



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

2022 FEB 10 PM 4:35
OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Number: 161353

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: X Appeal:

PETITIONER: Debra and Rich Thompson C/O Adam Glassman, R.A. / GCD Architects

PETITIONER'S ADDRESS: 2 Worthington Street , cambridge, MA 02138

LOCATION OF PROPERTY: 49 Sargent St., Cambridge, MA

TYPE OF OCCUPANCY: Residential Single Family **ZONING DISTRICT:** Residence B Zone

REASON FOR PETITION:

/New Structure/

DESCRIPTION OF PETITIONER'S PROPOSAL:

Construction of a new single family house to replace the existing obsolete single family structure that has low ceilings, non-code compliant stairs, and numerous structural deficiencies. Also, maintain the existing garage.

To maintain existing driveway which is not conforming to setback.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000 Section: 5.31 (Table of Dimensional Requirements).
Article: 6.000 Section: 6.44.1(b,g) (Driveway Requirements).
Article: 10.000 Section: 10.30 (Variance). & Sec. 10.40 (Special Permit).

Original
Signature(s):

(Petitioner (s) / Owner)

ADAM J. GLASSMAN, R.A.

(Print Name)

Address:

2 WORTHINGTON ST. CAMBRIDGE 02138

Tel. No.

617-412-8450

E-Mail Address:

ajglassman.ra@gmail.com

Date: _____

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Debra Thompson
_____ (OWNER)

Address: 49 Sargent Cambridge MA 02140

State that I/We own the property located at 49 Sargent Cambridge MA 02140,
which is the subject of this zoning application.

The record title of this property is in the name of _____
Richard and Debra Thompson Revocable Trust

*Pursuant to a deed of duly recorded in the date 6/18/2021, Middlesex South
County Registry of Deeds at Book 78049, Page 169; or
Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

Debra Thompson

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

***Written evidence of Agent's standing to represent petitioner may be requested.**

Commonwealth of Massachusetts, County of Middlesex

The above-name Debra Thompson personally appeared before me,
this 31 of January 2022, and made oath that the above statement is true.

Carrie J. Richards Notary
Carrie J. Richards

My commission expires January 22, 2027 (Notary Seal).



- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

INTERNATIONAL AGREEMENT - 1950

As hereinafter provided, the Board of Directors of the International Development Bank shall be composed of representatives of the member countries.

The Board of Directors shall be composed of representatives of the member countries, and shall have the authority to exercise all the powers and functions conferred upon it by this Agreement.

The Board of Directors shall meet at least once a year, and may meet more frequently if it deems it necessary. The Board shall also meet in special sessions upon the request of a majority of its members.

The Board of Directors shall elect a President and a Vice-President, and may elect one or more Deputy Vice-Presidents. The President and Vice-President shall hold office for a term of three years, and may be re-elected.

The Board of Directors shall have the authority to issue such orders, regulations, and by-laws as may be necessary for the efficient operation of the Bank, subject to the approval of the Board.



This Agreement shall be subject to the approval of the member countries, and shall be in force from the date of its entry into effect.

BZA Application Form

SUPPORTING STATEMENT FOR A VARIANCE

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH MGL 40A, SECTION 10.

- A)** A literal enforcement of the provisions of this Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
- 1) The existing house is past its useful life both structurally and functionally, and needs to be either completely modernized or removed and replaced from the ground up. The various substantial upgrades required to such a small house would result in the demolition and reconstruction of so much of the existing structure, that the most sensible and practical approach is to replace the entire outdated structure with a modest new single family house on what is a non-conforming lot.
 - 2) Even with substantial conforming renovations, the existing house cannot safely or comfortably accommodate a family on account of its small size, non code compliant stairs, inadequate framing and low head heights.
 - 3) If relief is not granted in this case, then renovations to the existing house would still result in substandard housing per low ceiling heights, non-code compliant and unsafe stairs at all levels, a deficient structural system, and lack of comfortable space.
 - 4) Any new owner of this property would need to alter so much of the existing structure for safety, comfort and basic modern upgrades, that a rebuild of this property would be the logical conclusion.
- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures by not affecting generally the zoning district in which it is located for the following reasons:
- The wedge shape lot and the required setbacks, combined with a centrally located healthy tree with a diameter exceeding 8" which cannot (and should not) be removed, and the right side driveway make impossible the ability to build a completely conforming structure.
- C)** **DESIRABLE RELIEF MAY BE GRANTED WITHOUT EITHER:**
- 1) Desirable relief may be granted without substantial detriment to the public good for the following reasons:

The proposed new single family house design will have no negative impact whatsoever on the neighborhood. The scale and character of the neighborhood will remain unchanged. There will be no loss of privacy, no increase in noise or light pollution. No shadows will be cast on the abutting properties. There will be no loss in off street parking. The existing house is currently considered a local oddity so the proposed design would improve and enhance the streetscape. Building height and usable open space will remain conforming.
 - 2) Desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of this Ordinance for the following reasons:

Although the proposed design requires zoning relief for non-conforming front and left side setbacks and excessive FAR, the proposed design actually increases the size of the existing footprint by a modest 60 SF, usable open space and pervious surface area remain essentially unchanged, and most importantly, pulls the house away from all the existing non-conforming setbacks at shared lot lines and in the front. Additionally, the existing GFA is 1,817.0 for 2 levels, and the proposed GFA on floors 1 and 2 is a total of 2,192.0 GFA, only a difference of 375.00 GSF. While our total GFA is 2,740 SF, that includes 548.0 GSF comprised of a covered front entry porch, a partially covered rear deck,

and part of an unfinished attic space only accessible by a pull down stair. The proposed design is modest, tasteful, and is an aesthetic improvement for the neighborhood in addition to providing a functional but not extravagant single family house on an unusual and difficult lot.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 49 Sargent St., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

While the existing driveway to remain does not meet the 5'0" required setback from the right side lot line, it neither has nor will have any negative impacts on the direct abutters or the neighborhood in any way.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The existing driveway has and will have no impact on egress or traffic.

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The existing driveway has and will have no adverse impacts on the use or development of the adjacent uses.

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The existing driveway to remain would create no nuisance or hazard or detrimental effects of any sort of the citizens of the City because it would reduce neither the privacy nor the quality of life for the abutters or anyone else.

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The existing driveway has and will have no impact on the scale or character of the existing house or neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Debra and Rich Thompson
Location: 49 Sargent St., Cambridge, MA
Phone: 617-412-8450

Present Use/Occupancy: Residential Single Family
Zone: Residence B Zone
Requested Use/Occupancy: Residential Single Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		1,817.00	2,800.00 TOTAL GFA (INLC 608 GFA ATTIC & COVERED PORCH)	2,487.50	(max.)
<u>LOT AREA:</u>		4,975.0	4,975.0	5,000.00	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> ²		.37	.55	.50	
<u>LOT AREA OF EACH DWELLING UNIT</u>		4,975.00	No Change	2,500.00	
<u>SIZE OF LOT:</u>	WIDTH	62.75	No Change	50.0'	
	DEPTH	103.32	No Change	NA	
<u>SETBACKS IN FEET:</u>	FRONT	2'-10" TO HOUSE	2'-0" TO FRONT PORCH / 6'-0" TO HOUSE	15'-0"	
	REAR	63'-8"	41'-2"	25'-0"	
	LEFT SIDE	4'-0" TO HOUSE	7'-11.5" TO HOUSE / 4'-3" TO DECK	7'-6"	
	RIGHT SIDE	10'-10"	12'-6"	12'-6"	
<u>SIZE OF BUILDING:</u>	HEIGHT	23.1'	35.0'	35.0'	
	WIDTH	33'-6"	42'-0"	NA	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		.41 (with 15'x15')	.35 (with 15'x15')	.20 (with 15'x15')	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	1	1	
<u>NO. OF LOADING AREAS:</u>		0	NA	NA	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		36'-9" to detached garage	19'-7"	10'-0"	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

Existing wood frame detached garage, new house to be wood frame

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.



PROPOSED STREET VIEW

PROJECT:
NEW SINGLE FAMILY HOUSE
49 SARGENT ST
Cambridge, MA

GCD ARCHITECTS
 Adam J. Glassman, R.A.
 2 Worthington St
 Cambridge, MA 02138
 Tel. 617-412-8450
 ajglassman.ra@gmail.com
 www.glassmanchungdesign.com



49 SARGENT STREET EXISTING VIEWS

PERMIT SET

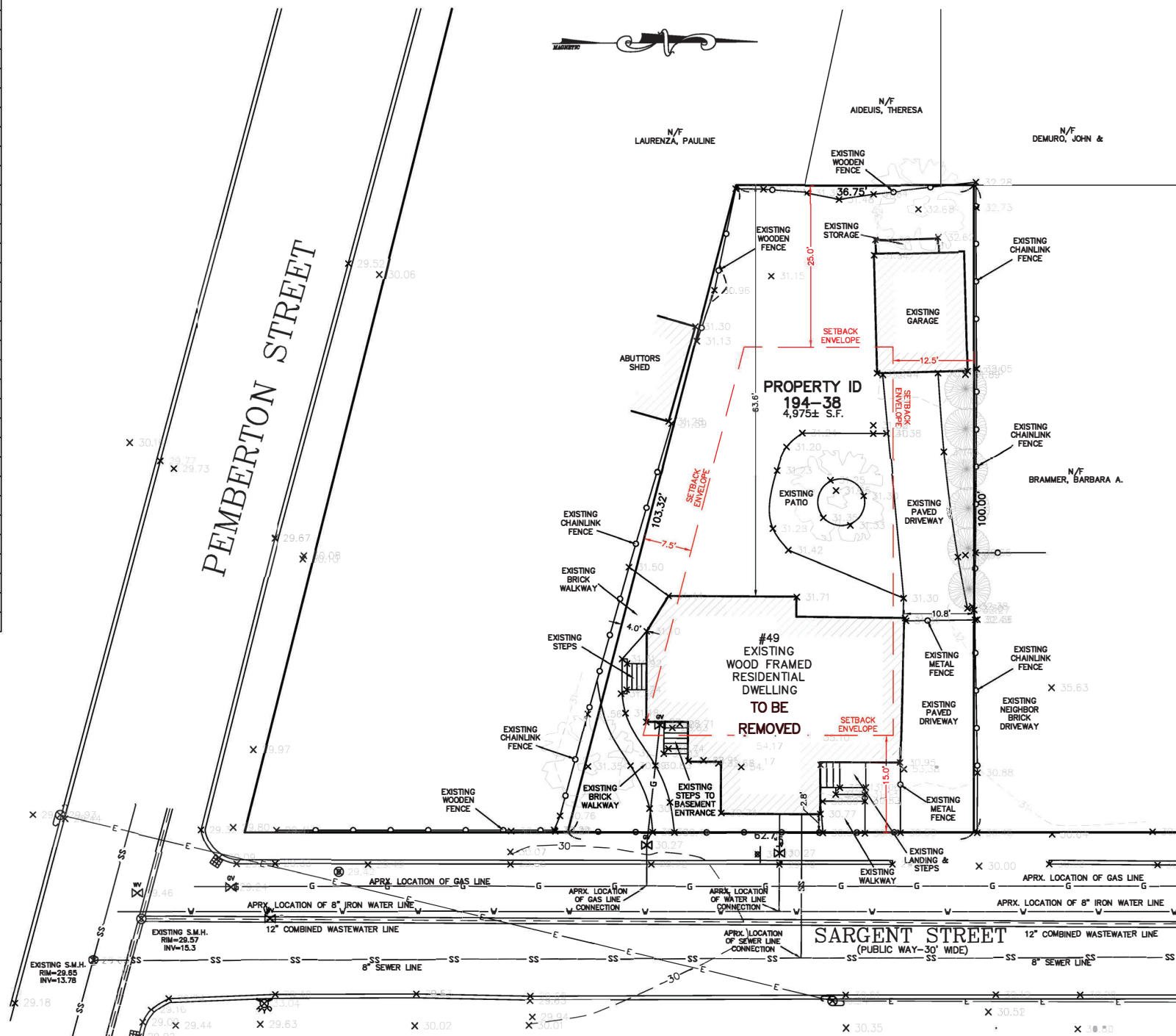
Drawing Title:
EXISTING HOUSE
PHOTOS

Scale: As Noted Drawing No. :
 Job No.: A152.00
 Date: 18 JAN 2022

COVER

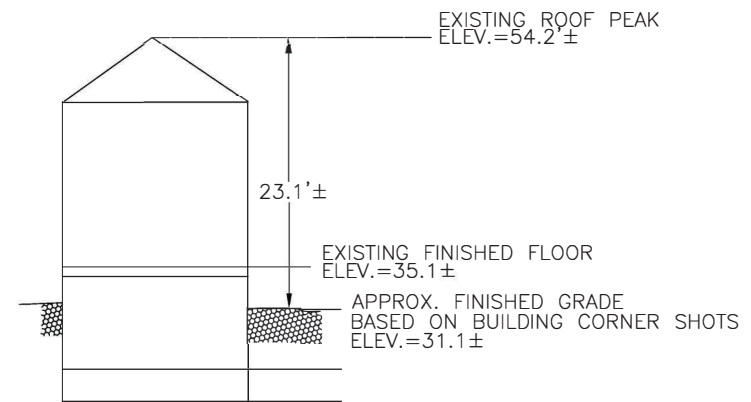
LEGEND

□	BOUND
○	IRON PIN/PIPE
⊙	STONE POST
🌳	TREE
🌳	TREE STUMP
🌿	SHRUBS/FLOWERS
♣	SIGN
●	BOLLARD
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	CATCH BASIN
⊙	WATER MANHOLE
⊙	WATER VALVE
⊙	HYDRANT
⊙	GAS VALVE
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC HANDHOLE
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	MANHOLE
X	SPOT GRADE
—	TOP OF WALL
—	BOTTOM OF WALL
—	EXISTING BUILDING
—	RETAINING WALL
—	STONE WALL
—	FENCE
—	TREE LINE
—	SEWER LINE
—	DRAIN LINE
—	WATER LINE
—	GAS LINE
—	UNDERGROUND ELECTRIC LINE
—	OVERHEAD WIRES
—	CONTOUR LINE (MJR)
—	CONTOUR LINE (MNR)



NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 10/28/2021.
2. DEED REFERENCE: BOOK 78049, PAGE 169
PLAN REFERENCE: PLAN BOOK 4A, PAGE 23
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.
9. ZONING DISTRICT: RESIDENCE B

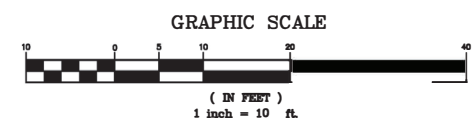


EXISTING PROFILE
NOT TO SCALE

ZONING LEGEND

ZONING DISTRICT: RESIDENCE B

	REQUIRED	EXISTING
MIN. LOT SIZE	5,000 S.F.	4,975± S.F.
MIN. LOT AREA FOR EACH DWELLING UNIT	2,500 S.F.	4,975± S.F.
MIN. YARD FRONT	15'	2.8'
SIDE (RIGHT)	12.5'	10.8'
SIDE (LEFT)	7.5'	4.0'
REAR	25'	63.6'
MAX. BLDG. HEIGHT	35'	23.1'±
MIN. OPEN SPACE	40%	59.2% ±
MIN. LOT WIDTH	50'	62.75'
MAX. F.A.R.	0.5	-



SCALE	1"=10'
DATE	11/04/2021
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	EXISTING CONDITIONS SITE PLAN
DRAWN BY	KK
CHKD BY	ETS
APPD BY	PJN

REV	DATE	REVISION	BY

49 SARGENT STREET
CAMBRIDGE
MASSACHUSETTS

PETER NOLAN & ASSOCIATES LLC
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
80 JEWETT STREET, SUITE 1, NEWTON MA 02458
PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691
EMAIL: pnolan@pnasurveyors.com

SHEET NO.
1

PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNOLOGY OR PROCEDURES UTILIZED BY THE CONTRACTOR NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
COPYRIGHT 2021 PETER NOLAN & ASSOCIATES LLC
All Rights Reserved
NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC ANY VIOLATIONS OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL BE PENALIZED BY INJUNCTION AND DAMAGES.

EXISTING HOUSE GFA / FAR:

BASEMENT: 0.0 GFA

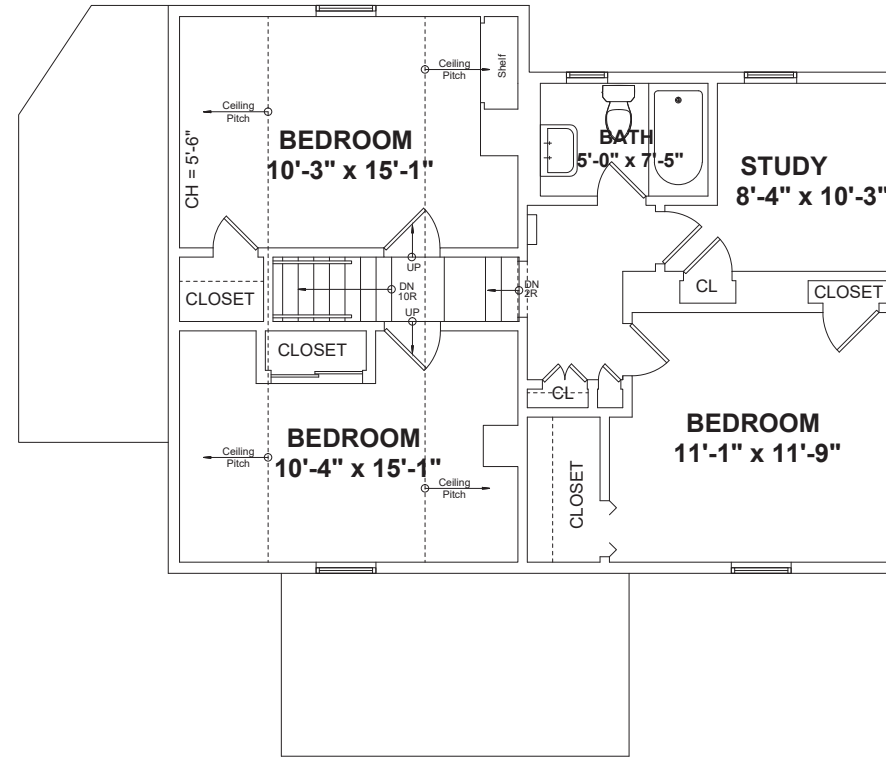
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SECOND FLOOR: 784.00 GFA

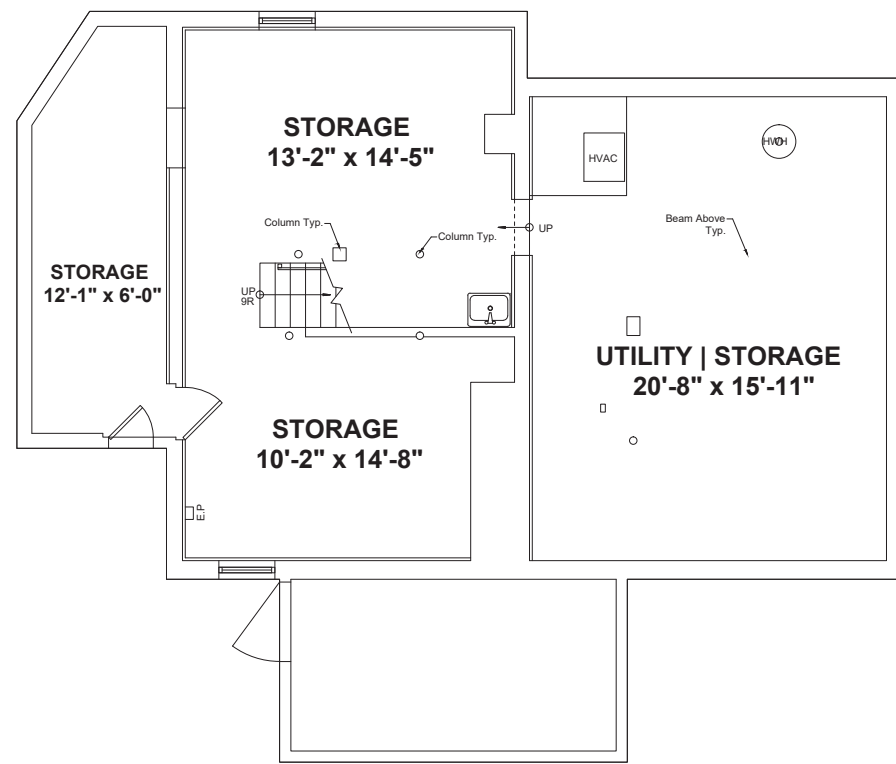
ATTIC: 00.00 GFA

TOTAL: 1,820.00 GFA

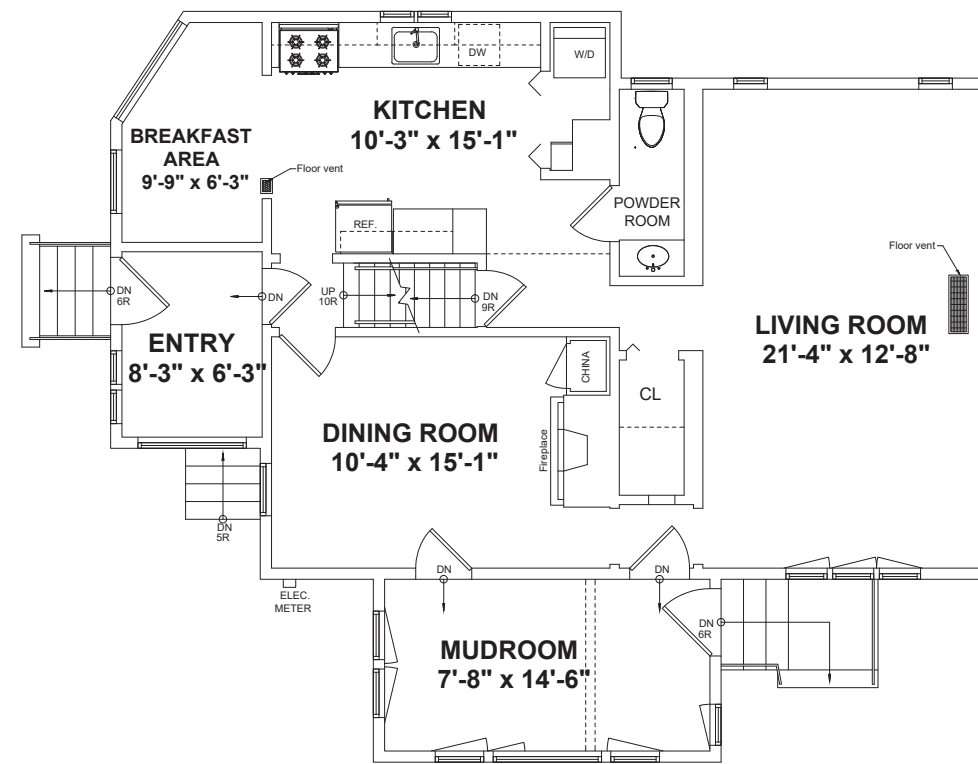
1,820.0 GFA / 4,975.0 SF LOT = .37 FAR



SECOND FLOOR PLAN
Ceiling Height = 6'-11"



BASEMENT PLAN
Ceiling Height = 6'-10"



FIRST FLOOR PLAN
Ceiling Height = 7'-2"

PROJECT:
NEW SINGLE FAMILY HOUSE
49 SARGENT ST
Cambridge, MA

GCD ARCHITECTS

Adam J. Glassman, R.A.
2 Worthington St
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman.ra@gmail.com
www.glassmanchungdesign.com

PERMIT SET

Drawing Title:
EXISTING PLANS

Scale: As Noted Drawing No.:
Job No.: A152.00
Date: 18 JAN 2022 **D1.0**

PROJECT:
NEW SINGLE FAMILY HOUSE
49 SARGENT ST
Cambridge, MA

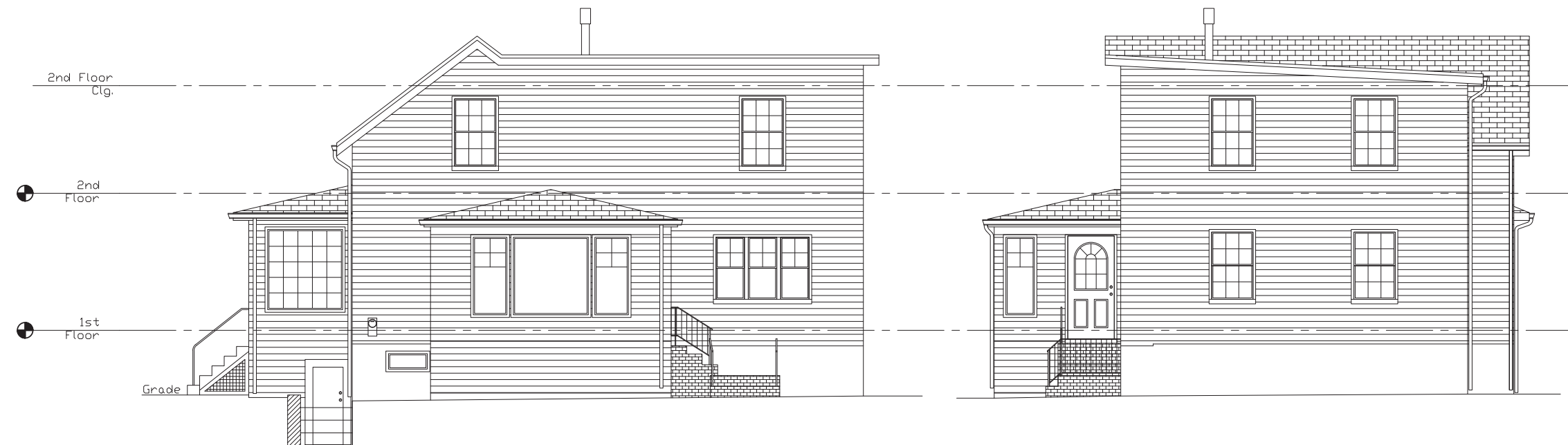
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 www.glassmanchungdesign.com



Rear Elevation

Left Elevation



Front Elevation

Right Elevation

PERMIT SET

Drawing Title:

**EXISTING
 ELEVATIONS**

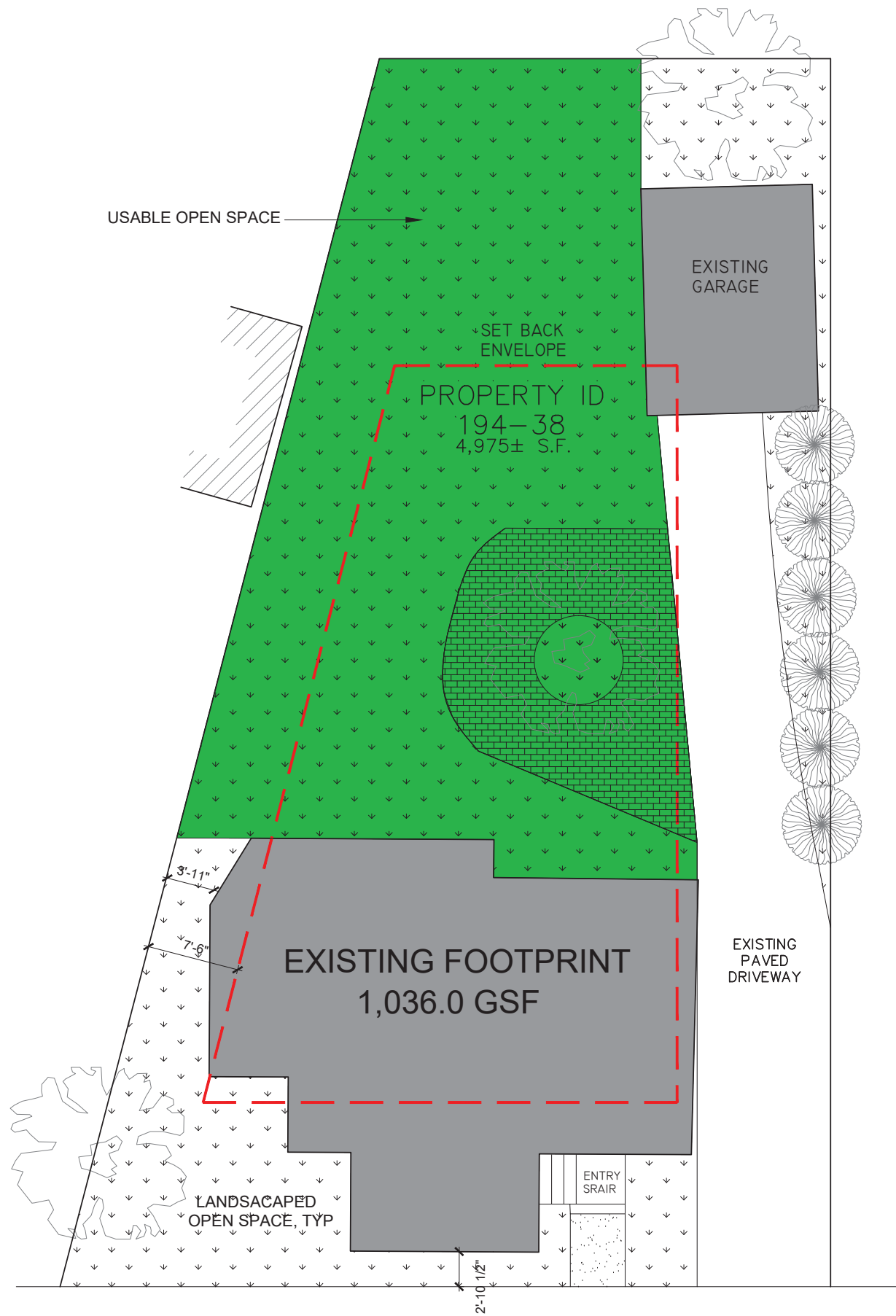
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Job No.: A152.00

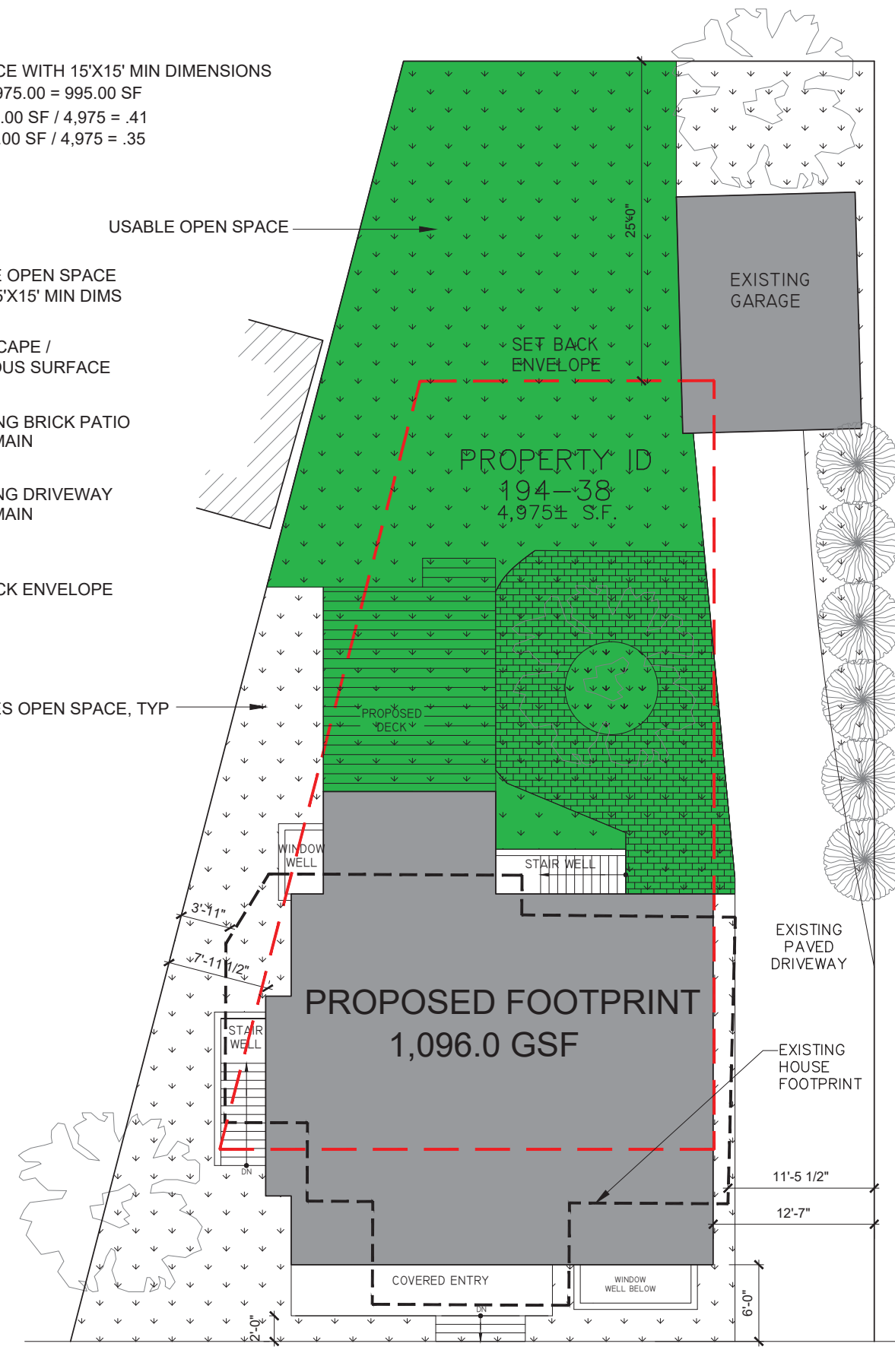
Date: 18 JAN 2022

D2.0



USABLE OPEN SPACE WITH 15'X15' MIN DIMENSIONS
 REQUIRED: .20 X 4,975.00 = 995.00 SF
 EXISTING: 2,043.00 SF / 4,975 = .41
 PROPOSED: 1,730.00 SF / 4,975 = .35

- KEY
- USABLE OPEN SPACE WITH 15'X15' MIN DIMS
 - LANDSCAPE / PERVIOUS SURFACE
 - EXISTING BRICK PATIO TO REMAIN
 - EXISTING DRIVEWAY TO REMAIN
 - SETBACK ENVELOPE



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PERMIT SET

Drawing Title:
SITE PLANS

**49 SARGENT
 EXISTING FOOTPRINT**

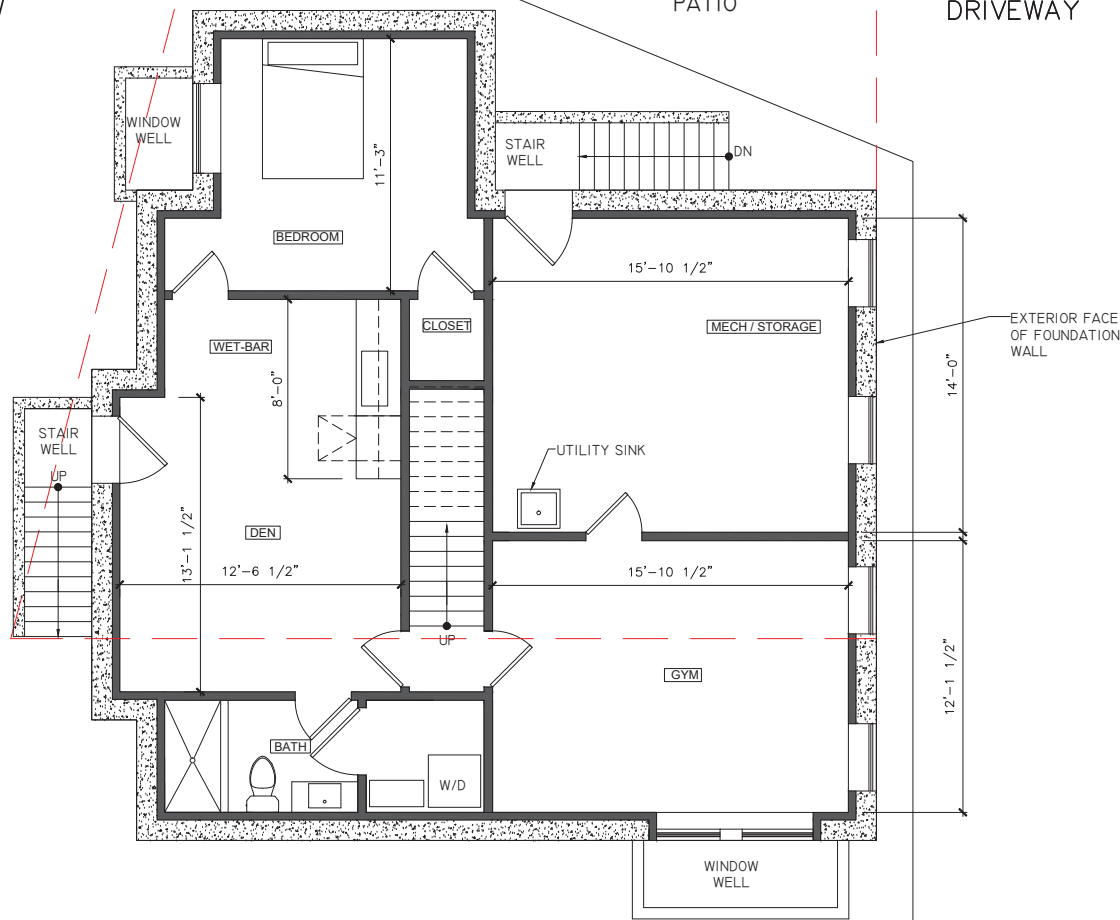
**49 SARGENT
 PROPOSED FOOTPRINT**

PROPOSED HOUSE GFA / FAR:

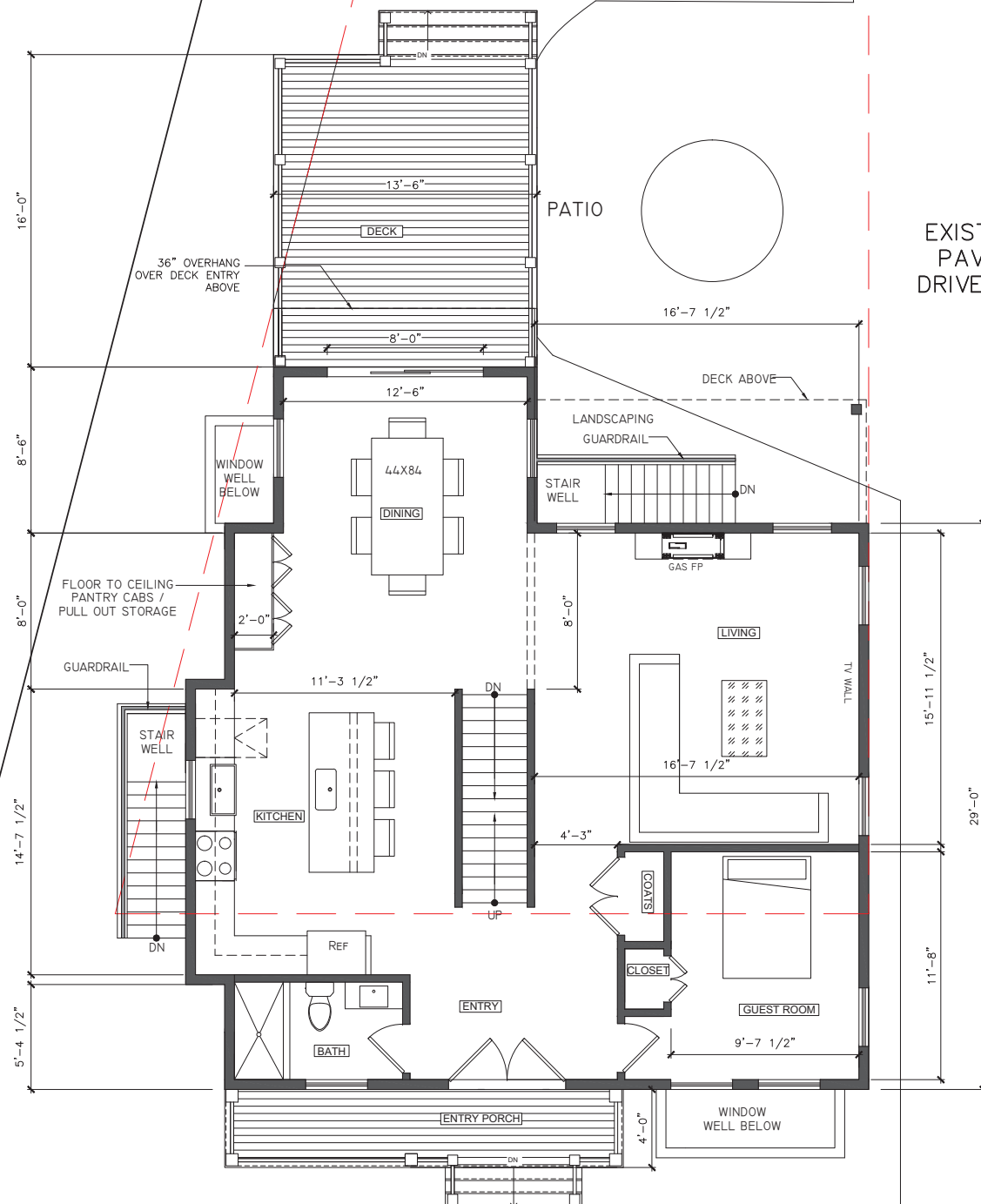
BASEMENT:	0.0 GFA
FIRST FLOOR:	1,096.0 GFA
COVERED PORCH:	71.0 GFA
COVERED DECK:	40.0 GFA
SECOND FLOOR:	1,096.0 GFA
UNFINISHD ATTIC:	437.00 GFA
TOTAL:	2,733.00 GFA
2,740.0 GFA / 4,975.0 SF LOT = .55 FAR	

SETBACK ENVELOPE

SETBACK ENVELOPE



BASEMENT FLOOR PLAN
Ceiling Height = 8'-0"



FIRST FLOOR PLAN
Ceiling Height = 9'-0"

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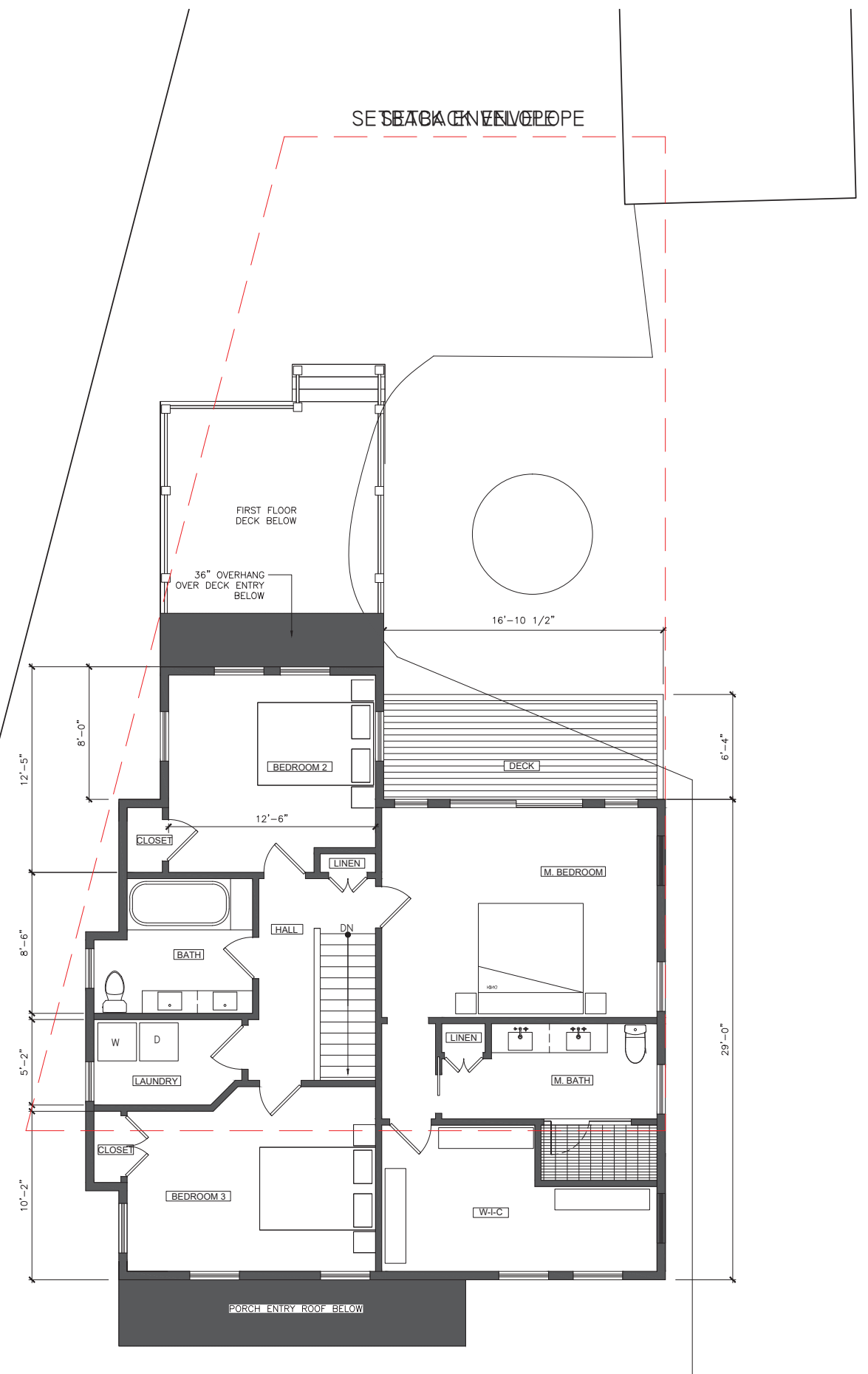
EXISTING
PAVED
DRIVEWAY

PERMIT SET

Drawing Title:
PROPOSED PLANS

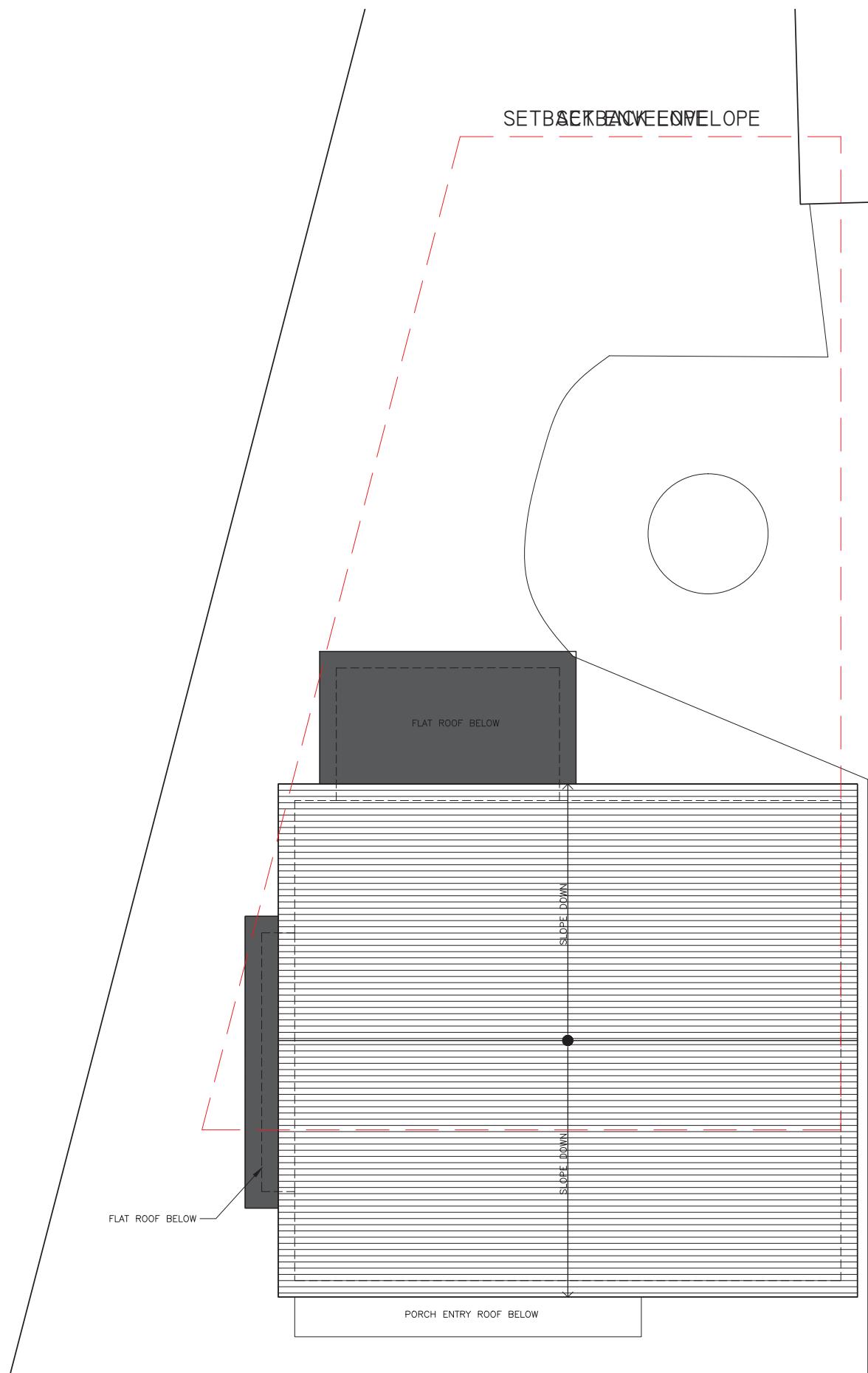
Scale: As Noted Drawing No.:
Job No.: A152.00
Date: 18 JAN 2022 **A1.1**

SETBACK ENVELOPE



SECOND FLOOR PLAN
Ceiling Height = 9'-0"

SETBACK ENVELOPE



ROOF PLAN

PROJECT:
NEW SINGLE FAMILY HOUSE
49 SARGENT ST
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PERMIT SET

Drawing Title:
PROPOSED PLANS

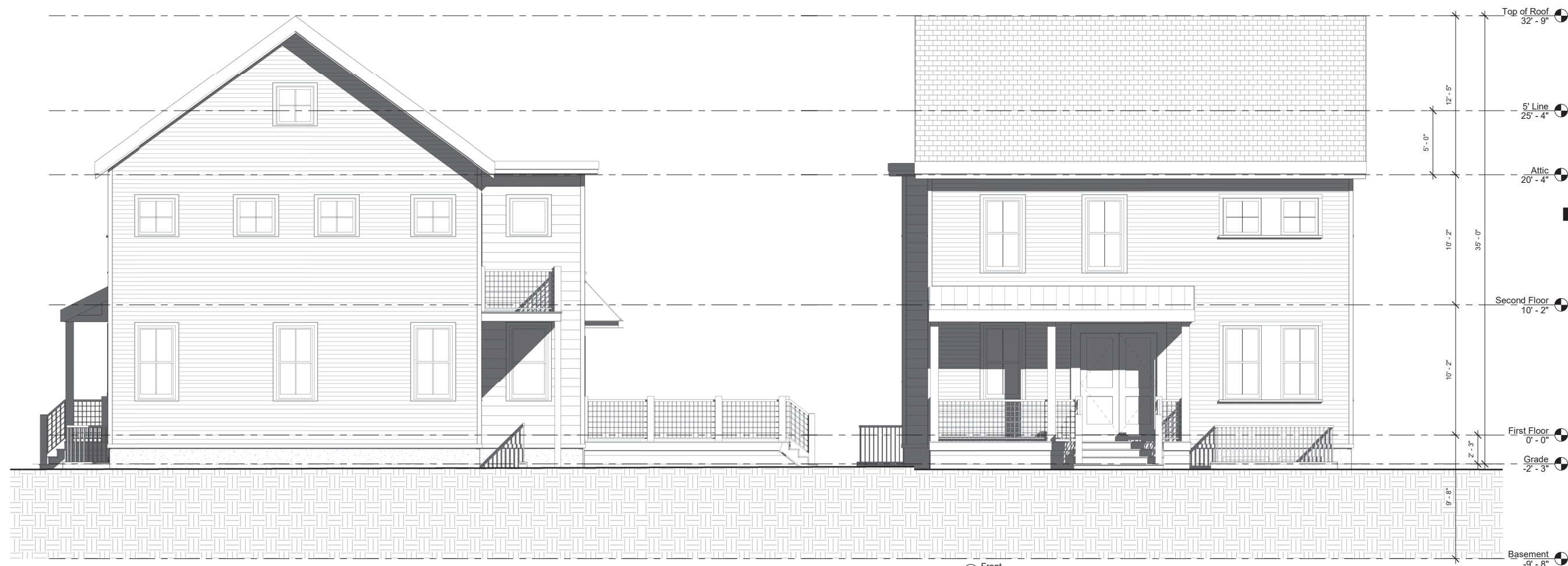
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Drawing No.:
Job No.: A152.00
Date: 18 JAN 2022
A1.2

PROJECT:
 49 Sargent St.
 Cambridge, MA

GCD ARCHITECTS

2 Worthington St.
 Cambridge, MA 02138
 Tel. 617-412-8450
 ajglassman@hotmail.com
 www.glassmanchungdesign.com

CLIENT:



② Right
 1/4" = 1'-0"

① Front
 1/4" = 1'-0"

Drawing Title:

**Proposed
 Elevations**

Scale: 1/4" = 1'-0"
 Job #: 2022-121
 Date: 1/31/2022

Drawing No.:

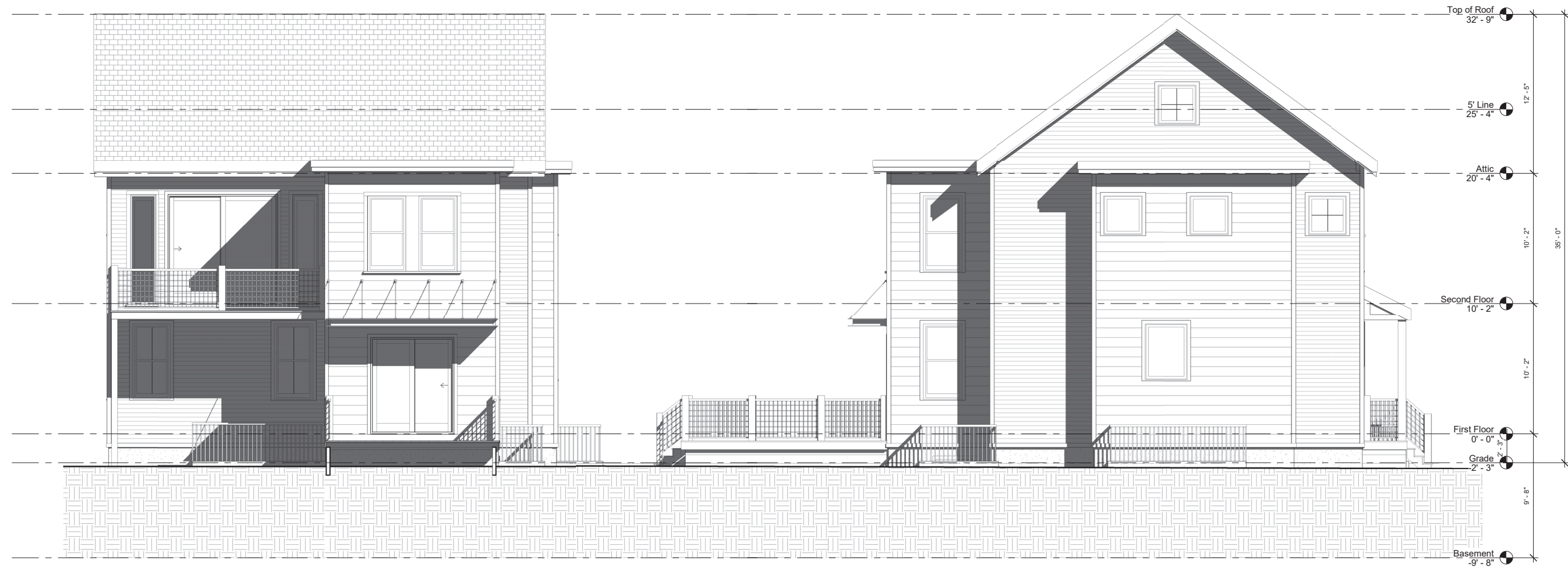
A2.1

PROJECT:
49 Sargent St.
Cambridge, MA

GCD ARCHITECTS

2 Worthington St.
Cambridge, MA 02138
Tel. 617-412-8450
ajglassman@hotmail.com
www.glassmanchungdesign.com

CLIENT:



① Rear
1/4" = 1'-0"

② Left
1/4" = 1'-0"

Drawing Title:

Proposed
Elevations

Scale: 1/4" = 1'-0"

Drawing No.:

Job. #: 2022-121

Date: 1/31/2022

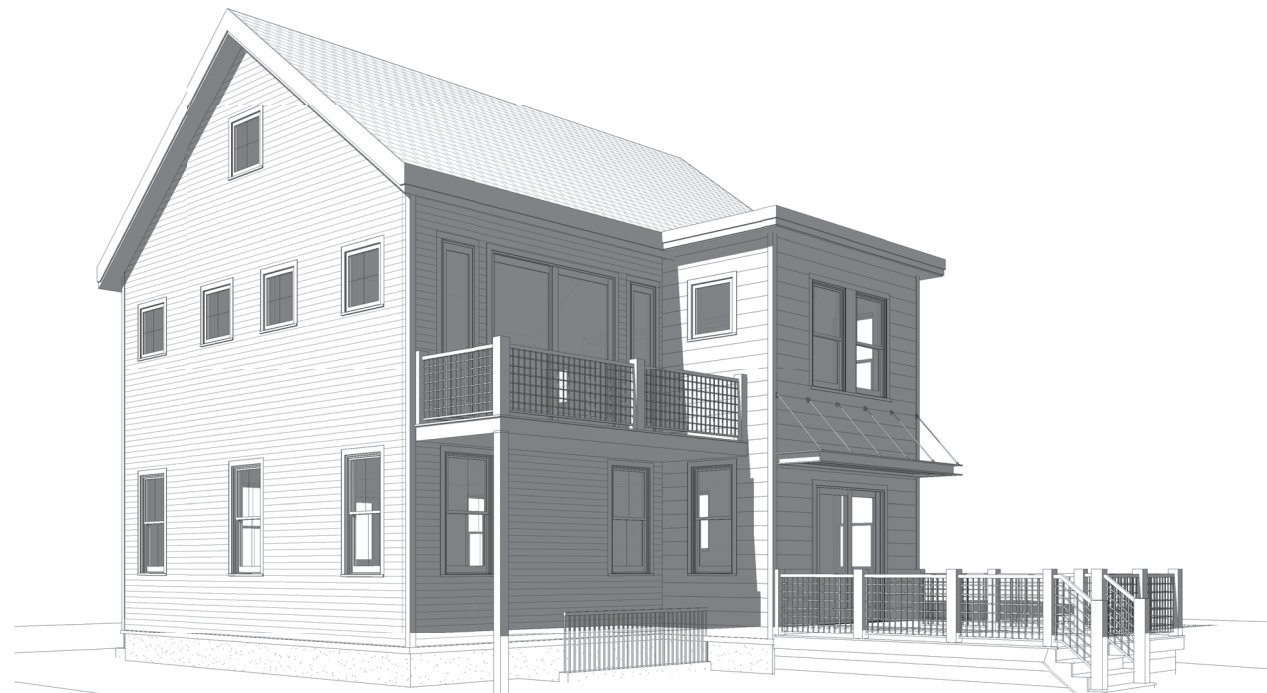
A2.2



① Front Right View



③ Front Left View



② Rear Right View



④ Rear Left View

PROJECT:
49 Sargent St.
Cambridge, MA

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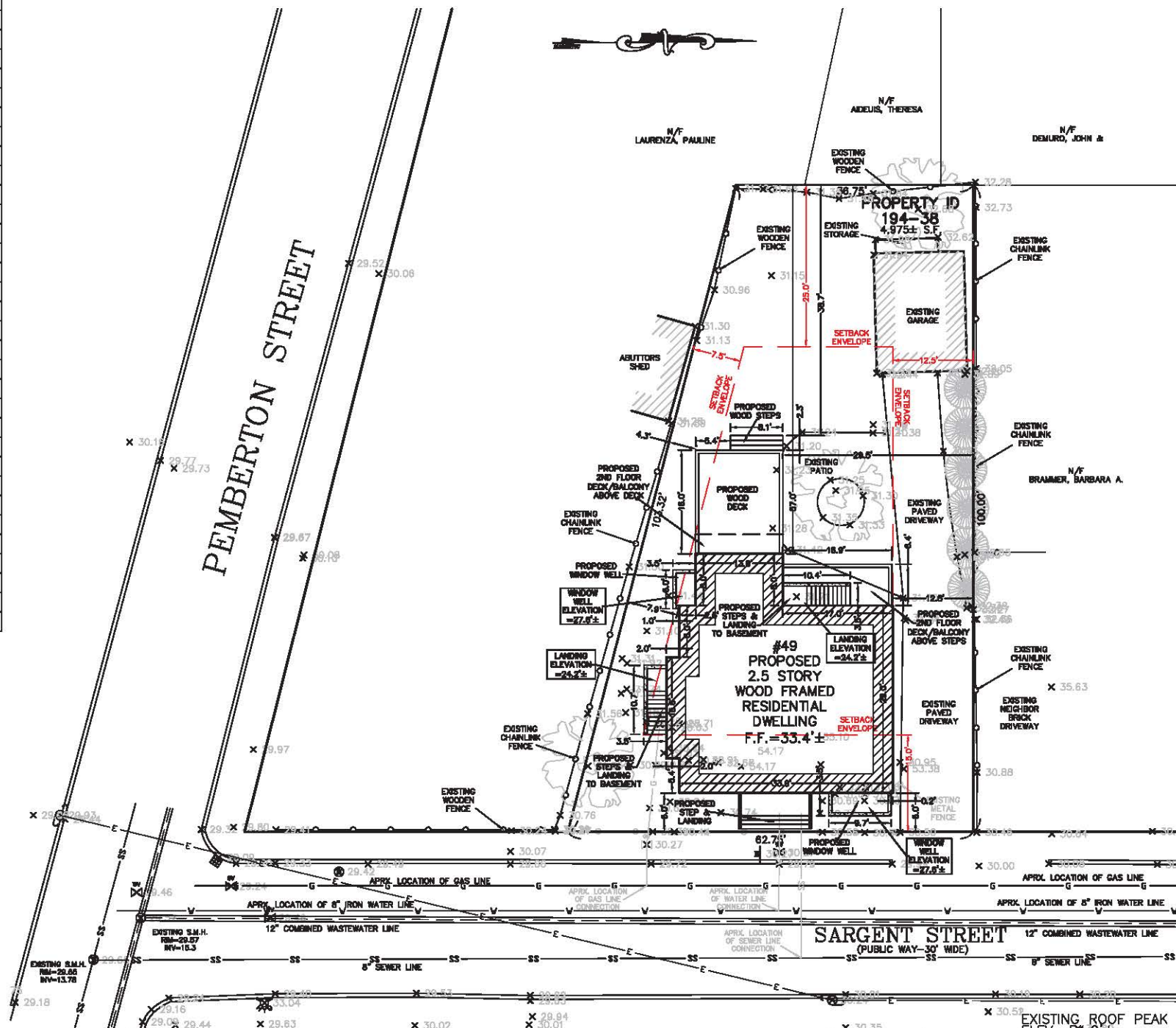
CLIENT:
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Drawing Title:
3D views

Scale: Drawing No.:
Job #: 2022-121
Date: 1/31/2022 **A3.1**

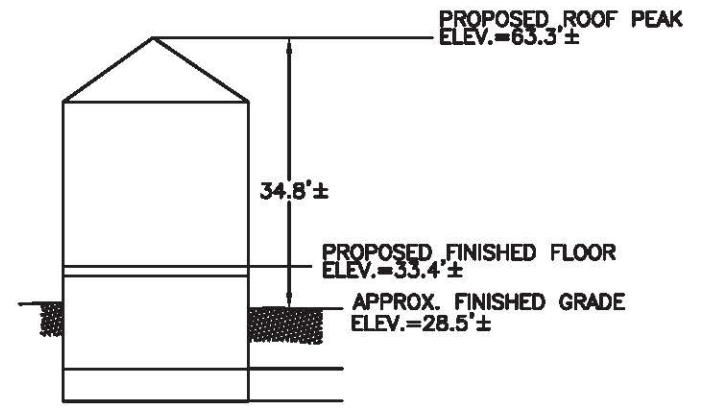
LEGEND

[Symbol]	BOUND
[Symbol]	IRON PIN/PIPE
[Symbol]	STONE POST
[Symbol]	TREE
[Symbol]	TREE STUMP
[Symbol]	SHRUBS/FLOWERS
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	SEWER MANHOLE
[Symbol]	DRAIN MANHOLE
[Symbol]	CATCH BASIN
[Symbol]	WATER MANHOLE
[Symbol]	WATER VALVE
[Symbol]	HYDRANT
[Symbol]	GAS VALVE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC HANDHOLE
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	MANHOLE
[Symbol]	SPOT GRADE
[Symbol]	TOP OF WALL
[Symbol]	BOTTOM OF WALL
[Symbol]	EXISTING BUILDING
[Symbol]	RETAINING WALL
[Symbol]	STONE WALL
[Symbol]	FENCE
[Symbol]	TREE LINE
[Symbol]	SEWER LINE
[Symbol]	DRAIN LINE
[Symbol]	WATER LINE
[Symbol]	GAS LINE
[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	OVERHEAD WIRES
[Symbol]	CONTOUR LINE (M/R)
[Symbol]	CONTOUR LINE (MNR)

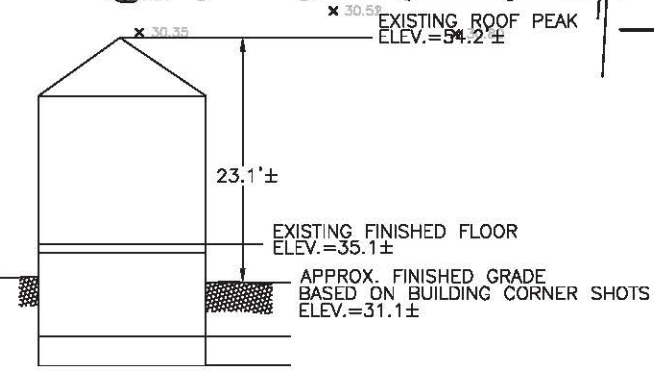


NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 10/28/2021.
2. DEED REFERENCE: BOOK 78049, PAGE 169
PLAN REFERENCE: PLAN BOOK 4A, PAGE 23
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0419E, IN COMMUNITY NUMBER: 250186, DATED 6/4/2010.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF CAMBRIDGE DATUM.
9. ZONING DISTRICT: RESIDENCE B

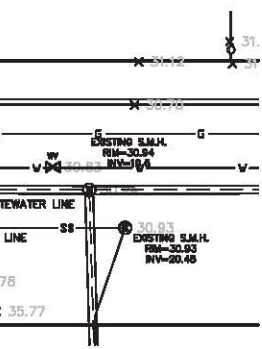
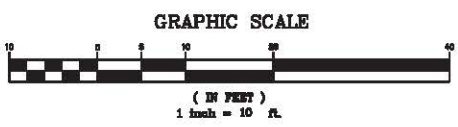


PROPOSED PROFILE
NOT TO SCALE



EXISTING PROFILE
NOT TO SCALE

ZONING LEGEND			
ZONING DISTRICT: RESIDENCE B			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	5,000 S.F.	4,975± S.F.	4,975± S.F.
MIN. LOT AREA FOR EACH DWELLING UNIT	2,500 S.F.	4,975± S.F.	4,975± S.F.
MIN. YARD FRONT	15'	2.8'	6.0'
SIDE (RIGHT)	12.5'	10.8'	12.5'
SIDE (LEFT)	7.5'	4.0'	7.9'
REAR	25'	63.6'	57.0'
MAX. BLDG. HEIGHT	35'	23.1'±	34.8'±
MIN. OPEN SPACE	40%	59.2% ±	50.5% ±
MIN. LOT WIDTH	50'	62.75'	62.75'
MAX. F.A.R.	0.5	-	-



SCALE	1"=10'
DATE	01/17/2022
SHEET	1
PLAN NO.	1 OF 1
CLIENT:	49 SARGENT STREET CAMBRIDGE MASSACHUSETTS
DRAWN BY	PROPOSED SITE PLAN
CHKD BY	ETS
APPD BY	PUN
PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 80 JEWETT STREET, SUITE 1, NEWTON MA 02458 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5891 EMAIL: pnolan@pnasurveyors.com	

SHEET NO.
1

PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES OFFERED BY THE CONTRACTOR NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXISTENCE OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF THE LOW THIRD PARTY COPY.
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05 February 2022

To:

Cambridge Board of Zoning Appeals

831 Mass Ave.

Cambridge MA 02139

Dear Cambridge BZA,

I am writing to express my support for the relief sought for the proposed single-family house at 49 Sargent Street in Cambridge MA.

I have reviewed the plans. The design is tasteful, modest and it compliments the neighborhood very well. It will be extremely functional for a family; it is not an extravagant design.

The proposed design, though non-conforming due the very unusual and non-conforming lot, poses no greater detriment to the neighborhood than the existing non-conforming house which is not representative of the character of our neighborhood, and it is also in need of substantial reconstruction. In fact, the proposed design will be a major aesthetic and functional improvement over the structure that currently stands, and we encourage the BZA to grant the requested relief.

Sincerely,

Pauline Laurenza (a 70 yr. resident)

[NAME]

Pauline Laurenza

[ADDRESS]

210 R Pemberton St, Cambridge, MA 02140

[DATE]

2/9/22

1870-1871

1872-1873

1874-1875

1876-1877

1878-1879

1880-1881

1882-1883

1884-1885

1886-1887

1888-1889

1890-1891

1892-1893

1894-1895

1896-1897

1898-1899

1900-1901

1902-1903

1904-1905

1906-1907

1908-1909

1910-1911

13 February 2022

To:

Cambridge Board of Zoning Appeals

831 Mass Ave.

Cambridge MA 02139

Dear Cambridge BZA,

I am writing to express my support for the relief sought for the proposed single-family house at 49 Sargent Street in Cambridge MA.

I have reviewed the plans. The design is tasteful, modest and it compliments the neighborhood very well. It will be extremely functional for a family; it is not an extravagant design.

The proposed design, though non-conforming due the very unusual and non-conforming lot, poses no greater detriment to the neighborhood than the existing non-conforming house. The proposed design will be an aesthetic and functional improvement over the structure that currently stands, and we encourage the BZA to grant the requested relief.

My support is contingent upon the garage/out building remaining on the current footprint.

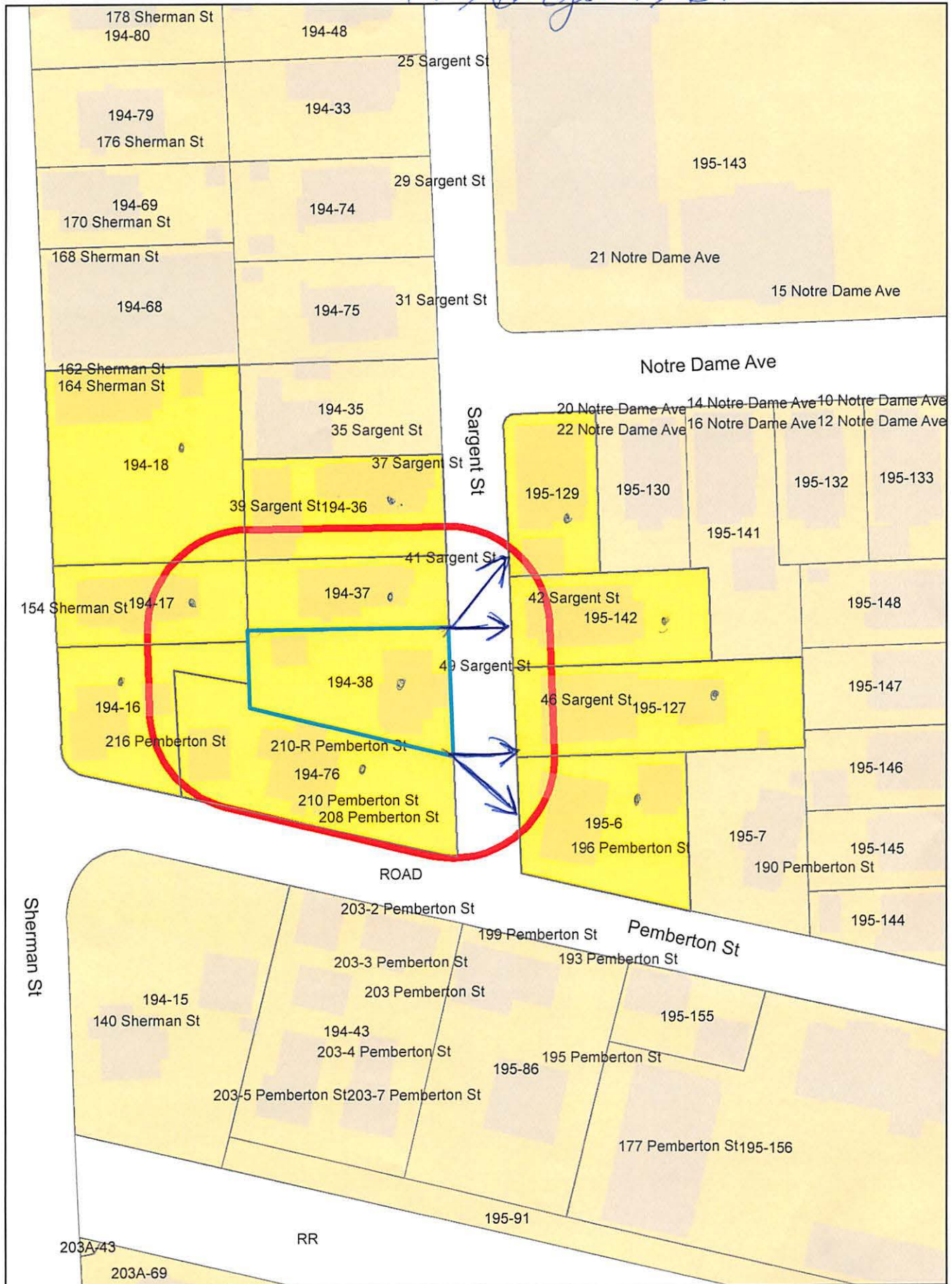
Sincerely,

Barbara Anderson Brammer

41 Sargent Street

2/13/2021

49 Sargent St.



49 Sargent St.

Pettinex

194-36
IMBRIGLIA, NICHOLAS
37-39 SARGENT ST., #37/3
CAMBRIDGE, MA 02139

194-36
MEHR, SAMUEL ALEX
37-39 SARGENT ST. UNIT#39/1
CAMBRIDGE, MA 02140

GCD ARCHITECTS
C/O ADAM GLASSMAN, ARCHITECT
2 WORTHINGTON STREET
CAMBRIDGE, MA 02138

195-127
EARLE, JOHN H. III, KAREN M. CRUSCO &
KELLIE EARLE
46 SARGENT ST
CAMBRIDGE, MA 02140-2530

195-142
BERRY, MICHAEL & STEPHANIE JACK
42 SARGENT STREET
CAMBRIDGE, MA 02140

194-38
THOMPSON RICHARD L III DEBRA L THOMPSON
49 SARGENT ST
CAMBRIDGE, MA 02140

194-36
PORCELLS, JOAN T
37-39 SARGENT ST., #39/2
CAMBRIDGE, MA 02140

194-17
DEMURO, JOHN & PATRICIA LANGE
154 SHERMAN ST.
CAMBRIDGE, MA 02140

195-6
CYR, ELAINE T.
196 PEMBERTON ST
CAMBRIDGE, MA 02140-2516

194-36
NENOPOULOS KATHERINE M MOSCATEL
GREGORY JOHN
37 SARGENT ST UNT 1
CAMBRIDGE, MA 02140

194-18
ANDERSON GAYLE & DOUGLAS O ANDERSON
TRS 162-164 SHERMAN STREET REALTY TRUST
164 SHERMAN ST
CAMBRIDGE, MA 02140

195-142
MANSINGHKA, VIKASH
42 SARGENT ST., #1
CAMBRIDGE, MA 02140

194-76
LAURENZA, PAULINE
210 R PEMBERTON ST
CAMBRIDGE, MA 02140-2516

194-36
YANG BO & CHENGXING LU
65 THORNBERRY RD
WINCHESTER, MA 01890

195-129
GIBBS, LEONA C.
TRUSTEE OF THE LEONA GIBBS 2014 FAMILY TRT
24 NORTE DAME AVE
CAMBRIDGE, MA 02139

194-16
AIDEUIS, RICHARD J., JR.,
TRS THE AIDEUIS FAMILY REALTY TRT
216 PEMBERTON ST
CAMBRIDGE, MA 02140

194-37
BRAMMER, BARBARA A.
41 SARGENT ST
CAMBRIDGE, MA 02140-2529



Adam Glassman <ajglassman.ra@gmail.com>

49 Sargent Ave BZA

Kellie DeJon <kelliedejon@yahoo.com>

Thu, Mar 3, 2022 at 1:18 PM

To: "ajglassman.ra@gmail.com" <ajglassman.ra@gmail.com>, "thompson_tx@yahoo.com" <thompson_tx@yahoo.com>

Dear Debra,

First I am very sorry that this is late, but I am writing to express my support for the proposed single-family house at [49 Sargent Street](#) in Cambridge MA.

I have reviewed the plans and the design is tasteful and modest.

The proposed design poses no greater detriment to the neighborhood. We are thrilled to welcome Debra and Rich to the neighborhood and excited as they seem very nice and want to make their home here.

A few concerns that I have:

- The beautiful tree that is in the backyard is hard to see if will remain in the plans. It's a healthy tree that has been with the home for many, many years. Not sure what the plans are but would love to see it still standing after the renovation.
- Most of the homes in the neighborhood were built over 50 years ago and I have concerns with all the heavy machinery how this may impact the shifting and or cracking in different areas of our homes.

Kellie DeJon
46 Sargent St.

----- Forwarded Message -----

From: Debra Thompson <thompson_tx@yahoo.com>

To: bbrammer@comcast.net <bbrammer@comcast.net>; kelliedejon@yahoo.com <kelliedejon@yahoo.com>; jjlfamily7@msn.com <jjlfamily7@msn.com>; mjaberry@gmail.com <mjaberry@gmail.com>; stephanie.j.jack@gmail.com <stephanie.j.jack@gmail.com>

Sent: Saturday, February 5, 2022, 03:54:21 PM EST

Subject: Fw: 49 Sargent Ave BZA

Good morning:

I hope all of you are staying warm and dry. It was nice seeing most of you last weekend as we shoveled out from the first storm. We feel so blessed to have you as neighbors.

Please see attached our final submission packet for the city and a letter of support template.

Would you please take the template and either sign a copy - or edit as you see fit - then email me back by next week? You could also copy the text and send me an email of support with your contact information (which is probably easiest). We are going to try and have everything in hand for the hearing scheduled for early March.

Thanks - and let me know if you have any questions.

Debra (and Rich) Thompson
49 Sargent Street
(512) 413-5589

----- Forwarded Message -----

[Quoted text hidden]

2 attachments



49 Sargent St Support Letter.docx
13K



2022_0131 49 SARGENT BZA PLANS_ELEVATIONS_PHOTOS 11x17.pdf
5840K



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: ADAM GLASSMAN Date: 3/8/22
(Print)

Address: 49 Sargent St.

Case No. BZA-16/353

Hearing Date: 3/24/22

Thank you,
Bza Members