



# CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 MAY -3 PM 12:06  
OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

## BZA Application Form

BZA Number: 167013

### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance: X

Appeal: \_\_\_\_\_

PETITIONER: 49 Alpine Street Realty Trust C/O Michael Welsh

PETITIONER'S ADDRESS: 339 W Broadway, South Boston, MA 02127

LOCATION OF PROPERTY: 49 Alpine St., Cambridge, MA

TYPE OF OCCUPANCY: Single-Family Dwelling

ZONING DISTRICT: Residence B Zone

REASON FOR PETITION:

/Additions/ /Change in Use/Occupancy/ /Conversion to Additional Dwelling Units/ /Parking/

### DESCRIPTION OF PETITIONER'S PROPOSAL:

To park in the front yard setback. Convert a single family into a two family home by increasing floor area and creating a new violation of GFA.

Reduction of parking and extension of building into the non-conforming side yard setback.

### SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.26 (Conversion of Existing Dwellings).
Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.3 (Non-Conforming Structure). & Sec. 8.22.2.D (Non-Conforming Structure).
Article: 6.000	Section: 6.44.1.C (Front Yard Parking). Sec. 6.35 (Reduction of Parking).
Article: 10.000	Section: 10.30 (Variance) & Sec. 10.40 (Special Permit).

Original  
Signature(s):

Michael Welsh

(Petitioner (s) / Owner)

Michael Welsh, Esq.

(Print Name)

Address:

Tel. No.

E-Mail Address:

339 W Broadway, Boston, MA 02127

6179420691

michael@attorneywelsh.com

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to  
The Secretary of the Board of Zoning Appeals.**

I/We Yingchao Yu and Siyu Huang, Trustees of 49 Alpine Street Realty Trust  
(OWNER)

Address: 49 Alpine Street, Cambridge, MA

State that I/We own the property located at 49 Alpine Street, Cambridge, MA,  
which is the subject of this zoning application.

The record title of this property is in the name of YINGCHAO YU  
49 Alpine Street Realty Trust

\*Pursuant to a deed of duly recorded in the date 01/05/2022, Middlesex South  
County Registry of Deeds at Book \_\_\_\_\_, Page \_\_\_\_\_; or  
Middlesex Registry District of Land Court, Certificate No. 278380  
Book 01584 Page 14.



\_\_\_\_\_  
**SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\***

**\*Written evidence of Agent's standing to represent petitioner may be requested.**

-----  
Commonwealth of Massachusetts, County of Suffolk

The above-name YINGCHAO YU personally appeared before me,  
this 18<sup>th</sup> of March, 2022, and made oath that the above statement is true.

J. Kirsten N. McElaney Notary

My commission expires 8/18/2028 (Notary Seal).



J. Kirsten N. McElaney  
NOTARY PUBLIC  
Commonwealth of  
Massachusetts  
My Commission Expires  
8/18/2028

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

**BZA APPLICATION FORM - OWNERSHIP INFORMATION**

**To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.**

I/We Yingchao Yu and Siyu Huang, Trustees of 49 Alpine Street Realty Trust  
(OWNER)

Address: 49 Alpine Street, Cambridge, MA

State that I/We own the property located at 49 Alpine Street, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Siyu Huang  
49 Alpine Street Realty Trust

\*Pursuant to a deed of duly recorded in the date 01/05/2022, Middlesex South County Registry of Deeds at Book \_\_\_\_\_, Page \_\_\_\_\_; or Middlesex Registry District of Land Court, Certificate No. 278380  
Book 01584 Page 14.



SIGNATURE BY LAND OWNER OR  
AUTHORIZED TRUSTEE, OFFICER OR AGENT\*

*\*Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Suffolk

The above-name Siyu Huang personally appeared before me, this 18<sup>th</sup> of March, 2022, and made oath that the above statement is true.

J. Kirsten McElenny Notary

My commission expires 8/18/2028 (Notary Seal).



J. Kirsten N. McElenny  
NOTARY PUBLIC  
Commonwealth of  
Massachusetts  
My Commission Expires  
8/18/2028

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 49 Alpine St., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A) Requirements of the Ordinance can or will be met for the following reasons:**

One parking space was eliminated to accommodate the request of abutters, which will be better for the environment, will decrease street congestion, would not be hazardous, would not eliminate an on-street space due to additional curb cut that would be required, and would therefore comply with the requirements for a special permit to Section 6.35 of the Ordinance.

**B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:**

Eliminating a parking space means there will be one less curb cut, more on-street parking for abutters, and less street congestion.

**C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:**

Having one less parking space will have no effect on the operation or development of adjacent properties, and would be beneficial due to the additional on-street parking space available for owners, occupants and guests of adjacent properties.

**D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:**

Having one less curb cut will reduce the number of driveways with cars pulling out onto the street which will be less hazardous than having two and the property cannot have tandem spaces due to the location of the existing structure.

**E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:**

Having one curb cut and one parking space will be consistent with the other properties on the street and will be in harmony with the intent and purpose of the ordinance.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**



## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A VARIANCE**

**EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.**

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The owners purchased the property to use for the allowed use as a two-family dwelling to house themselves in one unit and their parents in the other. Complying with the FAR requirement by adding sufficient living space for the occupants in the basement would deprive them of sunlight, increase electricity costs and be a detriment to the environment. The pre-existing building is noncompliant with the aggregate side yard requirement, but meets the individual side yard requirements and the side wall is simply being extended in the rear. The inability to meet the off-street parking requirement for two units would prevent the owner from converting the building to the allowed use of a two-family dwelling without a second curb cut.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The existing structure is 76 years old, has a pre-existing nonconformity with respect to the side yard requirement, and needs updating and additional living space. The location of the structure and the slope and topography of the lot also do not allow for two off-street parking spaces without a second curb cut. The building footprint could be expanded in a manner to add living space in the basement without violating the FAR requirement, but this would (a) deprive the occupants of the health and wellness benefits of sunlight, (b) increase their electricity costs, and (c) be a detriment to the environment. The existing building also has living space in the attic which is currently unuseable due to the roof height.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The addition on the rear of the building faces a large park and not other dwellings. The proposed project increases parking spaces to meet the current requirement. The size of the proposed building is consistent with the neighborhood.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed project provides adequate light and air to the occupants without reducing the same to neighboring properties, and does not create any safety risks to the community.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Date: \_\_\_\_\_

**BZA Application Form****DIMENSIONAL INFORMATION**

**Applicant:** 49 Alpine Street Realty Trust  
**Location:** 49 Alpine St., Cambridge, MA  
**Phone:** 6179420691

**Present Use/Occupancy:** Single-Family Dwelling  
**Zone:** Residence B Zone  
**Requested Use/Occupancy:** Two-Family Dwelling

		<b><u>Existing Conditions</u></b>	<b><u>Requested Conditions</u></b>	<b><u>Ordinance Requirements</u></b>	
<b><u>TOTAL GROSS FLOOR AREA:</u></b>		2,288	3,710	2,520	(max.)
<b><u>LOT AREA:</u></b>		5039	5039	5000	(min.)
<b><u>RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup></u></b>		.45	.74	.50	
<b><u>LOT AREA OF EACH DWELLING UNIT</u></b>		5039	2520	2500	
<b><u>SIZE OF LOT:</u></b>	<b><u>WIDTH</u></b>	56	56	50	
	<b><u>DEPTH</u></b>	90	90	NA	
<b><u>SETBACKS IN FEET:</u></b>	<b><u>FRONT</u></b>	20.7	19.6	15	
	<b><u>REAR</u></b>	42.9	26.63	25	
	<b><u>LEFT SIDE</u></b>	7.7	7.7	7.5	
	<b><u>RIGHT SIDE</u></b>	1.4	7.78	7.5	
<b><u>SIZE OF BUILDING:</u></b>	<b><u>HEIGHT</u></b>	27	34.9	35	
	<b><u>WIDTH</u></b>	24.72	38.72	NA	
<b><u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u></b>		79.8	67	40	
<b><u>NO. OF DWELLING UNITS:</u></b>		1	2	2	
<b><u>NO. OF PARKING SPACES:</u></b>		0	1	1	
<b><u>NO. OF LOADING AREAS:</u></b>		0	0	0	
<b><u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u></b>		NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

None

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

## **Pacheco, Maria**

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**From:** Babbitt, Eileen F. <Eileen.Babbitt@tufts.edu>  
**Sent:** Monday, June 6, 2022 11:52 PM  
**To:** Pacheco, Maria  
**Subject:** Proposed renovation of 47-49 Alpine Street

Dear Board of Zoning Appeals,

I reside at 24 Alpine Street, on the same block as the proposed building renovation at the above address. I strongly oppose the proposed plan, as it far exceeds the zoning guidelines for this neighborhood. The increase in height and the extension into the back so close to the property line would block light and views for neighboring houses and their yards. The streetscape here is of a scale and design that makes the street very pleasant and easy to meet neighbors. We'd like to maintain that quality. The proposed house is visually bulky and domineering and out of sync with the scale of the street. Please reject the current plan and ask the owners to scale back their renovation.

Please let me know if you have further questions.

Eileen Babbitt  
24 Alpine Street  
Cambridge

## **Pacheco, Maria**

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**From:** Kirson, Noam <Noam.Kirson@analysisgroup.com>  
**Sent:** Monday, June 6, 2022 5:23 PM  
**To:** Pacheco, Maria  
**Cc:** danayalin@gmail.com  
**Subject:** BZA - 167013 47-49 Alpine St

Dear members of the Board of Zoning Appeal,

We are writing to oppose the planned renovation of 47-49 Alpine Street (Case no. BZA-167013). We are the owners of the neighboring property at 43 Alpine Street, where we have lived since 2012 and where we have raised our three children. We are excited to have new neighbors, and look forward to welcoming Siyu, Alex and their family into our community, much as we were warmly welcomed 10 years ago. That said, the planned renovation of their new home is excessive in scale, and will have direct negative impact on our home and the Alpine Street community. As we have told Siyu and Alex in our discussions with them, we hope that they will scale back their project considerably and believe they can accommodate their needs within a more modest design.

The key issue with the proposed renovation is its sheer scale. At over 3,700 square feet (excluding the basement), the new home would exceed the permitted FAR by a staggering 50%. There is nothing remotely close to that on our block. To put the proposed expansion in context, it would be roughly equivalent to taking the whole of our house at 43 Alpine and adding it to the existing property at 47-49 Alpine. The result is an excessive structure the builds both up and out. The current plan calls for a full third floor, as well as a substantial two-floor addition at the rear on our side. That addition would significantly extend the home in a place that lacks the setback required by code, and will substantially impact our view. The combined height and heft of the new home will negatively affect our quality of life.

We urge the BZA to deny the current petition, and ask Siyu and Alex to once again reconsider their plans for the property.

Sincerely,

Dana Yalin and Noam Kirson  
43 Alpine street



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

### BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Michael Welsh Date: \_\_\_\_\_  
(Print)

Address: 49 Alpine St.

Case No. BZA-167013

Hearing Date: 6/9/22

Thank you,  
Bza Members

**Pacheco, Maria**

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**From:** Tivnan, Terrence <terry\_tivnan@gse.harvard.edu>  
**Sent:** Monday, June 6, 2022 10:20 AM  
**To:** Pacheco, Maria  
**Subject:** BZA-167013

To: Zoning Board of Appeals, City of Cambridge

From: Terrence Tivnan, owner of 36-38 Alpine St., Cambridge

Date: 6 June 2022

Re: Case number BZA - 167013 47-49 Alpine application for variance & special permit.

I am writing to express my opposition to the current plans for 47-49 Alpine St. I have owned the house at 36-38 Alpine St. for forty-five years, and I have seen many changes in homes on Alpine St. As many of the current neighbors have explained, their renovations have all carefully complied with the Cambridge guidelines. The proposed addition at 47-49 Alpine seems far out of line and is excessive for the lot size. I am sure the owners can come up with a more modest plan that will be consistent with the scale and character of the neighboring homes.

The current neighbors on Alpine St. have carefully explained their objections. Please read their letters and listen carefully to the concerns. I am sure a better and more modest plan can be developed.

Please let me know if there is any additional information I may provide.

Respectfully,

Terrence Tivnan  
Owner of 36-38 Alpine St.

Current address: 6 Page Rd, Weston, MA 02493

Email: [terry\\_tivnan@gse.harvard.edu](mailto:terry_tivnan@gse.harvard.edu)

PROJECT :

PROJECT ADDRESS : 47- 49 ALPINE ST, CAMBRIDGE MA

PROJECT SUMMARY:  
ADDITION AND GUT RENOVATION

DRAWING LIST:

SHEET #	DRAWING TITLE
00-GENERAL	
X00	PROJECT COVER SHEET
01 DEMO	
D01	DEMOLITION PLAN BASEMENT
D02	DEMOLITION PLAN FIRST LEVEL
D03	DEMOLITION PLAN SECOND LEVEL
D04	DEMOLITION PLAN ATTIC EXISTING
01 PLANS	
A1	BASEMENT PLAN PROPOSED
A2	FIRST FLOOR PLAN PROPOSED
A3	SECOND FLOOR PROPOSED
A4	THRID FLOOR - NEW
A5	ROOF PLAN - NEW
A7	RIGHT ELEV. - EXISTING
A7a	RIGHT ELEVATION - NEW
A8	FRONT ELEVATION EXISTING
A8a	FRONT ELEVATION PROPOSED
A9	REAR ELEVATION EXISTING
A9a	REAR ELEVATION - NEW
A10	LEFT ELEVATION - EXISTING
A10a	LEFT ELEVATION NEW
Grand total: 18	

EXISTING FLOOR AREA (TOTAL 2,288 SF):  
FIRST FLOOR 906 SF  
SECOND FLOOR 939 SF  
ATTIC 443  
BASEMENT 900 SF (EXCLUDED)  
SHED xx (EXCLUDED)

PROPOSED FLOOR AREA (TOTAL 3,710 SF):  
FIRST FLOOR 1,500 SF  
SECOND FLOOR 1,266 SF  
THIRD/ATTIC FLOOR 944 SF  
BASEMENT 1,250 SF (EXCLUDED)

PROPOSED AREA BREAKDOWN FOR EACH UNIT  
UNIT 1 (BASEMENT 1086 + FIRST LEVEL 1,102 SF)  
SUBTOTAL 2,188 SF  
UNIT 2 (SECOND LEVEL 1,102 + THIRD LEVEL 800 SF)  
SUBTOTAL 1,902 SF  
COMMON AREA (ENTRY, STAIRS AND ELEVATOR )  
SUBTOTAL 870 SF



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

PROJECT  
COVER SHEET

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

X00

Scale



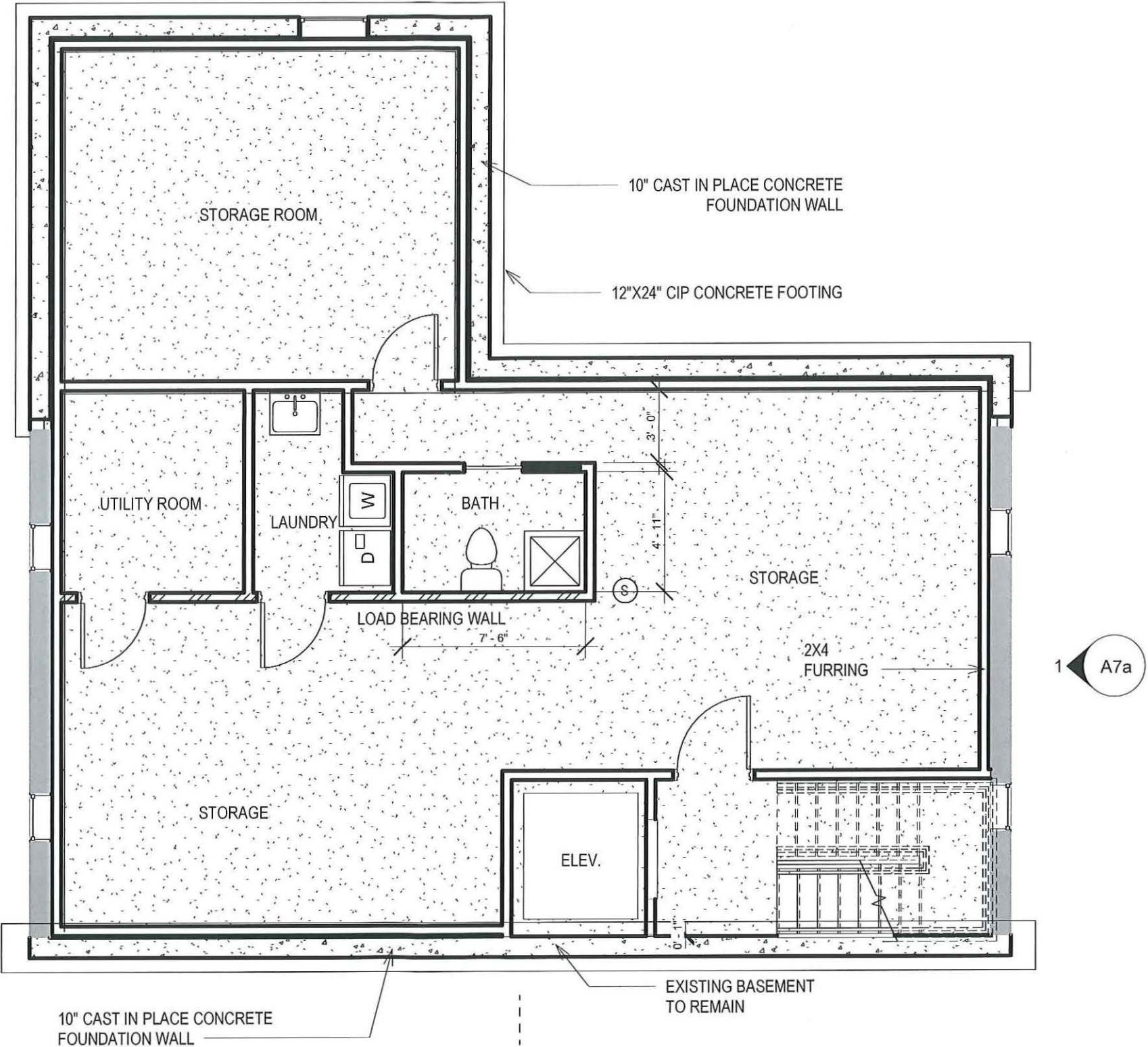
GENERAL NOTE:  
CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH OWNER  
FOR ALL CONSTRUCTION ISSUES.  
THIS DRAWING SET IS TO SHOW DESIGN INTENT AND FOR  
PERMIT APPLICATION ONLY.

FIRE ALARM LEGEND

⑤ SMOKE ALARM    ⑤/S CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK



UNIT 1  
FLOOR AREA - 1, 250 SF

COMMON AREA (STAIR AND ELEVATOR ) 164 SF  
LIVING AREA 1,086 SF

1 BASEMENT PLAN - NEW  
A1 Scale: 3/16" = 1'-0"



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

BASEMENT  
PLAN  
PROPOSED

Project number 0.08

Date 04/20/2022

Drawn by Tian Sun

Checked by Checker

A1

Scale As indicated

4/23/2022 11:00:10 PM

GENERAL NOTE:  
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FIRE ALARM LEGEND

③ SMOKE ALARM    ③/③ CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK

2X6 WALL NEW, TYP

2X6 WALL,  
EXISTING TO  
REMAIN

A10a 1

2X4 WALL NEW TYP

ELEV.

LIVIGNG ROOM

#1  
ENTRY

DN

UP

BLDG  
ENTRY

③/③

UNIT 1

FLOOR AREA - 1,500 SF

COMMON AREA (STAIR AND ELEVATOR) 226 SF  
LIVING AREA 1,102 SF  
REAR STAIR & ROOFED PATIO 172 SF

1

A2

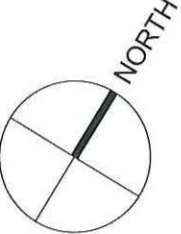
LEVEL 1 FLOOR PLAN NEW WORK

Scale: 3/16" = 1'-0"

Ref: A7

1  
A8a

1  
A7a



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

FIRST FLOOR  
PLAN  
PROPOSED

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A2

Scale As indicated

4/23/2022 11:00:50 PM



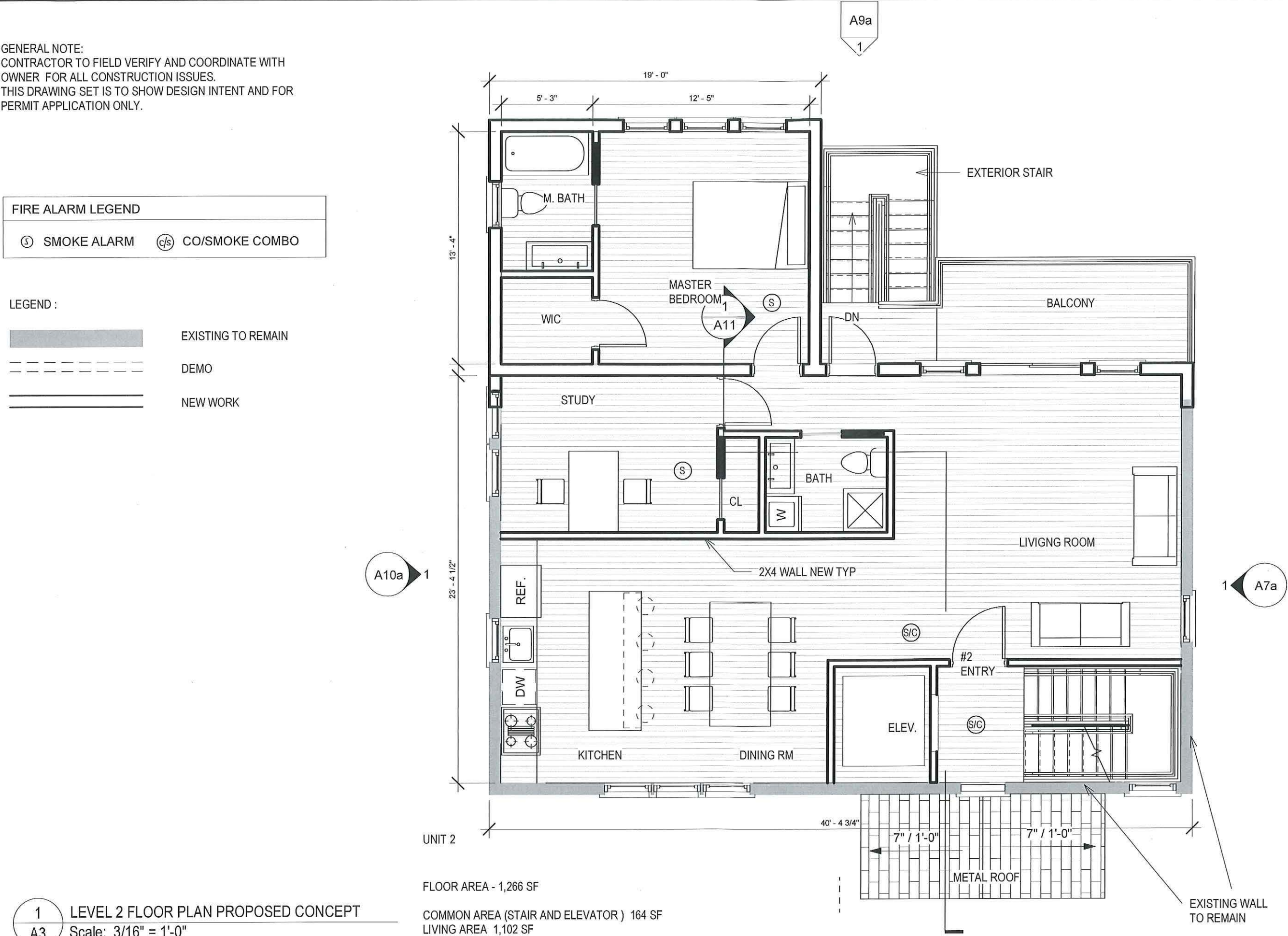
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PERMIT APPLICATION ONLY.

FIRE ALARM LEGEND

Ⓢ SMOKE ALARM Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK



1 LEVEL 2 FLOOR PLAN PROPOSED CONCEPT  
A3 Scale: 3/16" = 1'-0"



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

SECOND  
FLOOR  
PROPOSED

Project number 0.08

Date 04/20/2022

Drawn by KX

Checked by KX

A3

Scale As indicated

4/23/2022 11:00:51 PM

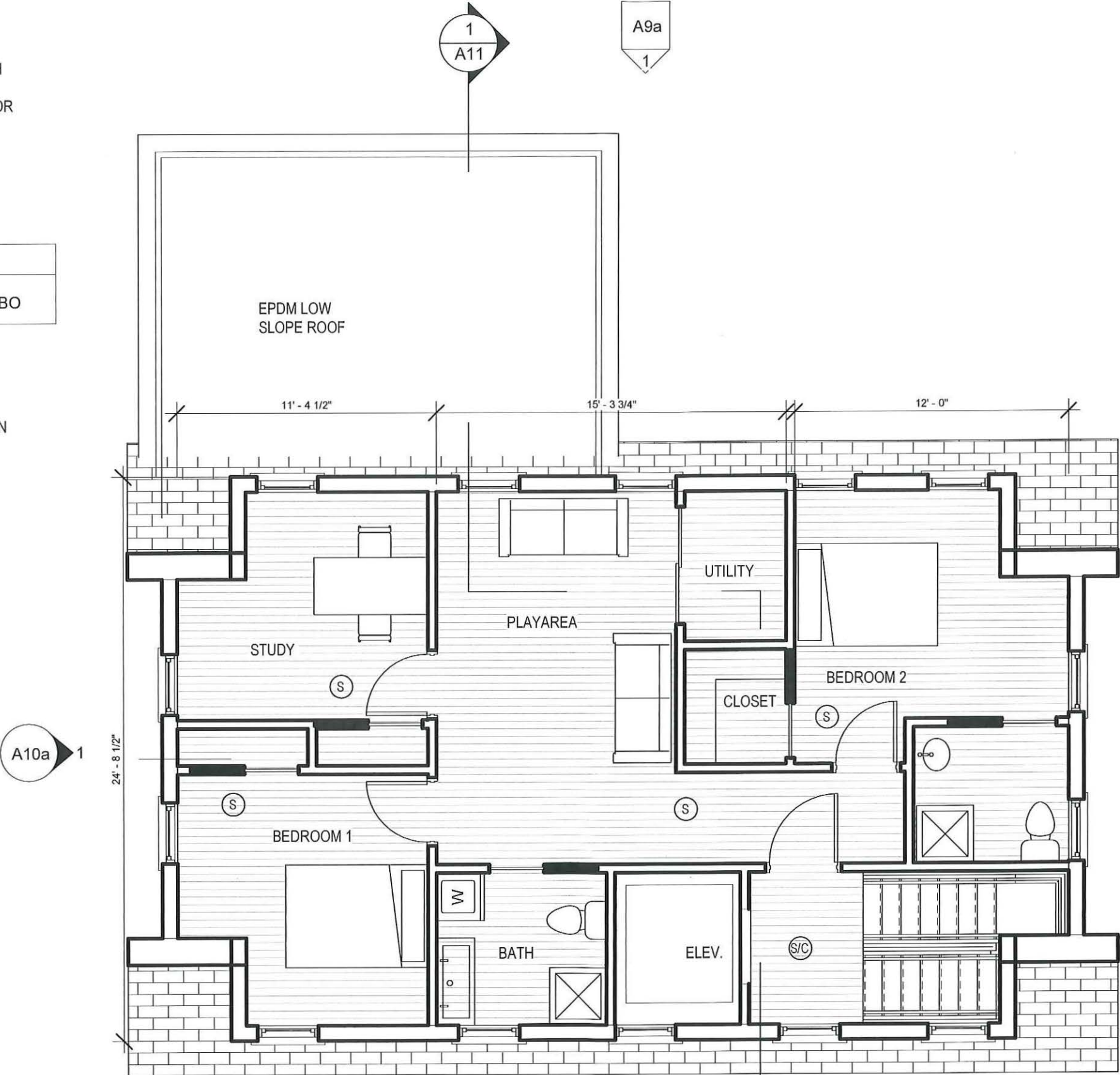
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FIRE ALARM LEGEND

Ⓢ SMOKE ALARM    Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK



UNIT 2

FLOOR AREA - 944 SF

COMMON AREA (STAIR AND ELEVATOR) 144 SF  
LIVING AREA 800 SF

1 ATTIC  
A4 Scale: 3/16" = 1'-0"

Ref: A7



ARCHITECT:  
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PRELIMINARY CONCEPT,  
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47 Alpine St

CAMBRIDGE MA

THRID FLOOR  
- NEW

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A4

Scale As indicated

4/23/2022 11:00:52 PM


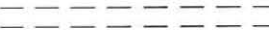
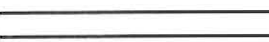


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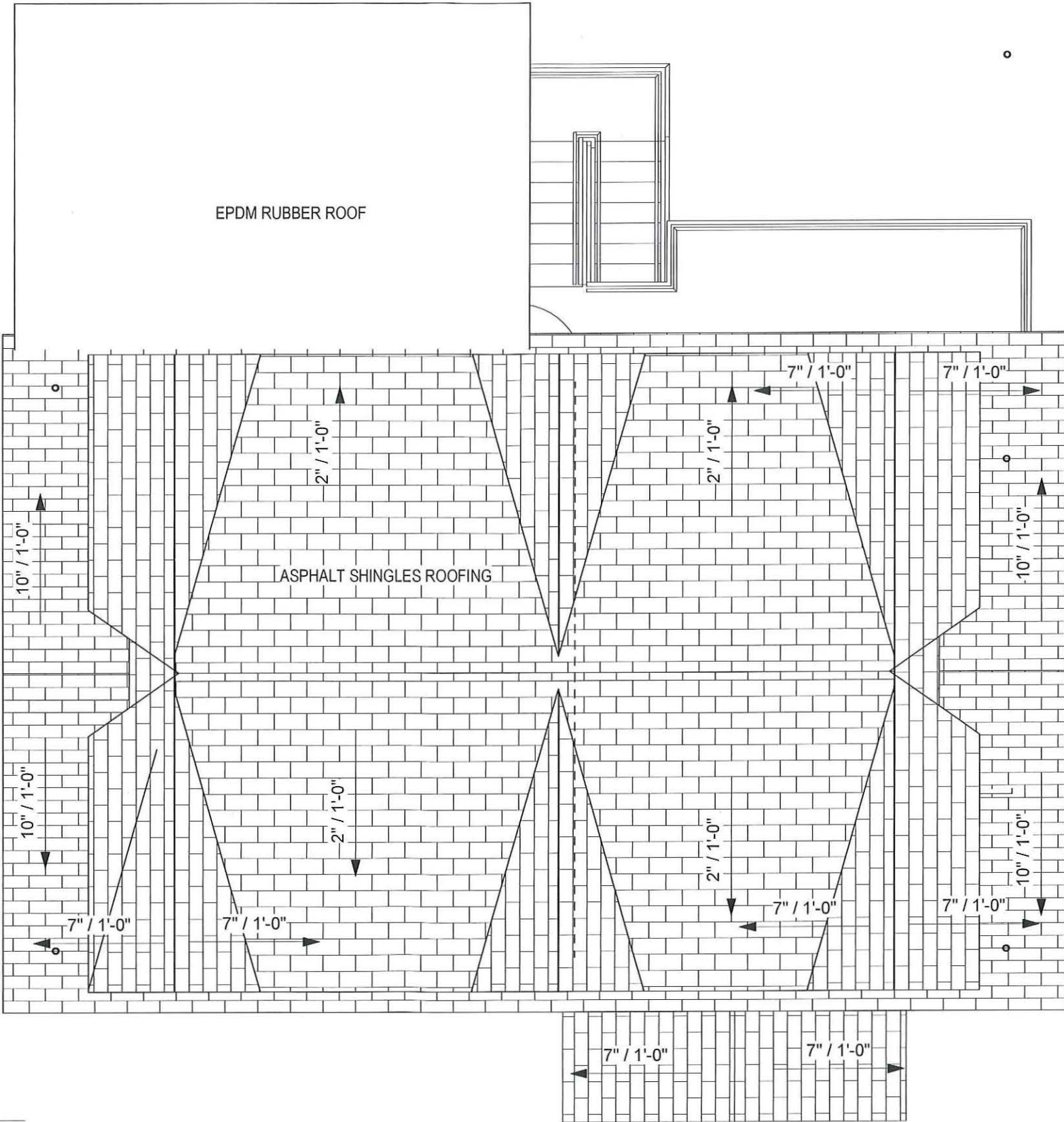
FIRE ALARM LEGEND

③ SMOKE ALARM    Ⓞ/s CO/SMOKE COMBO

LEGEND :

 EXISTING TO REMAIN  
 DEMO  
 NEW WORK

A10a 1



1 ROOF PLAN NEW  
A5 Not to Scale



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
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PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

ROOF PLAN -  
NEW

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A5

Scale As indicated

4/23/2022 11:00:52 PM

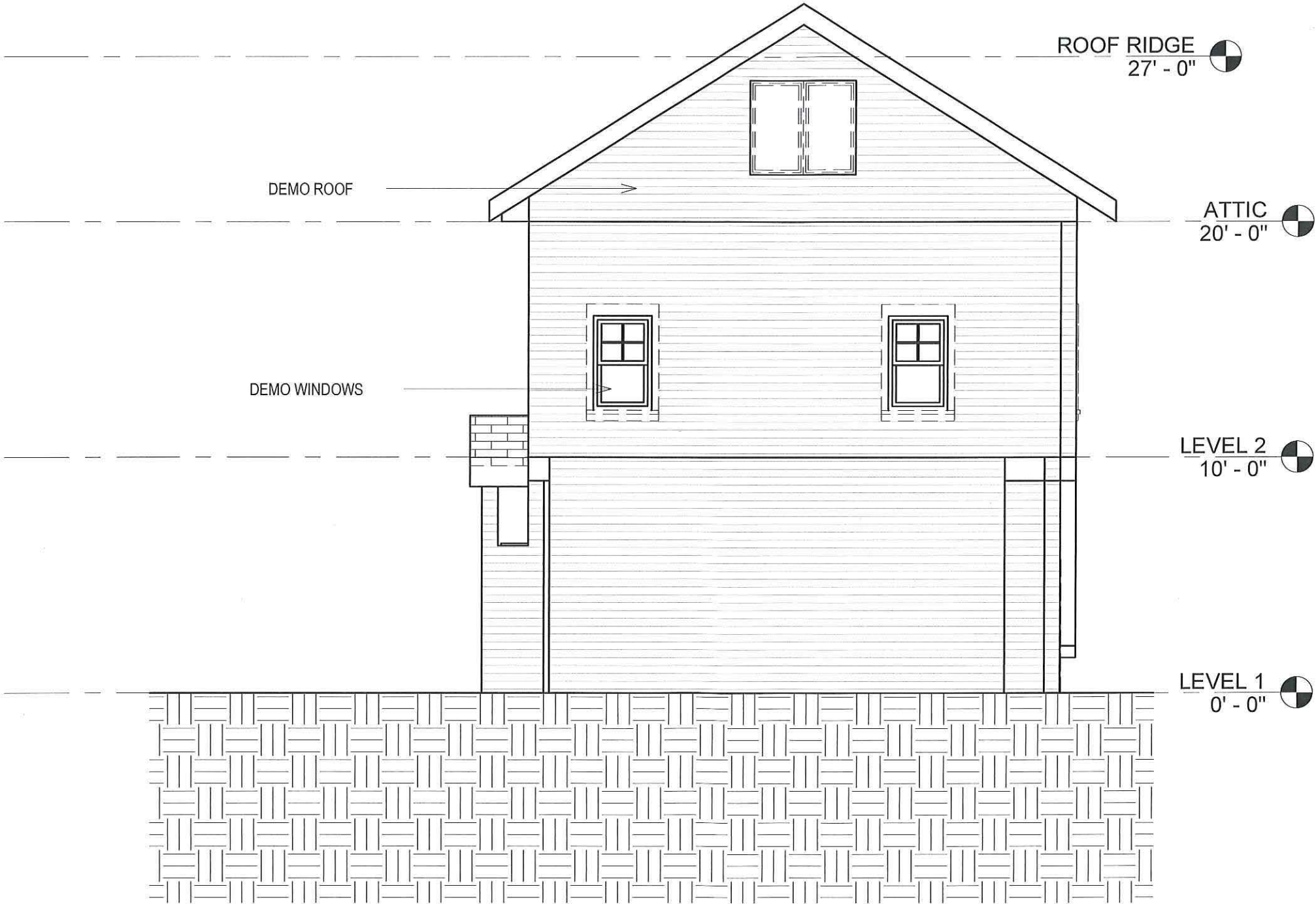
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Ⓢ SMOKE ALARM    Ⓢ/s CO/SMOKE COMBO

LEGEND :

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DEMO  
NEW WORK



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PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**RIGHT ELEV. -  
EXISTING**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

**A7**

Scale As indicated

1 REAR ELEVATION - EXISTING  
A7 Scale: 3/16" = 1'-0"

Ref: D03

4/23/2022 11:00:53 PM



GENERAL NOTE:  
CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH  
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THIS DRAWING SET IS TO SHOW DESIGN INTENT AND FOR  
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FIRE ALARM LEGEND

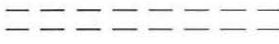
⑤ SMOKE ALARM

Ⓢ CO/SMOKE COMBO

LEGEND :



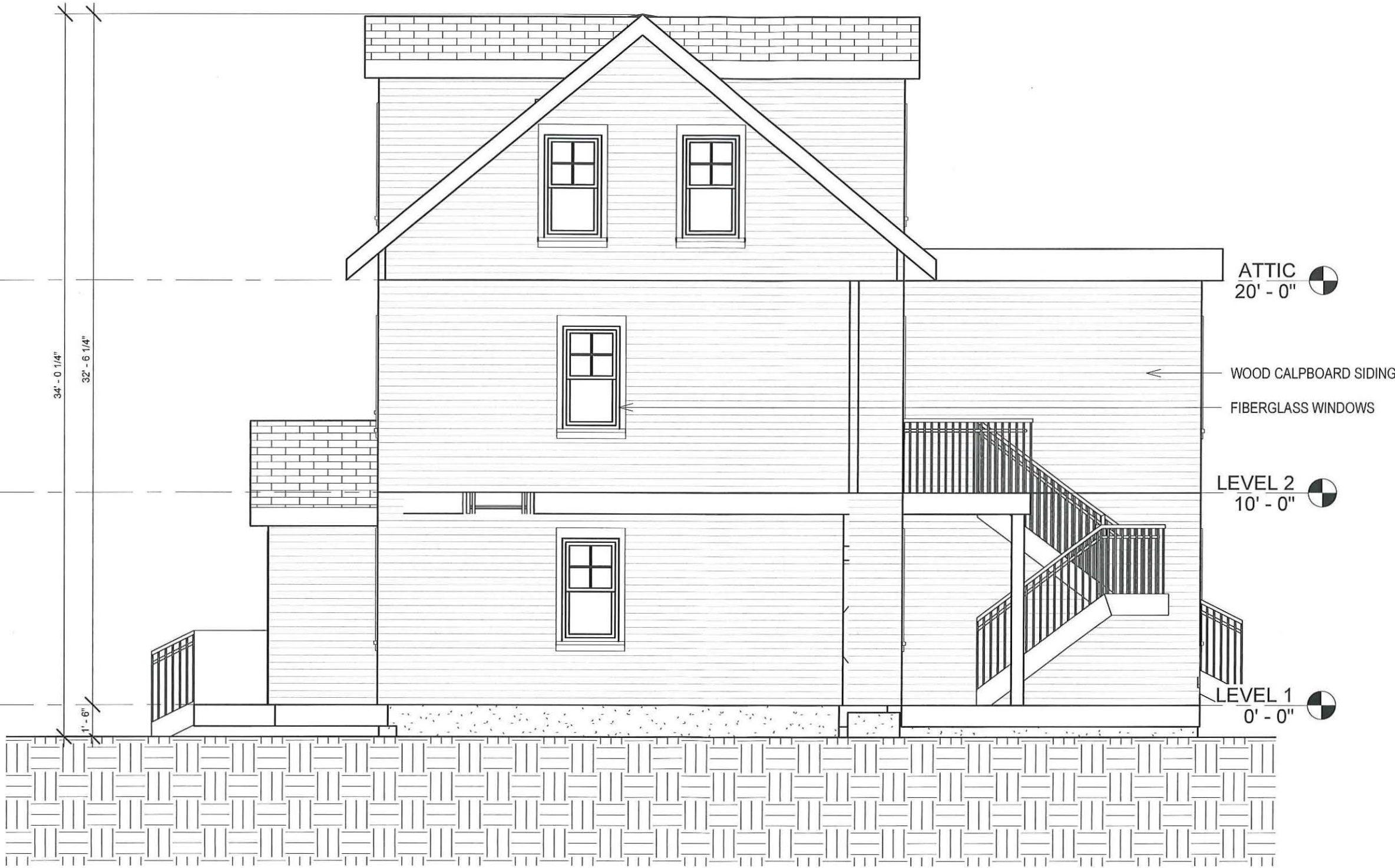
EXISTING TO REMAIN



DEMO



NEW WORK



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**RIGHT  
ELEVATION -  
NEW**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

**A7a**

Scale As indicated

1 REAR ELEVATION NEW  
A7a Scale: 3/16" = 1'-0"

Ref: A1

4/23/2022 11:00:54 PM


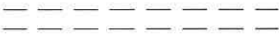



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FIRE ALARM LEGEND

Ⓢ SMOKE ALARM    Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

 EXISTING TO REMAIN  
 DEMO  
 NEW WORK



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PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

FRONT  
ELEVATION  
EXISTING

Project number    0.08

Date    04/20/2022

Drawn by    Author

Checked by    Checker

A8

Scale    As indicated

1 FRONT ELEVATION - EXISTING  
A8 Scale: 3/16" = 1'-0"

4/23/2022 11:00:54 PM

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FIRE ALARM LEGEND

⑤ SMOKE ALARM    Ⓢ CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

FRONT  
ELEVATION  
PROPOSED

Project number    0.08

Date    04/20/2022

Drawn by    Author

Checked by    Checker

A8a

Scale    As indicated



1  
A8a FRONT ELEVATION - NEW  
Scale: 3/16" = 1'-0"



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FIRE ALARM LEGEND

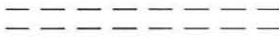
⑤ SMOKE ALARM

Ⓢ CO/SMOKE COMBO

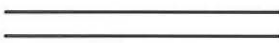
LEGEND :



EXISTING TO REMAIN



DEMO



NEW WORK



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INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

ROOF RIDGE  
27' - 0"

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

ATTIC  
20' - 0"

CAMBRIDGE MA

REAR  
ELEVATION  
EXISTING

Project number 0.08

Date 04/20/2022

Drawn by  
LEVEL 1

Author

Checked by

Checker

A9

Scale As indicated

1  
A9

REAR ELEVATION- EXISTING  
Not to Scale

4/23/2022 11:00:56 PM

GENERAL NOTE:  
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FIRE ALARM LEGEND

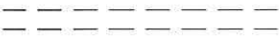
Ⓢ SMOKE ALARM

Ⓢ CO/SMOKE COMBO

LEGEND :



EXISTING TO REMAIN



DEMO



NEW WORK



1 REAR ELEVATION - NEW  
A9a Scale: 3/16" = 1'-0"



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

REAR  
ELEVATION -  
NEW

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A9a

Scale As indicated

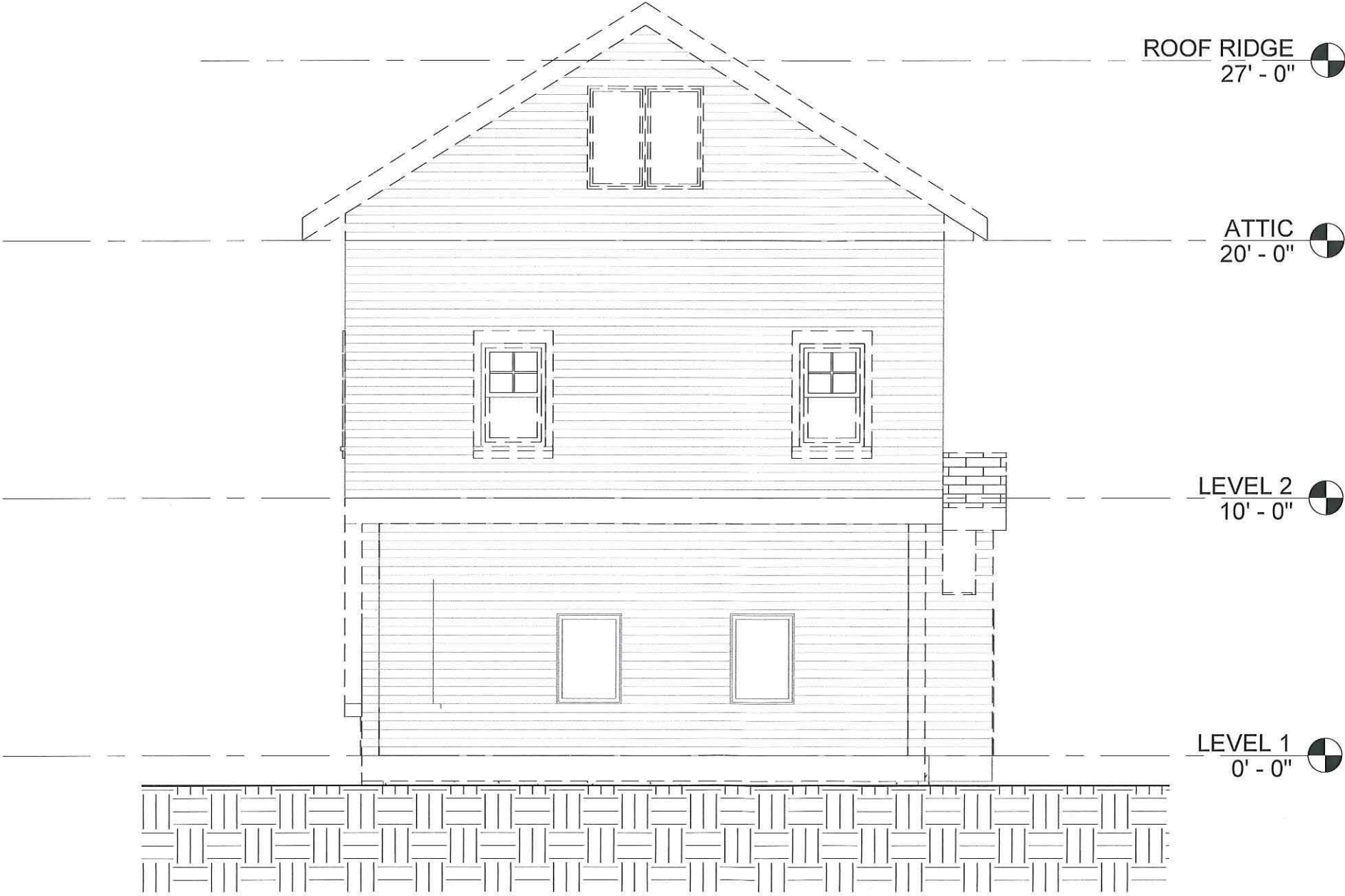
4/23/2022 11:00:56 PM



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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/s	CO/SMOKE COMBO

LEGEND :	
	EXISTING TO REMAIN
	DEMO
	NEW WORK



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St  
EXISTING ROOF

CAMBRIDGE MA

EXISTING  
**LEFT  
ELEVATION -  
EXISTING**

Project number 0.08

Date EXISTIN 04/20/2022

Drawn by Author

Checked by Checker

**A10**

Scale As indicated

1 LEFT ELEVATION EX  
A10 Scale: 3/16" = 1'-0"

Ref: D01

4/23/2022 11:00:57 PM

GENERAL NOTE:  
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FIRE ALARM LEGEND

Ⓢ SMOKE ALARM Ⓢ/s CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

LEFT  
ELEVATION  
NEW

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A10a

Scale As indicated






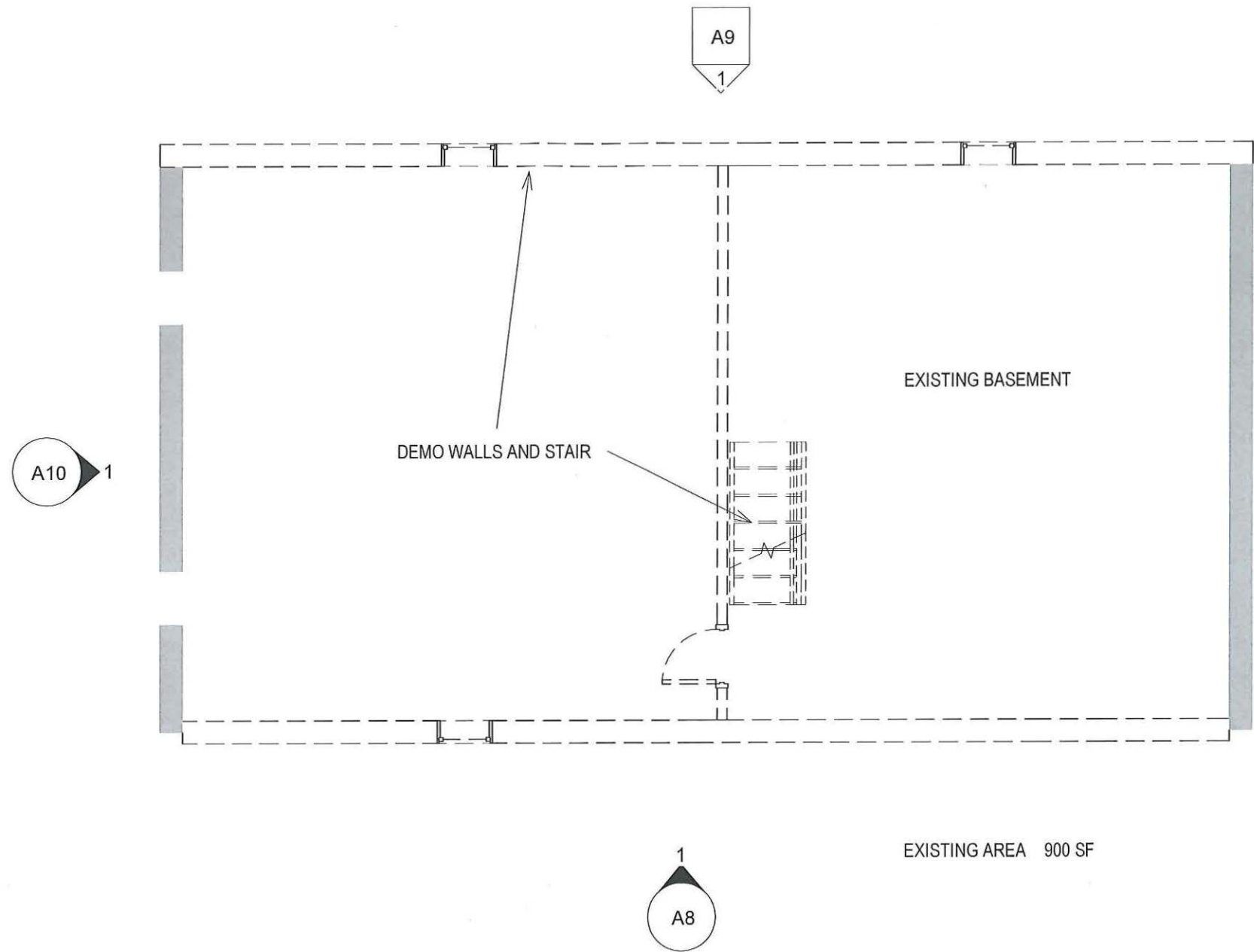
1 LEFT ELEVATION - NEW  
A10a Scale: 3/16" = 1'-0"

GENERAL NOTE:  
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OWNER FOR ALL CONSTRUCTION ISSUES.  
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



3 BASEMENT FLOOR PLAN EXISTING SHEET  
D01 Scale: 3/16" = 1'-0" Ref: A9a



ARCHITECT:  
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PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

DEMOLITION  
PLAN  
BASEMENT

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

D01

Scale As indicated



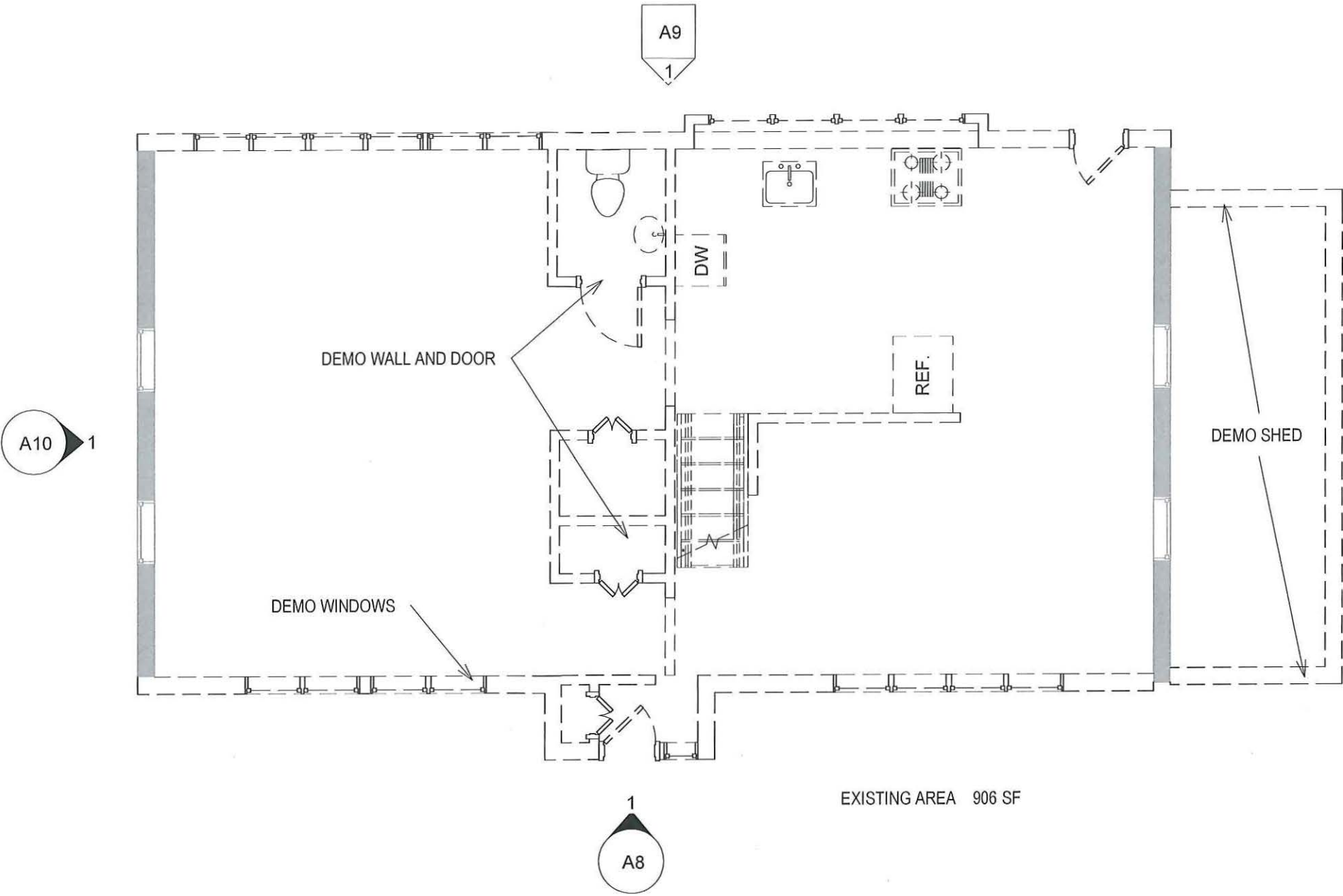
GENERAL NOTE:  
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FIRE ALARM LEGEND

Ⓢ SMOKE ALARM    Ⓢ/s CO/SMOKE COMBO

LEGEND :

EXISTING TO REMAIN  
DEMO  
NEW WORK



EXISTING AREA 906 SF

1 LEVEL 1 FLOOR PLAN EXISTING SHEET  
D02 Scale: 3/16" = 1'-0" Ref: A7



ARCHITECT:  
UP DESIGN & BUILD, LLC

EMAIL:  
INFO@UpDesignBuild.COM

PHONE:  
617-902 8626

PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

DEMOLITION  
PLAN FIRST  
LEVEL

Project number 0.08

Date 04/20/2022

Drawn by KX

Checked by KX

D02

Scale As indicated

4/23/2022 11:00:59 PM

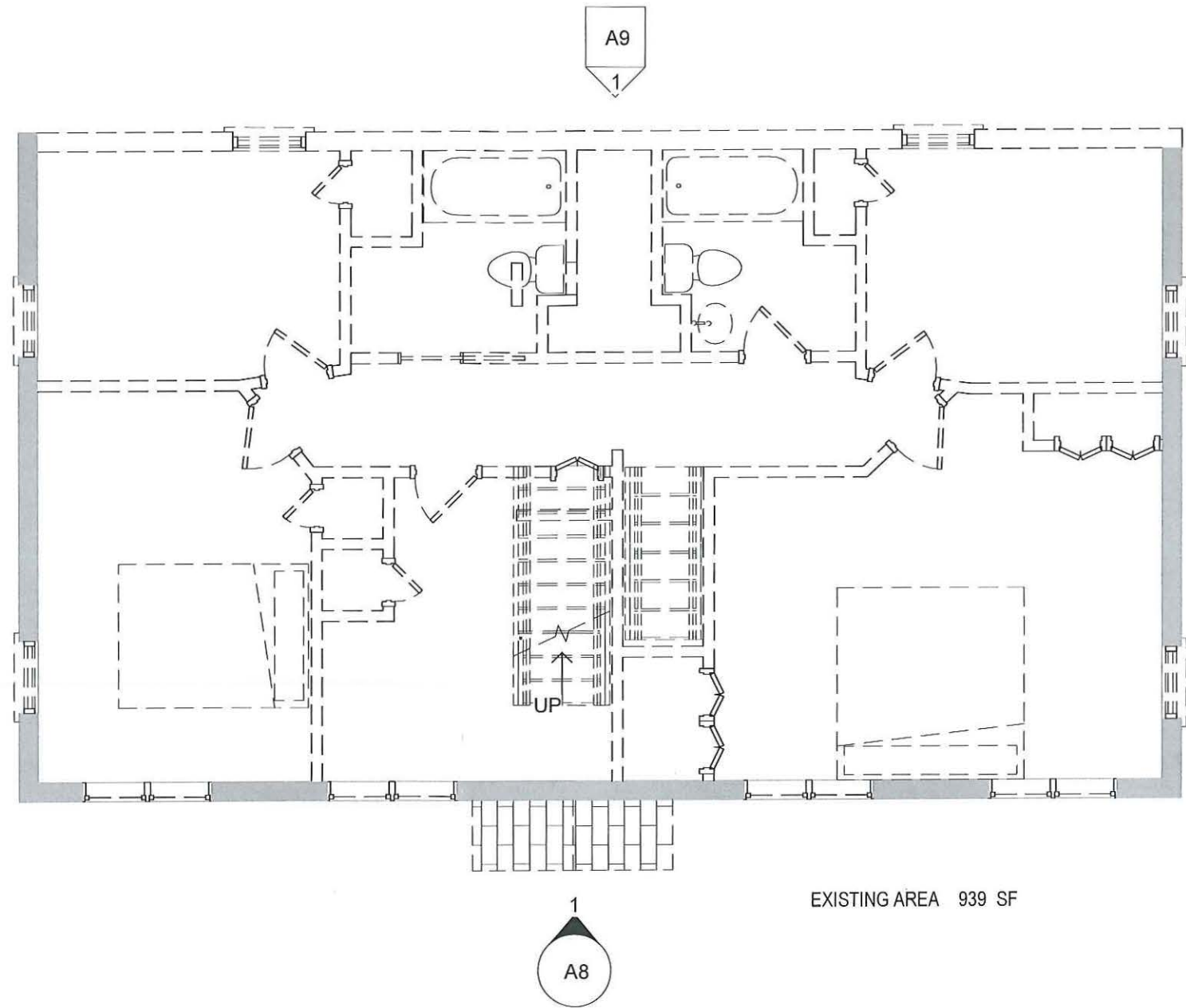
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK

A10  
1



EXISTING AREA 939 SF

1  
A8

1  
D03

LEVEL 2 FLOOR PLAN EXISTING SHEET  
Scale: 3/16" = 1'-0"



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PRELIMINARY CONCEPT,  
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47 Alpine St

CAMBRIDGE MA

DEMOLITION  
PLAN  
SECOND  
LEVEL

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by 1  
A7  
Checker

D03

Scale As indicated

4/23/2022 11:00:59 PM



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PHONE:  
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PRELIMINARY CONCEPT,  
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**DEMOLITION  
PLAN ATTIC  
EXISTING**

Project number 0.08

Date 04/20/2022

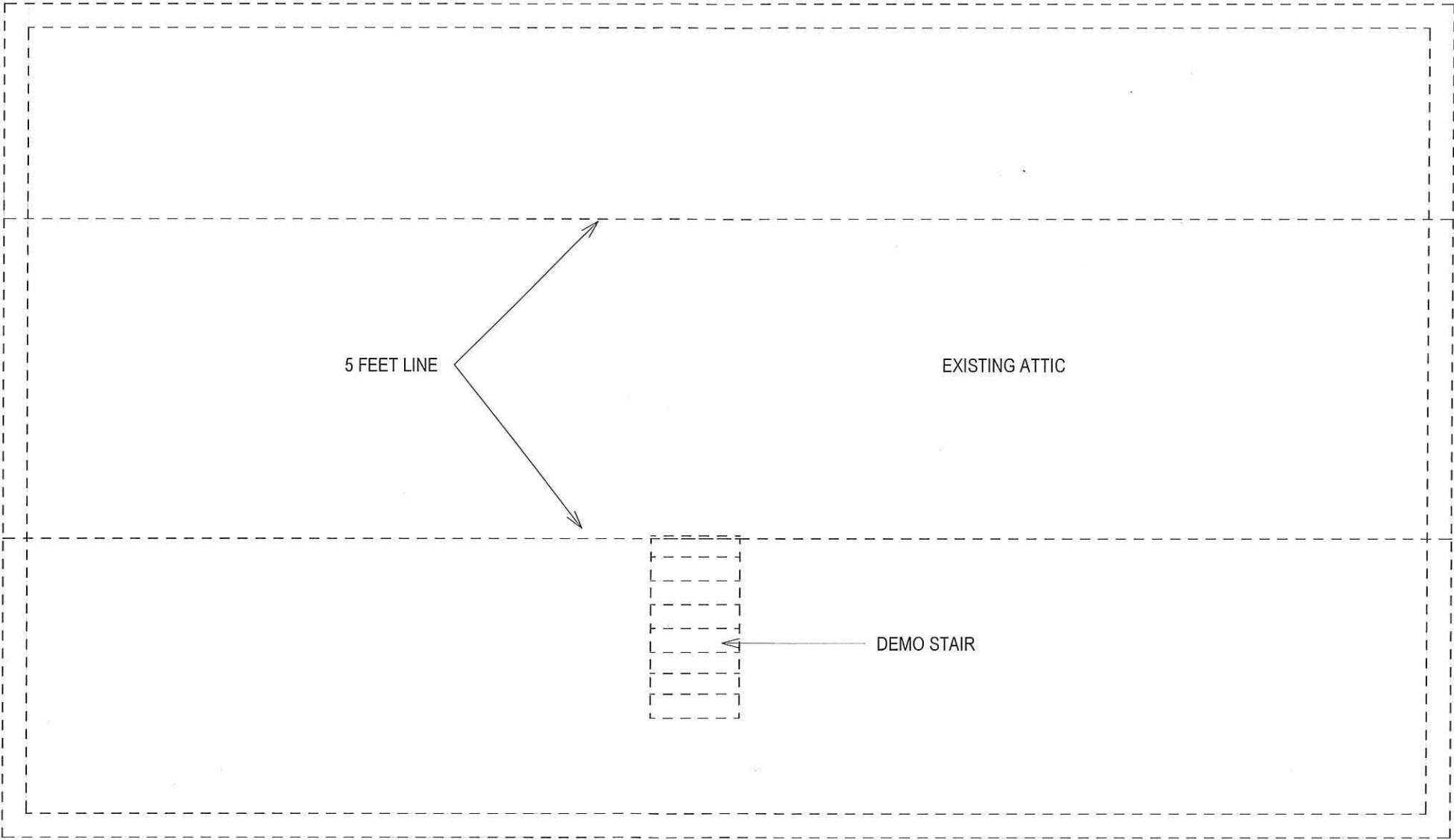
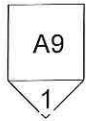
Drawn by Author

Checked by Checker

**D04**

Scale 1/4" = 1'-0"

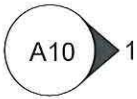
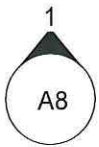
4/23/2022 11:00:59 PM



EXISTING ATTIC

DEMO STAIR

EXISTING ATTIC AREA 443 SF



1 ATTIC LEVEL PLAN  
D04 Scale: 1/4" = 1'-0"

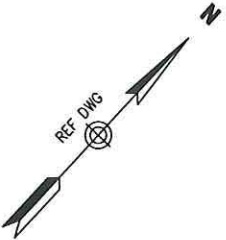


PFS Land  
Surveying, Inc.

20 Bulch Avenue  
Groveport, MA 01834  
P: 978.891.5203  
www.pfsland.com

LEGEND

	BENCHMARK
	BOUND (CONC. STONE, LAND COURT, ETC.)
	CATCH BASIN - SQUARE
	CATCH BASIN - ROUND
	DISK (CAT, USC&GS, LAND COURT, ETC.)
	DRILL HOLE
	DRAIN MANHOLE
	ELECTRIC HANDHOLE
	ELECTRIC MANHOLE
	ELECTRIC METER
	GAS GATE
	GAS METER
	HANDICAP SYMBOL
	GUY WIRE ANCHOR
	FIRE HYDRANT
	LIGHT
	OVERHEAD WIRE
	REBAR MARKER
	MAIL BOX
	OTHER MANHOLE
	PULL BOX
	PEDESTRIAN SIGNAL
	SEWER MANHOLE
	TELEPHONE MANHOLE
	TRANSFORMER
	# OF PARKING SPACES
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL MAST ARM/SPAN WIRE POLE
	SIGN
	UTILITY POLE W/ LIGHT
	UTILITY POLE
	WATER GATE
	WATER SHUTOFF



PROPOSED  
FOUNDATION  
360 S.F.

PATIO TO BE  
REMOVED

SHED TO BE  
REMOVED

PROPOSED  
ENTRYWAY 72.3 S.F.

PROPOSED STAIRS  
AND WALKWAY  
175 S.F.

PROPOSED 11'X18'  
PAVED DRIVEWAY  
198 S.F.

WALKWAYS TO  
BE REMOVED

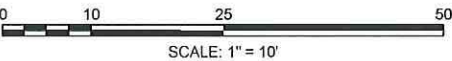
NEW CURB CUT

Zoning Notes:

1) THE LOT LIES ENTIRELY WITHIN THE RESIDENTIAL B DISTRICT (RBD) AS SHOWN ON THE "ZONING DISTRICT MAP OF CAMBRIDGE, MASSACHUSETTS". DIMENSIONAL REQUIREMENTS FOR A (RBD) AT THE TIME OF THIS SURVEY ARE:	
	REQUIRED
MINIMUM LOT AREA.....	5,000 S.F.
MINIMUM FRONTAGE.....	50 FEET
MINIMUM FRONT YARD SETBACK.....	15 FEET
MINIMUM SIDE YARD SETBACK.....	7.5 (SUM 20) FEET
MINIMUM REAR YARD SETBACK.....	25 FEET
MAXIMUM BUILDING HEIGHT.....	35 FEET
MINIMUM OPEN SPACE.....	40%
	PROPOSED
	5,040 S.F.
	58 FEET
	19.49 FEET
	7.76(15.54) FEET
	26.63 FEET
	33 FEET
	66%

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN JANUARY 2022 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN JANUARY 2022.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON LAND COURT PLAN 12809D. ELEVATIONS SHOWN ON THIS PLAN REFER TO AN ASSUMED DATUM.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X UNSHADED (AREA OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CAMBRIDGE, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- 6) NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.



1	Changed addition and driveway	04/25/2022	BGP
No.	Revision	Date	Appr.
Designed by	BGP	Drawn by	BGP
Checked by	BGP	Approved by	BGP
Scale	1"=10'	Date	1/27/2022

Proposed Conditions

Plan of Land

47-49 Alpine Street

Cambridge, MA

Issued for

Review

Drawing Title

Plot Plan



Drawing Number

SV-1

Sheet

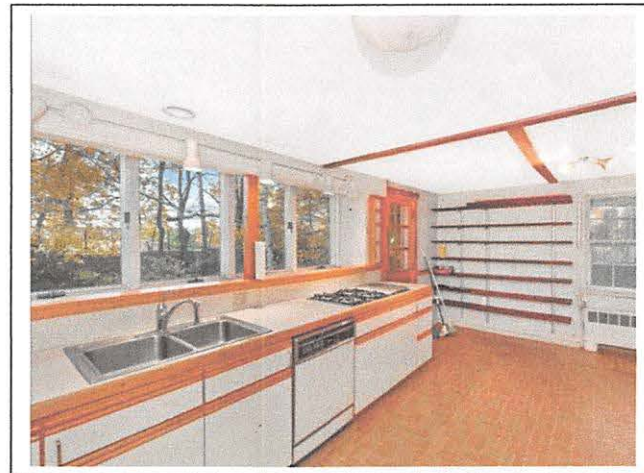
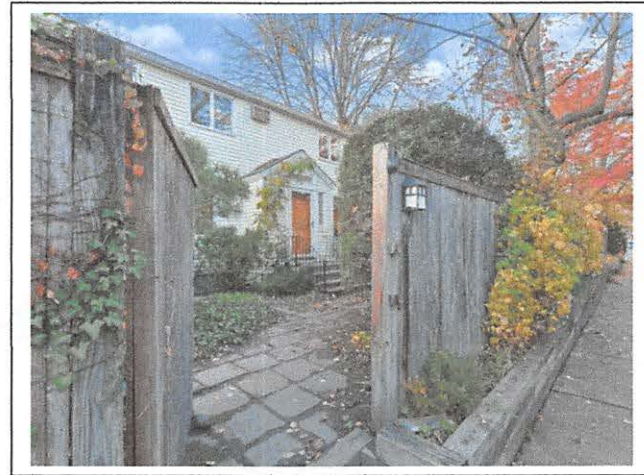
1 of 1

Project Number

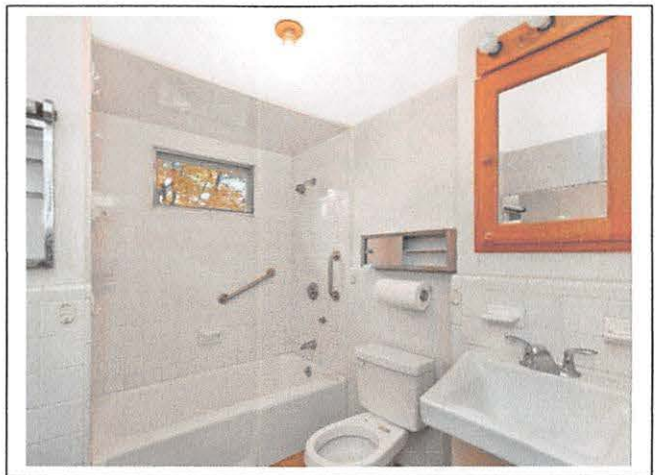
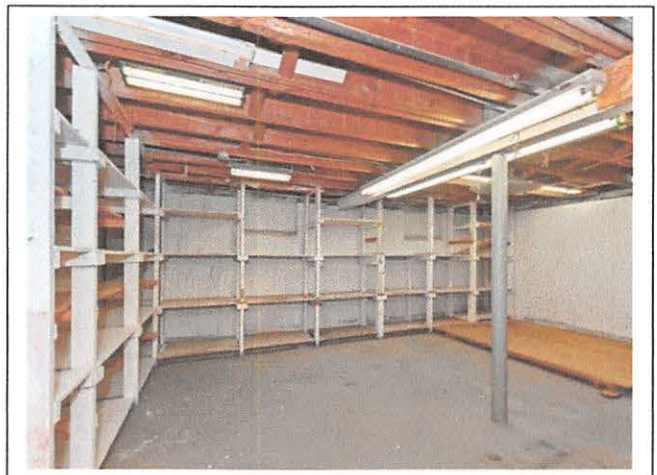
21137



**PHOTOGRAPHS OF 47-49 ALPINE STREET EXISTING CONDITION**







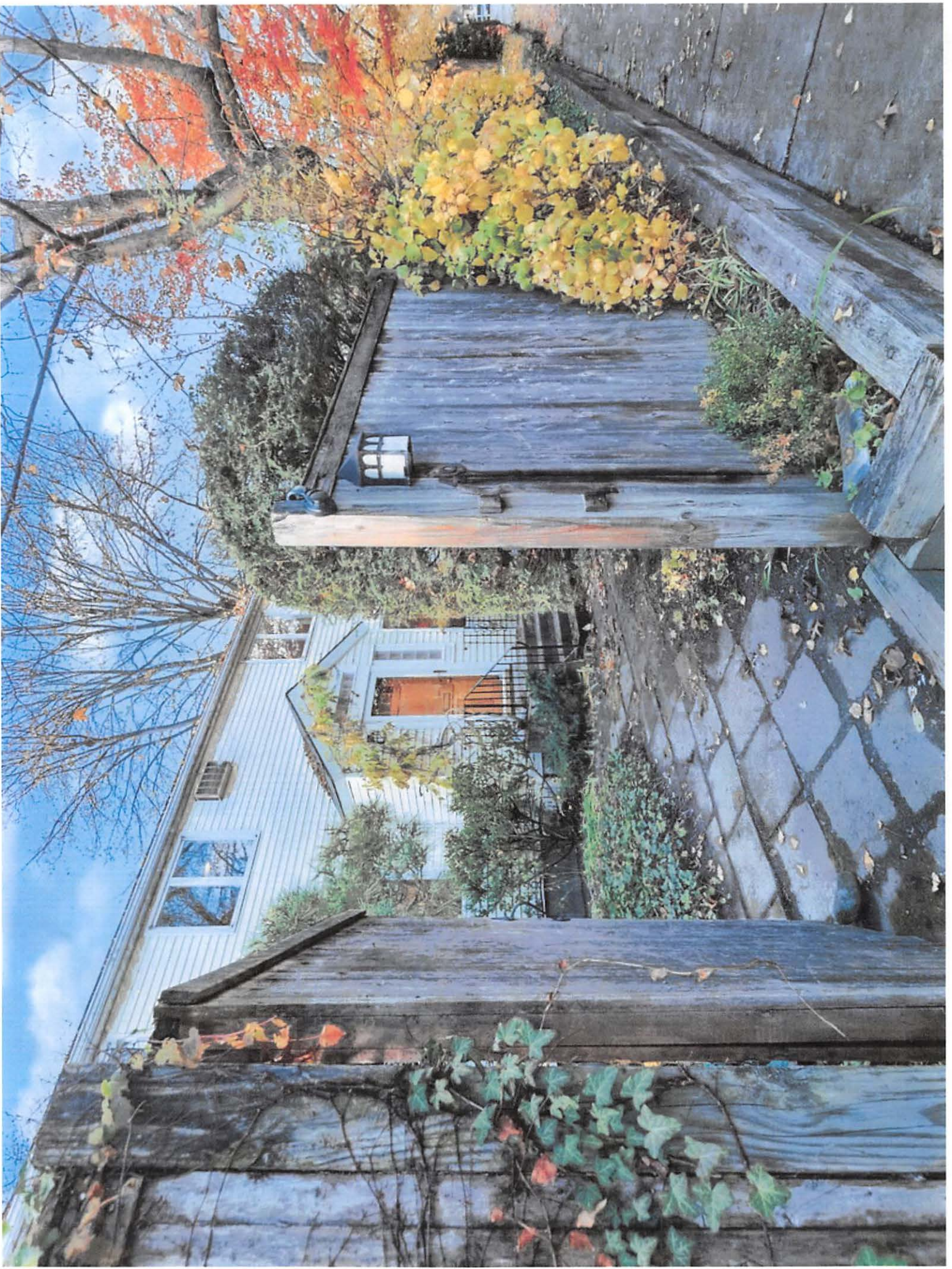












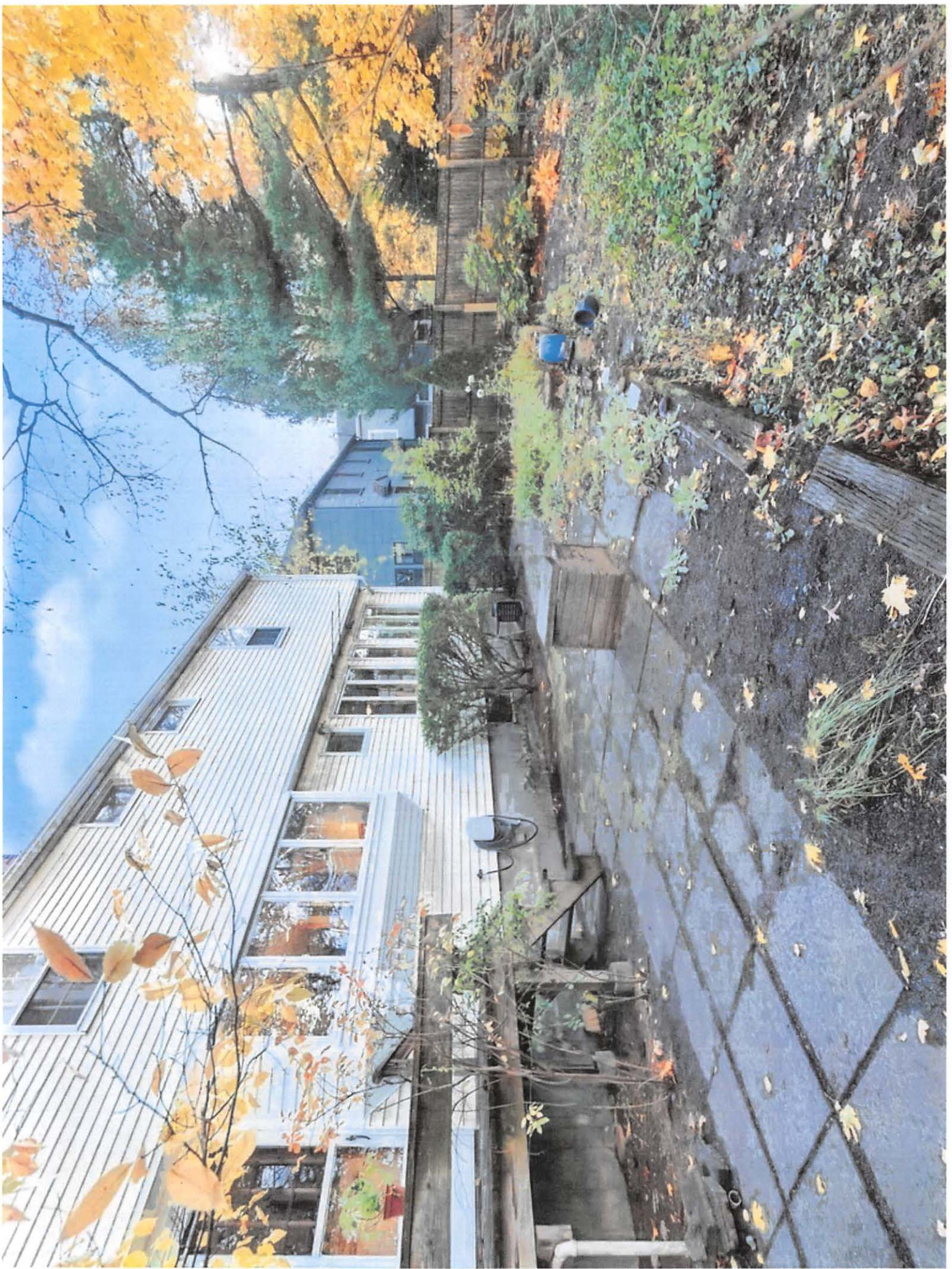














LAW OFFICE OF MICHAEL P. WELSH  
339 W Broadway, Unit 4  
South Boston, MA 02127

March 18, 2022

Zoning Board of Appeal  
831 Massachusetts Ave  
Cambridge, MA 02139

Re: Proposed Renovation and Expansion of 49 Alpine Street  
Permit Application 164903

Members of the Board,

I represent the 49 Alpine Street Realty Trust (“Owner”), the new owner of 49 Alpine Street (“Property”). Alex Yu and Siyu Huang are a married couple who are the trustees of the Owner entity. They recently purchased the Property and plan on expanding the existing structure and converting the existing single-family dwelling into a two-family dwelling for themselves and their parents to live in.

The proposed project will require a variance from the Floor Area Ratio requirement of the Cambridge Zoning Ordinance, and potentially a variance from the Side Yard requirement due to the fact that the existing structure does not meet the aggregate requirement of 20 feet and the side exterior walls are being extended at the rear of the structure.

The Owner has sent letters to the neighbors on the street notifying them of the proposed project and seeking their feedback. Thus far we have received a response from one neighbor, Robert Pine, who owns 48 Alpine Street directly across the street from the Property. Mr. Pine’s concern was that the proposed building would have a full third story with a flat roof and that this would not match the other homes on the street which have sloped roofs. He also stated that he hopes that any living space that would be lost as a result of this change could be made up by adding more living space to the rear of the structure. Although we are not seeking a height variance, we are open to accommodating this request by changing the design to have a sloped roof with dormers and we hope that this feedback is taken into consideration regarding the FAR variance since Mr. Pine is indicating that adding even more living space to the addition on the rear of the structure. At this time we are waiting for any additional feedback from other neighbors and the city. Once we receive comments from concerned parties we will amend the

LAW OFFICE OF MICHAEL P. WELSH

339 W Broadway, Unit 4

South Boston, MA 02127

plans to address as many concerns as possible and submit the revised plans for your consideration.

If you have any questions or guidance regarding the proposed plans or the process for submitting amended plans to address community feedback, please contact me.

Sincerely,

Michael Welsh

*Michael Welsh*

(617) 942-0691

michael@attorneywelsh.com

----- Forwarded message -----

From: **Bob Filene** <[bob@bobfilene.com](mailto:bob@bobfilene.com)>

Date: Sun, Mar 13, 2022 at 8:06 PM

Subject: 47-49 Alpine St.

To: [alexvu1986@gmail.com](mailto:alexvu1986@gmail.com) <[alexvu1986@gmail.com](mailto:alexvu1986@gmail.com)>

Hello Alex,

Thank you for your letter.

Almost every house on this block of Alpine Street has a sloping roof.

My concern is that your box-like design does not fit in with the street architecture.

Hopefully, you can add some more space at the back of the house which will not be visible from the street.

Or add some dormers to the existing roof to add some more space.

Regards,

Bob Filene





49 Alpine St.

260-56  
HULL, ELIZABETH MARRAN  
C/O ELIZABETH MARRAN  
44 ALPINE ST.  
CAMBRIDGE, MA 02138-6811

260-63  
ROBBART, ANN M.  
55 ALPINE ST  
CAMBRIDGE, MA 02138

*Petitioner*  
MICHAEL WELSH, ESQ.  
339 W BROADWAY  
SOUTH BOSTON, MA 02127

260-55  
FILENE, ROBERT J. SUSAN R FILENE  
117 CHILTON  
CAMBRIDGE, MA 02138-6844

260-65  
YALIN, DANA & NOAM Y. KIRSON  
43 ALPINE ST  
CAMBRIDGE, MA 02138

260-64  
HUANG, SIYU & YINGCHAO YU TRS  
11 8TH ST  
CAMBRIDGE, MA 02141

260-66  
EGBERT, DERRICK B.  
35 ALPINE ST  
CAMBRIDGE, MA 02138

260-68  
HACKEL, JOYCE M. & ROBIN A. LUBBOCK  
25 ALPINE STREET  
CAMBRIDGE, MA 02138-6810

260-70  
DAMIAN, JOHN G. ELIZABETH L DAMIAN  
11 ALPINE ST  
CAMBRIDGE, MA 02138-6810

260-34  
FERNANDEZ, CAROLINA & JAMES D. LLOYD  
374 CONCORD AVE., #2  
CAMBRIDGE, MA 02138

260-67  
ENGELMAN DORIS J  
TRS ENGELMAN DORIS J TR  
29 ALPINE ST  
CAMBRIDGE, MA 02138

260-34  
NARDIN RACHEL A  
TRS NARDIN RACHEL A REVOCABLE TR  
174 FRANKLIN ST  
CAMBRIDGE, MA 02139

260-54  
MENZIN NANCY W  
TRS MENZIN REALTY TR  
56 ALPINE ST  
CAMBRIDGE, MA 02138

260-35  
372 CONCORD AVENUE, LLC  
134 MAIN STREET, UNIT 7  
STONEHAM, MA 02180

260-69  
SIEGEL, JODIE,  
TRUSTEE THE JODIE M. SIEGEL FAM TR  
21 ALPINE ST  
CAMBRIDGE, MA 02138

260-80  
CAMBRIDGE CITY OF SCHOOL DEPT –  
TOBIN SCHOOL  
159 THORNDIKE ST  
CAMBRIDGE, MA 02141

260-80  
CITY OF CAMBRIDGE  
C/O NANCY GLOWA  
CITY SOLICITOR

260-80  
CITY OF CAMBRIDGE  
C/O LOUIS DEPASQUALE  
CITY MANAGER



**Pacheco, Maria**

#167013

---

**From:** Jon Damian <jongennarodamian@gmail.com>  
**Sent:** Wednesday, June 1, 2022 4:13 PM  
**To:** Pacheco, Maria  
**Subject:** From Jon Damian resident on Alpine St. Cambridge

**To Whom It May Concern.**

May we voice our opinion that the very large, proposed renovation at 47-49 Alpine St. breaks zoning codes and destroys the charm of our neighborhood. The new residents have not responded to these important points.

Sincerely,

Jon and Betsy Damian  
11-15 Alpine St.  
Cambridge

The planned development of the property far exceeds the current zoning guidelines, and has multiple issues. All this despite repeated and clear communication with the new owners, Alex Yu and Siyu Huang.

## Pacheco, Maria

---

**From:** wsimmers <wsimmers@comcast.net>  
**Sent:** Thursday, June 2, 2022 5:07 PM  
**To:** Pacheco, Maria  
**Subject:** 47-49 Alpine Street Application for a Variance

To the Board of Zoning Appeals:

Although we are not immediate abutters, we are residents of Alpine Street (#8), and would like to place our objection to the proposed "renovation" (or more accurately a total reconstruction) of 47-49 Alpine Street. Aside from the excessive exceptions to the zoning requirements, the proposal is out of keeping with the harmonious scale on the street which has over the years contributed to creating a congenial neighborhood. It represents an intrusion and a bad precedent.

Specifically, as regards to the Supporting Statements for a Variance;

A. A literal enforcement of the provisions: The applicants' family needs require excessive space. A reasonable amount of excess might be considered, but this is too much. Their proposal negates the use of the basement (assuming that this would not be included in the FAR), but they  
could make living space that was "habitable" by Mass Code by lowering the slab and adding areaways that would serve as access and also enabling larger windows.

The applicants dismiss the requirement for side lot setback as if it did not affect their neighbor.

Their statement that their need for off-street parking belies what other two-family houses on the street experience.

B. Hardship: The By-Law states that "hardship" exists only in the physical irregularities of the site. There are none that rise to that standard. We realize that in practice this definition has been stretched somewhat, but this is excessive.

Again, they dismiss the use of the basement (see above). Since they are essentially re-making the whole house, they could consider raising the house, at least slightly, to accommodate their needs. Why these basement modifications would be a "detriment to the environment" is not clear.

Also, they dismiss the creation of a 2-1/2 story house by raising the roof pitch to meet the 1/2 story requirement, which has been effectively used on the street (#42).

C. Desirable relief: The size of the building is not consistent with the scale of the street as is shown by the unreasonably high FAR and the addition of a 3rd story.

Three other houses on the street exceed the 50% FAR requirement, two only by a slim margin (50.2%), and one a little more (54.3%). There is nothing close to the 74% proposed. The reasons for expanding the house (three generations household) may be commendable, but, again, it requires  
a markedly excessive volume as it is presented.

Respectfully submitted,

William M. Simmers & Guillemette Caron-Simmers  
8 Alpine Street

[wsimmers@comcast.net](mailto:wsimmers@comcast.net)  
[gcsimmers@comcast.net](mailto:gcsimmers@comcast.net)



## **Pacheco, Maria**

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**From:** elizabeth marran <elizabeth.marran@gmail.com>  
**Sent:** Friday, June 3, 2022 1:58 PM  
**To:** Pacheco, Maria  
**Subject:** Case number Re BZA - 167013 47-49 Alpine application for variance & special permit  
**Attachments:** Marran (Hull) Re BZA - 167013 47-49 Alpine application for variance & special permit - Opposed.docx

Dear Maria Pacheco,

Please find my attached letter which states my objection to case number Re BZA - 167013 47-49 Alpine application for variance & special permit. I have also pasted my letter below.

Can you please confirm receipt of this email ? Thank you.

Sincerely,

Liz Marran (Hull)

**To: Zoning Board of Appeals, City of Cambridge**

**From: Elizabeth Marran (Hull), 44 Alpine Street Cambridge**

**Re: BZA - 167013 47-49 Alpine application for variance & special permit - Opposed.**

**Date: June 3, 2022**

### **Opposition Summary**

- Scale too large – AFR requested is 3710 sq ft, more than double the existing house dimensions which are 1792 sq ft. This would increase their FAR to something between 0.74 (their calculation) and 0.756 (our calculation). A majority of homes on Alpine Street have FAR's below .50. The three largest houses have FARs of just over 0.5 – two are 0.502; one is 0.543.
- Proposed third story addition is too massive and would dwarf the rest of the homes, obstructing light, and air flow (valued on hot summer days)
- Approval of these plans would set a precedent for potential developers on future sales of homes on Alpine Street to overbuild.
- Curb cut and paving would cut down a large tree and reduce the amount of green front yard. An ironic consequence since this has been requested to accommodate an electric car.
- Concern that the purchasers were unrealistic about the needs they have as defined in their application and that the expectations they have for the development potential of the property they purchased are unrealistic.
- Please see letter below

## Letter to Zoning Board

Dear Zoning Board,

I live at 44 Alpine which is a two-family dwelling where my husband and I raised our daughter. I have a small, attached apartment (#42) that we have rented since I first purchased my home in 1987. I have twice successfully applied for a variance to expand my home. In both instances, I approached the design challenges in the context of the street's existing scale and architectural vernacular. I was keen to embrace my surroundings and celebrate the sense of community on Alpine Street where the homes, including the approachable front and back yards contribute to the established sense of scale and to an overall character that promotes neighborliness and community well-being. As has been the custom on Alpine Street, the plans I submitted for zoning approval were done to ensure that the adverse effects on my abutting, and close-by neighbors were minimized. A comprehensive review of all the homes on Alpine Street between Concord Ave and Vassal Lane, makes clear that there has consistently been a modesty of scale approach to each and every completed house addition on the street.

I respectfully submit photos of many of the beautiful homes and gardens on our street to illustrate the harmonious relationship between outdoor and indoor space as well as the sense of scale the homes collectively represent.

I participated in a small group of neighbors who met with Alex and Siyu twice prior to their application submission and on each occasion, we directly addressed with them our primary objection which was about the excessive scale of their project. By a large margin, their numbers far exceed the average FAR on the street. After our initial meeting where they proposed adding 3792 square feet and many emails later, we all met again. Although they modified the appearance of their first proposal, they reduced the size by a mere 82 square feet. For the past several months, I have made every attempt to make clear to Alex and Siyu that my primary objective to their project is the excessive scale of their proposal.

Thanking for taking the time to consider my objections. I plan on attending the scheduled hearing on June 9 but should you have reason to contact me before the hearing date, please email or call me at (617) 686-4094.

Sincerely,

Elizabeth Marran (Hull)

44 Alpine Street

Cambridge, MA









## **Re BZA - 167013 47-49 Alpine application for variance & special permit - Opposed.**

### **Opposition Summary**

- Scale too large – AFR requested is 3710 sq ft, more than double the existing house dimensions which are 1792 sq ft. This would increase their FAR to something between 0.74 (their calculation) and 0.756 (our calculation). A majority of homes on Alpine Street have FAR's below .50. The three largest houses have FARs of just over 0.5 -- two are 0.502; one is 0.543.
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- Concern that the purchasers were unrealistic about the needs they have as defined in their application and that the expectations they have for the development potential of the property they purchased are unrealistic.
- Please see letter below

### **Letter to Zoning Board**

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appearance of their first proposal, they reduced the size by a mere 82 square feet. For the past several months, I have made every attempt to make clear to Alex and Siyu that my primary objective to their project is the excessive scale of their proposal.

Thanking for taking the time to consider my objections. I plan on attending the scheduled hearing on June 9<sup>th</sup>, but should you have reason to contact me before the hearing date, please email or call me at (617) 686-4094.

Sincerely,

Elizabeth Marran (Hull)  
44 Alpine Street  
Cambridge, MA





## Pacheco, Maria

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**From:** Jodie Siegel <jodie@clear-your-space.com>  
**Sent:** Friday, June 3, 2022 4:56 PM  
**To:** Pacheco, Maria  
**Subject:** Re: BZA - 167013 47-49 Alpine application for variance & special permit

Dear Members of the BZA,

I am writing in opposition to the petition submitted on behalf of 49 Alpine Street.  
I have lived at 21 Alpine Street for 24 years, and raised my children here.

The structure proposed for this address is way too large for the lot, exceeds the FAR by 50%, and is not in keeping with the scale and feel of the street.

We love to welcome new families on our street, especially those with children, to keep Alpine Street the vibrant and connected street it has always been. On their request, neighbors have met with the petitioners on several occasions to get to know them and share our concerns with their plans. We have shared with them our understanding of FAR and the numbers associated with it and tried to impart our concerns in a thoughtful and considerate manner. It appears that our concerns about the size of the house and how it impacts the neighbors have not been addressed. The first plans they showed us were for a structure of 3,792sf above grade, and the revise proposal reduced the living area by only 80sf, to 3,710.

I urge you to deny this petition and to encourage the petitioners to scale back their plans.

Thank you,

Jodie Siegel  
21 Alpine Street, 02138  
[clearyour@gmail.com](mailto:clearyour@gmail.com)  
617-645-4851

*Personal referrals are the best endorsement. Please share your good experiences with friends and family!*

Jodie Siegel  
she/her/hers  
[jodie@clear-your-space.com](mailto:jodie@clear-your-space.com)  
[clear-your-space.com](http://clear-your-space.com)  
617-645-4851  
Cambridge, MA

## Pacheco, Maria

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**From:** Judy Perlman <judy.m.perlman@gmail.com>  
**Sent:** Saturday, June 4, 2022 8:45 AM  
**To:** Pacheco, Maria  
**Subject:** Petition to enlarge 47/49 Alpine St

Hello --

I am a renter who has lived at 48 Alpine Street since 2005. I previously submitted a letter in support of this project based on a conversation with the buyer but now, having reviewed the construction plans, I withdraw my support.

The proposed project is simply too large for this residential neighborhood. The higher roofline will block the sun for me and several other long-time residents of the street. I wish the buyers well in finding another property that can serve their purposes without reducing the quality of life for others.

\* \* \* \* \*

Judy Perlman  
Cambridge, MA 02138  
[m] 617 308 7369  
Pronouns: She/her  
[judy.m.perlman@gmail.com](mailto:judy.m.perlman@gmail.com)  
[www.judyperlmanconsulting.com](http://www.judyperlmanconsulting.com)  
[www.meettheproblemsolvers.com](http://www.meettheproblemsolvers.com)

## Pacheco, Maria

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**From:** Norma Finkelstein <normafinkelstein@healthrecovery.org>  
**Sent:** Saturday, June 4, 2022 12:07 PM  
**To:** Pacheco, Maria  
**Subject:** Re: BZA-167013; 47-49 Alpine Street

Dear BZA: I am writing to you regarding the application for a variance and special permit by the new owners of 47-49 Alpine Street.

I have been a resident in Cambridge since 1971 and have owned and lived at 30-32 Alpine Street since 1980. My husband and I raised 2 children and 2 stepchildren here and I currently have my daughter and two grandchildren living at 30 Alpine (we changed our one family house into a two family 3 years ago to accommodate them). I have had to apply for several variances to expand my house to accommodate this but all have been developed within the context of the community on Alpine Street with welcoming front yards, lots of trees and beautiful gardens. Both my grandchildren attend the Peabody school in Cambridge. Alpine Street has always been a special street for the sense of community and neighborhood with numerous kids growing up here over the years.

I have met briefly with Alex and his 5 year old son. They are a lovely family and I look forward to having them join our community on Alpine Street. However, I believe the proposed scale of the renovations are much too large, with numbers far exceeding the average FAR on the street. Approval of the scope of these plans would drastically alter the approachable character of other houses on the street and could set a precedent for future developers. The addition of a third story, the cutting down of a large tree in front of the house and requesting a curb cut (down from 2 initially), are all problematic.

In summary, as a resident on Alpine Street I oppose the application for a variance and special permit for 47-49 Alpine Street, primarily on the grounds of the excessive scale of the proposed renovations.

Thank you,  
Norma Finkelstein  
32 Alpine Street

Norma Finkelstein, Ph.D.  
Founder, Program Consultant  
Institute for Health and Recovery  
349 Broadway, Cambridge, MA 02139  
P: 617-661-3991 / F: 617-661-7277  
[www.healthrecovery.org](http://www.healthrecovery.org)

Follow us on  



## **Pacheco, Maria**

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**From:** Joy Hackel <joyhackel@yahoo.com>  
**Sent:** Sunday, June 5, 2022 2:09 PM  
**To:** Pacheco, Maria  
**Subject:** BZA - 167013 47-49 Alpine application for variance & special permit

Dear Members of the BZA,

We've lived on 25 Alpine Street for 25 year, have raised our family here and feel lucky to call this neighborhood home. We're always happy to hear about a new family moving to the street, especially a family with young children. That said, we're adding our voice to the chorus of opposition to the variances requested for the proposed construction at 47-49 Alpine.

The proposed building is just too big. It's out of scale with the neighborhood. We support and understand owners' desires to enlarge their homes, but this goes beyond what is reasonable. The FAR for the proposed construction is massive compared to the rest of the street. Alpine Street is lined with modest homes that don't overwhelm the plots here. That's part of the reason we've built a strong, cohesive neighborhood. The city's adherence to zoning laws has helped us create the sense of community and respect that we all value.

In addition to the size of the proposed construction, other elements of the plan are cause for concern. For instance, the preservation of existing trees on private property is a key aspect of the city's Urban Forest Master Plan. We hope that the large trees on the site can remain there. And we're not in favor of permitting neighbors to pave a front section of their yard for parking.

If we set a precedent allowing these sorts of variances for the construction of oversized homes it could quickly become the norm.

Please ask the owners to come back with a more reasonable plan that doesn't overwhelm the plot and respects the neighborhood.

Change is often for the better, but we also need to protect and conserve the elements of our communities that work.

Joy Hackel & Robin Lubbock  
25 Alpine Street

## **Pacheco, Maria**

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**From:** Tivnan, Terrence <terry\_tivnan@gse.harvard.edu>  
**Sent:** Monday, June 6, 2022 10:20 AM  
**To:** Pacheco, Maria  
**Subject:** BZA-167013

To: Zoning Board of Appeals, City of Cambridge

From: Terrence Tivnan, owner of 36-38 Alpine St., Cambridge

Date: 6 June 2022

Re: Case number BZA - 167013 47-49 Alpine application for variance & special permit.

I am writing to express my opposition to the current plans for 47-49 Alpine St. I have owned the house at 36-38 Alpine St. for forty-five years, and I have seen many changes in homes on Alpine St. As many of the current neighbors have explained, their renovations have all carefully complied with the Cambridge guidelines. The proposed addition at 47-49 Alpine seems far out of line and is excessive for the lot size. I am sure the owners can come up with a more modest plan that will be consistent with the scale and character of the neighboring homes.

The current neighbors on Alpine St. have carefully explained their objections. Please read their letters and listen carefully to the concerns. I am sure a better and more modest plan can be developed.

Please let me know if there is any additional information I may provide.

Respectfully,

Terrence Tivnan  
Owner of 36-38 Alpine St.

Current address: 6 Page Rd, Weston, MA 02493

Email: [terry\\_tivnan@gse.harvard.edu](mailto:terry_tivnan@gse.harvard.edu)

**Pacheco, Maria**

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**From:** A Robbart <arobbart@gmail.com>  
**Sent:** Monday, June 6, 2022 11:04 AM  
**To:** Pacheco, Maria  
**Subject:** BZA -167013 47-49 Alpine St -- opposed

## **BZA -167013 47-49 Alpine St -- opposed**

To the Board of Zoning Appeals:

Re BZA - 167013 47-49 Alpine application for variance & special permit - Opposed --

- Too large -- wide, deep & tall
- Paving to park in front yard

I live next door to 47-49 Alpine, and have since 1980. I cannot support the plans and application for variances and special permits -- primarily because the proposed house is far too big for the lot and the block.

The zoning is for a max of 0.50, almost all the houses are less than 0.50, with two at 0.502, and just one at 0.542. The additions on those have been in proportion and in similar design to other houses. The current house at 47-49 is 2288 sq ft (incl attic of 443) on a lot of 5039 sq ft, an FAR of 0.45, they propose a house of 3710 sq ft = FAR of 0.74 - 0.756! (their calculation vs ours.)

In addition, they would add a full 3rd floor, and a two story addition in back and on the side by a neighbor, (within the limits of side setback total). This size and configuration would affect the light and views of neighbors, and aside from this project, it would set a bad precedent for the block. Most houses are two stories with just one that is 2.5 stories. Our streetscape is of a scale and design that is very pleasant and enables neighbors to meet, qualities we'd like to keep.

Also, they seek to pave and park in what would otherwise be their front yard. The plan would require taking down a large tree. (They do not have space beside the house.) I am not in favor of this either. Most residents park on the street, and very few have parking other than that. I am against paving and curb-cuts remove spaces and make it less safe for walking and kids riding bikes on sidewalks. We normally have frequent sidewalk use -- people going to and from the school, the bus on Concord Av., Fresh Pond, errands, and walks. I'd prefer that the city create better electric car charging options (including at the curb) instead of anyone with an electric car seeking a curb-cut and parking on their lot.

They also seek to return the house to a two unit house. I fully support this -- all the houses on this block were originally two units, and residents have changed them back and forth as needs change. (The only problem is the requirement for parking, which should be a separate issue, and which I do not support.)

I am sympathetic to their situation, having a three generation intergenerational household, as I grew up in one. But, we think they could house everyone (3 adult couples and two children) with some compromises. However, they are reluctant to give up the amount of space they want. We have had conversations with them urging them to reduce the size, but, while they changed some design aspects (at our suggestion) and are now seeking one parking space (not two) between their first drawings and these, they only reduced the size by 82 sq ft! I have been concerned about opposing this, as I do not want an adversarial relationship with next door neighbors. Yet, the house is too small for what they want, and on too small a lot for what they want, and they have not been willing to compromise significantly.

Thank you,  
Ann Robbart  
55 Alpine St.



## **Pacheco, Maria**

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**From:** dbegbert@COMCAST.net  
**Sent:** Monday, June 6, 2022 2:34 PM  
**To:** Pacheco, Maria  
**Subject:** BZA -167013 47-49 Alpine St -- opposed

Dear Zoning Board,

BZA – 167013 47-49 Alpine Street - opposed

I live at 37 Alpine Street which I purchased in 1981 and have lived here since. It is a two-family and I rent out 35 Alpine. It has always been a real blessing to live here on this quiet, modest street with families which have lived here for many years and new generations of children.

During this time families have made modifications to their homes, adding space, re-designing the architecture. I did so in 1988 when I added an addition to 37 Alpine. I applied for a variance and it was granted. I believe my FAR is .500 or .502. I believe the highest FAR on the street today is .542. I would recommend that the zoning board not go beyond much beyond this FAR, if any.

I understand that the couple who has purchased 47-49 Alpine is seeking your support for living space that has a FAR of .74 (3,710 square feet). It is currently 2,228 square feet.

While I appreciate their intentions to create a space for themselves, their parents, and children, this request will significantly impact my abutting neighbors in a negative way and potentially set a trend for future “house changes” that could really impact the modest and comfortable quality of our neighborhood street that as neighbors going back 40+ years we have worked together to create and sustain. It is a beautiful tree lined street and who knows how future variance allowances could negatively impact us (for example houses with FARs around .75).

I also oppose the curb cut-out for a driveway. It makes less street parking available and makes the sidewalk less safe for walking.

Nearly all residents of the street park on the street.

I appreciate your attention to my opposition to the request to develop a house at 47-49 Alpine or any house on Alpine to such an out of proportion FAR. I hope the couple will take a hard look at how they can achieve their goals with a significantly reduced FAR to say .60 or below.

Thank you very much for your consideration of both my and the opposition of several of my neighbors.

Best regards,

Derrick Egbert  
617 354 1850