



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2021 SEP 30 PM 12:47

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Application Form

BZA Number: 144641

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X Variance: Appeal:

PETITIONER: Joshua Resnick and Elizabeth Oliver C/O Hisel Flynn Architects

PETITIONER'S ADDRESS: 17 Waltham Street, Lexington, MA 02421

LOCATION OF PROPERTY: 4 Wyman Rd., Cambridge, MA

TYPE OF OCCUPANCY: Residential (Single Family) **ZONING DISTRICT:** Residence A-2 Zone

REASON FOR PETITION:

/Additions/ /Proposed new exterior landing crosses setback lines; Proposed new roof canopy at front door crosses setback lines/

DESCRIPTION OF PETITIONER'S PROPOSAL:

- (1) Proposed new landing at new kitchen door crosses setback line. This side facade is existing non-conforming.
- (2) Proposed new canopy / overhang at front door crosses setback line. The front facade is also existing non-conforming.

SECTIONS OF ZONING ORDINANCE CITED:

- Article: 5.000 Section: 5.31 (Table of Dimensional Requirements)
- Article: 10.000 Section: 10.40 (Special Permits)
- Article: 8.000 Section: 8.22.2.D (Non-Conforming Structure).

Original
Signature(s):

Kathleen Flynn

(Petitioner (s) / Owner)

Kathleen (Katie) Flynn

(Print Name)

Address:

Tel. No. 9142828432
E-Mail Address: katie@hiselflynn.com

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Joshua Resnick and Elizabeth Oliver
(OWNER)

Address: 157 Garden St., Cambridge


State that I/We own the property located at 4 Wyman Road, which is the subject of this zoning application.

The record title of this property is in the name of _____
Joshua Resnick and Elizabeth Lee Oliver

*Pursuant to a deed of duly recorded in the date 6/18/2020, Middlesex South County Registry of Deeds at Book 74917, Page 56; or

Middlesex Registry District of Land Court, Certificate No. _____

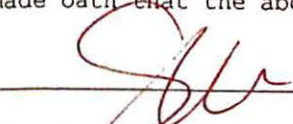
Book _____ Page _____


SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*

*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Middlesex

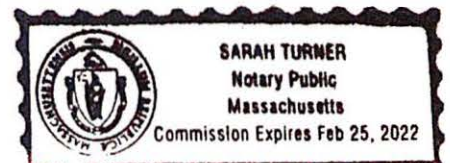
The above-name Joshua Resnick and Elizabeth Oliver personally appeared before me, this 0 of September, 2021, and made oath that the above statement is true.


Notary
Sarah Turner

My commission expires Feb. 25 2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.

(ATTACHMENT B - PAGE 3)



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 4 Wyman Rd., Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

The vast majority of the proposed project is by-right and conforms to Cambridge Zoning Ordinance requirements. A building permit has been issued for a by-right scope of work. This application seeks to amend this building application by adding the following two scope elements that require zoning relief.

> We are seeking relief to construct a new landing at the kitchen. This landing would provide egress from a proposed kitchen door. The deck would be 5'-0" deep (including two treads to grade; the landing portion is a 3' wide to provide minimum egress) by x 12'-6" long (the width of the proposed door) and 18" above grade. There is no proposed railing or roof coverage.

> We are seeking relief to construct a new roof overhang / canopy at the front door. This overhang would be 9' wide and project 3' from the existing front-most wall of the house. This roof overhang will provide weather protection at the front door. The existing stoop at the front door will remain.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

There is no change in use, therefore traffic will be unaffected

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

These requests will have no impact on adjacent development

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

These requests will not present a nuisance or hazard nor will there be any health, safety or welfare impacts as a result of these requests

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

These requests enhance the character and value of the existing home. They will increase the safety of the home and its occupants / visitors by providing an additional means of egress (landing at kitchen door) and weather protection at the front door. The kitchen landing will not be visible from any adjacent building or public way.

BZA Application Form**DIMENSIONAL INFORMATION****Applicant:** Joshua Resnick and Elizabeth Oliver**Present Use/Occupancy:** Residential (Single Family)**Location:** 17 Waltham Street**Zone:** Residence A-2 Zone**Phone:** 9142828432**Requested Use/Occupancy:** Residential (Single Family)

	<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>	3736	3756.5	3930	(max.)
<u>LOT AREA:</u>	7860	7860	6000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>	0.48	0.48	0.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>	7860	7860	4500	
<u>SIZE OF LOT:</u>				
WIDTH	167 (Wyman Frontage approx.)	167 (Wyman Frontage approx.; no change)	65	
DEPTH	65 (Approx. average)	65 (Approx. average; no change)	?	
<u>SETBACKS IN FEET:</u>				
FRONT	9.4' (minimum)	9.4' (minimum)	20	
REAR	N/A (triangular lot)	N/A (triangular lot)	N/A (triangular lot)	
LEFT SIDE	10'	10'	10'	
RIGHT SIDE	N/A (triangular lot)	N/A (triangular lot)	N/A (triangular lot)	
<u>SIZE OF BUILDING:</u>				
HEIGHT	28'-6"	29'	35'	
WIDTH	29'-11"	25'-8.5" (3' deep front door overhang not included)	?	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>	Existing to remain (no change)	Existing to remain (no change)	50%	
<u>NO. OF DWELLING UNITS:</u>	1	1	1	
<u>NO. OF PARKING SPACES:</u>	2	2	1	
<u>NO. OF LOADING AREAS:</u>	N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>	N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

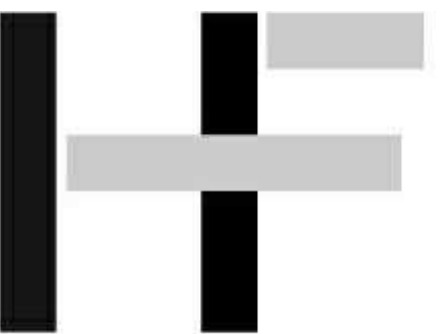
Name: Michael Zibello Date: 10/19/2021
(Print)

Address: 4 Wyman Rd.

Case No. BZA-144641

Hearing Date: 11/4/21

Thank you,
Bza Members



Hisel Flynn Architects
1165 R Mass. Ave., Suite 203
Arlington, MA 02476
781-316-0322

4 WYMAN ADDITION AND RENOVATION

LIZA OLIVER AND
JOSH RESNICK
4 WYMAN ROAD
CAMBRIDGE, MA

STRUCTURAL ENGINEER:

DANIEL BONARDI
1165 R Massachusetts Avenue
Arlington, MA 02476
781-483-3336
daniel.bonardi@db-ce.com
db-ce.com

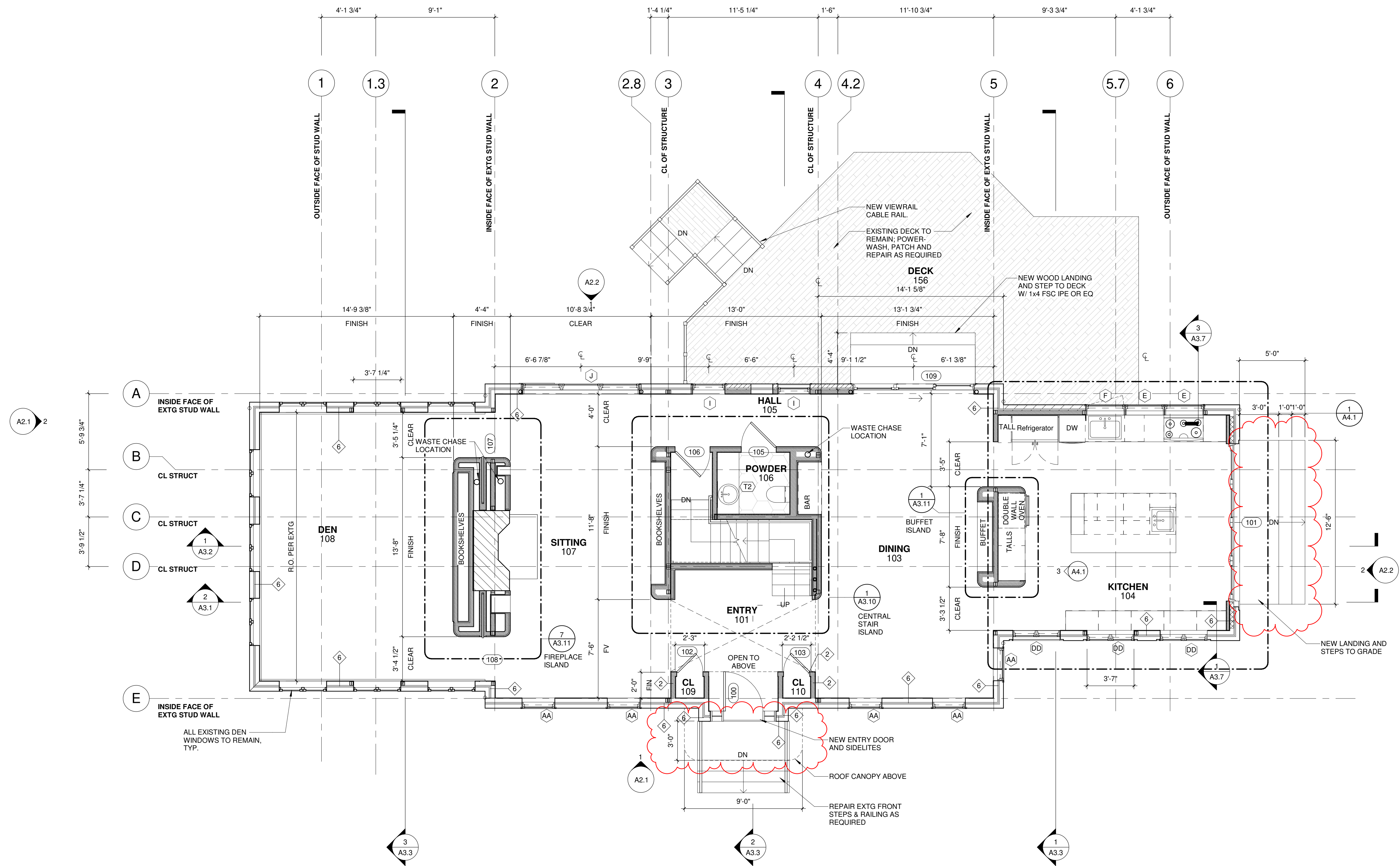


ISSUE:	DATE:
PERMIT SET	2021 6.23
ADDENDUM	2021 08 16
BZA APPLICATION	2021 09 09

DRAWING: FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

A1.2



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



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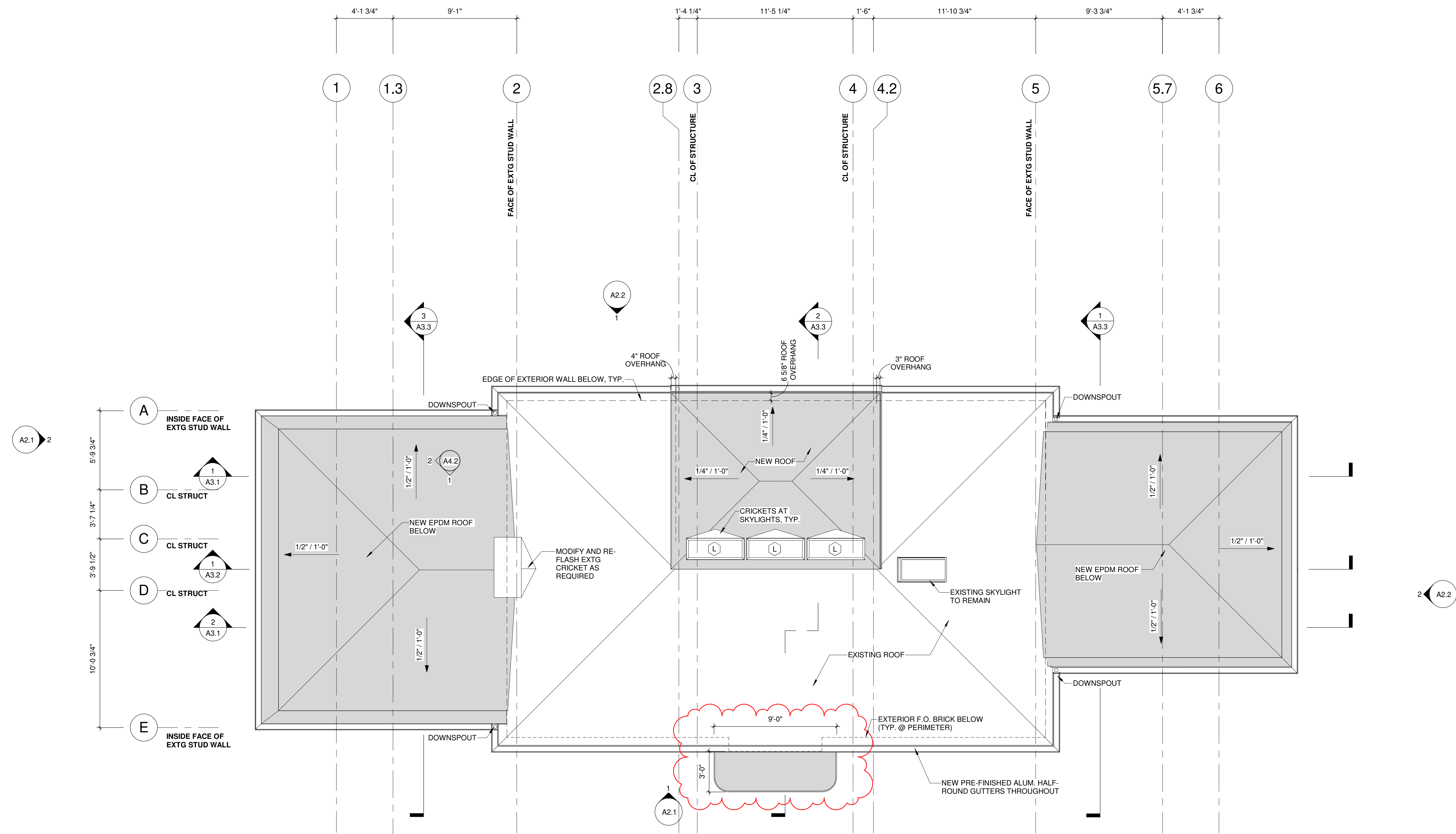


ISSUE:	DATE:
PERMIT SET	2021 6.23
BZA APPLICATION	2021 09 09

DRAWING: ROOF PLAN

SCALE: 1/4" = 1'-0"

A1.5



1 ROOF PLAN
 Scale: 1/4" = 1'-0"

ASSESSORS: MAP 231, LOT 40
ZONING: A-2 ZONING DISTRICT
REFERENCES: DEED BOOK 74491, PAGE 379
 PLAN BOOK 383, PLAN 6
RECORD OWNER: JOSHUA RESNICK
NOTES:
 1) PROPOSED ADDITIONS BASED ON DATA PROVIDED BY HISEL FLYNN ARCHITECTS.
 2) ZONING INFORMATION SHOWN HEREON BASED ON "ZONING ANALYSIS" BY HISEL FLYNN ARCHITECTS AND PROVIDED BY CLIENT.

**4
 WYMAN
 ROAD**

Cambridge, Massachusetts

PREPARED FOR:
**LIZA
 OLIVER
 &
 JOSHUA
 RESNICK**
 4 Wyman Road
 Cambridge, Massachusetts 02138

**HANCOCK
 ASSOCIATES**

Civil Engineers
 Land Surveyors
 Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
 VOICE (978) 777-3050, FAX (978) 774-7816
 WWW.HANCOCKASSOCIATES.COM

NO.	BY	DATE	ISSUE/REVISION DESCRIPTION

DATE: 6/23/21 DRAWN BY: JMS
 SCALE: 1" = 10' CHECK BY:

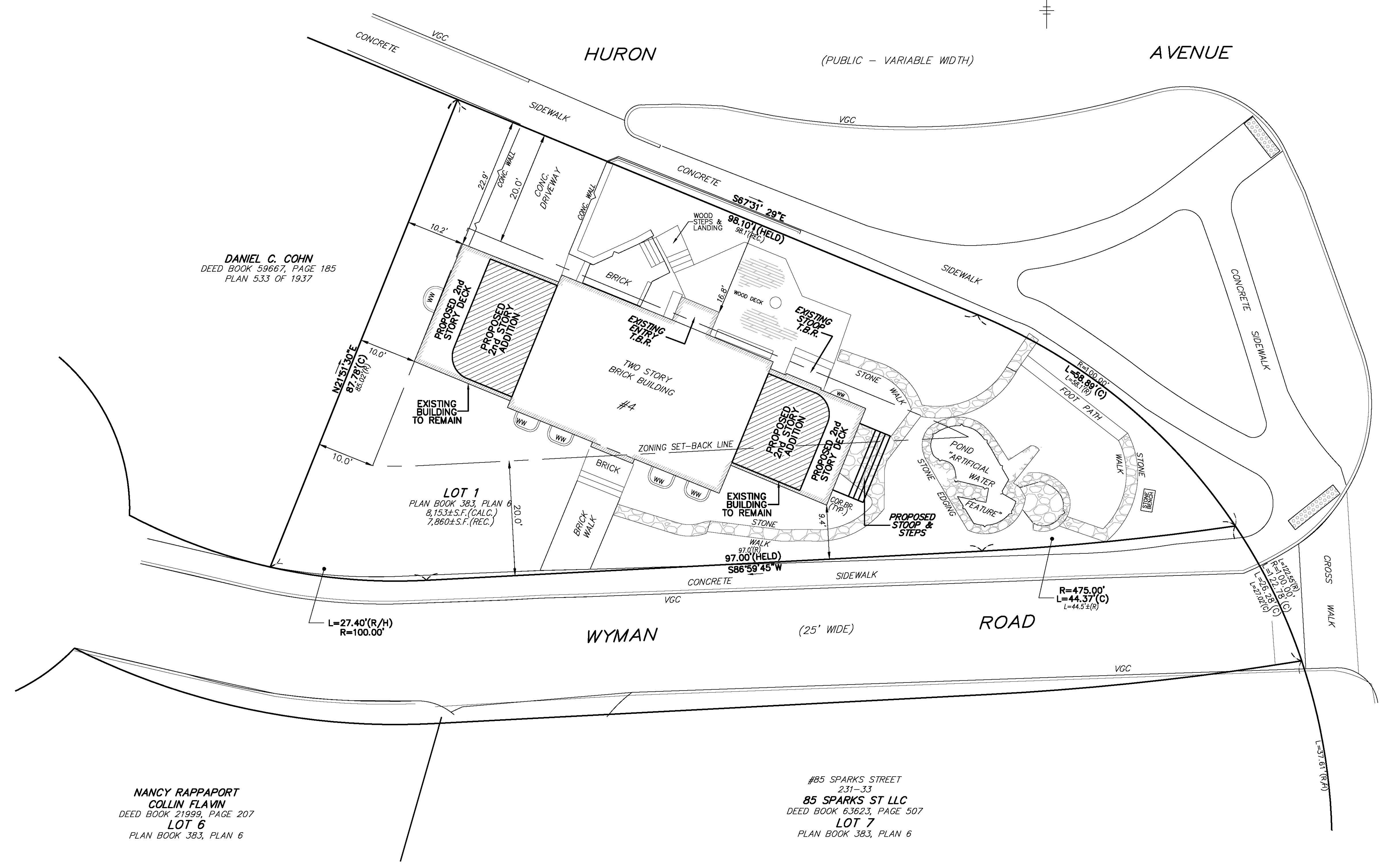
**PROPOSED
 PLOT PLAN
 OF LAND IN
 CAMBRIDGE, MA**

PLOT DATE: Jun 23, 2021 12:35 pm
 PATH: F:\CIVIL 3D Projects\23515 Oliver - Cambridge.dwg

DWG: 23515PP.dwg
 LAYOUT: plot plan
 SHEET: 3 OF 39
 PROJECT NO.: **23515**

LEGEND

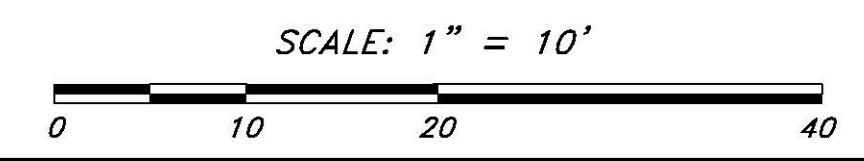
VGC	CURB LINE WITH TYPE CURB ELEVATION
(R)	RECORD INFORMATION
(C)	CALCULATED
(R/H)	RECORD AND HELD
(M)	FIELD MEASURED
WW	WINDOW WELL
VGC	VERTICAL GRANITE CURB



DANIEL C. COHN
 DEED BOOK 59667, PAGE 185
 PLAN 533 OF 1937

NANCY RAPPAPORT
 COLLIN FLAVIN
 DEED BOOK 21999, PAGE 207
 LOT 6
 PLAN BOOK 383, PLAN 6

#85 SPARKS STREET
 231-33
 85 SPARKS ST LLC
 DEED BOOK 63623, PAGE 507
 LOT 7
 PLAN BOOK 383, PLAN 6





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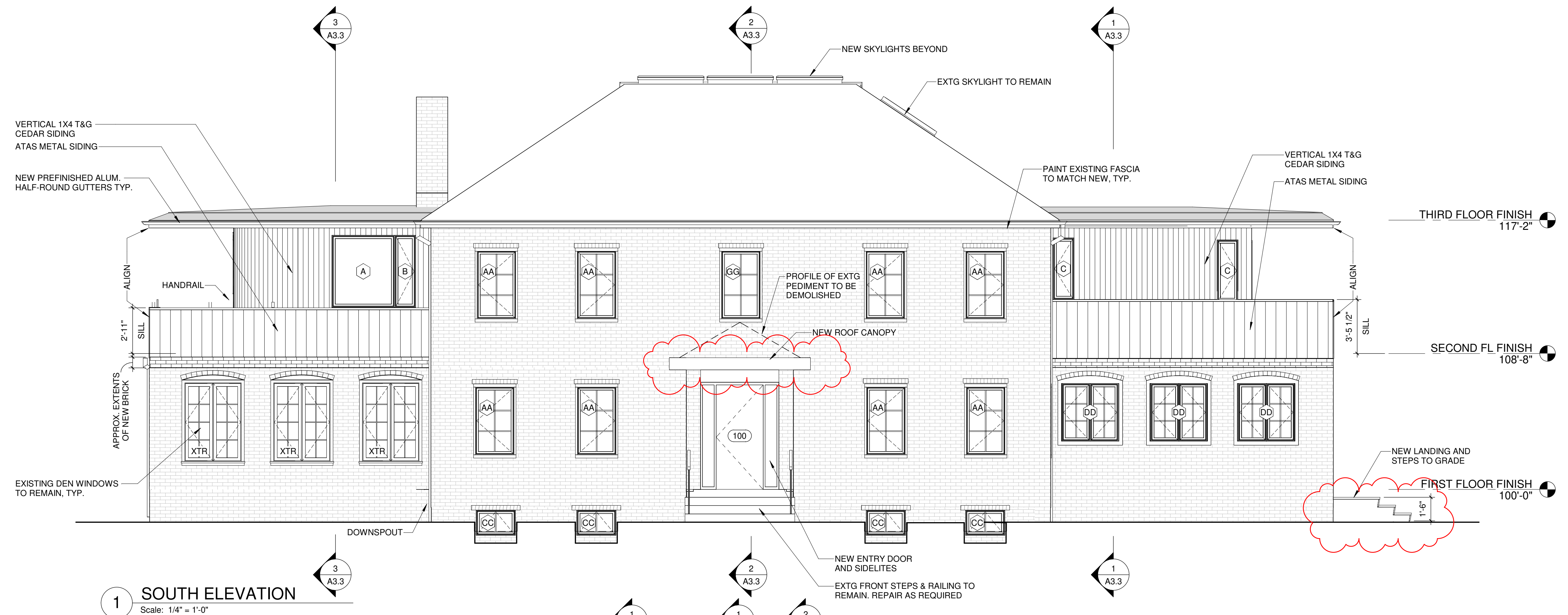


ISSUE:	DATE:
PERMIT SET	2021.6.23
ADDENDUM	2021.08.16
BZA APPLICATION	2021.09.09

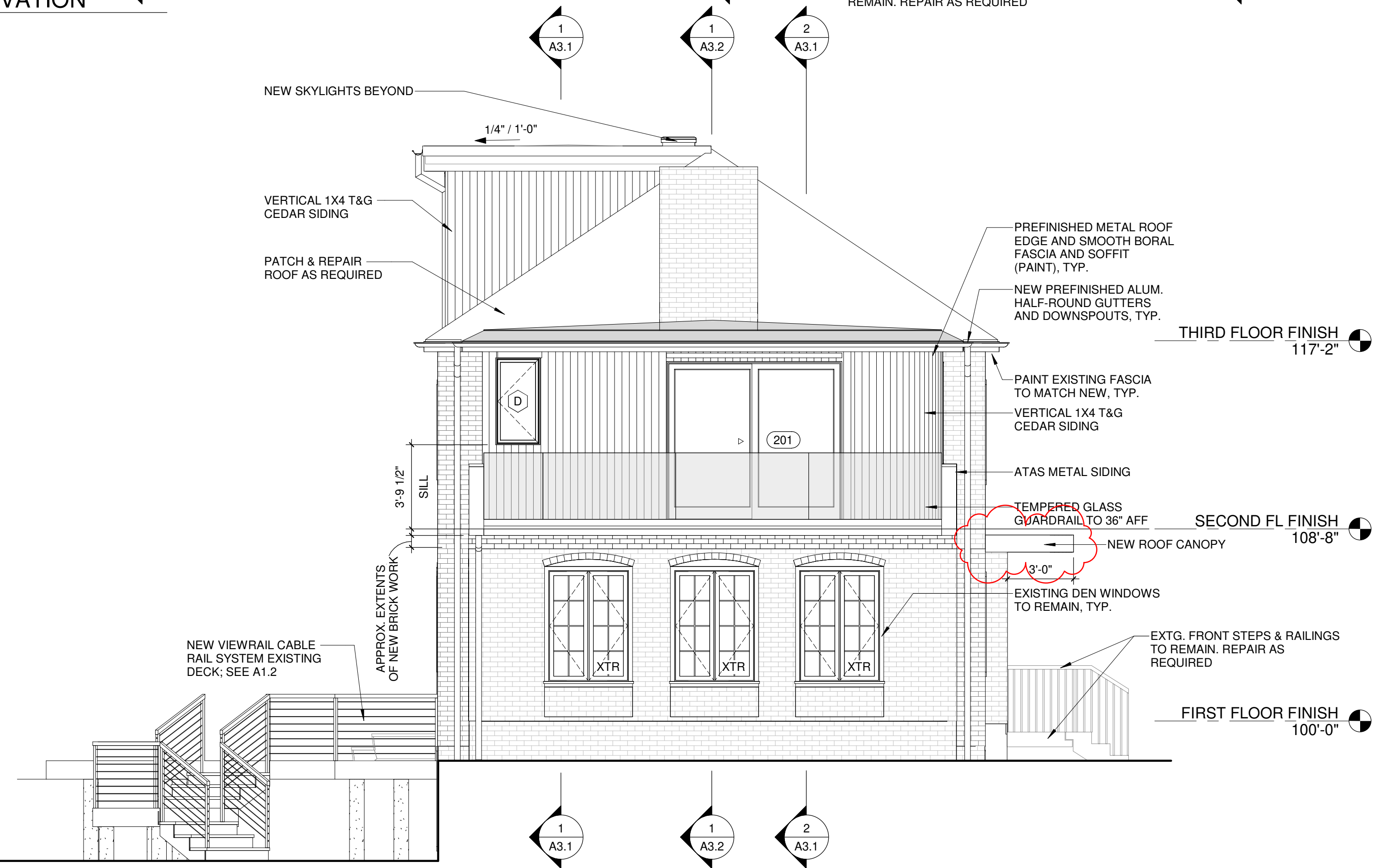
DRAWING: EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A2.1



1 SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



2 WEST ELEVATION
 Scale: 1/4" = 1'-0"

ELEVATION LEGEND

	METAL SIDING
	VERTICAL WOOD SIDING
	BRICK WORK
	GLASS GUARDRAIL



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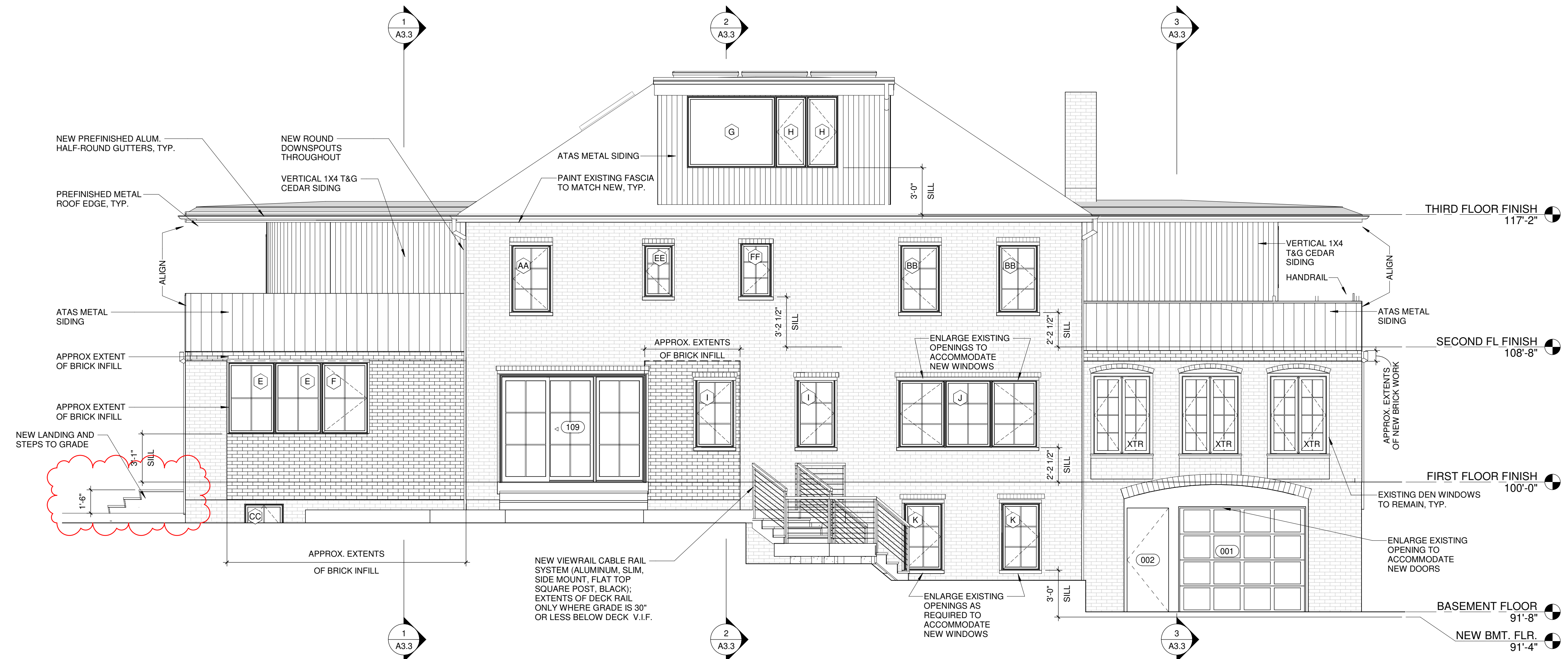


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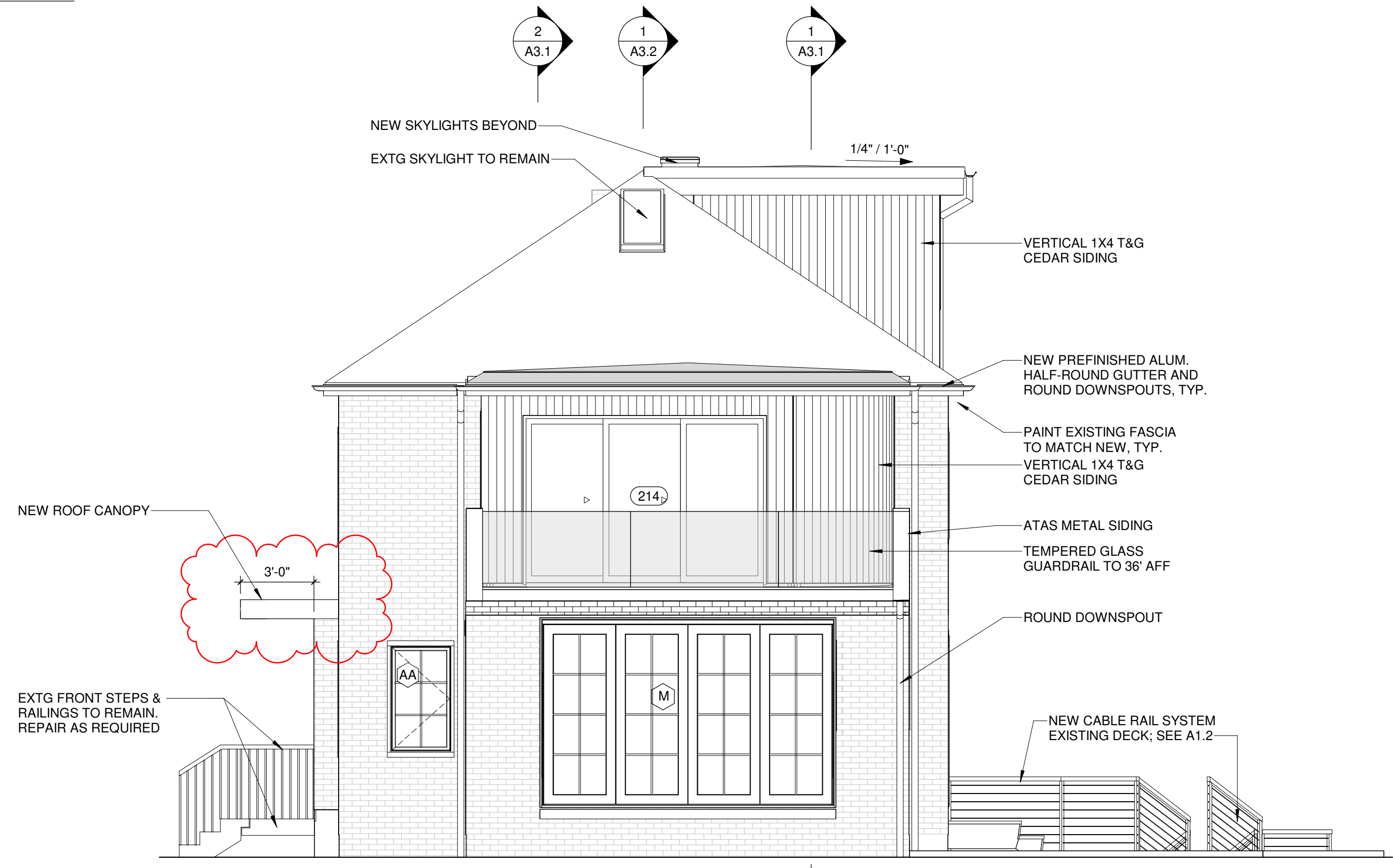
DRAWING: EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A2.2



1 NORTH ELEVATION
 Scale: 1/4" = 1'-0"



2 EAST ELEVATION
 Scale: 1/4" = 1'-0"

ELEVATION LEGEND

	METAL SIDING
	VERTICAL WOOD SIDING
	BRICK WORK
	GLASS GUARDRAIL





Steps to grade

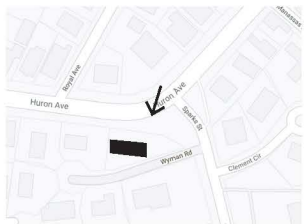
















Pacheco, Maria

From: Amory Rowe <amory@in-the-arena.org>
Sent: Friday, September 17, 2021 10:35 PM
To: Pacheco, Maria
Subject: Letter in support of special permit/variance #144641

Hello, Board of Zoning Appeals:

My name is Amory Salem and I live at 85 Sparks Street in Cambridge. We are just across the road from 4 Wyman Road. We have reviewed Liza Oliver and Joshua Resnick's proposed changes for their home at 4 Wyman Road, for which they applied to the Board of Zoning Appeals (special permit/variance #144641). To the extent that our voice matters, we offer our full support for the project.

If you have any questions please feel free to be in touch.

Thanks and best,
Amory Salem

4 Wyman Rd.

226-23
METZER, PATRICIA ANN
86 SPARKS STREET
CAMBRIDGE, MA 02138

226-10
HUTCHISON, JAMES M. & JANE D EHRlich
88 SPARKS ST
CAMBRIDGE, MA 02138-2216

Relator
HISEL FLYNN ARCHITECT
C/O KATHLEEN FLYNN
17 WALTHAM STREET
LEXINGTON, MA 02421

231-33
85 SPARKS ST LLC
320 PAANI PL #6A
PAIA, HI 96779

231-37
SOLLORS, WERNER & ALIDE CAGIDEMETRIO
9 WYMAN RD
CAMBRIDGE, MA 02138

231-36
COHN, DANIEL C. YUNE KUNES
5 WYMAN RD
CAMBRIDGE, MA 02138

231-32
RAPPAPORT NANCY & COLIN FLAVIN CO
TRS NANCY RAPPAPORT 2002 TR
6 WYMAN RD
CAMBRIDGE, MA 02138

231-40
RESNICK JOSHUA OLIVER ELIZABETH LEE
4 WYMAN RD
CAMBRIDGE, MA 02138

230-147
TIERNEY, SHEILA L.
8 ROYAL AVENUE
CAMBRIDGE, MA 02138

230-148
LLOYD, GEORGE W.
201 HURON AVE.
CAMBRIDGE, MA 02138-1325

LEGEND

- VGC CURB LINE WITH TYPE
CURB ELEVATION
- (R) RECORD INFORMATION
- (C) CALCULATED
- (R/H) RECORD AND HELD
- (M) FIELD MEASURED
- NW WINDOW WELL
- VGC VERTICAL GRANITE CURB

ASSESSORS: MAP 231, LOT 40

ZONING: A-2 ZONING DISTRICT

REFERENCES:

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PLAN BOOK 383, PLAN 6

RECORD OWNER: JOSHUA RESNICK

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4
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Cambridge, Massachusetts

PREPARED FOR:

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NO.	BY	DATE	ISSUE/REVISION DESCRIPTION
1	JMS	9/10/21	REVISE PROPOSED STEPS

DATE: 6/23/21 DRAWN BY: JMS
SCALE: 1" = 10' CHECK BY: JMS

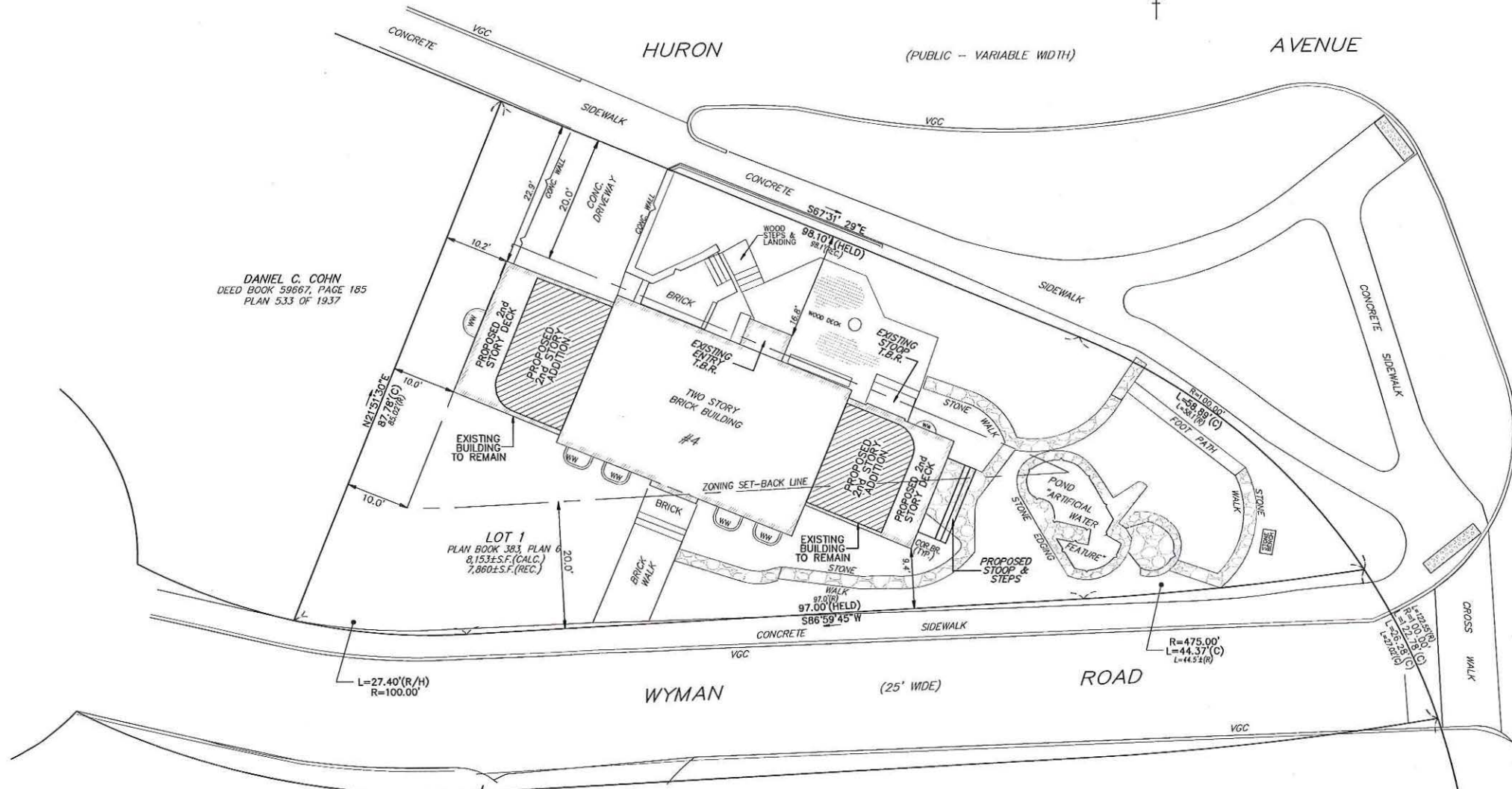
PROPOSED
PLOT PLAN
OF LAND IN
CAMBRIDGE, MA

PLOT DATE: Sep 10, 2021 9:58 am
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DWG: 23515PP.dwg
LAYOUT: plot plan
SHEET: 3 OF 39

L1.2

PROJECT NO.: 23515

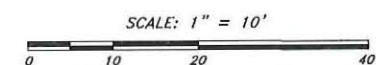


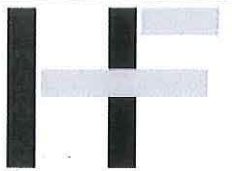
DANIEL C. COHN
DEED BOOK 59667, PAGE 185
PLAN 533 OF 1937

LOT 1
PLAN BOOK 383, PLAN 6
8,153±S.F.(CALC.)
7,860±S.F.(REC.)

NANCY RAPPAPORT
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LIZA OLIVER AND
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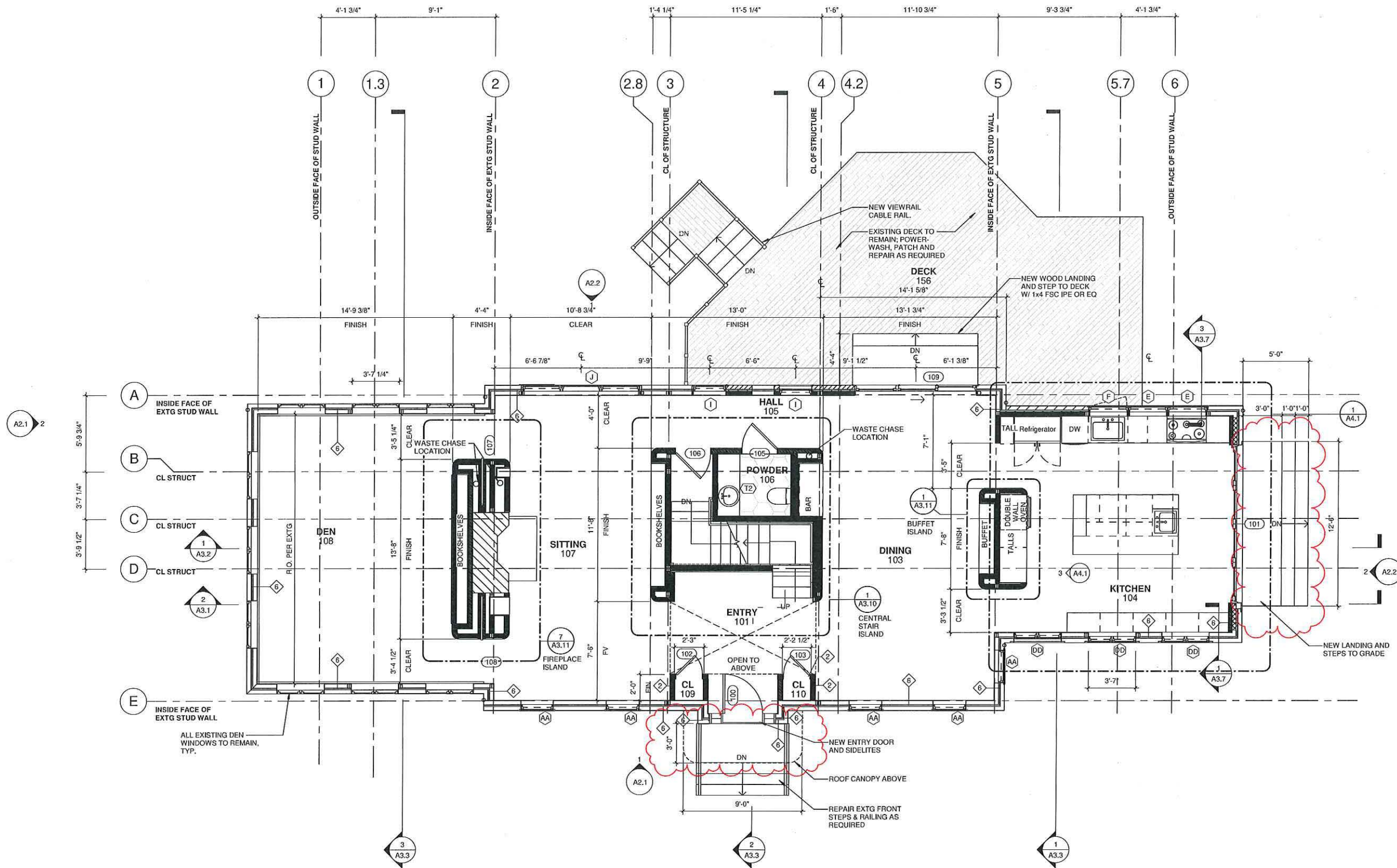


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DRAWING: FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

A1.2



1 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"

1/8 scale



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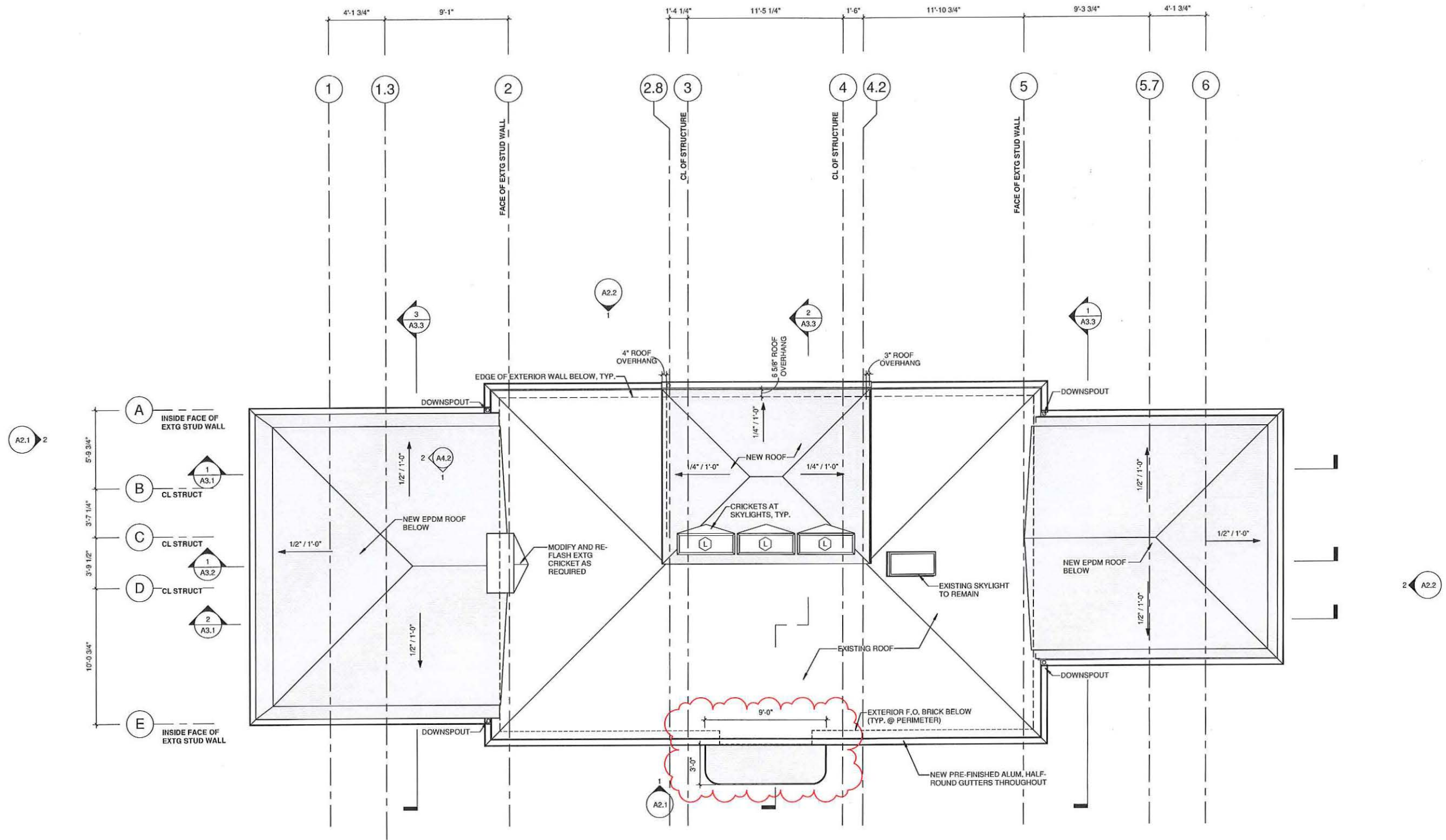


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DRAWING: ROOF PLAN

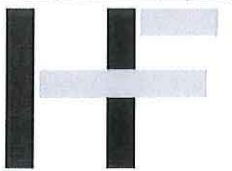
SCALE: 1/4" = 1'-0"

A1.5



1 ROOF PLAN
 Scale: 1/4" = 1'-0"

1/8 scale



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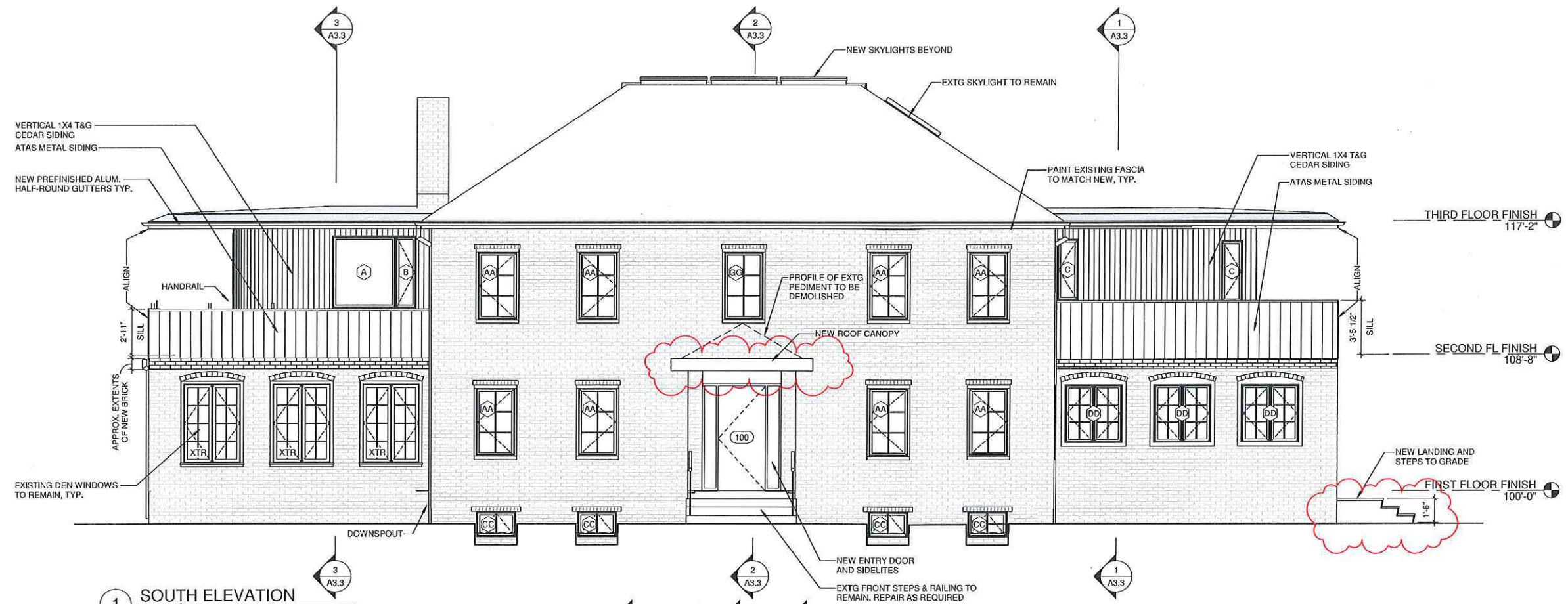


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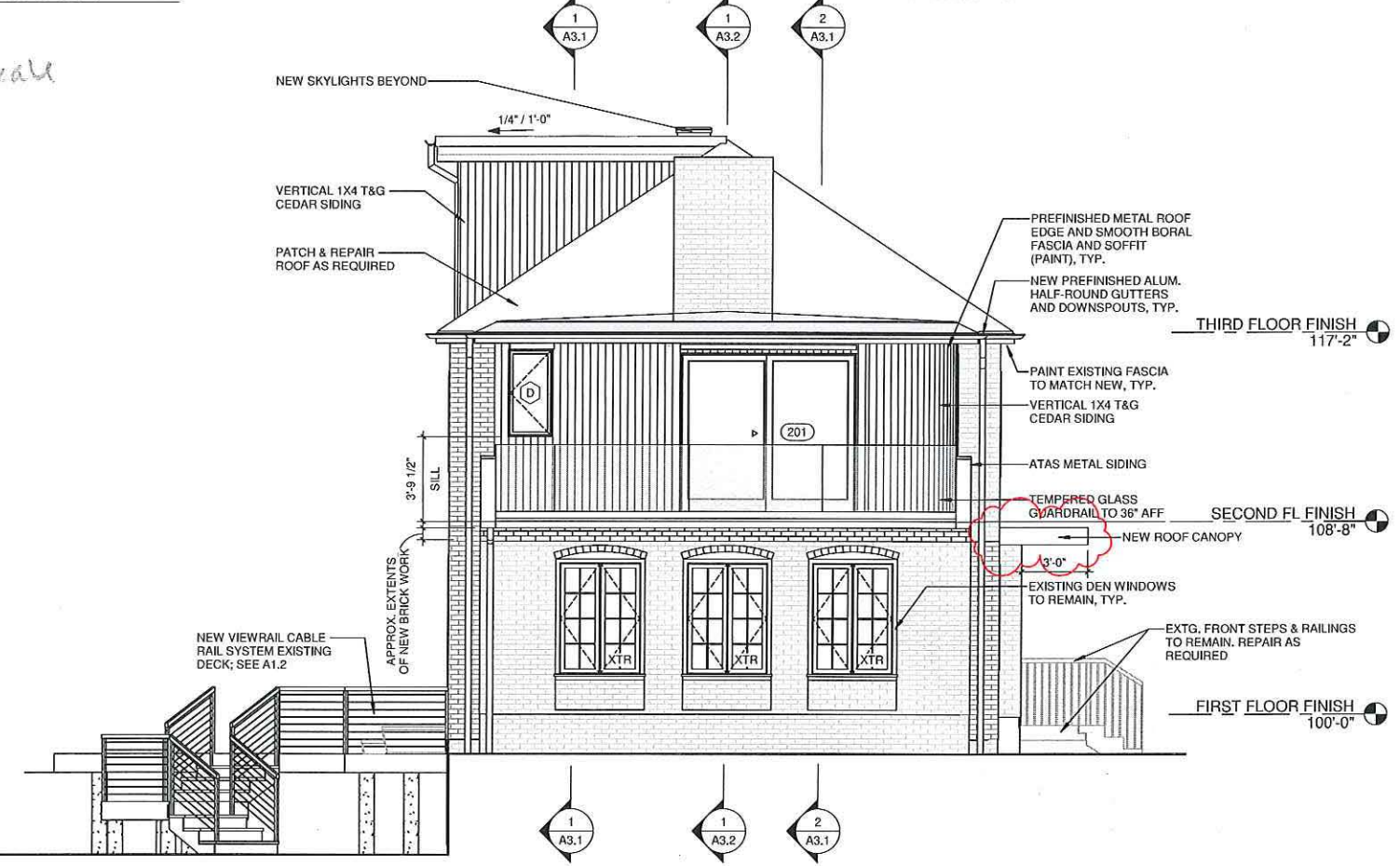
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SCALE: 1/4" = 1'-0"

A2.1



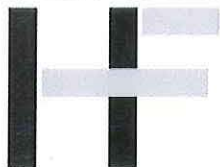
1 SOUTH ELEVATION
 Scale: 1/4" = 1'-0"
1/8" scale



2 WEST ELEVATION
 Scale: 1/4" = 1'-0"
1/8" scale

ELEVATION LEGEND

	METAL SIDING
	VERTICAL WOOD SIDING
	BRICK WORK
	GLASS GUARDRAIL



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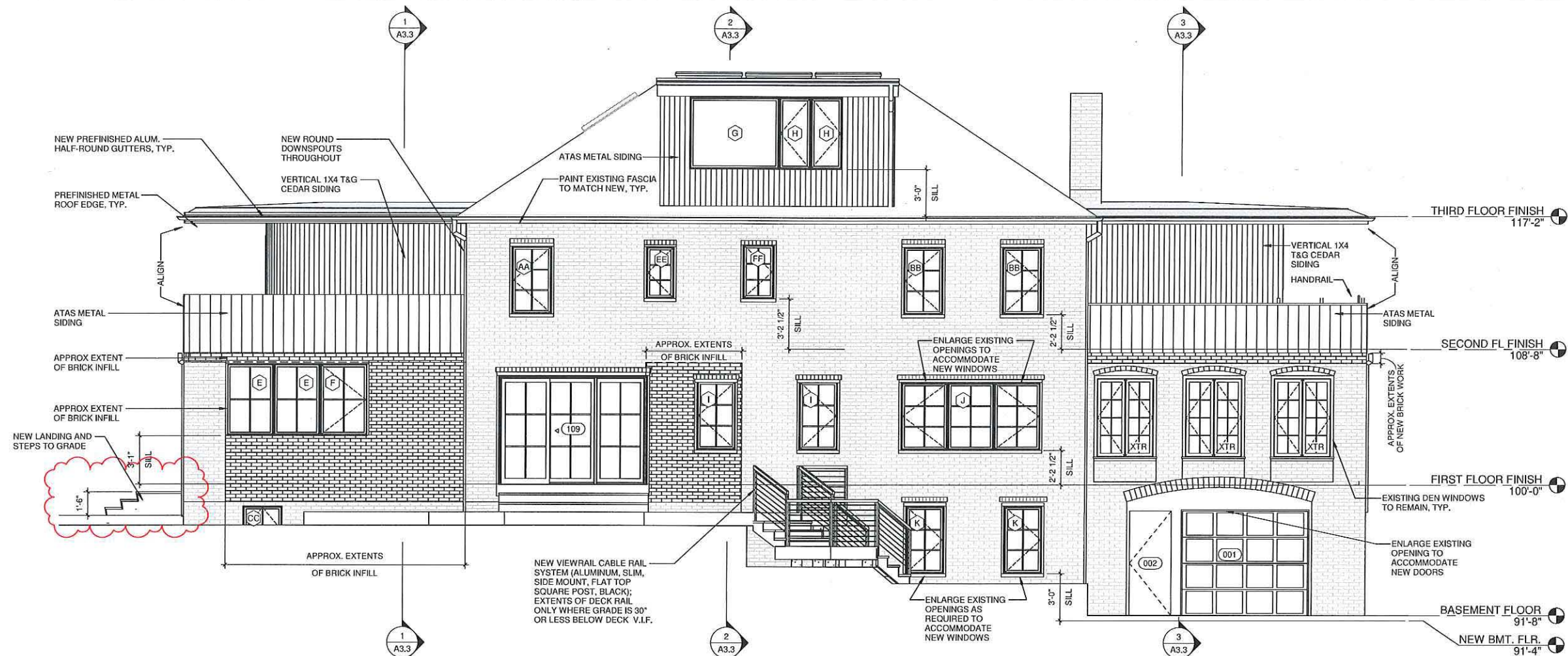


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PERMIT SET	2021. 6.23
ADDENDUM	2021. 08. 16
BZA APPLICATION	2021. 09. 09

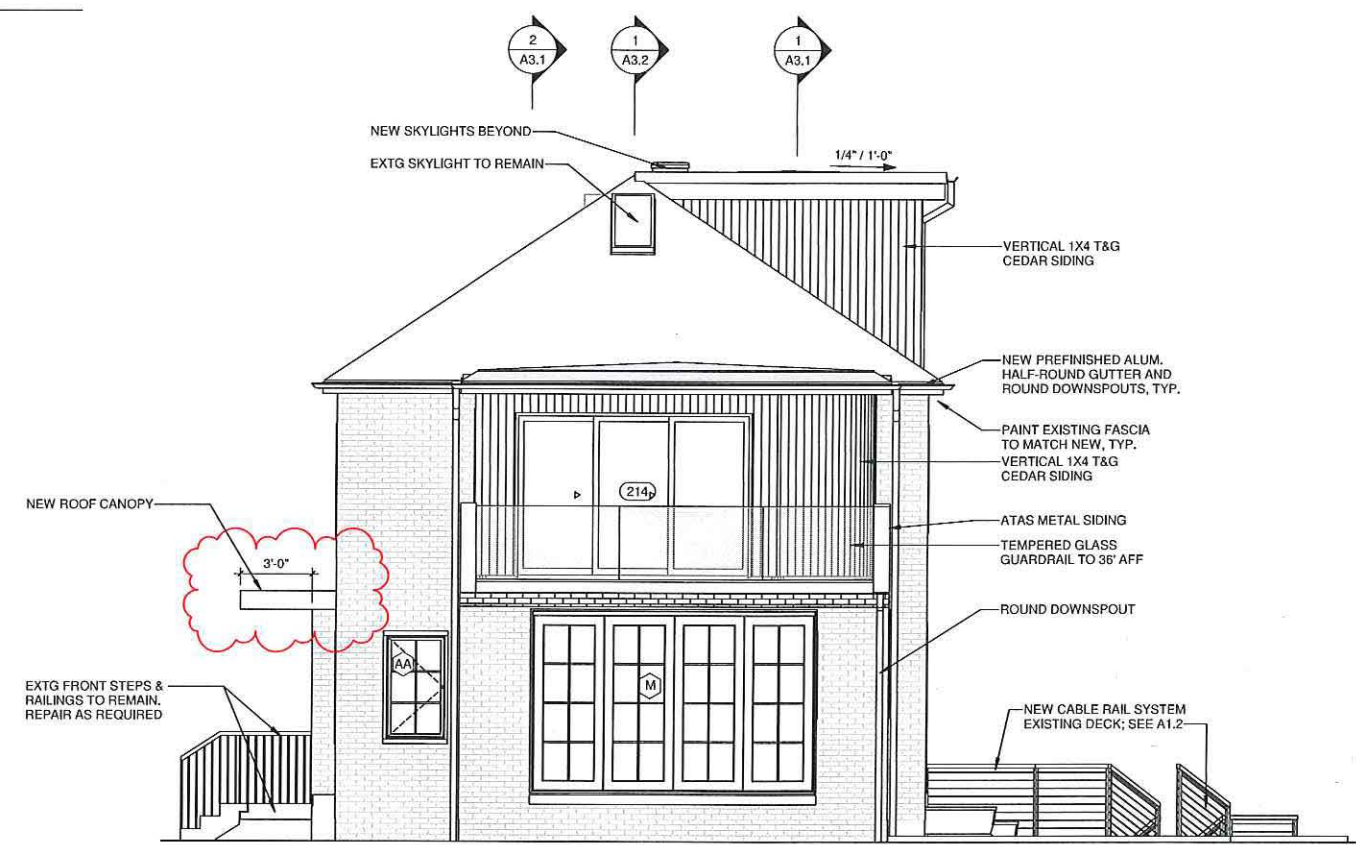
DRAWING: EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

A2.2



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"
1/8" scale



2 EAST ELEVATION
Scale: 1/4" = 1'-0"
1/8" scale

ELEVATION LEGEND	
	METAL SIDING
	VERTICAL WOOD SIDING
	BRICK WORK
	GLASS GUARDRAIL





Steps to grade

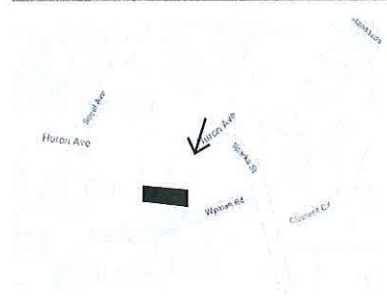


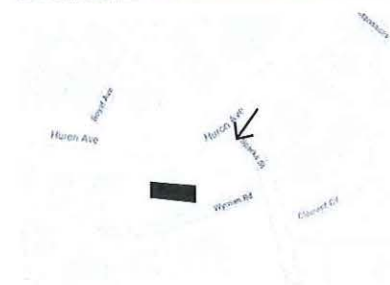


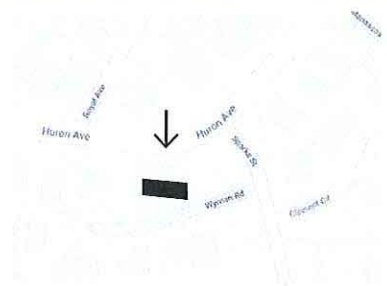












Pacheco, Maria

From: Colin Flavin <cflavin@flavinarchitects.com>
Sent: Thursday, October 21, 2021 6:30 PM
To: Pacheco, Maria
Subject: 4 Wyman Road BZA-144641

Maria Pacheco
City of Cambridge
Zoning Board of Appeal
831 Mass Avenue, Cambridge, MA

RE: Board of Appeal (BZA) Special Permit/Variance #144641

Dear Maria,

I reside at 6 Wyman Road, Cambridge, MA, across the street from Josh and Liza's home at 4 Wyman Road. I have reviewed the plans for the home's renovation prepared by Hisel Flynn Architects. I write in support of the overall design in general and in particular for their requests for a new landing at the the kitchen door and a new canopy/overhang at the front door. These improvements are attractive, in keeping with the neighborhood, and will add to the functionality of the home.

Please confirm that you have received my letter of support and will submit it at the hearing Thursday November 4, 2021.

Best Regards, Colin

Colin Flavin, AIA
Founding Principal

flavin

ARCHITECTS

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