



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2022 MAY -3 PM 12:06
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 167013

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: 49 Alpine Street Realty Trust C/O Michael Welsh

PETITIONER'S ADDRESS: 339 W Broadway, South Boston, MA 02127

LOCATION OF PROPERTY: 49 Alpine St., Cambridge, MA

TYPE OF OCCUPANCY: Single-Family Dwelling **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/Additions/ /Change in Use/Occupancy/ /Conversion to Additional Dwelling Units/ /Parking/

DESCRIPTION OF PETITIONER'S PROPOSAL:

To park in the front yard setback. Convert a single family into a two family home by increasing floor area and creating a new violation of GFA.

Reduction of parking and extension of building into the non-conforming side yard setback.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.26 (Conversion of Existing Dwellings).
- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
- Article: 8.000 Section: 8.22.3 (Non-Conforming Structure). & Sec. 8.22.2.D (Non-Conforming Structure).
- Article: 6.000 Section: 6.44.1.C (Front Yard Parking). Sec. 6.35 (Reduction of Parking).
- Article: 10.000 Section: 10.30 (Variance) & Sec. 10.40 (Special Permit).

Original
Signature(s):

Michael Welsh

(Petitioner (s) / Owner)

Michael Welsh, Esq.

(Print Name)

Address:

339 W Broadway, Boston, MA 02127

Tel. No.

6179420691

E-Mail Address:

michael@attorneywelsh.com

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Yingchao Yu and Siyu Huang, Trustees of 49 Alpine Street Realty Trust
(OWNER)

Address: 49 Alpine Street, Cambridge, MA

State that I/We own the property located at 49 Alpine Street, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of YINGCHAO YU
49 Alpine Street Realty Trust

*Pursuant to a deed of duly recorded in the date 01/05/2022, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. 278380
Book 01584 Page 14.

[Handwritten Signature]

SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Suffolk

The above-name YINGCHAO YU personally appeared before me, this 18th of March, 2022, and made oath that the above statement is true.

J. Kirsten McElency Notary

My commission expires 8/18/2028 (Notary Seal).



J. Kirsten N. McElency
NOTARY PUBLIC
Commonwealth of
Massachusetts
My Commission Expires
8/18/2028

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Yingchao Yu and Siyu Huang, Trustees of 49 Alpine Street Realty Trust
(OWNER)

Address: 49 Alpine Street, Cambridge, MA

State that I/We own the property located at 49 Alpine Street, Cambridge, MA, which is the subject of this zoning application.

The record title of this property is in the name of Siyu Huang
49 Alpine Street Realty Trust

*Pursuant to a deed of duly recorded in the date 01/05/2022, Middlesex South County Registry of Deeds at Book _____, Page _____; or Middlesex Registry District of Land Court, Certificate No. 278380
Book 01584 Page 14.



SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

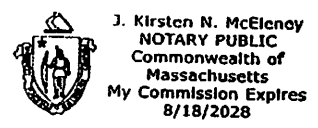
**Written evidence of Agent's standing to represent petitioner may be requested.*

Commonwealth of Massachusetts, County of Suffolk

The above-name Siyu Huang personally appeared before me, this 18th of March, 2022, and made oath that the above statement is true.

J. Kirsten McElenny Notary

My commission expires 8/18/2028 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 49 Alpine St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

One parking space was eliminated to accommodate the request of abutters, which will be better for the environment, will decrease street congestion, would not be hazardous, would not eliminate an on-street space due to additional curb cut that would be required, and would therefore comply with the requirements for a special permit to Section 6.35 of the Ordinance.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

Eliminating a parking space means there will be one less curb cut, more on-street parking for abutters, and less street congestion.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

Having one less parking space will have no effect on the operation or development of adjacent properties, and would be beneficial due to the additional on-street parking space available for owners, occupants and guests of adjacent properties.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

Having one less curb cut will reduce the number of driveways with cars pulling out onto the street which will be less hazardous than having two and the property cannot have tandem spaces due to the location of the existing structure.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Having one curb cut and one parking space will be consistent with the other properties on the street and will be in harmony with the intent and purpose of the ordinance.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

The owners purchased the property to use for the allowed use as a two-family dwelling to house themselves in one unit and their parents in the other. Complying with the FAR requirement by adding sufficient living space for the occupants in the basement would deprive them of sunlight, increase electricity costs and be a detriment to the environment. The pre-existing building is noncompliant with the aggregate side yard requirement, but meets the individual side yard requirements and the side wall is simply being extended in the rear. The inability to meet the off-street parking requirement for two units would prevent the owner from converting the building to the allowed use of a two-family dwelling without a second curb cut.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:

The existing structure is 76 years old, has a pre-existing nonconformity with respect to the side yard requirement, and needs updating and additional living space. The location of the structure and the slope and topography of the lot also do not allow for two off-street parking spaces without a second curb cut. The building footprint could be expanded in a manner to add living space in the basement without violating the FAR requirement, but this would (a) deprive the occupants of the health and wellness benefits of sunlight, (b) increase their electricity costs, and (c) be a detriment to the environment. The existing building also has living space in the attic which is currently unuseable due to the roof height.

- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**

- 1)** Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The addition on the rear of the building faces a large park and not other dwellings. The proposed project increases parking spaces to meet the current requirement. The size of the proposed building is consistent with the neighborhood.

- 2)** Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

The proposed project provides adequate light and air to the occupants without reducing the same to neighboring properties, and does not create any safety risks to the community.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

Date: _____

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: 49 Alpine Street Realty Trust
Location: 49 Alpine St., Cambridge, MA
Phone: 6179420691

Present Use/Occupancy: Single-Family Dwelling
Zone: Residence B Zone
Requested Use/Occupancy: Two-Family Dwelling

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,288	3,710	2,520	(max.)
<u>LOT AREA:</u>		5039	5039	5000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.45	.74	.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		5039	2520	2500	
<u>SIZE OF LOT:</u>	<u>WIDTH</u>	56	56	50	
	<u>DEPTH</u>	90	90	NA	
<u>SETBACKS IN FEET:</u>	<u>FRONT</u>	20.7	19.6	15	
	<u>REAR</u>	42.9	26.63	25	
	<u>LEFT SIDE</u>	7.7	7.7	7.5	
	<u>RIGHT SIDE</u>	1.4	7.78	7.5	
<u>SIZE OF BUILDING:</u>	<u>HEIGHT</u>	27	34.9	35	
	<u>WIDTH</u>	24.72	38.72	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		79.8	67	40	
<u>NO. OF DWELLING UNITS:</u>		1	2	2	
<u>NO. OF PARKING SPACES:</u>		0	1	1	
<u>NO. OF LOADING AREAS:</u>		0	0	0	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		NA	NA	NA	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

None

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

Pacheco, Maria

From: Babbitt, Eileen F. <Eileen.Babbitt@tufts.edu>
Sent: Monday, June 6, 2022 11:52 PM
To: Pacheco, Maria
Subject: Proposed renovation of 47-49 Alpine Street

Dear Board of Zoning Appeals,

I reside at 24 Alpine Street, on the same block as the proposed building renovation at the above address. I strongly oppose the proposed plan, as it far exceeds the zoning guidelines for this neighborhood. The increase in height and the extension into the back so close to the property line would block light and views for neighboring houses and their yards. The streetscape here is of a scale and design that makes the street very pleasant and easy to meet neighbors. We'd like to maintain that quality. The proposed house is visually bulky and domineering and out of sync with the scale of the street. Please reject the current plan and ask the owners to scale back their renovation.

Please let me know if you have further questions.

Eileen Babbitt
24 Alpine Street
Cambridge

Pacheco, Maria

From: Kirson, Noam <Noam.Kirson@analysisgroup.com>
Sent: Monday, June 6, 2022 5:23 PM
To: Pacheco, Maria
Cc: danayalin@gmail.com
Subject: BZA - 167013 47-49 Alpine St

Dear members of the Board of Zoning Appeal,

We are writing to oppose the planned renovation of 47-49 Alpine Street (Case no. BZA-167013). We are the owners of the neighboring property at 43 Alpine Street, where we have lived since 2012 and where we have raised our three children. We are excited to have new neighbors, and look forward to welcoming Siyu, Alex and their family into our community, much as we were warmly welcomed 10 years ago. That said, the planned renovation of their new home is excessive in scale, and will have direct negative impact on our home and the Alpine Street community. As we have told Siyu and Alex in our discussions with them, we hope that they will scale back their project considerably and believe they can accommodate their needs within a more modest design.

The key issue with the proposed renovation is its sheer scale. At over 3,700 square feet (excluding the basement), the new home would exceed the permitted FAR by a staggering 50%. There is nothing remotely close to that on our block. To put the proposed expansion in context, it would be roughly equivalent to taking the whole of our house at 43 Alpine and adding it to the existing property at 47-49 Alpine. The result is an excessive structure the builds both up and out. The current plan calls for a full third floor, as well as a substantial two-floor addition at the rear on our side. That addition would significantly extend the home in a place that lacks the setback required by code, and will substantially impact our view. The combined height and heft of the new home will negatively affect our quality of life.

We urge the BZA to deny the current petition, and ask Siyu and Alex to once again reconsider their plans for the property.

Sincerely,

Dana Yalin and Noam Kirson
43 Alpine street



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: Michael Welsh Date: _____
(Print)

Address: 49 Alpine St.

Case No. BZA-167013

Hearing Date: 6/9/22

Thank you,
Bza Members

Pacheco, Maria

From: Tivnan, Terrence <terry_tivnan@gse.harvard.edu>
Sent: Monday, June 6, 2022 10:20 AM
To: Pacheco, Maria
Subject: BZA-167013

To: Zoning Board of Appeals, City of Cambridge

From: Terrence Tivnan, owner of 36-38 Alpine St., Cambridge

Date: 6 June 2022

Re: Case number BZA - 167013 47-49 Alpine application for variance & special permit.

I am writing to express my opposition to the current plans for 47-49 Alpine St. I have owned the house at 36-38 Alpine St. for forty-five years, and I have seen many changes in homes on Alpine St. As many of the current neighbors have explained, their renovations have all carefully complied with the Cambridge guidelines. The proposed addition at 47-49 Alpine seems far out of line and is excessive for the lot size. I am sure the owners can come up with a more modest plan that will be consistent with the scale and character of the neighboring homes.

The current neighbors on Alpine St. have carefully explained their objections. Please read their letters and listen carefully to the concerns. I am sure a better and more modest plan can be developed.

Please let me know if there is any additional information I may provide.

Respectfully,

Terrence Tivnan
Owner of 36-38 Alpine St.

Current address: 6 Page Rd, Weston, MA 02493

Email: terry_tivnan@gse.harvard.edu

1 * * * * *

2 (9:22 p.m.)

3 Sitting Members: Brendan Sullivan, Jim Monteverde, Andrea
4 Hickey, Jason Marshall, and Matina
5 Williams

6 BRENDAN SULLIVAN: Okay. The Board will now hear
7 Case No. 167013 -- 49 Alpine Street.

8 [Pause]

9 Mr. Welsh? 49 Alpine Street?

10 MICHAEL WELSH: Sorry. I just had to unmute
11 myself there. Mr. Chairman and members of the Board, my
12 name is Michael Welsh.

13 I'm the attorney for Alex Yu and Siyu Huang, who
14 have recently purchased 47-49 Alpine Street. And they're
15 seeking to renovate the existing house to add space for
16 themselves, their two children and the parents who will be
17 living with them.

18 Alex and Siyu to are both working professionals in
19 their 30s with full-time jobs, so their parents will be
20 living with them to help take care of the kids and Alex and
21 Siyu are also --

22 BRENDAN SULLIVAN: Let me -- Michael, let me just

1 interject here.

2 MICHAEL WELSH: Sure.

3 BRENDAN SULLIVAN: That I don't know if you
4 reviewed the file, but there is substantial, and I would say
5 valid opposition to the proposal. And I was just wondering
6 if you your client has any outreach to the community. Are
7 you aware of the amount of opposition?

8 I guess where I'm going is that I'm trying to
9 avoid spending the next hour discussing this matter, and
10 then possibly continue it, so that you can have further
11 discussions with the neighbors and address their concerns
12 and their opposition, because then it would be a case heard.

13 And it may be timewise difficult to get all five
14 members back together within the next two months, because of
15 our schedules and all.

16 The other option would be if you can proceed, but
17 one other option would be to continue this matter, and you
18 could possibly come back next month, maybe the middle of the
19 month, middle of July, having addressed the issues, having
20 talked to the neighbors, and then come back to us with
21 either you -- some agreement, or you may come back and say
22 that you agree to disagree.

1 So I throw that out to you as an option.

2 MICHAEL WELSH: I appreciate that. And I did see
3 the letters that were submitted. And so my clients did do
4 some outreach. They have spoken with the neighbors. I've
5 read and seen their concerns.

6 And this -- the design that's before you today is
7 a revised proposal from the original one. The original
8 proposal was more modern design with a full third story.
9 And the primary concerns were the density, the bulk and the
10 full third story, and the fact that it didn't align with the
11 character of the neighborhood.

12 So the design was changed from that to have a
13 pitched roof with dormers to make it more consistent with
14 the neighborhood.

15 And the main -- I would say I don't want to speak
16 for the neighbors, but one of the primary concerns is that
17 the floor area -- the gross floor area wasn't reduced to the
18 amount that they would have liked to have seen it. And the
19 primary reason for that is because --

20 BRENDAN SULLIVAN: So all right. Well, let me
21 just --

22 MICHAEL WELSH: Go ahead.

1 BRENDAN SULLIVAN: -- so that was -- the drawing
2 that's in front of us is dated 04-20-22. So that's the
3 latest. And that is a revision to --

4 MICHAEL WELSH: Yes, that's correct.

5 BRENDAN SULLIVAN: -- original plans?

6 MICHAEL WELSH: Yes, that's correct.

7 BRENDAN SULLIVAN: Okay. So I guess my question
8 is you being appraised of the opposition, whether or not you
9 want to proceed tonight or you want to avail yourself of a
10 continuation to address the concerns that are -- some of the
11 letters have come in as early as today, you know, yesterday,
12 recently. So anyhow, shall we proceed, or would you like to
13 continue the matter and come back next month?

14 MICHAEL WELSH: Could I have 30 seconds to just
15 consult with my client?

16 BRENDAN SULLIVAN: Yeah, sure.

17 MICHAEL WELSH: Would that be okay?

18 BRENDAN SULLIVAN: Yep.

19 MICHAEL WELSH: Okay, thank you. I appreciate
20 that.

21 [Pause]

22 I just consulted with my client. I -- so we'll

1 take a continuance. I know we're already running late
2 tonight. So I appreciate the -- your concern with that, and
3 we also appreciate the neighbors' concerns, so we'd like to
4 work with them and see if we can do something.

5 BRENDAN SULLIVAN: Okay. So a continuation? July
6 28 as a -- will that work for you and your client?

7 MICHAEL WELSH: Yes, that will be fine. Yes.

8 BRENDAN SULLIVAN: All right. Let me -- on the --
9 let me make a motion, then, to continue this matter to July
10 28, 2022 at 6:00 p.m. on the condition that you sign a
11 waiver to the statutory requirement for a hearing and a
12 decision to be rendered thereof; that if you request a form
13 Maria will not be here, Olivia will if you request a form
14 from Olivia, she can send it to you, you can sign it and
15 send it back. I would ask that that form be returned to
16 somebody by a week from next Monday to the Department.

17 That you change the posting sign to reflect the
18 new date of July 25, 2022 at 6:00 p.m., any new submittals
19 that are not currently in the file be in the file by 5:00
20 p.m. on the Monday prior to July 28.

21 I think that that should cover it. And obviously
22 you have access to any of the files and the letters. On the

1 motion to continue this matter to July 28, Jim Monteverde?

2 JIM MONTEVERDE: In favor.

3 BRENDAN SULLIVAN: Jason Marshall?

4 JASON MARSHALL: In favor.

5 BRENDAN SULLIVAN: Andrea Hickey on the
6 continuance?

7 ANDREA HICKEY: Yes to the continuance and just to
8 -- again -- clarify for the record that this would be
9 continued as a case not heard.

10 BRENDAN SULLIVAN: Correct. Matina Williams?

11 MATINA WILLIAMS: Yes to the continuance.

12 BRENDAN SULLIVAN: Okay. And Brendan Sullivan
13 yes.

14 [All vote YES]

15 Five affirmative votes, the matter is continued
16 until July 28 at 6:00 p.m. Thank you.

17 MICHAEL WELSH: All right. Thank you very much.
18
19
20
21
22



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2022 JUN 30 AM 11:30
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

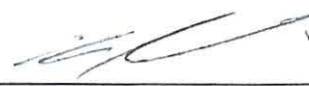
RE: Case # BZA-167013

Address: 49 Alpine St.

Owner, Petitioner, or Representative: 49 Alpine Street Realty Trust
(Print Name)

hereby waives the required time limits for holding a public hearing as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A. The Owner, Petitioner, or Representative further hereby waives the Petitioner's and/or Owner's right to a Decision by the Board of Zoning Appeal on the above referenced case within the time period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C. §1455(a), or any other relevant state or federal regulation or law.

Date: 6/27/22


Signature
Alex Yu
Owner

May 9, 2022

Zoning Board of Appeal
831 Massachusetts Ave
Cambridge, MA 02139

Re: Proposed Renovation of 49 Alpine Street, Cambridge, MA, 02138

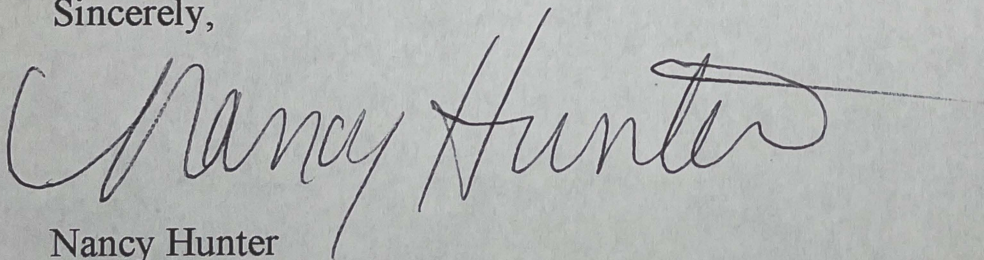
Members of the Board,

My name is Nancy Hunter and I live at 63 Alpine in Cambridge. I have been in touch with Alex and Siyu, the owners of 49 Alpine Street. Alex and Siyu have shared the revised proposed plans and other information related to their proposed renovation of the property.

I am writing this letter to inform you that I support the project because as I believe that it is an appropriate use of the property, and the proposed building will fit with the character of the neighborhood. Although the proposed addition will increase the living area beyond what the zoning code technically allows, I do not believe that this will be detrimental to the neighborhood because the addition will be on the rear of the existing structure facing a park and will not negatively affect the homes nearby or make the building drastically larger than the other homes on the street.

I also feel that the project should be approved because Alex and Siyu are expanding the home so that their elderly family members can live with them.

Sincerely,

A handwritten signature in cursive script that reads "Nancy Hunter". The signature is written in dark ink and is positioned above the printed name.

Nancy Hunter

May 9, 2022

May 6, 2022

Zoning Board of Appeal

831 Massachusetts Ave

Cambridge, MA 02139

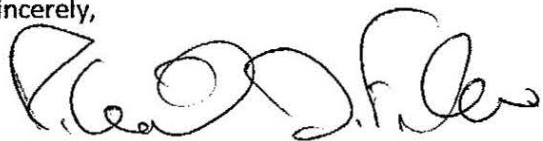
Re: Proposed Renovation of 49 Alpine Street, Cambridge, MA, 02138

Members of the Board,

My name is Robert Filene and I own 48-50 Alpine Street in Cambridge. I have been in touch with Alex and Siyu Yu, the owners of 49 Alpine Street. Alex and Siyu have shared the proposed plans and other information related to their proposed renovation of the property as described in the Project Summary by their architect UP Design and Build LLC dated April 20, 2022.

I support this project. Although the proposed addition will increase the living area beyond what the zoning code technically allows, much of the additional living area will be in the addition on the rear of the existing structure facing a park. According to Alex Yu's research, five houses on Alpine Street have a higher FAR than what his house will have.

Sincerely,



Pacheco, Maria

#167013

From: Nancy Menzin <nancymenzin@gmail.com>
Sent: Tuesday, June 7, 2022 5:24 PM
To: Pacheco, Maria
Subject: Case number ReBZA-1687013 47-49 Alpine application for variance and special permit

Dear Mr. Pacheco and Zoning Board:

I am writing to let you know of my opposition to the above application at 47-49 Alpine Street. I own the house at 56 Alpine Street, diagonally across from the property in question, and have lived there since 1972.

Over these years I have seen many additions, reconfigurations, etc. of the nearly-identical houses on the block and have never found any objectionable. However, the house proposed for 47-49 is massive in scale and would not only look ungainly on the small lot, but would also interfere with the light and air of the abutting neighbors. Although the applicants have reduced the plan in size since their first proposal, it is still TOO BIG-- too wide, too tall, too consuming of the small lot. It doesn't belong on this block.

Additionally, a parking space in front of the house on the lot sounds as if any semblance of a yard would be replaced by a small parking lot! And a curb cut/entrance would complicate the already-existing challenge to residents, almost none of whom has a driveway, for sharing the existing on-street spaces on days of street cleaning and snow removal.

Finally, I don't know whether this is the Zoning Board's purview or not: The loss of the abundant treescape of the lot, to add more house and more asphalt, would be a terrible loss to the neighborhood and the city, esp;epecially the grand, full tree in front of the house.

Thank you for your consideration,
Nancy W. Menzin

Pacheco, Maria

*T67013

From: Francisco Unda <fco.unda@gmail.com>
Sent: Thursday, June 9, 2022 12:10 PM
To: Pacheco, Maria
Subject: 47-49 Alpine Street construction plans

Hi, my name is Francisco Unda, and I'm the tenant at 42 Alpine St.

I'm not sure if I have a voice in this matter, but I oppose the plans for the house in their current form as they don't seem to be in agreement in style, and in size by a fair amount to the rest of the street.

To be fair, I haven't heard from Alex and Siyu, so I'm happy to discuss further.

Francisco

Pacheco, Maria

From: elizabeth marran <elizabeth.marran@gmail.com>
Sent: Thursday, June 9, 2022 6:22 PM
To: Pacheco, Maria
Subject: Fwd: 47-49 Alpine Street ZBA Hearing | Additional Info & Request for Support
Attachments: Letter to Neighbors - 47-49 Alpine ZBA Proposal 6-8-22.pdf; 47-49 Alpine Street Zoning - FAR - 6-8-22.xlsx

Dear Maria,

Would you please share this email and attached documents from Michael Welsh regarding **47-49 Alpine Street ZBA Hearing | Additional Info & Request for Support**. Michael is attorney for Alex and Siyu Yu and Michael Welsh sent the email below to a number of us at 8PM yesterday. We don't agree with much of what is written but do want to make it known to the Zoning Board that it was sent.

Thank you,

Liz Marran
44 Alpine Street, Cambridge
tel 617 686 4094

Begin forwarded message:

From: Michael Welsh <michael@attorneywelsh.com>
Subject: 47-49 Alpine Street ZBA Hearing | Additional Info & Request for Support
Date: June 8, 2022 at 8:19:08 PM EDT
To: Michael Welsh <michael@attorneywelsh.com>
Cc: Alex Yu <alexyu1986@gmail.com>, Siyu Huang <sh1@factorialenergy.com>

All,

Please find attached a letter regarding Alex and Siyu's proposed renovation and tomorrow's hearing. Hopefully this additional information will be helpful. We would greatly appreciate your support. Sorry for getting this over so late. It took a while to pull together all the numbers, etc.

Sincerely,

Law Office of Michael P. Welsh
339 W Broadway, #4
South Boston, MA 02127
(617) 942-0691

June 8, 2022

Dear Alpine Street Neighbors,

I represent Alex and Siyu, the owners of 47-49 Alpine Street, in their application for zoning relief for the renovation of their home. After reviewing your letters filed with the ZBA regarding the project, I just wanted to reach out prior to tomorrow’s hearing to clarify a few things so that everyone is on the same page. Let me first start by saying that I understand your concerns and hope to work with you all to obtain approval for a renovation that accommodates as many of your concerns as possible. Alpine Street is certainly a lovely street, and Alex and Siyu intent to raise their children there so we have every intention of building a quality home that enhances the look and feel of the neighborhood for years to come. With that said, the following are a few comments and clarifications that should be considered:

I. Revised Design from Modern to Conventional

It was a little unclear from some of your letters whether or not everyone has seen the revised design, which replaced the “boxy” third floor and modern style with a pitched roof and “bookend” gable dormer connected by a shed-roof dormer.

Original Design



Revised Design



This revision was based on your feedback about the “boxy” third floor, a full height third story, and the modern design of the building. Although the zoning ordinance allows a full third story by right, we heard your concerns and revised the design according to

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Cambridge's "[Guidelines for Roof Dormers](#)." The following are two of the figures from the guidelines that formed the basis of the revised design:



Figure 13: Gable dormers added in combinations, such as triplets, should be arranged symmetrically within the main roof so they are centered and spaced proportionally. The distance between each should be no less than one half (1/2) the width of the largest dormer.

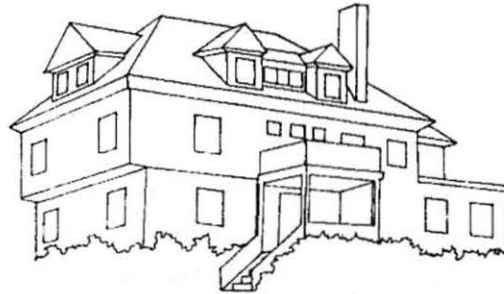


Figure 14: Matching "bookend" gable dormers added to an existing shed-roof dormer, or included as part of a gable/shed roof addition, offer a balanced appearance while increasing living space.

As stated in the comment to Figure 14, the purpose of this design was to balance the appearance to match the character of the neighborhood while increasing living space so that we could limit the size of the addition on the rear of the building.

II. Average Neighborhood FAR & Relevant Categories

I know everyone is using the Assessor's records to calculate the FAR of properties nearby because it's the most easily available data. However, the Assessor data does not include all of the living area that is included in the zoning ordinance's definition of "gross floor area" for the calculation of Floor Area Ratio. Specifically, the zoning ordinance includes enclosed porches as well as unfinished attic space in a structure's gross floor area. The attic space is measured by the horizontal plane where the roof rafters are 5 feet above the attic floor. That is why, for instance, the Assessor shows 1,792sf of living area for 47-49 Alpine Street but our zoning application shows the existing structure having 2,288sf of gross floor area – a 28% increase.

As you will see if you review the relevant Assessor records (and condo plans, where applicable), none of the properties include attic space or enclosed porches in the living area and all of the homes have attics which would be included in gross floor area for zoning purposes.

In order to clarify the average Floor Area Ratio of properties in the neighborhood, I created a spreadsheet calculating the following for the homes in the neighborhood: (1) the FAR based on the Assessor living area and lot area, and (2) the estimated actual FAR if the same 28% increase is added for attic and enclosed porches.

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I also used Google Maps to take rough measurements of the distance between each property and 47-49 Alpine Street to create the following categories for the purpose of analyzing the FAR's in the neighborhood:

1. "Abutters" of 47-49 Alpine Street as the term is used for zoning purposes.
 - a. This category is relevant because under zoning law, "abutters" are the "parties in interest" who are presumed to have legal standing to challenge zoning decisions with judicial appeals because they are most affected by the decisions. MGL ch. 40A, sec. 17 defines "abutters" as "abutters, owners of land directly opposite on any private or public street or way, and abutters to abutters within 300 feet of the property line of the petitioner." Note that the "300 feet" part means "abutters of abutters whose property line is within 300 feet," not "all property owners within 300 feet." (See [Murrow v. ESH Circus Arts LLC](#) for reference)
2. All properties on Alpine Street
 - a. This category is relevant because the character of the street is an important subset of the character of the neighborhood in general. It should be noted, however, that Cambridge's zoning ordinance does not expressly purport to protect "neighborhood character." A zoning ordinance must expressly protect "neighborhood character" in order for non-abutter residents in the zoning district to have standing as a "party in interest" to challenge a zoning decision.
3. All properties within 500 feet of 47-49 Alpine Street
 - a. As indicated above, in general the character of the "neighborhood" refers to all properties within the applicable zoning district. I limited it to 500 feet because of time constraints, and also because we acknowledge that Alpine Street is less dense than other areas within the zoning district and we want to fairly address your concerns about the character of your particular area of the neighborhood.

To be clear, I am making these distinctions for the purpose of clarifying the issues and not to make any sort of legal argument. I just think it's useful to set clear parameters for the purpose of furthering the discussion to reach a resolution. I'm also attaching the list of properties within 500 feet that I used for you to review. Feel free to let me know if I missed any due to time constraints.

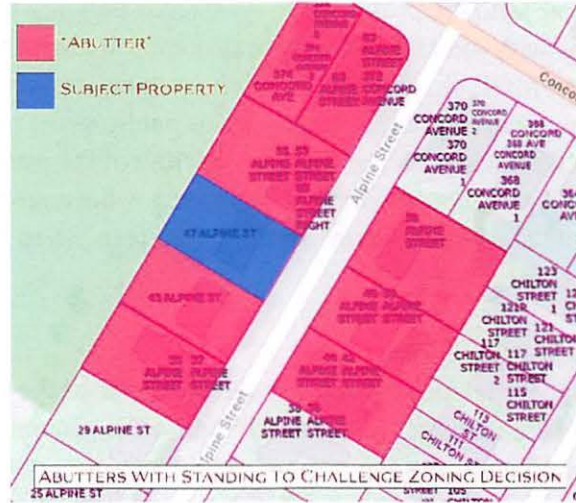
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III. FAR Categories and Calculations

a. Identity of "Abutters"

The following image shows the properties that would be considered "abutters" for zoning purposes as described above:



b. The following are the relevant FAR calculations for the categories of neighbors described above:

Metric Description	"Abutter" Homes Per Zoning Definition	All Homes on Alpine Street	Homes Within 500 Feet of 47-49 Alpine Street
Total Number of Homes	8	59	60
Number of Properties With FAR Over .5 Based on Assessor "Living Area"	2	16	38
Number of Properties With FAR Over .5 With Estimated Attic Added for "Gross Floor Area" Per Zoning Definition	4	22	49
Number of Properties With FAR .74+ Based on Assessor "Living Area"	0	3	5
Number of Properties With FAR .74+ With Estimated Attic Added for "Gross Floor Area" Per Zoning Definition	0	8	23
Average FAR Per Assessor "Living Area"	0.39	0.48	0.54
Average FAR Per Estimated "Gross Floor Area"	0.5	0.62	0.70
Highest FAR Based on Assessor "Living Area"	0.52	0.82	0.82
Highest FAR Based on Estimated "Gross Floor Area"	0.66	1.05	1.05

IV. What Can Be Built “By Right” Under the Cambridge Zoning Ordinance

Living Space

The Cambridge Zoning Ordinance allows for the construction of a 2,500sf two-family home on 47-49 Alpine Street as-of-right without ZBA approval or community input. As some of you have noted, the ordinance does not include basement living space in the FAR calculation so this means 2,500sf of living space can be built “above grade.” The ordinance also allows for the addition of an “accessory dwelling unit” under certain conditions that would apply to Alex, Siyu and their family members, so technically the new building can contain three dwelling units.

Dimensional Requirements

The existing structure complies with all of the zoning requirements except for the fact that it is 3.5’ wider than allowed to meet the aggregate side yard requirement of 20’, and that the ordinance requires two parking spaces and there are currently none.

Building Height: If the existing building is demolished, the ordinance would allow the new building to have a 15’ front yard setback and be 35’ tall with 3 full stories and a flat roof. That would be 9.5 closer to the street and the full third story would be 12 feet higher for the full length and width of the house as opposed to the existing pitched roof (or the pitched roof with dormers in the current proposed design).

Parking & Tree Removal: I know a few people are opposed to the removal of the tree in the front yard, but if the owners obtain a permit to build a house “by right” then they have the right to remove the tree for parking access and replace it in accordance with the Tree Protection Ordinance. They would also have the ability to add a paved driveway leading all the way to the rear yard, as well as a 17’ x’ 18’ paved area for two parking spaces and additional paved maneuvering areas.

For your reference, our architect put together the attached visual depictions of a few of the “by right” designs that do not require ZBA approval or community input. We would truly like to work together with you to design a project that works for everyone and accommodates as many concerns as possible. In order to utilize the existing structure, construct a conventional pitched roof, and gain enough useable space for Alex, Siyu and their family then we need the requested FAR relief at tomorrow’s hearing. As shown above, there are 3 other properties on Alpine Street with an FAR equal to or greater than the .74 we are requesting when the Assessor living space is increased by the same percentage as this property to account for attic space and enclosed porches. The proposed design actually looks similar to 75 Alpine Street, which has an FAR of between .69 and .88. There are also a total of 23 properties within 500 feet of the property with an FAR of .74 or greater. Based on this, we believe the proposed design is reasonable and in context with the neighborhood. Hopefully you will agree and support the project at tomorrow’s

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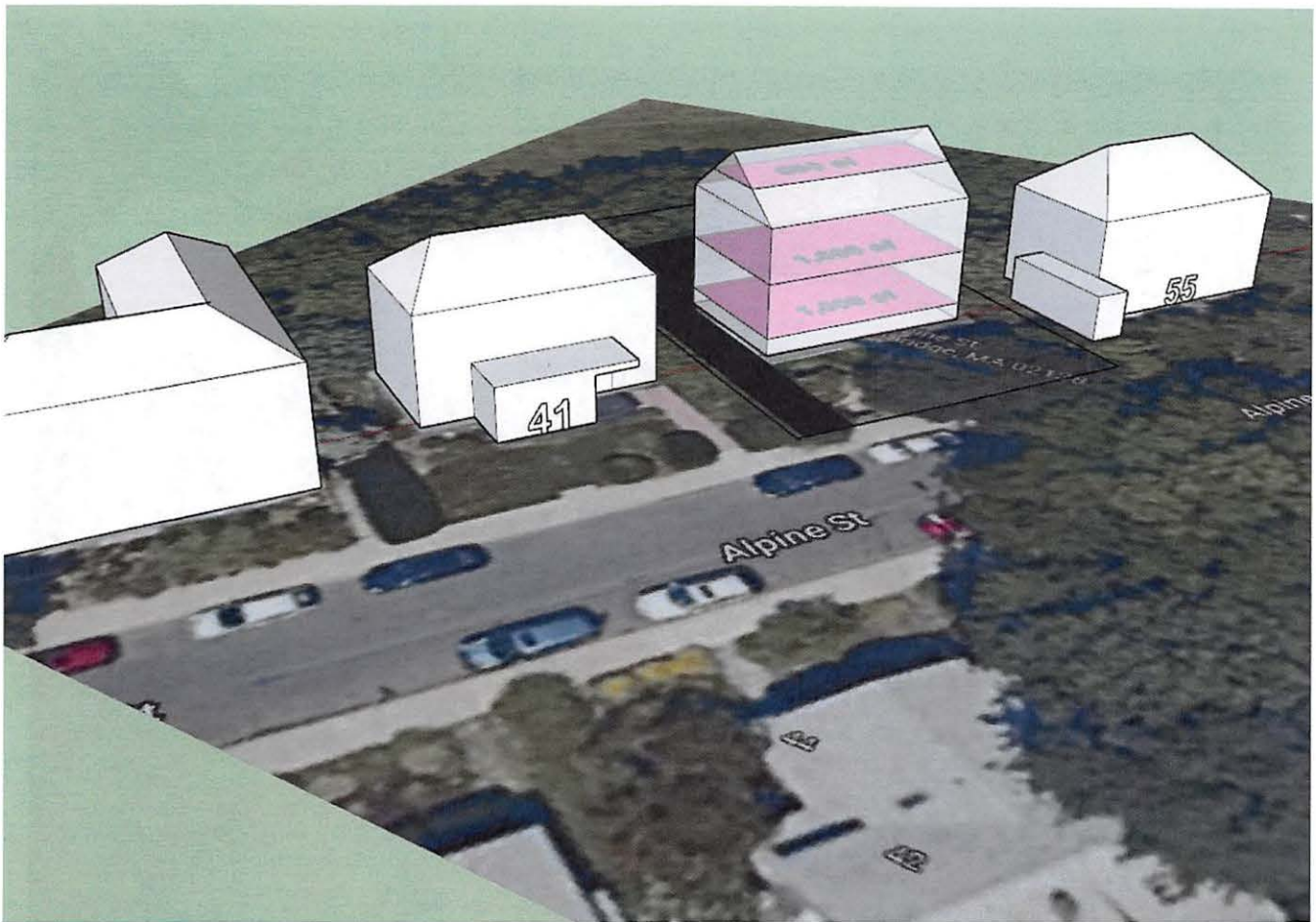
michael@attorneywelsh.com | (617) 942-0691

hearing. If not, we understand and we will consider one of the “by right” options to proceed with.

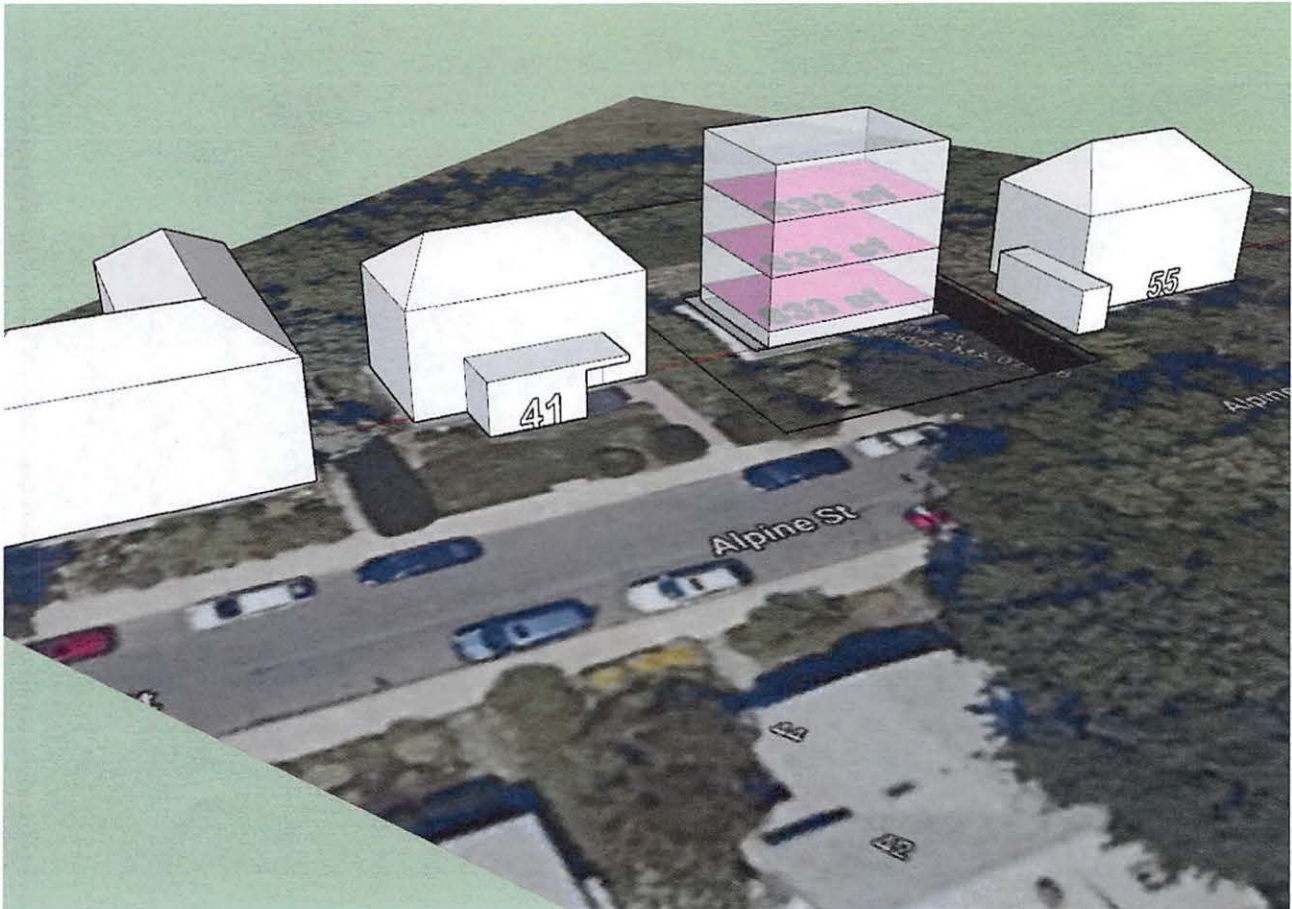
By Right Option 1



By Right Option 2



By Right Option 3



Address	Lot Area	Living Space	Attic Est	Est Actual	FAR	Est Actual FAR
6-8 Alpine Street	7037	1971	551.88	2522.88	0.28	0.36
9 Alpine Street	5299	1680	470.4	2150.4	0.32	0.41
11-15 Alpine Street	5039	1831	512.68	2343.68	0.36	0.47
16 Alpine Street	5599	2213	619.64	2832.64	0.40	0.51
20-22 Alpine Street	5599	2808	786.24	3594.24	0.50	0.64
21 Alpine Street	5039	1944	544.32	2488.32	0.39	0.49
24-26 Alpine Street	5800	2784	779.52	3563.52	0.48	0.61
25 Alpine Street	5220	1584	443.52	2027.52	0.30	0.39
29 Alpine Street	5039	1584	443.52	2027.52	0.31	0.40
30-32 Alpine Street	5599	2210	618.8	2828.8	0.39	0.51
35 Alpine Street	5220	2621	733.88	3354.88	0.502	0.64
36-38 Alpine Street	5800	2888	808.64	3696.64	0.50	0.64
40-42 Alpine Street	5599	2442	683.76	3125.76	0.44	0.56
43 Alpine Street	5039	1600	448	2048	0.32	0.41
48 Alpine Street	5599	1790	501.2	2291.2	0.32	0.41
53-55 Alpine Street	6103	1584	443.52	2027.52	0.26	0.33
56 Alpine Street	6837	1809	506.52	2315.52	0.26	0.34
63-65 Alpine Street	4413	2292	641.76	2933.76	0.52	0.66
72 Alpine Street	4914	2479	694.12	3173.12	0.504	0.65
75 Alpine Street	2167	1488	416.64	1904.64	0.69	0.88
79 Alpine Street	4099	2074	580.72	2654.72	0.51	0.65
80 Alpine Street	3800	3006	841.68	3847.68	0.79	1.01
82-84 Alpine	3800	2085	583.8	2668.8	0.55	0.70
83 Alpine Street	4099	2136	598.08	2734.08	0.52	0.67
85 Alpine Street	4099	2612	731.36	3343.36	0.64	0.82
88 Alpine Street	3800	2978	833.84	3811.84	0.78	1.00
89-91 Alpine Street	4099	3348	937.44	4285.44	0.82	1.05
90 Alpine Street	3100	2184	611.52	2795.52	0.70	0.90
94 Alpine Street	3800	1992	557.76	2549.76	0.52	0.67
95 Alpine Street	3999	2556	715.68	3271.68	0.64	0.82
98 Alpine Street	4590	2691	753.48	3444.48	0.59	0.75
99 Alpine Street	4961	2062	577.36	2639.36	0.42	0.53

Total Homes	32
Avg Assessor FAR	0.48
Avg Est FAR	0.62
Homes w/ Assessor FAR Over .5	16
Homes w/ Est FAR Over .5	22
Homes w/ Assessor FAR .74+	3
Homes w/ Actual FAR .74+	8
Highest Assessor FAR	0.82
Highest Actual FAR	1.05

Property Type	Distance	Abutter	Condo 1	Condo 2	Total
Single-family	364				
Two-family	346				
Two-family	360				
Two condos	294				
Two condos	226		1405	1405	2810
Single-family	240				
Two condos	193				
Single-family	185				
Single-family	131				
Single-family	125				
Two-family	70	Yes			
Two-family	80				
Two-family	65	Yes			
Single-family	Adjacent	Yes			
Two-family	50	Yes			
Two-family	Adjacent	Yes			
Two-family	45	Yes			
Two-family	76	Yes			
Single-family	231				
Single-family	318				
Two-family	325				
Two-family	331				
Two condos	370		888	1482	2370
Two-family	372				
Single-family	500				
Two condos	403				
Two-family	472				
Two-family	450				
Two-family	475				
Two condos	513		2118	1900	4018
Two-family	530				
Two-family	529				

Commernts

Received FAR variance in October 2013. Side yard variance for 2007 addition. Obviously didn't include attic in calculation of living space because would have exceeded FAR. Condo plans and assessor don't include attic

Condo plan measurements don't include attic.

Condo plan measurements don't include attic.

Assessor measurements don't include attic.

[Abutter of abutter](#)

Assessor measurements don't include attic

Assessor measurements don't include attic. Abutter of abutter

Direct abutter to left

Direct abutter across street

Direct abutter to right

Abutter of abutter

[Abutter of abutter](#)

Seems like difference not an issue.

PROJECT :

PROJECT ADDRESS : 47- 49 ALPINE ST, CAMBRIDGE MA



ARCHITECT:
UP DESIGN & BUILD, LLC

EMAIL:
INFO@UpDesignBuild.COM

PHONE:
617-902 8626

**PROJECT SUMMARY:
ADDITION AND GUT RENOVATION**

EXISTING FLOOR AREA (TOTAL 2,288 SF):
FIRST FLOOR 906 SF
SECOND FLOOR 939 SF
ATTIC 443
BASEMENT 900 SF (EXCLUDED)
SHED xx (EXCLUDED)

PROPOSED FLOOR AREA (TOTAL 3,710 SF):
FIRST FLOOR 1,500 SF
SECOND FLOOR 1,266 SF
THIRD/ATTIC FLOOR 944 SF
BASEMENT 1,250 SF (EXCLUDED)

PROPOSED AREA BREAKDOWN FOR EACH UNIT
UNIT 1 (BASEMENT 1086 + FIRST LEVEL 1,102 SF)
SUBTOTAL 2,188 SF
UNIT 2 (SECOND LEVEL 1,102 + THIRD LEVEL 800 SF)
SUBTOTAL 1,902 SF
COMMON AREA (ENTRY, STAIRS AND ELEVATOR)
SUBTOTAL 870 SF

DRAWING LIST:

SHEET #	DRAWING TITLE
00-GENERAL	
X00	PROJECT COVER SHEET
01 DEMO	
D01	DEMOLITION PLAN BASEMENT
D02	DEMOLITION PLAN FIRST LEVEL
D03	DEMOLITION PLAN SECOND LEVEL
D04	DEMOLITION PLAN ATTIC EXISTING
01 PLANS	
A1	BASEMENT PLAN PROPOSED
A2	FIRST FLOOR PLAN PROPOSED
A3	SECOND FLOOR PROPOSED
A4	THRID FLOOR - NEW
A5	ROOF PLAN - NEW
A7	RIGHT ELEV. - EXISTING
A7a	RIGHT ELEVATION - NEW
A8	FRONT ELEVATION EXISTING
A8a	FRONT ELEVATION PROPOSED
A9	REAR ELEVATION EXISTING
A9a	REAR ELEVATION - NEW
A10	LEFT ELEVATION - EXISTING
A10a	LEFT ELEVATION NEW
Grand total: 18	

PRELIMINARY CONCEPT,
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**PROJECT
COVER SHEET**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

X00

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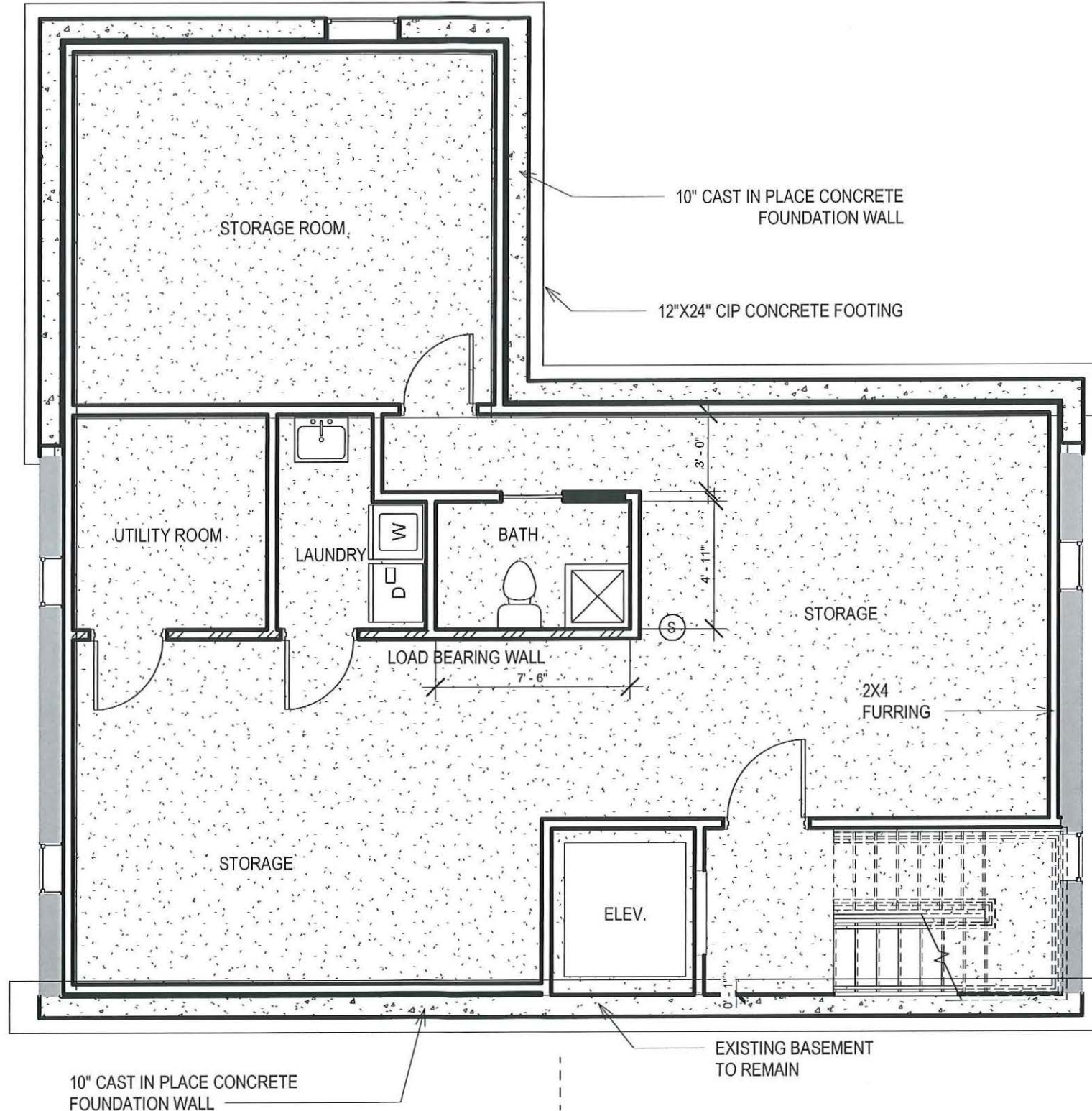
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 CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH OWNER
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 PERMIT APPLICATION ONLY.

FIRE ALARM LEGEND

- Ⓢ SMOKE ALARM
- Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

- EXISTING TO REMAIN
- DEMO
- NEW WORK



UNIT 1
 FLOOR AREA - 1, 250 SF
 COMMON AREA (STAIR AND ELEVATOR) 164 SF
 LIVING AREA 1,086 SF

1 BASEMENT PLAN - NEW
 A1 Scale: 3/16" = 1'-0"



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CAMBRIDGE MA

**BASEMENT
 PLAN
 PROPOSED**

Project number 0.08

Date 04/20/2022

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A1

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Ⓢ SMOKE ALARM Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

— EXISTING TO REMAIN
 - - - DEMO
 = = = NEW WORK

2X6 WALL NEW, TYP

2X6 WALL,
 EXISTING TO
 REMAIN

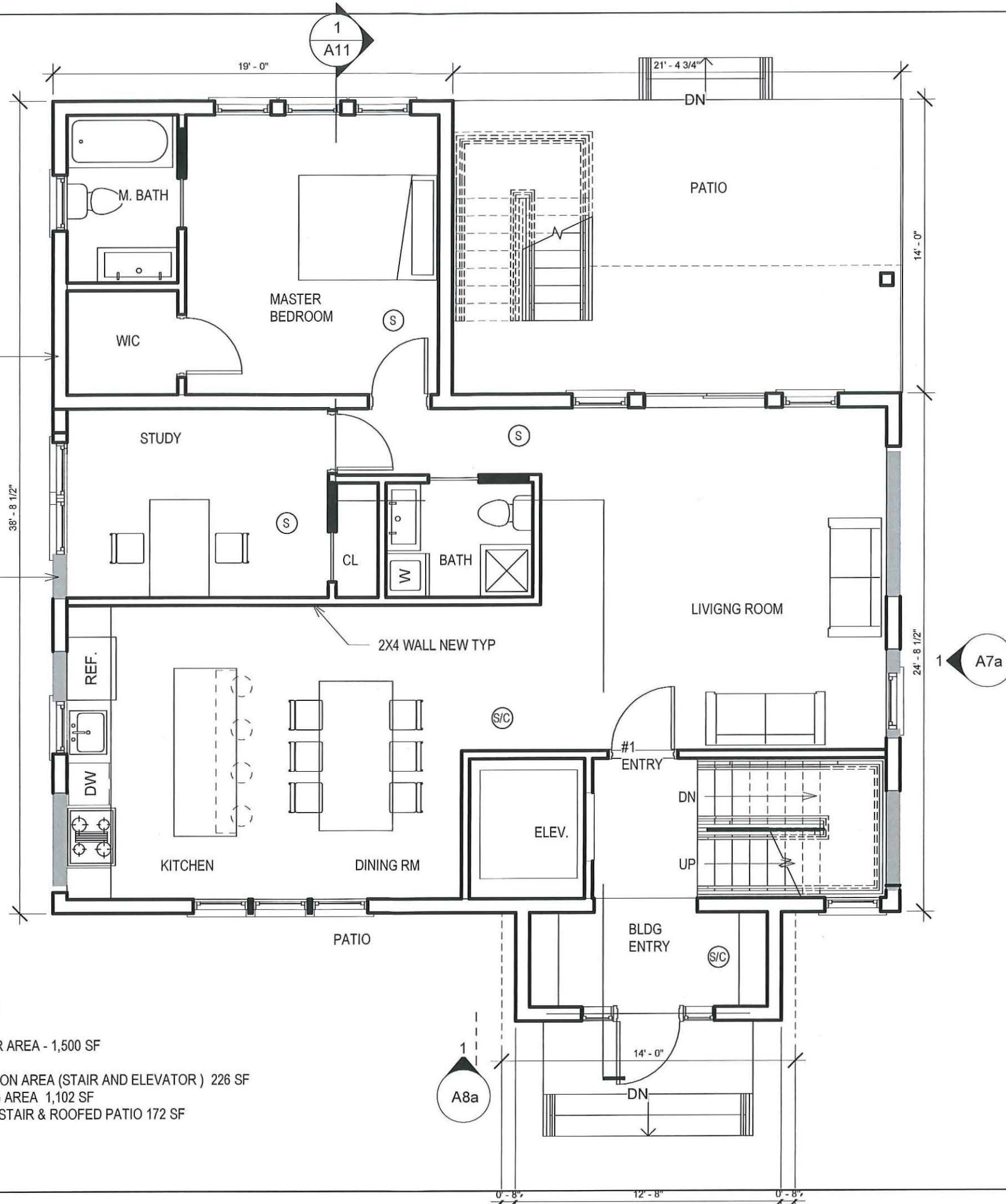
2X4 WALL NEW TYP

UNIT 1

FLOOR AREA - 1,500 SF

COMMON AREA (STAIR AND ELEVATOR) 226 SF
 LIVING AREA 1,102 SF
 REAR STAIR & ROOFED PATIO 172 SF

1 LEVEL 1 FLOOR PLAN NEW WORK
 A2 Scale: 3/16" = 1'-0" Ref: A7



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47 Alpine St

CAMBRIDGE MA

FIRST FLOOR
 PLAN
 PROPOSED

Project number 0.08

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A2

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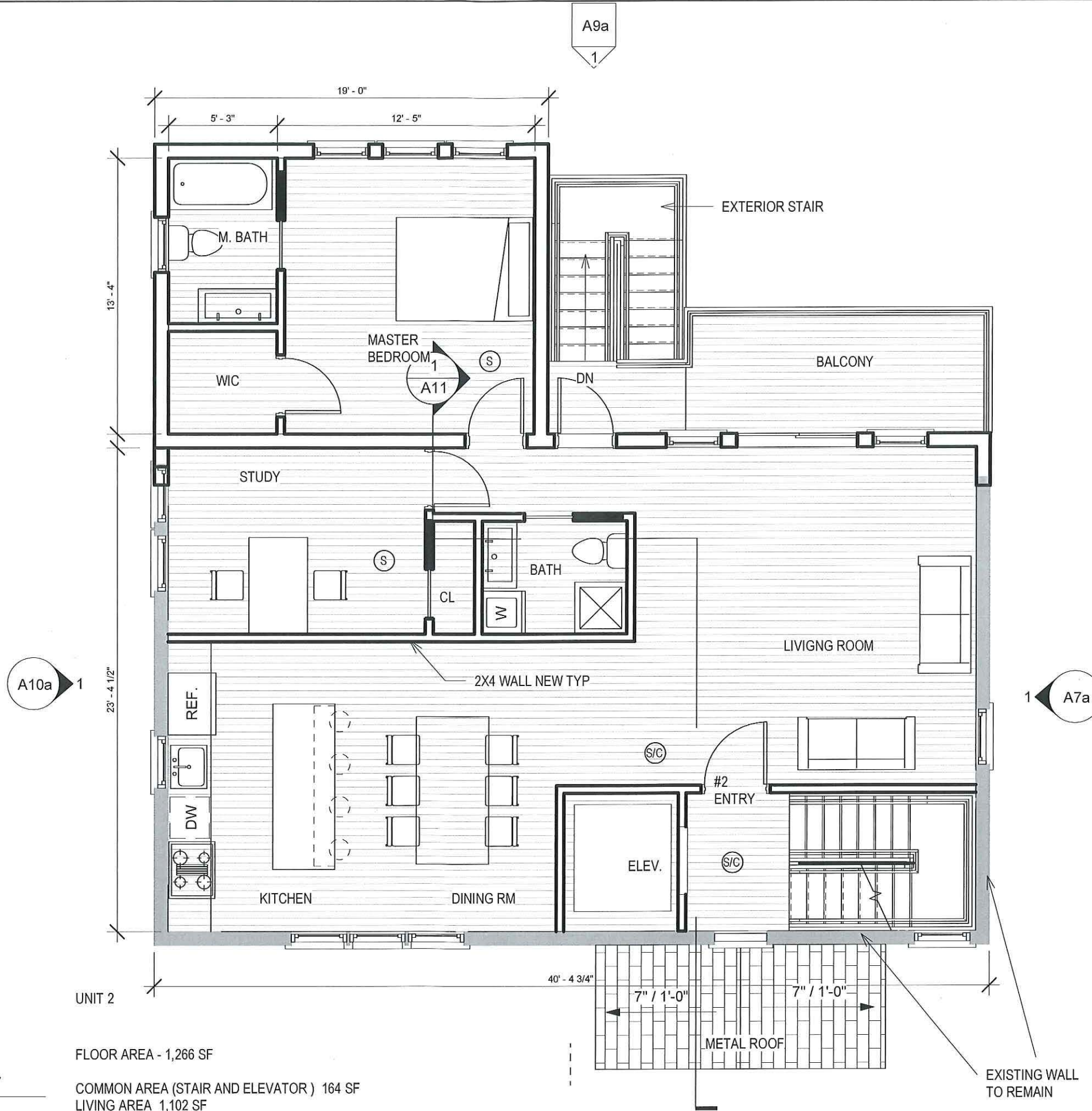
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FIRE ALARM LEGEND

Ⓢ SMOKE ALARM Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

▬ EXISTING TO REMAIN
 - - - DEMO
 = = = NEW WORK



FLOOR AREA - 1,266 SF

COMMON AREA (STAIR AND ELEVATOR) 164 SF
 LIVING AREA 1,102 SF



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47 Alpine St

CAMBRIDGE MA

SECOND FLOOR PROPOSED

Project number 0.08

Date 04/20/2022

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Checked by KX

A3

Scale As indicated

1 LEVEL 2 FLOOR PLAN PROPOSED CONCEPT
 A3 Scale: 3/16" = 1'-0"

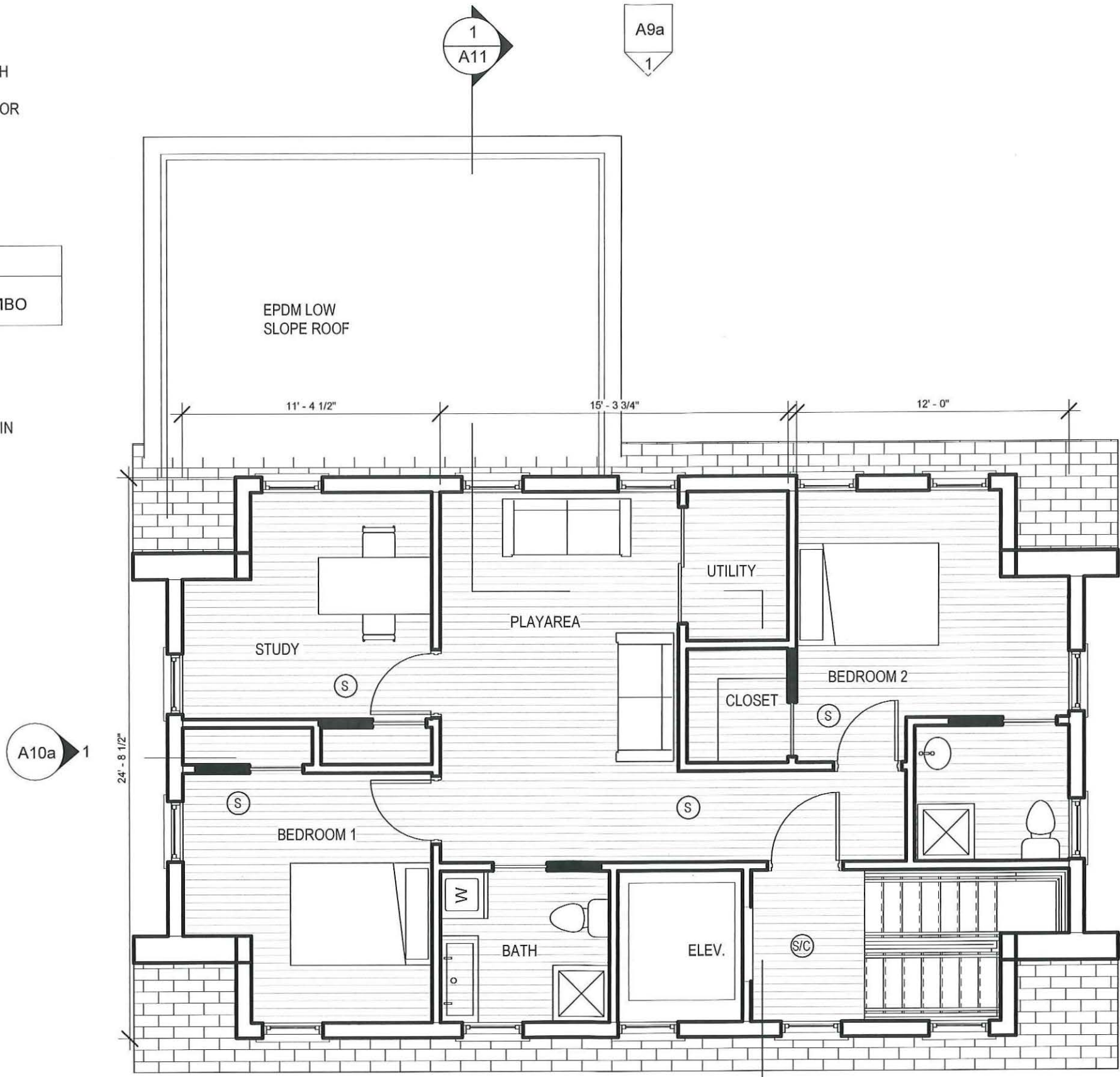
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



UNIT 2
 FLOOR AREA - 944 SF
 COMMON AREA (STAIR AND ELEVATOR) 144 SF
 LIVING AREA 800 SF

1 ATTIC
 A4 Scale: 3/16" = 1'-0" Ref: A7



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47 Alpine St
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**THRID FLOOR
 - NEW**

Project number 0.08

Date 04/20/2022

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A4

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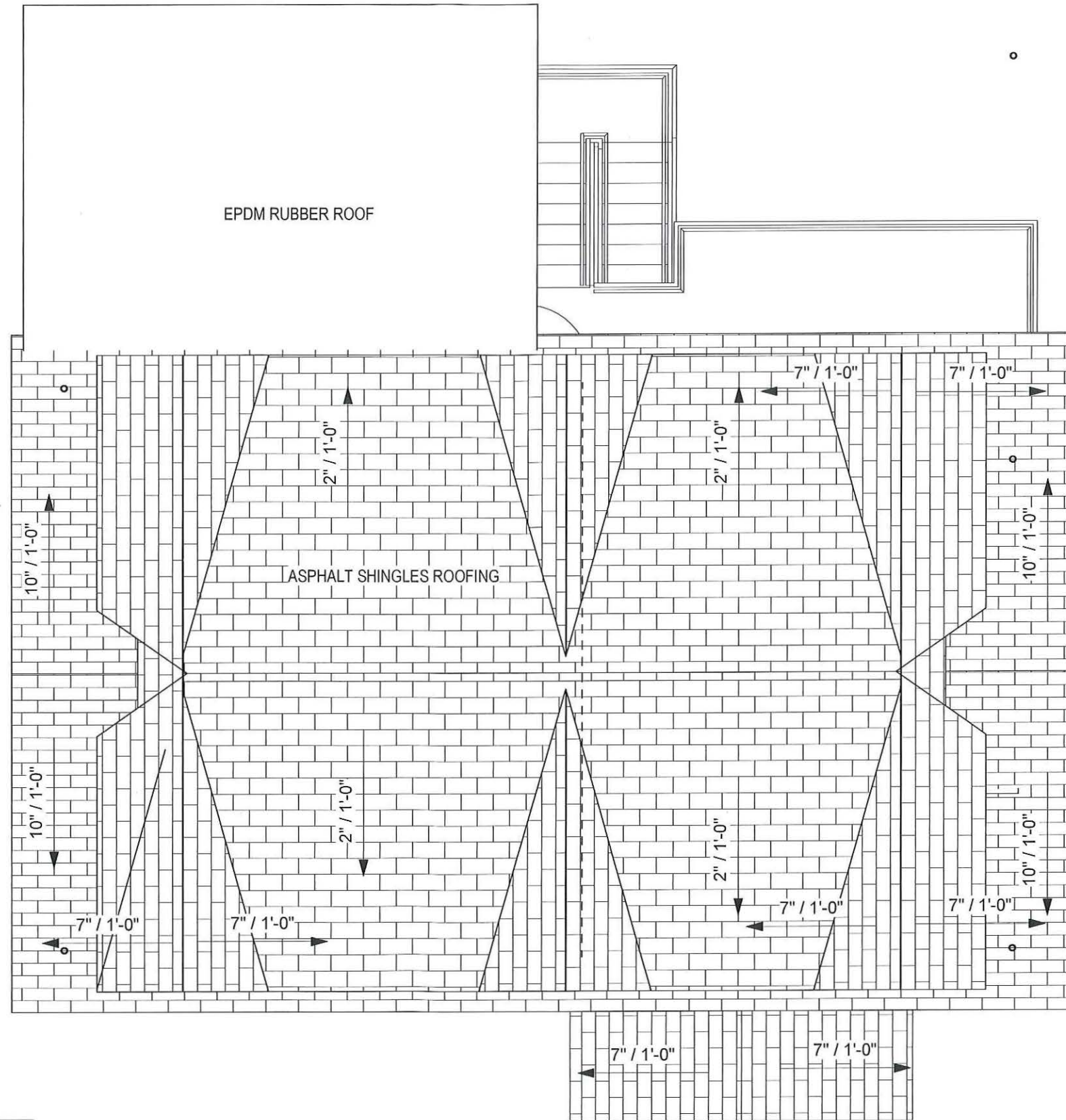
FIRE ALARM LEGEND

- ① SMOKE ALARM
- Ⓞ/s CO/SMOKE COMBO

LEGEND :

- EXISTING TO REMAIN
- DEMO
- NEW WORK

A10a 1



1 ROOF PLAN NEW
 A5 Not to Scale



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ROOF PLAN -
 NEW

Project number 0.08

Date 04/20/2022

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A5

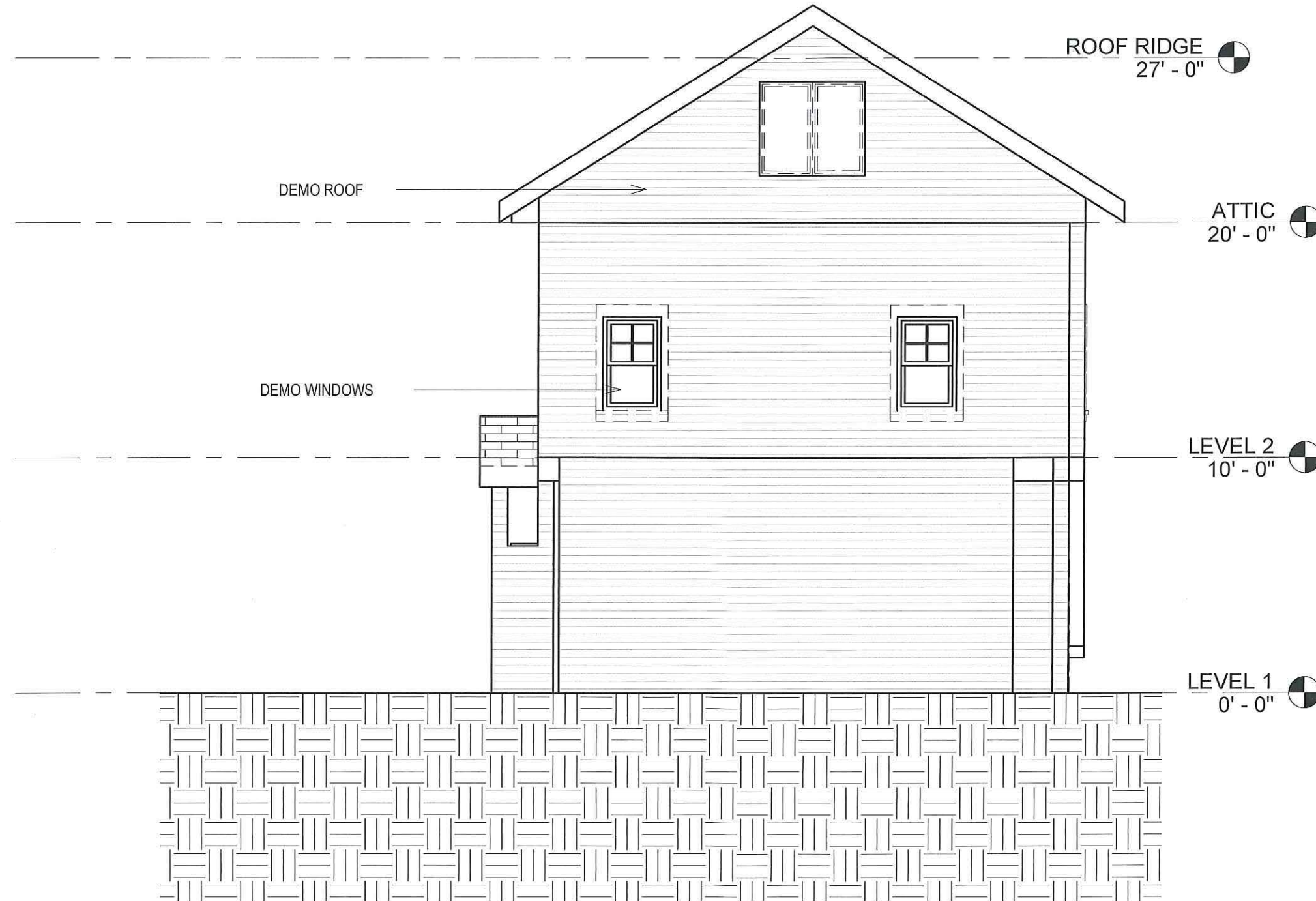
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

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47 Alpine St

CAMBRIDGE MA

**RIGHT ELEV. -
 EXISTING**

Project number 0.08

Date 04/20/2022

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A7

Scale As indicated

1 REAR ELEVATION - EXISTING
 A7 Scale: 3/16" = 1'-0"

Ref: D03

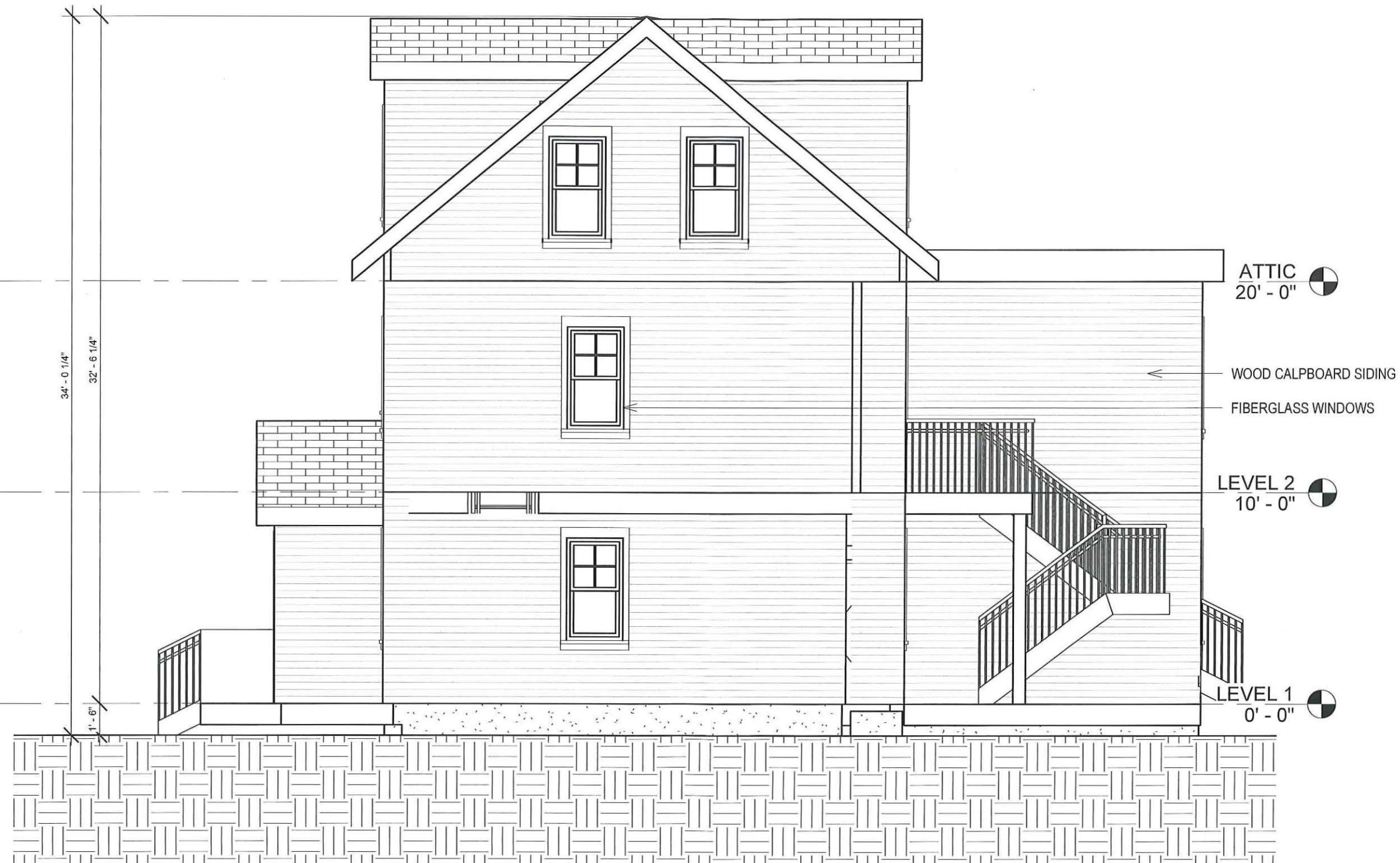
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Ⓢ	SMOKE ALARM
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**RIGHT
 ELEVATION -
 NEW**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A7a

Scale As indicated

1 REAR ELEVATION NEW
 A7a Scale: 3/16" = 1'-0"


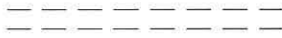

Ref: A1

4/23/2022 11:00:54 PM

GENERAL NOTE:
 CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH
 OWNER FOR ALL CONSTRUCTION ISSUES.
 THIS DRAWING SET IS TO SHOW DESIGN INTENT AND FOR
 PERMIT APPLICATION ONLY.

FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
 NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**FRONT
 ELEVATION
 EXISTING**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A8

Scale As indicated

1 FRONT ELEVATION - EXISTING
 A8 Scale: 3/16" = 1'-0"

4/23/2022 11:00:54 PM

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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/c/s	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
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47 Alpine St

CAMBRIDGE MA

**FRONT
 ELEVATION
 PROPOSED**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A8a

Scale As indicated



1 FRONT ELEVATION - NEW
 A8a Scale: 3/16" = 1'-0"

4/23/2022 11:00:55 PM

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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/s	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



ARCHITECT:
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EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

ROOF RIDGE
 27' - 0"

PRELIMINARY CONCEPT,
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47 Alpine St

ATTIC
 20' - 0"

CAMBRIDGE MA

**REAR
 ELEVATION
 EXISTING**

Project number 0.08

Date 04/20/2022

Drawn by Author
 LEVEL 1

Checked by Checker
 0' - 0"

A9

Scale As indicated

1 REAR ELEVATION- EXISTING
 A9 Not to Scale

4/23/2022 11:00:56 PM

GENERAL NOTE:
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
 NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**REAR
 ELEVATION -
 NEW**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A9a

Scale As indicated

1 REAR ELEVATION - NEW
 A9a Scale: 3/16" = 1'-0"

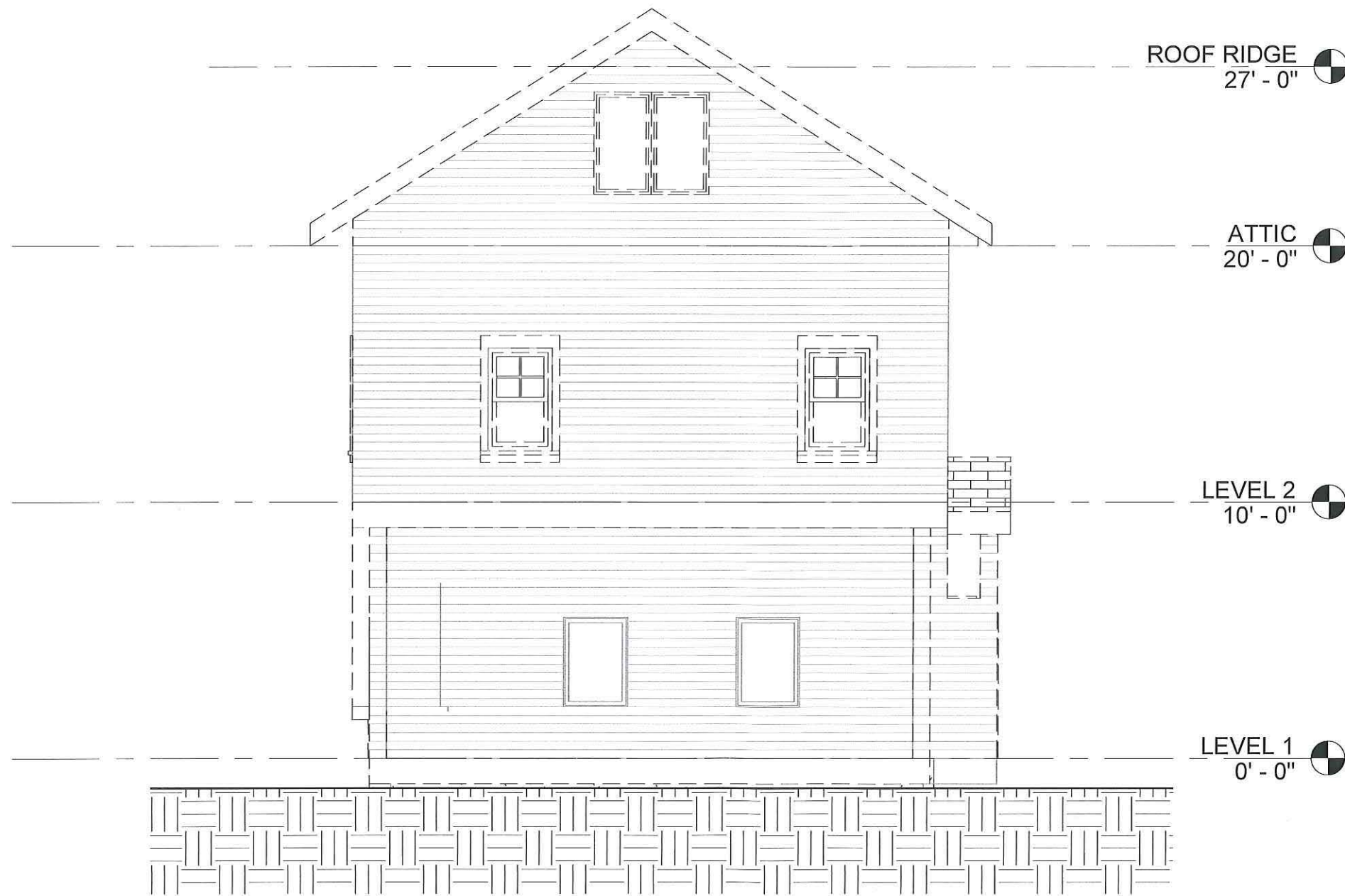
4/23/2022 11:00:56 PM

GENERAL NOTE:
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/s	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
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47 Alpine St
 EXISTING ROOF

CAMBRIDGE MA

EXISTING
**LEFT
 ELEVATION -
 EXISTING**

Project number 0.08

Date EXISTIN 04/20/2022

Drawn by Author

Checked by Checker

A10

Scale As indicated

1 LEFT ELEVATION EX
 A10 Scale: 3/16" = 1'-0"


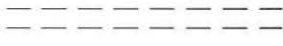
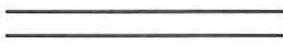
Ref: D01

4/23/2022 11:00:57 PM

GENERAL NOTE:
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 OWNER FOR ALL CONSTRUCTION ISSUES.
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/s	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



1 LEFT ELEVATION - NEW
 A10a Scale: 3/16" = 1'-0"



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
 NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**LEFT
 ELEVATION
 NEW**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

A10a


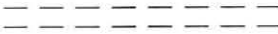

Scale As indicated

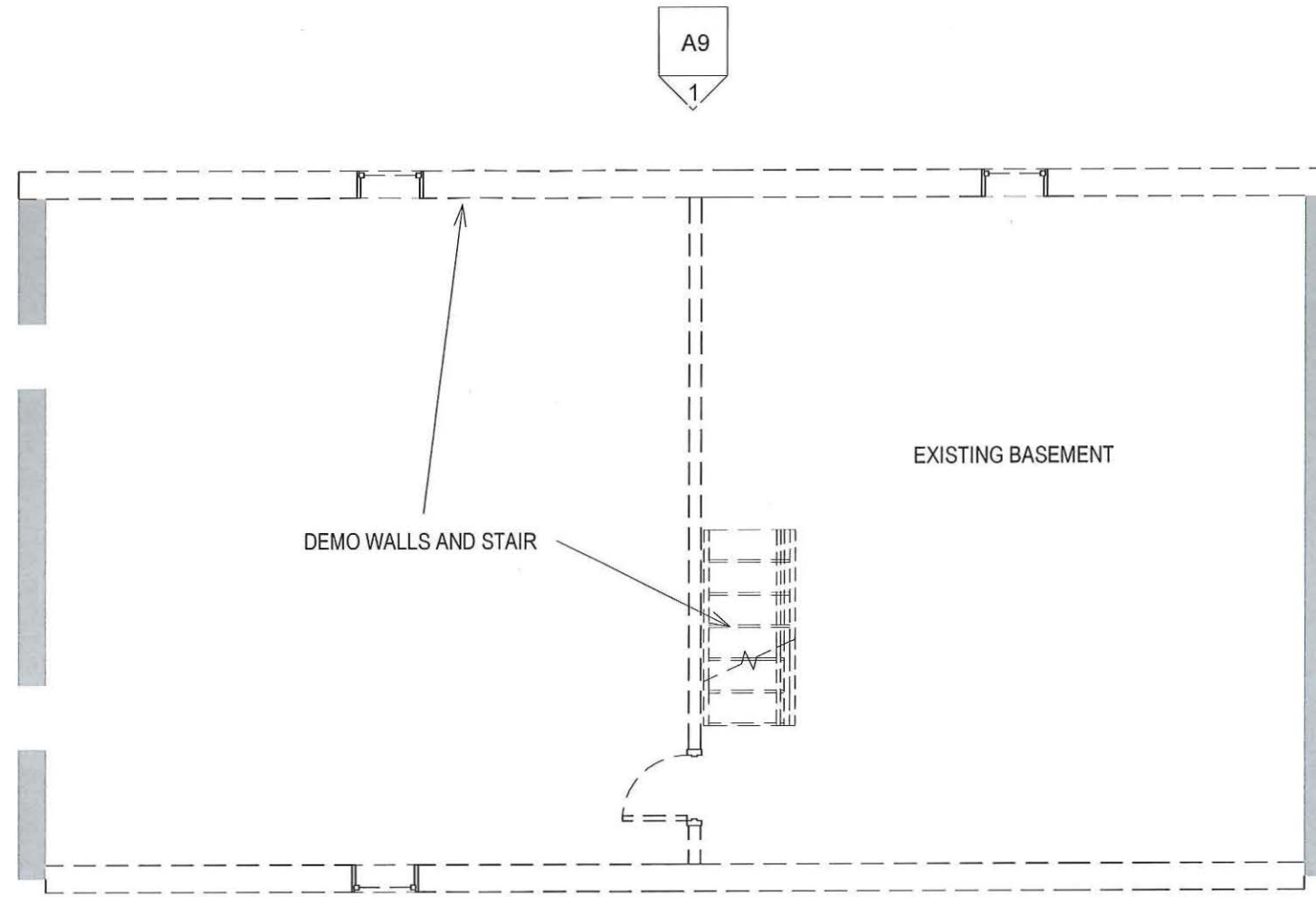
4/23/2022 11:00:58 PM

GENERAL NOTE:
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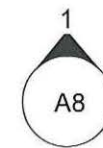
FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
Ⓢ/Ⓢ	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK



EXISTING AREA 900 SF



3 BASEMENT FLOOR PLAN EXISTING SHEET
 D01 Scale: 3/16" = 1'-0" Ref: A9a



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
 NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**DEMOLITION
 PLAN
 BASEMENT**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by Checker

D01

Scale As indicated

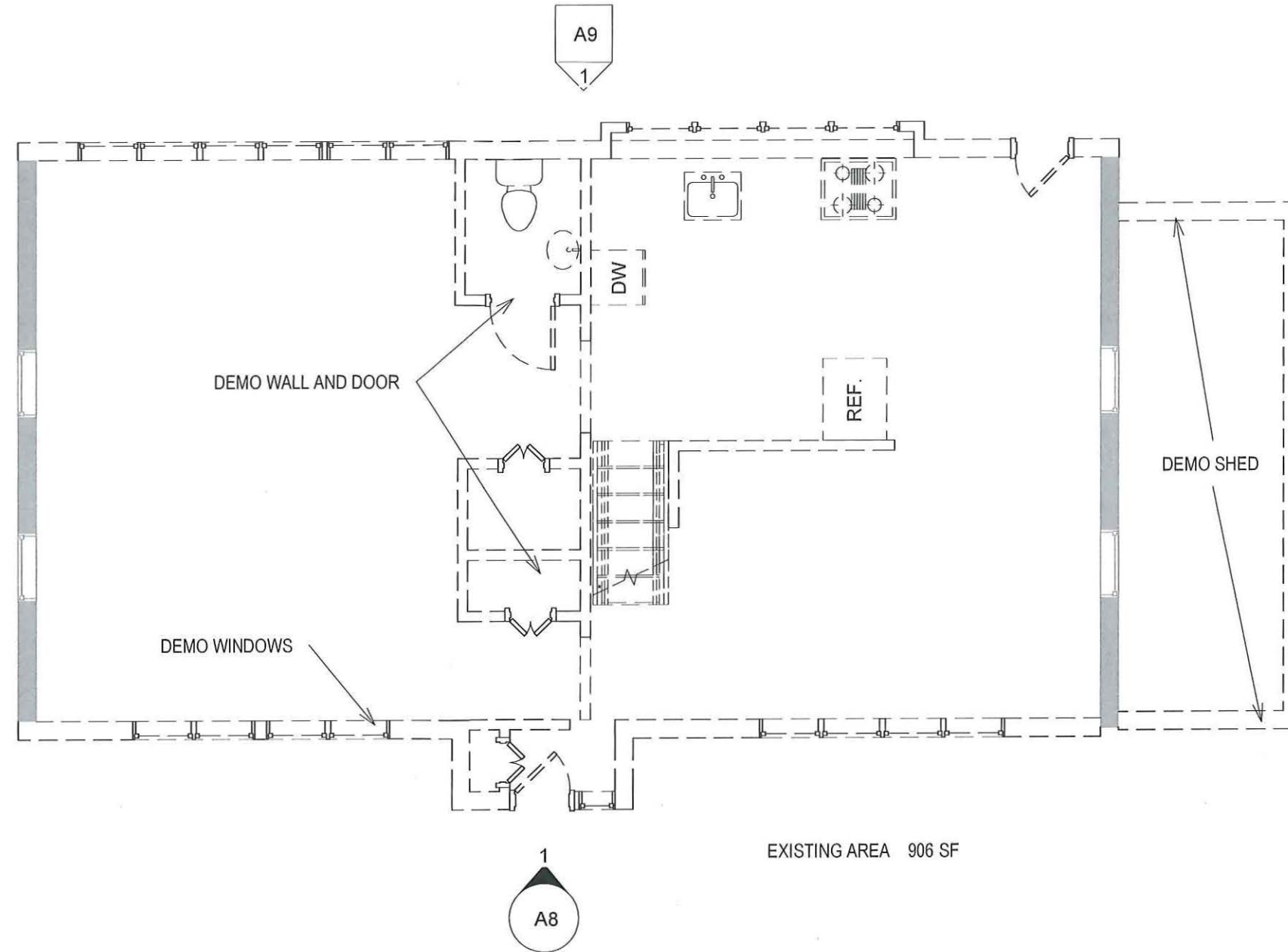
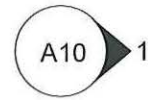
GENERAL NOTE:
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FIRE ALARM LEGEND

- Ⓢ SMOKE ALARM
- Ⓢ/Ⓢ CO/SMOKE COMBO

LEGEND :

- EXISTING TO REMAIN
- DEMO
- NEW WORK



EXISTING AREA 906 SF

1 LEVEL 1 FLOOR PLAN EXISTING SHEET
 D02 Scale: 3/16" = 1'-0" Ref: A7



ARCHITECT:
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EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
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47 Alpine St

CAMBRIDGE MA

**DEMOLITION
 PLAN FIRST
 LEVEL**

Project number 0.08

Date 04/20/2022

Drawn by KX

Checked by KX


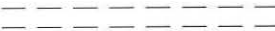

D02

Scale As indicated

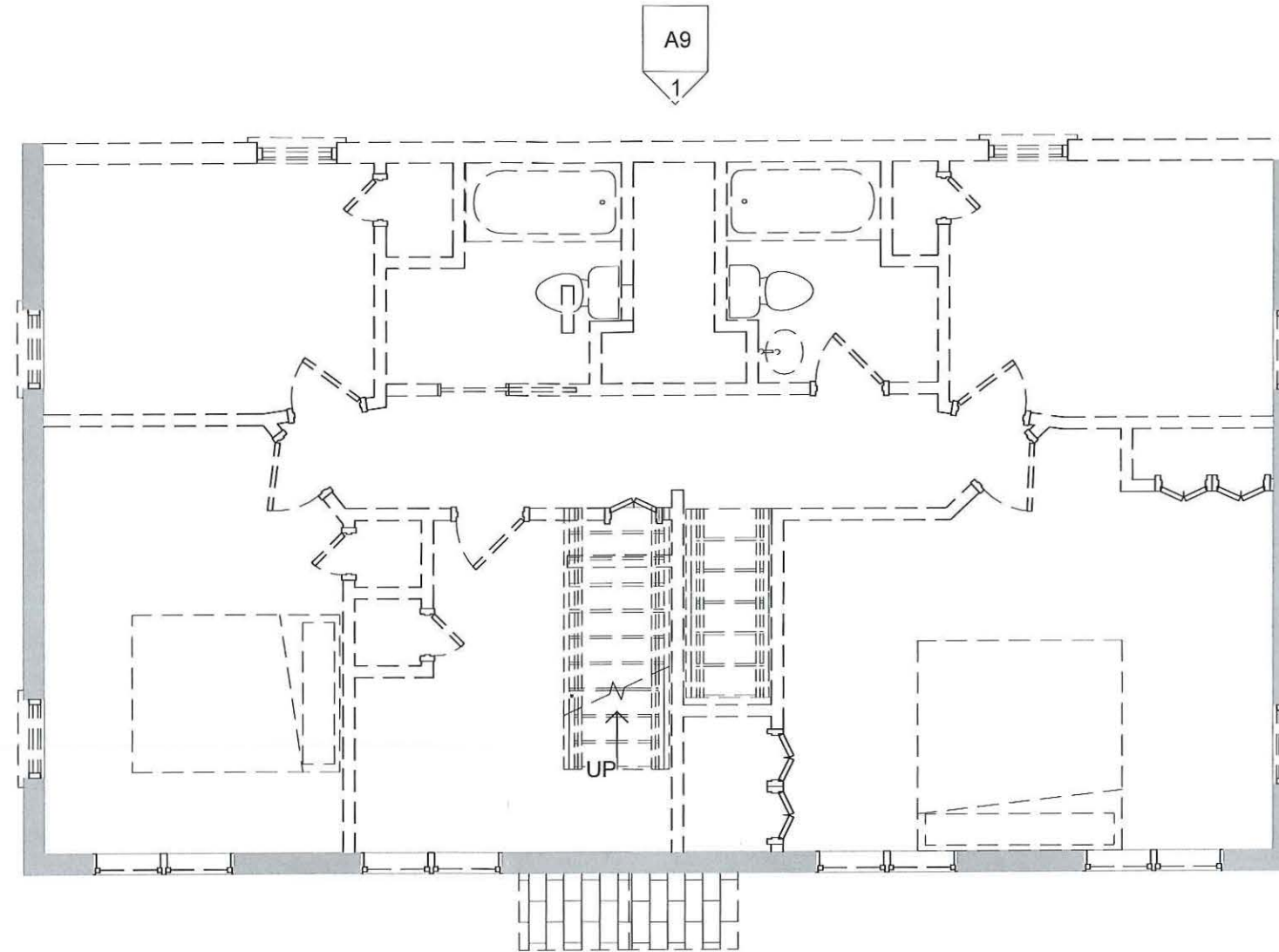
GENERAL NOTE:
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FIRE ALARM LEGEND	
Ⓢ	SMOKE ALARM
c/s	CO/SMOKE COMBO

LEGEND :

	EXISTING TO REMAIN
	DEMO
	NEW WORK

A10



EXISTING AREA 939 SF

A8

1 LEVEL 2 FLOOR PLAN EXISTING SHEET
 D03 Scale: 3/16" = 1'-0"



ARCHITECT:
 UP DESIGN & BUILD, LLC

EMAIL:
 INFO@UpDesignBuild.COM

PHONE:
 617-902 8626

PRELIMINARY CONCEPT,
 NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**DEMOLITION
 PLAN
 SECOND
 LEVEL**

Project number 0.08

Date 04/20/2022

Drawn by Author

Checked by 1 A7 Checker

D03

Scale As indicated



ARCHITECT:
UP DESIGN & BUILD, LLC

EMAIL:
INFO@UpDesignBuild.COM

PHONE:
617-902 8626

PRELIMINARY CONCEPT,
NOT VALID WITHOUT STAMP

47 Alpine St

CAMBRIDGE MA

**DEMOLITION
PLAN ATTIC
EXISTING**

Project number 0.08

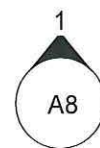
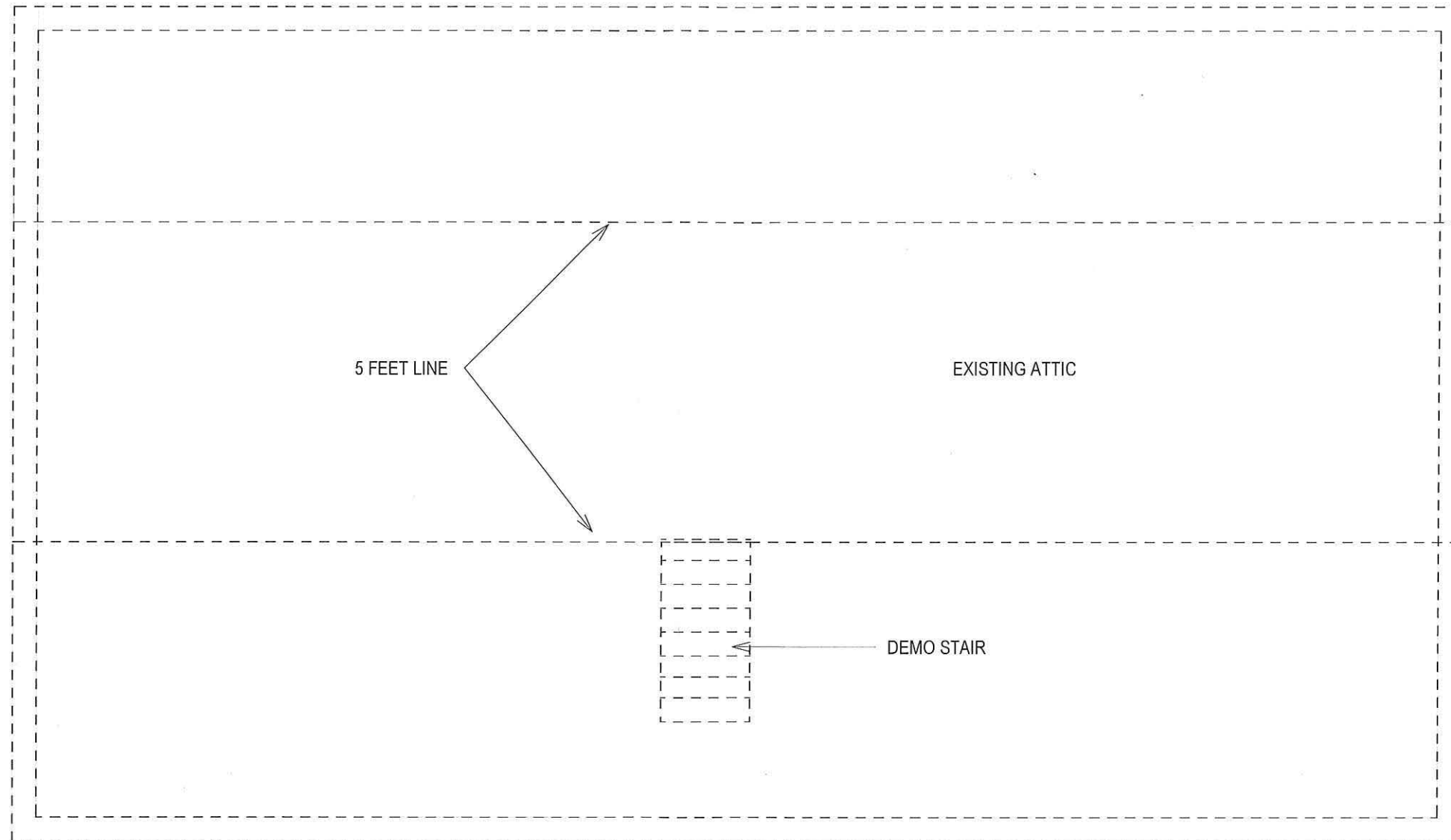
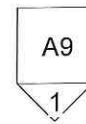
Date 04/20/2022

Drawn by Author

Checked by Checker

D04

Scale 1/4" = 1'-0"



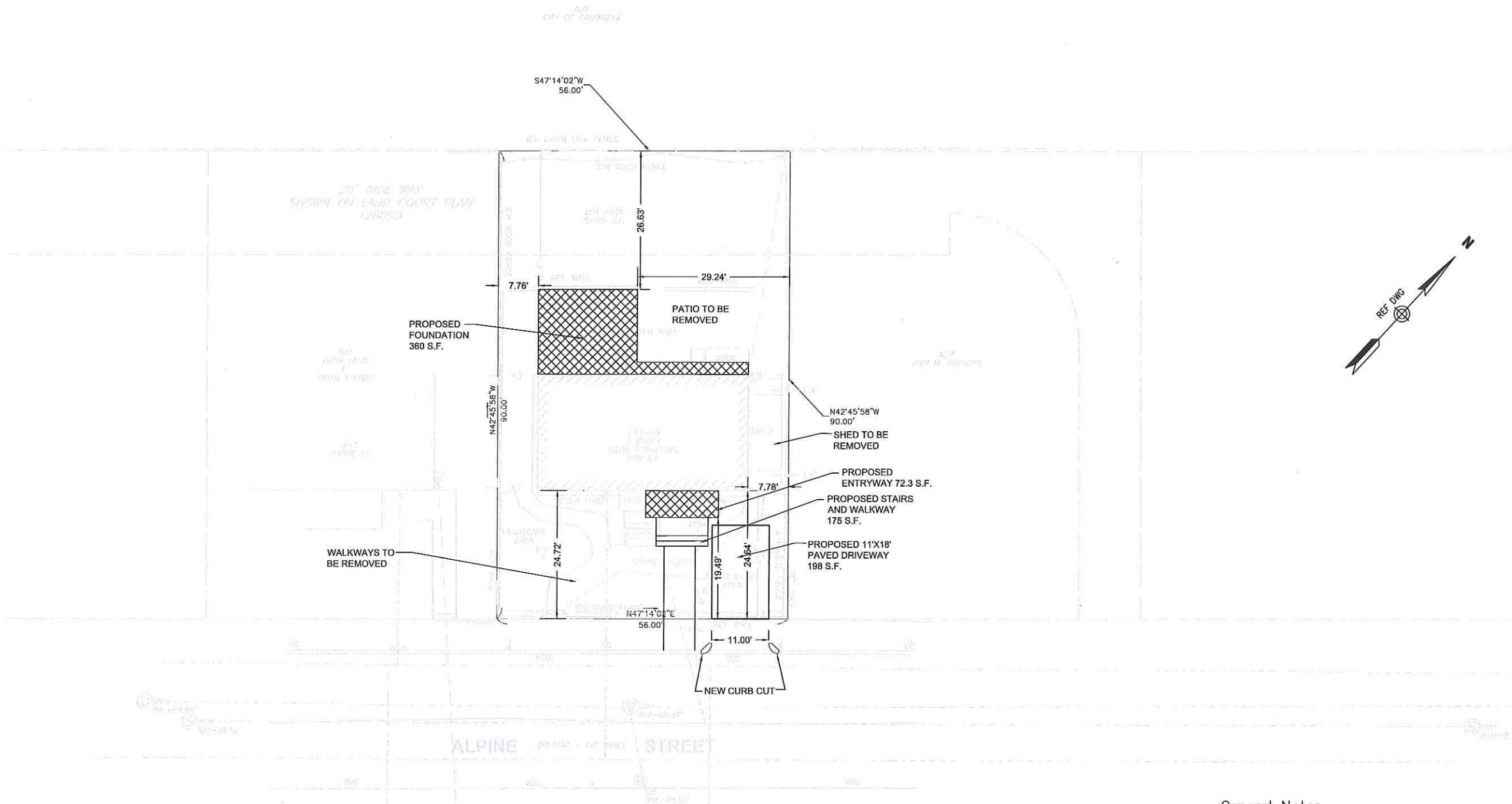
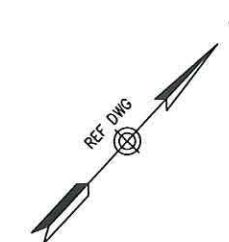
EXISTING ATTIC AREA 443 SF

1 ATTIC LEVEL PLAN
D04 Scale: 1/4" = 1'-0"

4/23/2022 11:00:50 PM

LEGEND

	BENCHMARK
	BOUND (CONC. STONE, LAND COURT, ETC.)
	CATCH BASIN - SQUARE
	CATCH BASIN - ROUND
	DISK (CANT. USC&GS, LAND COURT, ETC.)
	DRILL HOLE
	DRAIN MANHOLE
	ELECTRIC HANDHOLE
	ELECTRIC MANHOLE
	ELECTRIC METER
	GAS GATE
	GAS METER
	HANDICAP SYMBOL
	GUY WIRE ANCHOR
	FIRE HYDRANT
	LIGHT
	OVERHEAD WIRE
	REBAR MARKER
	MAIL BOX
	OTHER MANHOLE
	PULL BOX
	PEDESTRIAN SIGNAL
	SEWER MANHOLE
	TELEPHONE MANHOLE
	TRANSFORMER
	# OF PARKING SPACES
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL MAST ARM SPAN WIRE POLE
	SIGN
	UTILITY POLE W LIGHT
	UTILITY POLE
	WATER GATE
	WATER SHUTOFF



WALKWAYS TO BE REMOVED

NEW CURB CUT

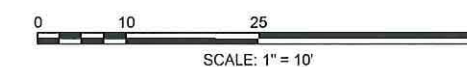
Zoning Notes:

- THE LOT LIES ENTIRELY WITHIN THE RESIDENTIAL B DISTRICT (RBD) AS SHOWN ON THE "ZONING DISTRICT MAP OF CAMBRIDGE, MASSACHUSETTS". DIMENSIONAL REQUIREMENTS FOR A (RBD) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	PROPOSED
MINIMUM LOT AREA.....	5,000 S.F.	5,040 S.F.
MINIMUM FRONTAGE.....	50 FEET	56 FEET
MINIMUM FRONT YARD SETBACK.....	15 FEET	19.49 FEET
MINIMUM SIDE YARD SETBACK...7.5 (SUM 20) FEET.....	7.76(15.54) FEET	
MINIMUM REAR YARD SETBACK.....	25 FEET	26.63 FEET
MAXIMUM BUILDING HEIGHT.....	35 FEET	33 FEET
MINIMUM OPEN SPACE.....	40%	66%

General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING INC. IN JANUARY 2022 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING INC. IN JANUARY 2022.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON LAND COURT PLAN 12809D. ELEVATIONS SHOWN ON THIS PLAN REFER TO AN ASSUMED DATUM.
- THE LOT LIES ENTIRELY WITHIN ZONE X UNSHADED (AREA OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CAMBRIDGE, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- NO WETLAND FLAGS WERE OBSERVED ON SITE AT THE TIME OF THE SURVEY.



No.	Revision	Date	Appr.
1	Changed addition and driveway	04/25/2022	BGP

Designed by BGP Drawn by BGP Checked by BGP
 CAD checked by BGP Approved by BGP
 Scale 1"=10' Date 1/27/2022

Project Title
Proposed Conditions
Plan of Land
47-49 Alpine Street
Cambridge, MA

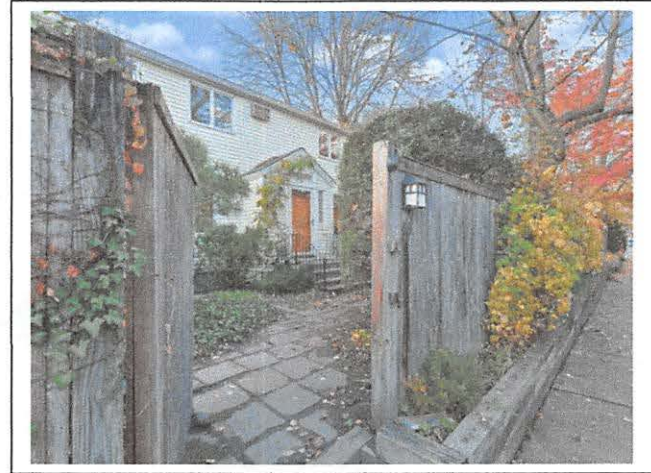
Issued for
 Review

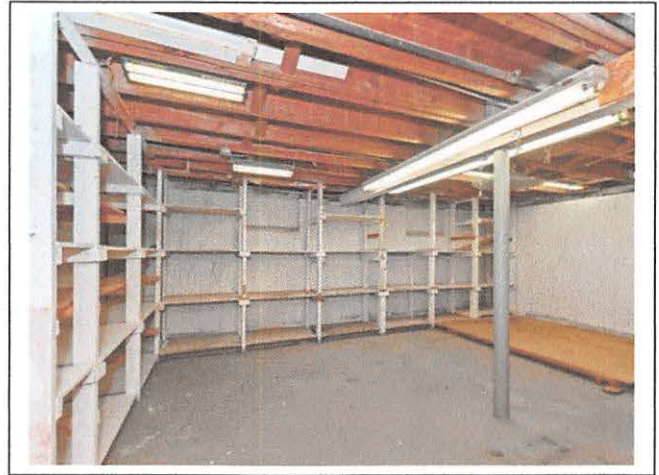
Drawing Title
Plot Plan



Drawing Number
SV-1
 Sheet
 1 of 1
 Project Number
 21137

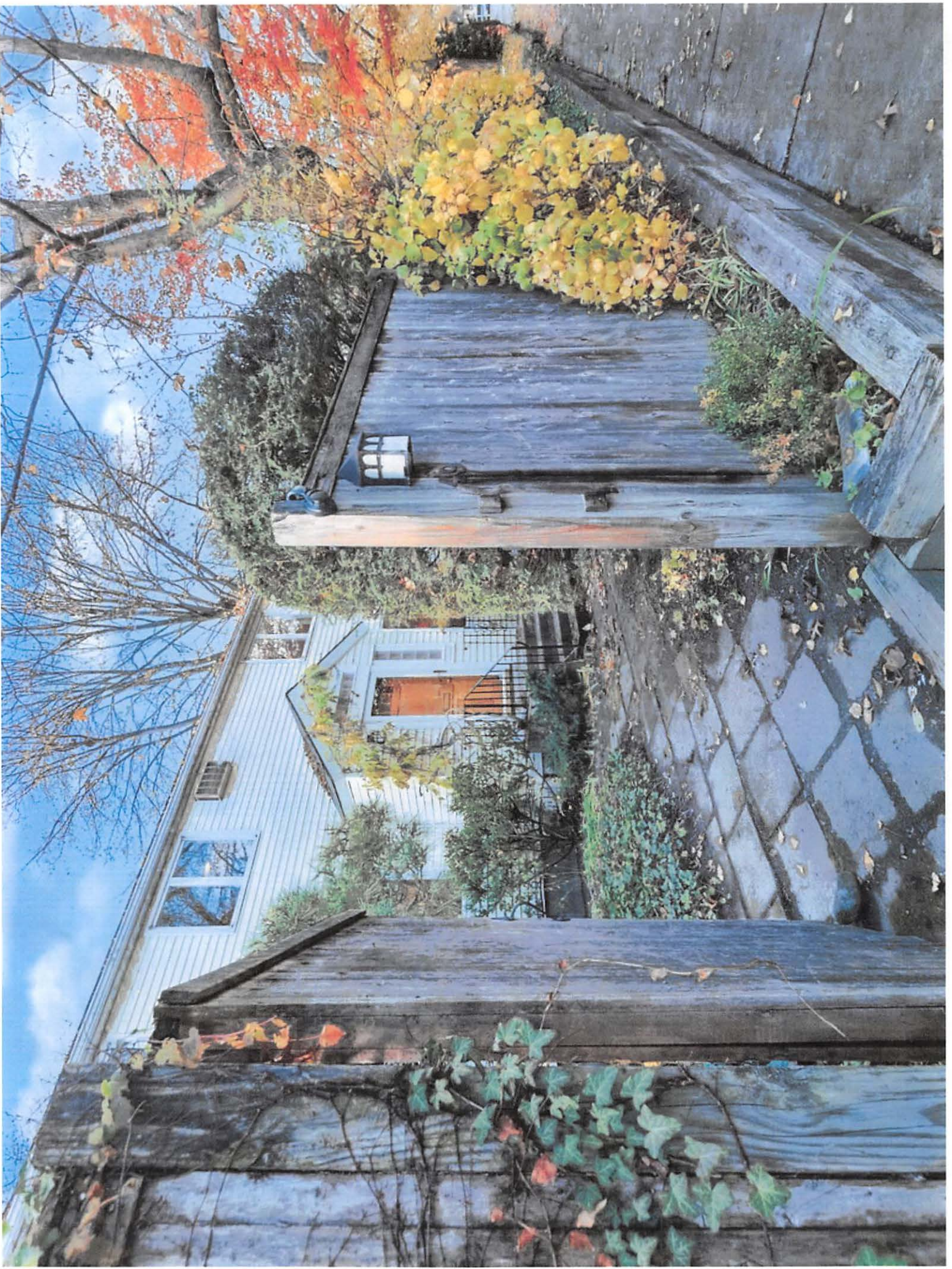
PHOTOGRAPHS OF 47-49 ALPINE STREET EXISTING CONDITION

















LAW OFFICE OF MICHAEL P. WELSH
339 W Broadway, Unit 4
South Boston, MA 02127

March 18, 2022

Zoning Board of Appeal
831 Massachusetts Ave
Cambridge, MA 02139

Re: Proposed Renovation and Expansion of 49 Alpine Street
Permit Application 164903

Members of the Board,

I represent the 49 Alpine Street Realty Trust (“Owner”), the new owner of 49 Alpine Street (“Property”). Alex Yu and Siyu Huang are a married couple who are the trustees of the Owner entity. They recently purchased the Property and plan on expanding the existing structure and converting the existing single-family dwelling into a two-family dwelling for themselves and their parents to live in.

The proposed project will require a variance from the Floor Area Ratio requirement of the Cambridge Zoning Ordinance, and potentially a variance from the Side Yard requirement due to the fact that the existing structure does not meet the aggregate requirement of 20 feet and the side exterior walls are being extended at the rear of the structure.

The Owner has sent letters to the neighbors on the street notifying them of the proposed project and seeking their feedback. Thus far we have received a response from one neighbor, Robert Pine, who owns 48 Alpine Street directly across the street from the Property. Mr. Pine’s concern was that the proposed building would have a full third story with a flat roof and that this would not match the other homes on the street which have sloped roofs. He also stated that he hopes that any living space that would be lost as a result of this change could be made up by adding more living space to the rear of the structure. Although we are not seeking a height variance, we are open to accommodating this request by changing the design to have a sloped roof with dormers and we hope that this feedback is taken into consideration regarding the FAR variance since Mr. Pine is indicating that adding even more living space to the addition on the rear of the structure. At this time we are waiting for any additional feedback from other neighbors and the city. Once we receive comments from concerned parties we will amend the

LAW OFFICE OF MICHAEL P. WELSH

339 W Broadway, Unit 4

South Boston, MA 02127

plans to address as many concerns as possible and submit the revised plans for your consideration.

If you have any questions or guidance regarding the proposed plans or the process for submitting amended plans to address community feedback, please contact me.

Sincerely,

Michael Welsh

Michael Welsh

(617) 942-0691

michael@attorneywelsh.com

----- Forwarded message -----

From: **Bob Filene** <bob@bobfilene.com>

Date: Sun, Mar 13, 2022 at 8:06 PM

Subject: 47-49 Alpine St.

To: alexvu1986@gmail.com <alexvu1986@gmail.com>

Hello Alex,

Thank you for your letter.

Almost every house on this block of Alpine Street has a sloping roof.

My concern is that your box-like design does not fit in with the street architecture.

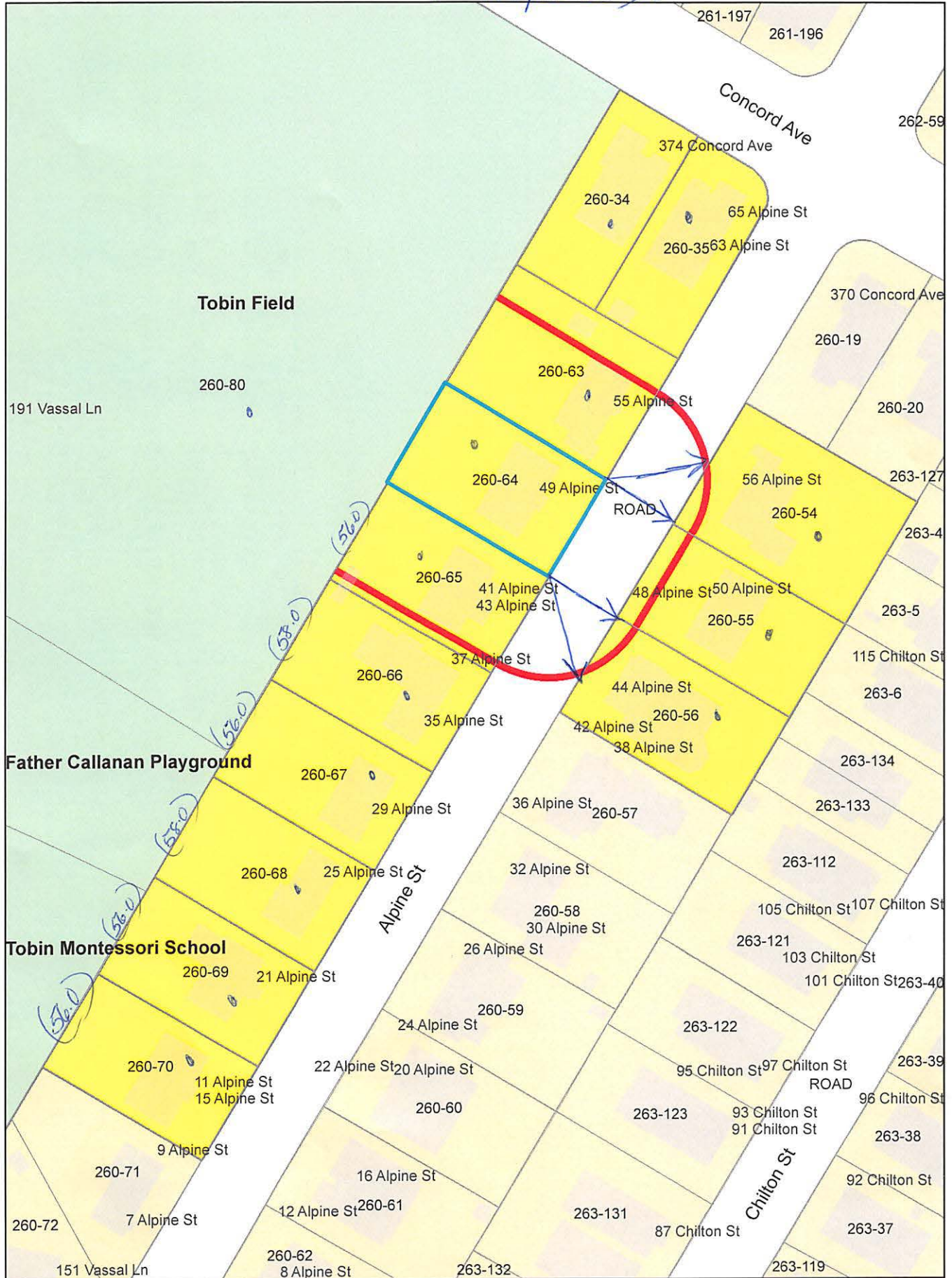
Hopefully, you can add some more space at the back of the house which will not be visible from the street.

Or add some dormers to the existing roof to add some more space.

Regards,

Bob Filene

49 Alpine St.



49 Alpine St.

Petitioner
MICHAEL WELSH, ESQ.
339 W BROADWAY
SOUTH BOSTON, MA 02127

260-56
HULL, ELIZABETH MARRAN
C/O ELIZABETH MARRAN
44 ALPINE ST.
CAMBRIDGE, MA 02138-6811

260-63
ROBBART, ANN M.
55 ALPINE ST
CAMBRIDGE, MA 02138

260-55
FILENE, ROBERT J. SUSAN R FILENE
117 CHILTON
CAMBRIDGE, MA 02138-6844

260-65
YALIN, DANA & NOAM Y. KIRSON
43 ALPINE ST
CAMBRIDGE, MA 02138

260-64
HUANG, SIYU & YINGCHAO YU TRS
11 8TH ST
CAMBRIDGE, MA 02141

260-66
EGBERT, DERRICK B.
35 ALPINE ST
CAMBRIDGE, MA 02138

260-68
HACKEL, JOYCE M. & ROBIN A. LUBBOCK
25 ALPINE STREET
CAMBRIDGE, MA 02138-6810

260-70
DAMIAN, JOHN G. ELIZABETH L DAMIAN
11 ALPINE ST
CAMBRIDGE, MA 02138-6810

260-34
FERNANDEZ, CAROLINA & JAMES D. LLOYD
374 CONCORD AVE., #2
CAMBRIDGE, MA 02138

260-67
ENGELMAN DORIS J
TRS ENGELMAN DORIS J TR
29 ALPINE ST
CAMBRIDGE, MA 02138

260-34
NARDIN RACHEL A
TRS NARDIN RACHEL A REVOCABLE TR
174 FRANKLIN ST
CAMBRIDGE, MA 02139

260-54
MENZIN NANCY W
TRS MENZIN REALTY TR
56 ALPINE ST
CAMBRIDGE, MA 02138

260-35
372 CONCORD AVENUE, LLC
134 MAIN STREET, UNIT 7
STONEHAM, MA 02180

260-69
SIEGEL, JODIE,
TRUSTEE THE JODIE M. SIEGEL FAM TR
21 ALPINE ST
CAMBRIDGE, MA 02138

260-80
CAMBRIDGE CITY OF SCHOOL DEPT –
TOBIN SCHOOL
159 THORNDIKE ST
CAMBRIDGE, MA 02141

260-80
CITY OF CAMBRIDGE
C/O NANCY GLOWA
CITY SOLICITOR

260-80
CITY OF CAMBRIDGE
C/O LOUIS DEPASQUALE
CITY MANAGER

Pacheco, Maria

#167013

From: Jon Damian <jongennarodamian@gmail.com>
Sent: Wednesday, June 1, 2022 4:13 PM
To: Pacheco, Maria
Subject: From Jon Damian resident on Alpine St. Cambridge

To Whom It May Concern.

May we voice our opinion that the very large, proposed renovation at 47-49 Alpine St. breaks zoning codes and destroys the charm of our neighborhood. The new residents have not responded to these important points.

Sincerely,

**Jon and Betsy Damian
11-15 Alpine St.
Cambridge**

The planned development of the property far exceeds the current zoning guidelines, and has multiple issues. All this despite repeated and clear communication with the new owners, Alex Yu and Siyu Huang.

Pacheco, Maria

From: wsimmers <wsimmers@comcast.net>
Sent: Thursday, June 2, 2022 5:07 PM
To: Pacheco, Maria
Subject: 47-49 Alpine Street Application for a Variance

To the Board of Zoning Appeals:

Although we are not immediate abutters, we are residents of Alpine Street (#8), and would like to place our objection to the proposed "renovation" (or more accurately a total reconstruction) of 47-49 Alpine Street. Aside from the excessive exceptions to the zoning requirements, the proposal is out of keeping with the harmonious scale on the street which has over the years contributed to creating a congenial neighborhood. It represents an intrusion and a bad precedent.

Specifically, as regards to the Supporting Statements for a Variance;

A. A literal enforcement of the provisions: The applicants' family needs require excessive space. A reasonable amount of excess might be considered, but this is too much. Their proposal negates the use of the basement (assuming that this would not be included in the FAR), but they could make living space that was "habitable" by Mass Code by lowering the slab and adding areaways that would serve as access and also enabling larger windows.

The applicants dismiss the requirement for side lot setback as if it did not affect their neighbor.

Their statement that their need for off-street parking belies what other two-family houses on the street experience.

B. Hardship: The By-Law states that "hardship" exists only in the physical irregularities of the site. There are none that rise to that standard. We realize that in practice this definition has been stretched somewhat, but this is excessive.

Again, they dismiss the use of the basement (see above). Since they are essentially re-making the whole house, they could consider raising the house, at least slightly, to accommodate their needs. Why these basement modifications would be a "detriment to the environment" is not clear.

Also, they dismiss the creation of a 2-1/2 story house by raising the roof pitch to meet the 1/2 story requirement, which has been effectively used on the street (#42).

C. Desirable relief: The size of the building is not consistent with the scale of the street as is shown by the unreasonably high FAR and the addition of a 3rd story.

Three other houses on the street exceed the 50% FAR requirement, two only by a slim margin (50.2%), and one a little more (54.3%). There is nothing close to the 74% proposed. The reasons for expanding the house (three generations household) may be commendable, but, again, it requires a markedly excessive volume as it is presented.

Respectfully submitted,

William M. Simmers & Guillemette Caron-Simmers
8 Alpine Street

wsimmers@comcast.net
gcsimmers@comcast.net

Pacheco, Maria

From: elizabeth marran <elizabeth.marran@gmail.com>
Sent: Friday, June 3, 2022 1:58 PM
To: Pacheco, Maria
Subject: Case number Re BZA - 167013 47-49 Alpine application for variance & special permit
Attachments: Marran (Hull) Re BZA - 167013 47-49 Alpine application for variance & special permit - Opposed.docx

Dear Maria Pacheco,

Please find my attached letter which states my objection to case number Re BZA - 167013 47-49 Alpine application for variance & special permit. I have also pasted my letter below.

Can you please confirm receipt of this email ? Thank you.

Sincerely,

Liz Marran (Hull)

To: Zoning Board of Appeals, City of Cambridge

From: Elizabeth Marran (Hull), 44 Alpine Street Cambridge

Re: BZA - 167013 47-49 Alpine application for variance & special permit - Opposed.

Date: June 3, 2022

Opposition Summary

- Scale too large – AFR requested is 3710 sq ft, more than double the existing house dimensions which are 1792 sq ft. This would increase their FAR to something between 0.74 (their calculation) and 0.756 (our calculation). A majority of homes on Alpine Street have FAR's below .50. The three largest houses have FARs of just over 0.5 – two are 0.502; one is 0.543.
- Proposed third story addition is too massive and would dwarf the rest of the homes, obstructing light, and air flow (valued on hot summer days)
- Approval of these plans would set a precedent for potential developers on future sales of homes on Alpine Street to overbuild.
- Curb cut and paving would cut down a large tree and reduce the amount of green front yard. An ironic consequence since this has been requested to accommodate an electric car.
- Concern that the purchasers were unrealistic about the needs they have as defined in their application and that the expectations they have for the development potential of the property they purchased are unrealistic.
- Please see letter below

Letter to Zoning Board

Dear Zoning Board,

I live at 44 Alpine which is a two-family dwelling where my husband and I raised our daughter. I have a small, attached apartment (#42) that we have rented since I first purchased my home in 1987. I have twice successfully applied for a variance to expand my home. In both instances, I approached the design challenges in the context of the street's existing scale and architectural vernacular. I was keen to embrace my surroundings and celebrate the sense of community on Alpine Street where the homes, including the approachable front and back yards contribute to the established sense of scale and to an overall character that promotes neighborliness and community well-being. As has been the custom on Alpine Street, the plans I submitted for zoning approval were done to ensure that the adverse effects on my abutting, and close-by neighbors were minimized. A comprehensive review of all the homes on Alpine Street between Concord Ave and Vassal Lane, makes clear that there has consistently been a modesty of scale approach to each and every completed house addition on the street.

I respectfully submit photos of many of the beautiful homes and gardens on our street to illustrate the harmonious relationship between outdoor and indoor space as well as the sense of scale the homes collectively represent.

I participated in a small group of neighbors who met with Alex and Siyu twice prior to their application submission and on each occasion, we directly addressed with them our primary objection which was about the excessive scale of their project. By a large margin, their numbers far exceed the average FAR on the street. After our initial meeting where they proposed adding 3792 square feet and many emails later, we all met again. Although they modified the appearance of their first proposal, they reduced the size by a mere 82 square feet. For the past several months, I have made every attempt to make clear to Alex and Siyu that my primary objective to their project is the excessive scale of their proposal.

Thanking for taking the time to consider my objections. I plan on attending the scheduled hearing on June 9 but should you have reason to contact me before the hearing date, please email or call me at (617) 686-4094.

Sincerely,

Elizabeth Marran (Hull)

44 Alpine Street

Cambridge, MA





Re BZA - 167013 47-49 Alpine application for variance & special permit - Opposed.

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Sincerely,

Elizabeth Marran (Hull)
44 Alpine Street
Cambridge, MA



Pacheco, Maria

From: Jodie Siegel <jodie@clear-your-space.com>
Sent: Friday, June 3, 2022 4:56 PM
To: Pacheco, Maria
Subject: Re: BZA - 167013 47-49 Alpine application for variance & special permit

Dear Members of the BZA,

I am writing in opposition to the petition submitted on behalf of 49 Alpine Street. I have lived at 21 Alpine Street for 24 years, and raised my children here.

The structure proposed for this address is way too large for the lot, exceeds the FAR by 50%, and is not in keeping with the scale and feel of the street.

We love to welcome new families on our street, especially those with children, to keep Alpine Street the vibrant and connected street it has always been. On their request, neighbors have met with the petitioners on several occasions to get to know them and share our concerns with their plans. We have shared with them our understanding of FAR and the numbers associated with it and tried to impart our concerns in a thoughtful and considerate manner. It appears that our concerns about the size of the house and how it impacts the neighbors have not been addressed. The first plans they showed us were for a structure of 3,792sf above grade, and the revise proposal reduced the living area by only 80sf, to 3,710.

I urge you to deny this petition and to encourage the petitioners to scale back their plans.

Thank you,

Jodie Siegel
21 Alpine Street, 02138
clearyour@gmail.com
617-645-4851

Personal referrals are the best endorsement. Please share your good experiences with friends and family!

Jodie Siegel
she/her/hers
jodie@clear-your-space.com
clear-your-space.com
617-645-4851
Cambridge, MA

Pacheco, Maria

From: Judy Perlman <judy.m.perlman@gmail.com>
Sent: Saturday, June 4, 2022 8:45 AM
To: Pacheco, Maria
Subject: Petition to enlarge 47/49 Alpine St

Hello --

I am a renter who has lived at 48 Alpine Street since 2005. I previously submitted a letter in support of this project based on a conversation with the buyer but now, having reviewed the construction plans, I withdraw my support.

The proposed project is simply too large for this residential neighborhood. The higher roofline will block the sun for me and several other long-time residents of the street. I wish the buyers well in finding another property that can serve their purposes without reducing the quality of life for others.

* * * * *

Judy Perlman
Cambridge, MA 02138
[m] 617 308 7369
Pronouns: She/her
judy.m.perlman@gmail.com
www.judyperlmanconsulting.com
www.meettheproblemsolvers.com

Pacheco, Maria

From: Norma Finkelstein <normafinkelstein@healthrecovery.org>
Sent: Saturday, June 4, 2022 12:07 PM
To: Pacheco, Maria
Subject: Re: BZA-167013; 47-49 Alpine Street

Dear BZA: I am writing to you regarding the application for a variance and special permit by the new owners of 47-49 Alpine Street.

I have been a resident in Cambridge since 1971 and have owned and lived at 30-32 Alpine Street since 1980. My husband and I raised 2 children and 2 stepchildren here and I currently have my daughter and two grandchildren living at 30 Alpine (we changed our one family house into a two family 3 years ago to accommodate them). I have had to apply for several variances to expand my house to accommodate this but all have been developed within the context of the community on Alpine Street with welcoming front yards, lots of trees and beautiful gardens. Both my grandchildren attend the Peabody school in Cambridge. Alpine Street has always been a special street for the sense of community and neighborhood with numerous kids growing up here over the years.

I have met briefly with Alex and his 5 year old son. They are a lovely family and I look forward to having them join our community on Alpine Street. However, I believe the proposed scale of the renovations are much too large, with numbers far exceeding the average FAR on the street. Approval of the scope of these plans would drastically alter the approachable character of other houses on the street and could set a precedent for future developers. The addition of a third story, the cutting down of a large tree in front of the house and requesting a curb cut (down from 2 initially), are all problematic.

In summary, as a resident on Alpine Street I oppose the application for a variance and special permit for 47-49 Alpine Street, primarily on the grounds of the excessive scale of the proposed renovations.

Thank you,
Norma Finkelstein
32 Alpine Street

Norma Finkelstein, Ph.D.
Founder, Program Consultant
Institute for Health and Recovery
349 Broadway, Cambridge, MA 02139
P: 617-661-3991 / F: 617-661-7277
www.healthrecovery.org

Follow us on  

Pacheco, Maria

From: Joy Hackel <joyhackel@yahoo.com>
Sent: Sunday, June 5, 2022 2:09 PM
To: Pacheco, Maria
Subject: BZA - 167013 47-49 Alpine application for variance & special permit

Dear Members of the BZA,

We've lived on 25 Alpine Street for 25 year, have raised our family here and feel lucky to call this neighborhood home. We're always happy to hear about a new family moving to the street, especially a family with young children. That said, we're adding our voice to the chorus of opposition to the variances requested for the proposed construction at 47-49 Alpine.

The proposed building is just too big. It's out of scale with the neighborhood. We support and understand owners' desires to enlarge their homes, but this goes beyond what is reasonable. The FAR for the proposed construction is massive compared to the rest of the street. Alpine Street is lined with modest homes that don't overwhelm the plots here. That's part of the reason we've built a strong, cohesive neighborhood. The city's adherence to zoning laws has helped us create the sense of community and respect that we all value.

In addition to the size of the proposed construction, other elements of the plan are cause for concern. For instance, the preservation of existing trees on private property is a key aspect of the city's Urban Forest Master Plan. We hope that the large trees on the site can remain there. And we're not in favor of permitting neighbors to pave a front section of their yard for parking.

If we set a precedent allowing these sorts of variances for the construction of oversized homes it could quickly become the norm.

Please ask the owners to come back with a more reasonable plan that doesn't overwhelm the plot and respects the neighborhood.

Change is often for the better, but we also need to protect and conserve the elements of our communities that work.

Joy Hackel & Robin Lubbock
25 Alpine Street

Pacheco, Maria

From: Tivnan, Terrence <terry_tivnan@gse.harvard.edu>
Sent: Monday, June 6, 2022 10:20 AM
To: Pacheco, Maria
Subject: BZA-167013

To: Zoning Board of Appeals, City of Cambridge

From: Terrence Tivnan, owner of 36-38 Alpine St., Cambridge

Date: 6 June 2022

Re: Case number BZA - 167013 47-49 Alpine application for variance & special permit.

I am writing to express my opposition to the current plans for 47-49 Alpine St. I have owned the house at 36-38 Alpine St. for forty-five years, and I have seen many changes in homes on Alpine St. As many of the current neighbors have explained, their renovations have all carefully complied with the Cambridge guidelines. The proposed addition at 47-49 Alpine seems far out of line and is excessive for the lot size. I am sure the owners can come up with a more modest plan that will be consistent with the scale and character of the neighboring homes.

The current neighbors on Alpine St. have carefully explained their objections. Please read their letters and listen carefully to the concerns. I am sure a better and more modest plan can be developed.

Please let me know if there is any additional information I may provide.

Respectfully,

Terrence Tivnan
Owner of 36-38 Alpine St.

Current address: 6 Page Rd, Weston, MA 02493

Email: terry_tivnan@gse.harvard.edu

Pacheco, Maria

From: A Robbart <arobbart@gmail.com>
Sent: Monday, June 6, 2022 11:04 AM
To: Pacheco, Maria
Subject: BZA -167013 47-49 Alpine St -- opposed

BZA -167013 47-49 Alpine St -- opposed

To the Board of Zoning Appeals:

Re BZA - 167013 47-49 Alpine application for variance & special permit - Opposed --

- Too large -- wide, deep & tall
- Paving to park in front yard

I live next door to 47-49 Alpine, and have since 1980. I cannot support the plans and application for variances and special permits -- primarily because the proposed house is far too big for the lot and the block.

The zoning is for a max of 0.50, almost all the houses are less than 0.50, with two at 0.502, and just one at 0.542. The additions on those have been in proportion and in similar design to other houses. The current house at 47-49 is 2288 sq ft (incl attic of 443) on a lot of 5039 sq ft, an FAR of 0.45, they propose a house of 3710 sq ft = FAR of 0.74 - 0.756! (their calculation vs ours.)

In addition, they would add a full 3rd floor, and a two story addition in back and on the side by a neighbor, (within the limits of side setback total). This size and configuration would affect the light and views of neighbors, and aside from this project, it would set a bad precedent for the block. Most houses are two stories with just one that is 2.5 stories. Our streetscape is of a scale and design that is very pleasant and enables neighbors to meet, qualities we'd like to keep.

Also, they seek to pave and park in what would otherwise be their front yard. The plan would require taking down a large tree. (They do not have space beside the house.) I am not in favor of this either. Most residents park on the street, and very few have parking other than that. I am against paving and curb-cuts remove spaces and make it less safe for walking and kids riding bikes on sidewalks. We normally have frequent sidewalk use -- people going to and from the school, the bus on Concord Av., Fresh Pond, errands, and walks. I'd prefer that the city create better electric car charging options (including at the curb) instead of anyone with an electric car seeking a curb-cut and parking on their lot.

They also seek to return the house to a two unit house. I fully support this -- all the houses on this block were originally two units, and residents have changed them back and forth as needs change. (The only problem is the requirement for parking, which should be a separate issue, and which I do not support.)

I am sympathetic to their situation, having a three generation intergenerational household, as I grew up in one. But, we think they could house everyone (3 adult couples and two children) with some compromises. However, they are reluctant to give up the amount of space they want. We have had conversations with them urging them to reduce the size, but, while they changed some design aspects (at our suggestion) and are now seeking one parking space (not two) between their first drawings and these, they only reduced the size by 82 sq ft! I have been concerned about opposing this, as I do not want an adversarial relationship with next door neighbors. Yet, the house is too small for what they want, and on too small a lot for what they want, and they have not been willing to compromise significantly.

Thank you,
Ann Robbart
55 Alpine St.

Pacheco, Maria

From: dbegbert@COMCAST.net
Sent: Monday, June 6, 2022 2:34 PM
To: Pacheco, Maria
Subject: BZA -167013 47-49 Alpine St -- opposed

Dear Zoning Board,

BZA – 167013 47-49 Alpine Street - opposed

I live at 37 Alpine Street which I purchased in 1981 and have lived here since. It is a two-family and I rent out 35 Alpine. It has always been a real blessing to live here on this quiet, modest street with families which have lived here for many years and new generations of children.

During this time families have made modifications to their homes, adding space, re-designing the architecture. I did so in 1988 when I added an addition to 37 Alpine. I applied for a variance and it was granted. I believe my FAR is .500 or .502. I believe the highest FAR on the street today is .542. I would recommend that the zoning board not go beyond much beyond this FAR, if any.

I understand that the couple who has purchased 47-49 Alpine is seeking your support for living space that has a FAR of .74 (3,710 square feet). It is currently 2,228 square feet.

While I appreciate their intentions to create a space for themselves, their parents, and children, this request will significantly impact my abutting neighbors in a negative way and potentially set a trend for future “house changes” that could really impact the modest and comfortable quality of our neighborhood street that as neighbors going back 40+ years we have worked together to create and sustain. It is a beautiful tree lined street and who knows how future variance allowances could negatively impact us (for example houses with FARs around .75).

I also oppose the curb cut-out for a driveway. It makes less street parking available and makes the sidewalk less safe for walking.

Nearly all residents of the street park on the street.

I appreciate your attention to my opposition to the request to develop a house at 47-49 Alpine or any house on Alpine to such an out of proportion FAR. I hope the couple will take a hard look at how they can achieve their goals with a significantly reduced FAR to say .60 or below.

Thank you very much for your consideration of both my and the opposition of several of my neighbors.

Best regards,

Derrick Egbert
617 354 1850