



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

BZA Application Form

BZA Number: 204623

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Joshua Resnick and Elizabeth Oliver C/O Hisel Flynn Architects

PETITIONER'S ADDRESS: 17 Waltham Street, Lexington, MA 02421

LOCATION OF PROPERTY: 4 Wyman Rd., Cambridge, MA

TYPE OF OCCUPANCY: Residential (Single Family)

ZONING DISTRICT: Residence A-2 Zone

REASON FOR PETITION:

/Rebuild / Enlarge Existing Deck/

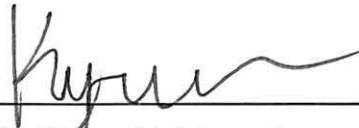
DESCRIPTION OF PETITIONER'S PROPOSAL:

The homeowners would like to reconstruct and enlarge their existing nonconforming back deck, which is at ground level and behind a brick wall

SECTIONS OF ZONING ORDINANCE CITED:

Article: 8.000	Section: 8.22.2.d & Sec. 8.22.2.c (Non-Conforming Structure).
Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 10.000	Section: 10.40 (Special Permit).

Original
Signature(s):


(Petitioner (s) / Owner)

KATIE FLYNN

(Print Name)

Address:

Tel. No.

9142828432

E-Mail Address:

katie@hiselflynn.com

Date:

BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to
The Secretary of the Board of Zoning Appeals.

I/We Elizabeth Oliver & Joshua Resnick
(OWNER)

Address: 4 Wyman Road

State that I/We own the property located at 4 Wyman Rd.,
which is the subject of this zoning application.

The record title of this property is in the name of Elizabeth Oliver
and Joshua Resnick

*Pursuant to a deed of duly recorded in the date 06/18/2020 Middlesex South
County Registry of Deeds at Book 74917, Page 56; or

Middlesex Registry District of Land Court, Certificate No. _____
Book _____ Page _____.


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

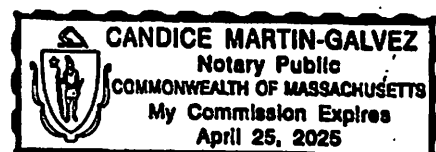
*Written evidence of Agent's standing to represent petitioner may be requested.

Commonwealth of Massachusetts, County of Suffolk

The above-name Elizabeth Oliver and Joshua Resnick personally appeared before me,
this 6th of December, 2022, and made oath that the above statement is true.

Cheryl Notary
My commission expires April 25, 2022 (Notary Seal).

- If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 4 Wyman Rd , Cambridge, MA (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

We are seeking relief to reconstruct and enlarge an existing non-conforming rear deck. The reconstructed and enlarged deck will be at the same elevation as the existing deck, approximately 2' above grade at ground level.

B) Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

There is no change in use, therefore traffic will be unaffected

C) The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

This request will have no impact on adjacent development

D) Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

This request will not present a nuisance or hazard nor will there be any health, safety or welfare impacts as a result of these requests

E) For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

This request will enhance the character and value of the existing home. They will increase the safety of the home and its occupants / visitors by providing a solid, new deck at the rear means of egress

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form**DIMENSIONAL INFORMATION**

Applicant: Joshua Resnick and Elizabeth Oliver
Location: 4 Wyman Rd., Cambridge, MA
Phone: 9142828432

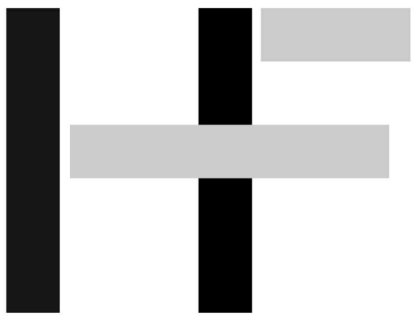
Present Use/Occupancy: Residential (Single Family)
Zone: Residence A-2 Zone
Requested Use/Occupancy: Residential (Single Family)

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		3756.5	3756.5	3930	(max.)
<u>LOT AREA:</u>		7860	7860	6000	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.48	.48	.5	
<u>LOT AREA OF EACH DWELLING UNIT</u>		7860	7860	4500	
<u>SIZE OF LOT:</u>	WIDTH	167 (Wyman Frontage approx.)	167 (Wyman Frontage approx.; no change)	65	
	DEPTH	65 (Approx. average)	65 (Approx. average; no change)	?	
<u>SETBACKS IN FEET:</u>	FRONT	9.4' (minimum)	9.4' (minimum)	20	
	REAR	N/A (triangular lot)	N/A (triangular lot)	N/A (triangular lot)	
	LEFT SIDE	10'	10'	10'	
	RIGHT SIDE	N/A (triangular lot)	N/A (triangular lot)	N/A (triangular lot)	
<u>SIZE OF BUILDING:</u>	HEIGHT	28'-6"	29'	35'	
	WIDTH	29'-11"	25'-8.5" (3' deep front door overhang not included)	?	
	LENGTH	75'-6.5"	75'-6.5"	?	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		Existing to remain (no change)	Existing to remain (no change)	50%	
<u>NO. OF DWELLING UNITS:</u>		1	1	1	
<u>NO. OF PARKING SPACES:</u>		2	2	1	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		N/A	N/A	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

This is the only structure on the lot

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

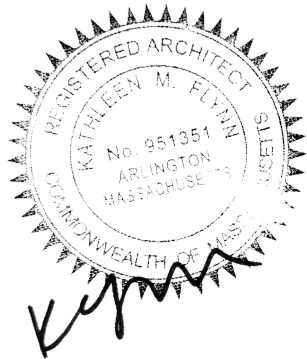


Hisel Flynn Architects
17 Waltham Street, 2nd Floor
Lexington, MA 02421
617-588-9764

4 WYMAN
DECK REBUILD

LIZA OLIVER AND
JOSH RESNICK
4 WYMAN ROAD
CAMBRIDGE, MA

STRUCTURAL ENGINEER:
WELCH ENGINEERING
SERVICES LLC
823 East Fifth Street #2
South Boston, MA
jack@welchengineeringllc.com

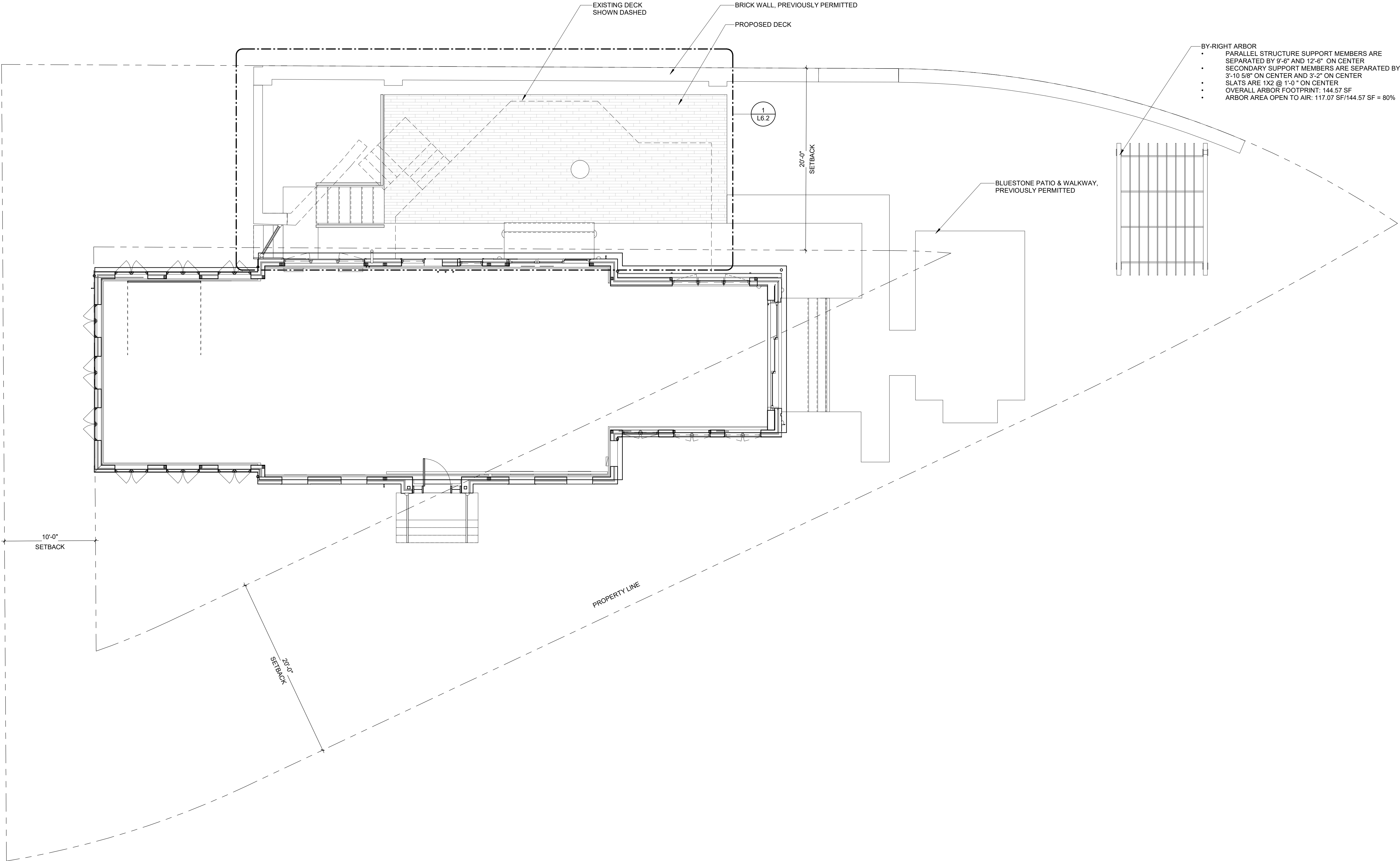


ISSUE:	DATE:
DECK PERMIT	2022.12.02

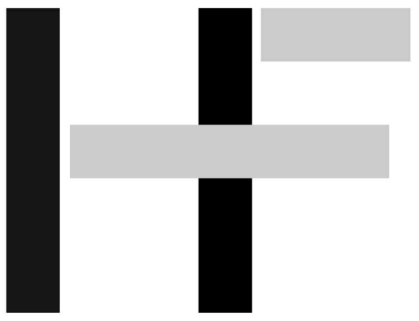
DRAWING: PROPOSED SITE PLAN

SCALE: 3/16" = 1'-0"

L6.1



1 PROPOSED SITE PLAN
Scale: 3/16" = 1'-0"



Hisel Flynn Architects
17 Waltham Street, 2nd Floor
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4 WYMAN DECK REBUILD

LIZA OLIVER AND
JOSH RESNICK
4 WYMAN ROAD
CAMBRIDGE, MA

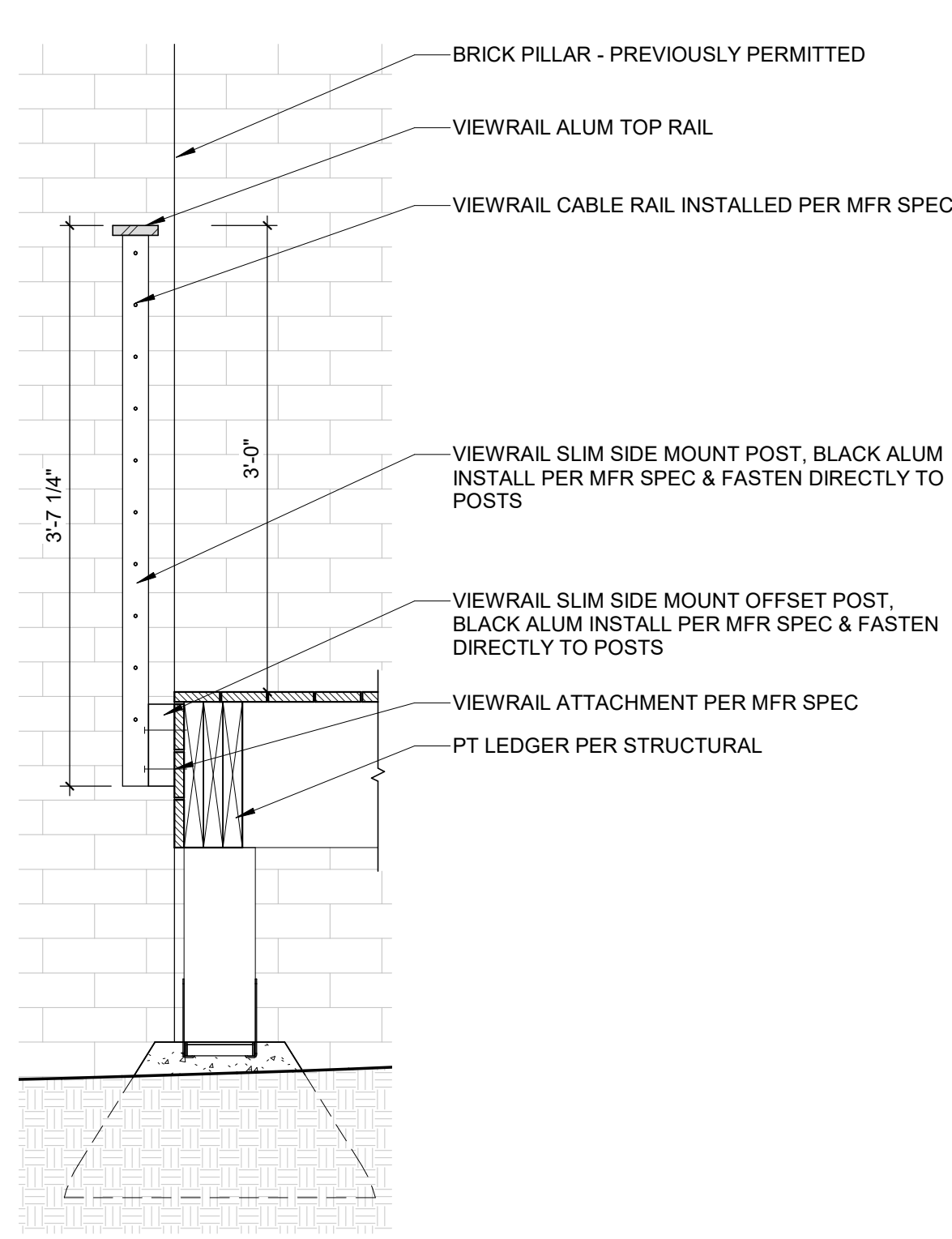
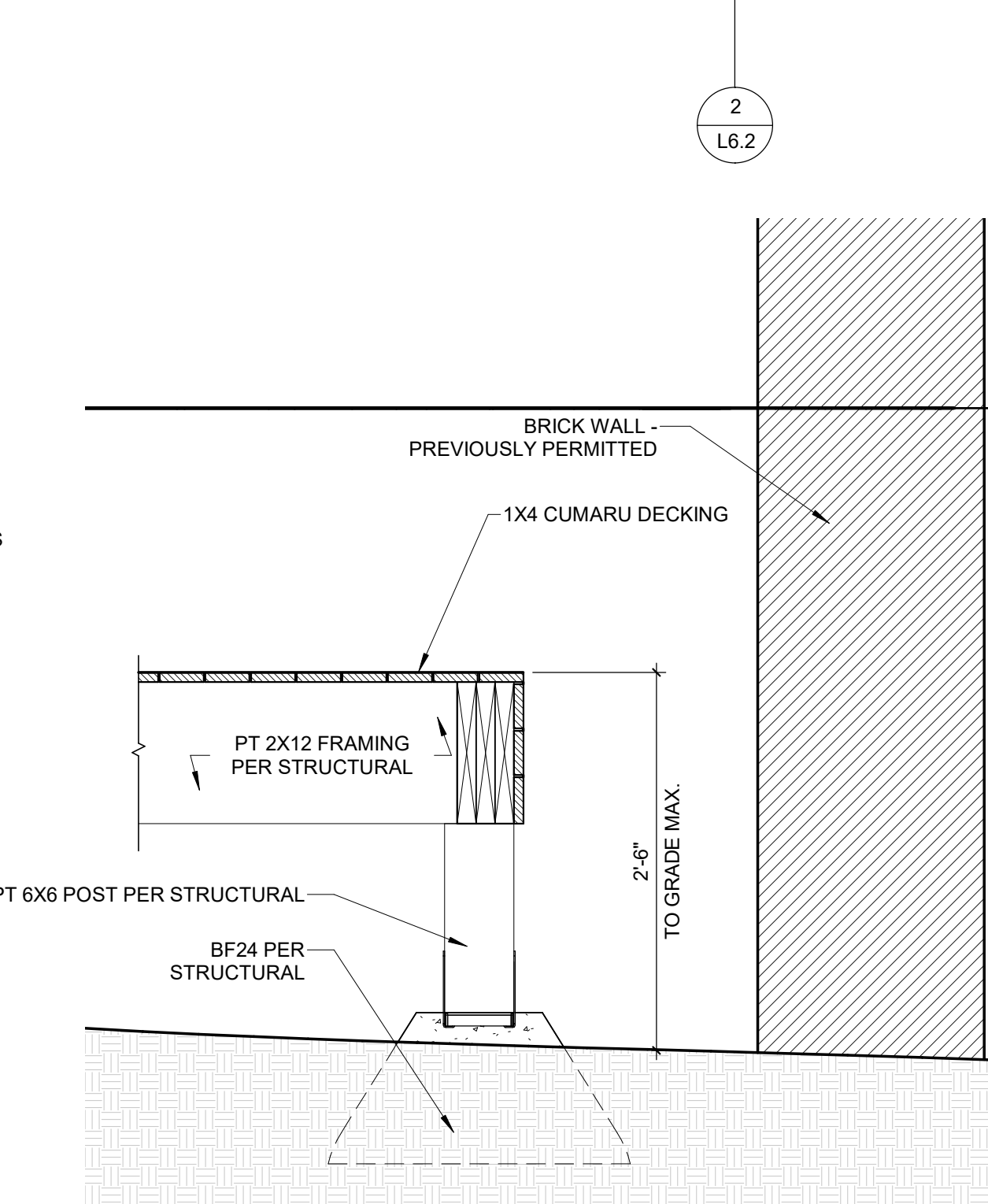
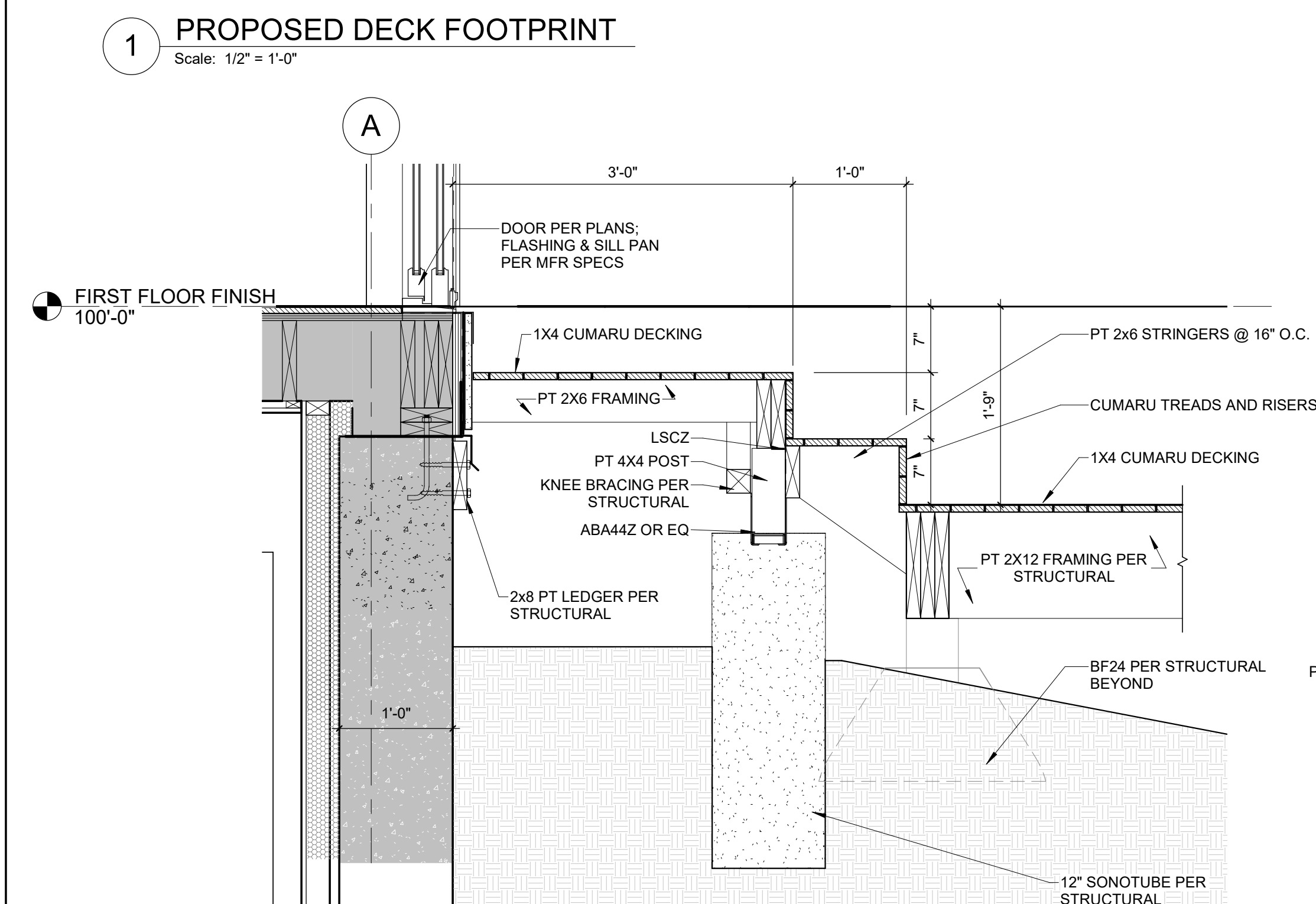
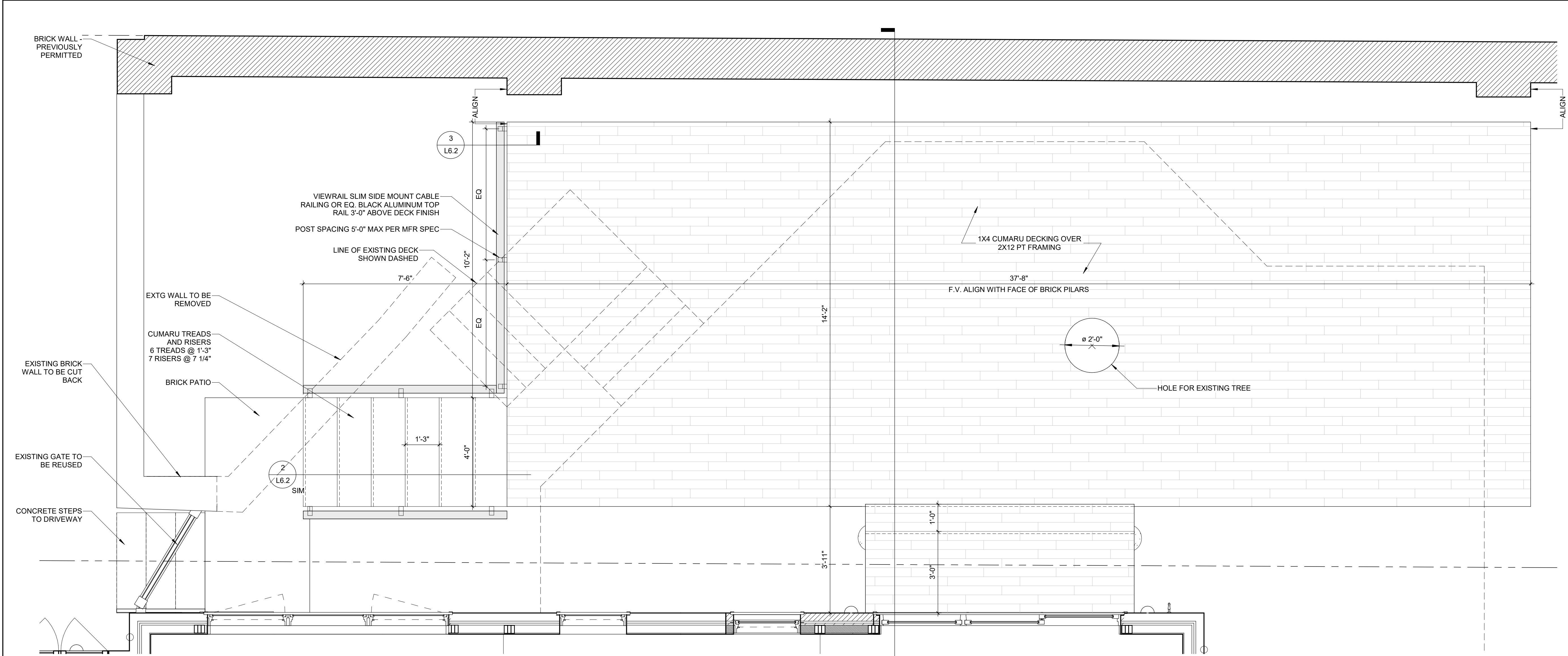
STRUCTURAL ENGINEER:
WELCH ENGINEERING
SERVICES LLC
823 East Fifth Street #2
South Boston, MA
jack@welchengineeringllc.com

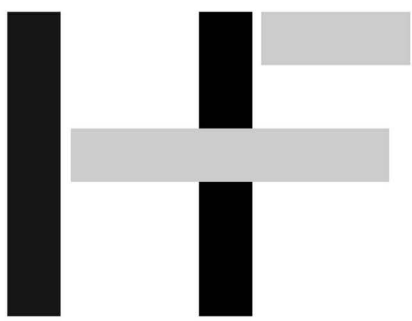
ISSUE:	DATE:
DECK PERMIT	2022.12.02

DRAWING: PROPOSED DECK

SCALE: As indicated

L6.2





Hisel Flynn Architects
17 Waltham Street, 2nd Floor
Lexington, MA 02421
617-588-9764

4 WYMAN
DECK REBUILD

LIZA OLIVER AND
JOSH RESNICK
4 WYMAN ROAD
CAMBRIDGE, MA

STRUCTURAL ENGINEER:
WELCH ENGINEERING
SERVICES LLC
823 East Fifth Street #2
South Boston, MA
jack@welchengineeringllc.com

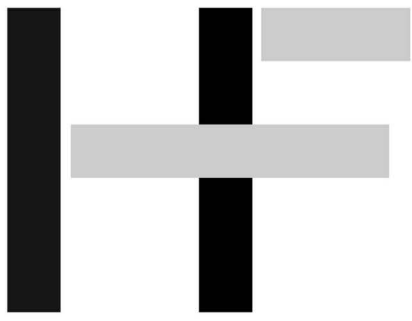


ISSUE:	DATE:
DECK PERMIT	2022.12.02

DRAWING: PROPOSED
ELEVATIONS

SCALE:

L6.3



Hisel Flynn Architects
17 Waltham Street, 2nd Floor
Lexington, MA 02421
617-588-9764

4 WYMAN
DECK REBUILD

LIZA OLIVER AND
JOSH RESNICK
4 WYMAN ROAD
CAMBRIDGE, MA

STRUCTURAL ENGINEER:
WELCH ENGINEERING
SERVICES LLC
823 East Fifth Street #2
South Boston, MA
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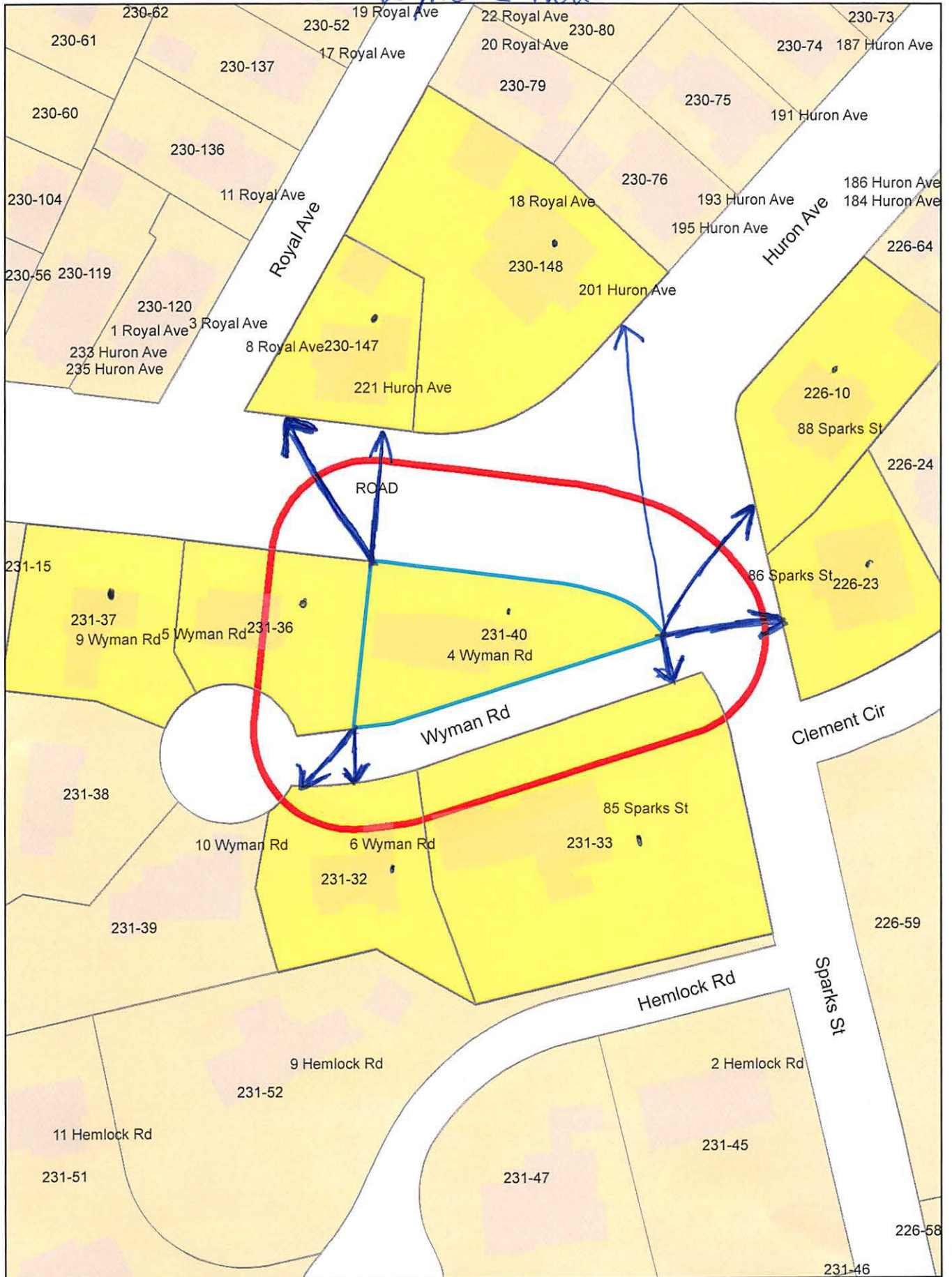
ISSUE:	DATE:
DECK PERMIT	2022 12 02

DRAWING: EXISTING
PHOTOGRAPHS

SCALE:

L6.4

4 Wyman Road



4 Wyman Rd .

231-37
SOLLORS, WERNER & ALIDE CAGIDEMETRIO
9 WYMAN RD
CAMBRIDGE, MA 02138

230-147
TIERNEY, SHEILA L.
8 ROYAL AVENUE
CAMBRIDGE, MA 02138

Petitioners
HISEL FLYNN ARCHITECTS
C/O KATHLEEN FLYNN
17 WALTHAM STREET
LEXINGTON, MA 02421

226-10
HUTCHISON, JAMES M. & JANE D EHRLICH
88 SPARKS ST
CAMBRIDGE, MA 02138-2216

226-23
METZER, PATRICIA ANN
86 SPARKS STREET
CAMBRIDGE, MA 02138

231-40
RESNICK JOSHUA OLIVER ELIZABETH LEE
4 WYMAN RD
CAMBRIDGE, MA 02138

231-32
RAPPAPORT NANCY & COLIN FLAVIN CO
TRS NANCY RAPPAPORT 2002 TR
6 WYMAN RD
CAMBRIDGE, MA 02138

230-148
LLOYD GEORGE W
TRS THE GEORGE W LLOYD REVOCABLE TR
201 HURON AVE
CAMBRIDGE, MA 02138

231-36
COHN, DANIEL C
TRS YUNE Z. KUNES TRS
5 WYMAN RD
CAMBRIDGE, MA 02138

231-33
85 SPARKS ST LLC
320 PAANI PL #6A
PAIA, HI 96779

Pacheco, Maria

From: Daniel C. Cohn <dcohn@murthalaw.com>
Sent: Sunday, January 15, 2023 4:13 PM
To: Pacheco, Maria
Subject: 4 Wyman Road - Appeal

To the Cambridge Board of Zoning Appeal:

We write in strong support of the application of Josh Resnick and Liza Oliver for zoning relief at 4 Wyman Rd.

We reside at 5 Wyman Rd. We are the direct abutters and share both the Wyman Road and Huron Avenue frontage of 4 Wyman. We are the property owners most affected by the proposed deck. It has our full endorsement and support.

We recognize that due to the unusual shape of the lot there is minimal area for a finished outside deck within a conforming footprint and support the application to rebuild and modestly increase the size of the deck. We note that the deck will be behind a brick wall that is well above eye-level, and so will be invisible from either Huron Avenue or Wyman Road, and so will have no impact on the neighborhood in terms of visible structures.

As neighbors on the Wyman Road cul-de-sac, we recognize the value of having outdoor space where friends, family and neighbors can congregate. As property owners, we believe the proposed deck will not only improve the 4 Wyman Road property, but its beauty and utility will tend to increase values throughout the neighborhood.

Finally, we know that Josh and Liza, like us, are concerned about the health of the large, mature trees on their property. A deck - which allows for normal ground water permeability - is far healthier for the soil than a ground patio. And yet a ground patio in this case is by right whereas a deck requires this variance. We appreciate that Josh and Liza are pursuing a deck instead of a ground level patio - despite the higher expense of the deck - in large part to preserve the health of the trees on the property.

For all these reasons, we urge the BZA to grant their appeal. If you have any questions, feel free to contact us by email or at the address below. Many thanks for considering our views.

Dan Cohn and Yune Kunes

5 Wyman Road
Cambridge, MA 02138



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: William Finley Date: 1/12/2023
(Print)

Address: 4 Wyman Road

Case No. BZA-204623

Hearing Date: 1/26/23

Thank you,
Bza Members