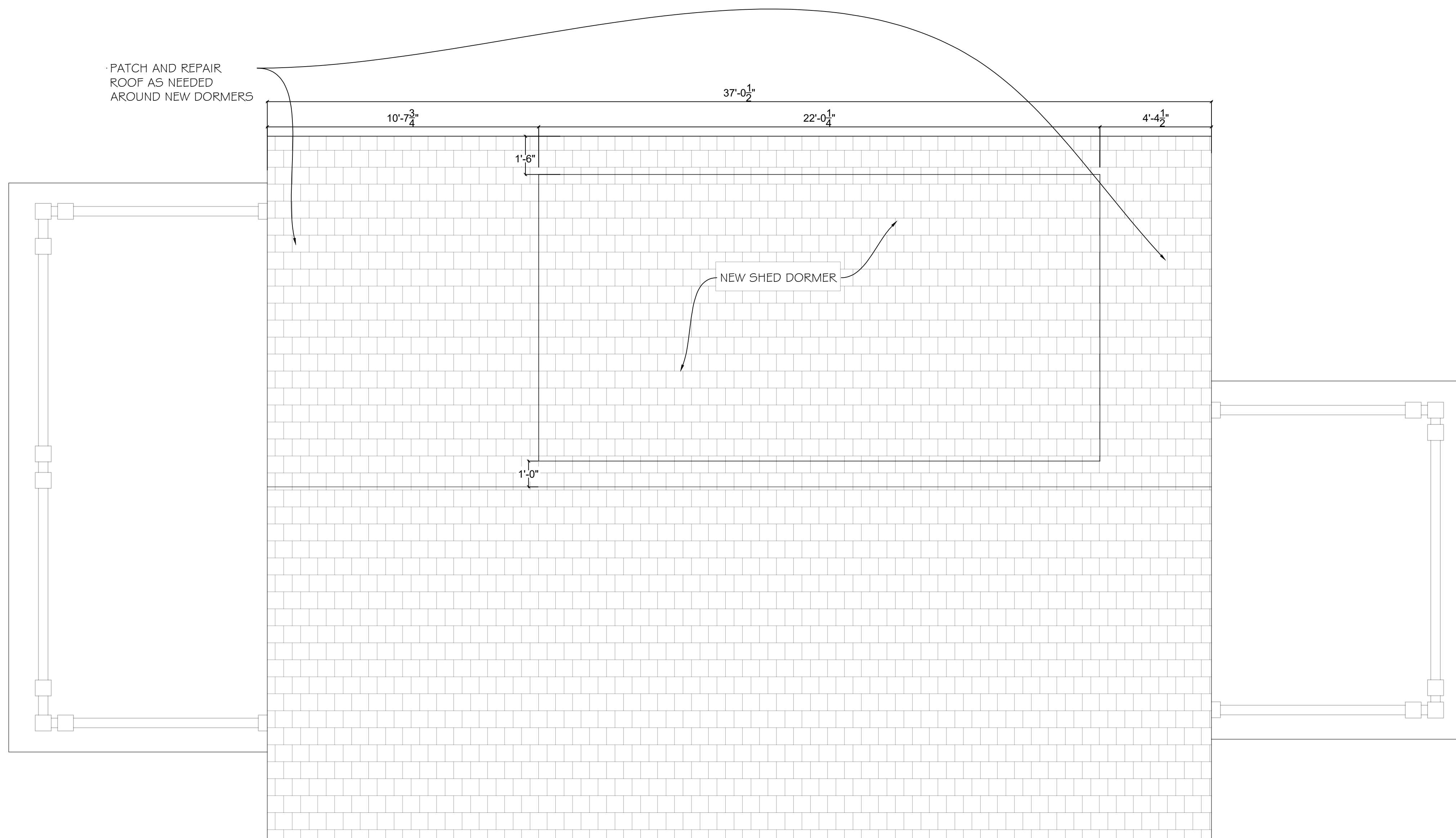
Drawing Title:
 PROPOSED THIRD FLOOR PLAN

Issue Date:
 January 4, 2023

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.
A-103



PROPOSED ROOF PLAN
Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

ZONING SET

DRAFTER	DATE		
J. Sousa	12302022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'0"

Drawing Title:
PROPOSED ROOF PLAN

Issue Date:
January 9, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

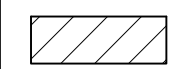
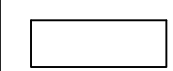


Sheet No.
A-104

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

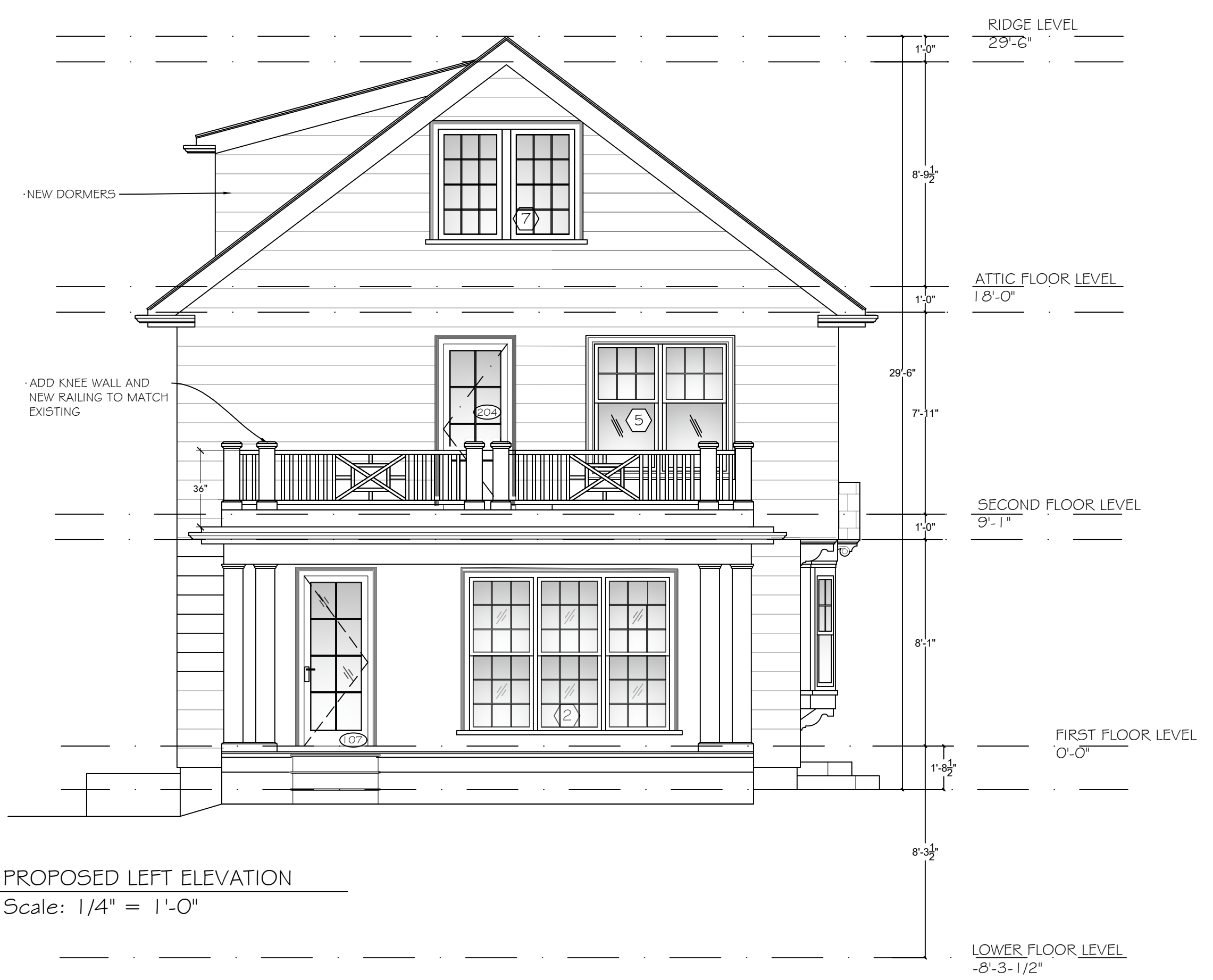
ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



PROPOSED FRONT ELEVATION
Scale: 3/8" = 1'-0"



PROPOSED LEFT ELEVATION
Scale: 1/4" = 1'-0"

ZONING SET

DRAFTER	DATE
J. Sousa	12/30/2022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
PROPOSED FRONT & LEFT
ELEVATION PLAN

Issue Date:
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

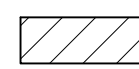
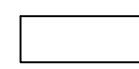

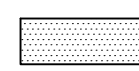
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-200

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON-SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

- LEGEND:**
-  Existing to be demolished
 -  Existing to remain
 -  New construction
 -  New Casework



PROPOSED REAR ELEVATION DEMOLITION
Scale: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"

ZONING SET

DRAFTER	DATE
J. Sousa	12302022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
PROPOSED REAR & RIGHT
ELEVATION PLAN

Issue Date:
January 9, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-201

SHRAVYA & PRABHAV POTLURI

48 FRESH POND LANE
CAMBRIDGE, MA 02138

May 10th, 2022

DRAWING INDEX

- G-01 Cover page
- G-02 General Notes

- D-100 Basement and First Floor - Demolition Plan
- D-101 Second and Attic Floor - Demolition Plan
- D-102 Roof Plan - Demolition Plan

- D-200 Front and Left Elevation - Demolition Plan
- D-201 Rear and Right Elevation - Demolition Plan

- A-100 Basement Floor - Proposed Plan
- A-101 First Floor - Proposed Plan
- A-102 Second Floor - Proposed Plan
- A-103 Attic - Proposed Plan
- A-104 Roof Plan - proposed Plan

- A-200 Front and Left Elevation - Proposed Elevation
- A-201 Rear and Right Elevation - Proposed Elevation

- A-300 Building sections

- I-200 - Interior Elevations
- 207

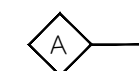


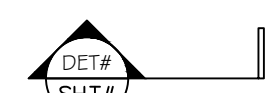



- A-400 Basement and First Floor - Finish Floor Plan
- A-401 Second and Attic Floor - Finish Floor Plan

- E-100 Basement - Lighting & Electrical Plan
- E-101 First Floor - Lighting & Electrical Plan
- E-102 Second Floor - Lighting & Electrical Plan
- E-103 Attic - Lighting & Electrical Plan

- A-500 Casework & Details

- A-600 - 601 Door and Window schedules

DRAWING SYMBOL LEGEND

-  Partition type
-  Elevation Detail
-  Detail Key
-  Section Key
-  Window Symbol
-  Door Symbol
-  Revision Symbol

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
NTS

Drawing Title:
GENERAL NOTES

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

G-01

REFLECTED CEILING PLAN LEGEND:

- RECESSED LIGHT, REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- SURFACE MOUNT LIGHT
- WALL SCONCE (SEE ELEVATIONS FOR HEIGHT)
- UNDER COUNTER LIGHTING - REFER TO LIGHTING SCHEDULE FOR SPECIFICATIONS
- EXHAUST FAN IN THE BATHROOMS
PANASONIC WHISPER GREEN
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- CEILING MOUNTED SPEAKER
- SMOKE DETECTOR
- SMOKE & CARBON MONOXIDE DETECTOR

NOTES:

- PROVIDE DIMMER SWITCHES FOR ALL INCANDESCENT LIGHTING FIXTURES.
- ALL SWITCHES ARE TO BE LUTRON DIVA SWITCHES WHITE FINISH.
- ALL SWITCHES/PHONE/CABLE/ELECTRICAL OUTLETS SHOWN TO BE GANGED.
- STACK VOLUME CONTROL OVER LIGHTING SWITCHES.
- ALL LIGHTING/SPEAKERS/FANS ARE TO BE WIRED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

ELECTRICAL PLAN LEGEND:

- NEW DUPLEX OUTLET
- NEW QUAD OUTLET
- NEW GFI OUTLET
- NEW RECESSED "CLOCK" OUTLET
- NEW PHONE OUTLET
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- EXISTING OUTLET
- DEDICATED CONNECTION

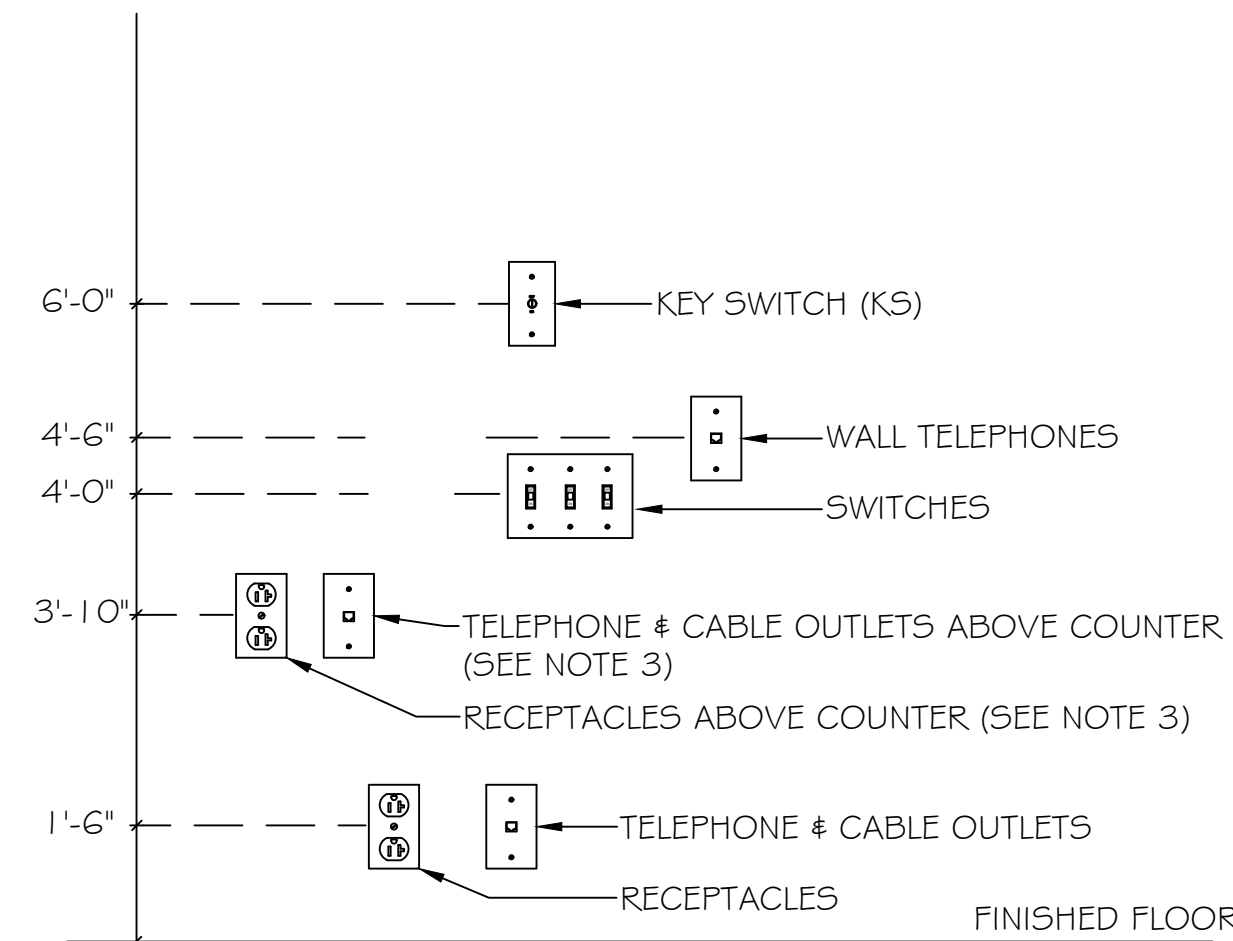
RECEPTACLE DENOTATION DESCRIPTION

- "W" WASHING MACHINE
- "D" DRYER
- "WT" WATER TIGHT
- "R" REFRIGERATOR
- "DW" DISHWASHER
- "M" MICROWAVE
- "RA" RANGE

NOTES:

- ALL ELECTRICAL/PHONE/CABLE & ETHERNET OUTLETS TO BE FINISHED WHITE.
- ALL SWITCHES/PHONE/CABLE/ELECTRICAL OUTLETS SHOWN TO BE GANGED.

TYPICAL DEVICE MOUNTING HEIGHTS DETAIL:



NOTES:

- ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF DEVICE.
- DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHERE EVER POSSIBLE.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH PLANS AND ELEVATIONS PRIOR TO ROUGHING IN ANY DEVICES ABOVE COUNTERS.

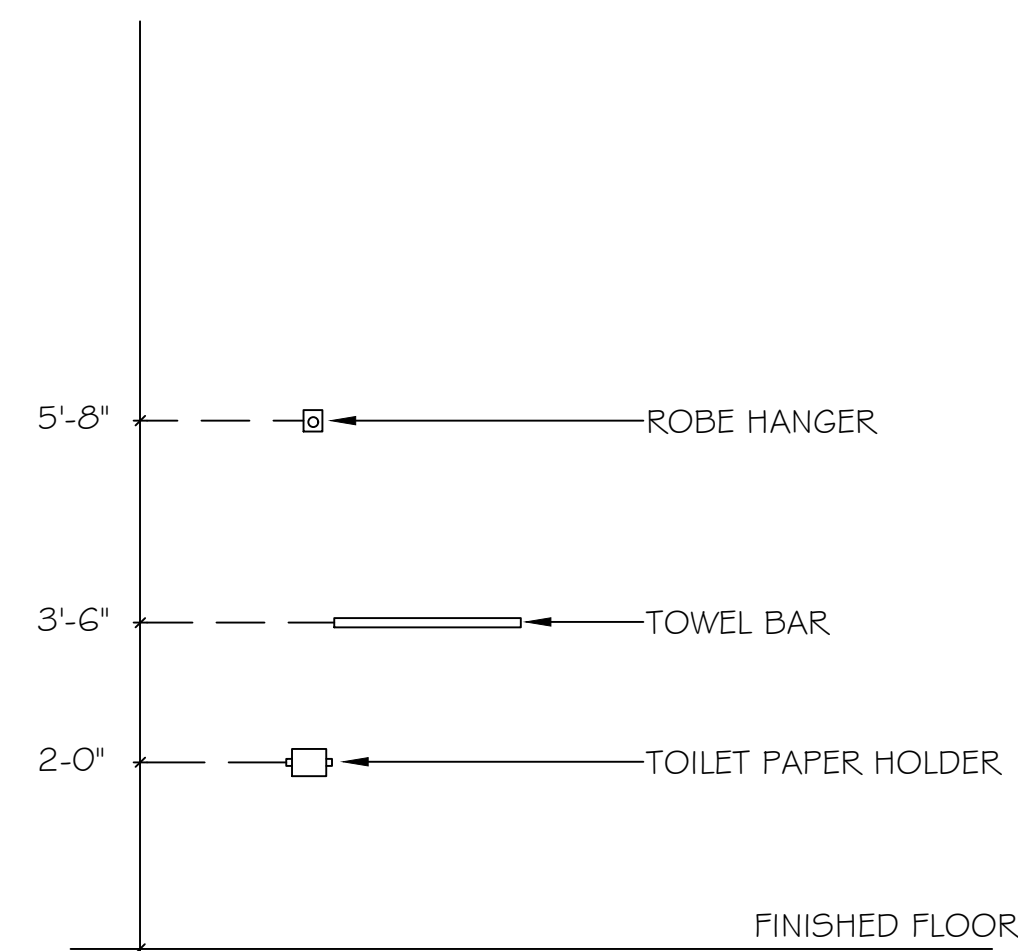
GENERAL NOTES:

- Contractor to comply with the Massachusetts State Building Code, latest edition, along with all appropriate, municipal and regulatory agencies' codes and requirements. Contractor is responsible for securing necessary permits and approval for all trades under contract.
- The contract drawings and specifications have been prepared by America Dural, Inc. (AD, Inc.) to provide contract documents which define design intent the Contractor is expected to achieve. In order to discover and resolve any omissions, errors or conflicts which could create construction conflicts, or otherwise inhibit the work, the Contractor shall, visit the site and verify all job conditions, dimensions and details prior to submitting any bids. AD, Inc. to be notified of any discrepancies or omissions which would interfere with the satisfactory completion of the work, prior to the submission of bids.
- The Owner reserves the right to make changes in the drawings and specifications as the work progresses. Bulletins, change orders, drawings, specifications or Designer's supplemental instructions covering such changes will be issued to the Contractor whose responsibility it will be to distribute these immediately to all subcontractors affected to take such measures as may be necessary to avoid errors or delays in the project.
- No material substitutions to be made without first informing AD, Inc. Submit substitute material, specifications and samples for review and approval by AD, Inc. prior to commencement of work.
- Contractors' access to the existing building for the delivery, movement of manpower, handling and installation of material and equipment and disposal of debris must be coordinated with the Owner to avoid inconvenience and annoyance.
- Drawings are not to be scaled; dimensions govern. Large scaled details govern over small scaled plans.
- All equipment and materials, as well as methods and processes used in the performance of the work, shall conform to the standard recommendations of the manufacturer.
- AD, Inc. review and approval of shop drawings shall indicate only that such drawings generally express the design intent of the contract documents. Review by the Designer does not relieve the Contractor from responsibilities for errors which may exist in the submitted data, in manufacture or coordination with other trades.
- Whatever work is done where no definite details or specifications are given, the contractor shall perform the work in accordance with best acceptance practice of the respective trades.

ARCHITECTURAL PLAN LEGEND:

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW CASEWORK
- EXISTING DOOR TO REMAIN
- DOOR #
- NEW DOOR AND HARDWARE
- HARDWARE #
- EXISTING WINDOW TO REMAIN
- WINDOW TAG
- WALL TYPE IDENTIFIER
- ELEVATION #
- INTERIOR ELEVATION SYMBOL
- PAGE #
- SECTION #
- SECTION SYMBOL
- PAGE #

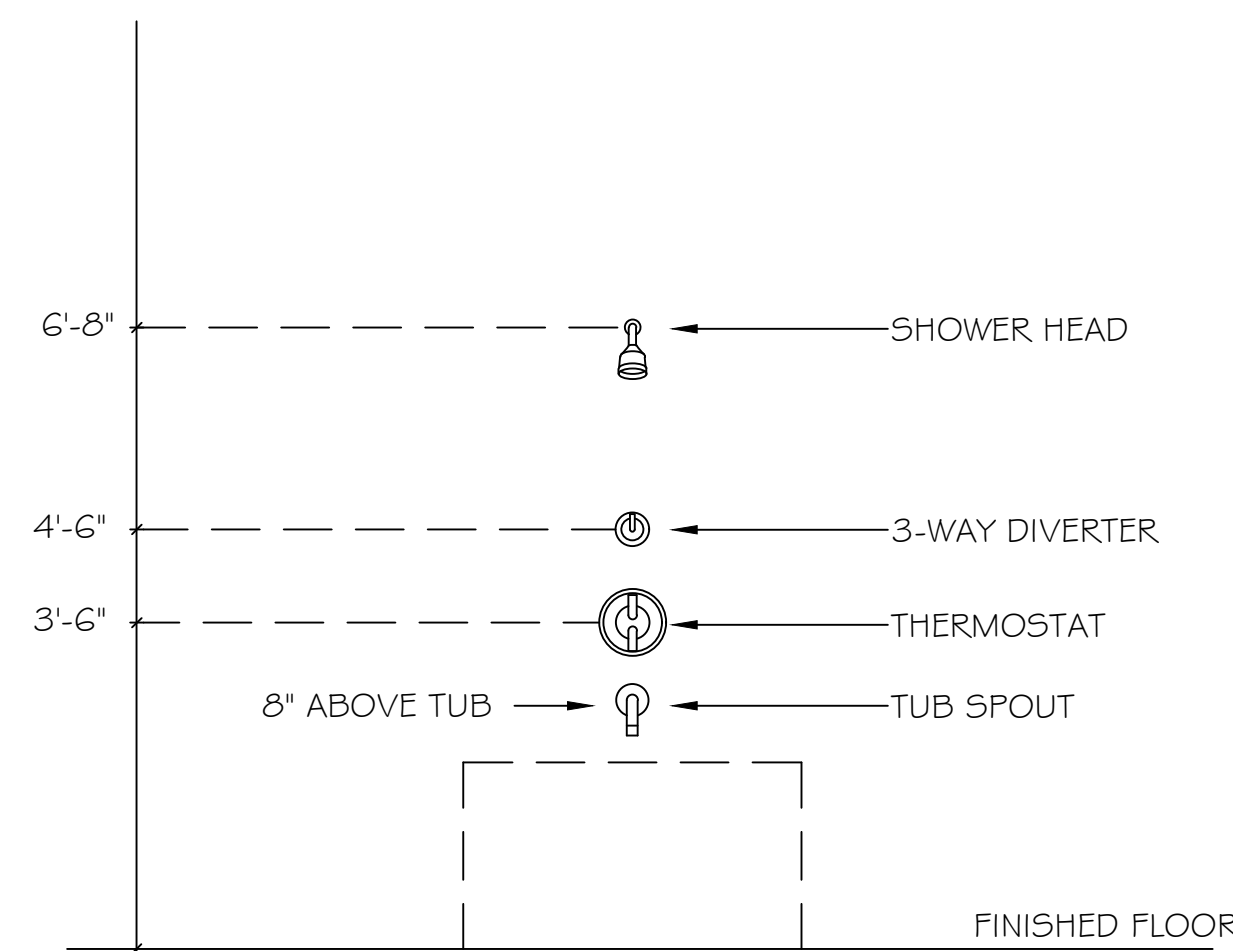
FIXTURE MOUNTING HEIGHTS:



NOTES:

- ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF FIXTURE.
- PROVIDE SOLID WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES.

TYPICAL PLUMBING MOUNTING HEIGHTS:



NOTES:

- ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF FIXTURE.
- FIXTURES SHALL BE INSTALLED ON A COMMON CENTERLINE WHEREVER POSSIBLE.

CONSTRUCTION NOTES:

- Contractor to verify all dimensions and job conditions prior to commencing work and will report to AD, Inc. any discrepancies or omissions which would interfere with the satisfactory completion of the work.
- All dimensions are from finish surface to finish surface or from face of columns and existing walls to finish surface unless noted otherwise.
- All new sheet rock surfaces to be properly taped, $\frac{1}{8}$ " skim coat of plaster and sanded smooth to receive paint or wall covering.
- Contractor shall be responsible for patching of existing GWB, taping and skim-coating to the satisfaction of AD, Inc. and appropriate Finish Contractors.
- The Contractor shall be responsible for coordination of cutting and patching for all trades. Where drywalls are in conflict with ductwork, plumbing lines, etc., Contractor to provide all necessary bridging and bracing required to secure drywall and to maintain fire or sound rating where required.
- The Contractor to provide all necessary cut-outs for the installation of electrical outlets, telephone and data outlets, switches and other electrical and/or plumbing devices.
- Contractor to coordinate with Millworker and Finish Carpenter to install all wood grounds and metal supports in ceiling and partitions where necessary for the installation of other trade work.
- All window and door sizing, manufacturer, and styles are to follow specifications schedules. Any deviation requires review and approval by AD, Inc.
- Placement and/or relocation of heating and cooling vents/returns for forced air systems are to be reviewed onsite and approved by AD, Inc. prior to installation.
- All new insulation to meet or exceed all local and state building code regulations.
- Finish texture and color of wood floors to be approved on site by Client and Designer before application.

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. # DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAYYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
NTS

Drawing Title:
GENERAL NOTES

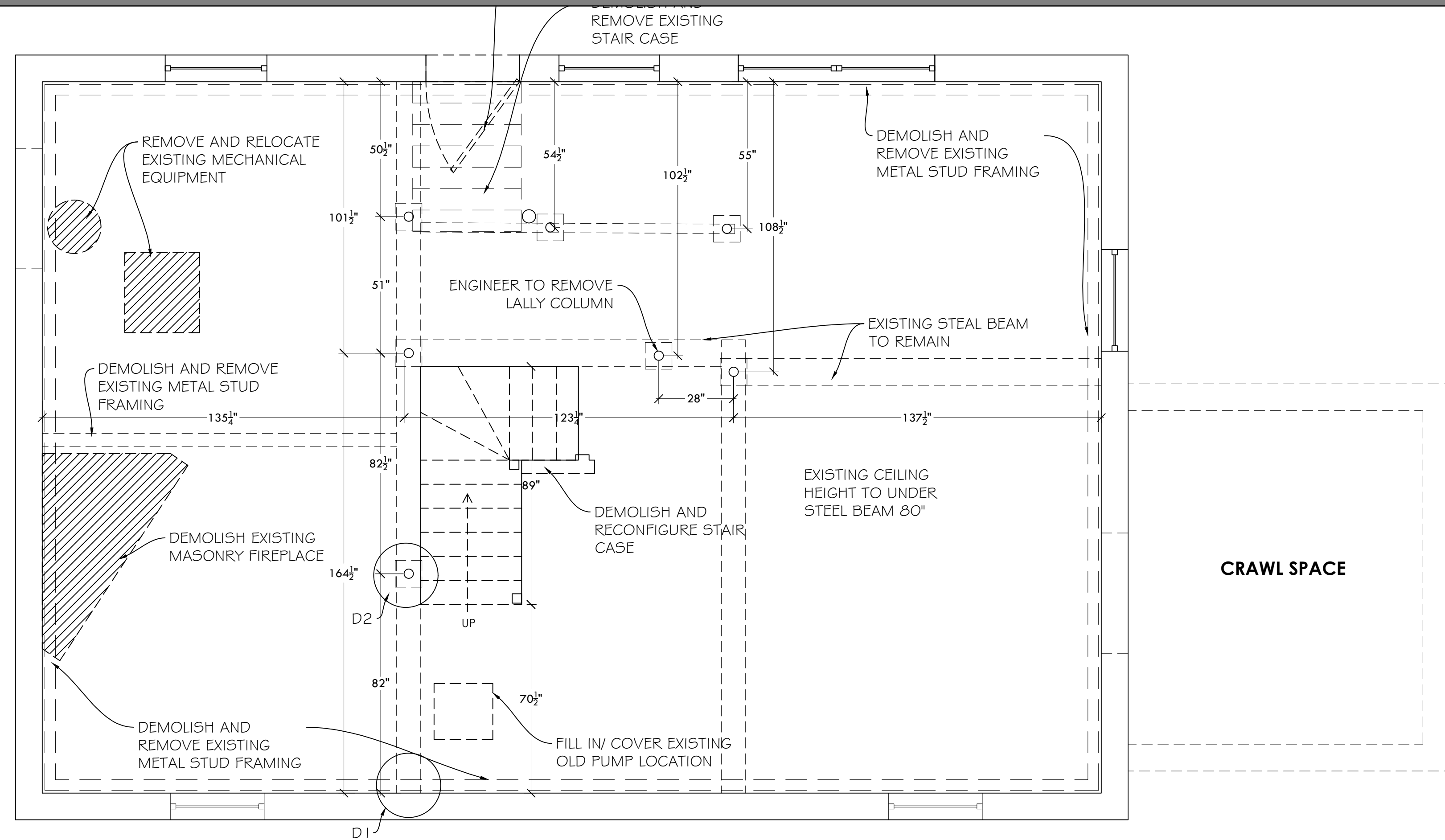
Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

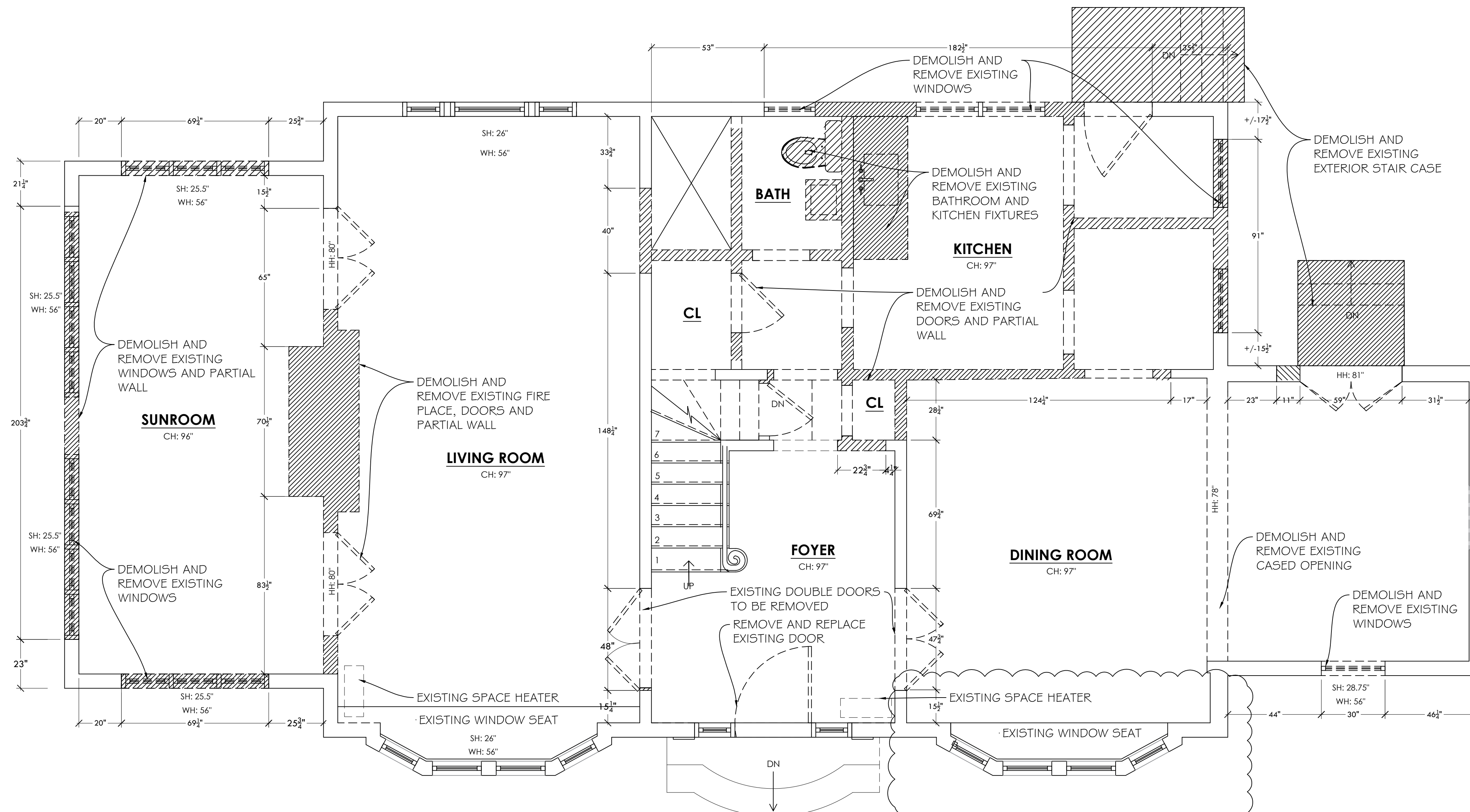
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

G-02



BASEMENT PLAN- DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



FIRST FLOOR - DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

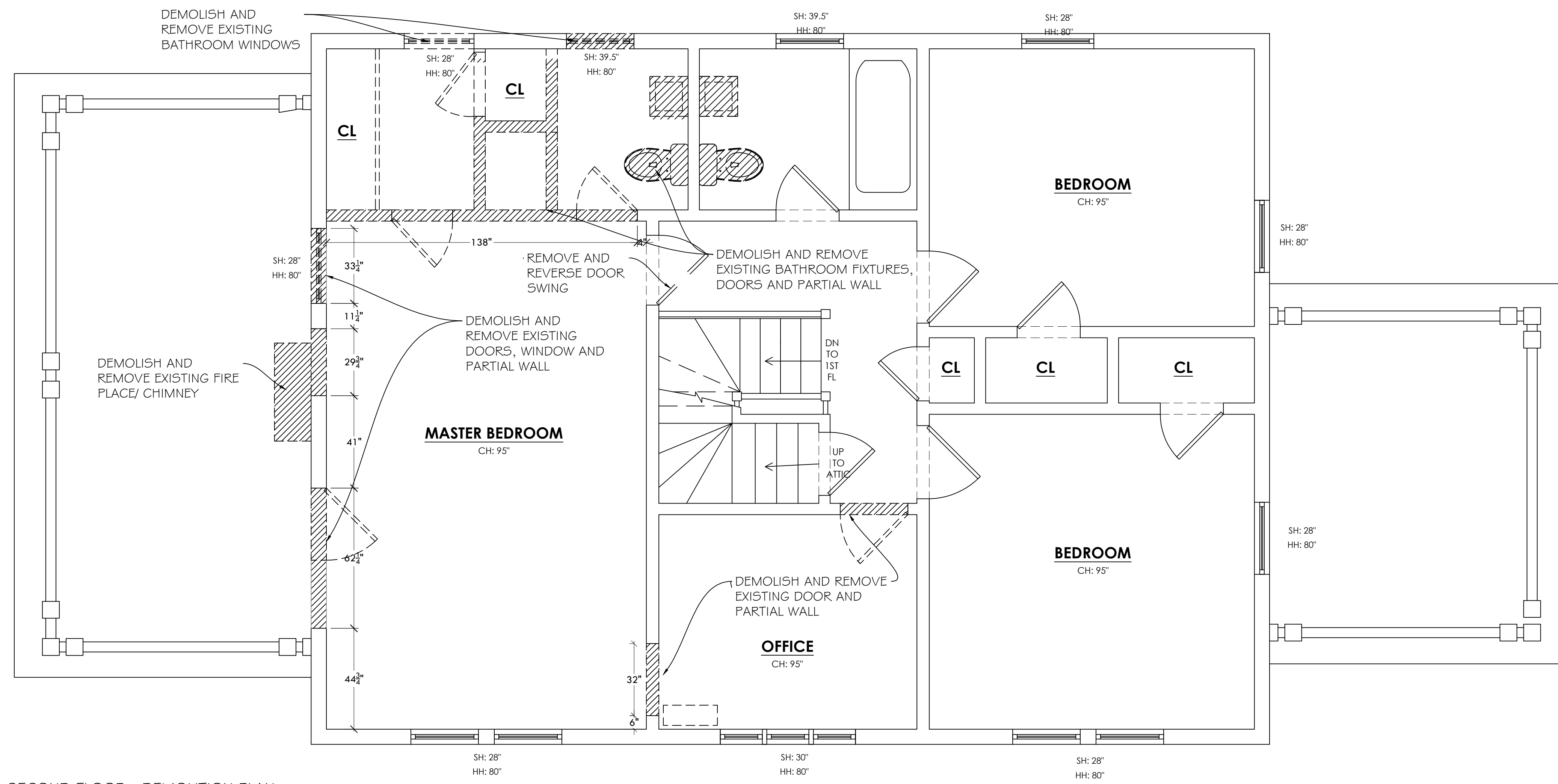
Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"
Drawing Title:
BASEMENT AND FIRST FLOOR DEMOLITION PLANS

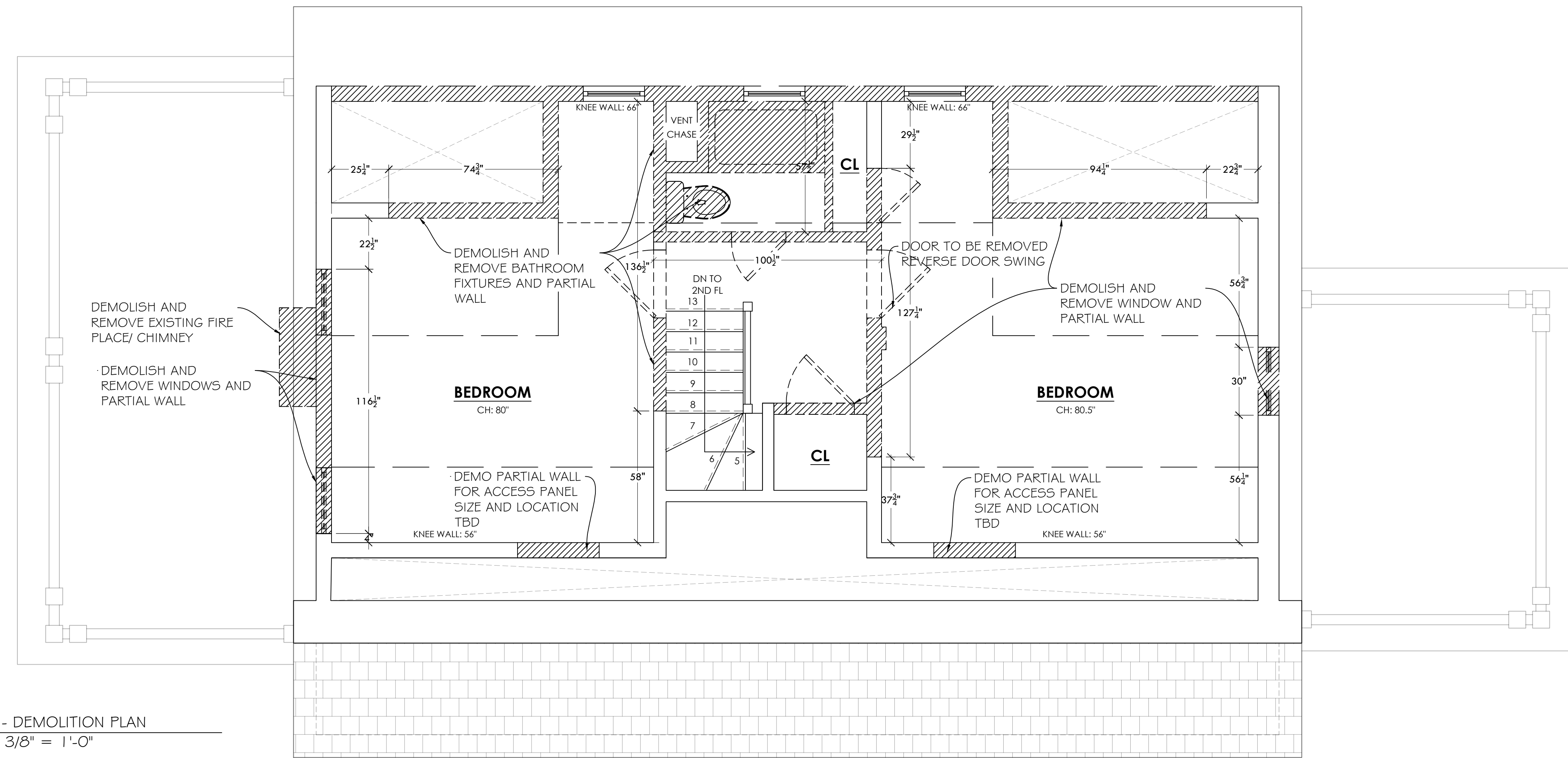
Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
D-100
Page No. 3 of 33



SECOND FLOOR - DEMOLITION PLAN
Scale: 3/8" = 1'-0"



ATTIC - DEMOLITION PLAN
Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

- LEGEND:**
- Existing to be demolished
 - Existing to remain
 - New construction
 - New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
SECOND AND ATTIC
DEMOLITION PLANS

Issue Date:
August 29, 2022

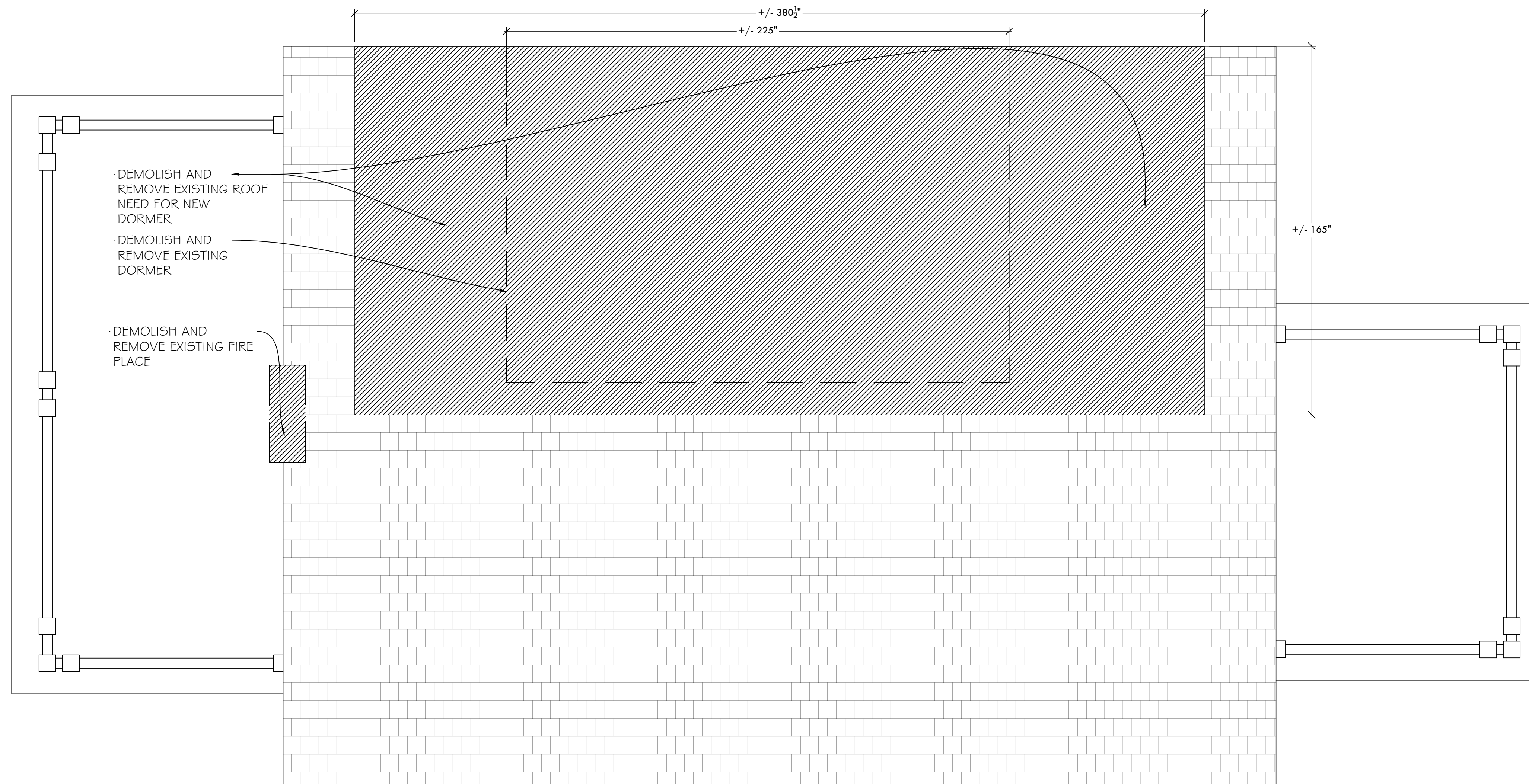
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

D-101

Page No. 4 of 33



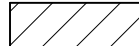
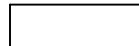


ROOF - DEMOLITION PLAN
Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
ROOF DEMOLITION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

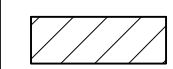
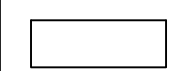
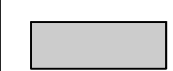

Sheet No.
D-102

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

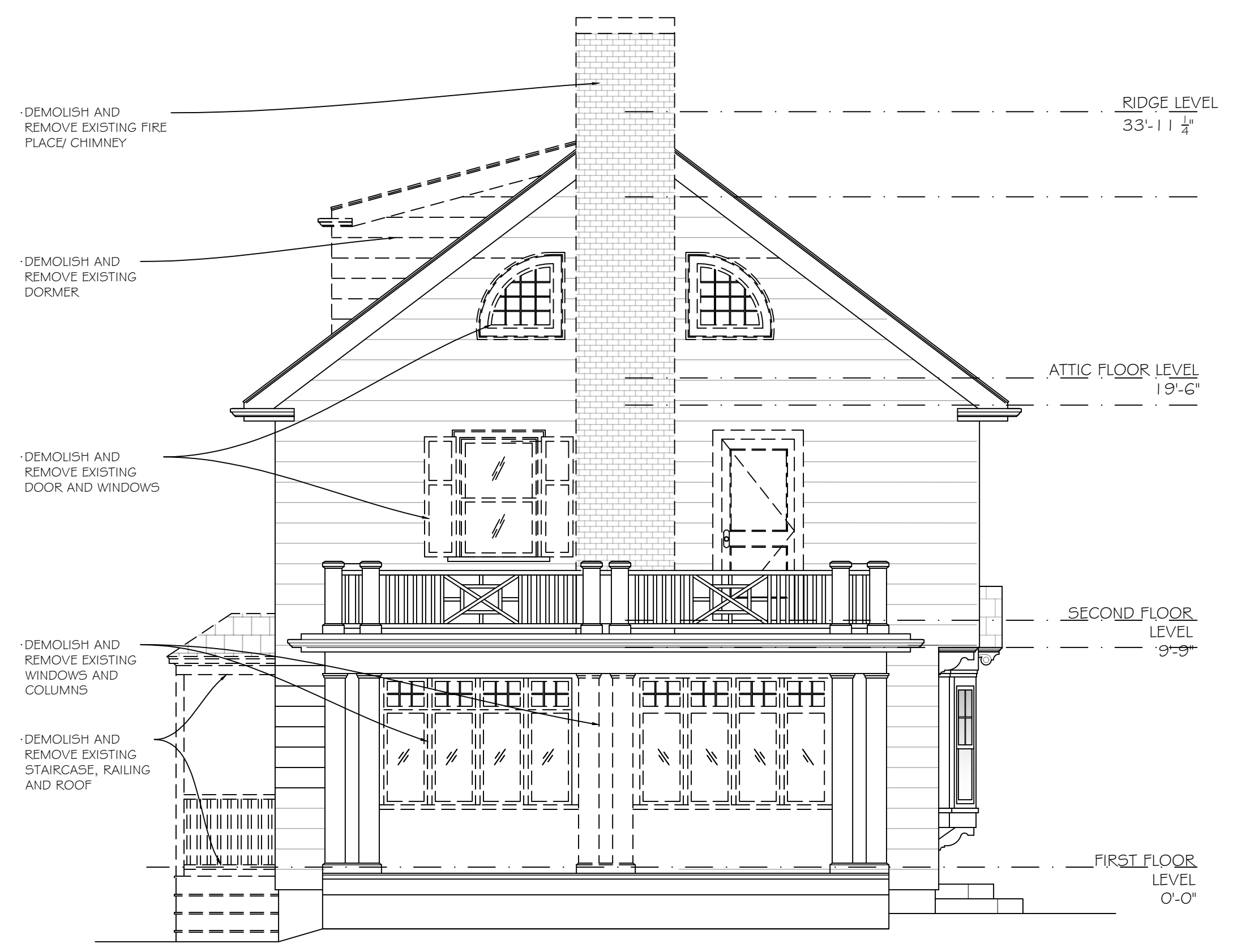
ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



FRONT ELEVATION- DEMOLITION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

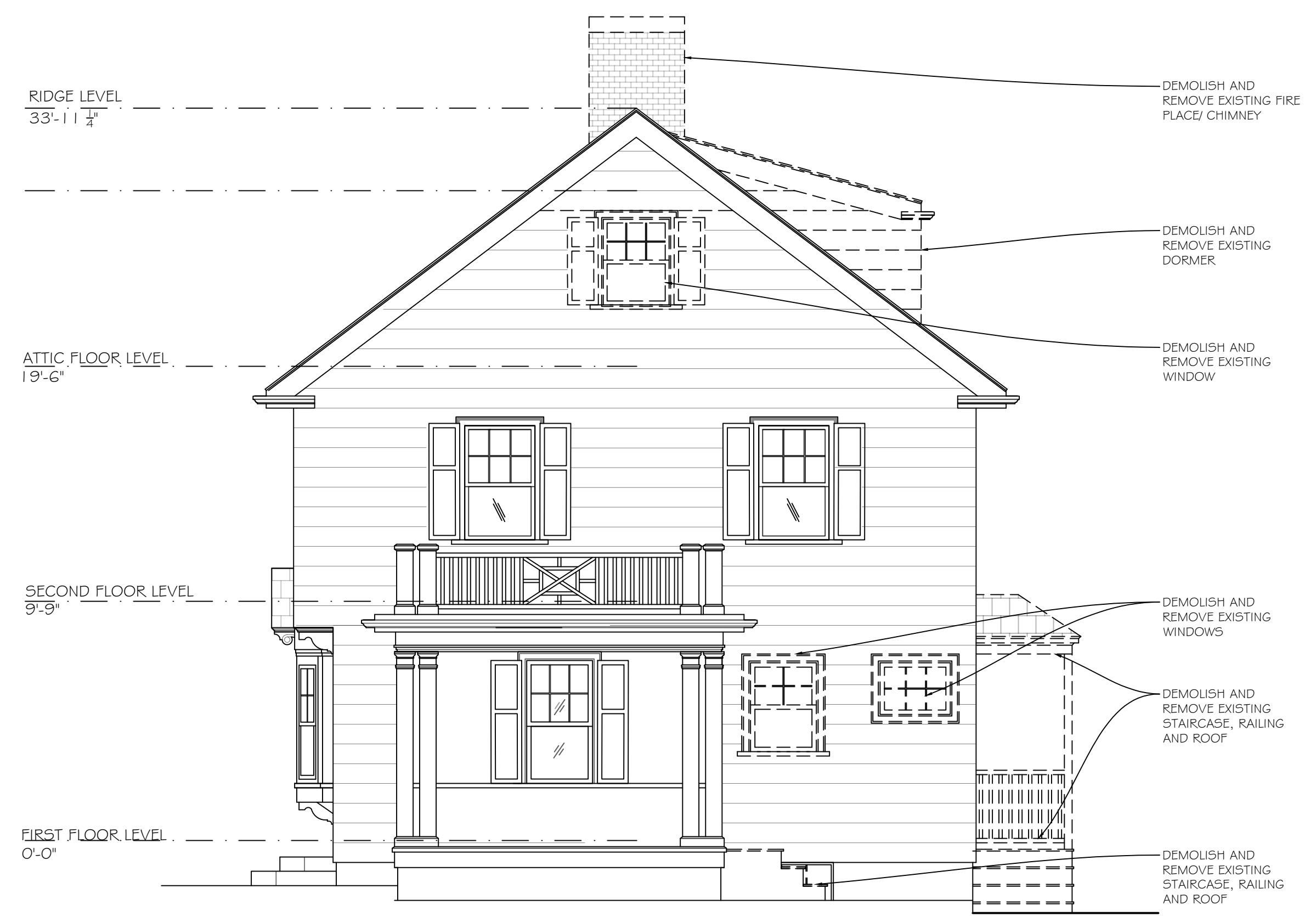
Drawing Title:
FRONT & LEFT ELEVATION
DEMOLITION PLAN

Issue Date:
August 29, 2022

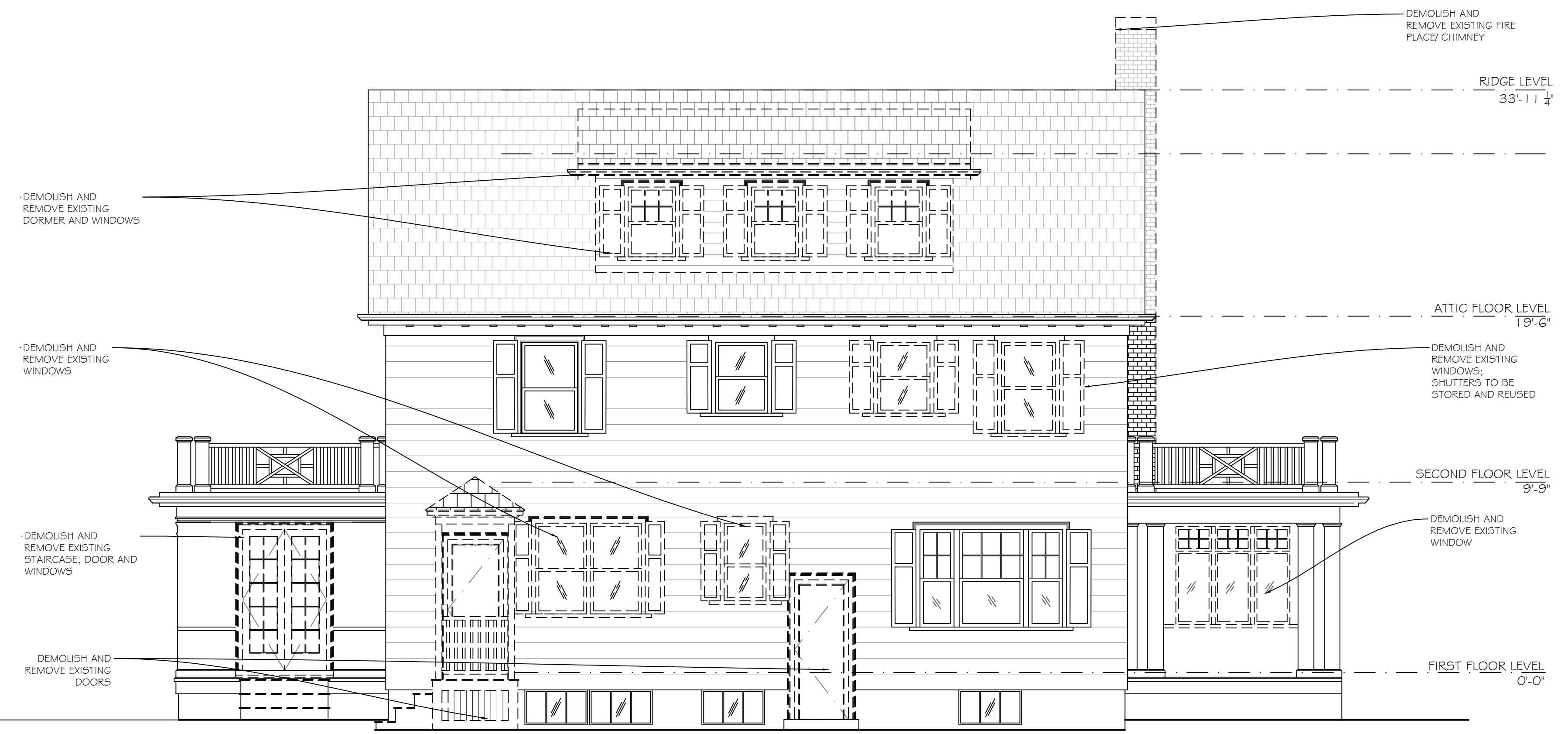
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
D-200



RIGHT ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



REAR ELEVATION - DEMOLITION
Scale: 1/4" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

- LEGEND:
- Existing to be demolished
 - Existing to remain
 - New construction
 - New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
**RIGHT & REAR ELEVATION
DEMOLITION PLAN**

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

D-201

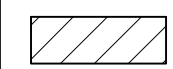
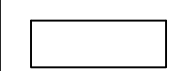


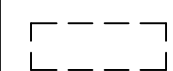
Page No. 7 of 33

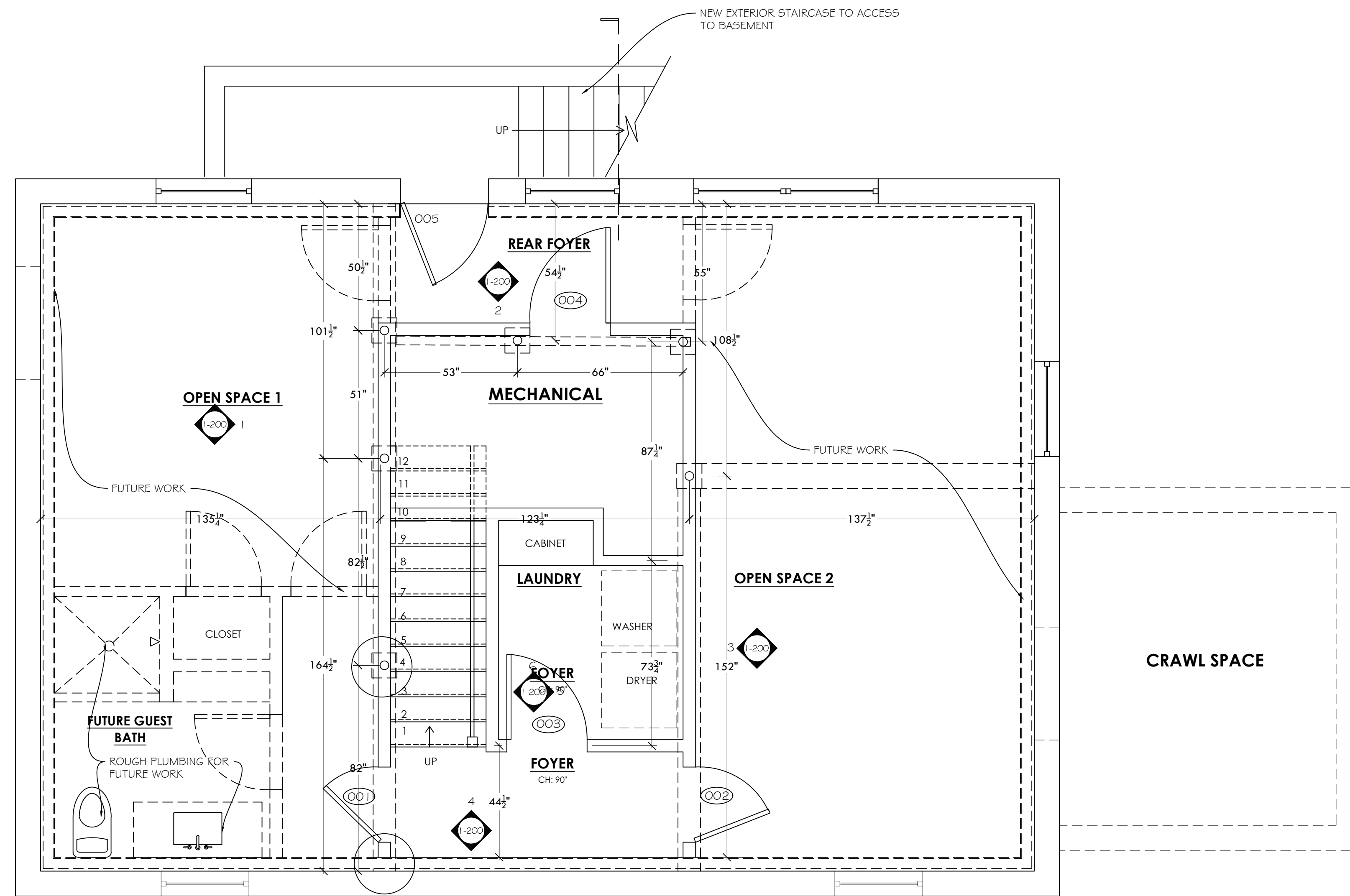
PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework
-  Future work



PROPOSED BASEMENT PLAN
SCALE: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

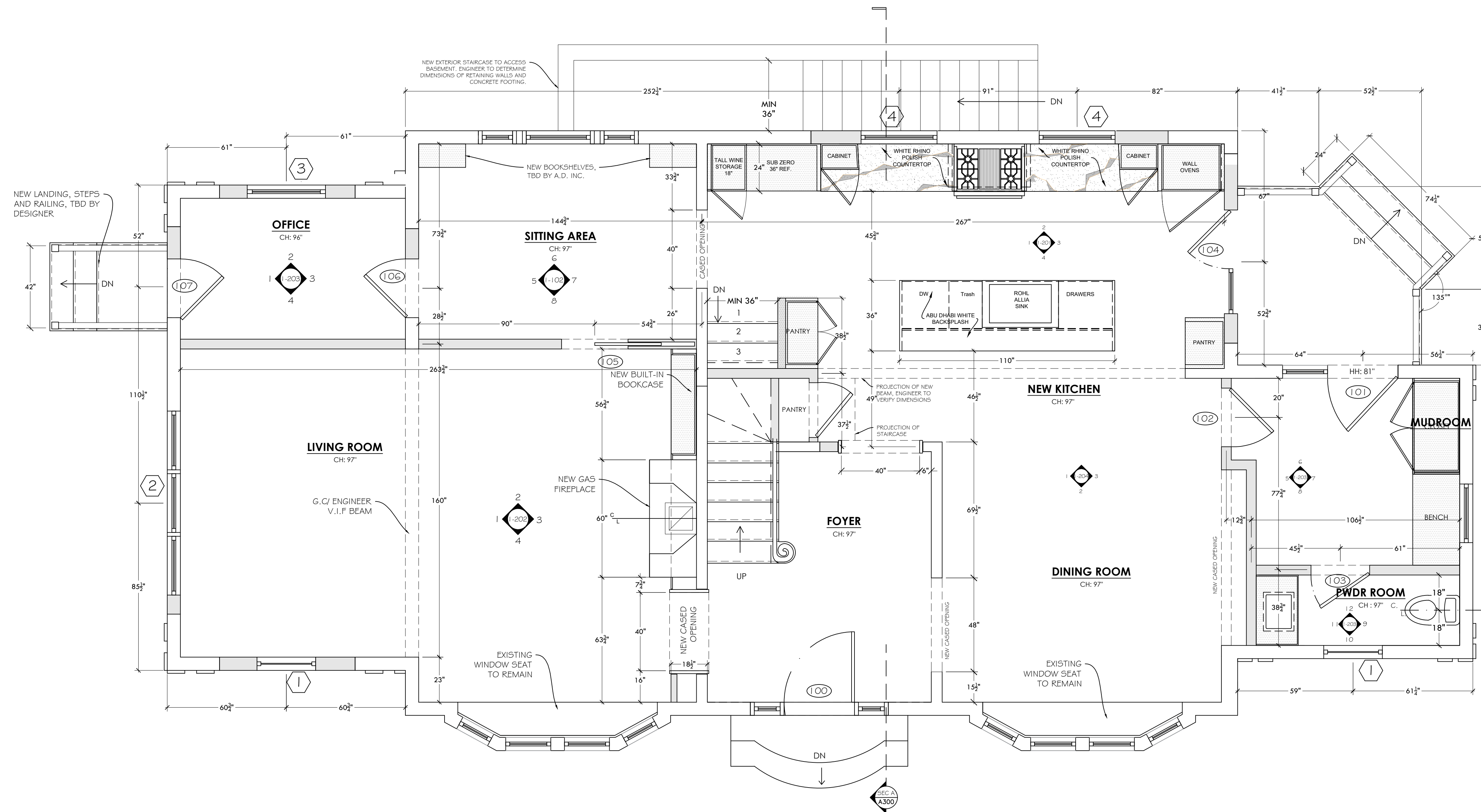
Scale:
3/8" = 1'0"
Drawing Title:
PROPOSED BASEMENT PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-100



PROPOSED FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'0"
Drawing Title:
PROPOSED FIRST FLOOR PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

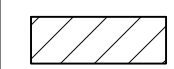
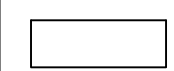


Sheet No.
A-101

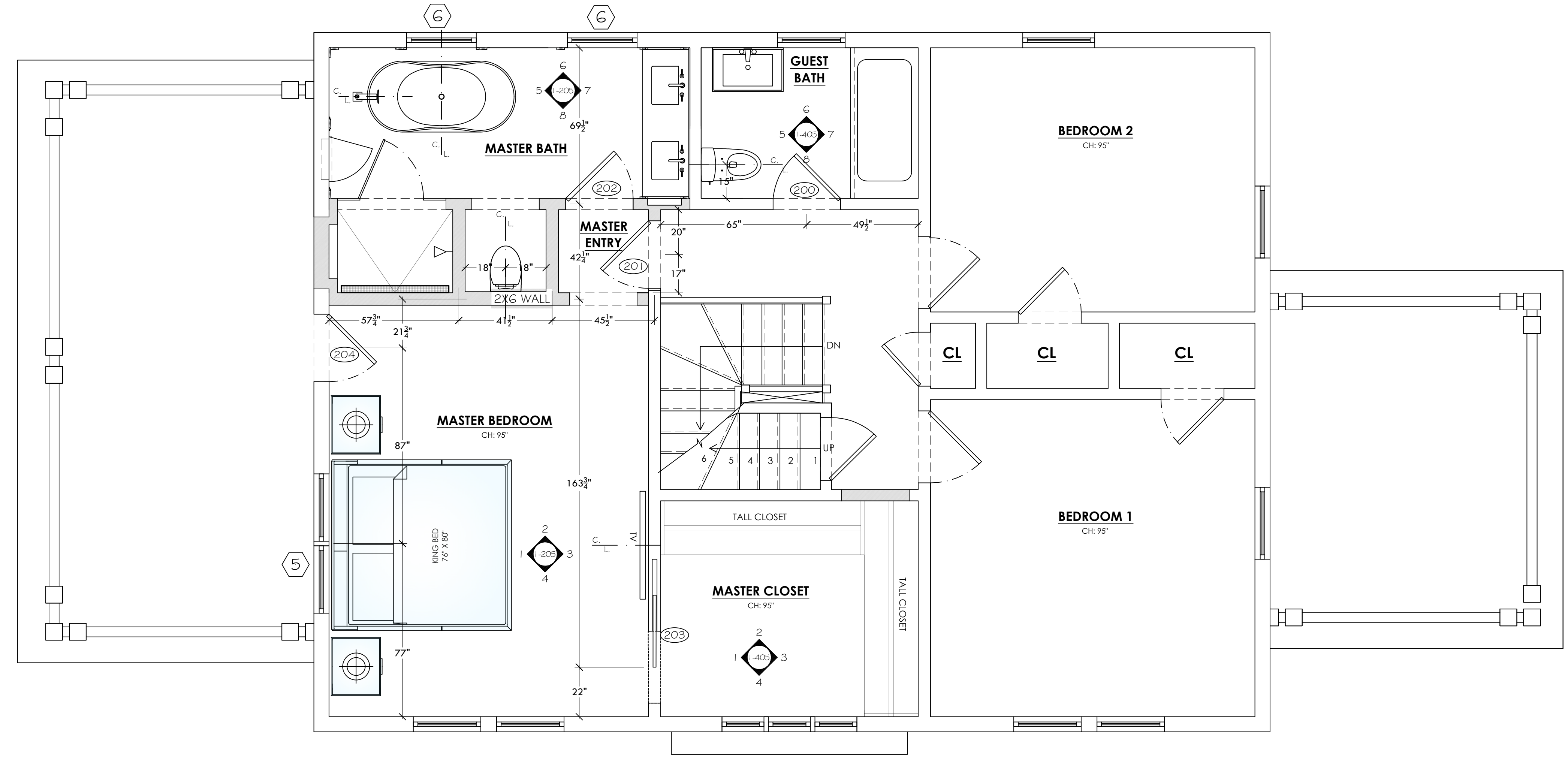
PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework



PROPOSED SECOND FLOOR PLAN
Scale: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'0"

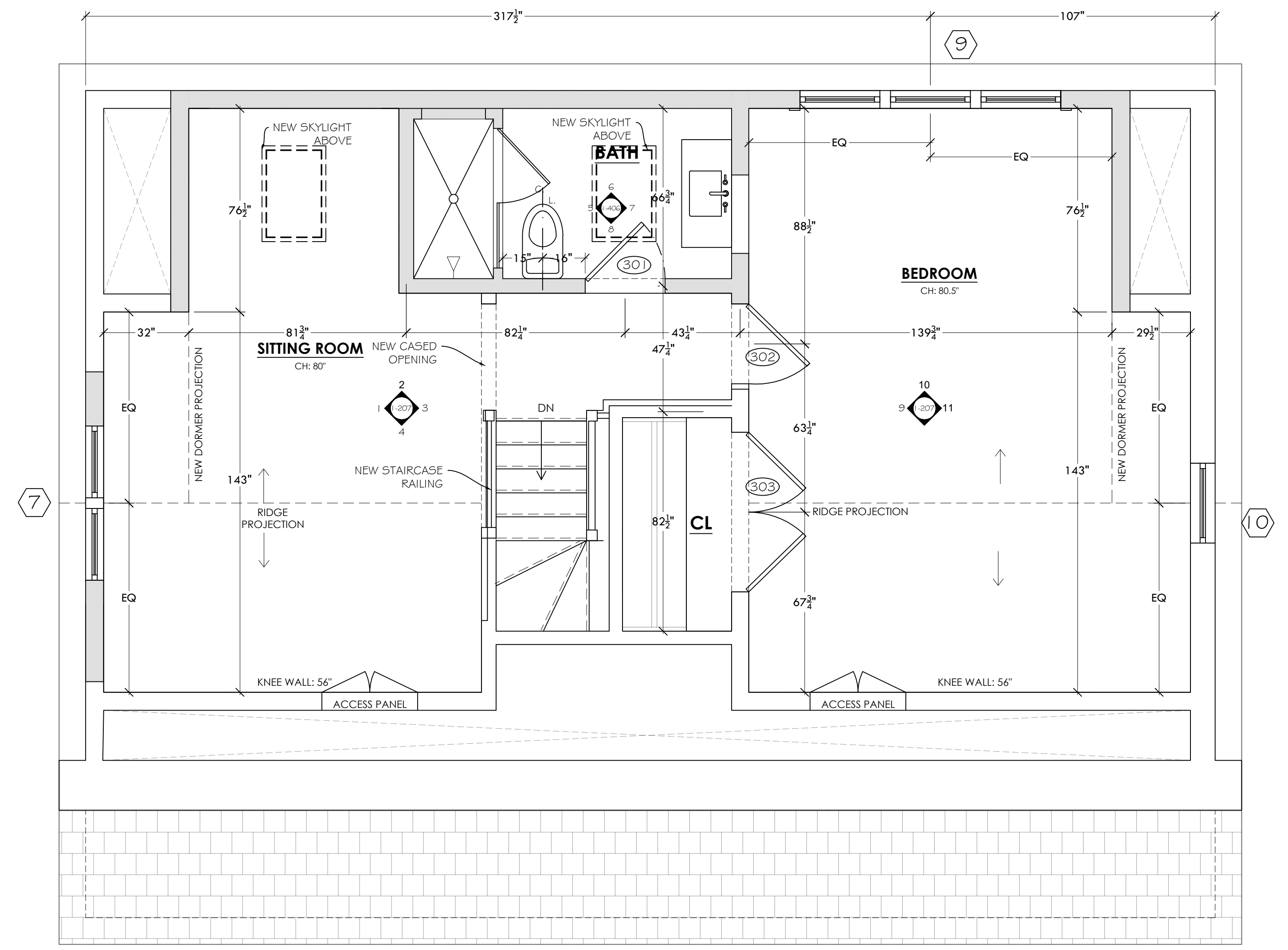
Drawing Title:
PROPOSED SECOND FLOOR PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
A-102



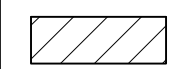
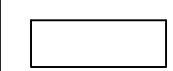


PROPOSED ATTIC PLAN
 Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

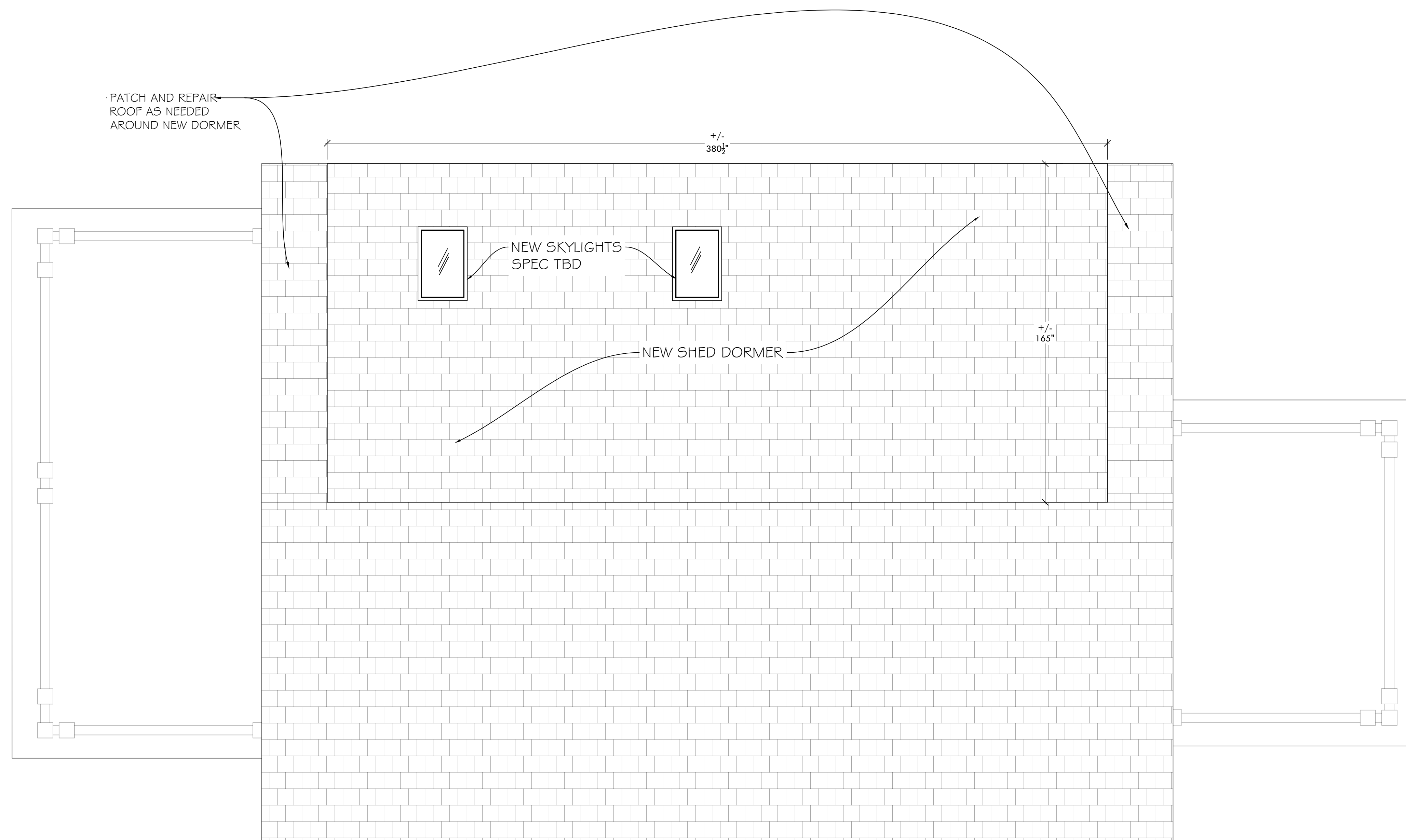
Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'0"
 Drawing Title:
 PROPOSED ATTIC PLAN

Issue Date:
 August 29, 2022

AMERICA DURAL
 RESIDENTIAL DESIGN
 143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.
A-103



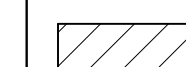
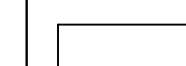

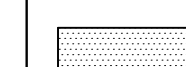
ROOF - PROPOSED PLAN
 Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 3/8" = 1'0"

Drawing Title:
 PROPOSED ROOF PLAN

Issue Date:
 August 29, 2022

AMERICA DURAL
 RESIDENTIAL DESIGN
 143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.
A-104



PROPOSED FRONT ELEVATION
Scale: 3/8" = 1'-0"



PROPOSED LEFT ELEVATION
Scale: 1/4" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
PROPOSED FRONT & LEFT
ELEVATION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

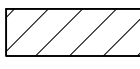
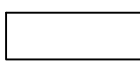

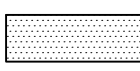
Sheet No.
A-200

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. ¹⁰ DURING BID ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/4" = 1'0"

Drawing Title:
PROPOSED REAR & RIGHT ELEVATION PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-201

Page No. 14 of 33

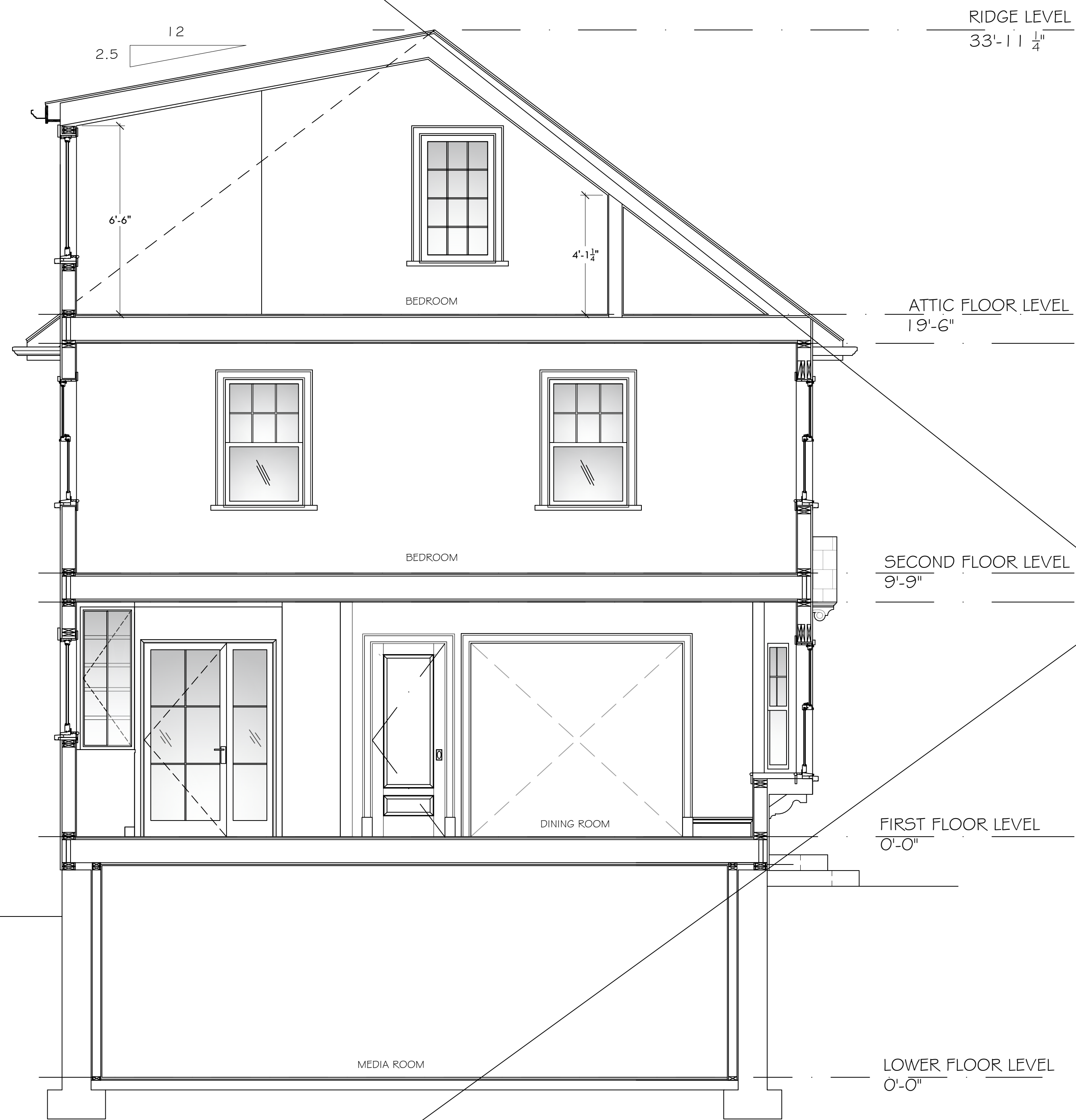


PROPOSED REAR ELEVATION DEMOLITION
Scale: 1/4" = 1'-0"

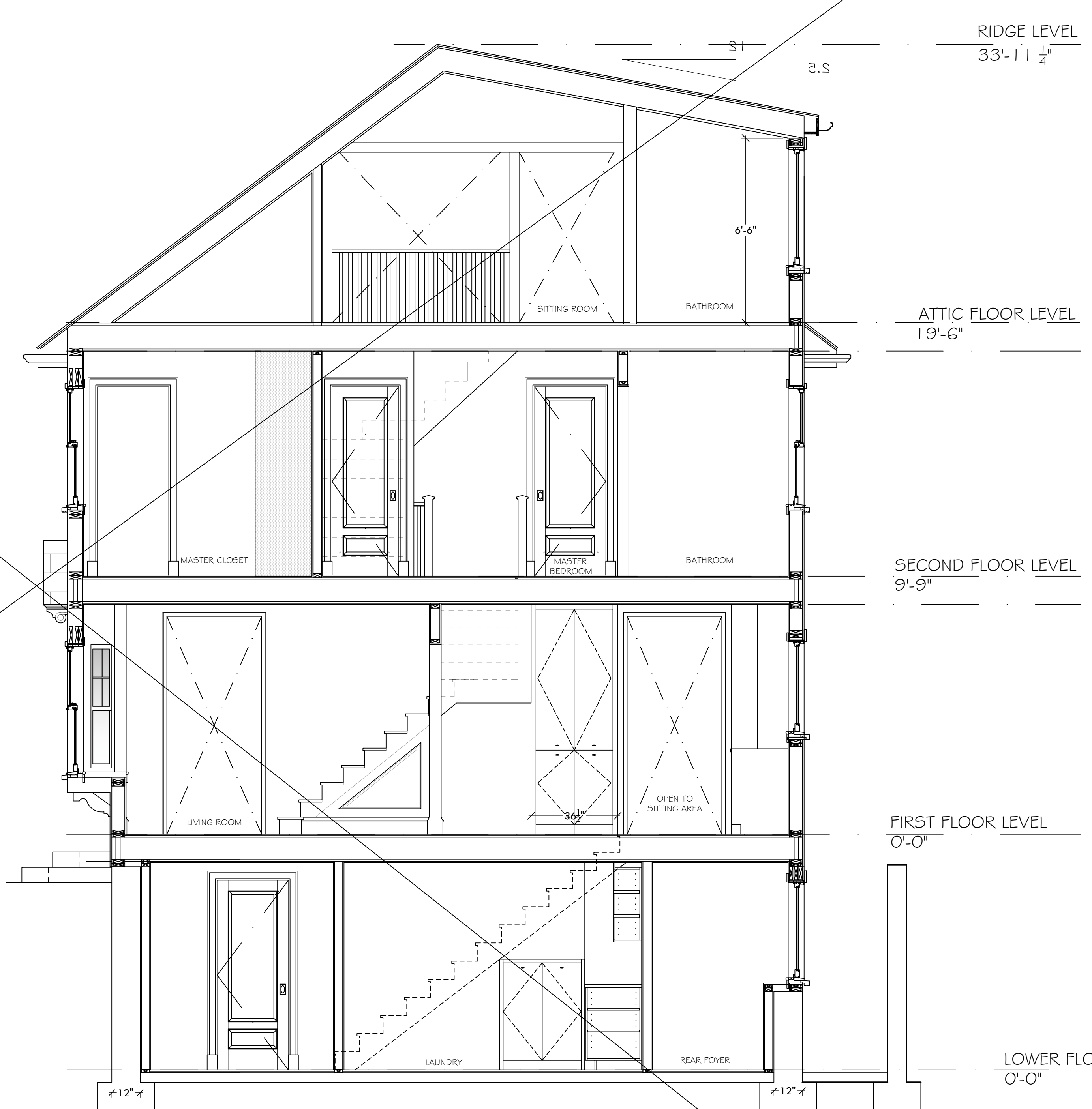


PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"

UPDATE TO FOLLOW



SECTION 1
Scale: 3/8" = 1'-0"



SECTION 2
Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. @ DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

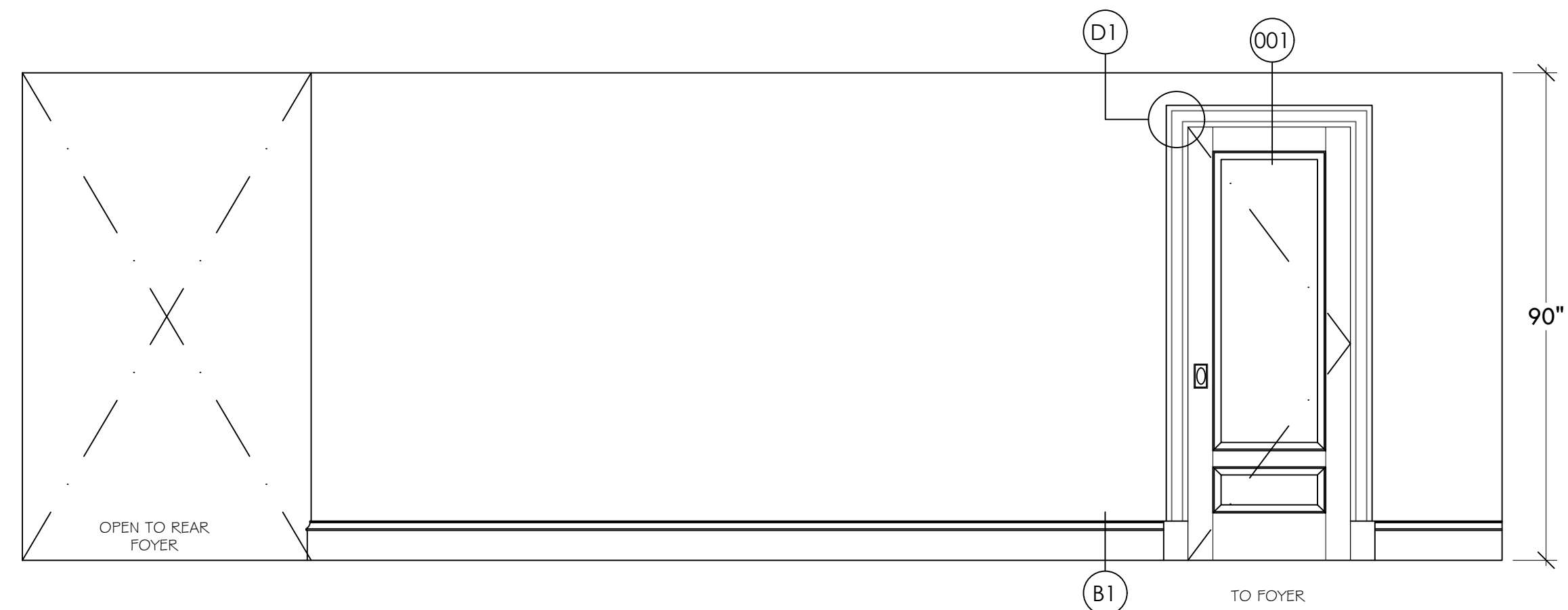
Scale:
3/8" = 1'0"
Drawing Title:
BUILDING SECTIONS

Issue Date:
August 29, 2022

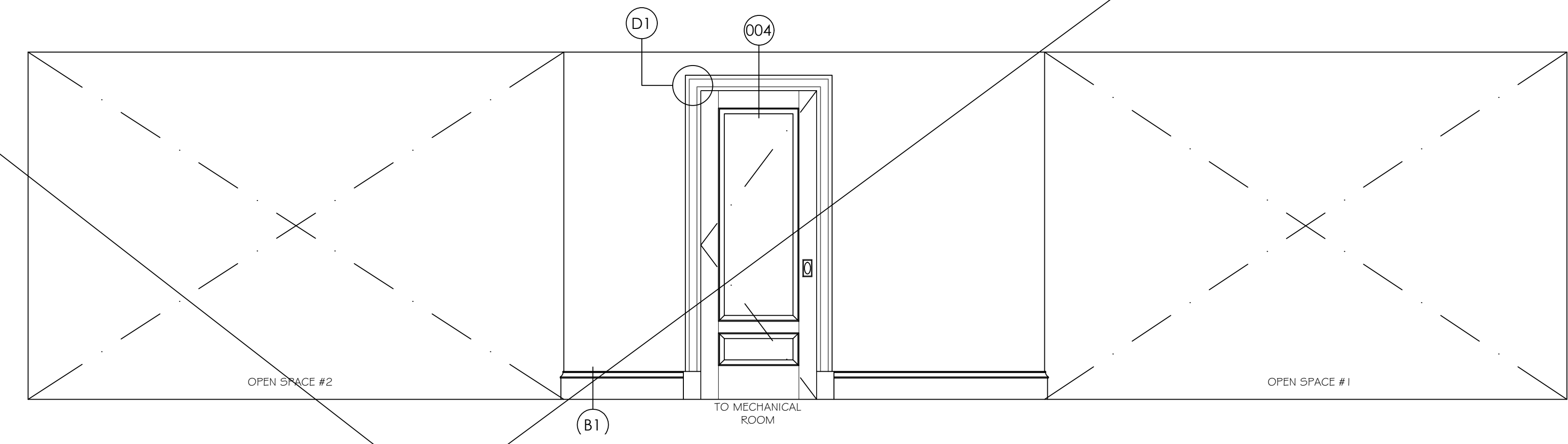
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

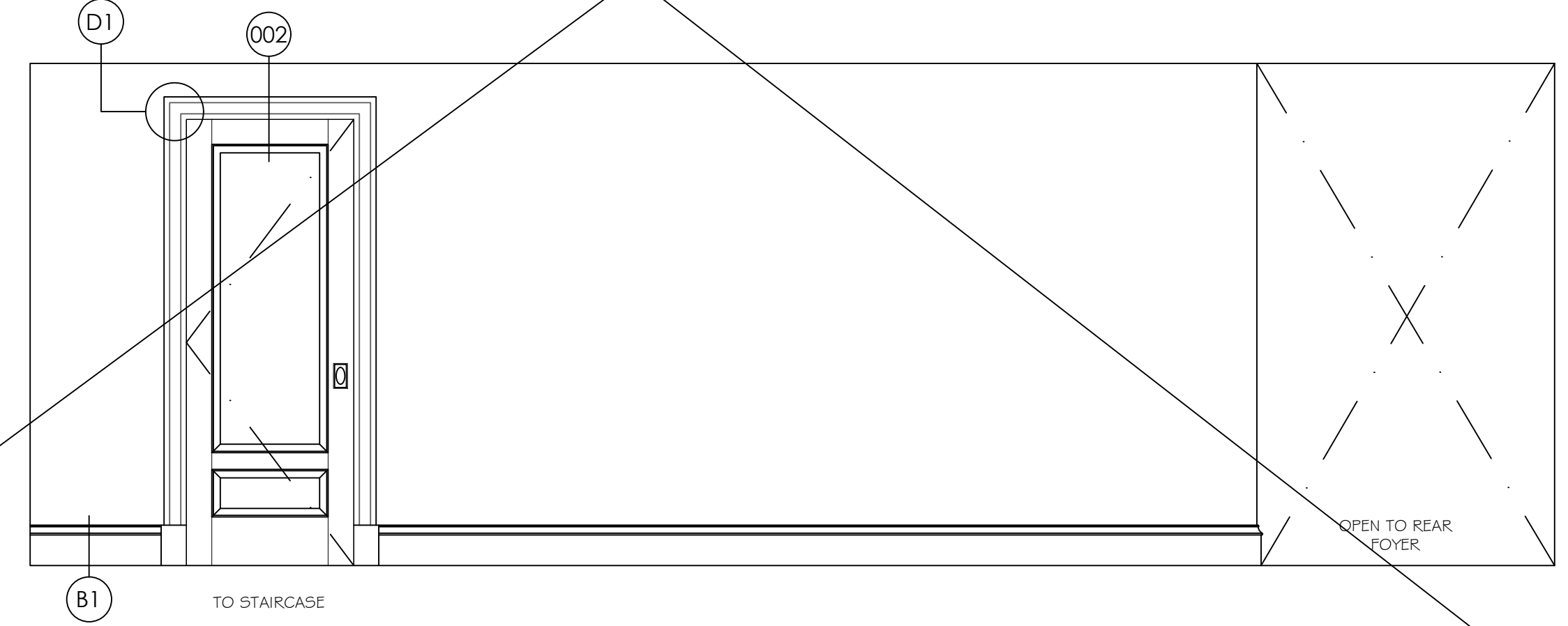
Sheet No.
A-300



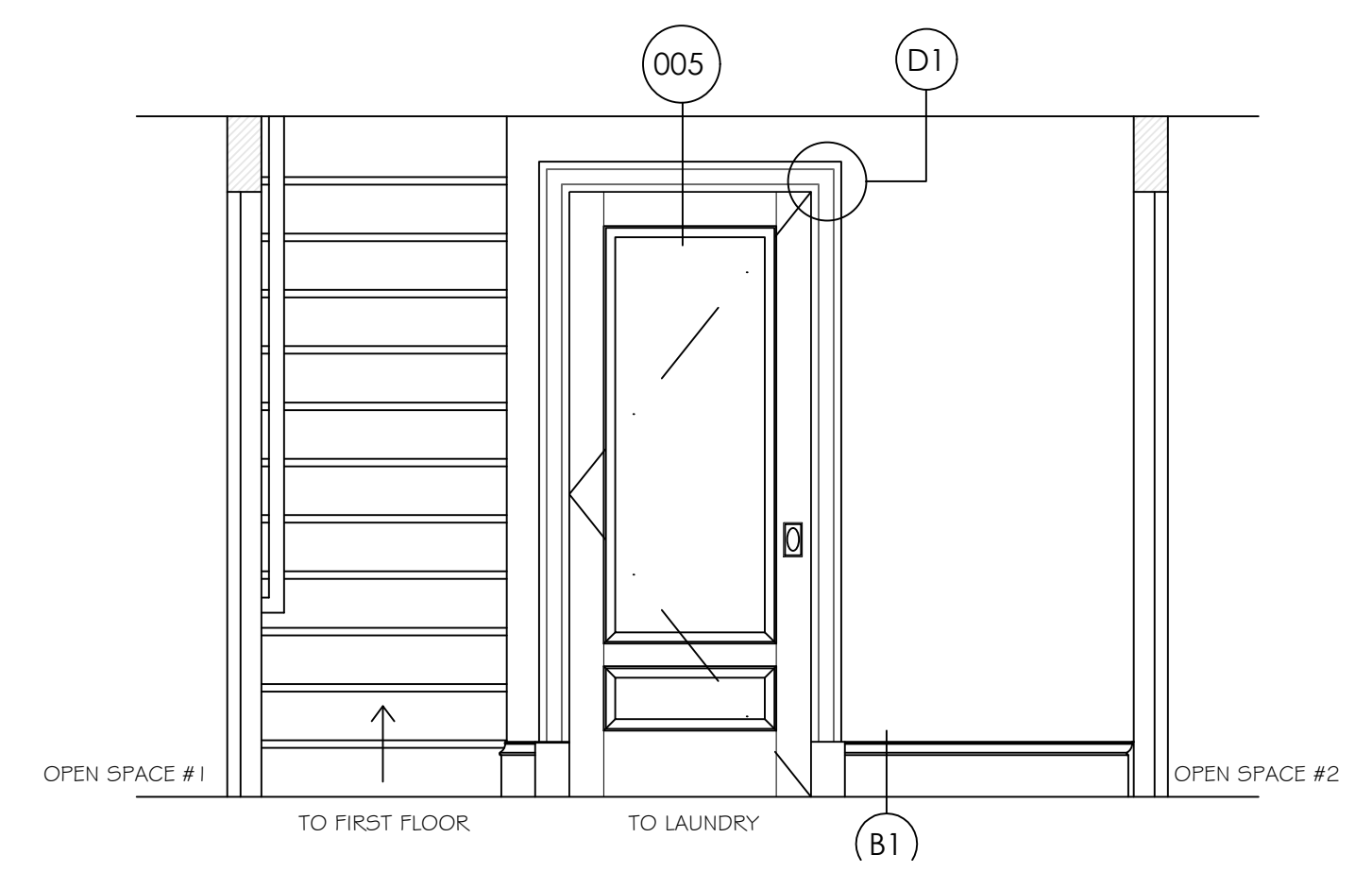
1 OPEN SPACE 1
Scale: 1/2" = 1'-0"



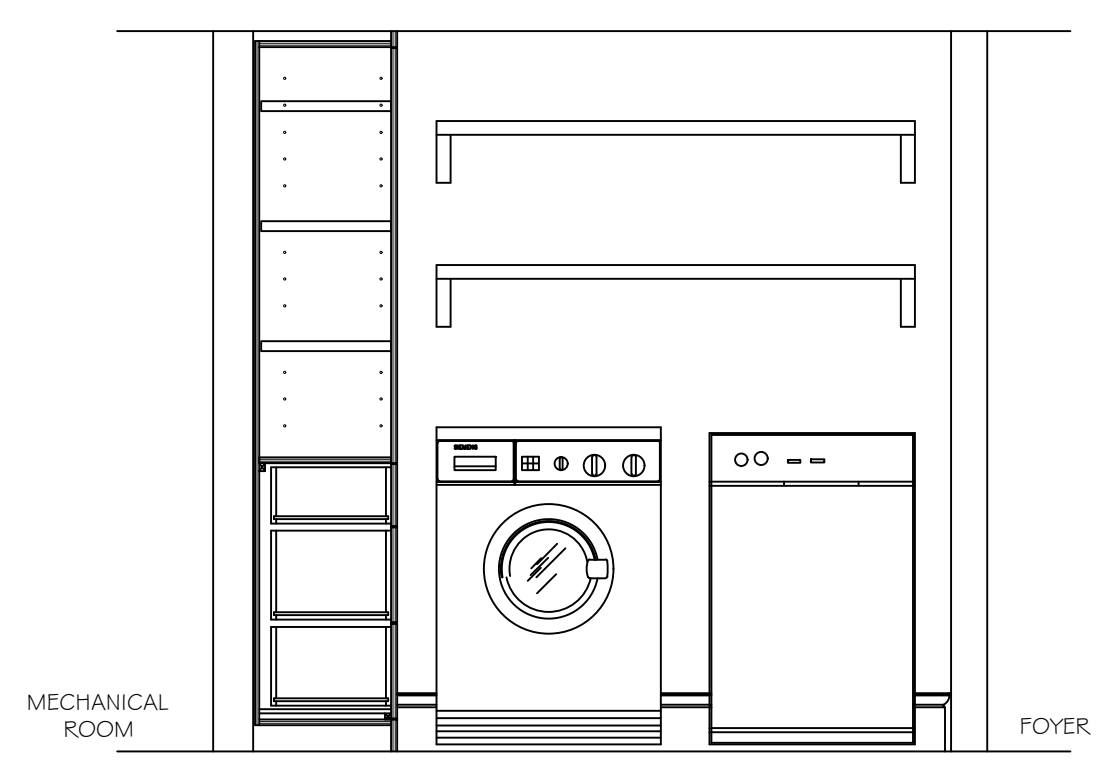
2 REAR FOYER
Scale: 1/2" = 1'-0"



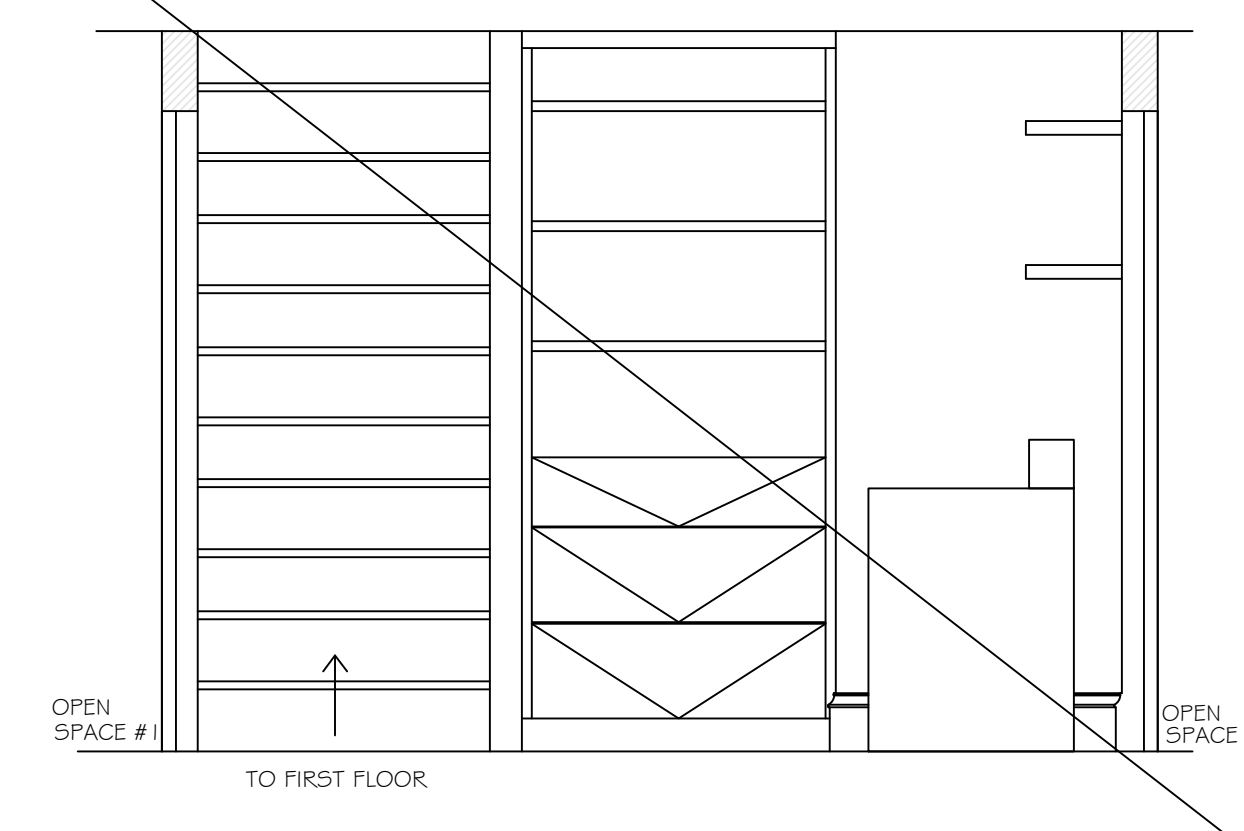
3 OPEN SPACE 2
Scale: 1/2" = 1'-0"



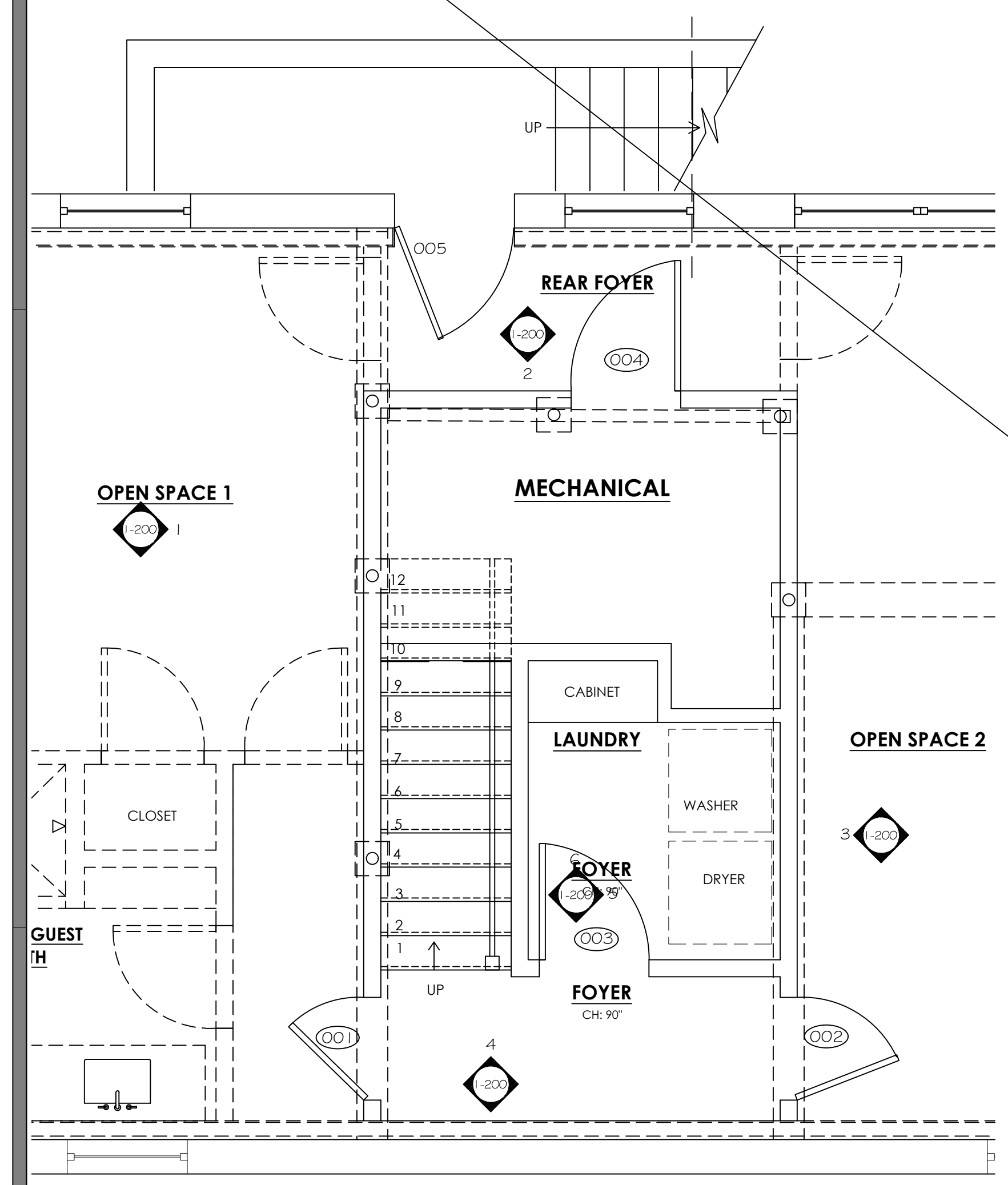
4 FOYER
Scale: 1/2" = 1'-0"



5 LAUNDRY ROOM
Scale: 1/2" = 1'-0"



6 LAUNDRY ROOM
Scale: 1/2" = 1'-0"



PARTIAL BASEMENT PLAN
Scale: 3/8" = 1'-0"

UPDATE TO FOLLOW

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER		DATE	
Susana		03232022	
J. Sousa		05012022	
J. Sousa		08182022	
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

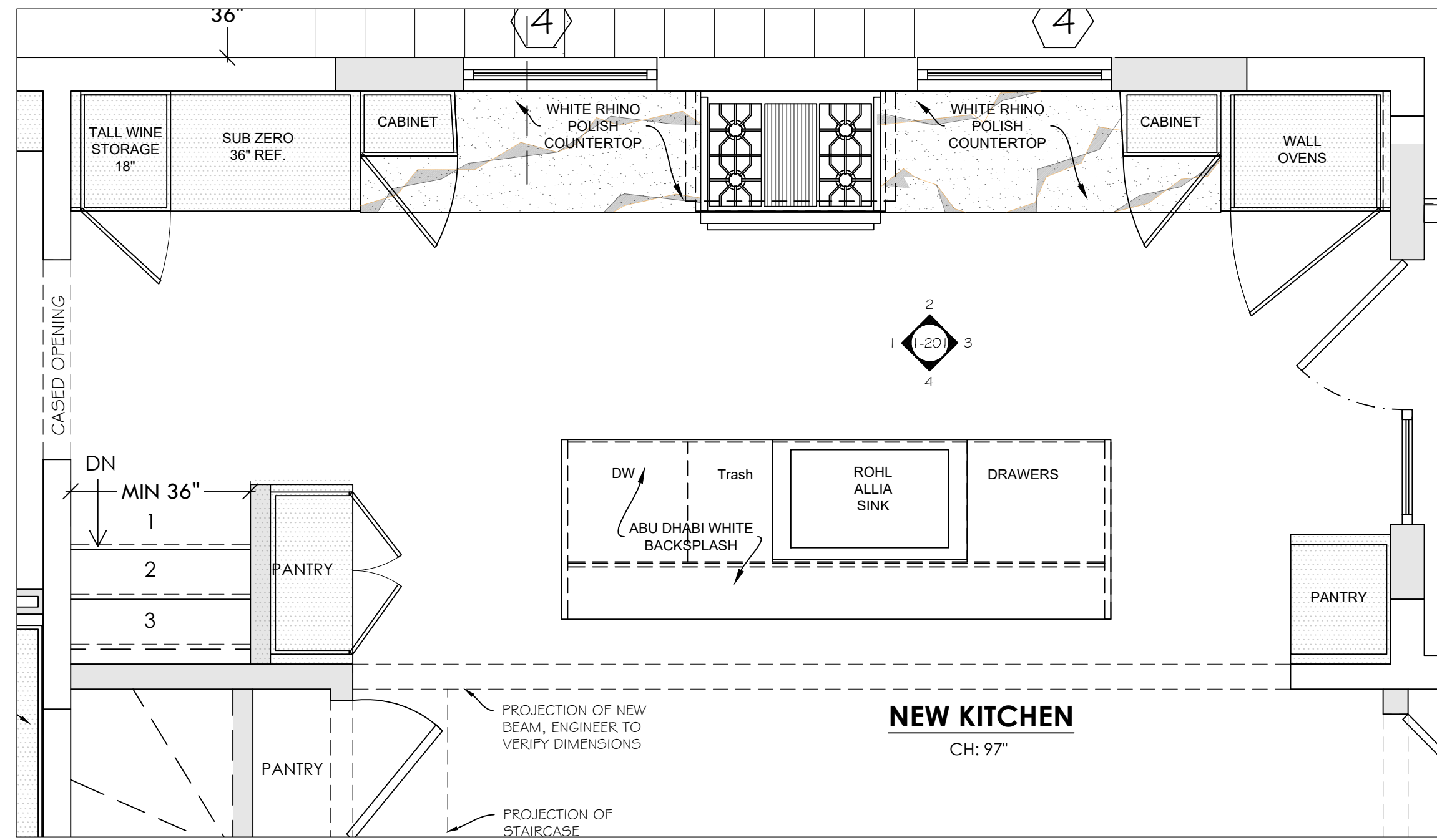
Scale:
As Noted
Drawing Title:
BASEMENT-INTERIOR
ELEVATIONS

Issue Date:
DATE August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

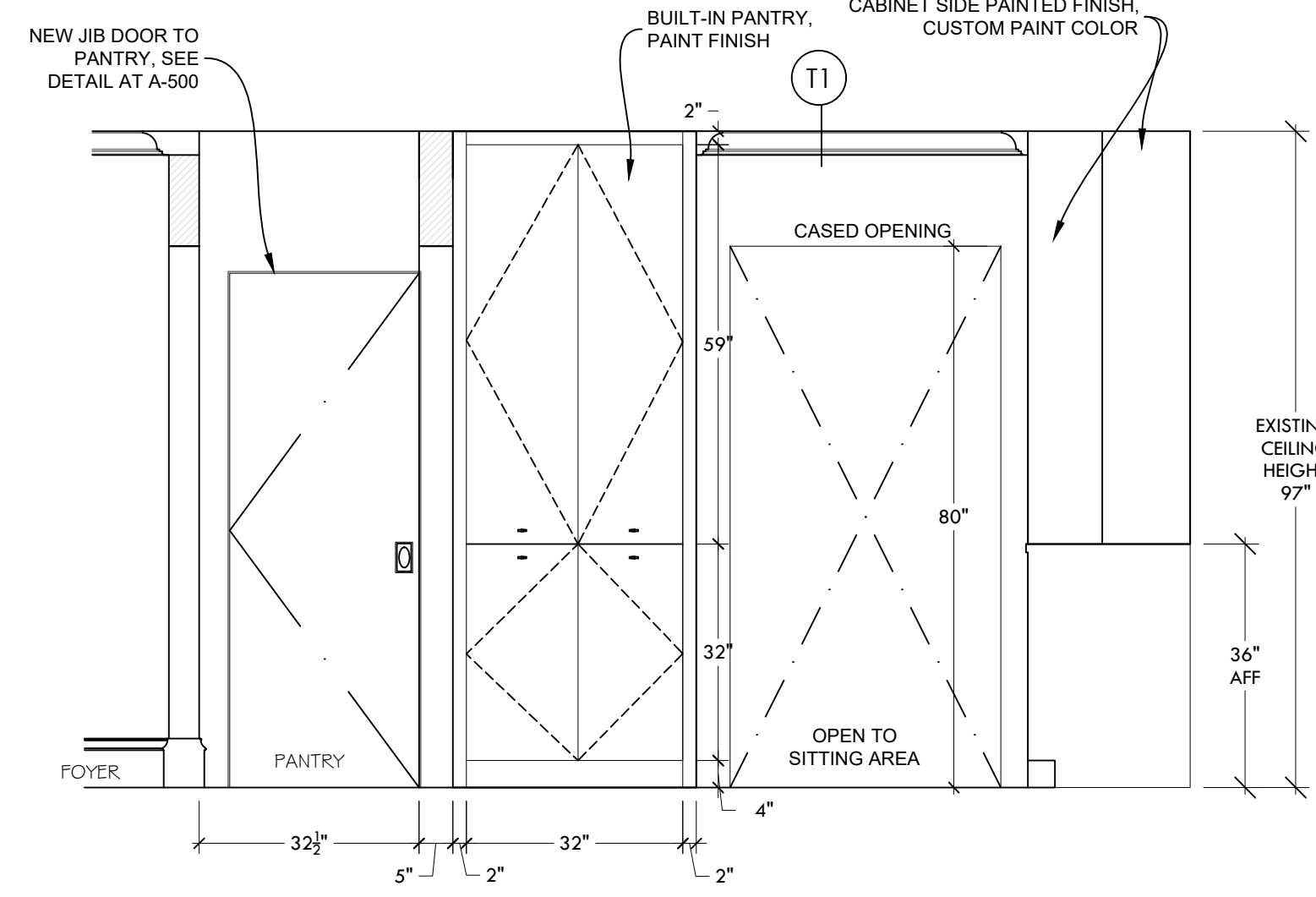
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
I-200
Page No. 16 of 33

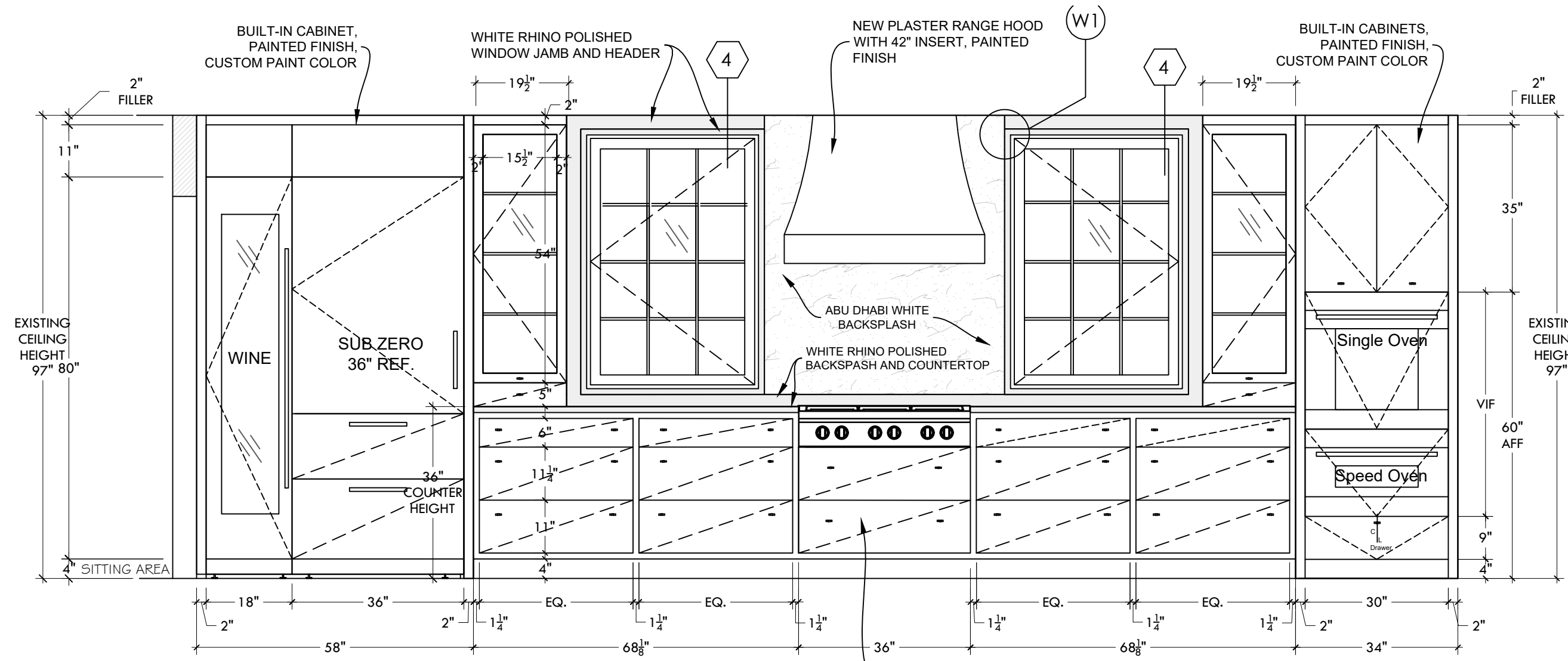


KITCHEN PLAN

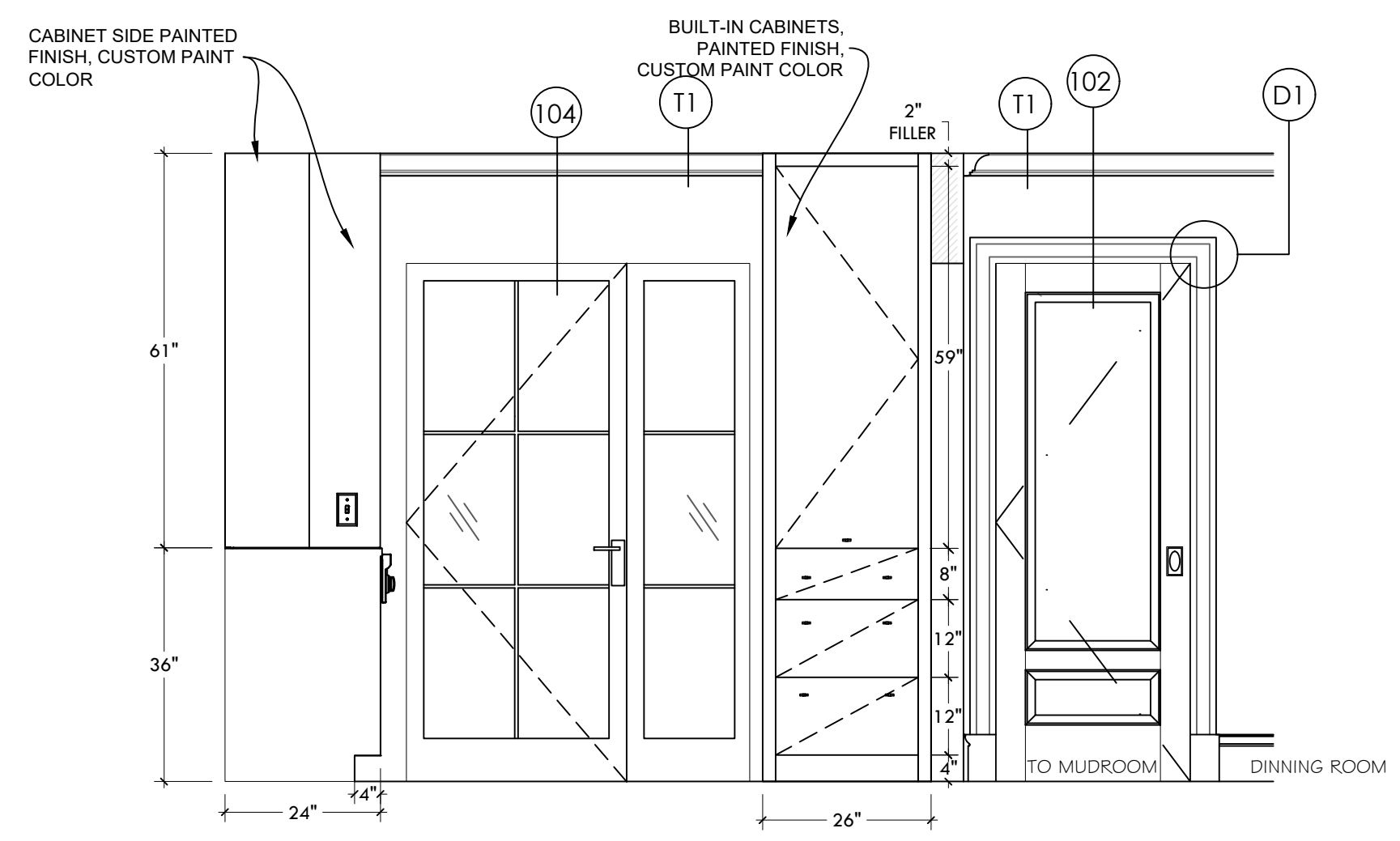
SCALE: 1/2" = 1'-0"



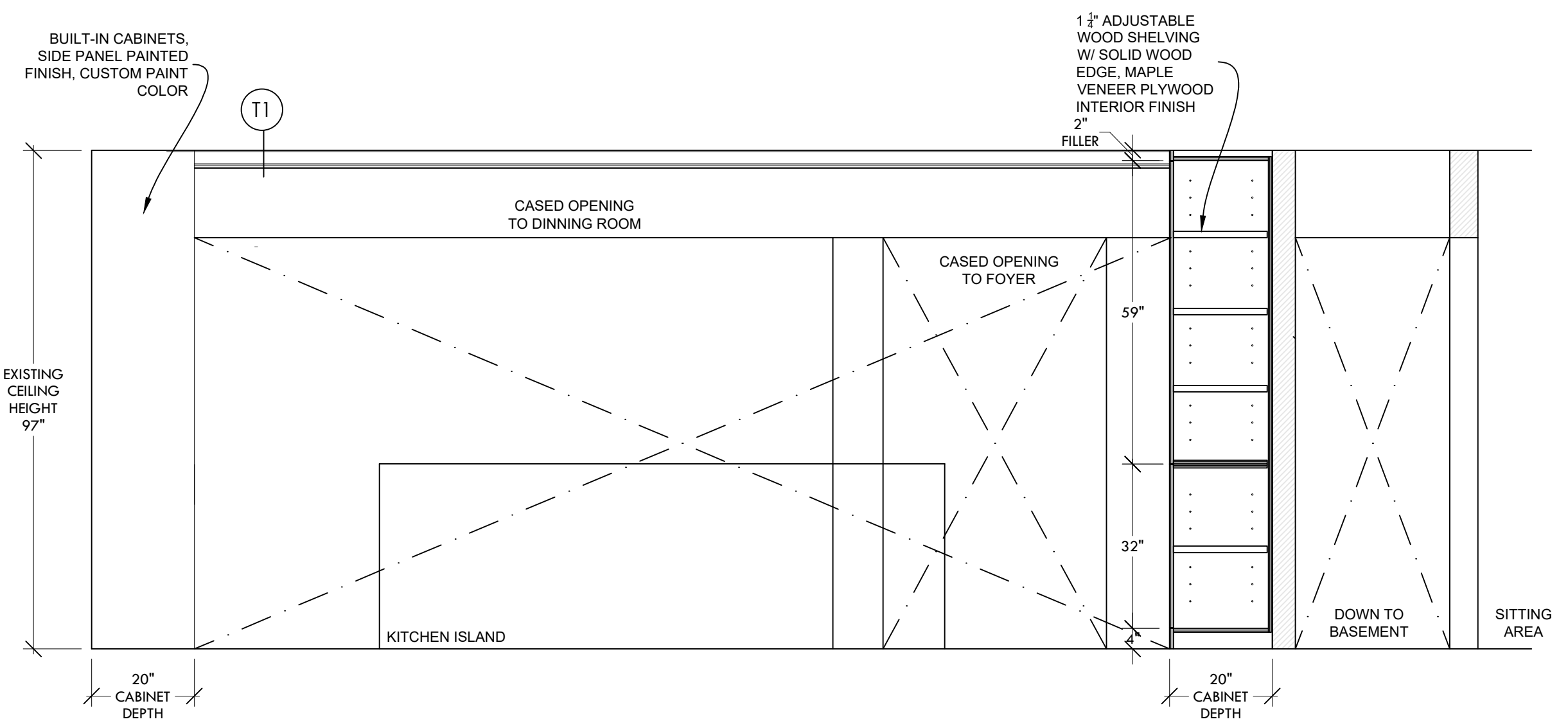
1 KITCHEN
Scale: 1/2" = 1'-0"



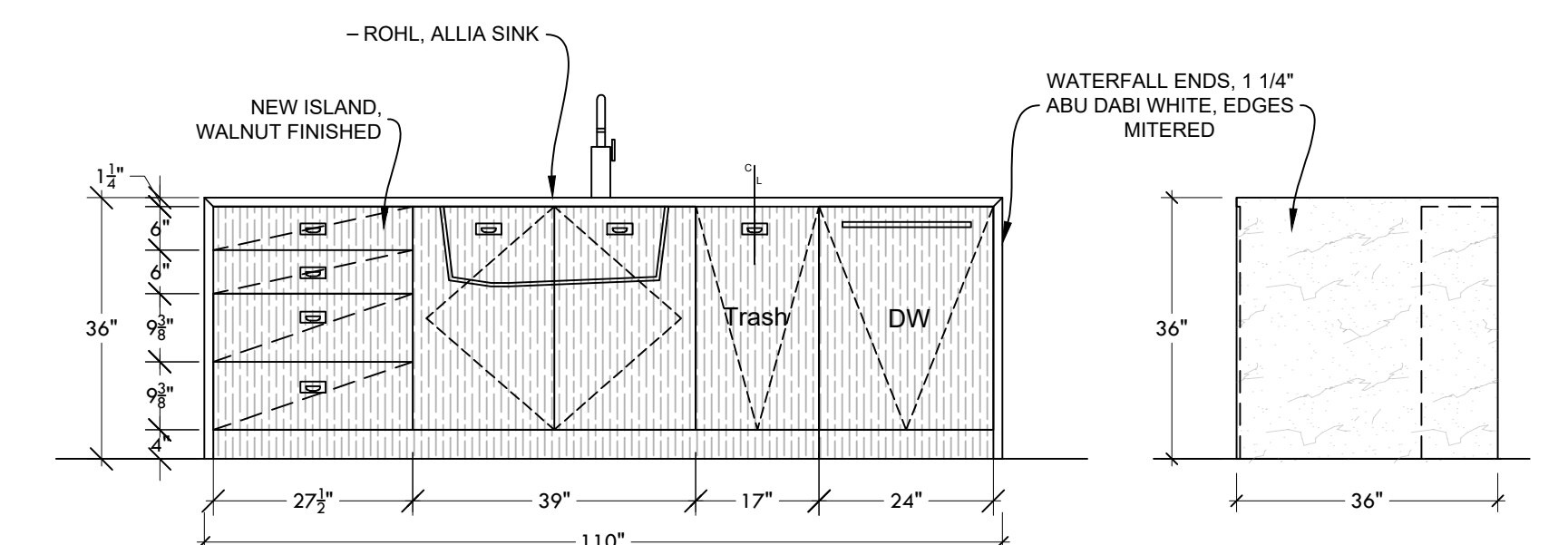
2 KITCHEN
Scale: 1/2" = 1'-0"



3 KITCHEN
Scale: 1/2" = 1'-0"

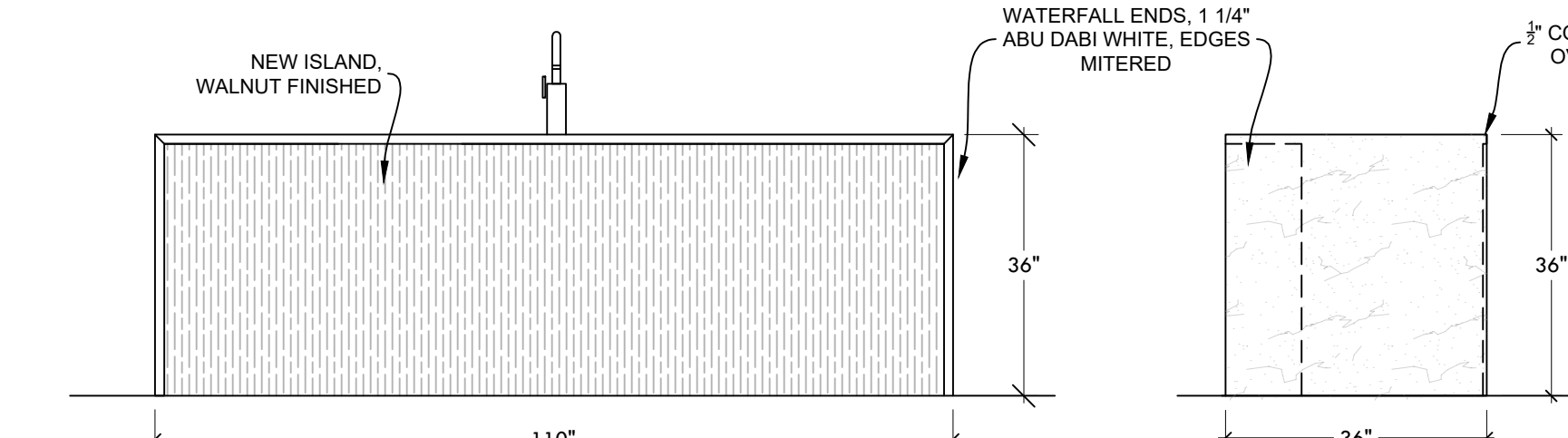


4 KITCHEN
Scale: 1/2" = 1'-0"



ISLAND-FRONT ELEVATION
Scale: 1/2" = 1'-0"

ISLAND-RIGHT ELEVATION
Scale: 1/2" = 1'-0"



ISLAND-BACK ELEVATION
Scale: 1/2" = 1'-0"

ISLAND-LEFT ELEVATION
Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/2" = 1'-0"

Drawing Title:
KITCHEN- INTERIOR ELEVATIONS

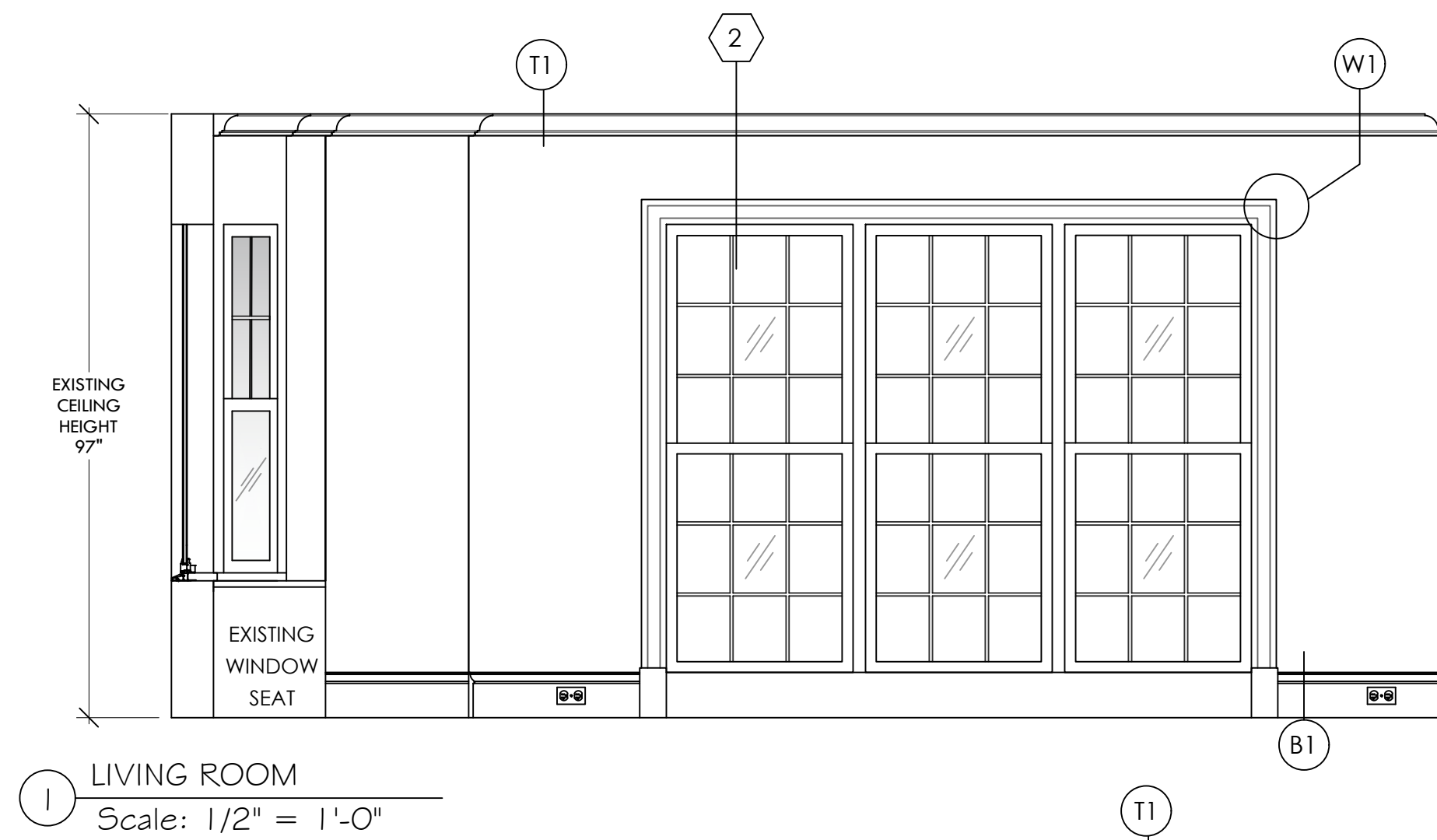
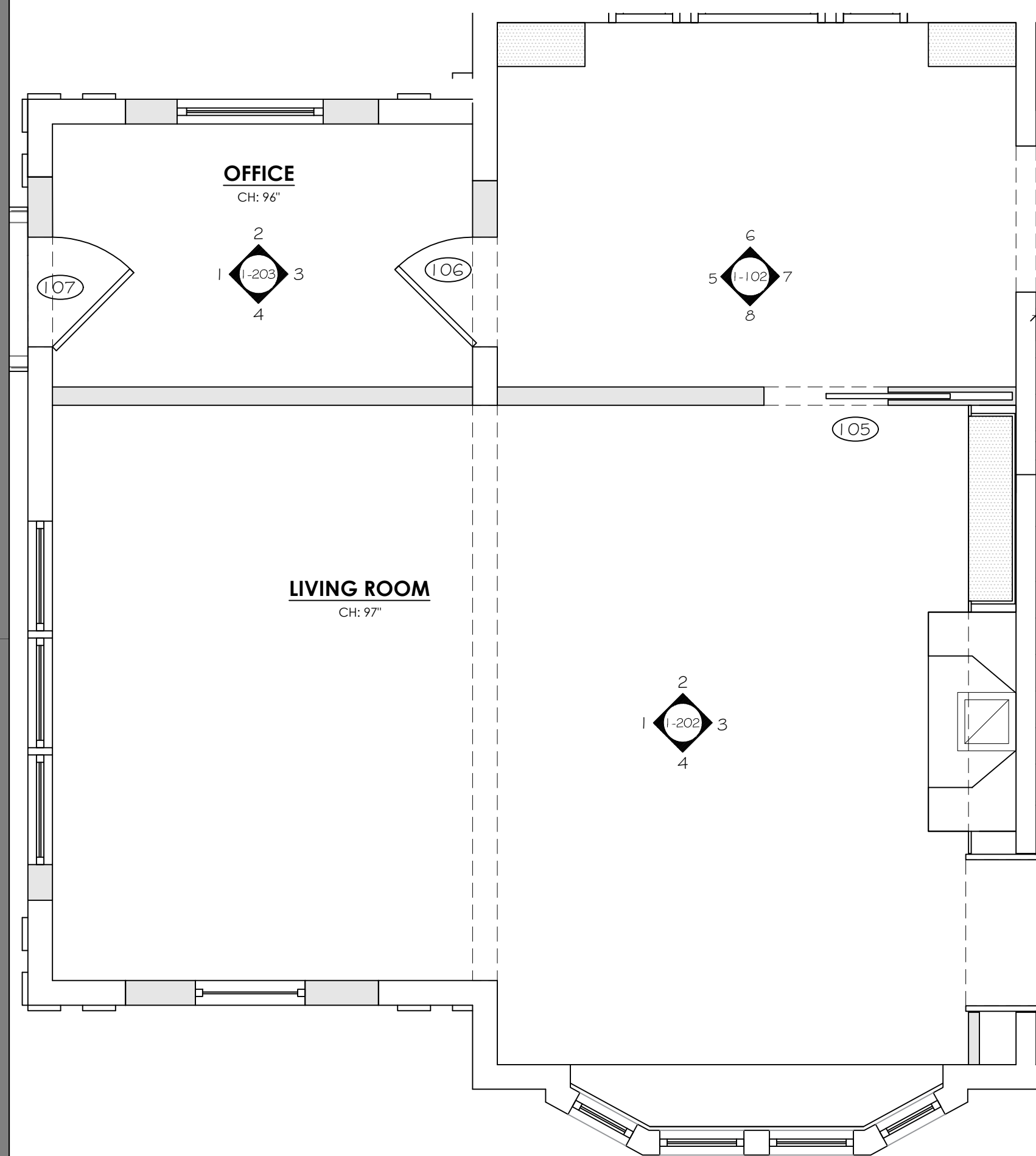
Issue Date:
DATE August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

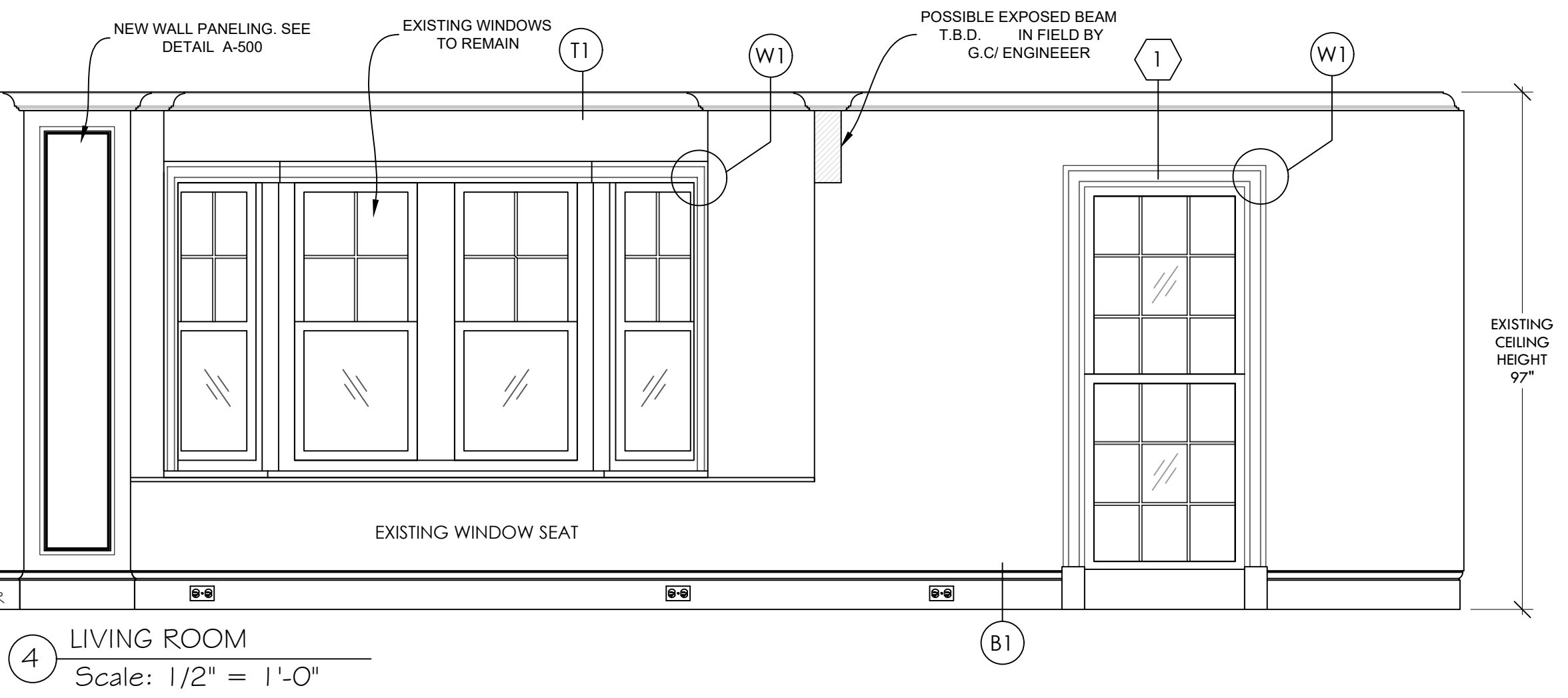
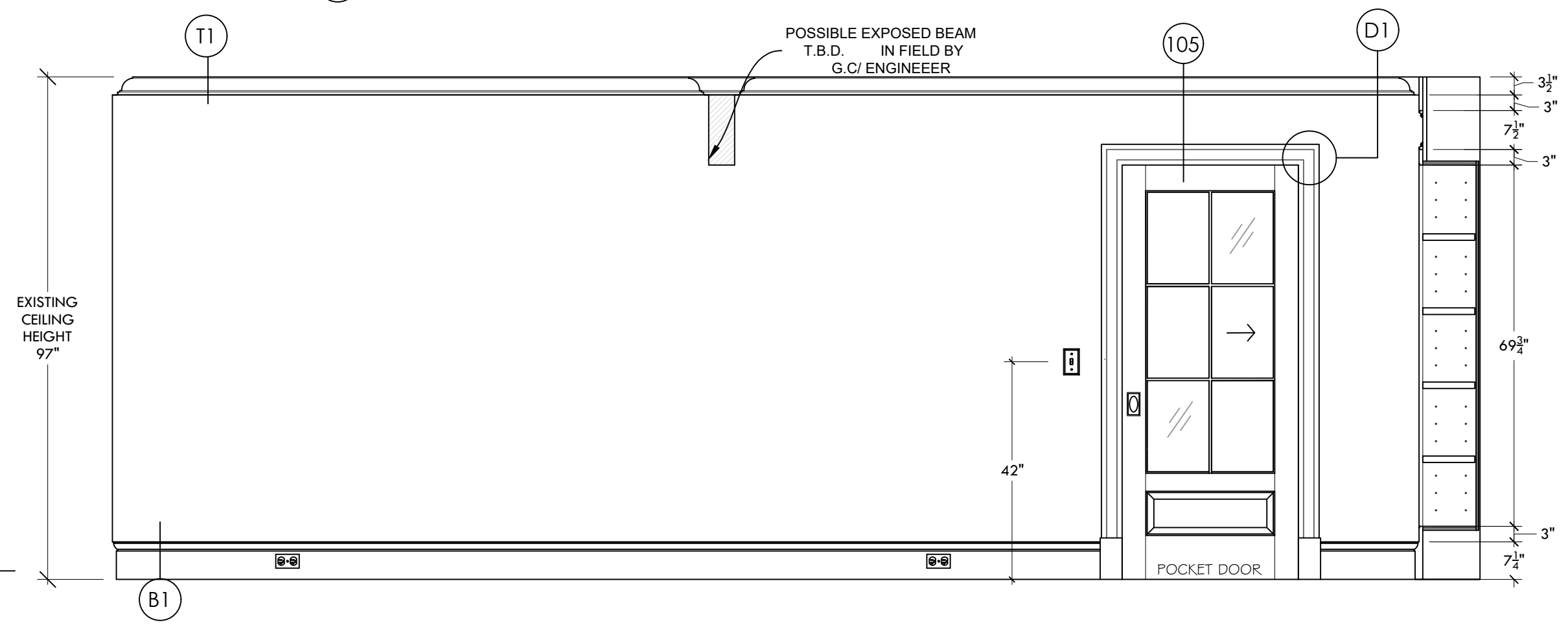
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

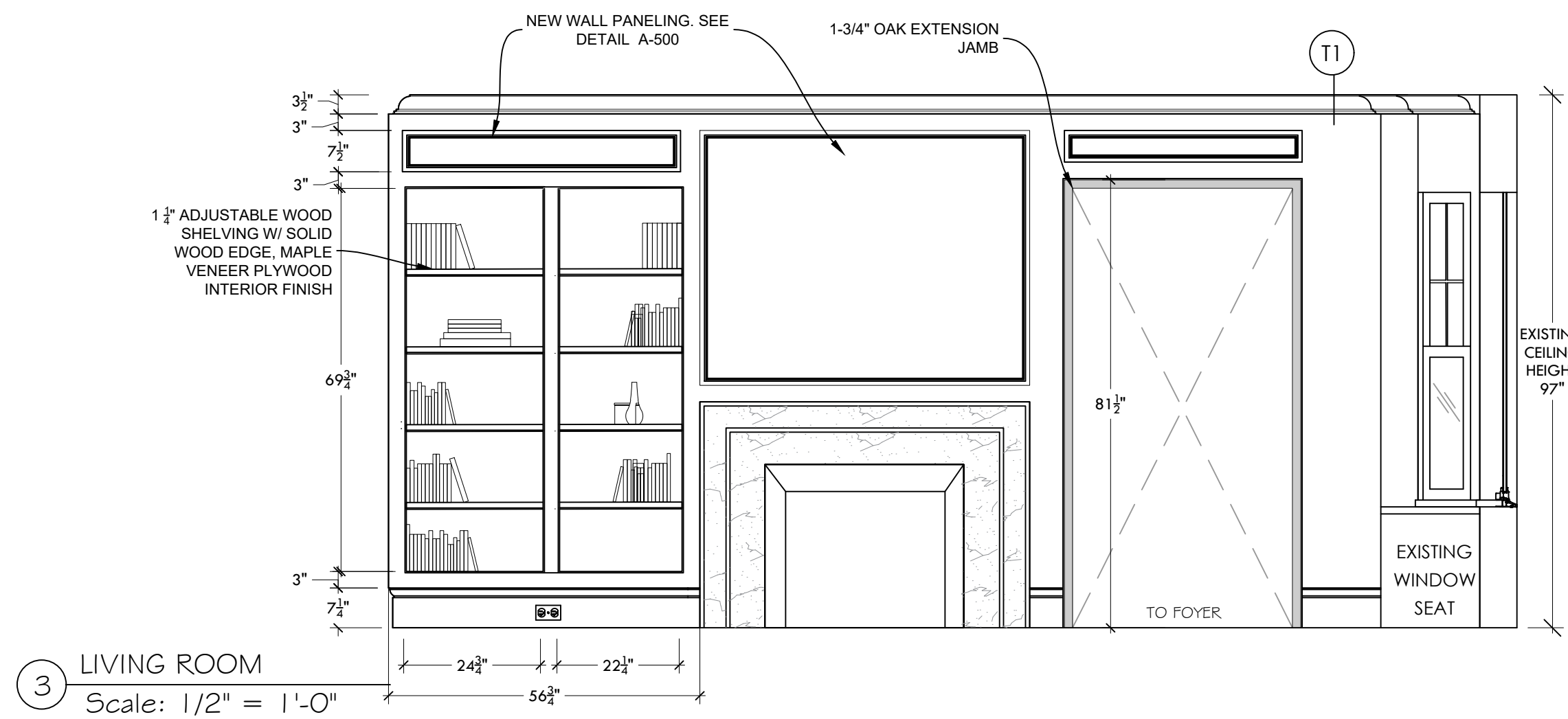
I-201



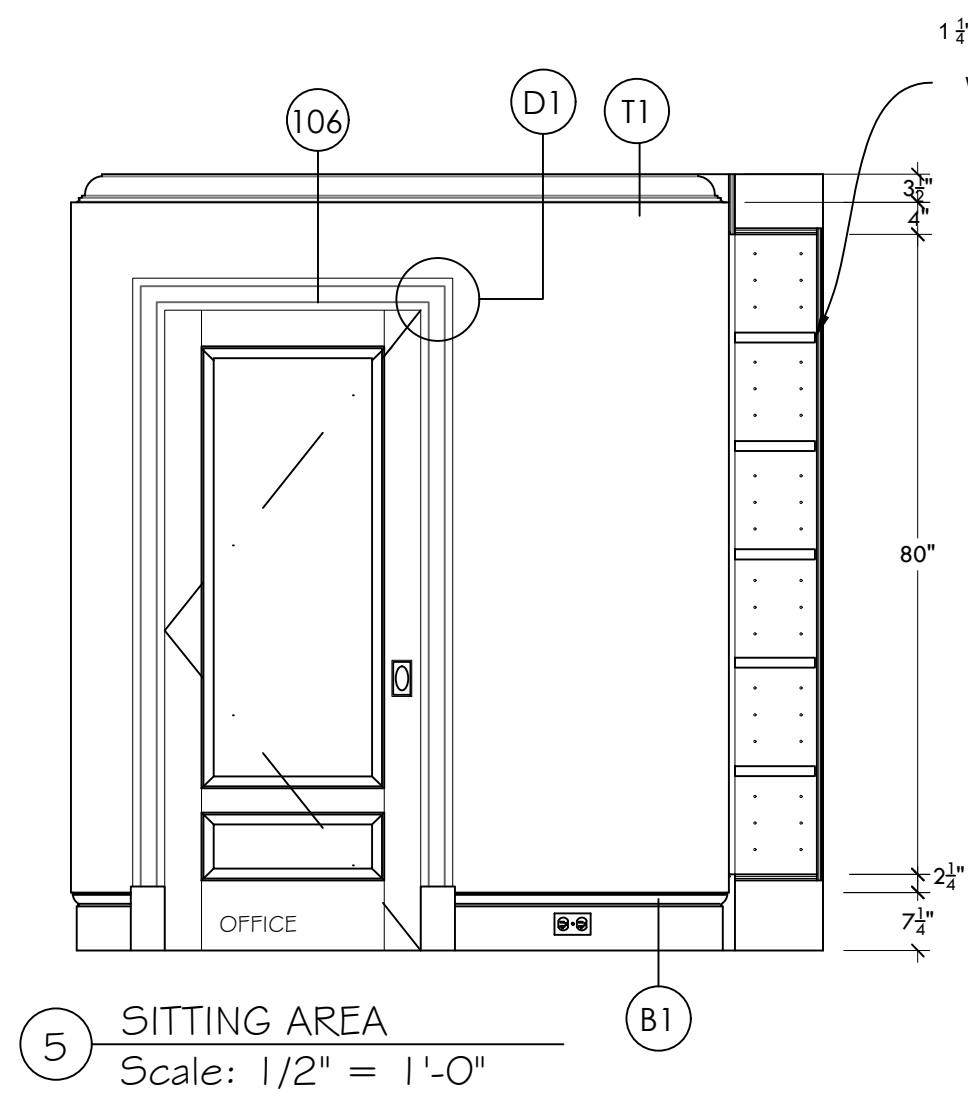
2 LIVING ROOM
Scale: 3/8" = 1'-0"



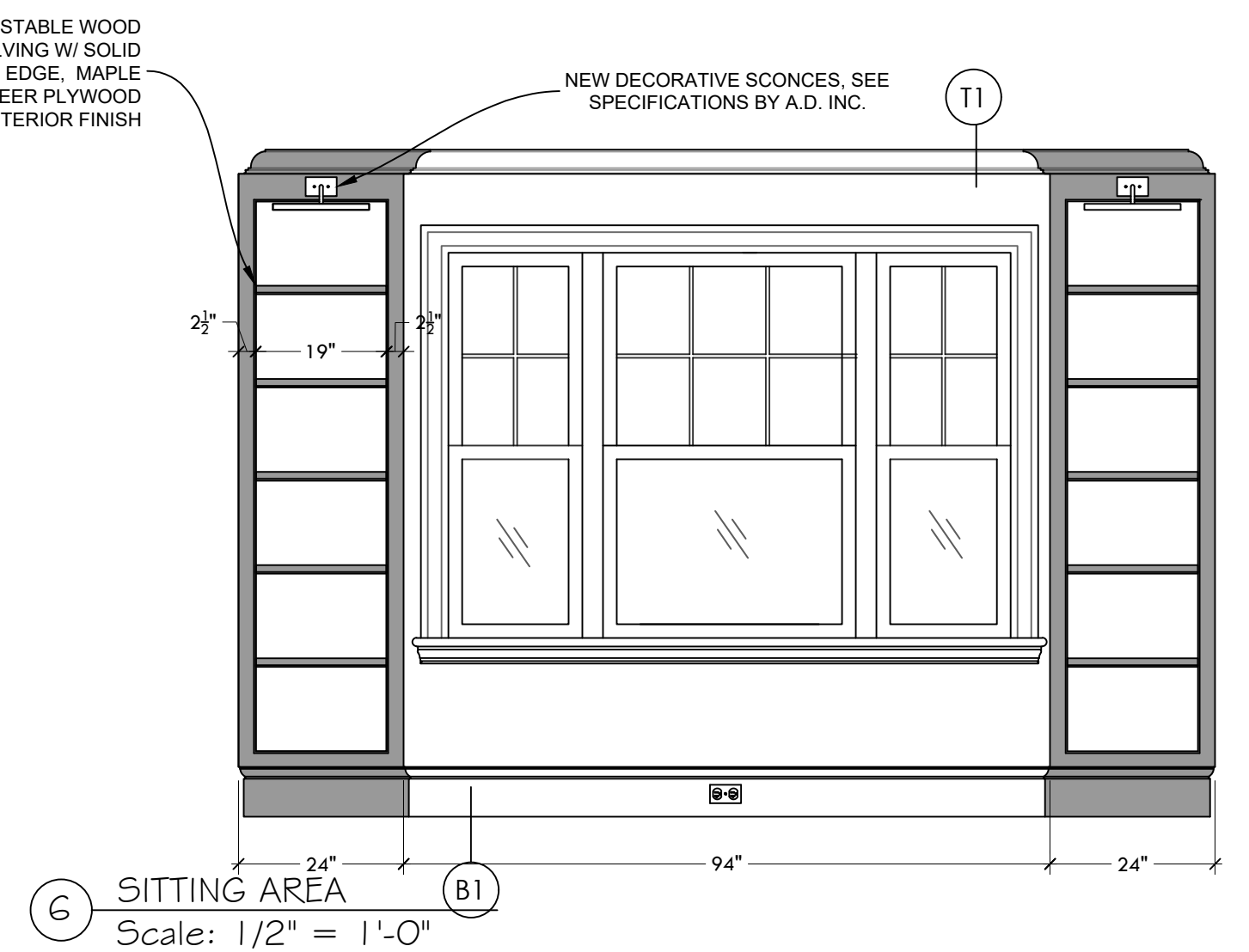
4 LIVING ROOM
Scale: 1/2" = 1'-0"



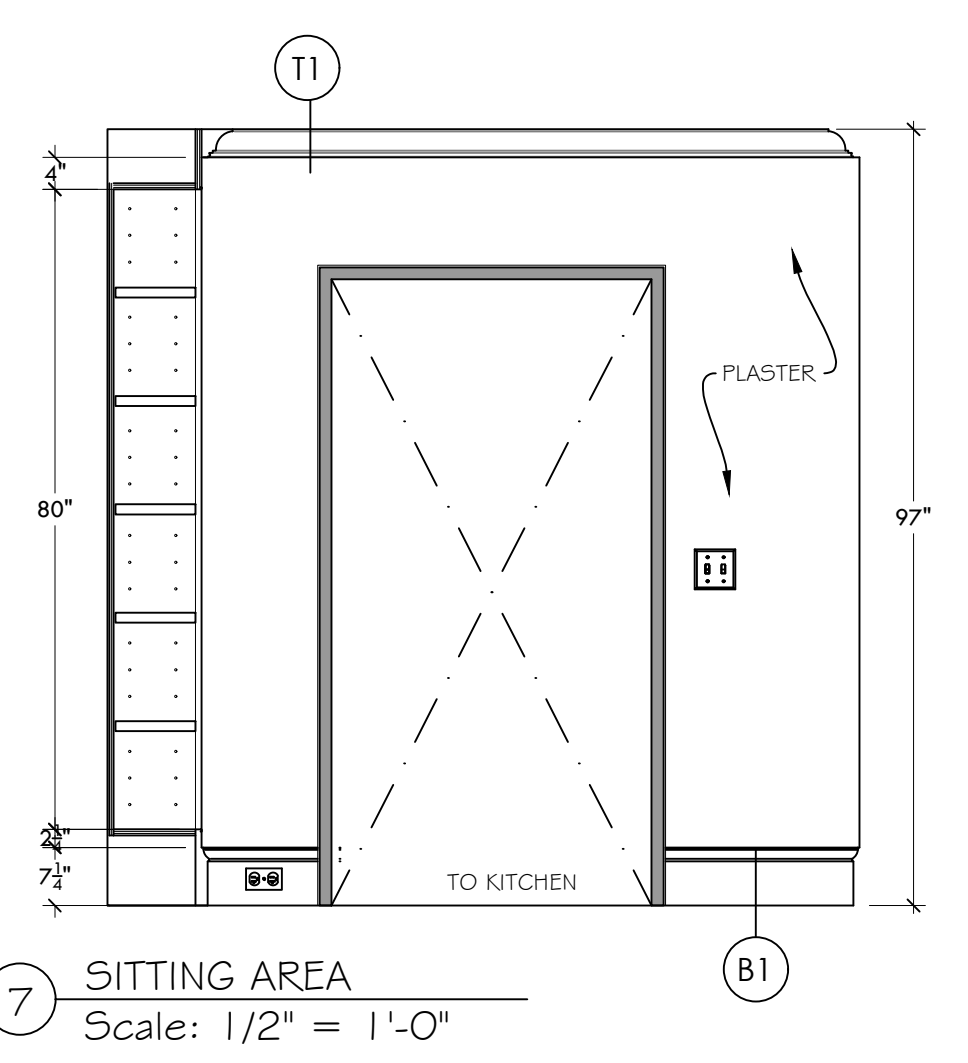
3 LIVING ROOM
Scale: 1/2" = 1'-0"



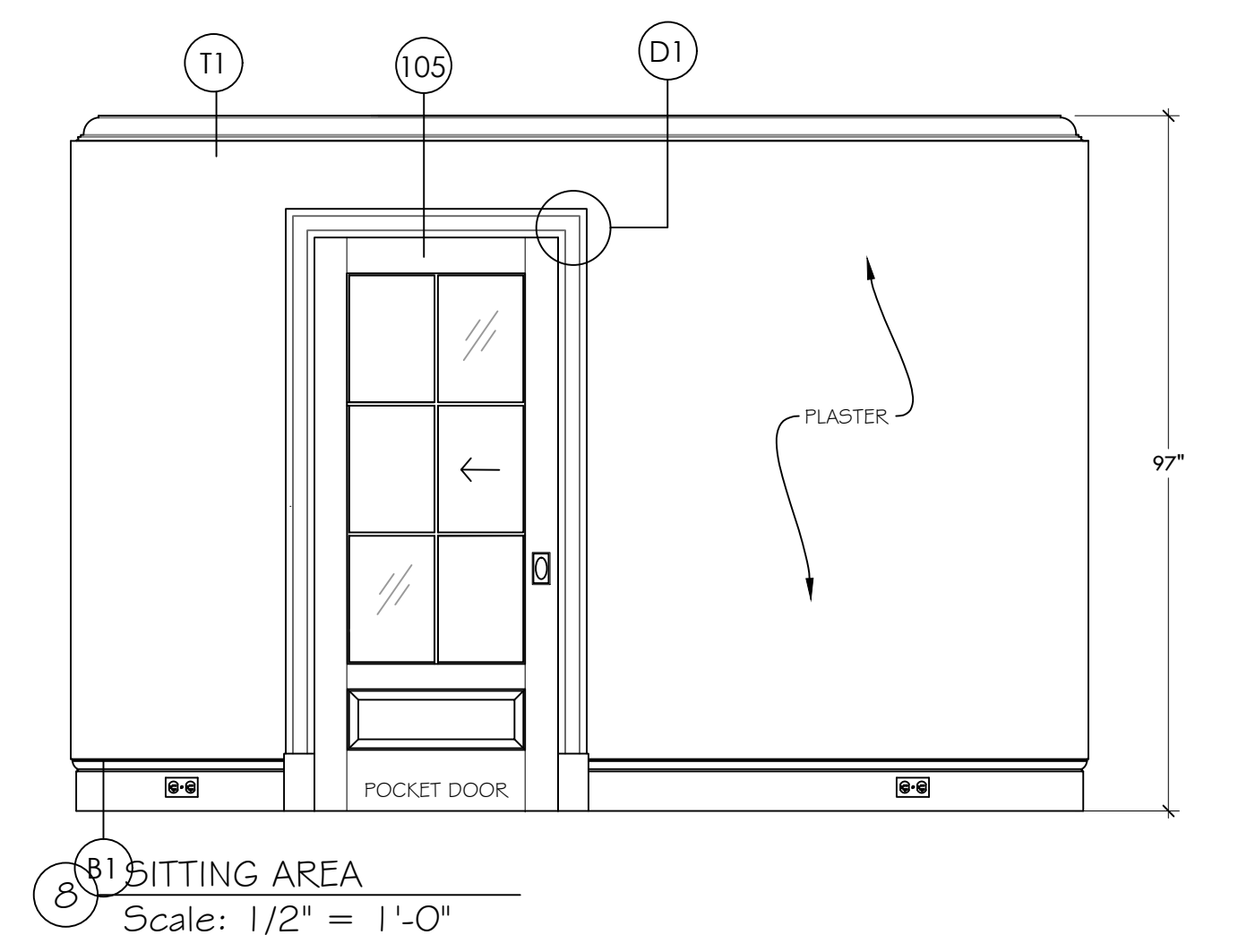
5 SITTING AREA
Scale: 1/2" = 1'-0"



6 SITTING AREA
Scale: 1/2" = 1'-0"



7 SITTING AREA
Scale: 1/2" = 1'-0"



8 SITTING AREA
Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAYVA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted

Drawing Title:
FIRST FLOOR- INTERIOR ELEVATIONS

Issue Date:
DATE August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

I-202

Page No. 18 of 33

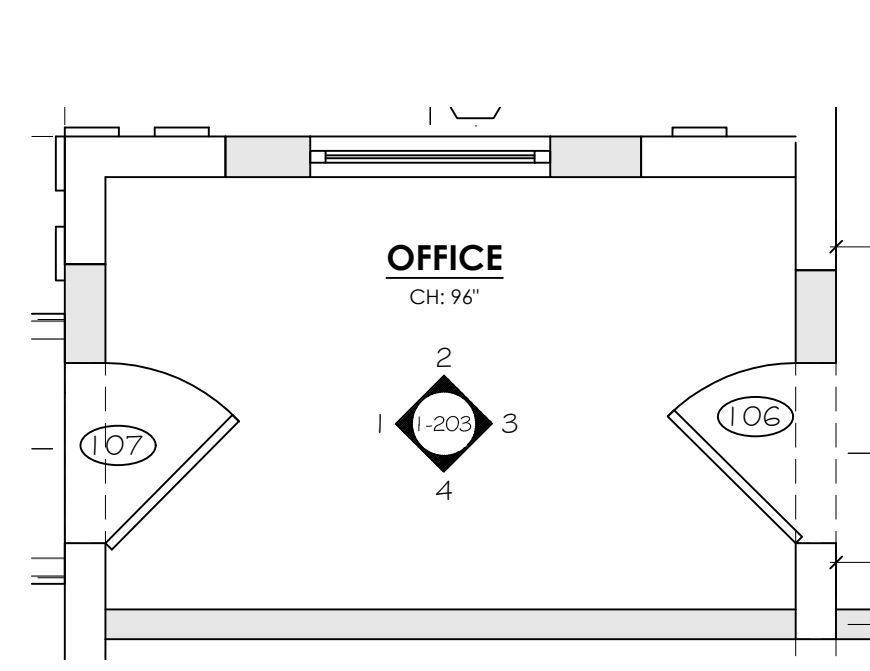
PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

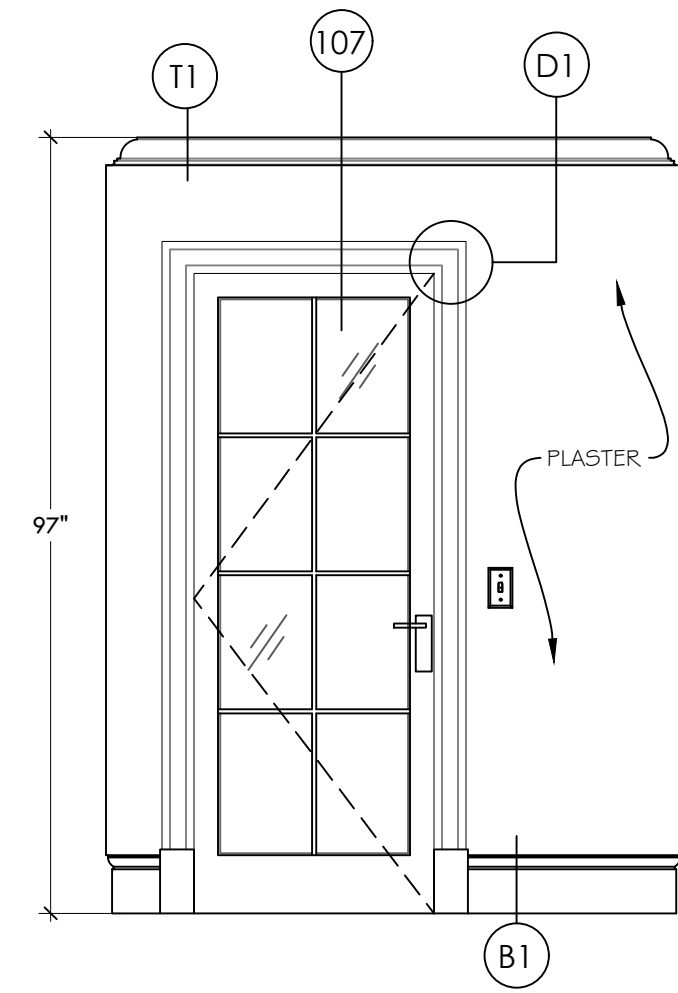
ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

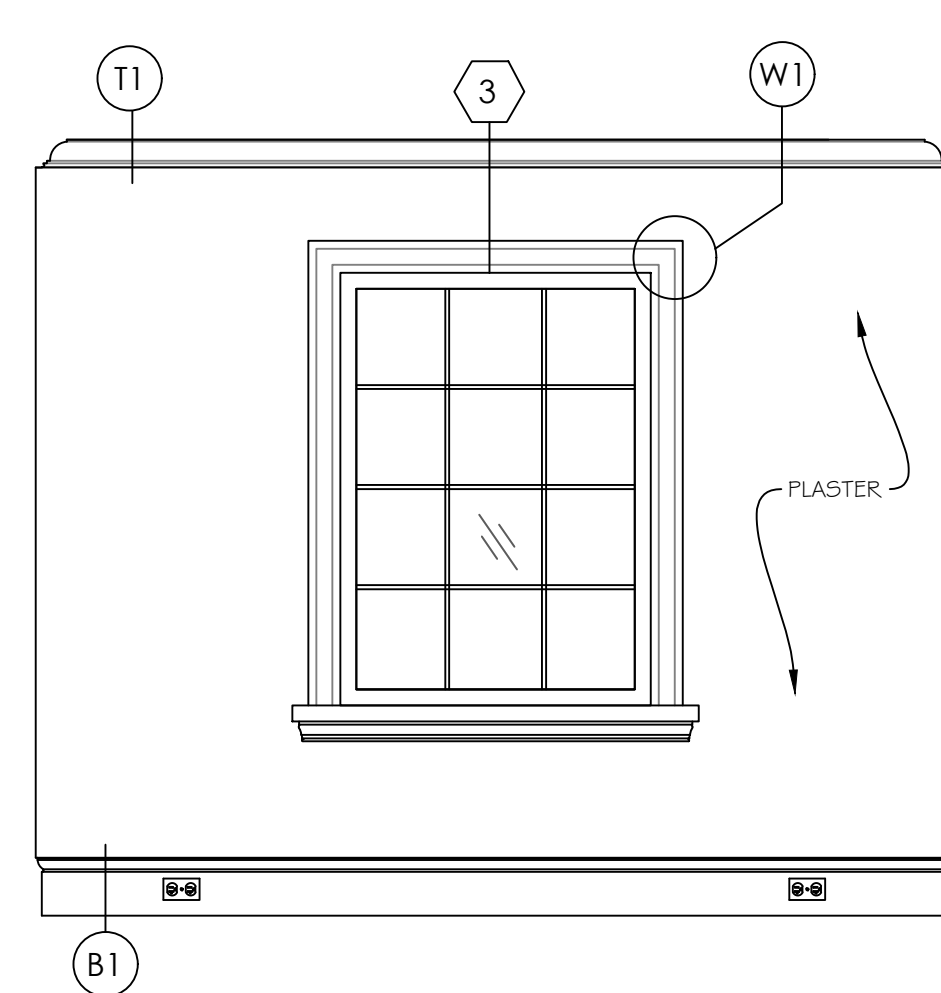
PRELIMINARY
NOT FOR CONSTRUCTION



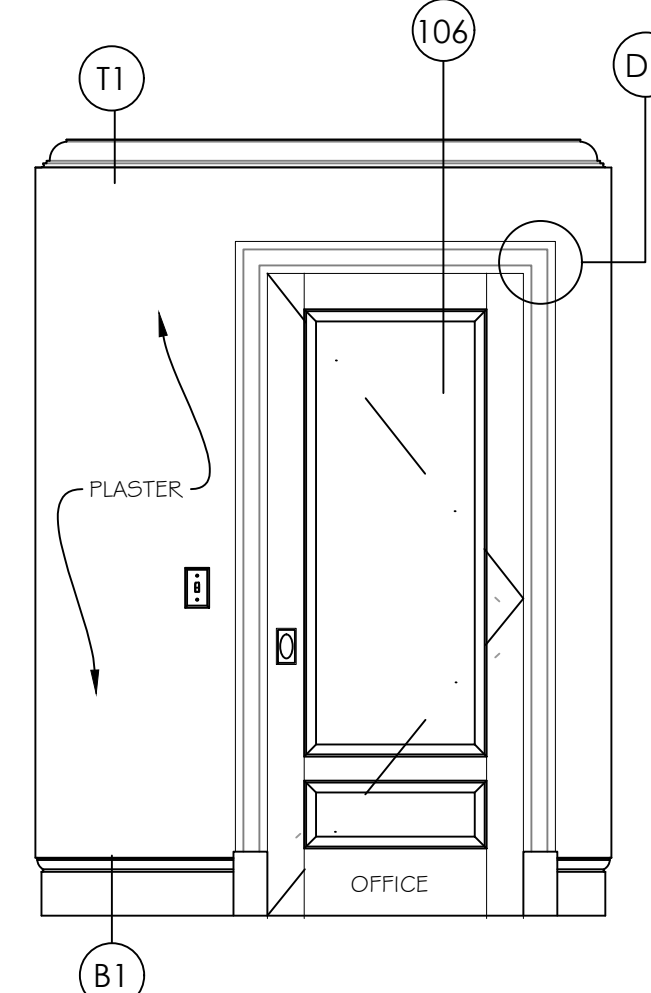
OFFICE PLAN
Scale: 3/8" = 1'-0"



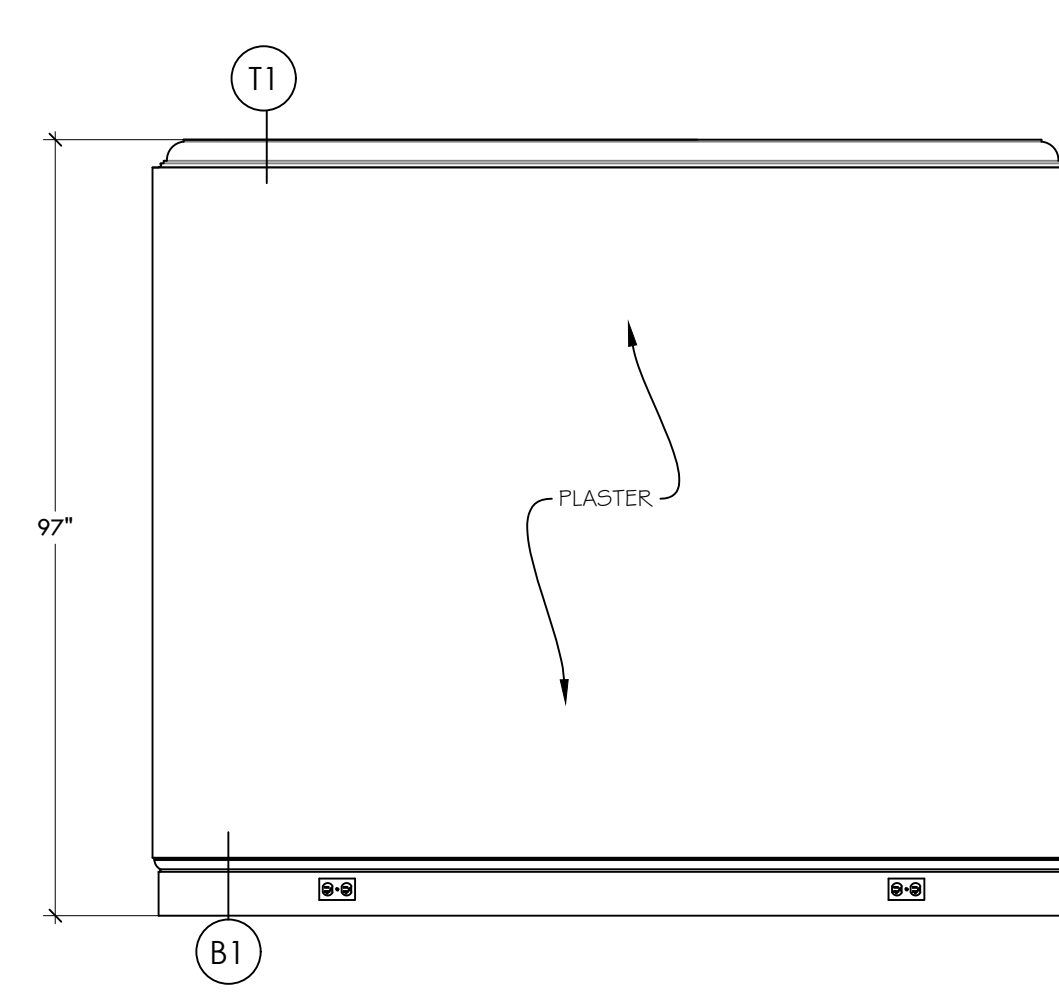
1 OFFICE
Scale: 1/2" = 1'-0"



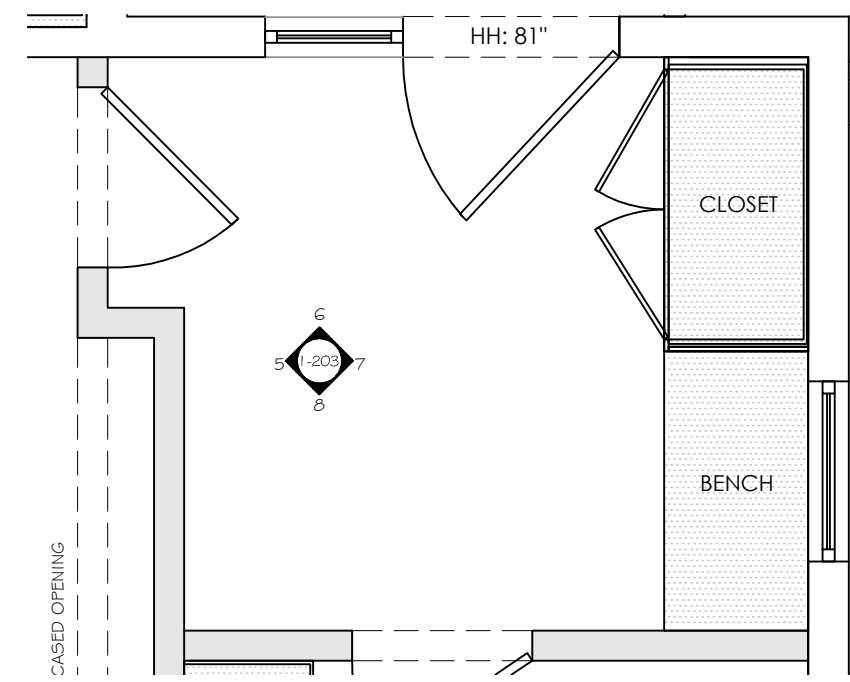
2 OFFICE
Scale: 1/2" = 1'-0"



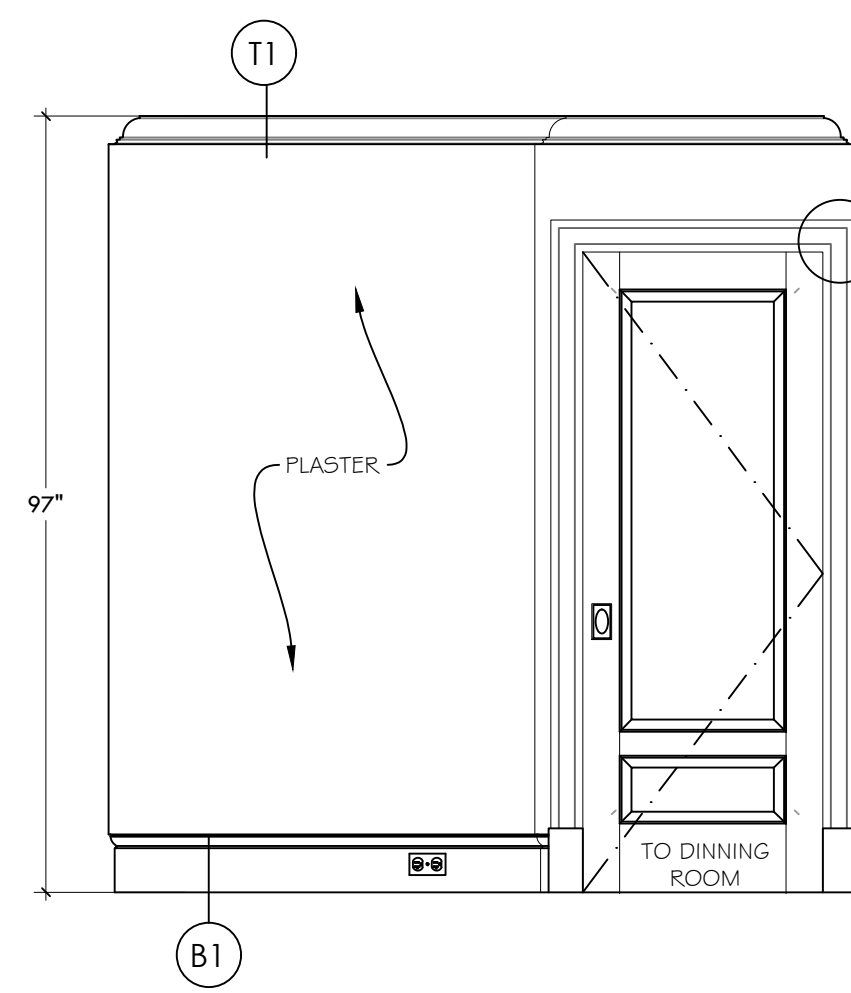
3 OFFICE
Scale: 1/2" = 1'-0"



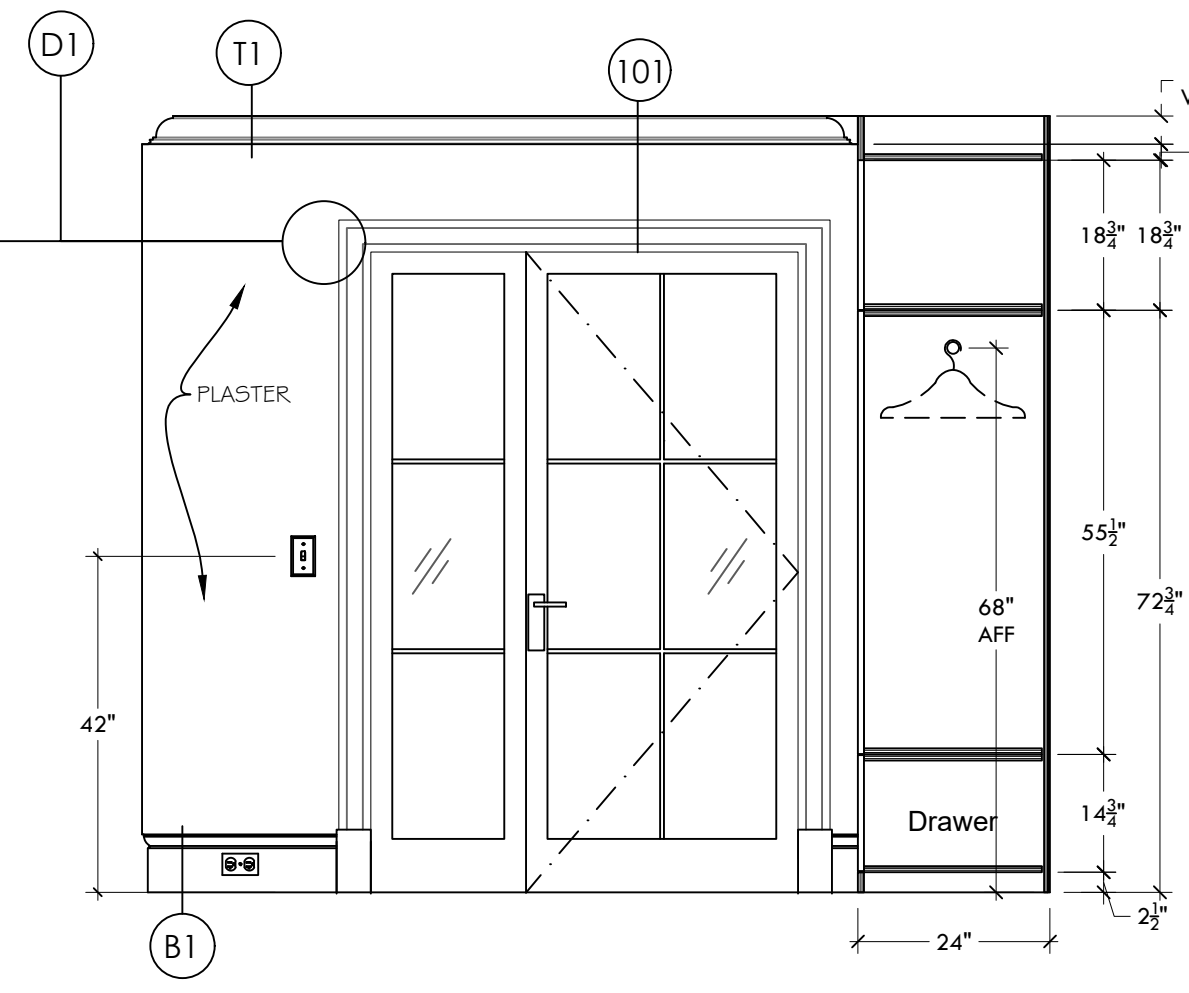
4 OFFICE
Scale: 1/2" = 1'-0"



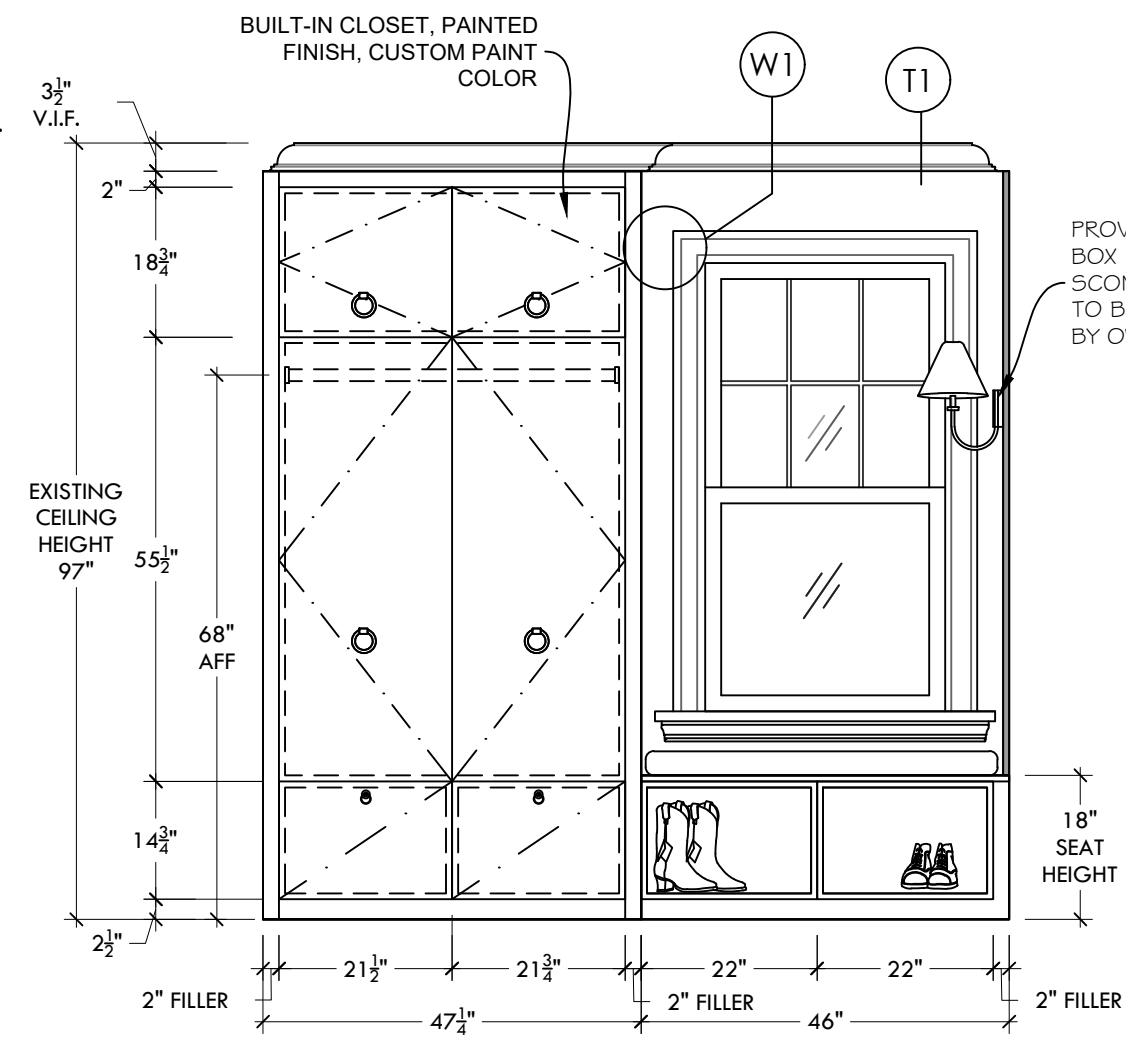
MUDROOM
Scale: 3/8" = 1'-0"



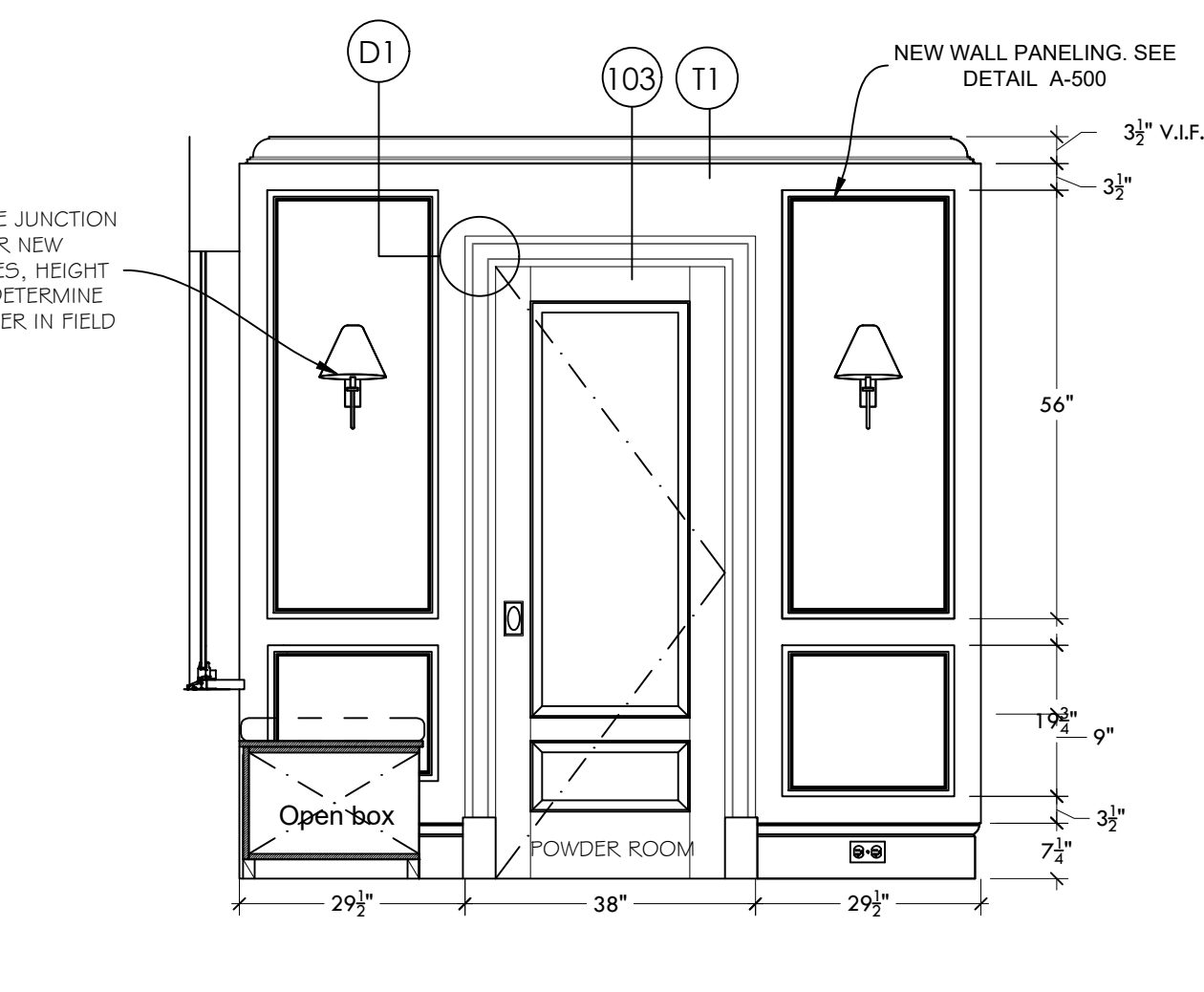
5 MUDROOM
Scale: 1/2" = 1'-0"



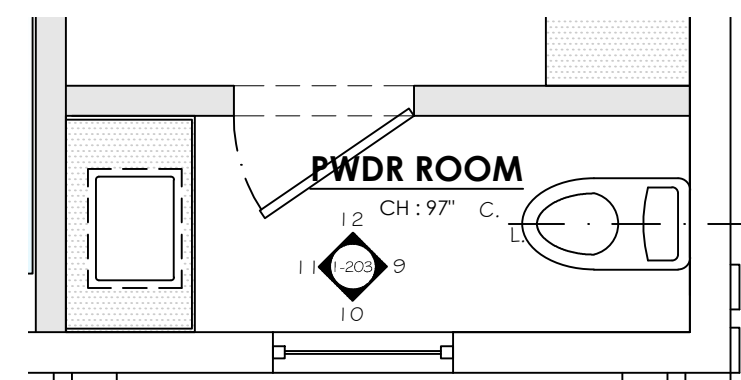
6 MUDROOM
Scale: 1/2" = 1'-0"



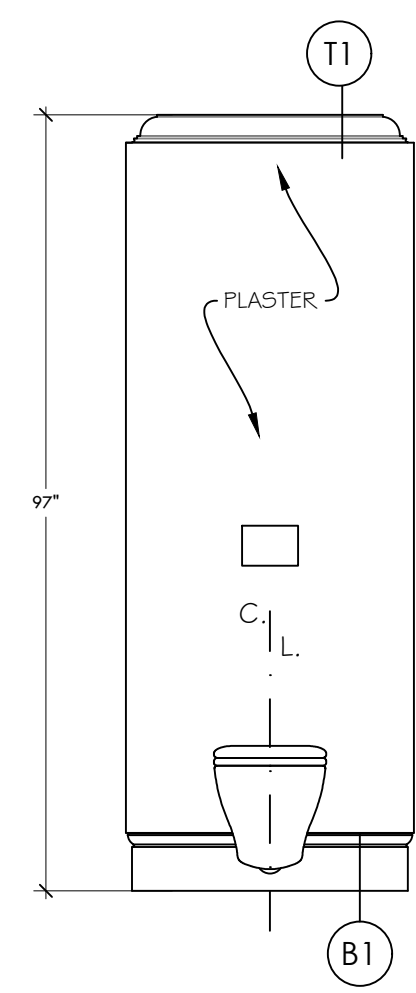
7 MUDROOM
Scale: 1/2" = 1'-0"



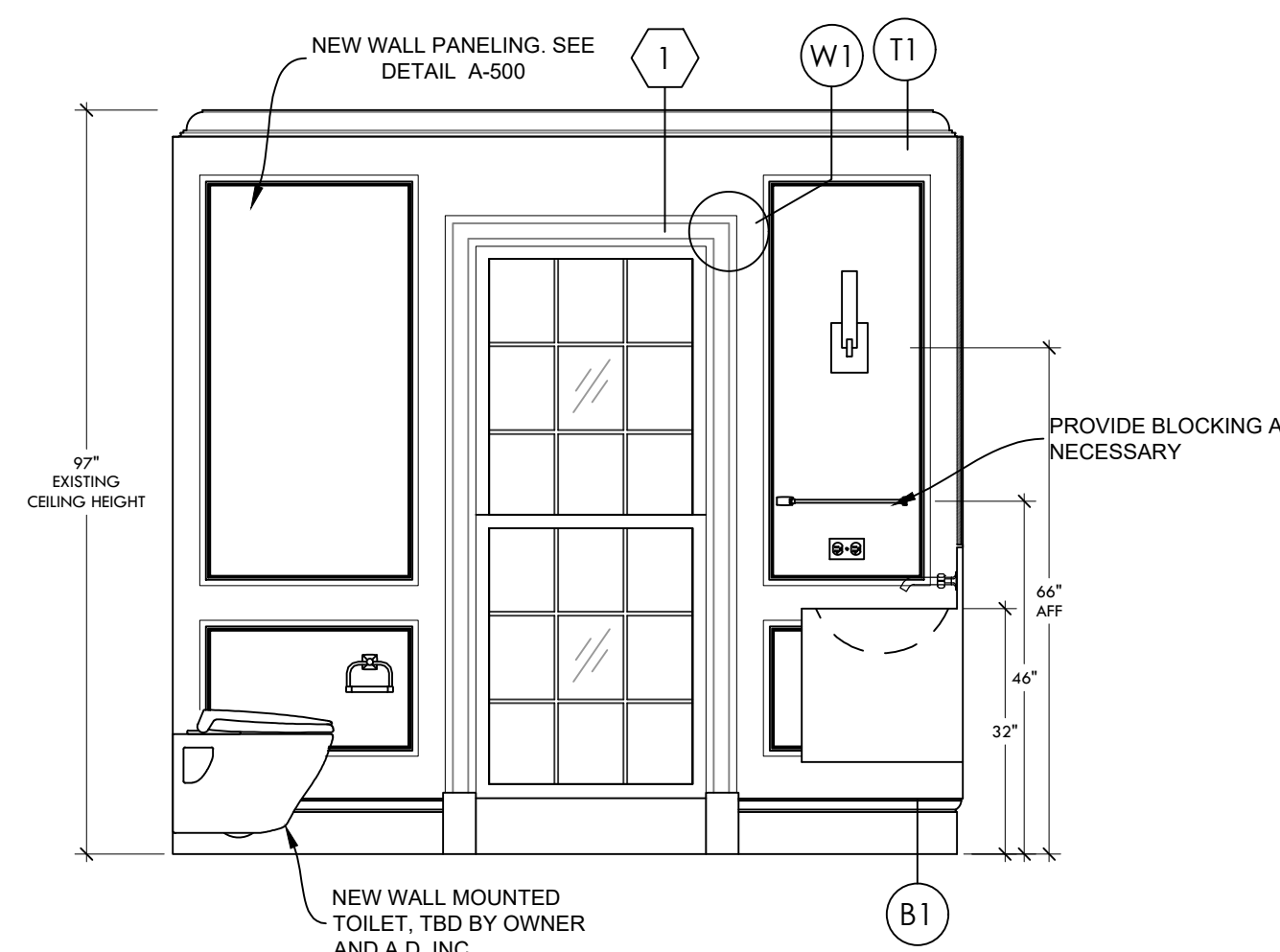
8 MUDROOM
Scale: 1/2" = 1'-0"



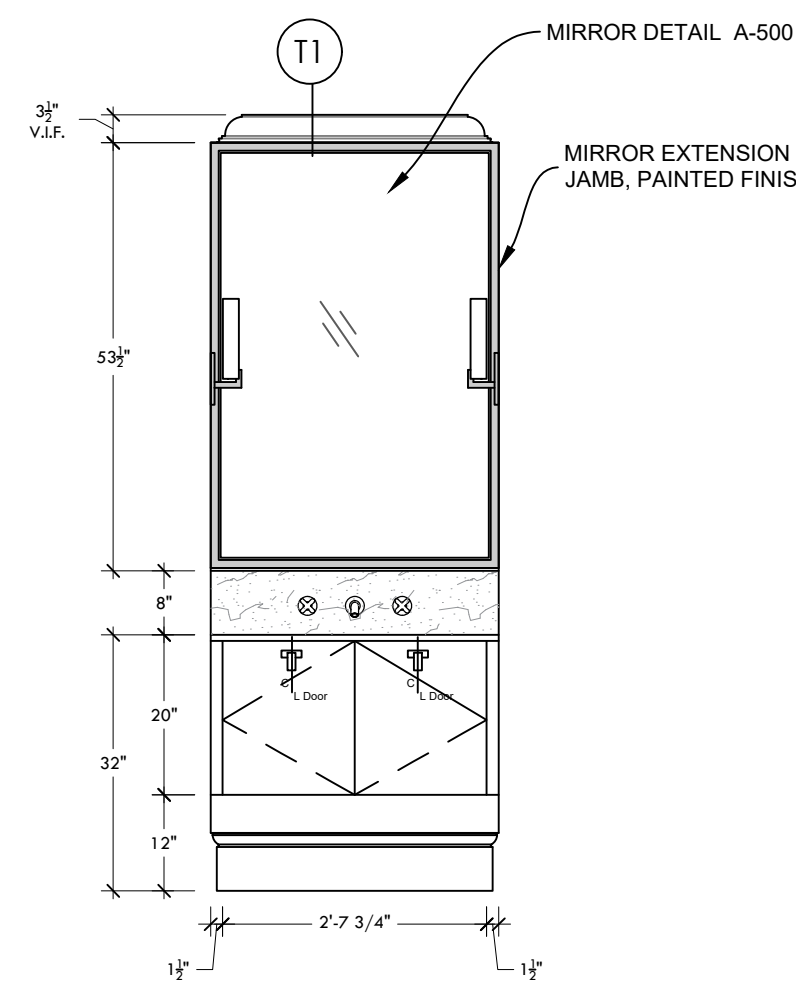
POWDER ROOM
Scale: 3/8" = 1'-0"



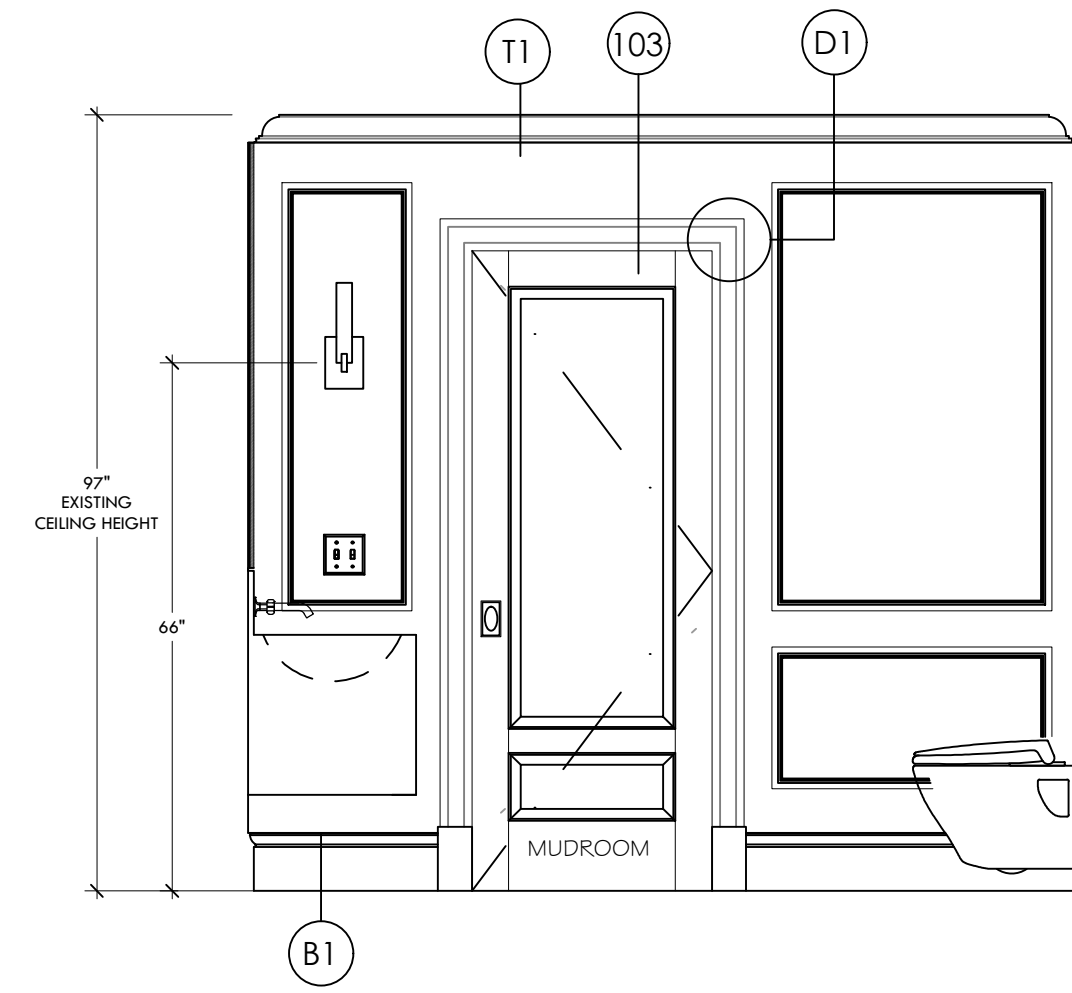
9 POWDER ROOM
Scale: 1/2" = 1'-0"



10 POWDER ROOM
Scale: 1/2" = 1'-0"



11 POWDER ROOM
Scale: 1/2" = 1'-0"



12 POWDER ROOM
Scale: 1/2" = 1'-0"

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
FIRST FLOOR - INTERIOR
ELEVATIONS

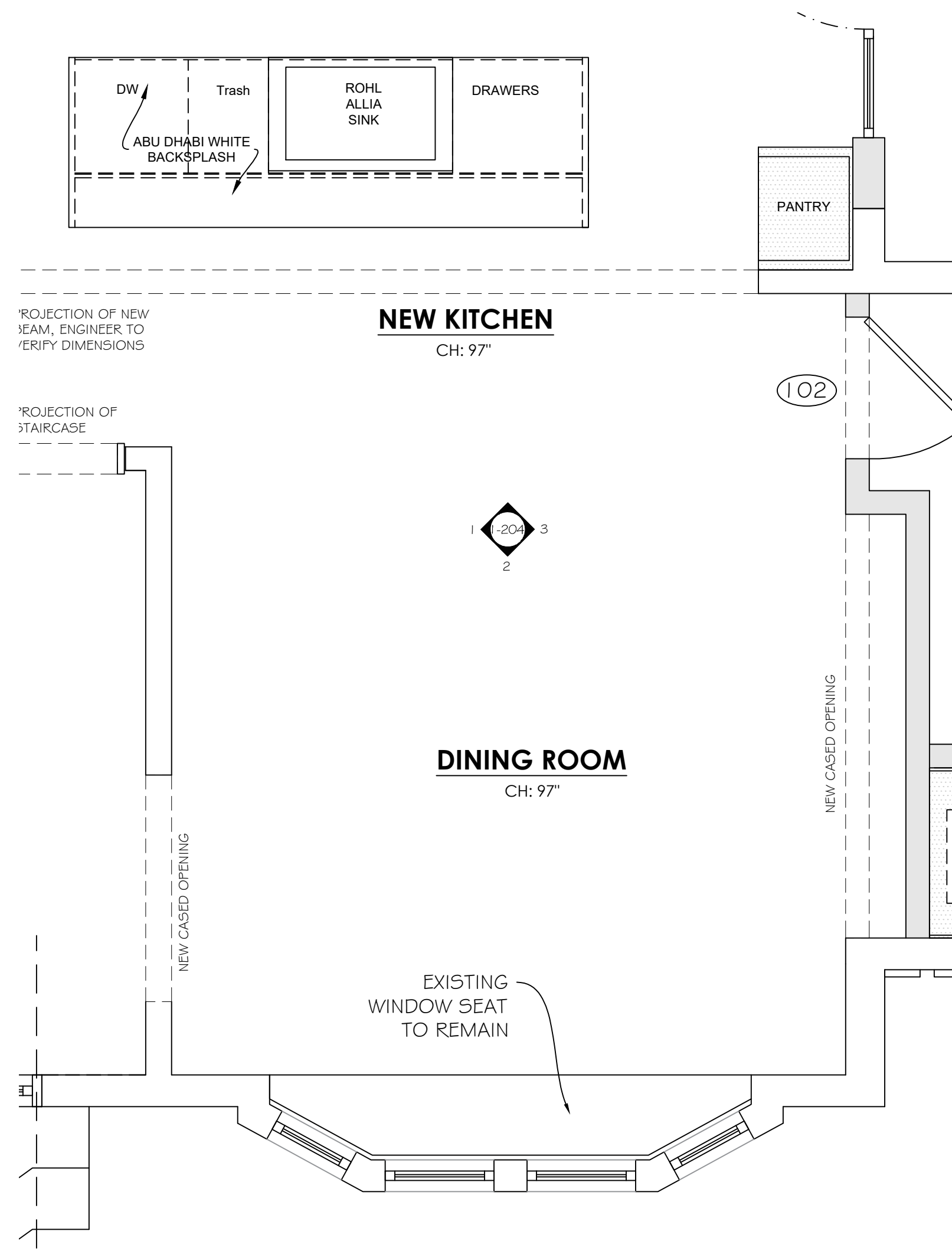
Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

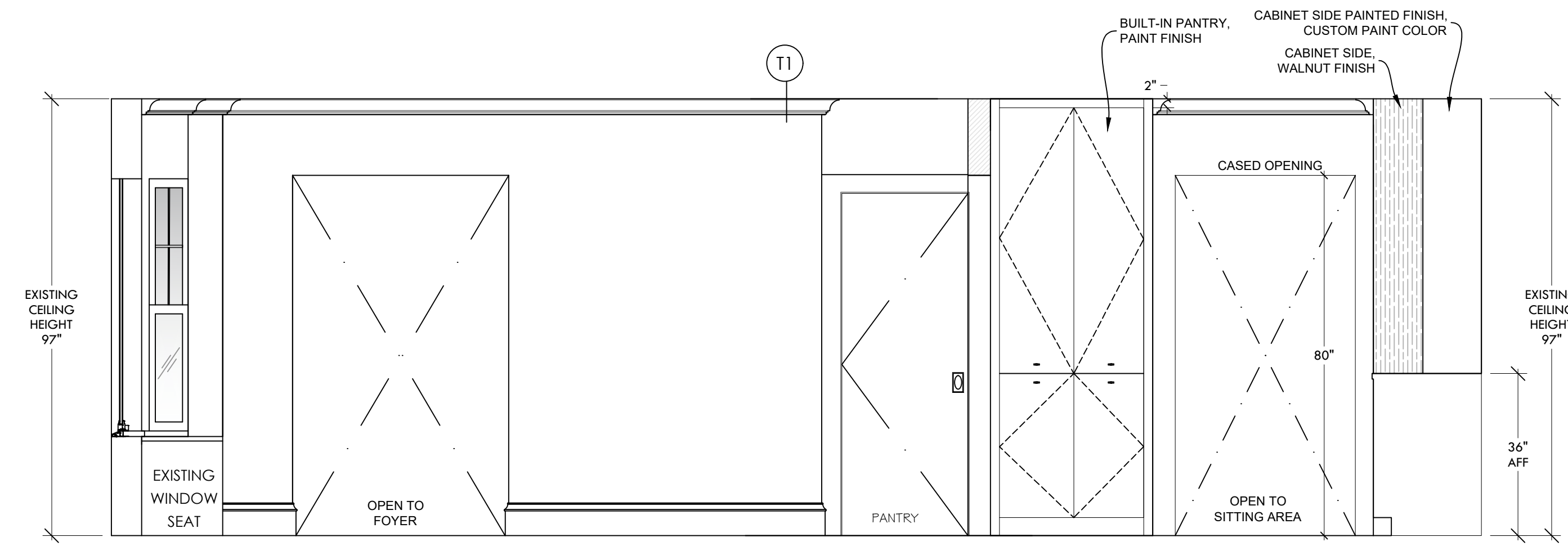
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

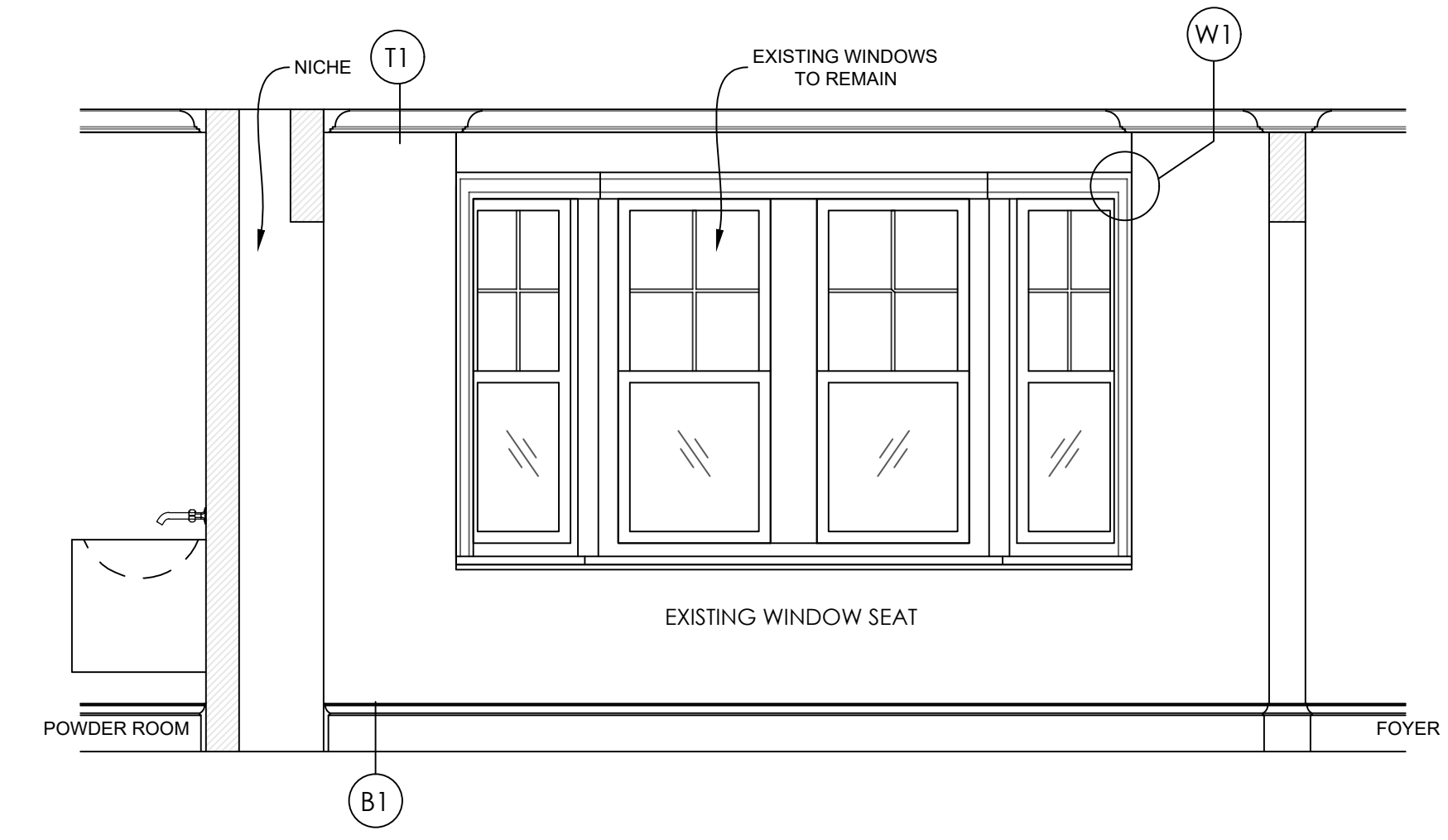
I- 203



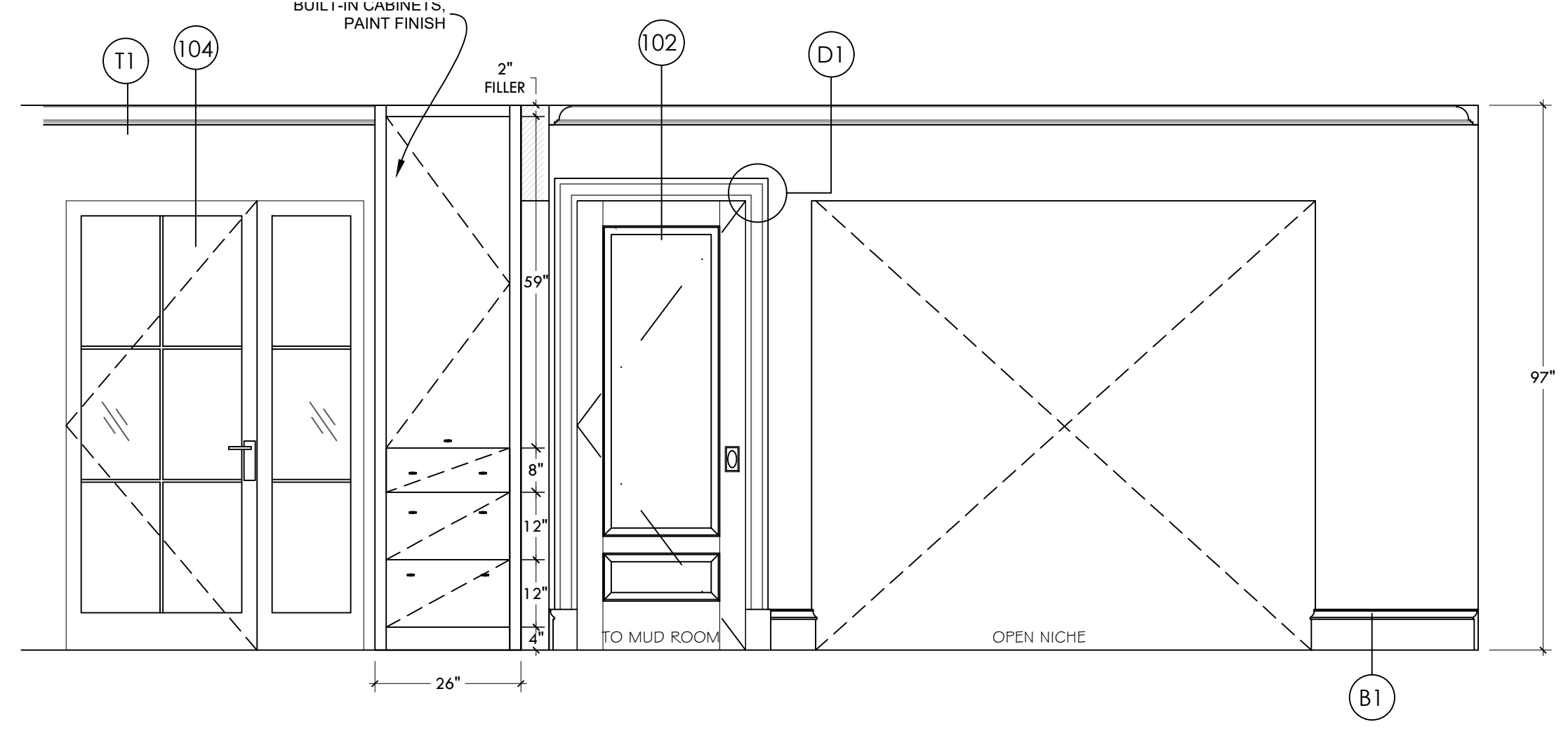
DINNING ROOM PLAN
Scale: 1/2" = 1'-0"



1 DINNING ROOM
Scale: 1/2" = 1'-0"



2 DINNING ROOM
Scale: 1/2" = 1'-0"



3 DINNING ROOM
Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. # DURING BID ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
FIRST FLOOR - INTERIOR
ELEVATIONS

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.
I-204

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
SECOND FLOOR - INTERIOR
ELEVATIONS

Issue Date:
August 29, 2022

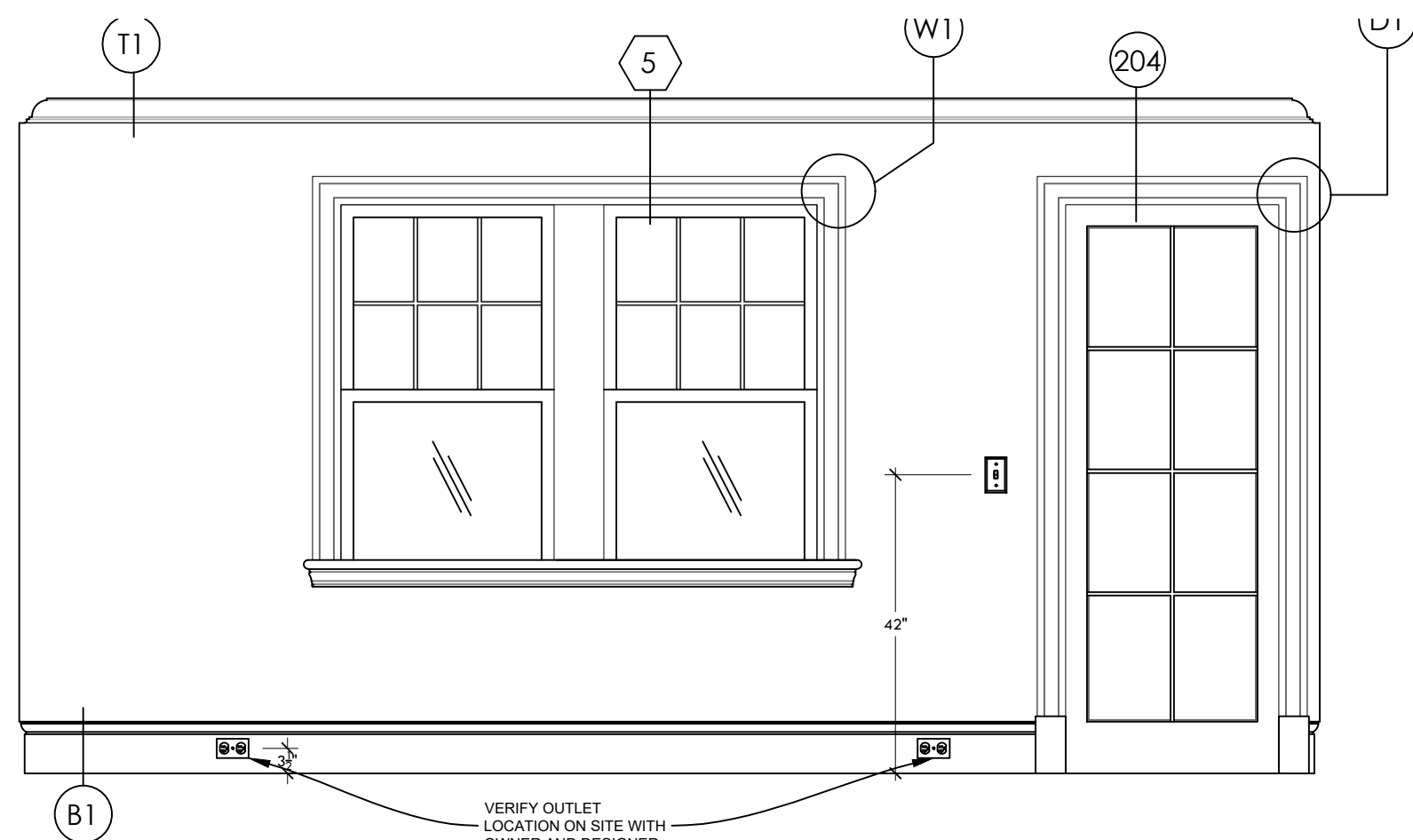
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

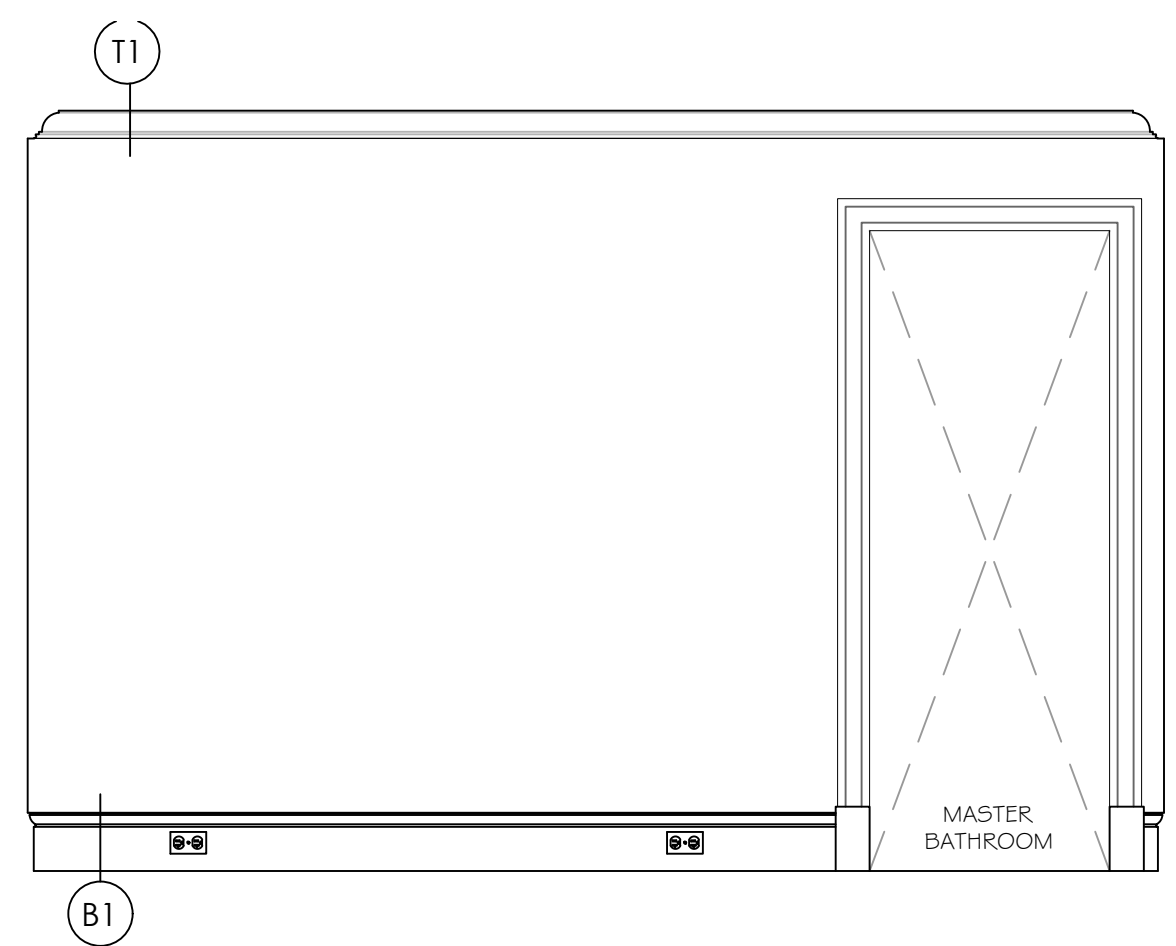
Sheet No.

I-205

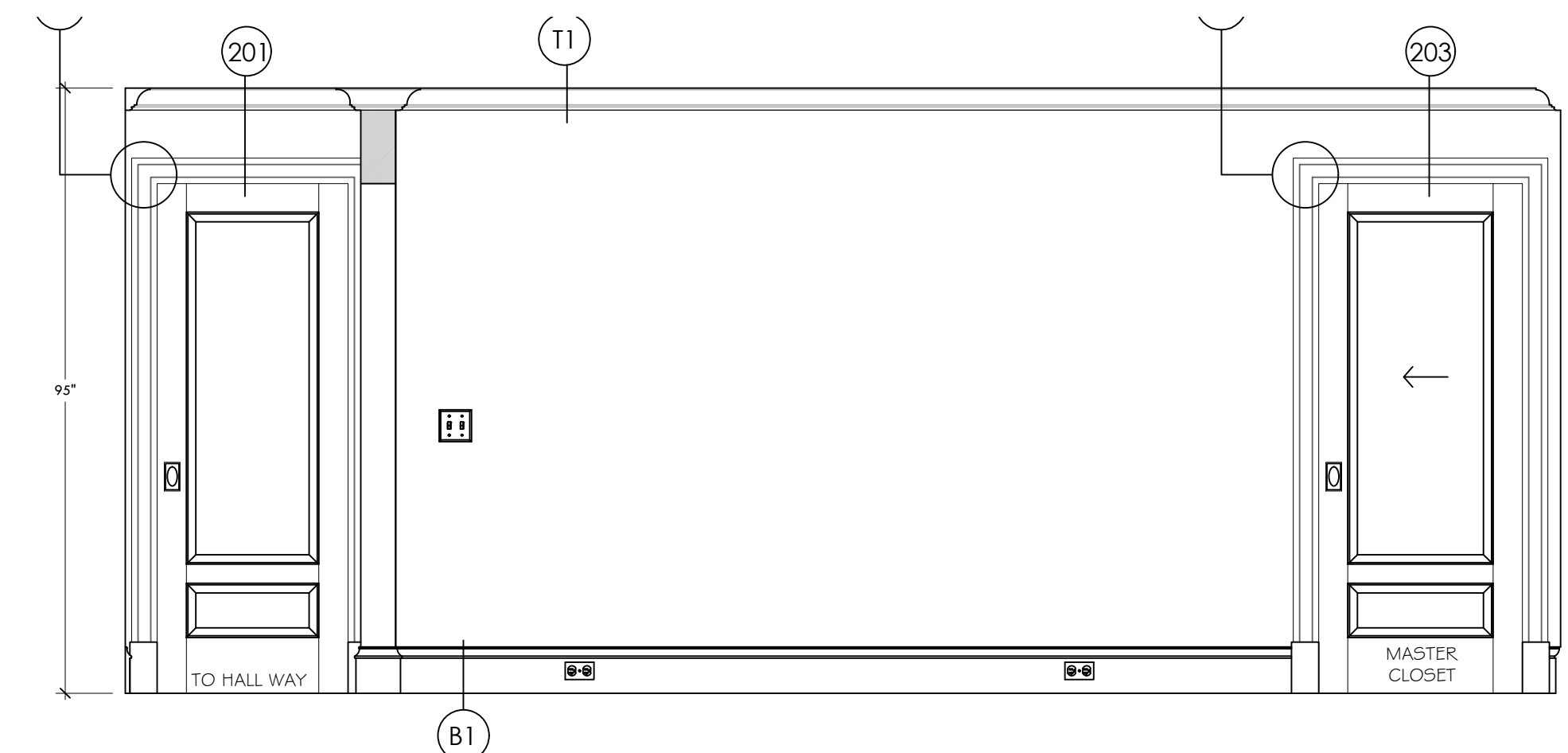
Page No. 21 of 33



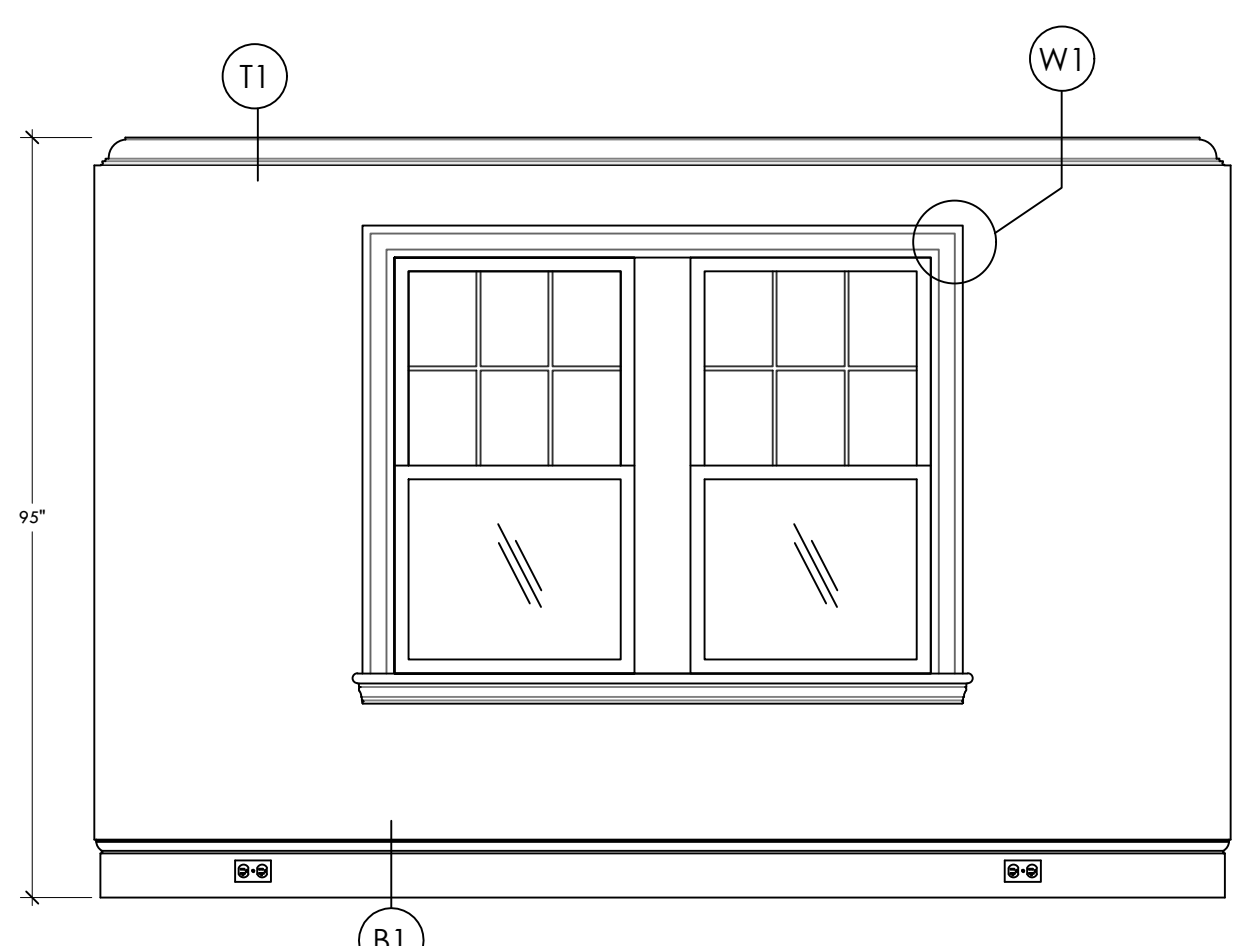
1 MASTER BEDROOM
Scale: 1/2" = 1'-0"



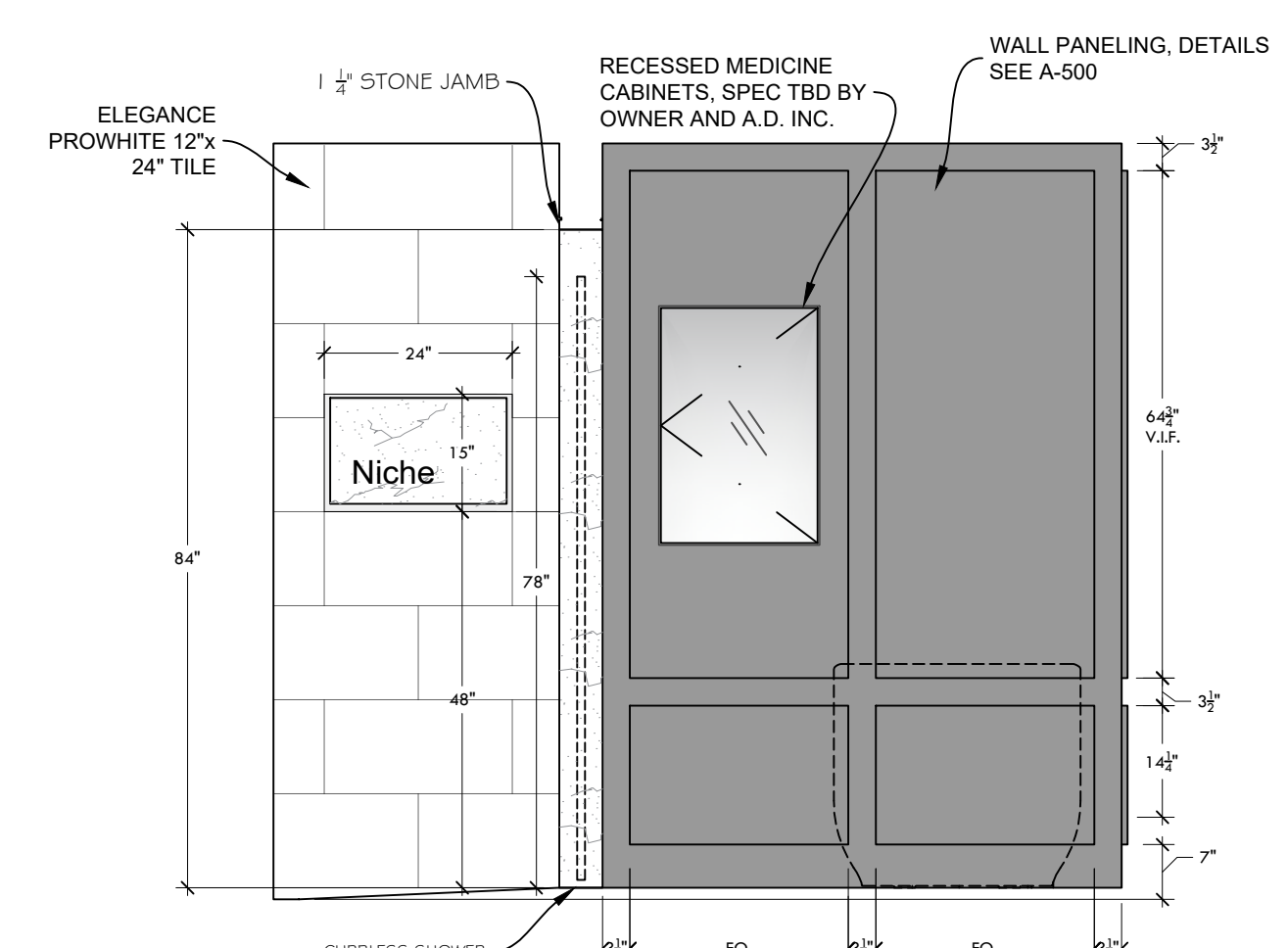
2 MASTER BEDROOM
Scale: 1/2" = 1'-0"



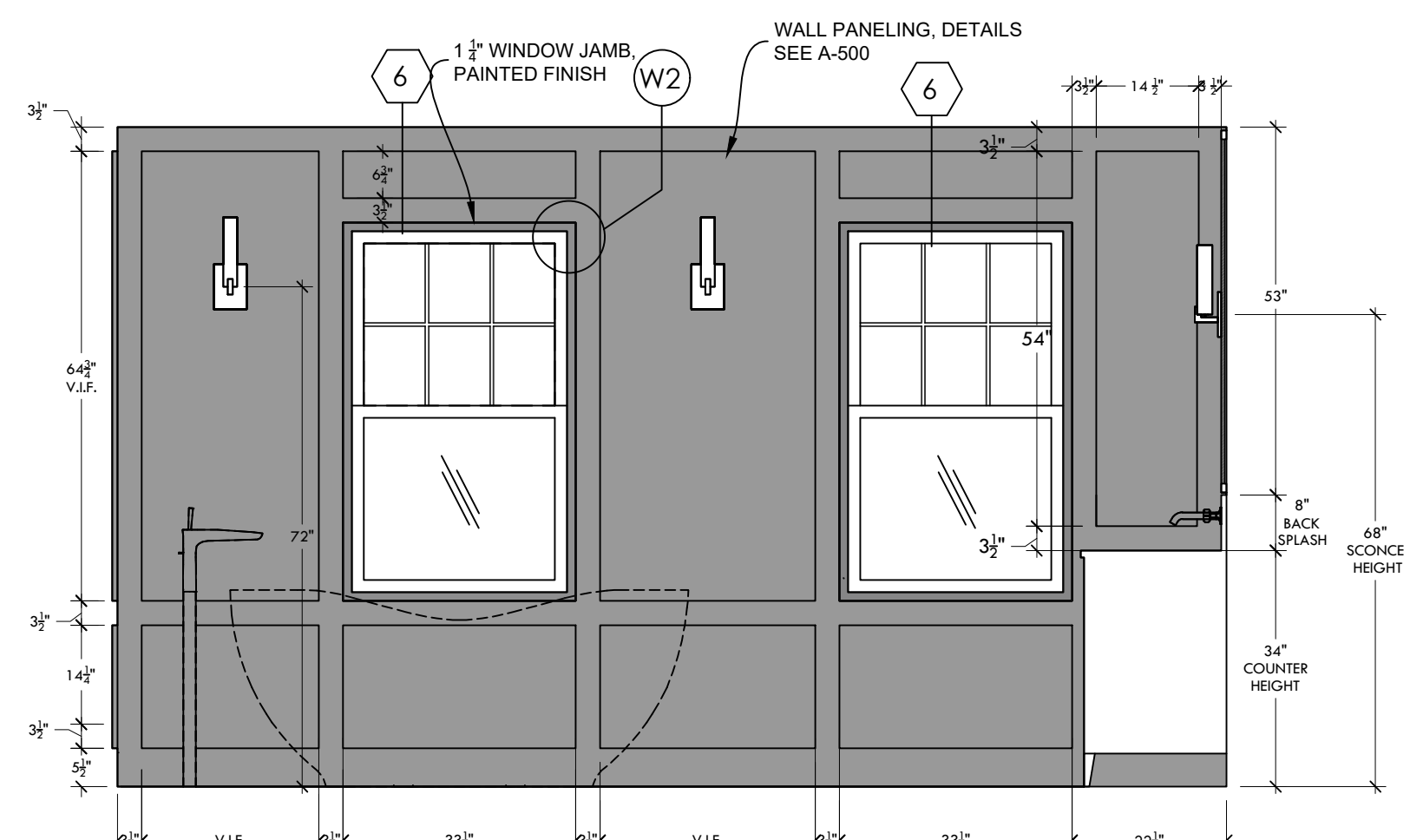
3 MASTER BEDROOM
Scale: 1/2" = 1'-0"



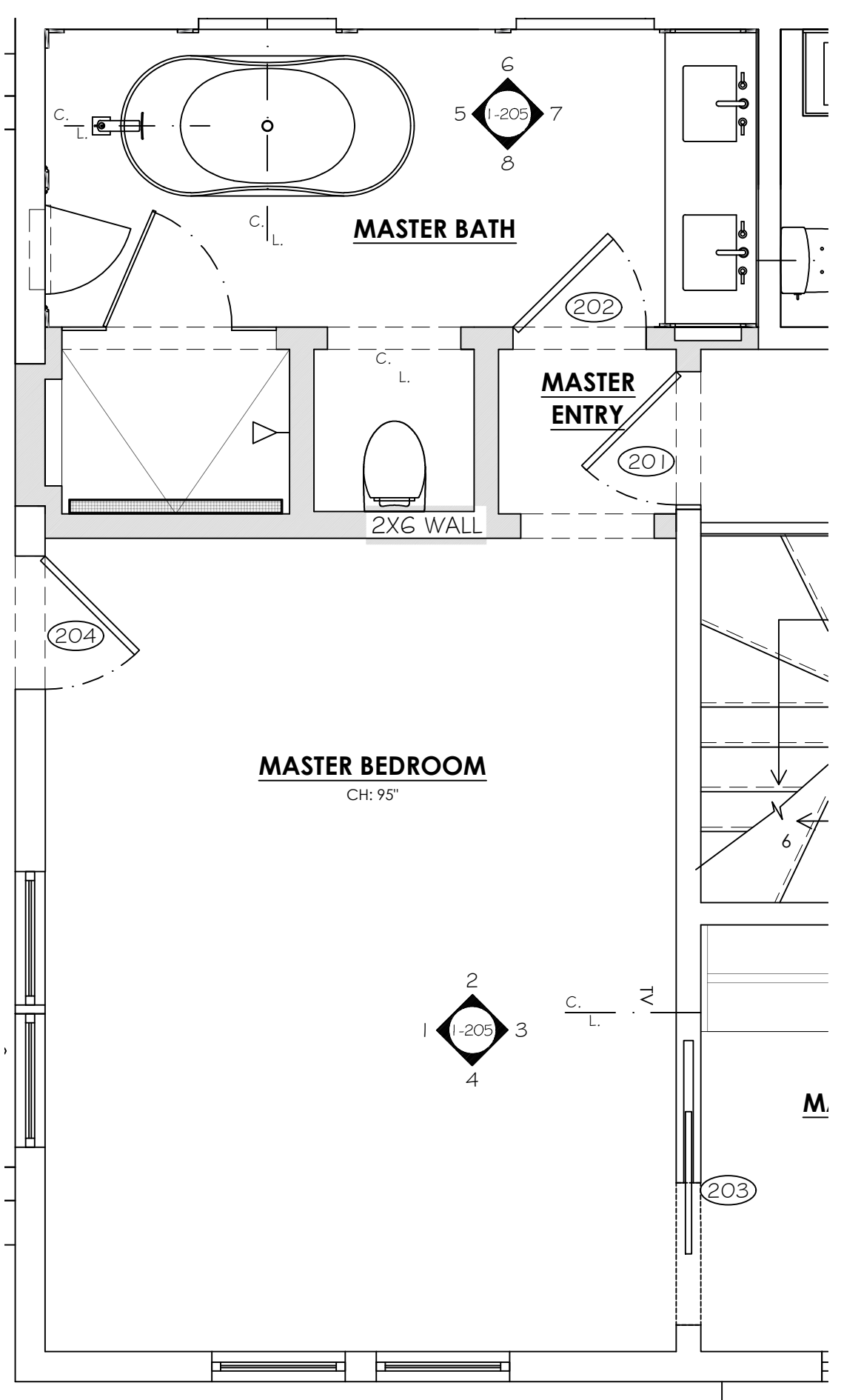
4 MASTER BEDROOM
Scale: 1/2" = 1'-0"



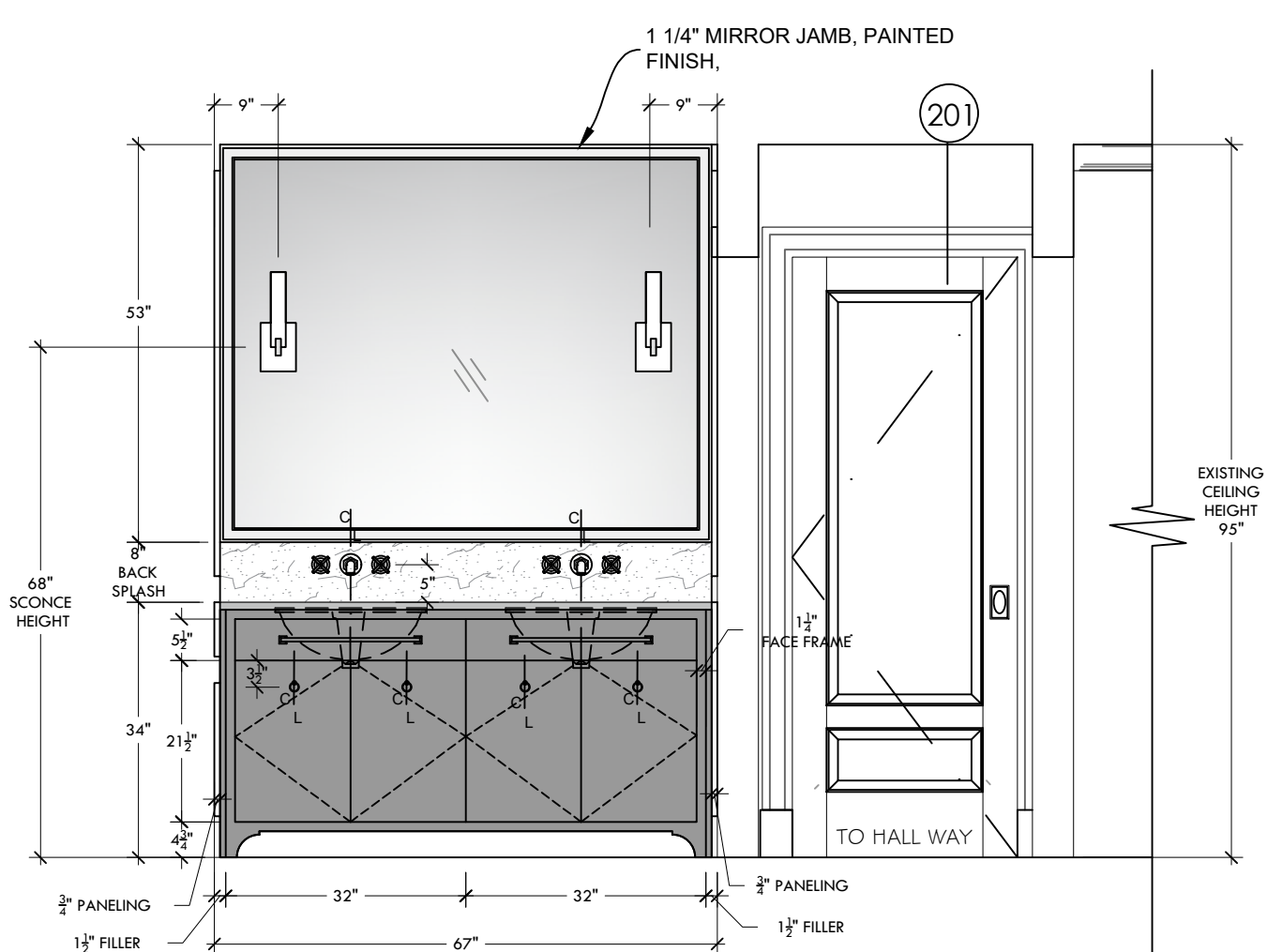
5 MASTER BATHROOM
Scale: 1/2" = 1'-0"



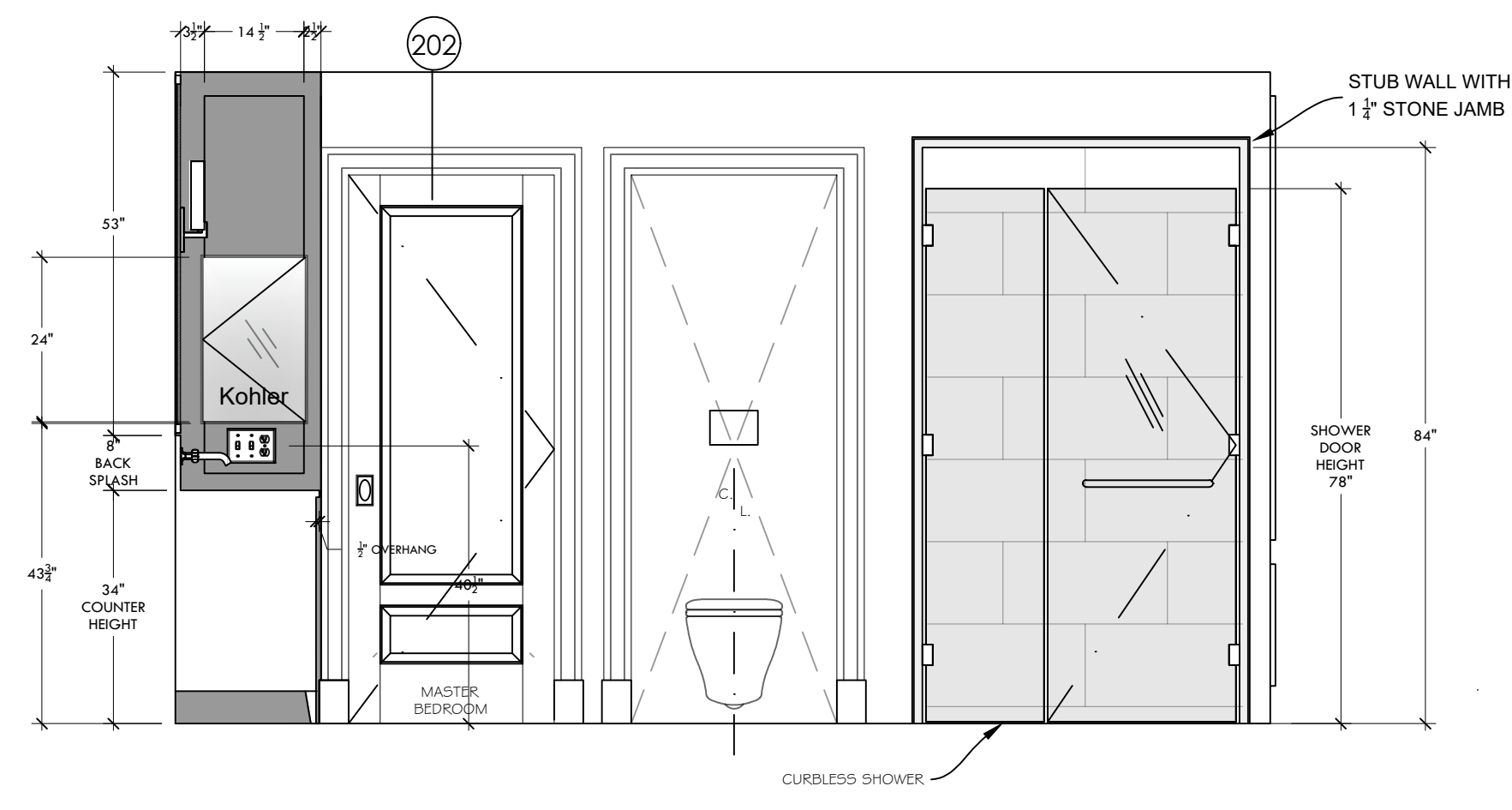
6 MASTER BATHROOM
Scale: 1/2" = 1'-0"



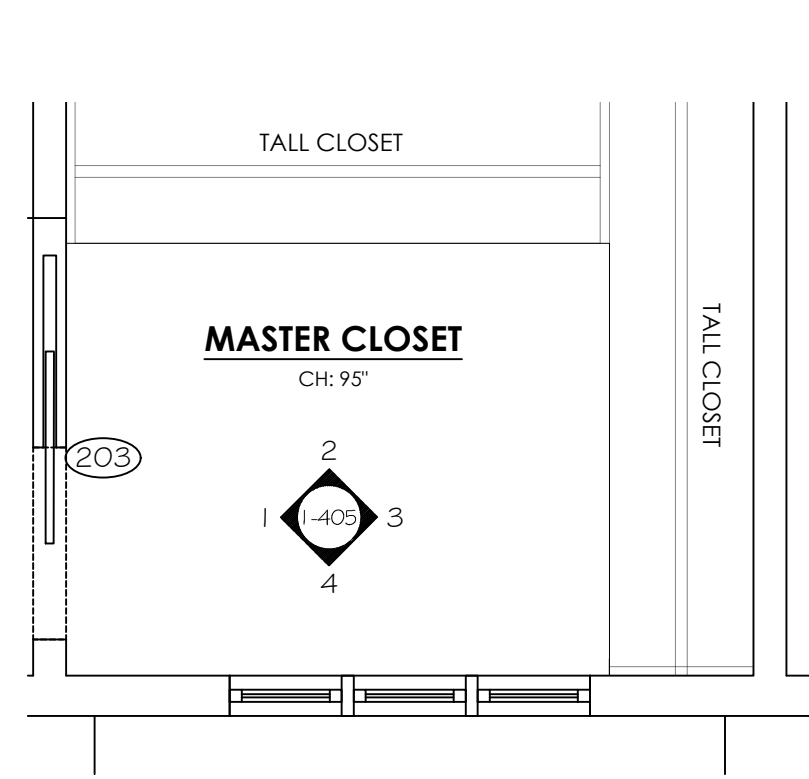
MASTER BEDROOM &
BATHROOM PLAN
Scale: 3/8" = 1'-0"



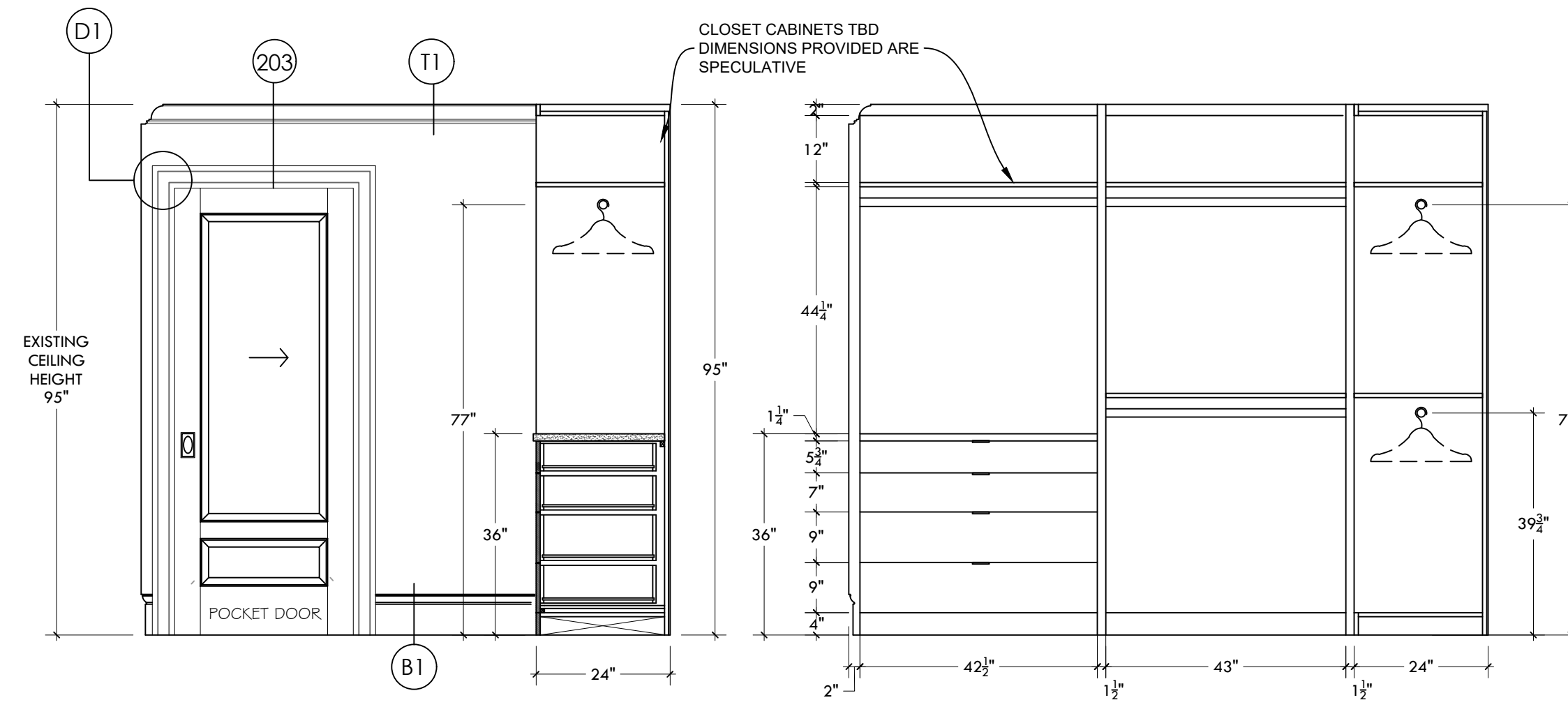
7 MASTER BATHROOM
Scale: 1/2" = 1'-0"



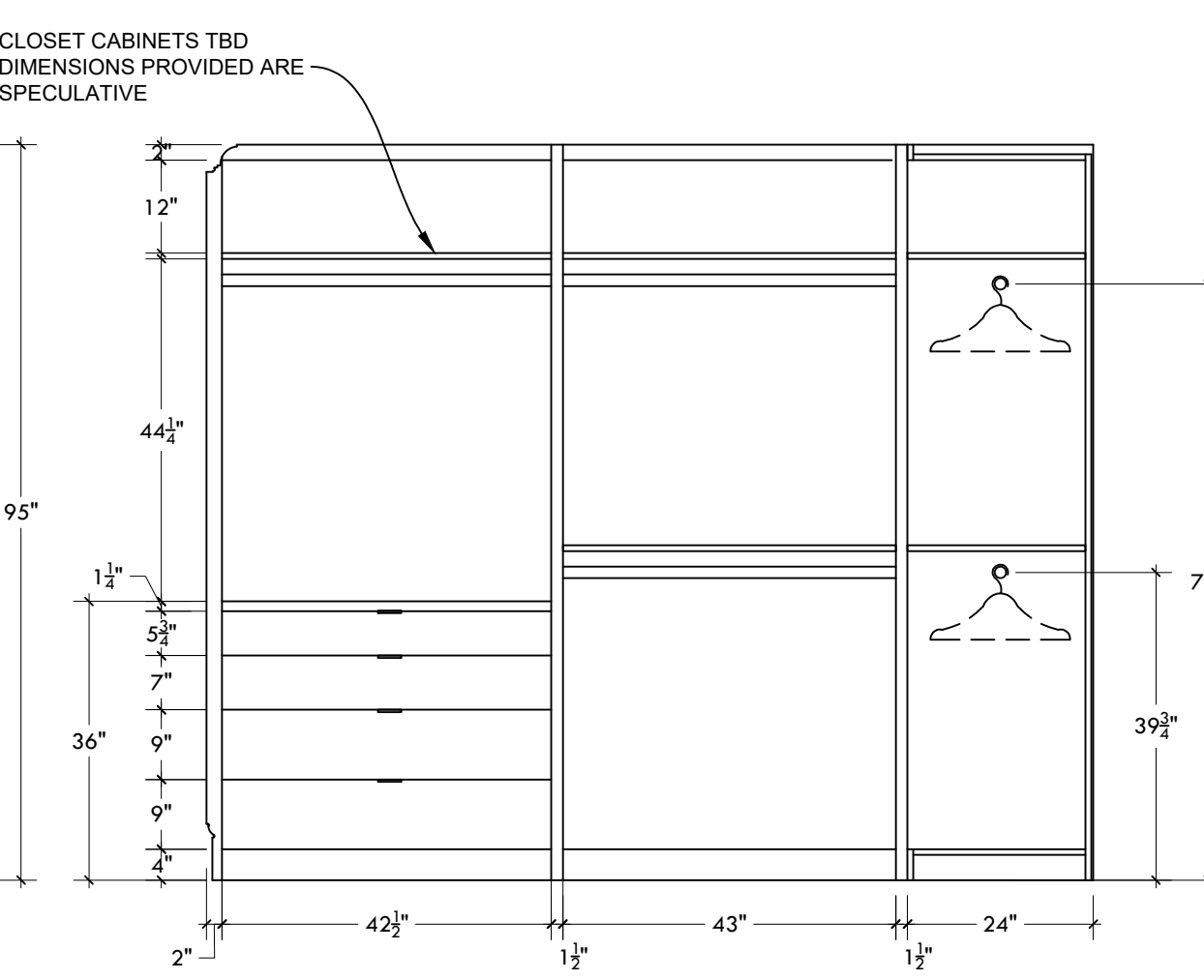
8 MASTER BATHROOM
Scale: 1/2" = 1'-0"



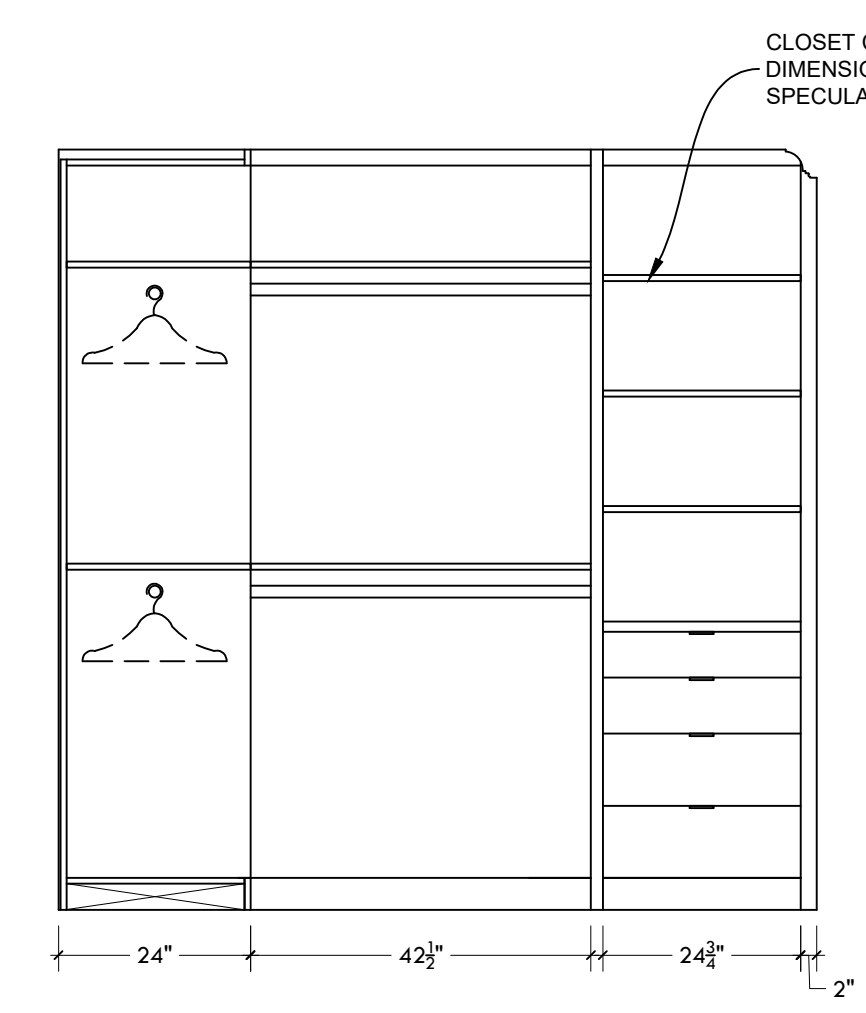
MASTER CLOSET
Scale: 3/8" = 1'-0"



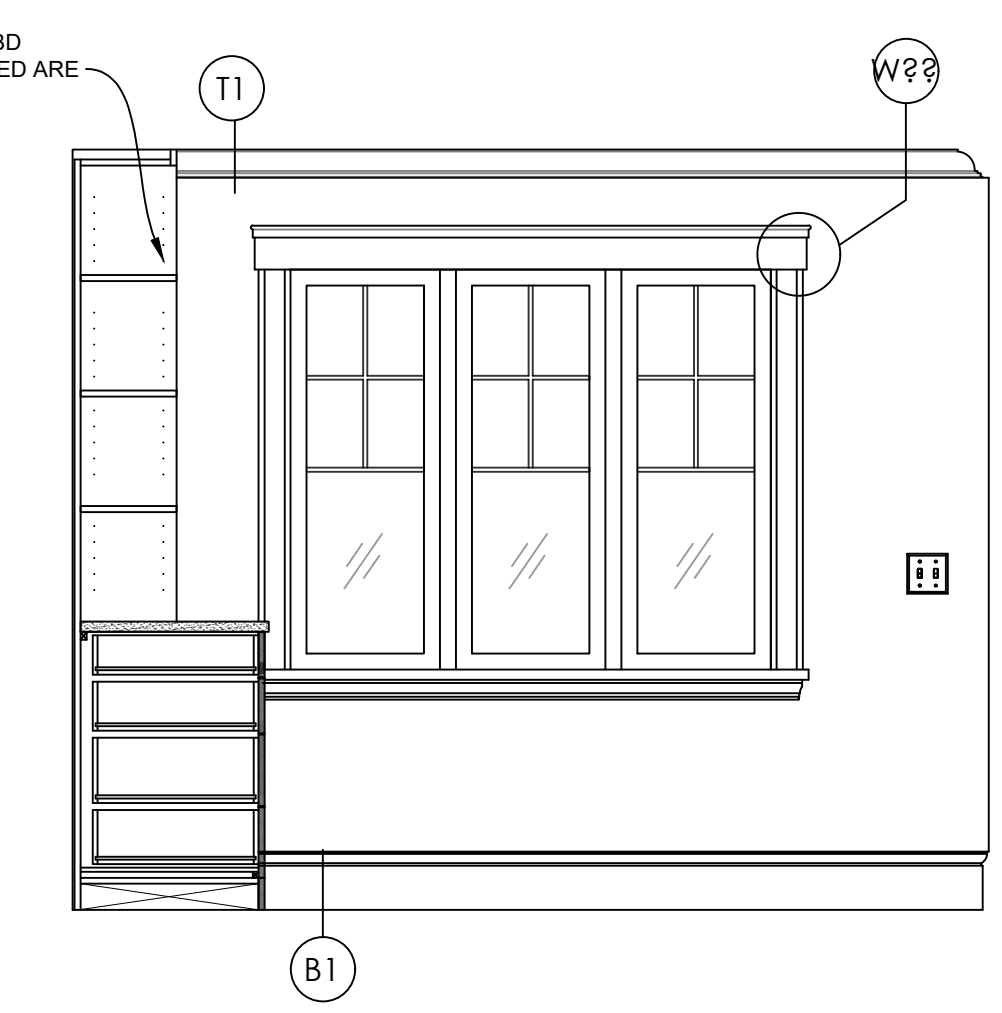
1 MASTER CLOSET
Scale: 1/2" = 1'-0"



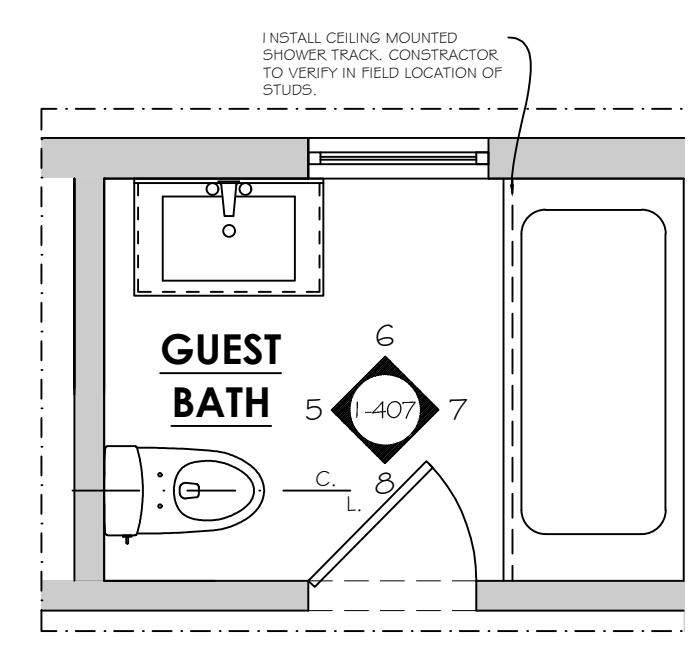
2 MASTER CLOSET
Scale: 1/2" = 1'-0"



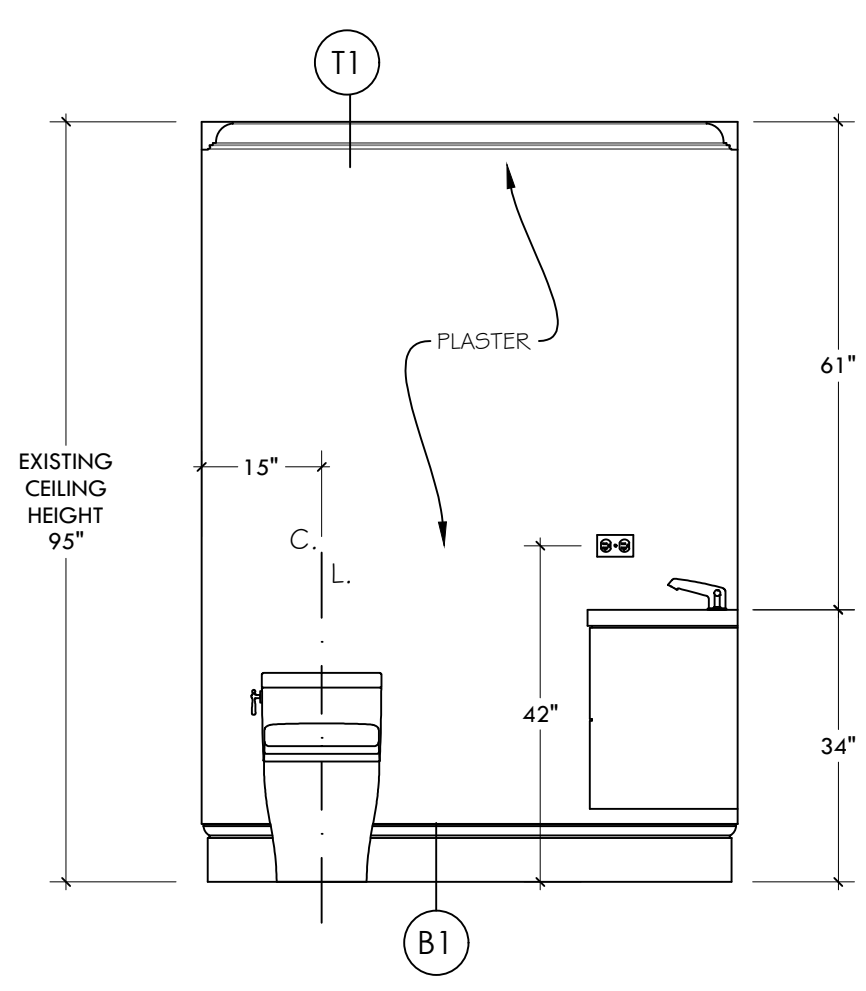
3 MASTER CLOSET
Scale: 1/2" = 1'-0"



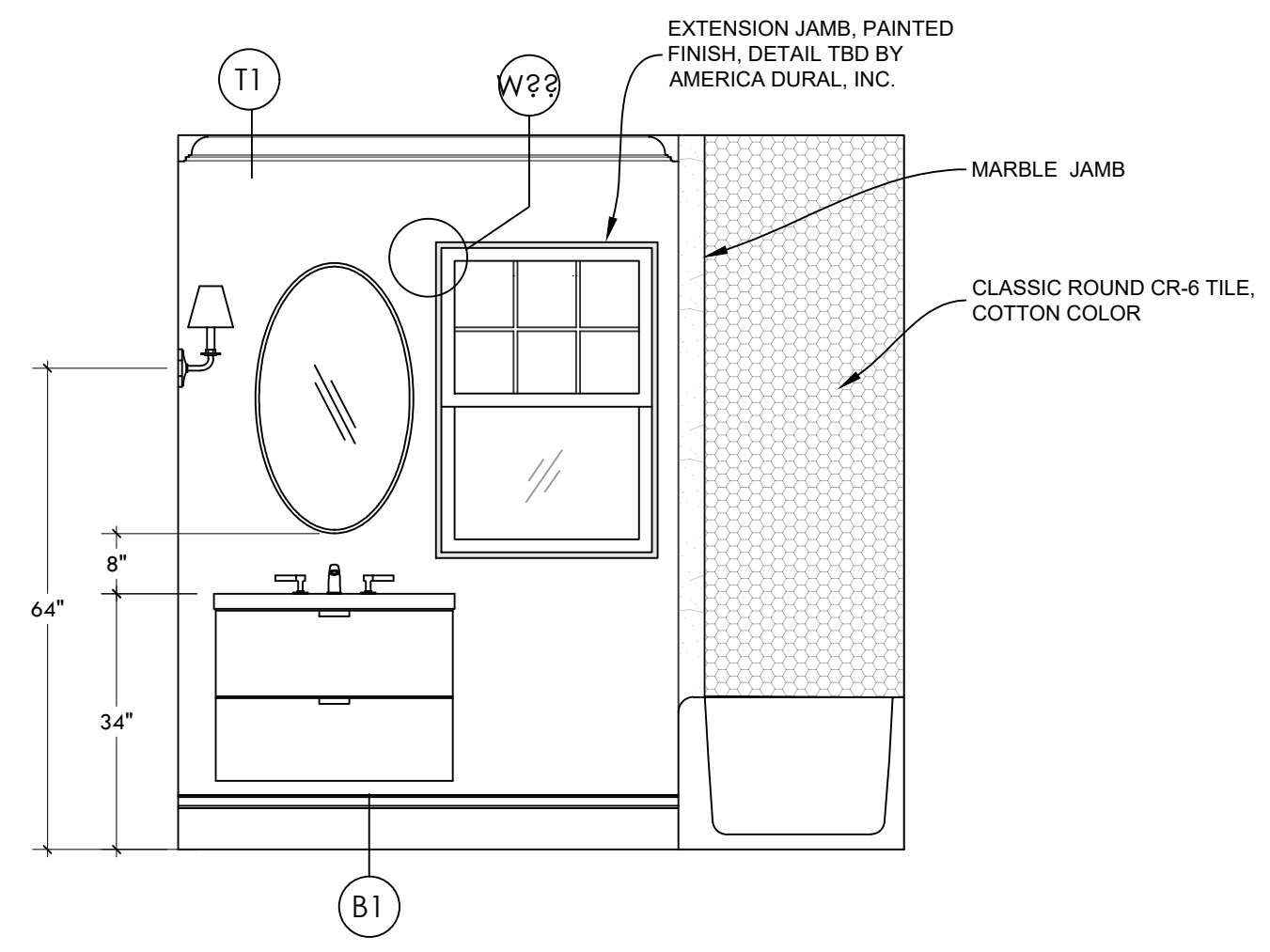
4 MASTER CLOSET
Scale: 1/2" = 1'-0"



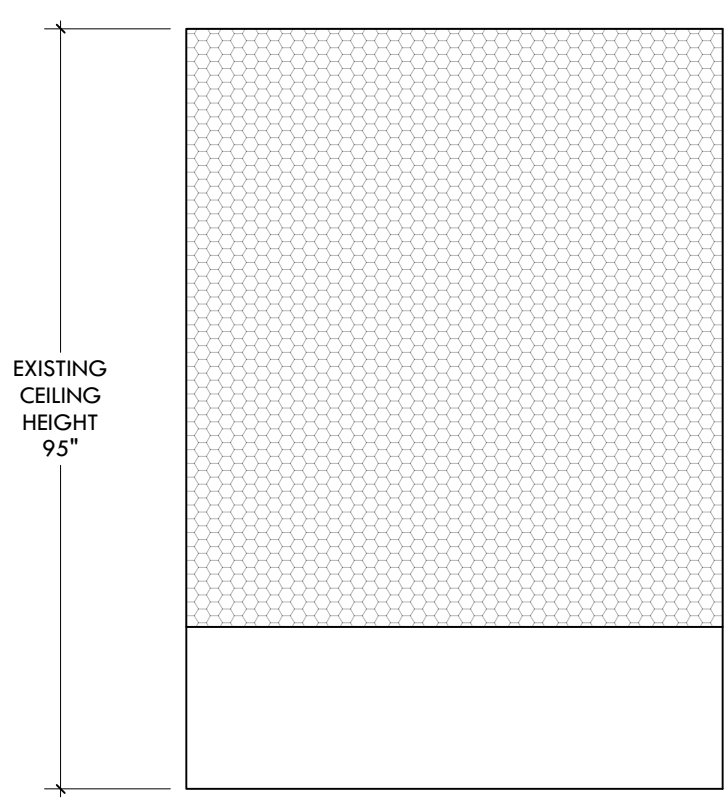
GUEST BATH PLAN
SCALE: 3/8" = 1'-0"



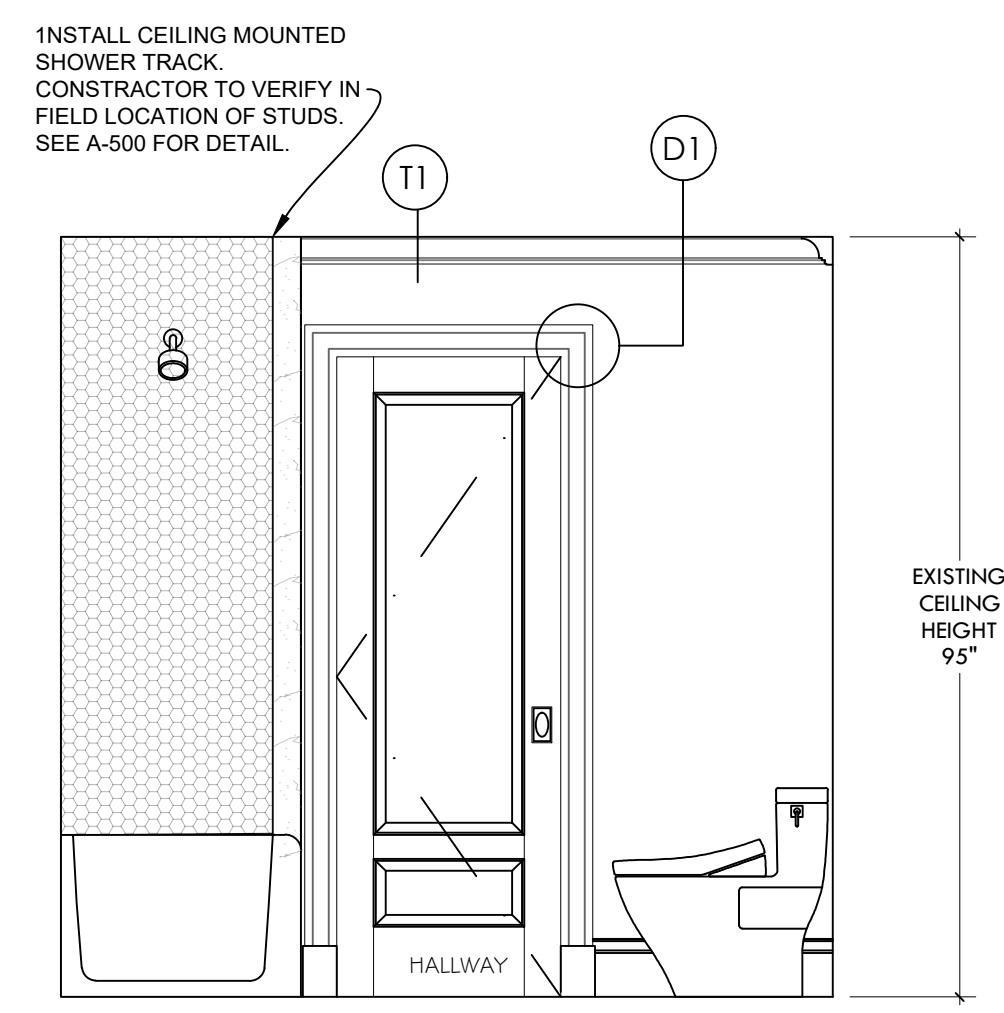
5 GUEST BATHROOM
Scale: 1/2" = 1'-0"



6 GUEST BATHROOM
Scale: 1/2" = 1'-0"



7 GUEST BATHROOM
Scale: 1/2" = 1'-0"



8 GUEST BATHROOM
Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. @ DURING BID ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

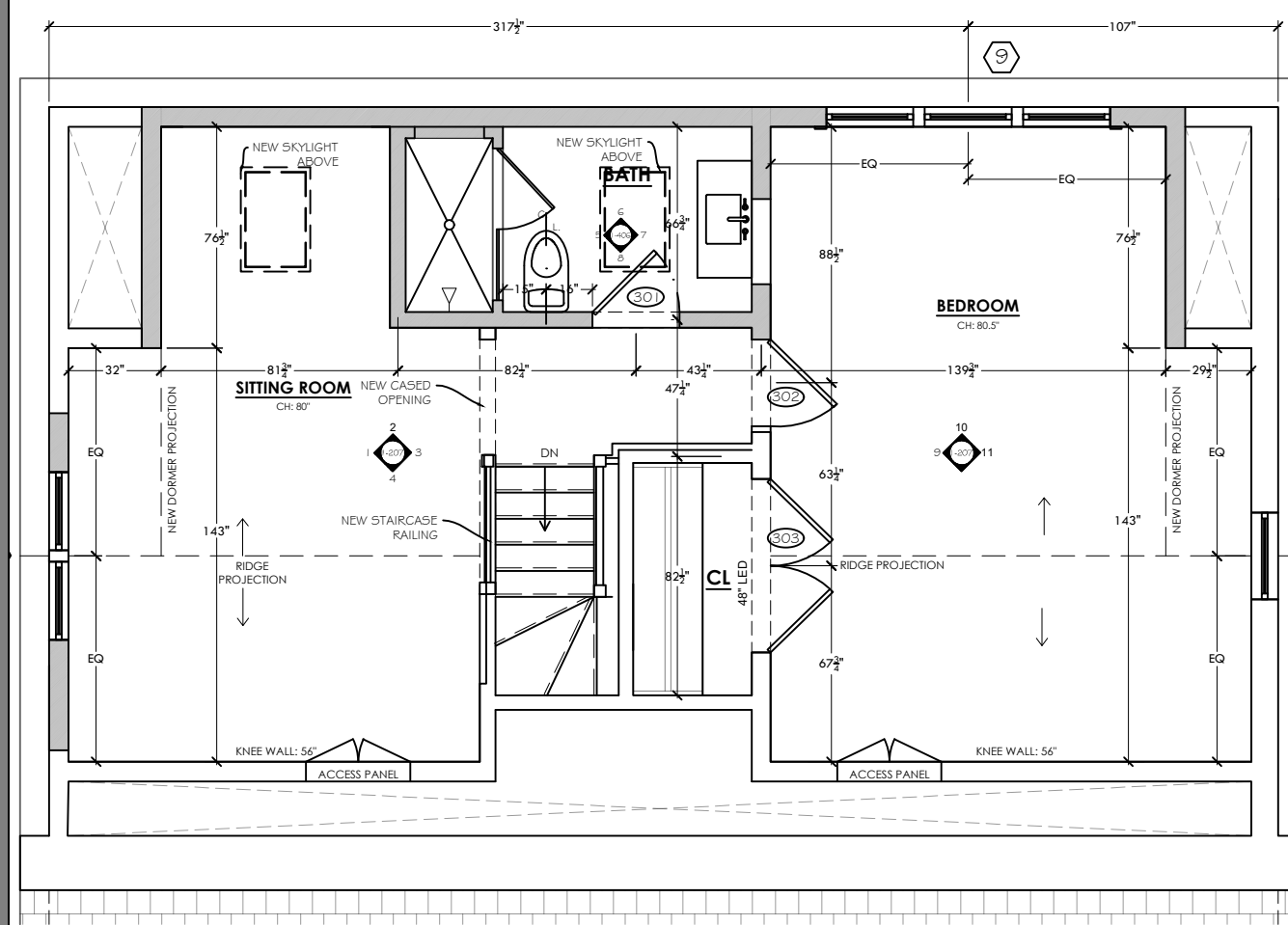
Scale:
1/4" = 1'-0"
Drawing Title:
SECOND FLOOR - INTERIOR ELEVATIONS

Issue Date:
August 29, 2022

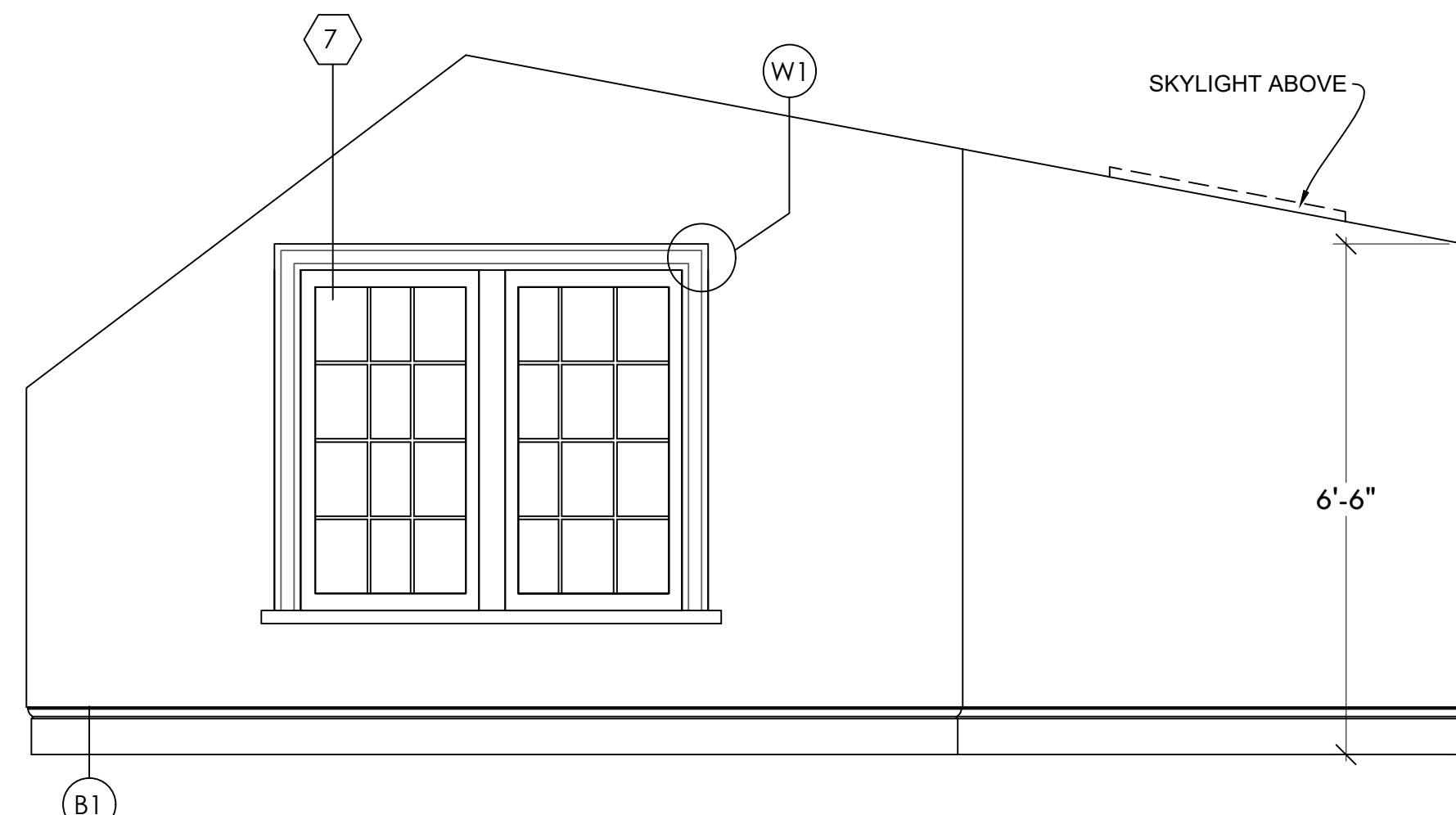
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

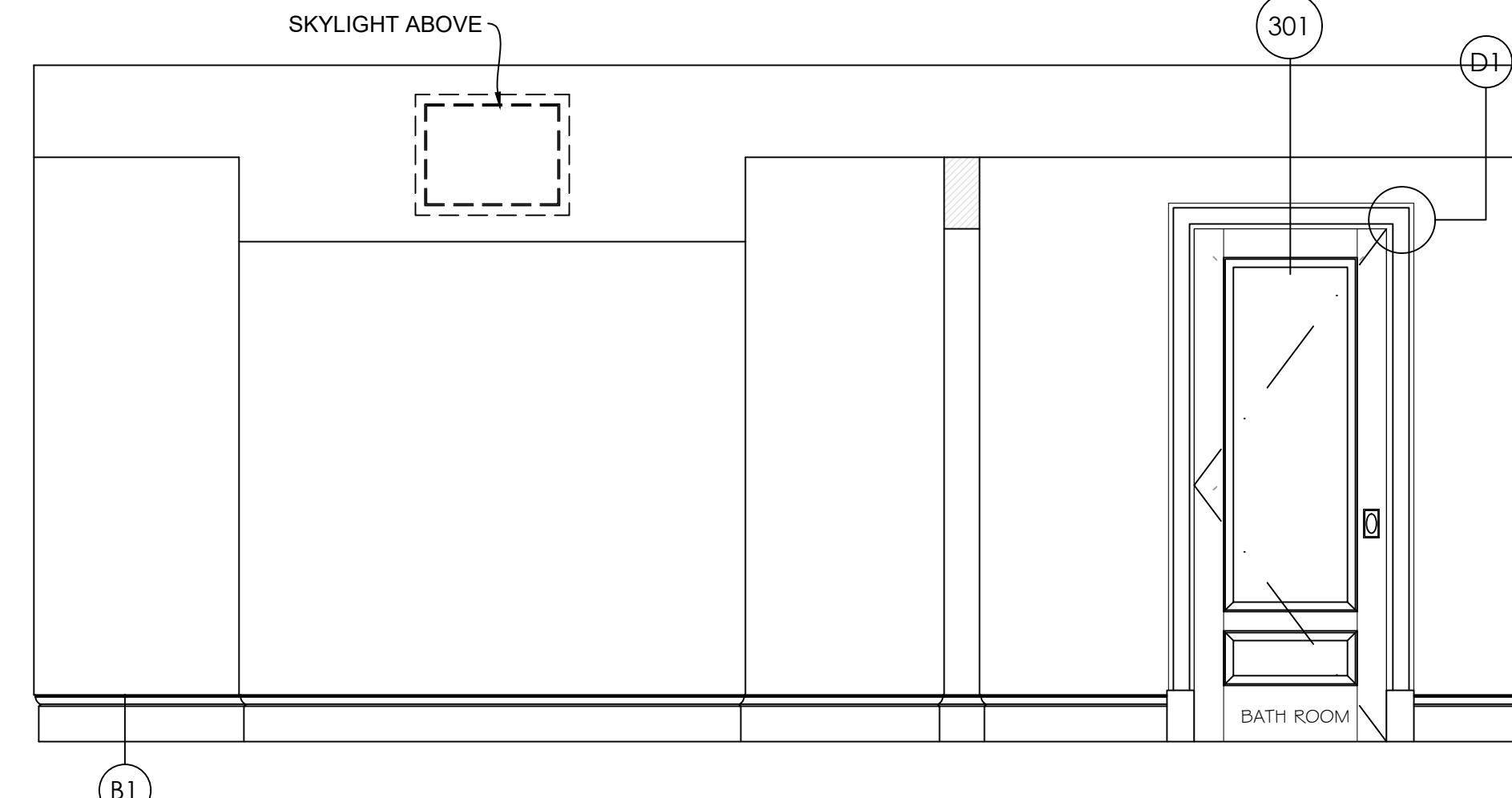
Sheet No.
I- 206



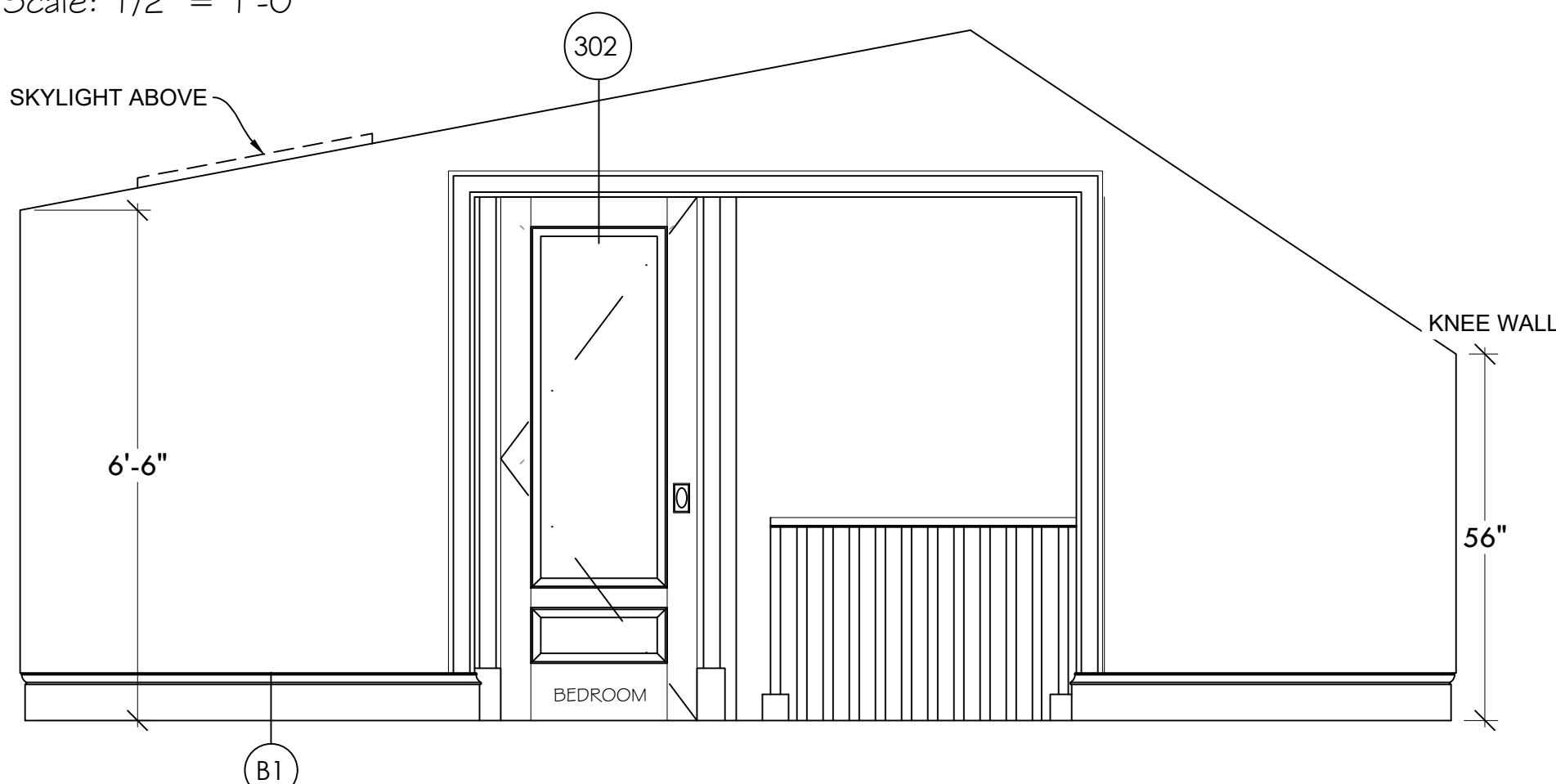
ATTIC
Scale: 1/4" = 1'-0"



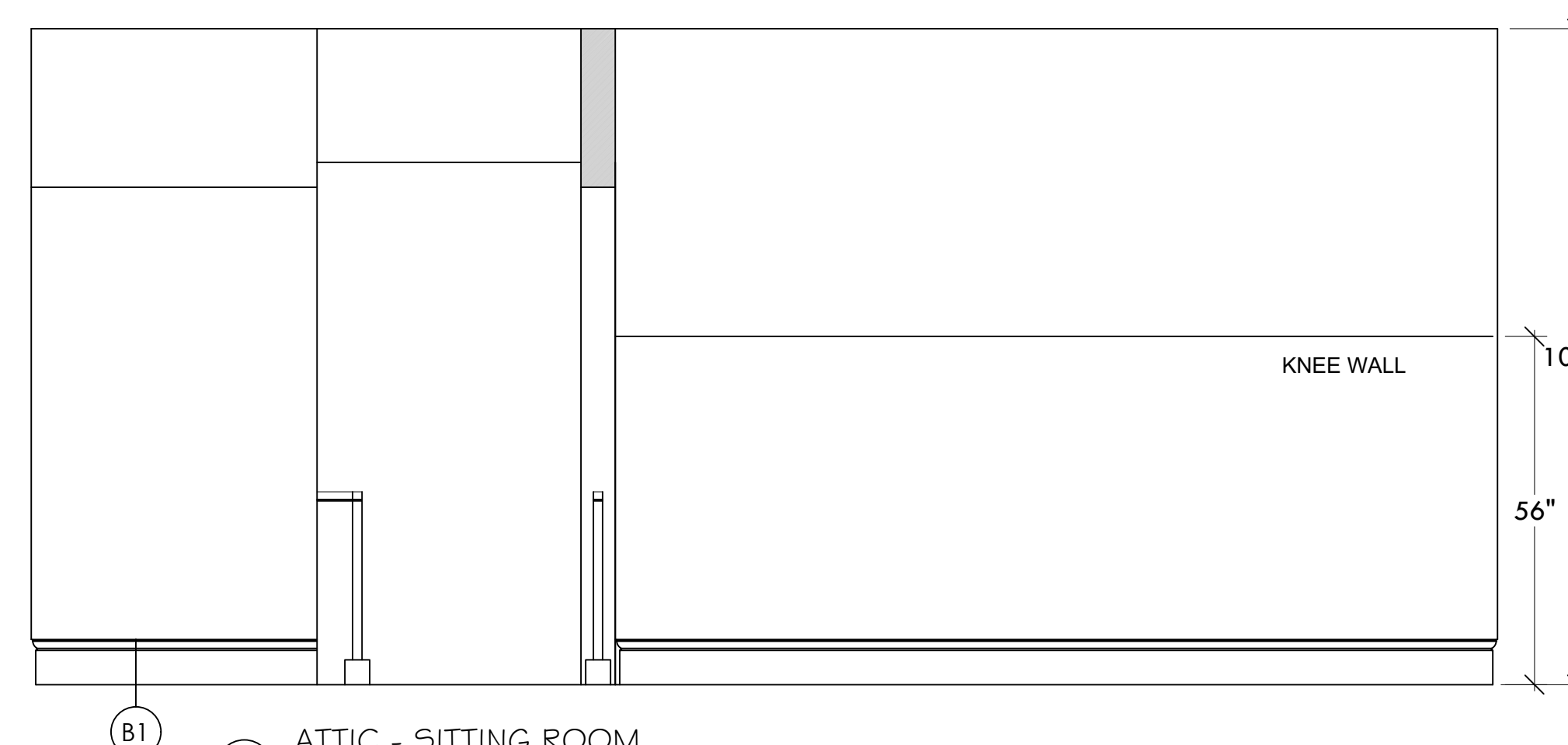
1 ATTIC-SITTING ROOM
Scale: 1/2" = 1'-0"



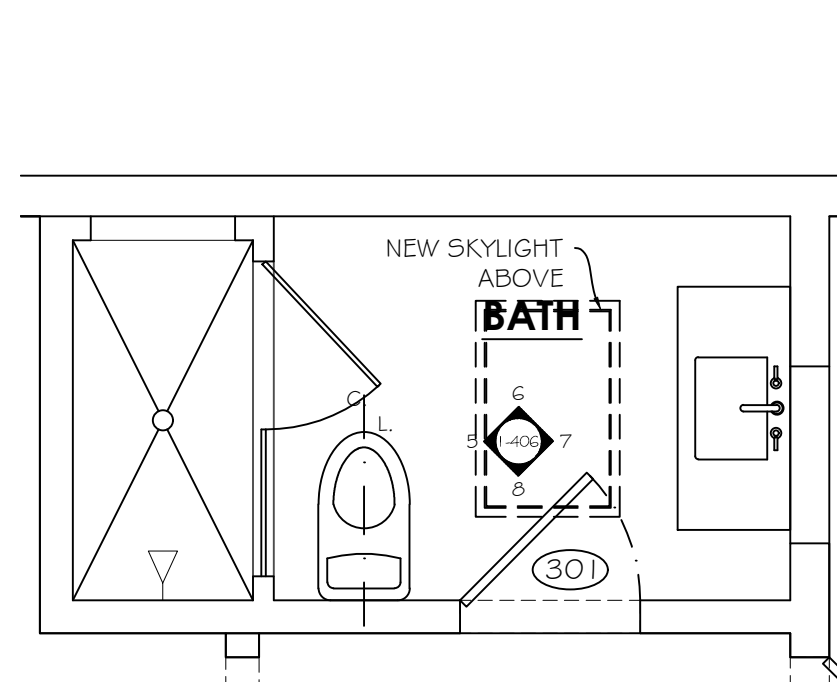
2 ATTIC-SITTING ROOM
Scale: 1/2" = 1'-0"



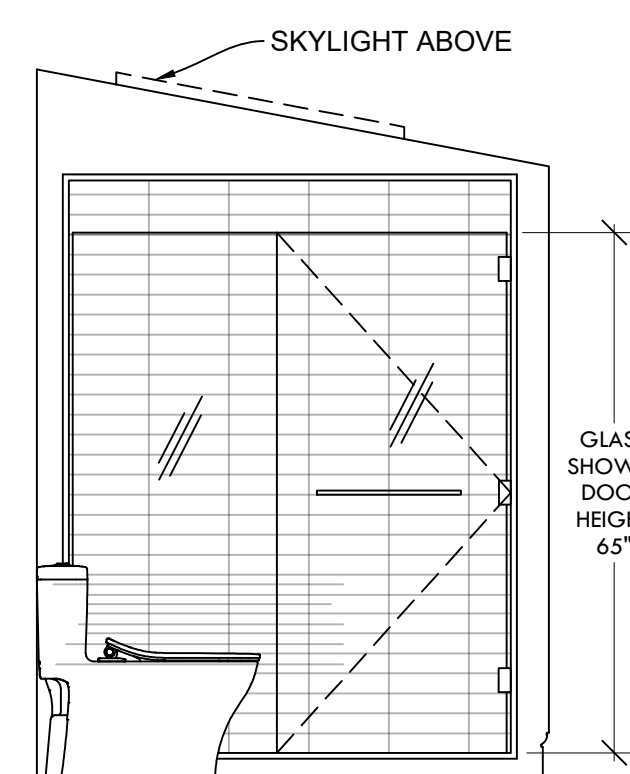
3 ATTIC-SITTING ROOM
Scale: 1/2" = 1'-0"



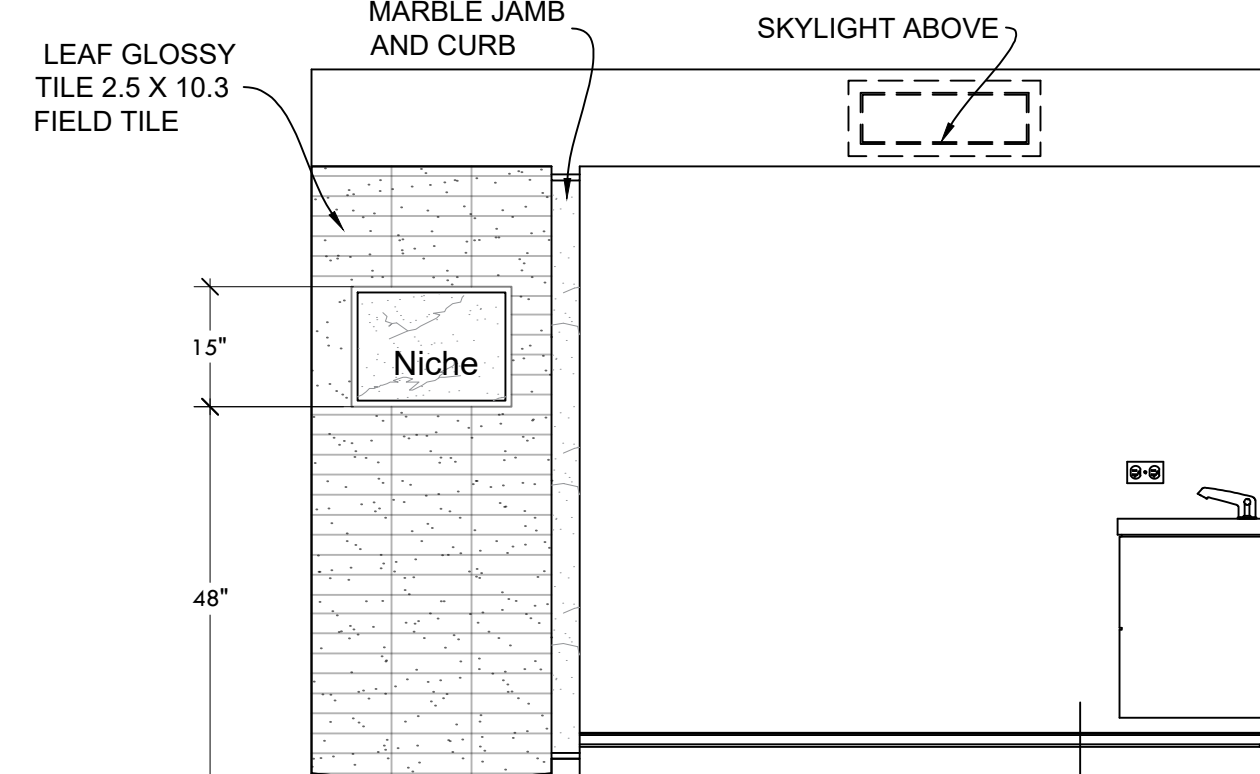
4 ATTIC-SITTING ROOM
Scale: 1/2" = 1'-0"



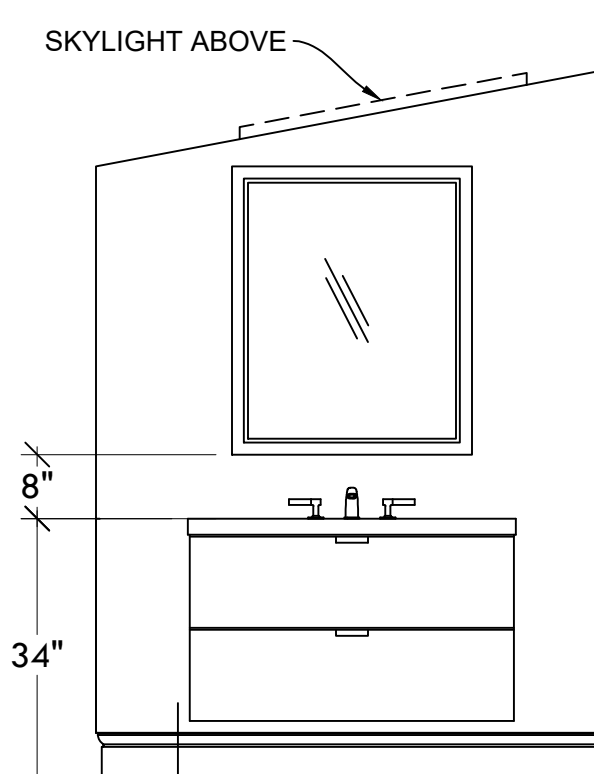
UPPER LEVEL-BATHROOM
Scale: 3/8" = 1'-0"



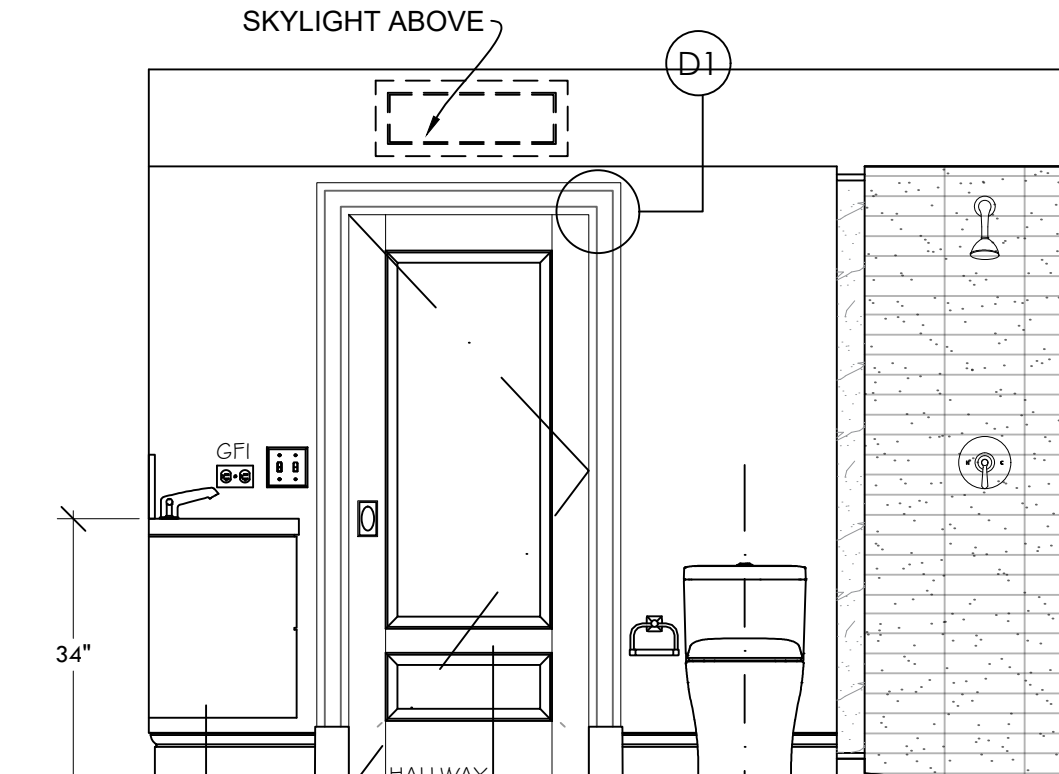
5 UPPER LEVEL-BATHROOM
Scale: 1/2" = 1'-0"



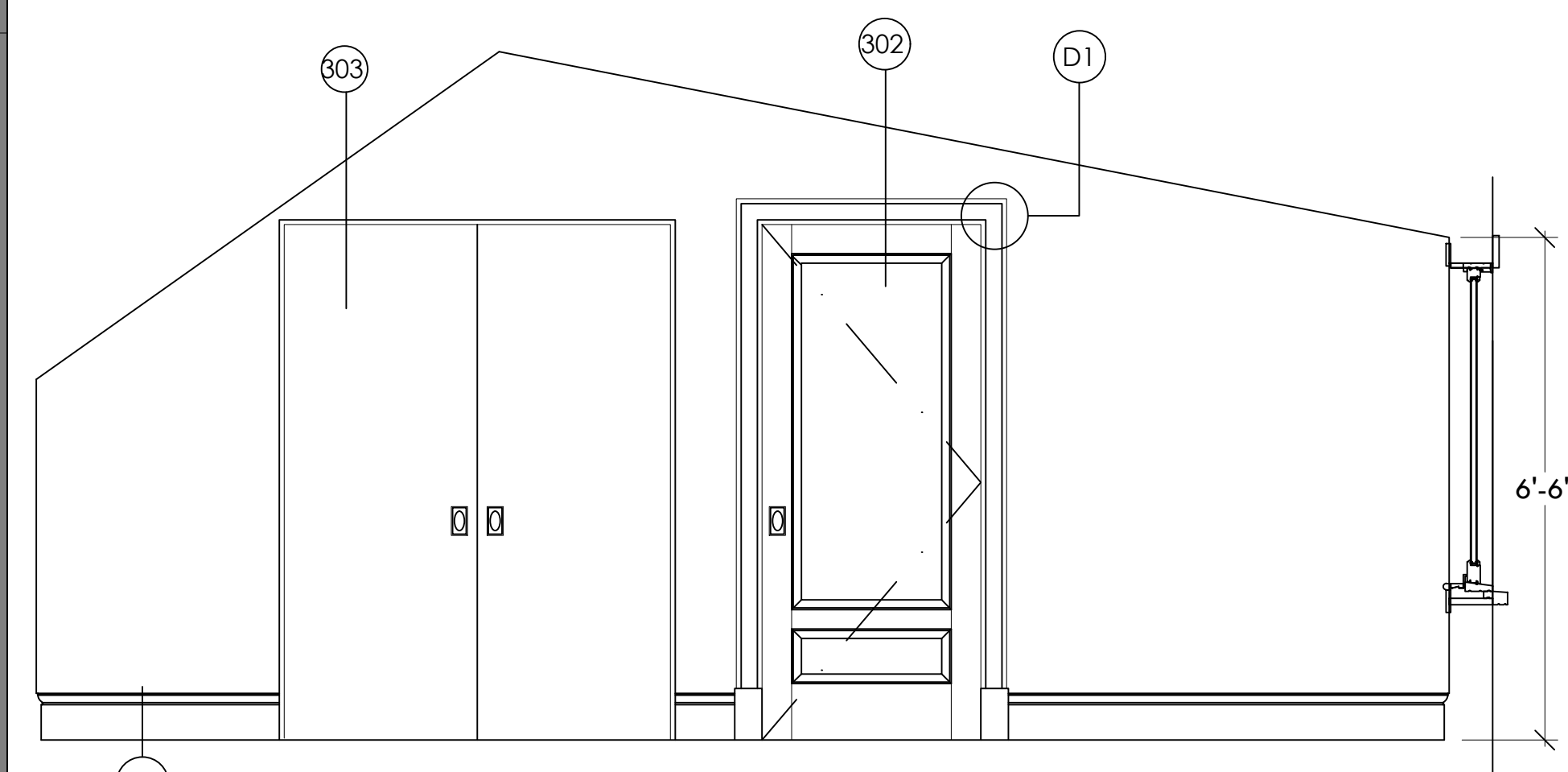
6 UPPER LEVEL-BATHROOM
Scale: 1/2" = 1'-0"



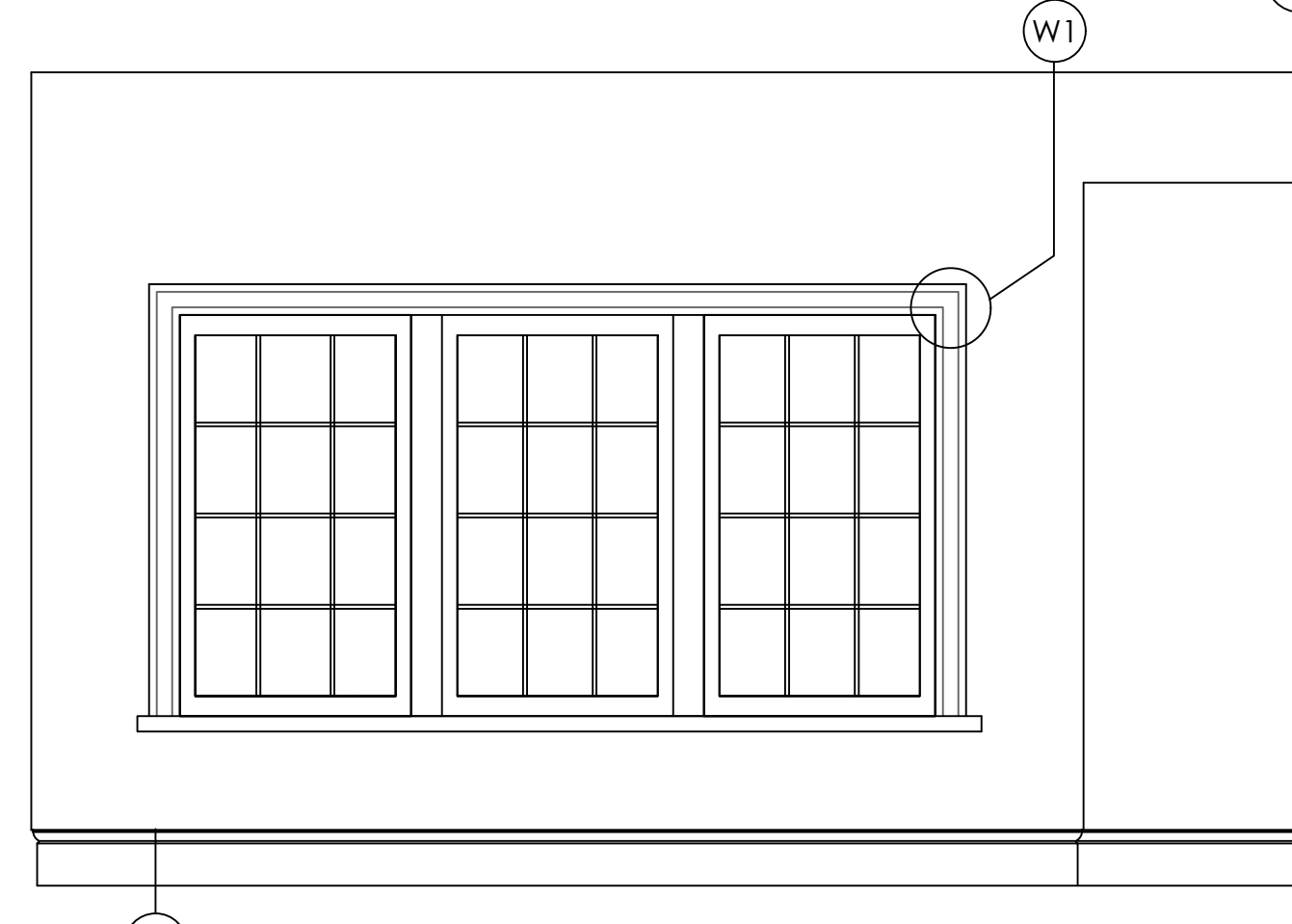
7 UPPER LEVEL-BATHROOM
Scale: 1/2" = 1'-0"



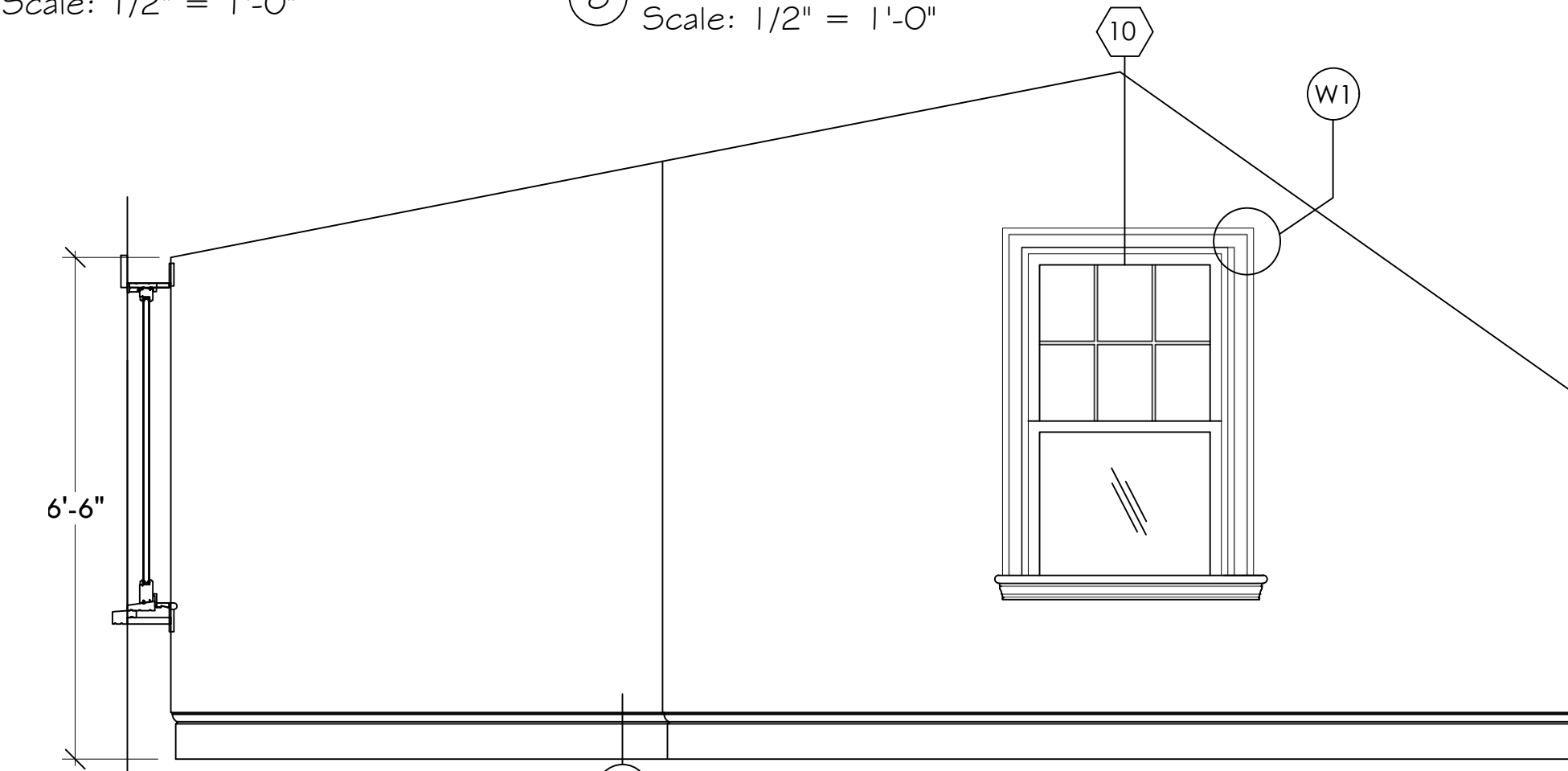
8 UPPER LEVEL-BATHROOM
Scale: 1/2" = 1'-0"



9 ATTIC-BEDROOM
Scale: 1/2" = 1'-0"



10 ATTIC-BEDROOM
Scale: 1/2" = 1'-0"



11 ATTIC-BEDROOM
Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
ATTIC - INTERIOR ELEVATIONS

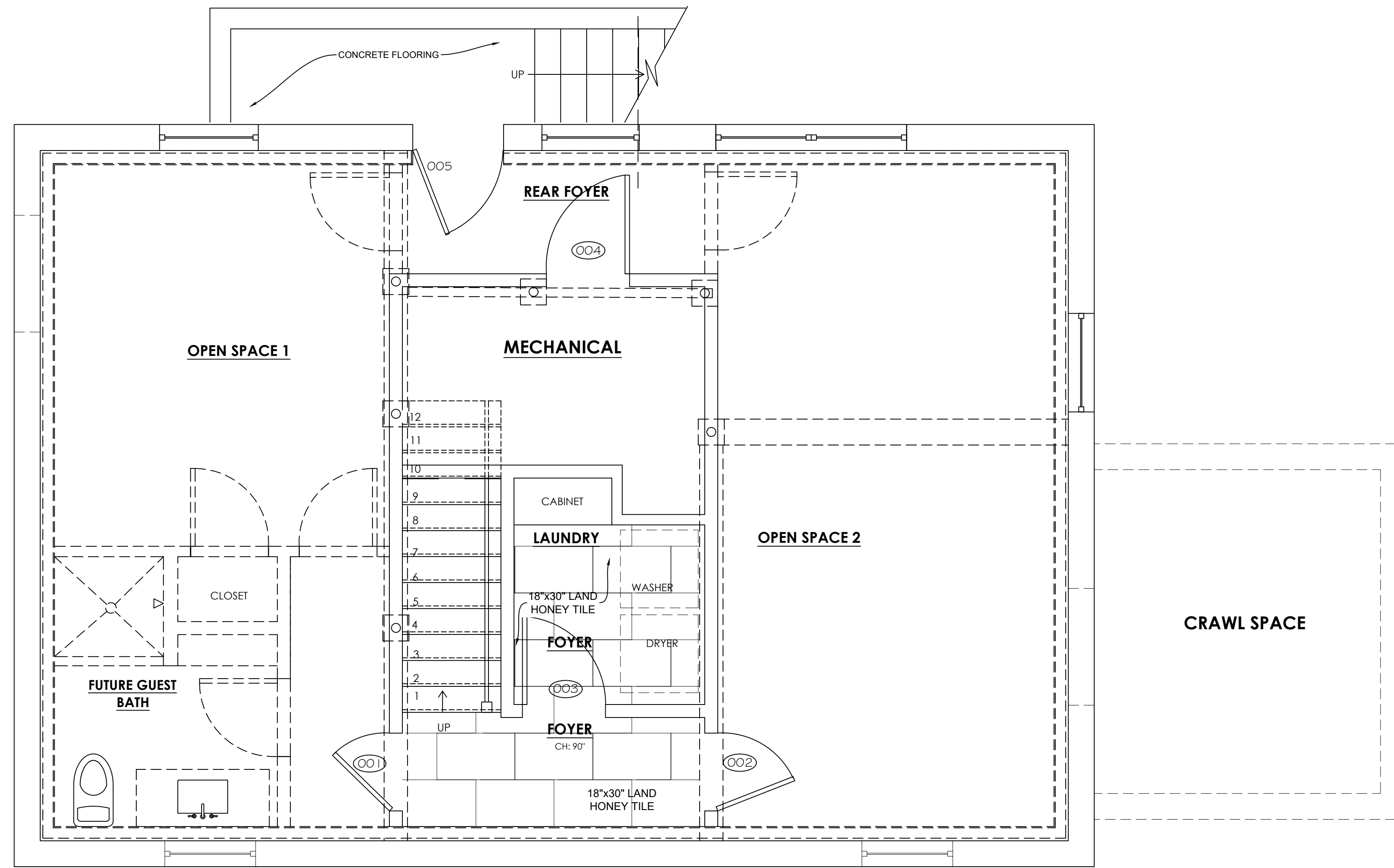
Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

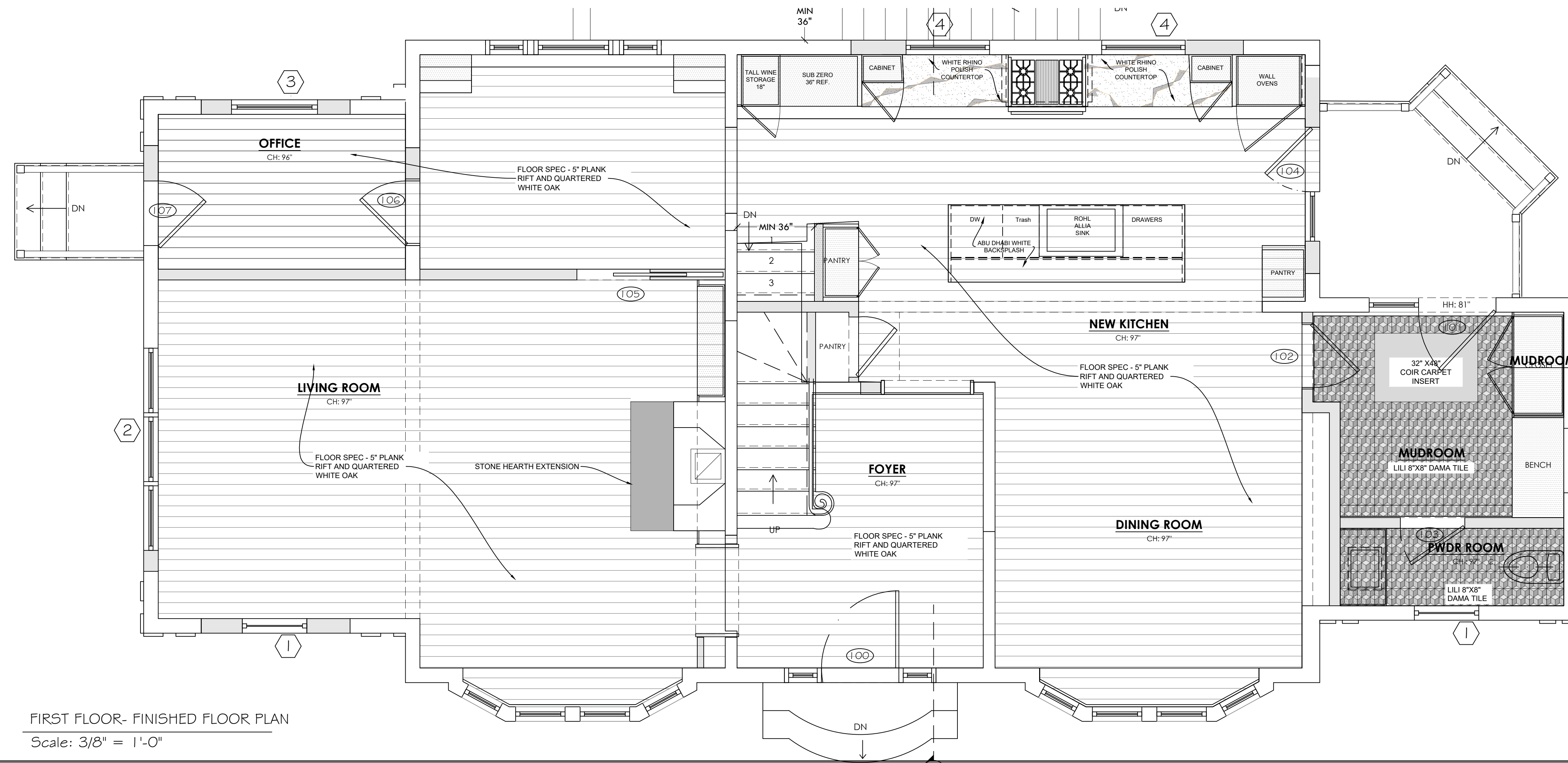
143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

I-207



BASEMENT- FINISHED FLOOR PLAN
Scale: 3/8" = 1'-0"



FIRST FLOOR- FINISHED FLOOR PLAN
Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. # DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
BASEMENT AND FIRST
FLOOR - FINISHED FLOOR
PLAN

Issue Date:
August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-400

Page No. 24 of 33

PRELIMINARY
NOT FOR CONSTRUCTION

WINDOW SCHEDULE

KEY	UNIT TYPE	ROUGH OPENING	DIMENSION	MODEL #	QNTY	HEAD HEIGHT	TYPE	REMARKS		FLOOR	ROOM
1	SINGLE DOUBLE HUNG	30 1/2" X 72 1/4"	29 1/2" X 71 3/4"	ELDH 3072	2	SEE INT. ELEV.		NEW SINGLE D/H WINDOW		1ST FL	POWDER ROOM; LIVING ROOM
2	TRIPLE DOUBLE HUNG	90 1/2" X 72 1/4"	89 1/2" X 71 3/4"	ELDH 3072 - 3 MULL	1	SEE INT. ELEV.		NEW TRIPLE D/H WINDOW		1ST FL	LIVING ROOM
3	SINGLE CASEMENT	41" X 53 5/8"	40" X 53 1/8"	UAC4054 E	1			NEW SINGLE CASEMENT WINDOW		1ST FL	OFFICE
4	SINGLE CASEMENT	37" X 53 5/8"	36" X 53 5/8"	UAC3654 E	2			NEW SINGLE CASEMENT WINDOW		1ST FL	KITCHEN
5	DOUBLE DOUBLE HUNG	61" X 52 1/4"	59" X 51 3/4"	ELDH 3052 - 2 MULL	1			NEW DOUBLE D/H WINDOW		2ND FL	MASTER BEDROOM
6	SINGLE DOUBLE HUNG	30 1/2" X 52 1/4"	29 1/4" X 39 1/2"	ELDH 3052 - TEMPERED	2			NEW SINGLE D/H WINDOW - TEMPERED	SQUARE STICKING CASEMENT	2ND FL	MASTER BATHROOM
7	DOUBLE CASEMENT	58" X 53 5/8"	57" X 53 1/8"	UCA2854 E - 2 MULL	2			NEW DOUBLE CASEMENT WINDOW		3RD FL	SITTING ROOM
8	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E - TEMP.	1			NEW SINGLE CASEMENT WINDOW - TEMPERED		3RD FL	BATHROOM
9	TRIPLE CASEMENT	87" X 53 5/8"	86" X 53 1/8"	UCA2854 E - 3 MULL	1			NEW TRIPLE CASEMENT WINDOW		3RD FL	BEDROOM
10	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E	1			NEW SINGLE CASEMENT WINDOW		3RD FL	BEDROOM

Note for all windows: black clad exterior and Paint grade finish for interior

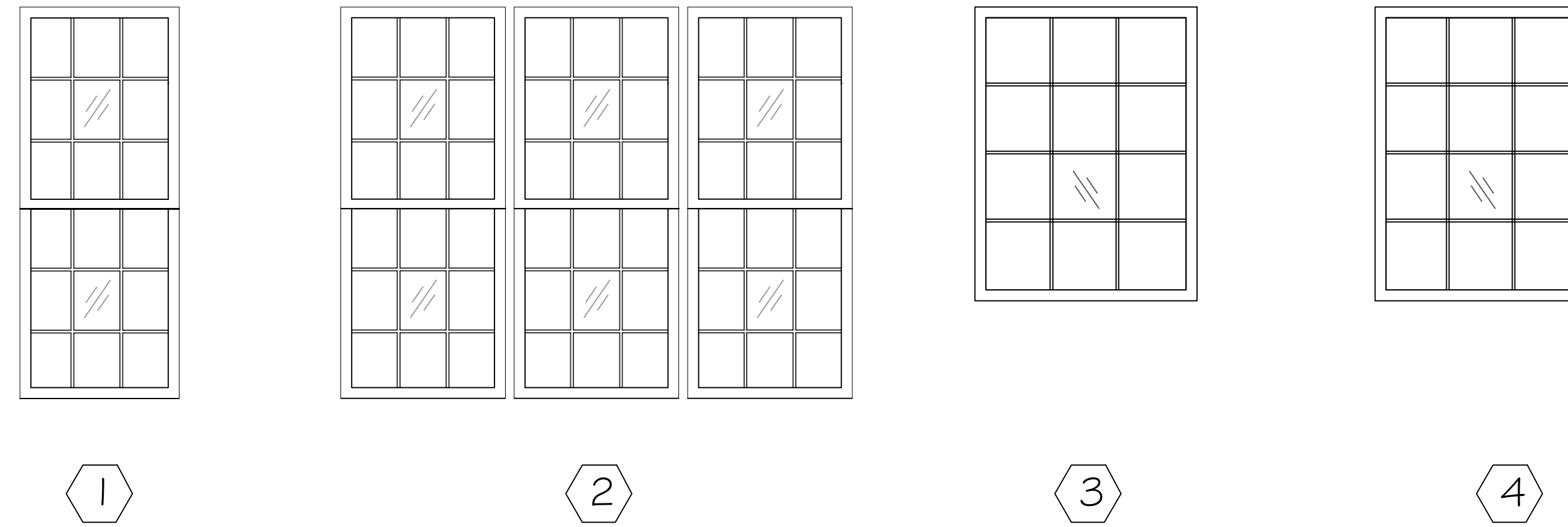
WINDOW NOTES

ALL WINDOWS SPECIFIED ULTIMATE FROM MARVIN WOOD-ULTREX SERIES, U.N.O.
 EXTERIOR COLOR: COCONUT CREAMT CLAD EXTERIOR
 INSECT SCREEN (FULL SIZE) @ ALL OPERABLE WINDOWS
 PRIMED WHITE INTERIOR FINISH
 7/8" SIMULATED DIVIDED LIGHTS WITH SPACER BARS
 PER ELEVATION LAYOUTS
 CONFIRM HARDWARE SELECTION AND FINISH WITH AMERICA DURAL

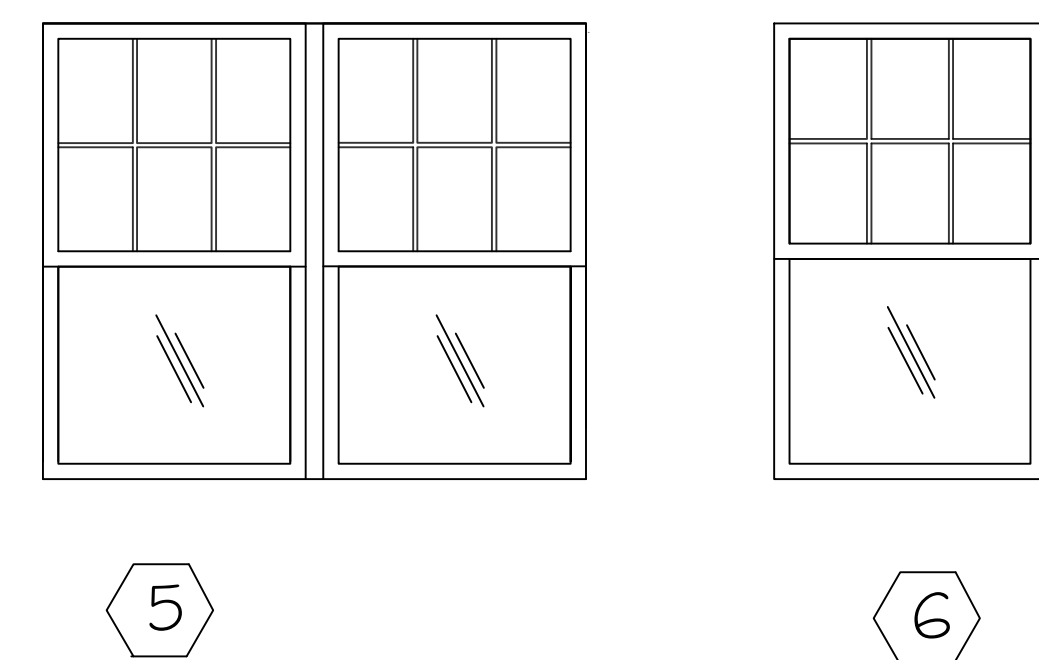
IF APPLICABLE, INSTALL WINDOWS PER BUILDING CODE IMPACT REQUIREMENTS (CONFIRM MPH REQUIREMENTS W/ LOCAL BUILDING CODES)

SUBMIT FINAL WINDOW PACKAGE TO AMERICA DURAL FOR REVIEW PRIOR TO PLACING ORDER

WINDOW TYPES FIRST FLOOR

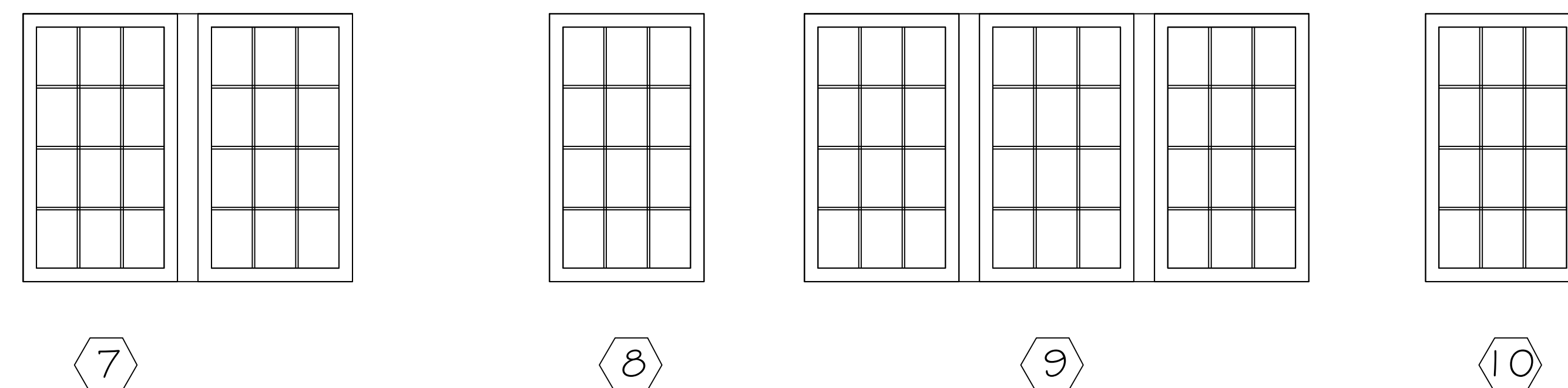


SECOND FLOOR



TEMPERED

THIRD FLOOR



TEMPERED

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
T: (617) 661-4100 | F: (617) 661-4145

LEGEND:

NO. REVISION DATE

JOB NAME AND ADDRESS:

SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

WINDOW SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

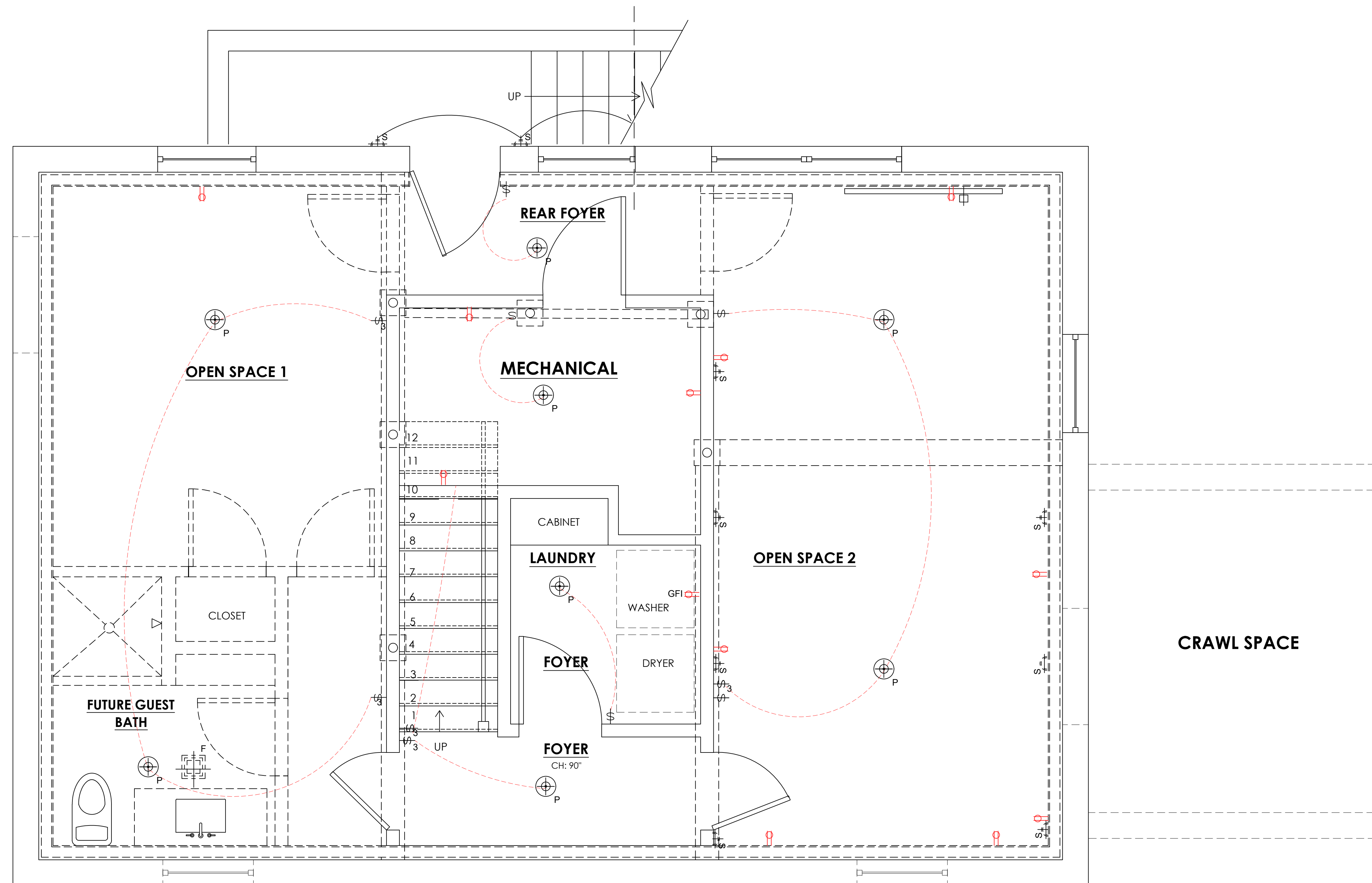
Sheet No.

A-602

This drawing is the property of AMERICA DURAL, INC.

Page No.

33 of 33



BASEMENT- ELECTRICAL & LIGHTING PLAN
 Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID ESTIMATES
 ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- NEW DUPLEX OUTLET
- NEW GFI OUTLET
- NEW DUPLEX OUTLET WITH USB PLUG
- NEW RECESSED CLOCK OUTLET
- NEW PHONE CONNECTION
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- NEW HDMI CONNECTION
- NEW RECESSED FIXTURE
- NEW RECESSED FIXTURE moisture protected
- NEW SURFACE MOUNT LIGHT
- WALL SCONCE (see elevations for height)
- LED STRIP LIGHTS
- LED SPOT LIGHTS
- EXHAUST FAN IN THE BATHROOMS
- SINGLE POLE SWITCH
- THREE WAY SWITCH

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 1/2" = 1'-0"

Drawing Title:
 BASEMENT - LIGHTING & ELECTRICAL PLAN

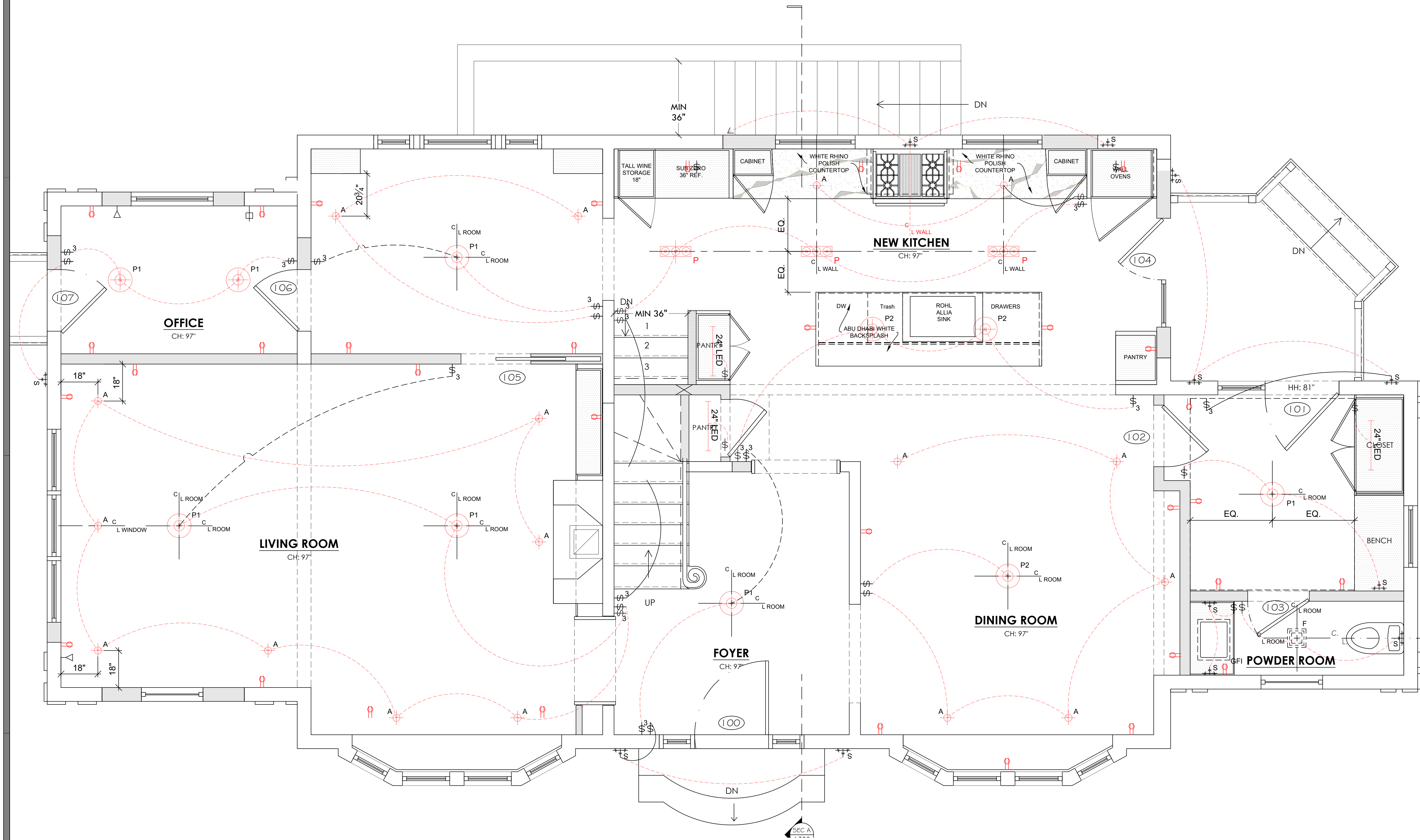
Issue Date:
 August 29, 2022

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.

E-100



FIRST FLOOR - ELECTRICAL & LIGHTING PLAN
 Scale: 1/2" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

- LEGEND:**
- NEW DUPLEX OUTLET
 - NEW GFI OUTLET
 - NEW DUPLEX OUTLET WITH USB PLUG
 - NEW RECESSED CLOCK OUTLET
 - NEW PHONE CONNECTION
 - NEW ETHERNET OUTLET
 - NEW CABLE OUTLET
 - NEW HDMI CONNECTION
 - NEW RECESSED FIXTURE
 - NEW RECESSED FIXTURE moisture protected
 - NEW THREE GANG WAC LIGHT
 - NEW SURFACE MOUNT LIGHT
 - NEW PENDANT LIGHT
 - WALL SCONCE (see elevations for height)
 - LED STRIP LIGHTS
 - LED SPOT LIGHTS
 - EXHAUST FAN IN THE BATHROOMS
 - SINGLE POLE SWITCH
 - THREE WAY SWITCH

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE
Susana	03232022
J. Sousa	05012022
J. Sousa	08182022

REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 1/2" = 1'-0"

Drawing Title:
 FIRST FLOOR - LIGHTING & ELECTRICAL PLAN

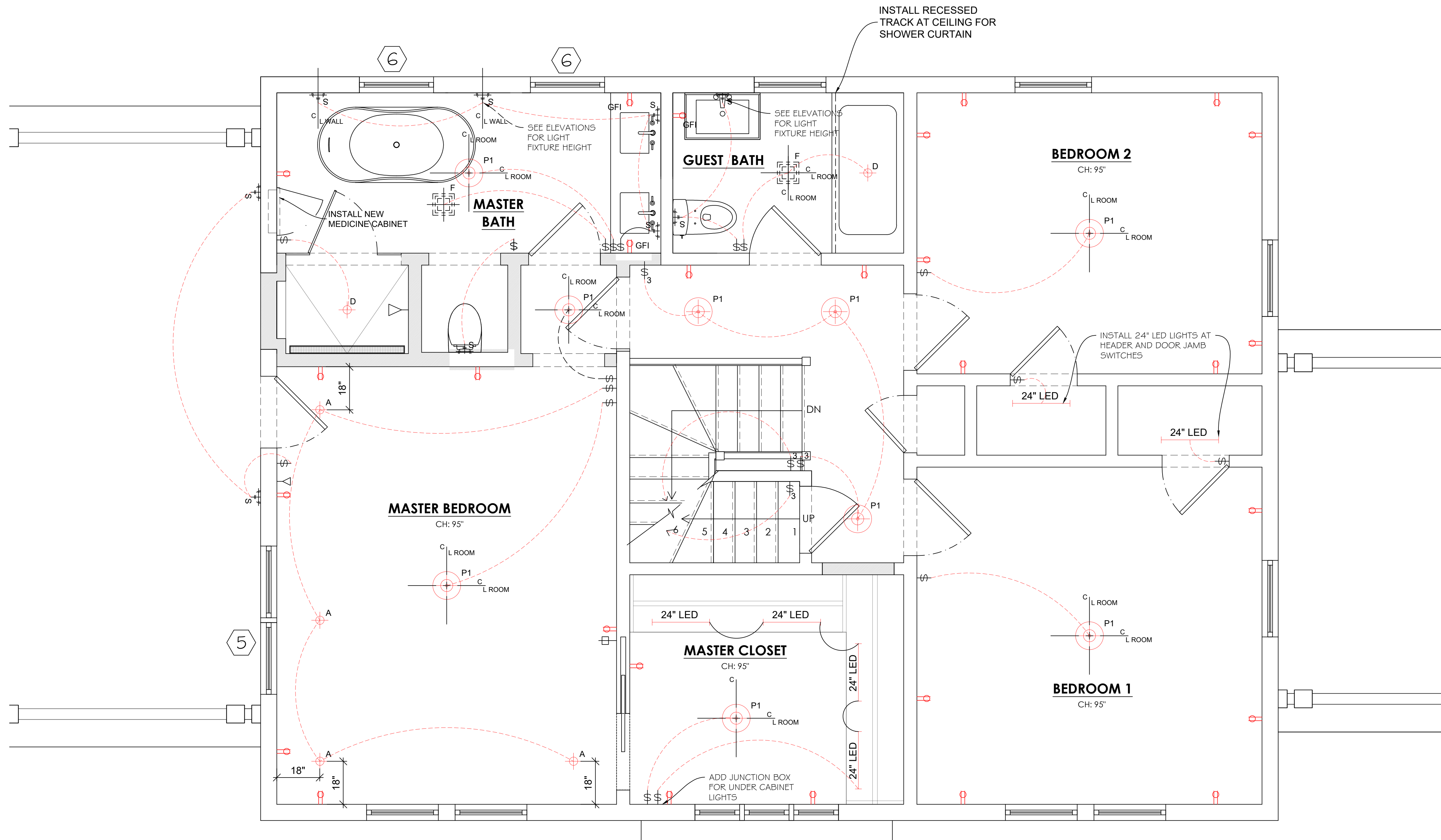
Issue Date:
 August 29, 2022

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.

E-101



SECOND FLOOR - ELECTRICAL & LIGHTING PLAN
 Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. ~~is~~ DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

- NEW DUPLEX OUTLET
- NEW GFI OUTLET
- NEW DUPLEX OUTLET WITH USB PLUG
- NEW RECESSED CLOCK OUTLET
- NEW PHONE CONNECTION
- NEW ETHERNET OUTLET
- NEW CABLE OUTLET
- NEW HDMI CONNECTION
- NEW RECESSED FIXTURE
- NEW RECESSED FIXTURE moisture protected
- NEW SURFACE MOUNT LIGHT
- WALL SCONCE (see elevations for height)
- LED STRIP LIGHTS
- LED SPOT LIGHTS
- EXHAUST FAN IN THE BATHROOMS
- SINGLE POLE SWITCH
- THREE WAY SWITCH

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
 SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 1/2" = 1'-0"

Drawing Title:
 SECOND FLOOR - ELECTRICAL
 & LIGHTING PLAN

Issue Date:
 August 29, 2022

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 661-4100 FAX (617) 661-4145

Sheet No.

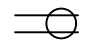


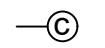
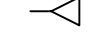

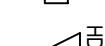

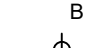
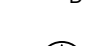
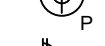
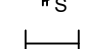


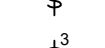


E-102

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. @ DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

-  NEW DUPLEX OUTLET
-  NEW GFI OUTLET
-  NEW DUPLEX OUTLET WITH USB PLUG
-  NEW RECESSED CLOCK OUTLET
-  NEW PHONE CONNECTION
-  NEW ETHERNET OUTLET
-  NEW CABLE OUTLET
-  NEW HDMI CONNECTION
-  NEW RECESSED FIXTURE
-  NEW RECESSED FIXTURE moisture protected
-  NEW SURFACE MOUNT LIGHT
-  WALL SCONCE (see elevations for height)
-  LED STRIP LIGHTS
-  LED SPOT LIGHTS
-  EXHAUST FAN IN THE BATHROOMS
-  SINGLE POLE SWITCH
-  THREE WAY SWITCH

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
1/2" = 1'-0"

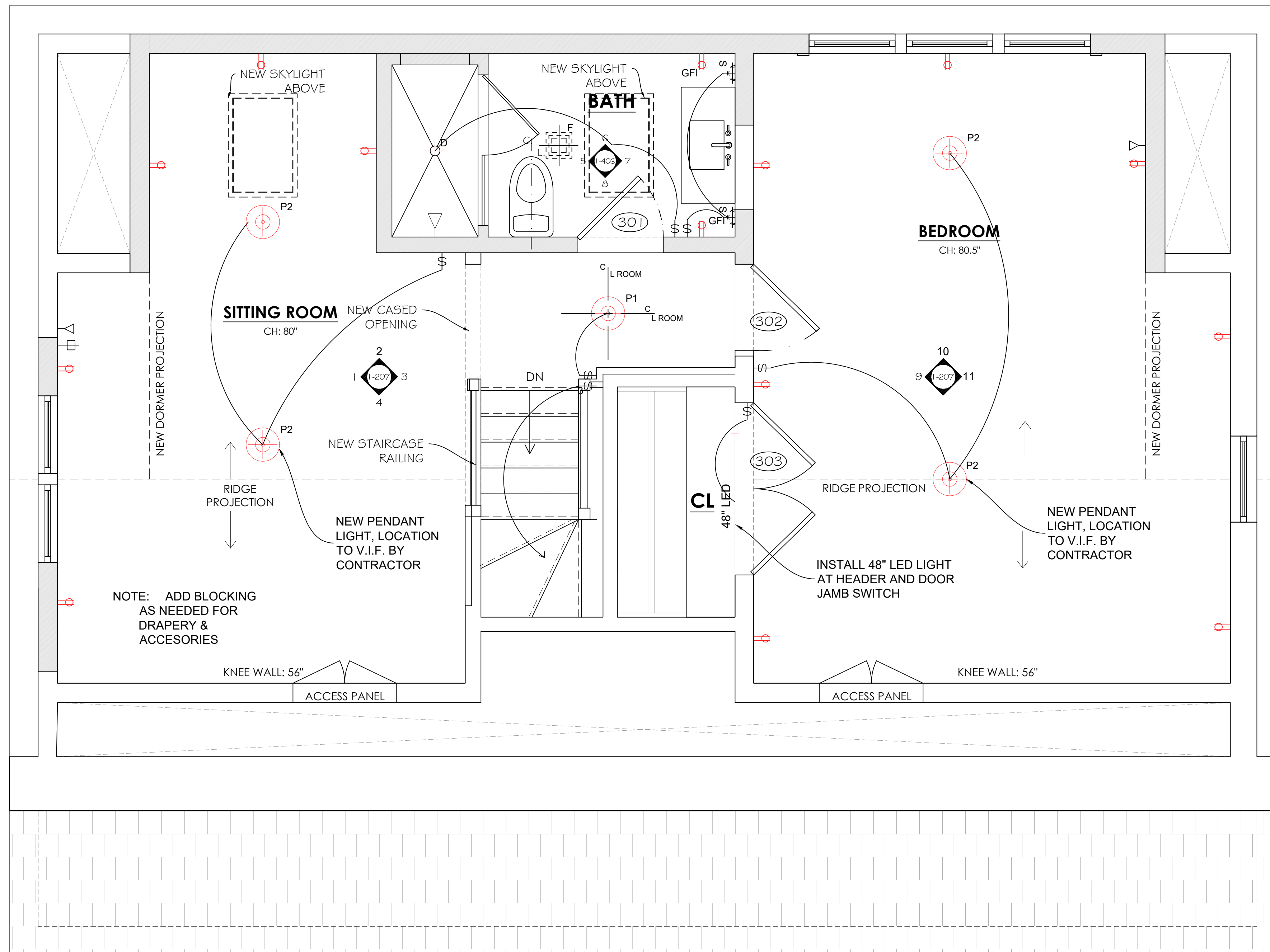
Drawing Title:
ATTIC- ELECTRICAL & LIGHTING PLAN

Issue Date:
August 29, 2022

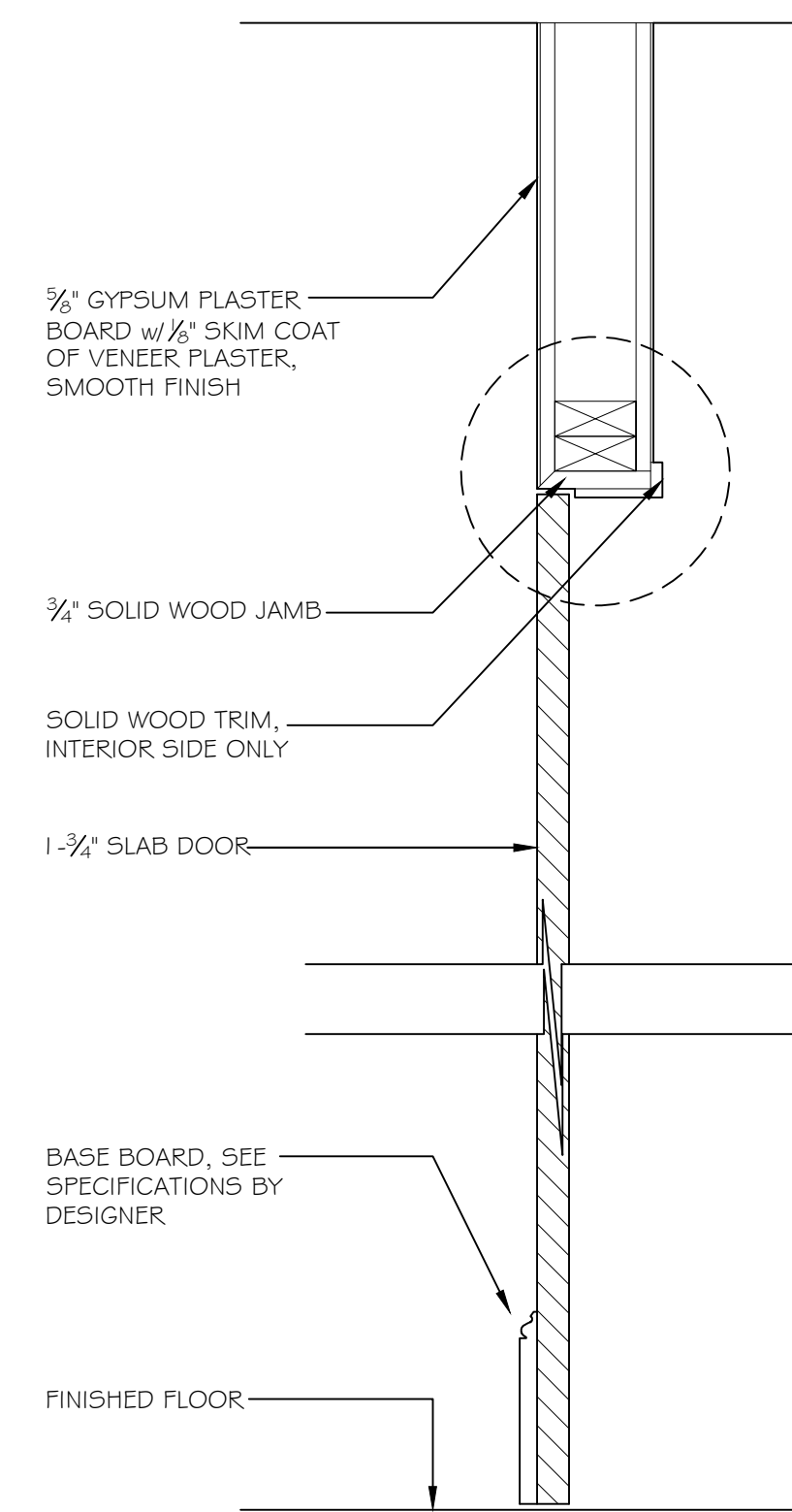
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

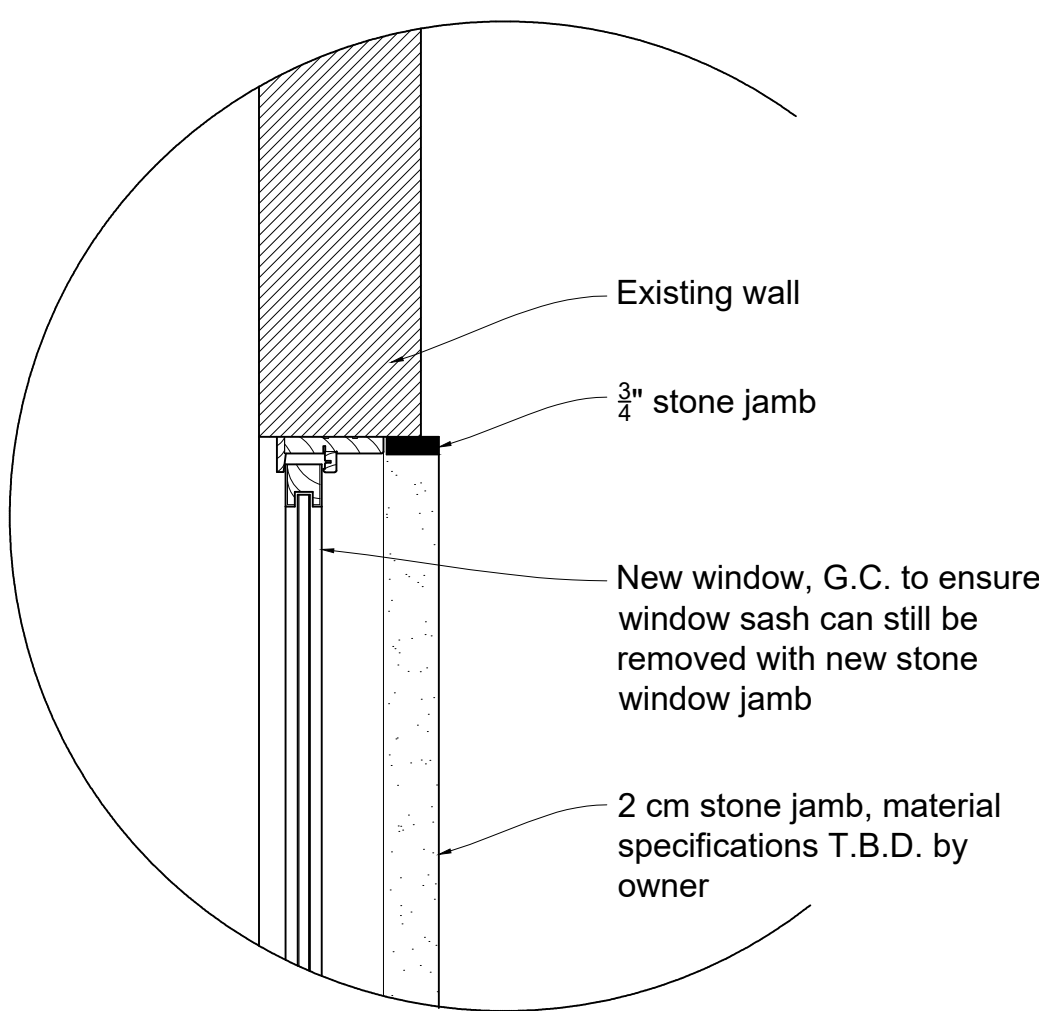
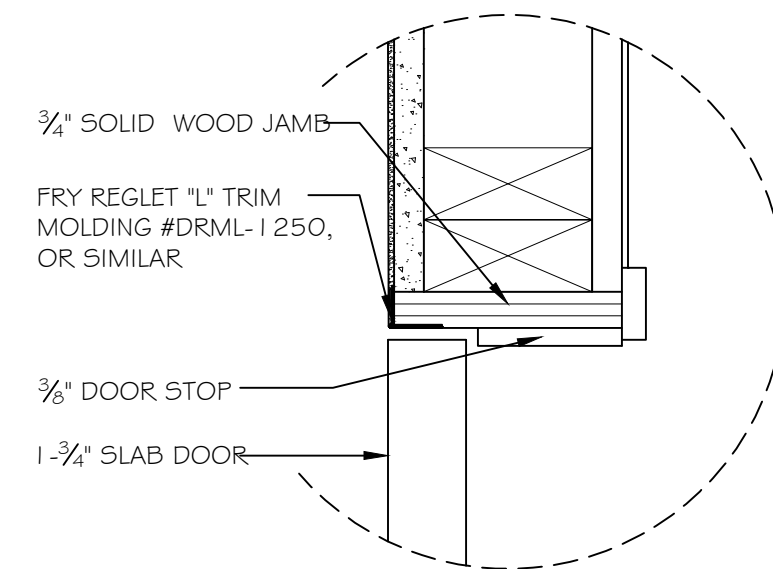
Sheet No.
E-103



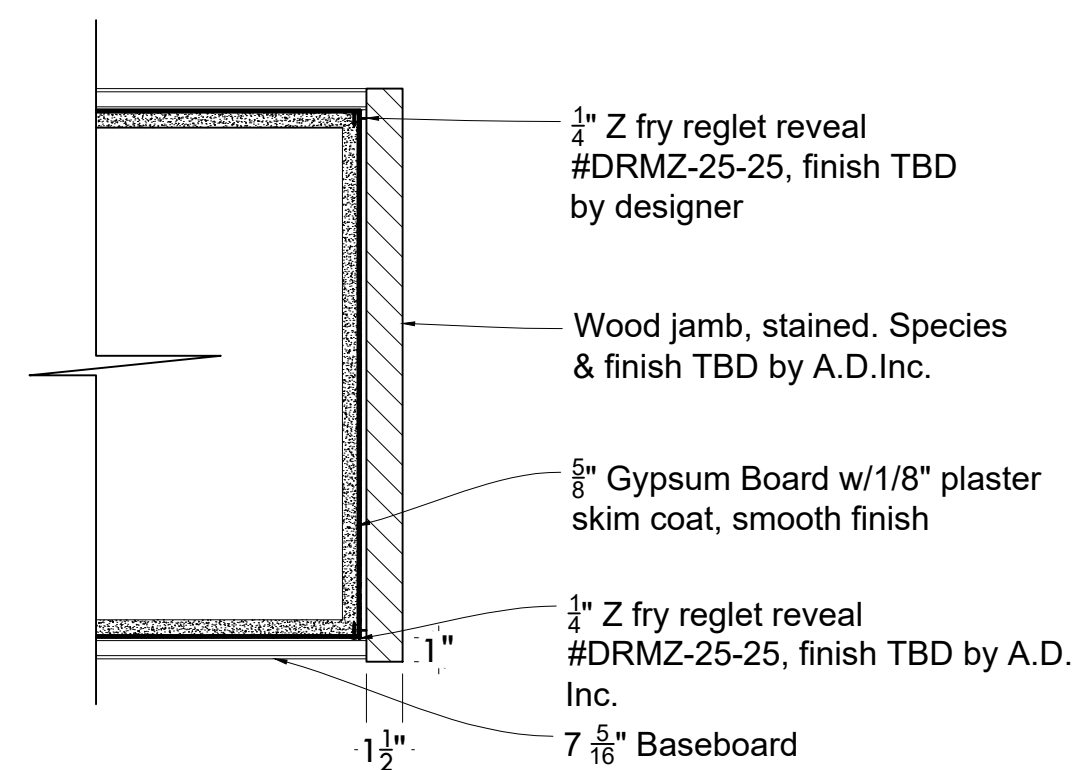
ATTIC - ELECTRICAL & LIGHTING PLAN
Scale: 3/8" = 1'-0"



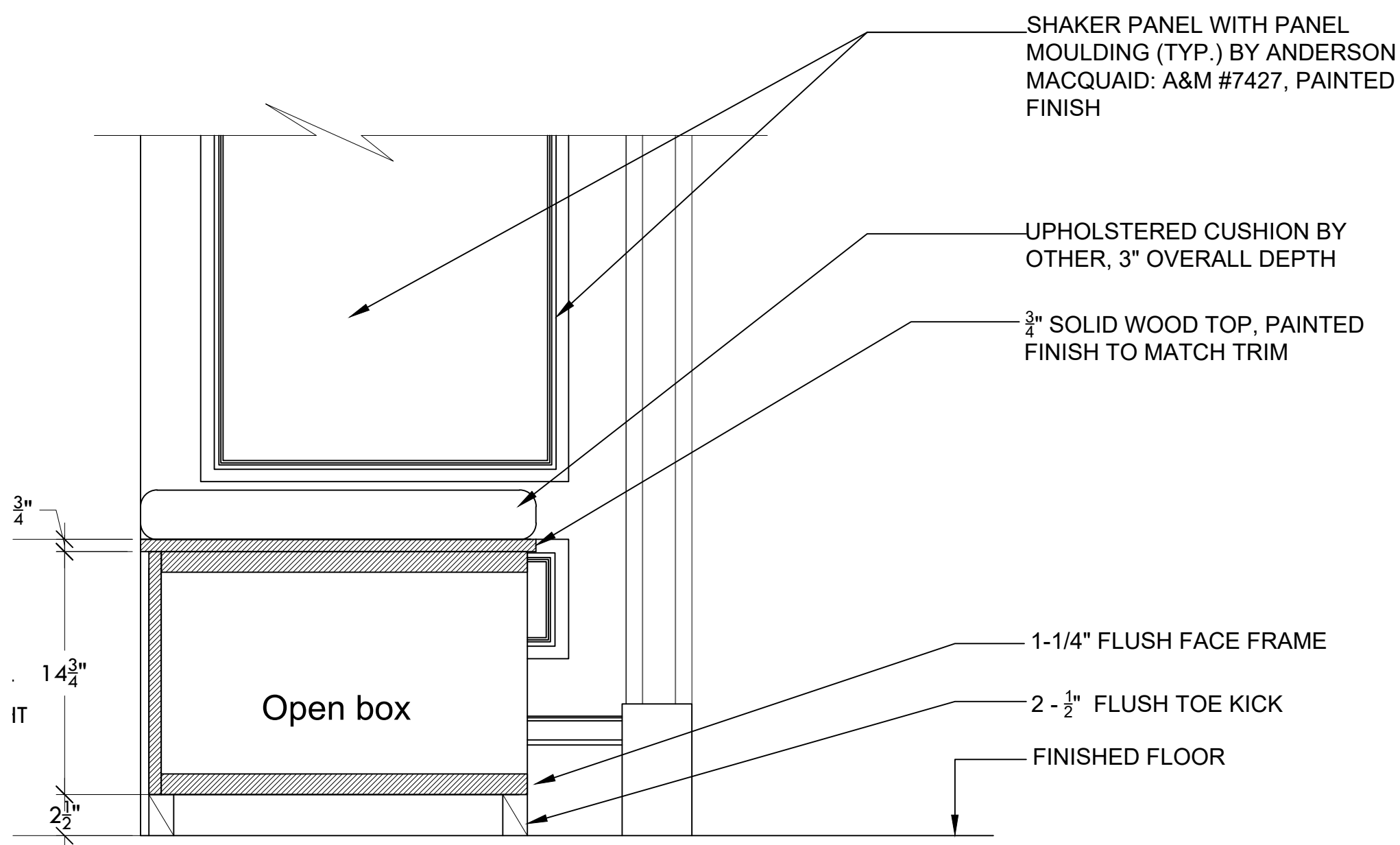
1 TYPICAL JIB DOOR DETAIL
Scale: 1-1/2" = 1'-0"



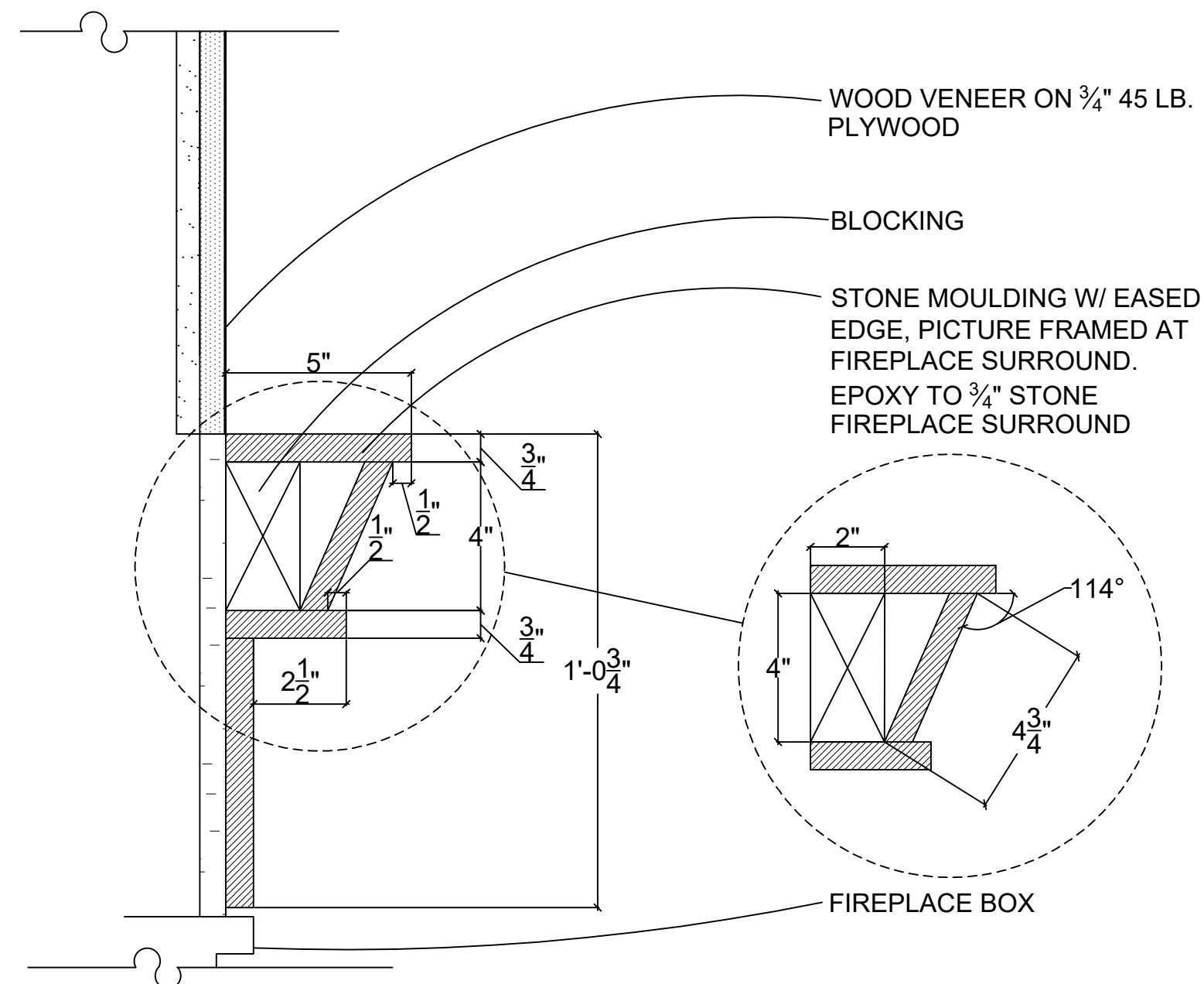
3 WINDOW EXTENSION JAMB DETAIL
Scale: 1 1/2" = 1'-0"



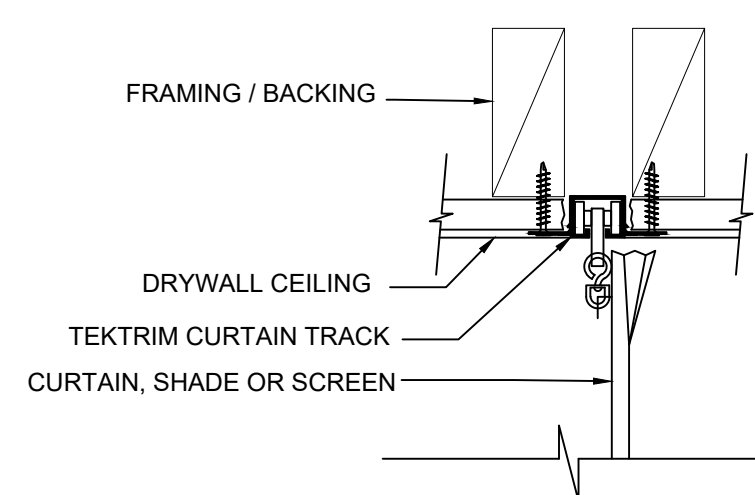
4 EXTENSION JAMB DETAIL
Scale: 1 1/2" = 1'-0"



2 WINDOW SEAT DETAIL
Scale: 1 1/2" = 1'-0"



5 DETAIL @ STONE FIREPLACE SURROUND
Scale: 3" = 1'-0"



6 EXTENSION JAMB DETAIL
Scale: 3" = 1'-0"

7 CASING DETAIL
Scale: 3" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

PRELIMINARY
NOT FOR CONSTRUCTION

DRAFTER	DATE		
Susana	03232022		
J. Sousa	05012022		
J. Sousa	08182022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
As Noted
Drawing Title:
CONSTRUCTION DETAILS

Issue Date:
DATE August 29, 2022

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-500

Page No. 30 of 33

EXTERIOR DOOR SCHEDULE

MARK	DOOR SIZE	QTY	TYPE	L/R	LOCATION	MANUFACTURER	MODEL	DESCRIPTION	DOOR SPECIFICATIONS
005	36" x 80"	1			Entry to Lower level				
100	36" x 80"	1			Main entry				With 2 side lights
101	36" X 80"	1			Back entry to Mudroom				With 1 side light
104	53" X 80"	1			Entry to Kitchen				Double door
107	30" X 80"	1			Entry to Office				
204	30" X 80"	1			Master Bedroom to Balcony				

EXTERIOR HARDWARE SCHEDULE

MARK	MANUFACTURER	MODEL	FINISH	DESCRIPTION	HARDWARE SPECIFICATIONS
008		TBD	TBD		
100		TBD	TBD		
101		TBD	TBD		
104		TBD	TBD		

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
T: (617) 661-4100 | F: (617) 661-4145

LEGEND:

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISION	DATE

JOB NAME AND ADDRESS:

SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

EXTERIOR DOOR SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

Sheet No.

A-600

This drawing is the property of AMERICA DURAL, INC.

Page No.
31 of 33

INTERIOR DOOR SCHEDULE

MARK	DOOR SIZE	QTY	TYPE	L/R	LOCATION	MANUFACTURER	MODEL	DESCRIPTION	DOOR SPECIFICATIONS
001	30" x 72"	1			Hallway to Foyer	Marvin	Trustyle - TS2210	Interior panel door	
002	30" x 72"	1			Hallway to Bath	Marvin	Trustyle - TS2210	Interior panel door	
003	30" x 72"	1			Hallway to Guest Bedroom	Marvin	Trustyle - TS2210	Interior panel door	
004	30" x 72"	1			Guest Bedroom to Closet	Marvin	Trustyle - TS2210	Interior panel door	
102	30" X 80"	1			Mudroom to Dining Room	Marvin	Trustyle - TS2210	Interior panel door	
103	30" X 80"	1			Mudroom to Bathroom	Marvin	Trustyle - TS2210	Interior panel door	
105	34" X 80"	1			Sitting Area to Living Room			Pocket door	
106	30" X 80"	1			Sitting Area to office	Marvin	Trustyle - TS2210	Interior panel door	
200	30" X 80"	1			Hallway to Bathroom	Marvin	Trustyle - TS2210	Interior panel door	
201	30" X 80"	1			Hallway to Master Bedroom	Marvin	Trustyle - TS2210	Interior panel door	
202	30" X 80"	1			Master Bedroom to Master Bath	Marvin	Trustyle - TS2210	Interior panel door	
203	32" X 80"	1			Master Bedroom to Master Closet			Pocket door	
301	30" X 72"	1			Hallway to Bathroom	Marvin	Trustyle - TS2210	Interior panel door	
302	30" X 72"	1			Bathroom door	Marvin	Trustyle - TS2210	Interior panel door	
303	60" X 72"	1			Bedroom door			Double Jib door	

INTERIOR HARDWARE SCHEDULE

MARK	MANUFACTURER	MODEL	FINISH	DESCRIPTION	HARDWARE SPECIFICATIONS
		TBD	TBD		
		TBD	TBD		
		TBD	TBD		
		TBD	TBD		

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
T: (617) 661-4100 | F: (617) 661-4145

LEGEND:

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	REVISION	DATE

JOB NAME AND ADDRESS:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:
INTERIOR DOOR SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

Sheet No.

A-601

This drawing is the property of AMERICA DURAL, INC.

Page No.
32 of 33

WINDOW SCHEDULE

KEY	UNIT TYPE	ROUGH OPENING	DIMENSION	MODEL #	QNTY	HEAD HEIGHT	TYPE	REMARKS		FLOOR	ROOM
1	SINGLE DOUBLE HUNG	30 1/2" X 72 1/4"	29 1/2" X 71 3/4"	ELDH 3072	2	SEE INT. ELEV.		NEW SINGLE D/H WINDOW		1ST FL	POWDER ROOM; LIVING ROOM
2	TRIPLE DOUBLE HUNG	90 1/2" X 72 1/4"	89 1/2" X 71 3/4"	ELDH 3072 - 3 MULL	1	SEE INT. ELEV.		NEW TRIPLE D/H WINDOW		1ST FL	LIVING ROOM
3	SINGLE CASEMENT	41" X 53 5/8"	40" X 53 1/8"	UAC4054 E	1			NEW SINGLE CASEMENT WINDOW		1ST FL	OFFICE
4	SINGLE CASEMENT	37" X 53 5/8"	36" X 53 5/8"	UAC3654 E	2			NEW SINGLE CASEMENT WINDOW		1ST FL	KITCHEN
5	DOUBLE DOUBLE HUNG	61" X 52 1/4"	59" X 51 3/4"	ELDH 3052 - 2 MULL	1			NEW DOUBLE D/H WINDOW		2ND FL	MASTER BEDROOM
6	SINGLE DOUBLE HUNG	30 1/2" X 52 1/4"	29 1/4" X 39 1/2"	ELDH 3052 - TEMPERED	2			NEW SINGLE D/H WINDOW - TEMPERED	SQUARE STICKING CASEMENT	2ND FL	MASTER BATHROOM
7	DOUBLE CASEMENT	58" X 53 5/8"	57" X 53 1/8"	UCA2854 E - 2 MULL	2			NEW DOUBLE CASEMENT WINDOW		3RD FL	SITTING ROOM
8	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E - TEMP.	1			NEW SINGLE CASEMENT WINDOW - TEMPERED		3RD FL	BATHROOM
9	TRIPLE CASEMENT	87" X 53 5/8"	86" X 53 1/8"	UCA2854 E - 3 MULL	1			NEW TRIPLE CASEMENT WINDOW		3RD FL	BEDROOM
10	SINGLE CASEMENT	29" X 53 5/8"	28" X 53 1/8"	UCA2854 E	1			NEW SINGLE CASEMENT WINDOW		3RD FL	BEDROOM

Note for all windows: black clad exterior and Paint grade finish for interior

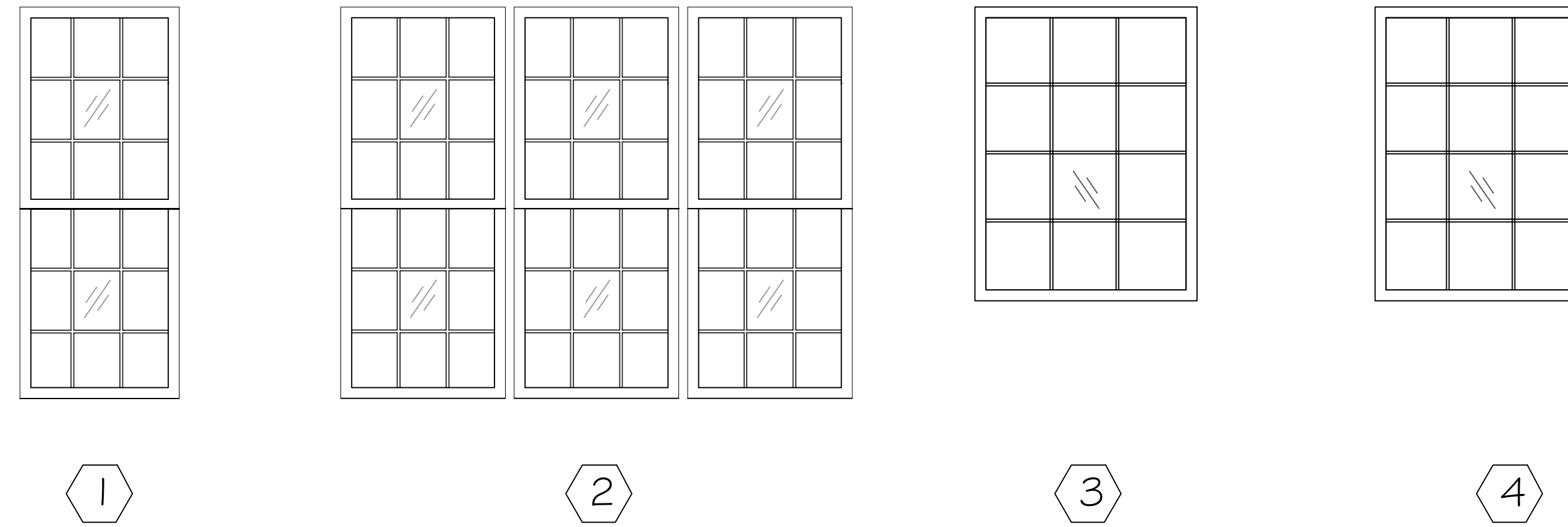
WINDOW NOTES

ALL WINDOWS SPECIFIED ULTIMATE FROM MARVIN WOOD-ULTREX SERIES, U.N.O.
 EXTERIOR COLOR: COCONUT CREAMT CLAD EXTERIOR
 INSECT SCREEN (FULL SIZE) @ ALL OPERABLE WINDOWS
 PRIMED WHITE INTERIOR FINISH
 7/8" SIMULATED DIVIDED LIGHTS WITH SPACER BARS
 PER ELEVATION LAYOUTS
 CONFIRM HARDWARE SELECTION AND FINISH WITH AMERICA DURAL

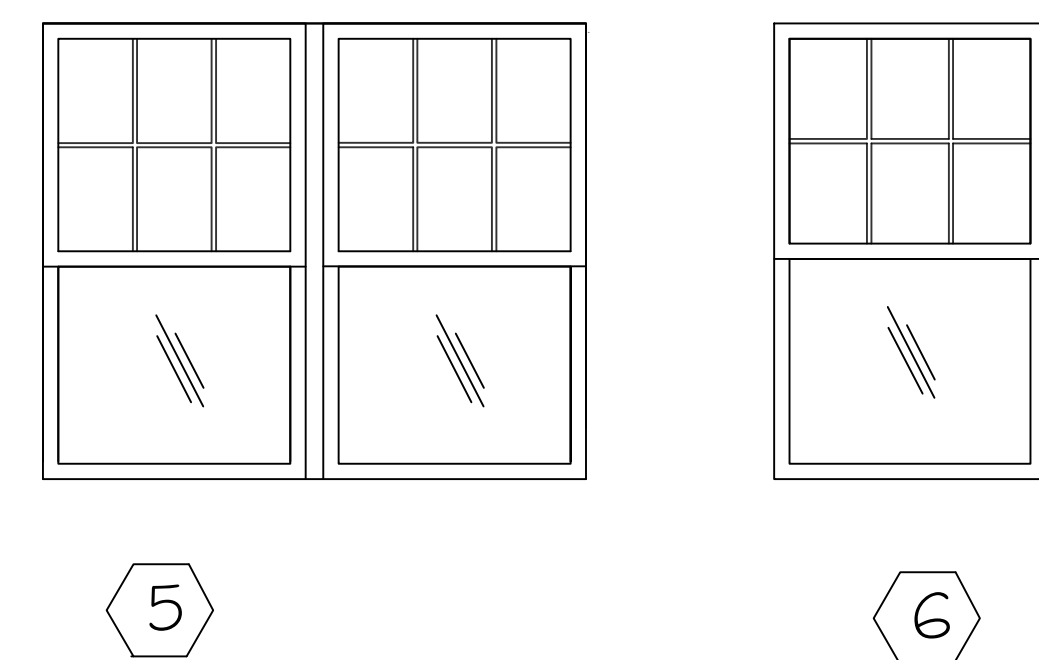
IF APPLICABLE, INSTALL WINDOWS PER BUILDING CODE IMPACT REQUIREMENTS (CONFIRM MPH REQUIREMENTS W/ LOCAL BUILDING CODES)

SUBMIT FINAL WINDOW PACKAGE TO AMERICA DURAL FOR REVIEW PRIOR TO PLACING ORDER

WINDOW TYPES FIRST FLOOR

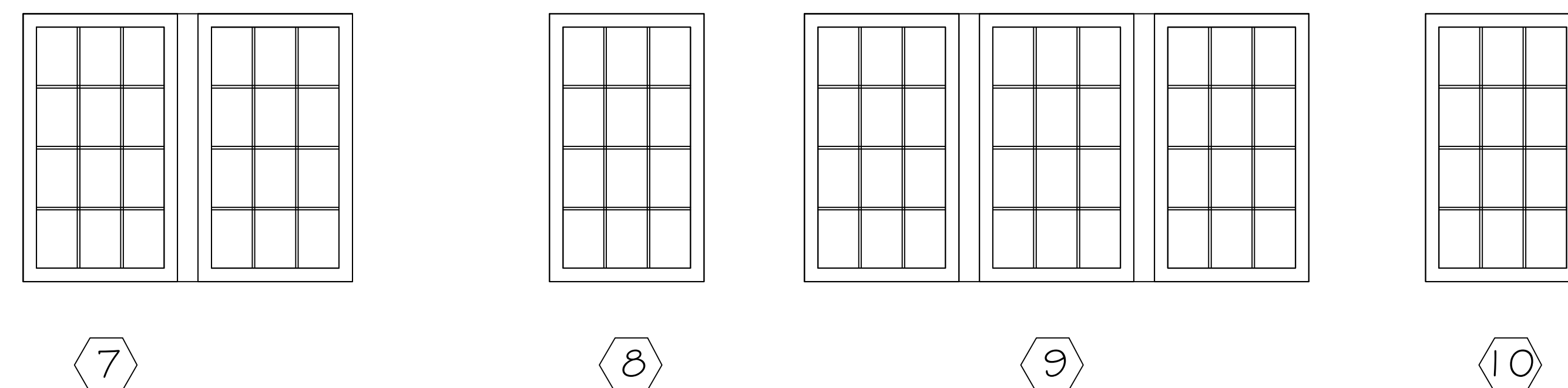


SECOND FLOOR



TEMPERED

THIRD FLOOR



TEMPERED

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
T: (617) 661-4100 | F: (617) 661-4145

LEGEND:

NO. REVISION DATE

JOB NAME AND ADDRESS:

SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

TITLE:

WINDOW SCHEDULE

SCALE:
AS NOTED

ISSUE DATE:
August 29, 2022

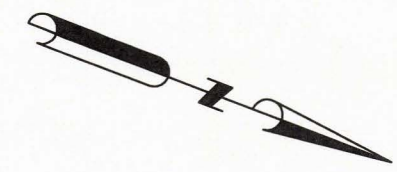
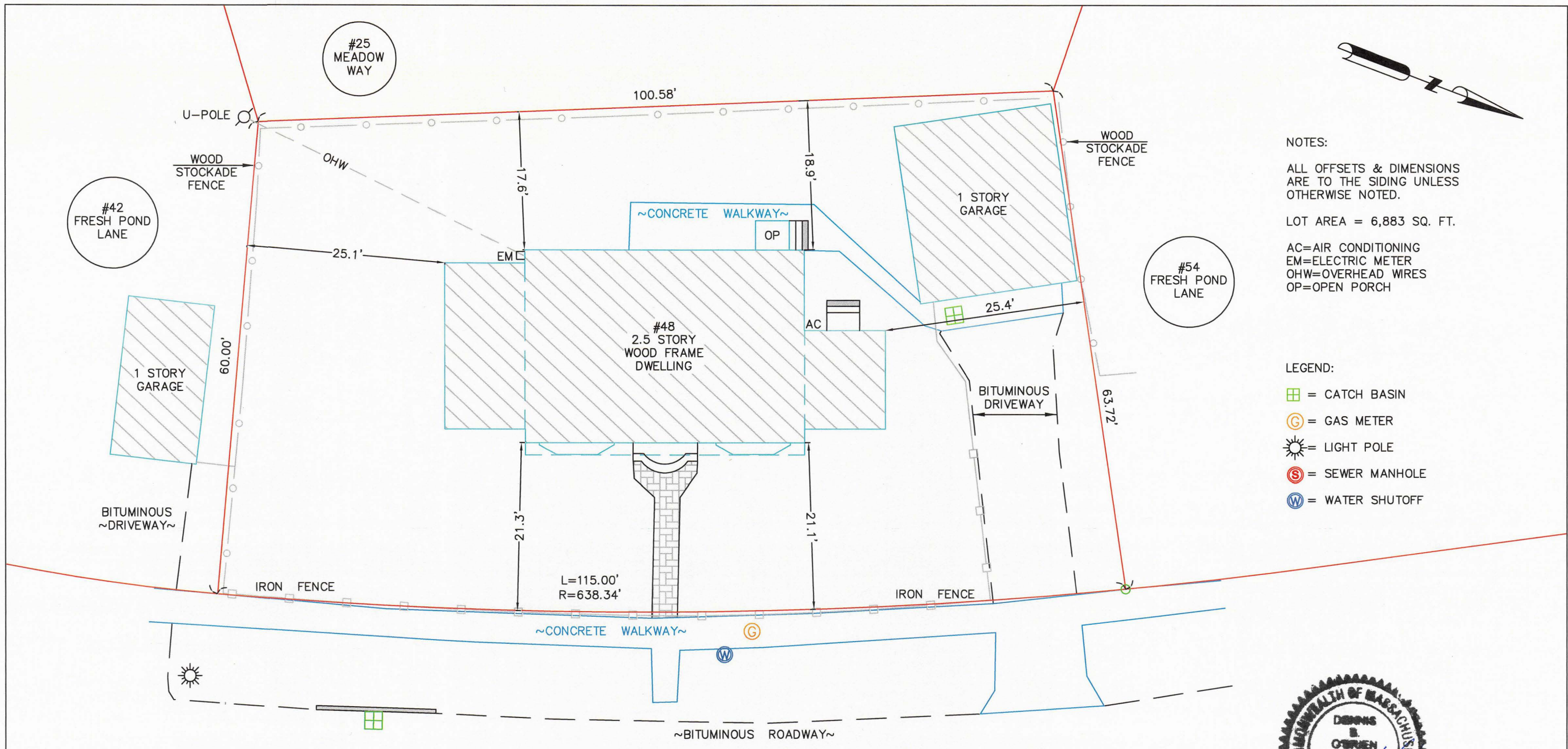
Sheet No.

A-602

This drawing is the property of AMERICA DURAL, INC.

Page No.

33 of 33



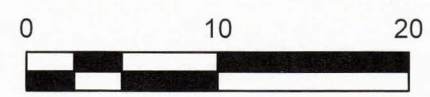
NOTES:
 ALL OFFSETS & DIMENSIONS ARE TO THE SIDING UNLESS OTHERWISE NOTED.
 LOT AREA = 6,883 SQ. FT.
 AC=AIR CONDITIONING
 EM=ELECTRIC METER
 OHW=OVERHEAD WIRES
 OP=OPEN PORCH

LEGEND:
 = CATCH BASIN
 = GAS METER
 = LIGHT POLE
 = SEWER MANHOLE
 = WATER SHUTOFF

FRESH POND LANE



Dennis O'Brien P.L.S.



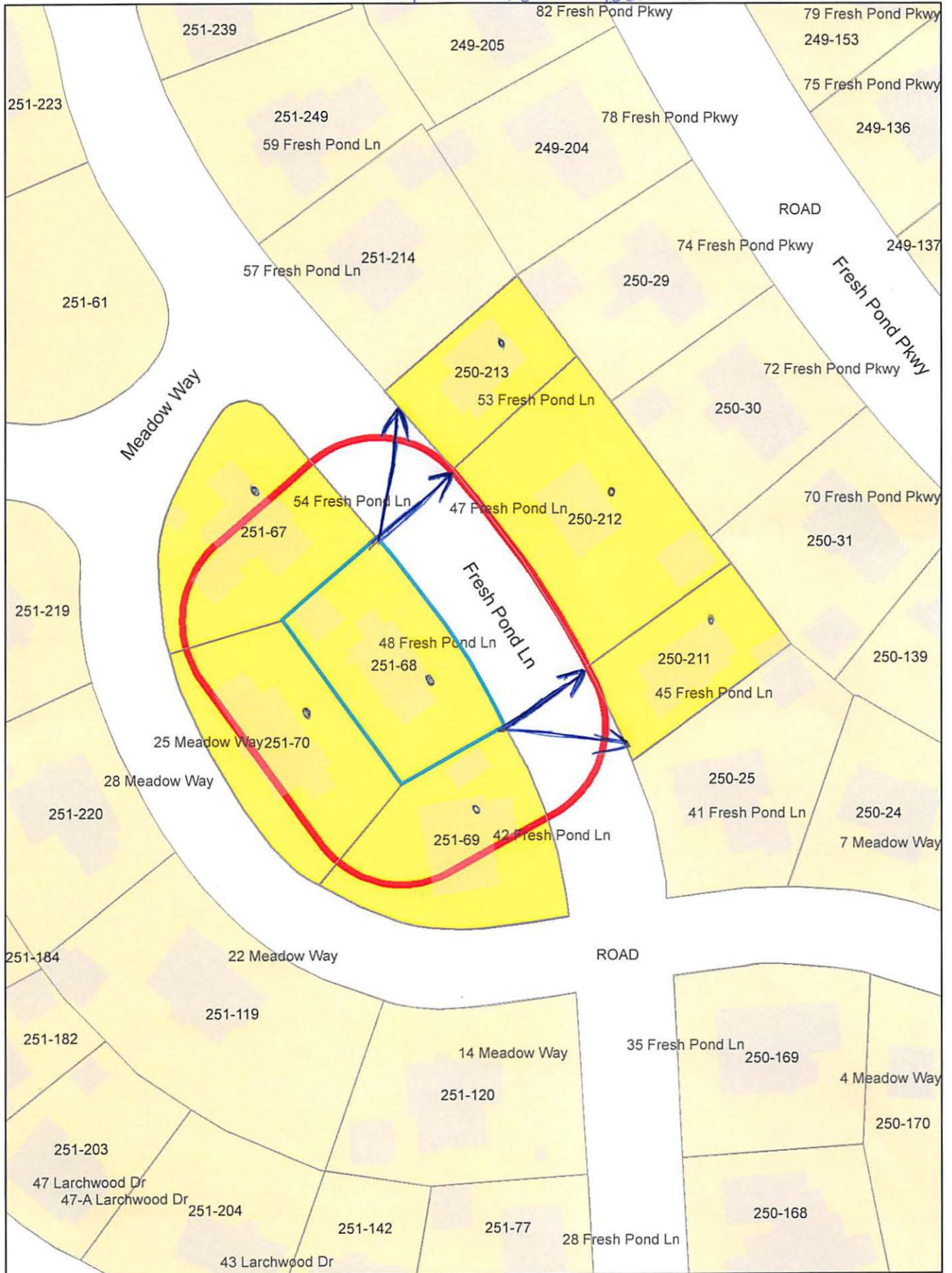
D. O'BRIEN
 LAND SURVEYING
 480 WEST CENTRAL STREET EST 1996
 FRANKLIN, MA 02038 508-541-0048

PLAN SHOWING EXISTING CONDITIONS				
48 FRESH POND LANE				
CAMBRIDGE, MA MIDDLESEX COUNTY				
SCALE: 1:10	DATE: 5/17/2022	REVISED: ---	DRAWN BY: W.M.N.	CHECKED BY: D.O.





48 Fresh Pond Lane



48 Fresh Pond Lane

Petitioner

250-213
UYSAL, MEHTAP LEYLA TURANALP &
KADIR TEOMAN UYSAL
53 FRESH POND LN
CAMBRIDGE, MA 02138

251-69
POOR, MARY A.
42 FRESH POND LN
CAMBRIDGE, MA 02138

SRAVYA KOMMINENI &
PRABHAV POTLURI
48 FRESH POND LANE
CAMBRIDGE, MA 02138

250-212
WETHERELL, JR. D. BRADFORD &
FRANCES S. WETHERELL, TRUSTEES
221 MT. AUBURN ST. APT 506
CAMBRIDGE, MA 02138-4849

250-211
SHAIKEWITZ, ERIC & PATRICIA M. BREEN
50 BUTTERFLY LANE
MONTECITO, CA 93108

251-67
ROSE, PETER D. & EVE M. BLAU
54 FRESH POND LANE
CAMBRIDGE, MA 02138-4616

251-68
DAVIS, ROBERT F.
THE ROBERT FORBES DAVIS REVOC TRUST
48 FRESH POND LN
CAMBRIDGE, MA 02138

251-70
BASNIGHT, TODD & TOINETTE S. RIVAS TR.
25 MEADOW WAY
CAMBRIDGE, MA 02138



Prabhav Potluri

to Todd, Toini, me ▾

Sat, Sep 10, 10:13 AM



Todd,

Windows in the bathroom and sitting room on the 3rd floor have been eliminated . The shutters have been put in as per Cambridge City requirement .The interior layout drawings reflect the same.

We are happy to discuss this to avoid any confusion.

Thanks

Prabhav



Todd Basnight <tbasnight@gmail.com>

to Prabhav, Toini, me ▾

Sun, Sep 11, 7:17 AM



Hi Prabhav,

Thanks for the clarification. So the windows are removed and the shutters are simply decorative against the wall of the home with no windows behind them? If so, we would support those changes.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2022 NOV 22 PM 2:44
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # 197312

Address: 48 Fresh Pond Lane

Owner, Petitioner, or Representative: PRABHAV POTLURI & SRANYA KOMMINENI
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The Owner, Petitioner, or Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 11/21/22

P. Prabhav Sawya K
Signature

Amended 1/9/23

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g. fast food permits, comprehensive permits, etc., which must be met.

2022 JAN 9 PM 4:47

Granting the Special Permit requested for 48 Fresh Pond Lane (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reason:

The existing house has a non-conforming rear wall. The construction of additional dormers on a non conforming wall is allowed under section 8.22.2(d) upon the issuance of a Special Permit provided that, as in this case, there are no new dimensional nonconformities created.

B) Traffic generated or pattern of access or egress would not cause congestion hazard, or substantial change in established neighborhood character or the following reasons:

The proposed new dormers will not alter traffic patterns.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

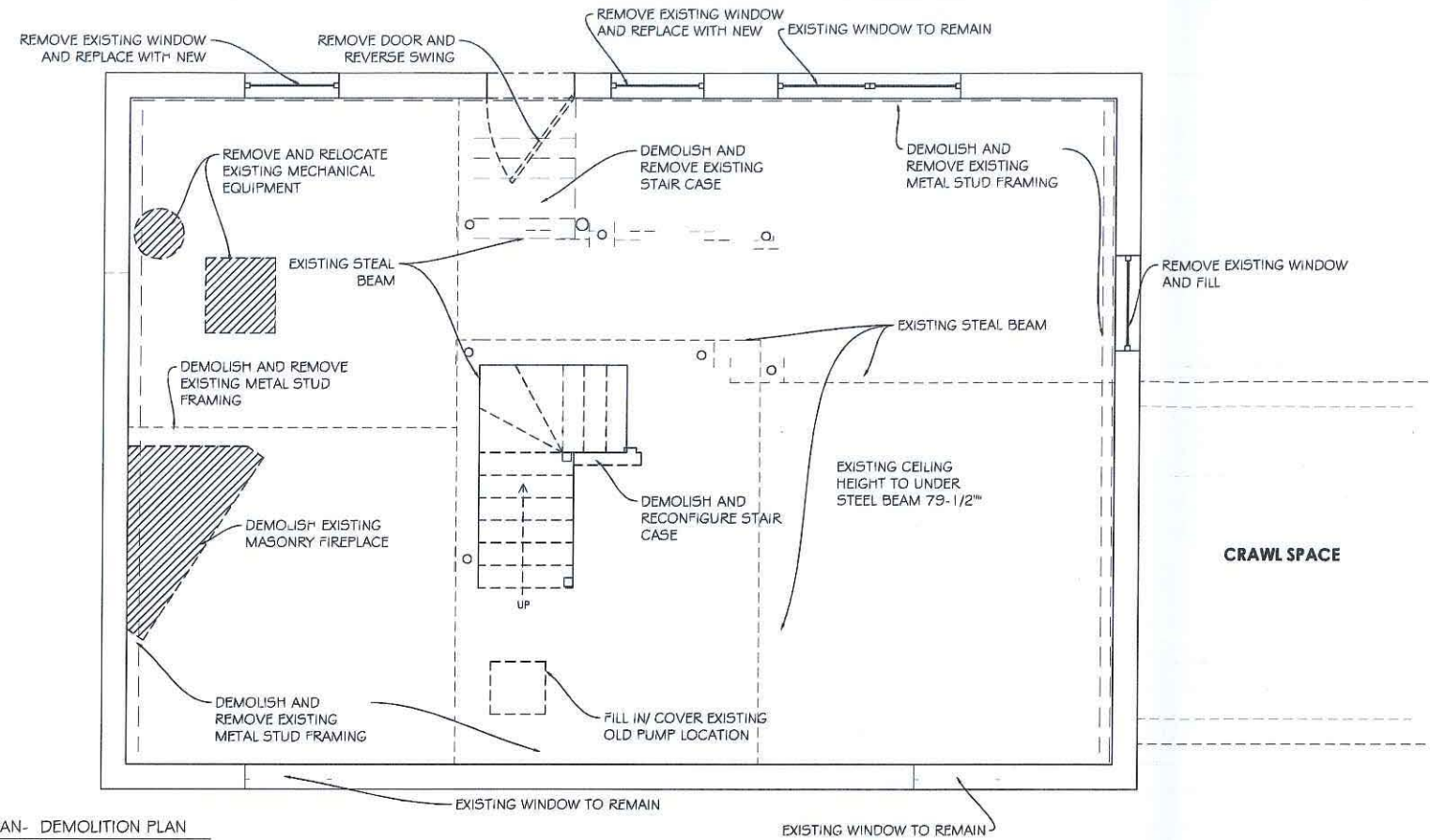
The adjacent uses are all similarly sized single family dwellings with comparable dormers.

D) Nuisance of hazard would not be created to the detriment of the health, safety and/or welfare of the occupants of the proposed use or the citizens of the City for the following reasons:

The proposed dormers will be constructed in accordance with all the requirements of the State Building Code.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this Ordinance for the following reasons:

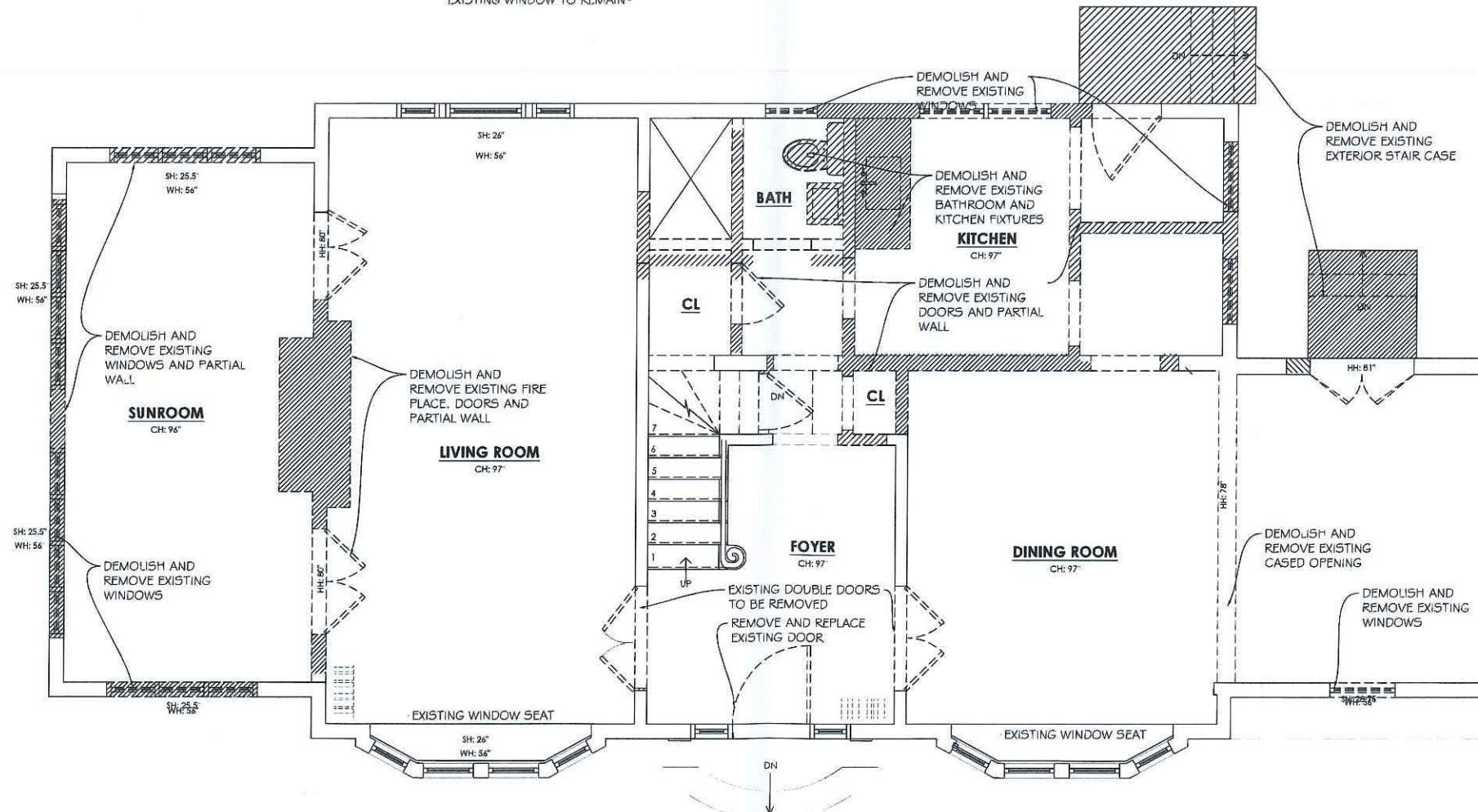
Even after the construction of the new dormers, the house and lot will comply with all the dimensional requirements in the Residence A-2 Zoning District.



CITY OF CAMBRIDGE
INSPECTIONAL SERVICES

2022 JAN -9 P 4:52

BASEMENT PLAN- DEMOLITION PLAN
SCALE: 3/8" = 1'-0"



FIRST FLOOR - DEMOLITION PLAN
SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. * DURING BID ESTIMATE

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

ZONING SET

DRAFTER	DATE		
J. Sousa	12/30/2022		
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
BASEMENT AND FIRST
FLOOR DEMOLITION PLANS

Issue Date:
January 4, 2023

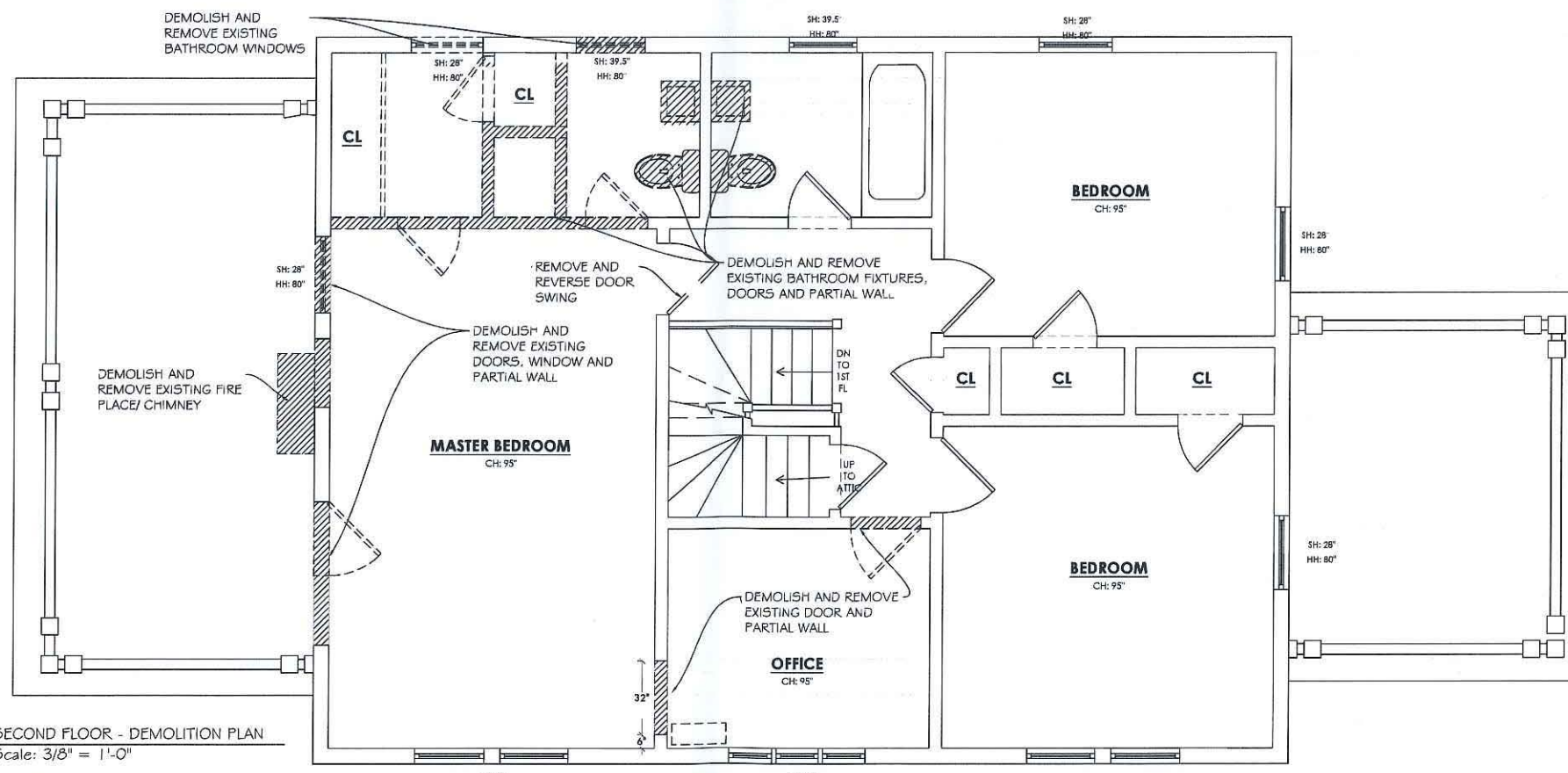
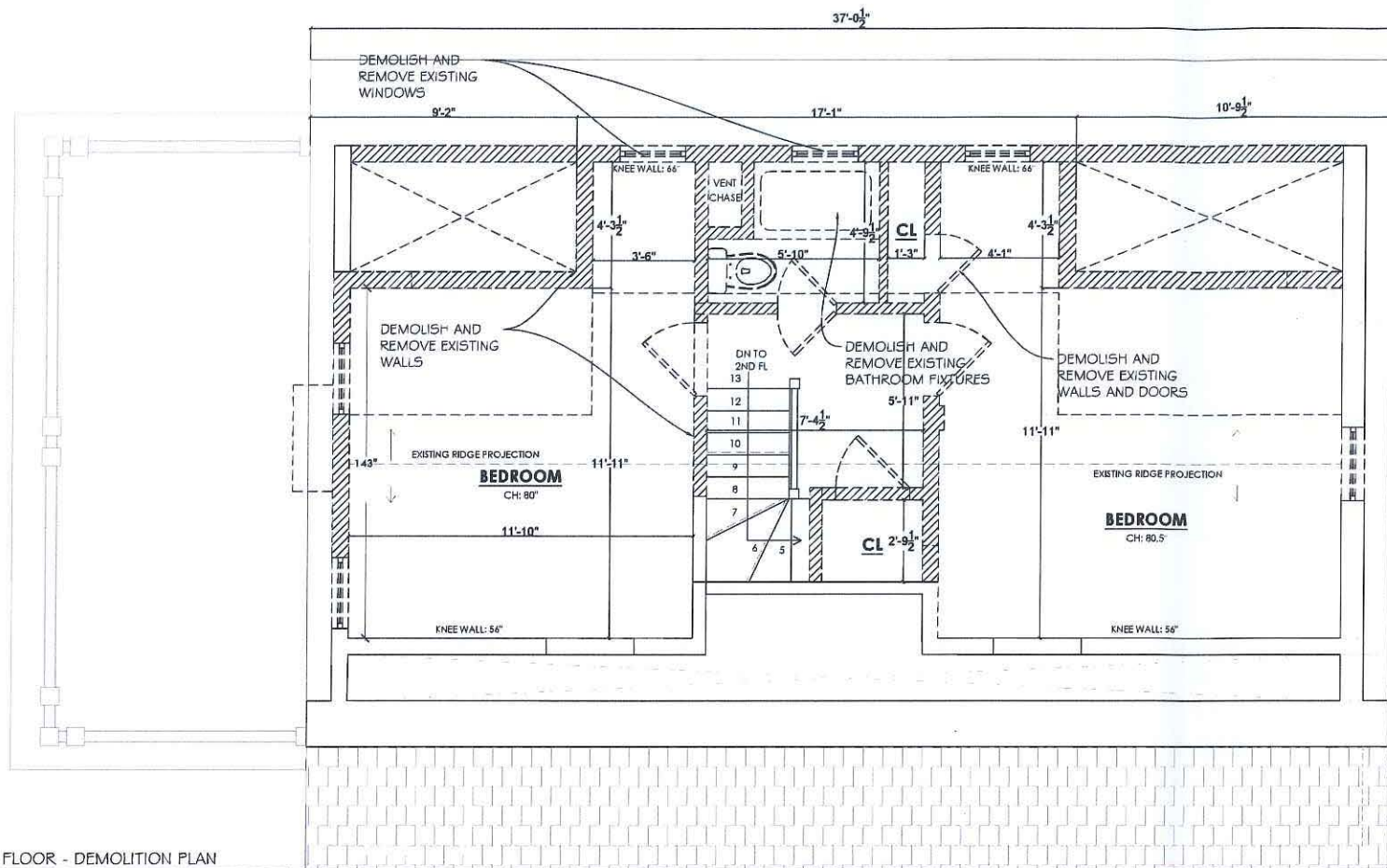
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

D-100

Page No. 3 of 23



PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC. BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

ZONING SET

DRAFTER		DATE	
J. Souza		12/30/2022	
REVISION	#	DATE	DRAFTER DETAILS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:

3/8" = 1'-0"

Drawing Title:

SECOND AND THIRD FLOOR DEMOLITION PLANS

Issue Date:

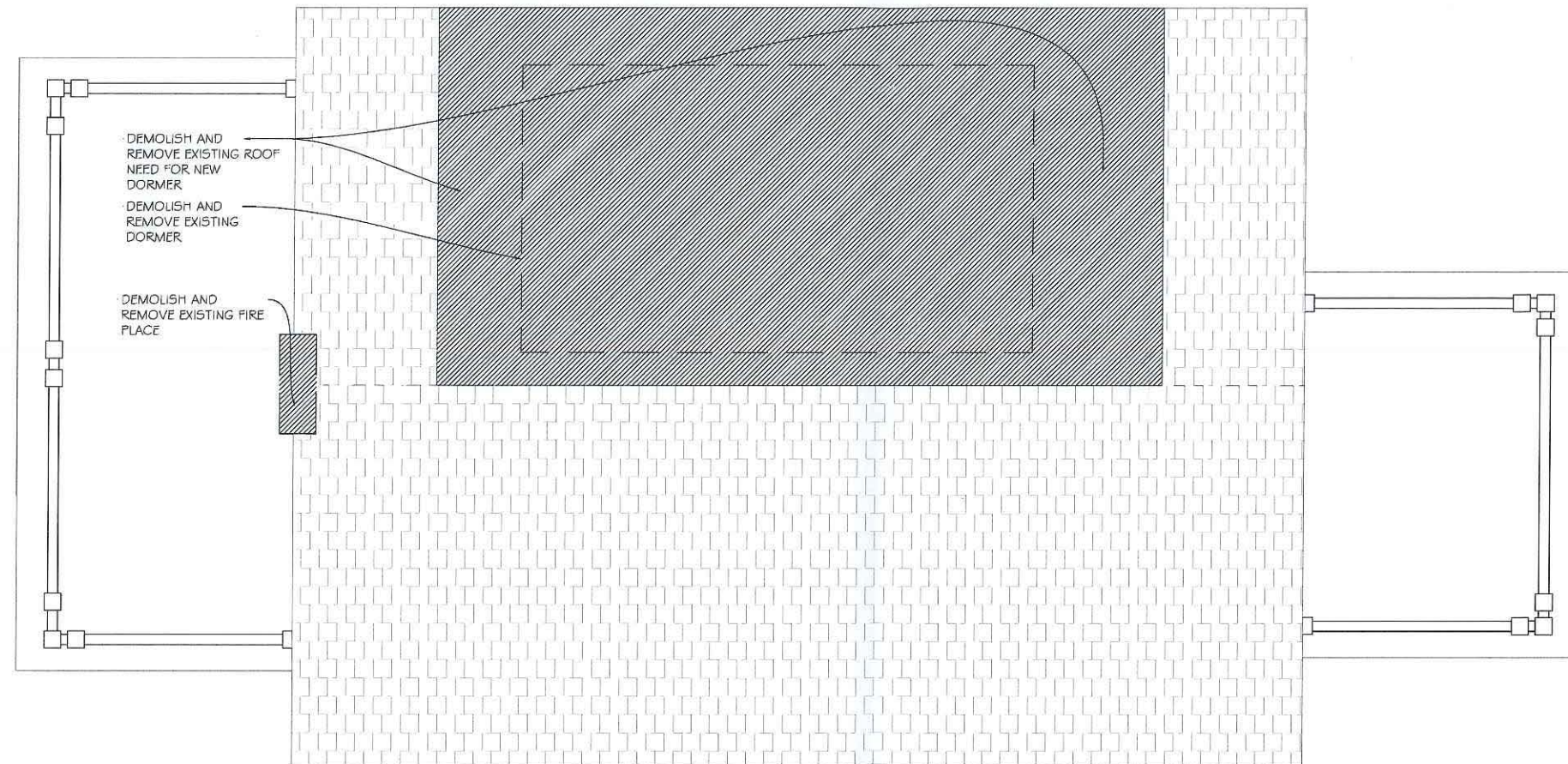
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

D-101







ROOF- DEMOLITION PLAN
Scale: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. * DURING RE-ESTIMATE

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER		DATE	
J. Sousa		12/30/2022	
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'-0"

Drawing Title:
ROOF DEMOLITION PLAN

Issue Date:
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

D-102





Page No. 5 of 23

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER		DATE	
J. Sousa		12/30/2022	
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
 48 Fresh Pond Lane
 Cambridge, MA 02138

Scale:
 1/4" = 1'-0"

Drawing Title:
**FRONT & LEFT ELEVATION
 DEMOLITION PLAN**

Issue Date:
 January 4, 2023

AMERICA DURAL
 RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
 (617) 561-4100 FAX (617) 561-4145

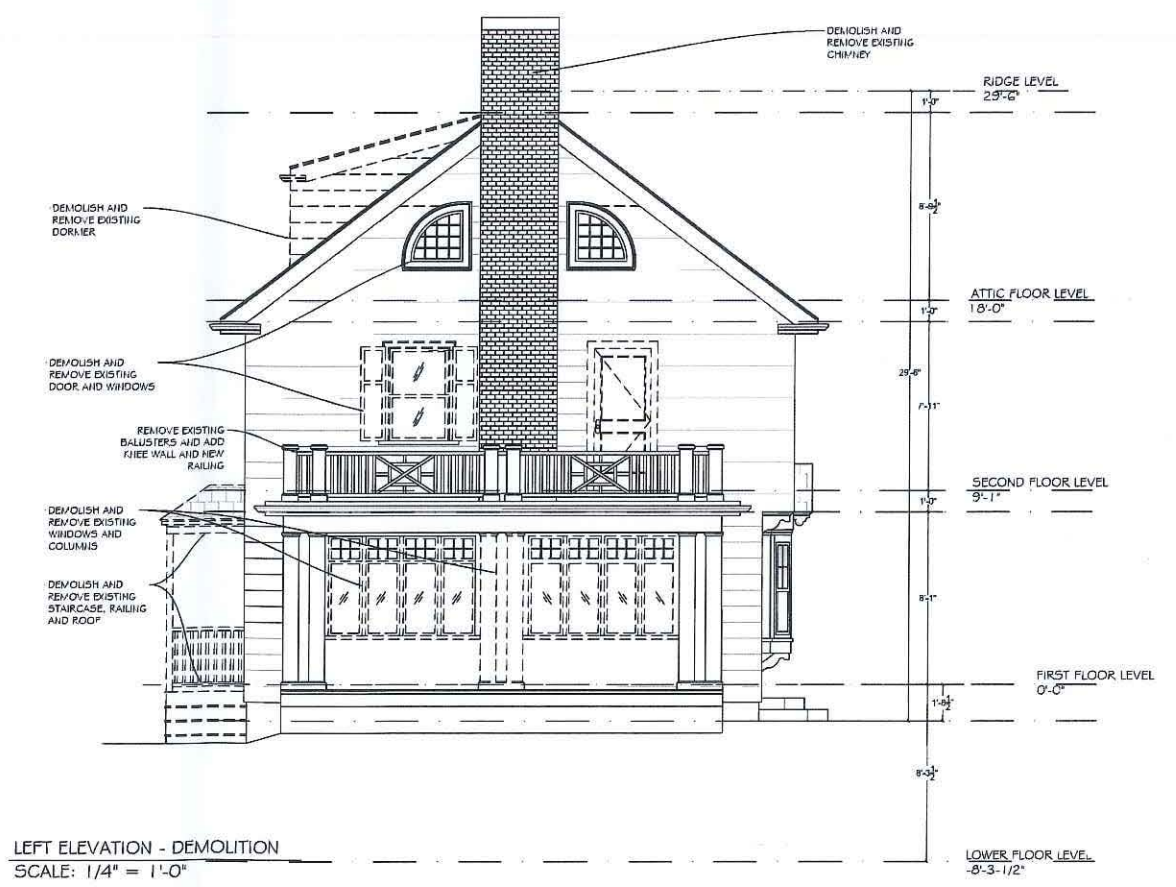
Sheet No.

D-200

Page No. 6 of 23



FRONT ELEVATION- DEMOLITION
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION - DEMOLITION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"







REAR ELEVATION - DEMOLITION
Scale: 1/4" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. * DURING BID-ESTIMATES

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL

LEGEND:

-  Existing to be demolished
-  Existing to remain
-  New construction
-  New Casework

ZONING SET

DRAFTER		DATE	
J. Sousa		12302022	
REVISION	#	DATE	DRAFTER INITIALS

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:

1/4" = 1'-0"

Drawing Title:

RIGHT & REAR ELEVATION
DEMOLITION PLAN

Issue Date:

January 4, 2023

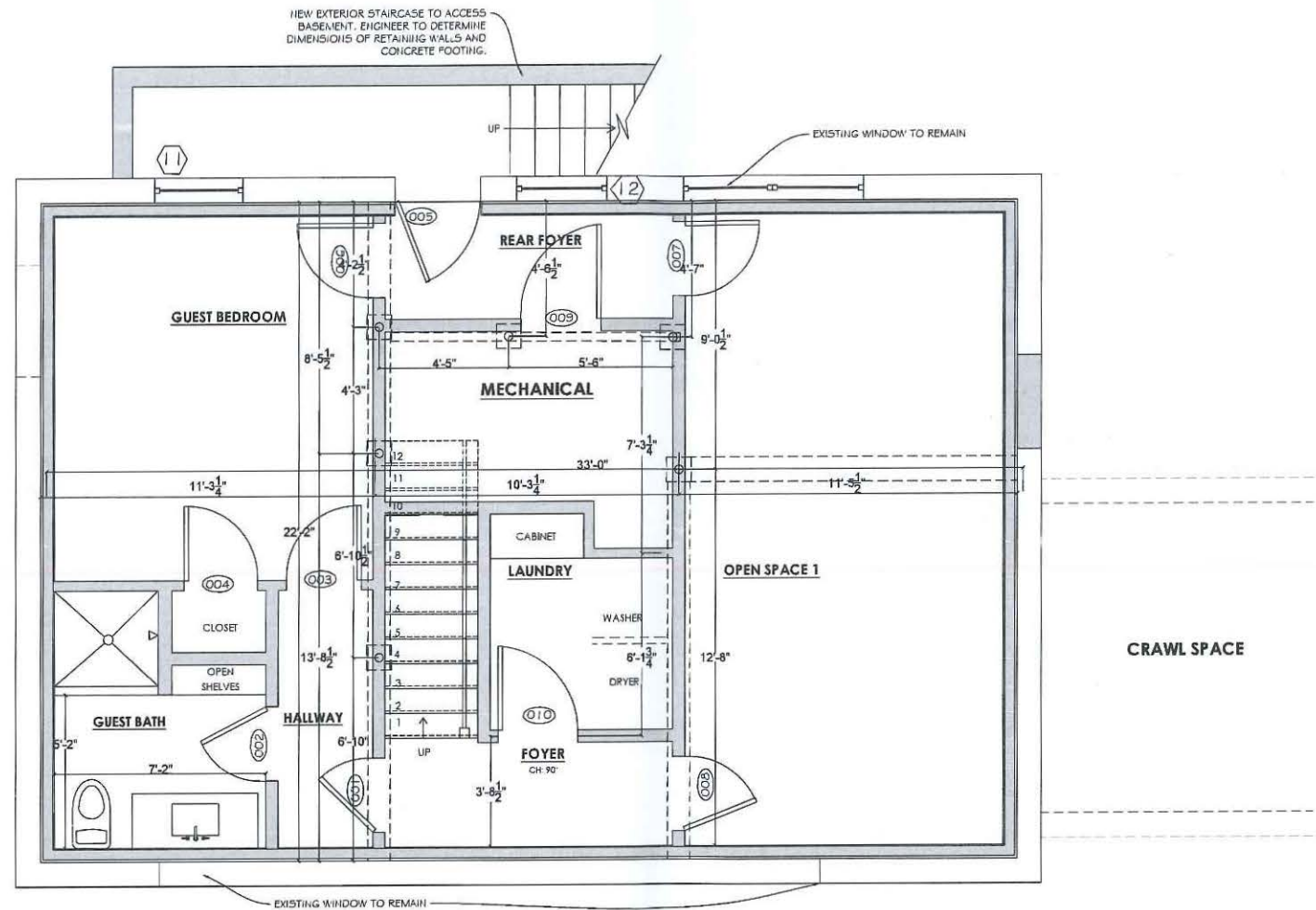
AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4149

Sheet No.

D-201

Page No. 7 of 23



PROPOSED BASEMENT PLAN
SCALE: 3/8" = 1'-0"

PLEASE BE ADVISED THAT THE CONTRACT DRAWINGS SET FORTH ARE FOR DESIGN INTENT ONLY. NONE OF THE DRAWINGS PROVIDED BY AMERICA DURAL INTERIOR DESIGN ARE INTENDED TO BE A SUBSTITUTE FOR ARCHITECTURAL OR ENGINEERING SERVICES AND SHOULD NOT BE USED FOR THAT PURPOSE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND COMPLYING WITH LOCAL AND STATE BUILDING CODES, AND FOR METHOD, TECHNIQUE, SEQUENCES AND PROCEDURES OF CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY CONTRACTOR. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO DESIGNER, AMERICA DURAL, INC., BEFORE CONSTRUCTION BEGINS. IN DURING BID-ESTIMATES.

ALL DRAWINGS ARE PROPERTY OF AMERICA DURAL.

LEGEND:

- Existing to be demolished
- Existing to remain
- New construction
- New Casework

ZONING SET

DRAFTER	DATE		
J. Sousa	12302022		
REVISION	#	DATE	DRAFTER

Client:
SHRAVYA & PRABHAV POTLURI
48 Fresh Pond Lane
Cambridge, MA 02138

Scale:
3/8" = 1'0"

Drawing Title:
PROPOSED BASEMENT PLAN

Issue Date:
January 4, 2023

AMERICA DURAL
RESIDENTIAL DESIGN

143 HURON AVENUE, CAMBRIDGE, MA 02138
(617) 661-4100 FAX (617) 661-4145

Sheet No.

A-100



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2022 NOV 22 PM 2:44
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # 197312

Address: 48 Fresh Pond Lane

Owner, Petitioner, or Representative: PRABHAV POTLURI & SRANYA KOMMINENI
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The Owner, Petitioner, or Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 11/21/22

P. Prabhav Sawya K
Signature

1 * * * * *

2 (7:38 p.m.)

3 Sitting Members: Brendan Sullivan, Andrea A. Hickey, Jim
4 Monteverde, Laura Wernick, and Jason
5 Marshall

6 BRENDAN SULLIVAN: The Board will now hear Case
7 No. 197312 -- 48 Fresh Pond Lane.

8 SRAVYA KOMMINENI: Good evening, everyone. I'm
9 Sravya, and this is my husband, Prabhav, and we're the
10 owners of 48 Fresh Pond Lane. Our petition in front of you
11 is for the construction of a larger dormer.

12 It's basically the third floor doesn't have enough
13 of height for us to use it as living space. So we propose
14 that the City give us permission for construction of a
15 larger dormer on the third floor.

16 BRENDAN SULLIVAN: Okay. I'm going to ask Olivia
17 if you would pull up Sheet A-104. And it shows that the
18 existing dormer -- I'm sorry, this is the proposed --
19 Olivia, I'm sorry, if you could go back to where the
20 existing dormer is. I should have that here. Okay, right
21 there.

22 OLIVIA RATAY: Yes.

1 BRENDAN SULLIVAN: Yes. Just scroll up a bit
2 right there.

3 OLIVIA RATAY: Yes.

4 BRENDAN SULLIVAN: It shows that the existing
5 dormer is 225 inches.

6 SRAVYA KOMMINENI: Yes.

7 BRENDAN SULLIVAN: We usually sort of like to get
8 feet and inches, because it means we have to do some
9 arithmetic. But anyhow, the existing dormer is 225 inches,
10 which is 18.75 feet.

11 Now, Olivia, if you would go to Sheet A-104. And
12 the proposal is for a dormer that is at 380.5 inches, which
13 is 31.71 feet. So you're asking for 12.96 lineal feet of
14 additional dormer.

15 I'm wondering if you had consulted or thought of
16 the Dormer Guidelines, which basically says that the dormers
17 should not be any more than 15 feet.

18 SRAVYA KOMMINENI: So I believe the dormer
19 currently is at 66, and then we're proposing to make it 78.

20 PRABHAV POTLURI: I think our architect is on the
21 line, but I don't think he has the petitioner's --

22 OLIVIA RATAY: He's not been promoted to be a

1 panelist.

2 PHILLIP MILLER: Unmute, there I am. So --

3 BRENDAN SULLIVAN: Okay, if you could introduce
4 yourself in your address for the record, please?

5 PHILLIP MILLER: Sure. My name is Phillip Miller.
6 I'm the owner of America Dural, and I'm the designer on the
7 project.

8 BRENDAN SULLIVAN: Yep.

9 PHILLIP MILLER: We are requesting relief to
10 expand the dormer. We're adding roughly nine linear feet to
11 the dormer; as I have it currently the dormer is -- the
12 existing dormer -- sorry about that -- is closer to 17 feet.
13 Yes, I have it.

14 BRENDAN SULLIVAN: Well, one of the drawings shows
15 it 225 inches, or 18.75 feet. If you go back --

16 PHILLIP MILLER: Oh, with the eave, yeah. And
17 I've got it in front of me. Oh, I see. Yes. So with the
18 overhang, we would be at 380. So the issue is to make the
19 third floor more usable.

20 But with respect to your question regarding the
21 length of the dormer, we're asking for relief to extend it
22 on the back side. We don't have any dormers on the front of

1 the building.

2 BRENDAN SULLIVAN: No, I understand that. The
3 Dormer Guidelines doesn't make distinction between whether
4 it's on the front or the back. It just says, "A dormer on a
5 roofline shall -- should not extend more than 15 feet." So
6 that -- what is proposed before us is contrary to the Dormer
7 Guidelines.

8 Now, they are guidelines, but we do pay strict
9 attention to them, we try to adhere to them. A number of
10 people have come down before us seeking larger dormers than
11 the dormer guideline, and we have always tried to justify
12 why they're seeking a much larger one, and whether or not it
13 should vary from the Dormer Guidelines, and everybody -- if
14 a person says, "Well the reason for the extended dormer
15 construction is because they -- it's a better use of space";
16 they need more space.

17 So that's the consistent argument, or thesis as to
18 why a larger dormer should be constructed. But we still
19 look toward the Dormer Guidelines as sort of the yardstick
20 --

21 PHILLIP MILLER: Yes.

22 BRENDAN SULLIVAN: -- on this, even though the

1 existing one is extending -- it is an existing house. But
2 again, the existing dormer, by pulling figures off the
3 drawing is 18 feet, you're asking for one that's 31 feet.
4 So I want to say just sort of looking for a good answer as
5 to why.

6 And again, the argument of, "Well, we would like
7 more space, or a better use of the space" is one that we
8 hear all the time but may not be totally convincing.

9 PHILLIP MILLER: Well, the height of the dormer,
10 which doesn't address the length, but the height of the
11 dormer in the back is 66". And so, there's a bathroom on
12 the third floor that's not really usable.

13 So we're -- you know, firstly looking to raise
14 that height to -- from 66" to 78". And the ceilings on the
15 third floor are very low, and we're looking to make those
16 spaces more usable, because of the pitch of the roof and the
17 dormer.

18 So we're looking to create, you know, a home
19 office on the -- in one of the bedrooms, and the other
20 bedroom just to increase the headroom along the back of the
21 space.

22 BRENDAN SULLIVAN: Those are knee walls now?

1 PHILLIP MILLER: There are knee walls, and there
2 are currently 56", I think. And we're hoping to increase it
3 to, as I said, 78".

4 BRENDAN SULLIVAN: So that the bedroom becomes a
5 larger bedroom, and that the what is now the front -- well,
6 the bedroom on the left becomes a sitting room; is that
7 correct?

8 PHILLIP MILLER: Yes.

9 BRENDAN SULLIVAN: Yeah.

10 PHILLIP MILLER: And it's difficult, because if
11 you put a -- there's not a lot of space to put a bed in the
12 bedroom. So if you stand to go to bed, you kind of have to
13 tilt over in order to get into the side of a double or queen
14 size bed at the window.

15 So it's just a difficult space to navigate,
16 because of the pitch of the roof and the low knee walls. So
17 we really did the minimum to make those rooms usable.

18 And the architecture -- it's my understanding that
19 as-of-right, that you can ask for a dormer -- you know, you
20 can have 15 feet on each side. And doing so on the front of
21 the building I think would negatively impact the
22 architecture of the house.

1 So we're trying to keep the front of the house as
2 is and make those bedrooms more usable, and the bathroom, of
3 course, more usable. You cannot stand in that tub and take
4 a shower, because of the height of the existing dormer.

5 BRENDAN SULLIVAN: Okay. All right. Let me open
6 it up to members of the Board for further comments or
7 questions. Jim Monteverde, any comments or questions?

8 JIM MONTEVERDE: I don't have any questions. I
9 just, at the moment I don't feel I can support the
10 application, however.

11 BRENDAN SULLIVAN: Okay. Laura Wernick?

12 LAURA WERNICK: I just want to go over the
13 discussion not having -- making the bedrooms larger by
14 adding two separate dormers; a dormer for each bedroom
15 facing the front of the building.

16 So if you had a dormer -- slightly higher dormer
17 that would allow that bathroom in the back, limit it to 15
18 feet, so you do put a new dormer in the back of the
19 bathroom, but then have two dormers, one on each side, and
20 over -- in each bedroom, you would at least get some
21 additional height in the bedrooms.

22 And, I think, if it was done properly, could look

1 good with that house. Maybe it doesn't give you enough
2 room. Have you looked at that option carefully?

3 PHILLIP MILLER: Are you proposing to have a
4 different type of dormer apart from the bathroom? To have
5 separate -- three separate dormers?

6 LAURA WERNICK: Three separate dormers, yeah.

7 PHILLIP MILLER: That would work just as well. So
8 you're saying, like, maybe have three doghouse dormers out
9 across the back?

10 LAURA WERNICK: You can -- well, that's not what I
11 was saying, but that's a possibility two -- have three
12 separate dormers across the back, so they're not continuous.

13 PHILLIP MILLER: Yeah.

14 LAURA WERNICK: It's not continuous.

15 PHILLIP MILLER: Yeah.

16 LAURA WERNICK: It's not a contiguous --
17 continuous.

18 PHILLIP MILLER: That would work just as well. I
19 thought this was the most unobtrusive -- and again, you
20 don't have a lot of ridge above to, -- you know, there's not
21 a lot of roof above the dormer as we drew it. So you'd have
22 a very low pitch that wouldn't match the pitch of the house.

1 This seemed like the simplest solution to give
2 headroom in those bedrooms. The highest point in the
3 bedroom, I think, is 78". The ceiling height's not very
4 high. So that's the challenge. But, you know, it's really
5 just to create a little more room to walk around the bed.

6 LAURA WERNICK: Mm-hm.

7 PHILLIP MILLER: So they could be separated, but
8 again, I -- my understanding was that there was a
9 restriction as to how far to the edge of the roof the dormer
10 could go. So if I'm -- I'm currently I think 42 inches from
11 the edge of the roof.

12 So this just seemed like the simplest solution to
13 create -- make those rooms more usable. But it's just going
14 to give a little more headroom so you can get around the
15 bed.

16 And then in the back side -- because everything's
17 sloping -- there's a chimney between the two windows, and
18 I'm trying to create a desk space. There just isn't a --

19 LAURA WERNICK: I don't think we need to work
20 through the solution. I think we have to go back and --

21 PHILLIP MILLER: Mm-hm.

22 LAURA WERNICK: -- figure out. I think the 15'

1 limit -- and I feel maybe the Board would go a little bit
2 either way -- but think of extends that 15-foot guideline as
3 it's currently shown.

4 PHILLIP MILLER: Mm-hm.

5 LAURA WERNICK: -- a lot. So is there a way to
6 get some additional headroom and stay nearer to the 15 --
7 you know, doing maybe multiple dormers?

8 PHILLIP MILLER: Mm-hm.

9 LAURA WERNICK: I think we just have to go back
10 and see what makes sense.

11 BRENDAN SULLIVAN: But Laura, are you saying,
12 then, that whether it be two dormers or two individual
13 dormers, that the length total would not exceed 15 feet?

14 LAURA WERNICK: I thought it was each of the
15 individual dormers couldn't exceed 15 feet?

16 JIM MONTEVERDE: No.

17 LAURA WERNICK: Am I wrong?

18 BRENDAN SULLIVAN: No. No, it's on --

19 LAURA WERNICK: Okay.

20 BRENDAN SULLIVAN: -- 15 feet on any one side.

21 LAURA WERNICK: Well yeah, then you -- to do --

22 BRENDAN SULLIVAN: So they'd be better off to just

1 leave what they have? They would get more dormer by leaving

2 --

3 JIM MONTEVERDE: Yeah, right.

4 BRENDAN SULLIVAN: -- what they have.

5 LAURA WERNICK: Yeah. Okay. Sorry.

6 BRENDAN SULLIVAN: Yeah. Okay.

7 PHILLIP MILLER: I appreciate it. I appreciate

8 that.

9 BRENDAN SULLIVAN: Anything else?

10 LAURA WERNICK: I still think there's another

11 solution here, so.

12 PHILLIP MILLER: The bathroom is 10 feet long, so

13 that would only leave us 30 inches in each bedroom for a

14 dormer. I mean, the bedrooms aren't that large.

15 BRENDAN SULLIVAN: Are the bedrooms -- right now

16 there's three bedrooms on the second level, correct?

17 PHILLIP MILLER: Correct. Yes.

18 SRAVYA KOMMINENI: Yeah.

19 BRENDAN SULLIVAN: All right. And --

20 PHILLIP MILLER: I mean, there are four that are

21 going to become three, yeah.

22 BRENDAN SULLIVAN: Okay. So there's three on the

1 second level, and then on the third level in question here,
2 there are two bedrooms currently?

3 SRAVYA KOMMINENI: Yes.

4 PHILLIP MILLER: Yes.

5 BRENDAN SULLIVAN: All right. And you're going to
6 basically a bedroom in a sitting room? Who would --

7 SRAVYA KOMMINENI: Yeah, a bedroom and an office,
8 yes.

9 BRENDAN SULLIVAN: Sort of a younger person would
10 --

11 SRAVYA KOMMINENI: Yes, it would be our kid.

12 BRENDAN SULLIVAN: Okay. The sitting room would
13 be for --

14 SRAVYA KOMMINENI: It would be --

15 BRENDAN SULLIVAN: It could be anything. They
16 have -- that's where they study, that's where they --

17 SRAVYA KOMMINENI: yeah.

18 BRENDAN SULLIVAN: -- do whatever they do in the
19 sitting room? Okay. All right. Laura, anything else at
20 this time?

21 LAURA WERNICK: You can still do 15 feet across
22 the back and do two 7.5' dormers across the front, if that

1 works.

2 PHILLIP MILLER: Well, the issue --

3 BRENDAN SULLIVAN: Yeah.

4 SRAVYA KOMMINENI: Okay.

5 BRENDAN SULLIVAN: And then -- but that takes
6 away, then, from the bathroom.

7 PHILLIP MILLER: Right. So the issue is you could
8 see here --

9 LAURA WERNICK: You're not 15 feet.

10 PHILLIP MILLER: Right, the bath -- the proposed
11 bathroom, in order to get a shower, a door, a toilet, a
12 sink; to line that up as we have it proposed would take up
13 11 -- would be an 11' dormer without an overhang. So --

14 LAURA WERNICK: Which is allowable.

15 PHILLIP MILLER: Mm-hm. Mm-hm.

16 LAURA WERNICK: And then if you had going back to
17 the other side of the other roof, the other -- move the
18 basement the other way -- you could still do 7.5' -- two
19 7.5' dormers on the others side, so you get a little bit of
20 extra headroom on the other side. You have --

21 PHILLIP MILLER: You propose --

22 LAURA WERNICK: -- three dormers total.

1 PHILLIP MILLER: Are you proposing for the front
2 of the house the other two dormers?

3 SRAVYA KOMMINENI: Yes.

4 LAURA WERNICK: That's what I was thinking.

5 PHILLIP MILLER: Yep. That would work, I just
6 think the house is so charming, I think it would be such a
7 shame. The façade of the house is so nice it would
8 completely change the nature of the architecture. That's
9 why we put everything on the back.

10 I mean, it's -- the house is -- you know, similar
11 to other houses in the neighborhood. There are a lot of
12 houses in the neighborhood with shed dormers across the
13 back. The people behind them have a shed the length of --
14 almost the length of the house in the back.

15 And I just feel like it would be detrimental to
16 the architecture to put two big dormers on the front of the
17 house.

18 So I feel like we could achieve what we want to
19 achieve by putting dormers in front of the house, but it
20 would -- you know, if we put two 7.5 dormers in front of the
21 house, I think it would be a very negative effect to the
22 architecture, and sort of the feeling of the neighborhood.

1 And I tried to keep, you know, the front of the
2 house as is. I just -- you know, so that's kind of what's
3 driving one dormer across the back.

4 It would solve our problem. And I appreciate the
5 recommendation in terms of function to have dormers on the
6 front of the house, but I just hate to change that
7 architecture, you know; and we're giving up space on the
8 first floor behind the house.

9 Again, I'm not a zoning attorney. I really can't
10 make the case well, but I just think the architecture is so
11 characteristic of the neighborhood -- so lovely, and I would
12 hate to change that. And that was my motivation in keeping
13 everything behind the house.

14 And there's precedent for it. As is, the house
15 behind has a contiguous shed dormer. Am I correct, Sravya?
16 I think it's contiguous.

17 SRAVYA KOMMINENI: Yes, yes.

18 PHILLIP MILLER: So the exact same condition
19 exists behind them. We met with the neighbors behind them.
20 They shared their concerns about privacy. So we changed
21 some of the windows to shutters. But we're basically
22 duplicating what the house behind them has, and what many of

1 the houses in the neighborhood already have.

2 I think it would be a shame to change that on the
3 front façade. And I feel like this preserves the
4 architecture. And I just want to be thoughtful about, you
5 know, not just pure function. You know, this is for
6 themselves. It's not a developer. And we're trying to keep
7 the house beautiful and functional for them, because they
8 really need the extra space.

9 BRENDAN SULLIVAN: Okay. Andrea, any comments or
10 questions at this time?

11 ANDREA HICKEY: Yes. So I do think that according
12 to the Dormer Guidelines, ideally a dormer should be placed
13 at the rear or on the less public side of the house. Our
14 guidelines do say that.

15 But our Guidelines also give us 15 feet as, you
16 know, something that we can be comfortable with. I agree
17 with the petitioner's representative that putting dormers on
18 the front of this house really would be a shame.

19 So I'd like to see some sort of a proposal to make
20 the dormers on the back of the house smaller. So that's
21 really all I have to say at this time.

22 BRENDAN SULLIVAN: Okay, thank you.

1 Jason Marshall, any questions or comments at this
2 time?

3 JASON MARSHALL: Yeah. I have, I think, just a
4 clarifying question. Olivia, if you could pull up the
5 dimensional form? Okay, thank you. So this petition is
6 seeking relief under what it is 8.22.d?

7 BRENDAN SULLIVAN: D, yes.

8 JASON MARSHALL: So there would be an existing
9 non-conformity that you'd be looking to increase here. I
10 don't think -- that's not jumping out to me. So if you can
11 maybe point me to where that is.

12 PHILLIP MILLER: I didn't fill out the
13 application.

14 JASON MARSHALL: Okay. Because it looks like
15 you're not going over GFA?

16 PHILLIP MILLER: No. We're --

17 LAURA WERNICK: Yeah.

18 JASON MARSHALL: It's fine. I mean, it looks like
19 it's non-conforming maybe in the rear stepback?

20 PHILLIP MILLER: That I can't -- unfortunately I
21 can't answer to that.

22 BRENDAN SULLIVAN: Yeah, yeah, but they're not

1 changing that.

2 PHILLIP MILLER: We're actually -- we're removing
3 a porch -- I don't know if that helps, and forgive me if I'm
4 being -- if it's not pertinent to what you're asking, but
5 we're taking away square footage and a covered porch in the
6 back, because we're trying to create as much back yard as
7 possible.

8 And please keep in mind that once you have enough
9 space for a bathroom with a usable shower, you're at 11
10 feet. So there really -- extending it to 15 feet really
11 doesn't accomplish anything useful. The -- and the biggest
12 problem is in the bedroom because it's very hard to get
13 around the bed, as is, because the highest point of the
14 ceiling now is about -- it's a little over six feet, maybe
15 six-six." So that's the challenges.

16 The only way to make it function would be to put
17 dormers on the front of the house and meet the dormer
18 requirements, or restrictions.

19 JASON MARSHALL: Yeah. I mean, I -- I appreciate
20 your answer. That's -- I mean, that's beyond really what I
21 was asking. From looking at this form, I don't think you're
22 seeking relief under 8.22.2.d. I think it probably is c.

1 You know, either way, though, and subject to
2 hearing public comment and others' thoughts, I mean it still
3 is a similar standard in terms of is this substantially more
4 detrimental to the neighborhood.

5 If I'm crediting your testimony that the house
6 adjacent and other houses in the area have similar sized
7 dormers, even though it's exceeding the Guidelines, I would
8 have a hard time finding that allowing this would be
9 substantially more detrimental.

10 So that's -- I might have a different perspective
11 than my colleagues, but that's where I am right now.

12 BRENDAN SULLIVAN: Yeah. Jason, under 8.22.2.d,
13 there would have to be increasing or creating a new non-
14 conformity. And they are not. Right now, they -- they're
15 not --

16 JASON MARSHALL: They would have to increase --
17 increase an existing non-conformity. And I agree with you,
18 Mr. Chair, it doesn't appear that that's what's taking place
19 here.

20 BRENDAN SULLIVAN: Right. So they're not
21 increasing any new non-conformity. So they can seek
22 protection under 8.22.2.d or something like that. So

1 anyhow, okay.

2 JASON MARSHALL: All right.

3 BRENDAN SULLIVAN: I think there's -- in
4 furtherance of your comment, Jason, you know, I sort of
5 walked around the property and I will concur that everybody
6 has sort of backloaded their dormers on the third floor, and
7 that it is very heavily treed, bushed very high on the back
8 of their property to the house in the back -- which I'm not
9 sure if it's Brattle Street or Fresh Pond Parkway, but
10 there's the road beyond that or something like that.

11 So the only one really affected by this is the
12 immediate neighbor to the rear. And they have something
13 very, very similar. I didn't actually take a tape to it by
14 any means, but the view from one house to the other in back
15 -- because of so heavily overgrown with vegetation -- trees,
16 bushes -- is actually I think somewhat minimal. But I think
17 you said that there was some concern expressed by that
18 neighbor, and so, you have ameliorated the privacy issue.

19 SRAVYA KOMMINENI: Yes.

20 BRENDAN SULLIVAN: Is that correct?

21 SRAVYA KOMMINENI: Yes.

22 BRENDAN SULLIVAN: Okay.

1 PHILLIP MILLER: Yes.

2 SRAVYA KOMMINENI: Yeah. So we had them come over
3 to the property and we shared the plans as well, and they
4 said to rearrange the windows because of the privacy issue.
5 So that's why on the left-hand side of the property -- of
6 the dormer, you don't see any windows on the bathroom or the
7 sitting room. We've put skylights just so that we don't
8 encroach on their privacy. And there are just windows only
9 on the right side of the dormer.

10 BRENDAN SULLIVAN: Okay.

11 SRAVYA KOMMINENI: Yeah. And we've received --
12 like yeah, they were -- after we changed the plans according
13 to their wishes, they said --

14 PHILLIP MILLER: Right.

15 SRAVYA KOMMINENI: -- "This works for us, and
16 we're on board." Yeah.

17 BRENDAN SULLIVAN: And that's reflected in the
18 current drawings?

19 PHILLIP MILLER: Yes.

20 SRAVYA KOMMINENI: Yes, yes.

21 PHILLIP MILLER: Okay. Is that the one with the
22 -- we have the drawings you submitted?

1 SRAVYA KOMMINENI: Yes, yes.

2 PHILLIP MILLER: Yes.

3 SRAVYA KOMMINENI: Yes.

4 PHILLIP MILLER: Looks like this? Okay, great.

5 Great.

6 BRENDAN SULLIVAN: All right. Let me open it to
7 public comment. Any member of the public who wishes to
8 speak should now click the button that says, "Participants,"
9 and then click the button that says, "Raise hand."

10 If you are calling in by phone, you can raise your
11 hand by pressing *9 and unmute or mute by pressing *6, and
12 you'll have up to three minutes in which to comment.

13 [Pause]

14 There appears to be nobody calling in and we are
15 -- have no correspondence in the file from anyone. I will
16 close public comment and send it back for any further
17 comments before the Board, discuss it and take it to a vote.
18 Anything else to add?

19 PHILLIP MILLER: I would say that they submitted
20 the plans for all of their neighbors, and there was no
21 resistance --

22 SRAVYA KOMMINENI: Yeah.

1 PHILLIP MILLER: -- at all. As I say, it is a --
2 it's characteristic of the other houses in the neighborhood.

3 SRAVYA KOMMINENI: Yes.

4 BRENDAN SULLIVAN: Okay. Okay.

5 SRAVYA KOMMINENI: Yeah, we've shared -- yeah,
6 we've spoken in person with all of our neighbors -- the
7 rear, the neighbors in front of us, the next five houses.
8 We've shared -- we've met them in person, and they said this
9 is something that they're on board with; they support it.
10 They support our petition.

11 So all of the neighbors are on board with this,
12 with this proposal.

13 BRENDAN SULLIVAN: Okay. Okay. Let me send it
14 back to the Board.

15 Any further comments by any member of the Board,
16 or shall I make a motion to grant? Or what are your
17 thoughts on the -- there's an existing 18-foot dormer and
18 they want to go to 31-foot dormer.

19 JIM MONTEVERDE: Ready for a motion.

20 JASON MARSHALL: Mr. Chair, I'm comfortable with
21 granting the request. And I appreciate, as always, your
22 reconnaissance, which I think confirms the testimony we

1 heard earlier that this is not dissimilar to other
2 properties nearby. And in my mind, I think it meets our
3 standards. So I would be comfortable voting yes.

4 BRENDAN SULLIVAN: Great. Okay, thanks.

5 Any other member wish to comment.

6 LAURA WERNICK: I am just -- I mean, again, as
7 Jason said, I think your reconnaissance is very helpful to
8 me. I was wondering -- I'm still wondering if anyone feels
9 a sense of precedent? You know, how do we -- how do we
10 maintain our 15' kind of guideline when we're granting
11 dormers that are 30' long? Is it a precedent that we would
12 be concerned with?

13 BRENDAN SULLIVAN: Right. No, I'm -- thank you,
14 Laura. I'm very cognizant of that. And again, it's easy to
15 say yes, and when do you say no? And is that fair, I guess.
16 And the Board has said no in the past or made people to
17 reduce them.

18 This is a -- if obviously there was no dormer
19 there, and this was coming down de novo, we would send and
20 say no to a 31-foot dormer but the -- there is an existing
21 18'- almost 19'- dormer there. Of the 12'6" on -- 6' on
22 either side tip the scale, you know, in relationship to the

1 neighborhood to the adjoining properties, and to the abutter
2 in the back. So I guess that's the balancing act that we
3 have to weigh. So -- but I appreciate your comments.

4 Jim Monteverde, what are your thoughts?

5 JIM MONTEVERDE: I think just to Laura, it's
6 really about context. I think, you know, this is just a
7 different kind of neighborhood -- immediate neighborhood
8 than some of the other ones or a lot of the other ones that
9 we see there trying to do larger dormers than the Guidelines
10 suggest.

11 So at the moment, and given, Mr. Chair, your
12 observation on site and of the neighborhood, and some of the
13 other Board members' discussion, I could support this one
14 and feel comfortable it doesn't set a precedent.

15 BRENDAN SULLIVAN: Okay. Andrea, shall I take it
16 to a vote, or how are you tilting?

17 ANDREA HICKEY: I am sort of on the edge with
18 this.

19 BRENDAN SULLIVAN: Do you --

20 ANDREA HICKEY: Attorney Marshall's kind of
21 calling to my attention some issues I hadn't really thought
22 of before is bringing me back to center on this. My

1 immediate reaction was, "Way too long." But I like the fact
2 that it's at the rear of the house.

3 So I am sort of on the fence at the moment, Mr.
4 Chair. If you have anything to add, it might sway me, so.

5 BRENDAN SULLIVAN: Well, I -- I'm torn between
6 actually Laura's comment, which obviously I respect greatly
7 that, you know, we're sort of bending quite a bit on this
8 one vis-à-vis other dormer people that have come down before
9 us.

10 Jason's comments are on point too that in the
11 context of the neighborhood, and that and Jim saying, you
12 know, again, looking at the neighborhood and the effect of
13 this dormer. If it was on the front of the house, again it
14 would be a nonstarter. It's in the back. I did walk it.

15 And I think it really -- if you added six feet to
16 either side of this, to the existing dormer, would anybody
17 know? And again, because of its location and the effect on
18 really nobody other than the neighbor in the back and if
19 they could have ameliorated any concerns that that neighbor
20 had.

21 So I'm sort of torn by how we have consistently --
22 tried to consistently -- judged dormers in the past, how we

1 have ruled in the past, and yet its context and the siting
2 it is in the neighborhood.

3 So -- and if I were to say, "Well, you've got an
4 existing dormer that exceeds the Guidelines of 18', you
5 know, what does -- how much would be acceptable? You know,
6 3', 4', does that -- you know, make any difference? It
7 makes a huge difference to the homeowner. Doesn't make much
8 difference to us.

9 And I think its location, context may affect on
10 the adjoining properties -- I think tilts the balance that I
11 would support granting of the special permit on this one.
12 So --

13 ANDREA HICKEY: Thank you. My only fear is that
14 now every other person coming before us who says their
15 neighbor has a similar dormer is going to set a precedent.
16 And that really is my primary concern at the moment.

17 BRENDAN SULLIVAN: Yeah. And we have in the past
18 where neighbors have come down and said -- you know, down
19 the street or across the street or next door has a similar
20 dormer and what have you. But that's a far more congested
21 area, and I think the close proximity to other properties
22 sort of gives us pause to say, "Well, just because they have

1 it, then I guess it's okay."

2 And, you know, I always go back to what I heard a
3 long, long time ago where somebody says, "Well, because the
4 guy next door did it, I should do it. And because it exists
5 already in the neighborhood, then I should be allowed to do
6 it. Also, I'm not introducing anything new."

7 And, you know, you keep going on and on and on and
8 on. Eventually, you wind up with downtown Manhattan, where
9 nary there's a blade of grass or a tree shall grow, because
10 somebody started it, and said, "Well, okay, he did it, so
11 it's okay for us." And so, you have to be wary of that.

12 And Laura's comment about the precedent weighs
13 very heavily. And I think this Board has been very fair in
14 the past, and really on point with what we have granted, and
15 what we have exceeded at times, and the reasons for it.

16 And I think it's been for the right reasons at
17 that time, whether we granted it or we trimmed it back or
18 denied it.

19 PHILLIP MILLER: May I ask --

20 BRENDAN SULLIVAN: I'm sorry?

21 PHILLIP MILLER: Oh, excuse me. I'm so sorry.

22 I'm sorry. I didn't want to interrupt.

1 BRENDAN SULLIVAN: Yeah, no. So I guess the
2 option is either to take it to a vote and see how that goes,
3 or the alternative would be to ask the petitioner to come
4 back with a -- having considered the comments, they could
5 come back with a revised plan that pulls this in a little
6 bit. And --

7 SRAVYA KOMMINENI: May I?

8 BRENDAN SULLIVAN: And so, I guess I would support
9 what is before us anyhow. I think Jason said he would, and
10 Jim. So it's really to the two esteemed ladies on the
11 Board, Laura and Andrea if you wish for the petitioner to
12 come back. I would defer to that.

13 SRAVYA KOMMINENI: I mean, we would really
14 appreciate it if you could.

15 BRENDAN SULLIVAN: Well, no, this is between the
16 members of the Board now.

17 SRAVYA KOMMINENI: Right.

18 BRENDAN SULLIVAN: So.

19 PHILLIP MILLER: May I ask a question?

20 BRENDAN SULLIVAN: Very briefly. You may not get
21 an answer, but you can ask the question okay.

22 PHILLIP MILLER: I just want to point out that

1 we're forgoing as-of-right the front dormers in the interest
2 of the neighborhood and preserving the architecture that --
3 I understand and I appreciate what your member is saying
4 about keeping a 15' dormer, but the tradeoff -- you know,
5 again, I think it -- this is a much better solution than
6 having a 15' dormer in the front and a 15' dormer in the
7 back.

8 BRENDAN SULLIVAN: Great. Okay, thank you. So
9 Laura and Andrea, if -- shall we ask the petitioner to
10 reconsider the back?

11 LAURA WERNICK: Whoo! Huh. I'm just thinking,
12 okay, if it was a -- if we made the dormer four feet longer,
13 rather than -- would that give them enough room to do
14 anything, you know, adding two feet on each side?

15 And I just don't know where the line is. I'm a
16 little bit -- again, it just -- I'm very sympathetic to what
17 they're trying to do. I think the approach is, you know,
18 the general approach is appropriate. It's -- I mean, I'm
19 just concerned for the long term for the Board's
20 credibility, and that's the only thing I'm weighing. So.

21 BRENDAN SULLIVAN: Yeah, no I get that you're --

22 LAURA WERNICK: I'd love to let them have this --

1 BRENDAN SULLIVAN: Yeah, but you're uncomfortable
2 with what is before us.

3 LAURA WERNICK: I think that, yeah.

4 BRENDAN SULLIVAN: Would that be a fair
5 characterization?

6 LAURA WERNICK: Yeah. That's a fair
7 characterization.

8 BRENDAN SULLIVAN: For a variety of reasons?
9 Okay, Andrea, shall we continue and ask the petitioner to
10 reconsider and come back?

11 ANDREA HICKEY: Yeah. I think so.

12 BRENDAN SULLIVAN: All right. That's fine.
13 That's fine. Jim and Jason, will you concur with that?

14 JASON MARSHALL: I could support a continuance,
15 yes.

16 JIM MONTEVERDE: Yeah, I agree.

17 BRENDAN SULLIVAN: Okay. So let me make a motion,
18 then, to continue this matter. It can be -- let's see, we
19 already -- we're getting filled up. January 12, 2023 would
20 be the next available date. After that, then we are into
21 February. So January 12?

22 SRAVYA KOMMINENI: What's the date in February?

1 BRENDAN SULLIVAN: Would that be okay; would that
2 give you enough time, January 12?

3 PHILLIP MILLER: It would give me enough time.

4 BRENDAN SULLIVAN: Okay. And the petitioner is
5 available?

6 SRAVYA KOMMINENI: Yes.

7 BRENDAN SULLIVAN: Okay. And Jason, you're
8 available? Laura, are you available on January 12?

9 JASON MARSHALL: I am, Mr. Chair. Yes.

10 BRENDAN SULLIVAN: Okay. And Jim, you're
11 available?

12 JIM MONTEVERDE: Yes.

13 BRENDAN SULLIVAN: Andrea, are you available on
14 January 12?

15 ANDREA HICKEY: Yes, I am.

16 BRENDAN SULLIVAN: And Laura?

17 LAURA WERNICK: I believe so, yes.

18 BRENDAN SULLIVAN: Okay. Let me make a motion,
19 then, to continue this matter to January 12, 2023 on the
20 condition that the petitioner change the posting sign to
21 reflect the new date of January 12 2023, and the new time at
22 6:00 p.m.

1 Also in furtherance that the petitioner sign a
2 waiver to the statutory requirement for a hearing. Said
3 waiver can be obtained by Maria Pacheco or Olivia Ratay with
4 the Inspectional Services. Ask that you sign it and return
5 it to us by a week from this coming Monday.

6 Failure to do so will de facto cause this Board to
7 give an adverse ruling on this particular case. We would
8 ask that you sign it and get it back to us. This will allow
9 us to hear the case on January 12.

10 Also that if there is any new submittals --
11 changes to the drawings, which it appears that there will be
12 -- that those would be in the file by 5:00 p.m. on the
13 Monday prior to the January 12, 2023 hearing.

14 And also if there's any changes that the
15 dimensional form and potentially any supporting statement
16 also be changed and submitted along with the new documents.

17 On the motion, then, to continue this matter until
18 January 12, Jim Monteverde?

19 JIM MONTEVERDE: In favor.

20 BRENDAN SULLIVAN: Laura Wernick?

21 LAURA WERNICK: In favor.

22 BRENDAN SULLIVAN: Andrea Hickey?

1 ANDREA HICKEY: In favor.

2 BRENDAN SULLIVAN: And Jason Marshall?

3 JASON MARSHALL: In favor.

4 BRENDAN SULLIVAN: And Brendan Sullivan yes.

5 [All vote YES]

6 BRENDAN SULLIVAN: A total of five affirmative
7 votes; this matter is continued to January 12. I guess in
8 clarification, if you -- when you get a transcript of the
9 hearing tonight -- is to take into consideration what the
10 Board members have said and come back with what you think is
11 workable. And you may come back with the same plan. You
12 know, or slightly different or whatever. And that's fine.

13 You may come back -- even though we'd like to
14 consider one plan, you may come back with an alternate plan,
15 two plans or something. But if you have any questions, you
16 can talk to Maria or Olivia at Inspectional Services to get
17 further guidance, if you will. But if you would get back
18 that waiver form, that would be huge and appreciated.

19 So this matter is continued until January 12,
20 2023.

21 PHILLIP MILLER: Thank you.

22 SRAVYA KOMMINENI: Yeah. Thank you so much.

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22

PHILLIP MILLER: Thank you.