

# **CITY OF CAMBRIDGE**

# BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

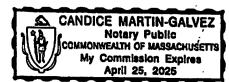
		BZA App	<u>lication Form</u>			
BZA Number: 20	4623				0	
		Genera	al Information		2022 DEC	
The undersigned	nereby petitions t	he Board of Zoning	Appeal for the following	ing:		
Special Permit: _	X	Variance:	_	Appeal:	22 AM IO: C	3
PETITIONER: Jo	shua Resnick an	d Elizabeth Oliver C	C/O Hisel Flynn Archit	<u>ects</u>	O: 05	
PETITIONER'S A	DDRESS: 17 Wa	Itham Street, Lexing	gton, MA 02421		S	
LOCATION OF P	ROPERTY: <u>4 Wy</u>	man Rd , Cambrid	g <u>e, MA</u>			
TYPE OF OCCUP	PANCY: Resident	ial (Single Family)	ZONING DISTRIC	CT: Residence	ce A-2 Zone	
REASON FOR PE	ETITION:					
/Rebuild / Enlarg	e Existing Deck/					
DESCRIPTION	OF PETITIONE	R'S PROPOSAL:				
The homeowners level and behind a		onstruct and enlarge	e their existing nonco	nforming bac	k deck, which is	at ground
SECTIONS OF Z	ONING ORDINAN	ICE CITED:				
Article: 8.000 Article: 5.000 Article: 10.000		able of Dimensiona	Non-Conforming Struct I Requirements).	cture).		
		Original Signature(s):	KATIE	Petitioher (s)	12	_
Date:		Address: Tel. No. E-Mail Address:	9142828432 katie@hiselflynn.com	(Print Na	me)	

### BZA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed before a notary and returned to The Secretary of the Board of Zoning Appeals.

I/We Elizabeth Oliver & Josho Resnick				
Address: 4 Nyman Road				
State that I/We own the property located at 4 Wyman Rd.				
which is the subject of this zoning application.				
The record title of this property is in the name of Elizabeth Oliver				
*Pursuant to a deed of duly recorded in the date 06/15/2020 Middlesex South County Registry of Deeds at Book 749/7, Page 56; or				
Middlesex Registry District of Land Court, Certificate No.				
Book Page				
SIGNATURE BY LAND OWNER OR AUTHORIZED TRUSTEE, OFFICER OR AGENT*				
*Written evidence of Agent's standing to represent petitioner may be requested.				
Commonwealth of Massachusetts, County of				
The above-name Elizabeth Olun and Italian photosophics appeared before me, this the of December, 2022, and made oath that the above statement is true.				
My commission expires April 25,2022 (Notary Seal).				

 If ownership is not shown in recorded deed, e.g. if by court order, recent deed, or inheritance, please include documentation.



## **BZA Application Form**

### SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for <u>4 Wyman Rd</u>, <u>Cambridge</u>, <u>MA</u> (location) would not be a detriment to the public interest because:

A) Requirements of the Ordinance can or will be met for the following reasons:

We are seeking relief to reconstruct and enlarge an existing non-conforming rear deck. The reconstructed and enlarged deck will be at the same elevation as the existing deck, approximately 2' above grade at ground level.

Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

There is no change in use, therefore traffic will be unaffected

The continued operation of or the development of adjacent uses as permitted in the Zoning

Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

This request will have no impact on adjacent development

Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

This request will not present a nuisance or hazard nor will there be any health, safety or welfare impacts as a result of these requests

For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

Theis request will enhance the character and value of the existing home. They will increase the safety of the home and its occupants / visitors by providing a solid, new deck at the rear means of egress

\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.

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12/20/22, 10:29 AM about:blank

# **BZA Application Form**

### **DIMENSIONAL INFORMATION**

 Applicant:
 Joshua Resnick and Elizabeth Oliver
 Present Use/Occupancy: Residential (Single Family)

Location: 4 Wyman Rd , Cambridge, MA Zone: Residence A-2 Zone

Phone: 9142828432 Requested Use/Occupancy: Residential (Single Family)

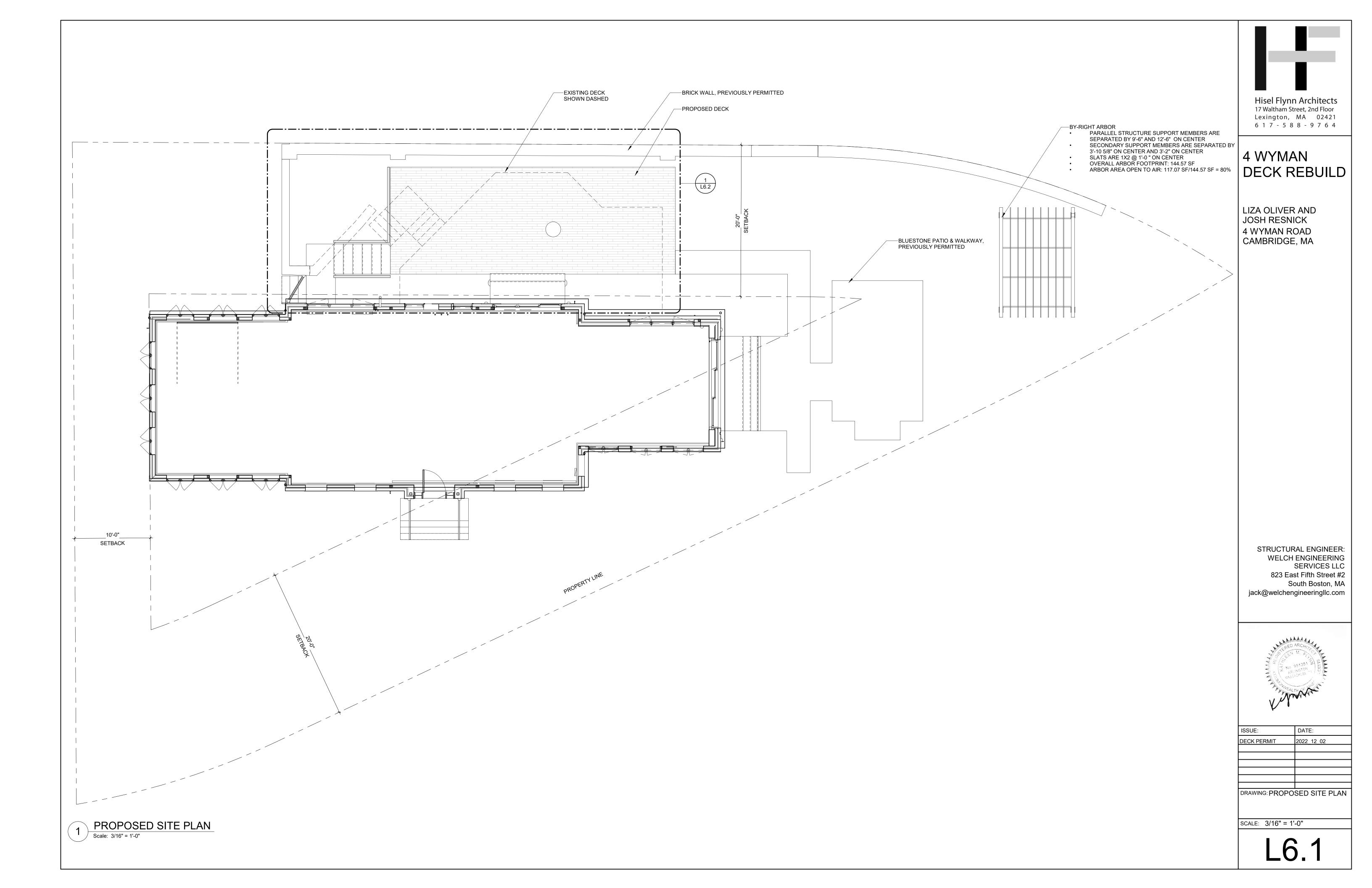
		Existing Conditions	Requested Conditions	Ordinance Requirements	
TOTAL GROSS FLOOR AREA:		3756.5	3756.5	3930	(max.)
LOT AREA:		7860	7860	6000	(min.)
RATIO OF GROSS FLOOR AREA TO LOT AREA: <sup>2</sup>		.48	.48	.5	
LOT AREA OF EACH DWELLING UNIT		7860	7860	4500	
SIZE OF LOT:	WIDTH	167 (Wyman Frontage approx.)	167 (Wyman Frontage approx.; no change)	65	
	DEPTH	65 (Approx. average)	65 (Approx. average; no change)	?	
SETBACKS IN FEET:	FRONT	9.4' (minimum)	9.4' (minimum)	20	
	REAR	N/A (triangular lot)	N/A (triangular lot)	N/A (triangular lot)	
	LEFT SIDE	10'	10'	10'	
	RIGHT SIDE	N/A (triangular lot)	N/A (triangular lot)	 N/A (triangular lot)	
SIZE OF BUILDING:	HEIGHT	28'-6"	29'	35'	
	WIDTH	29'-11"	25'-8.5" (3' deep front door overhang not included)	?	
	LENGTH	75'-6.5"	75'-6.5"	?	
RATIO OF USABLE OPEN SPACE TO LOT AREA:		Existing to remain (no change)	Existing to remain (no change)	50%	
NO. OF DWELLING UNITS:		1	1	1	
NO. OF PARKING SPACES:		2	2	1	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BLDG. ON SAME LOT		N/A	N/A	N/A	

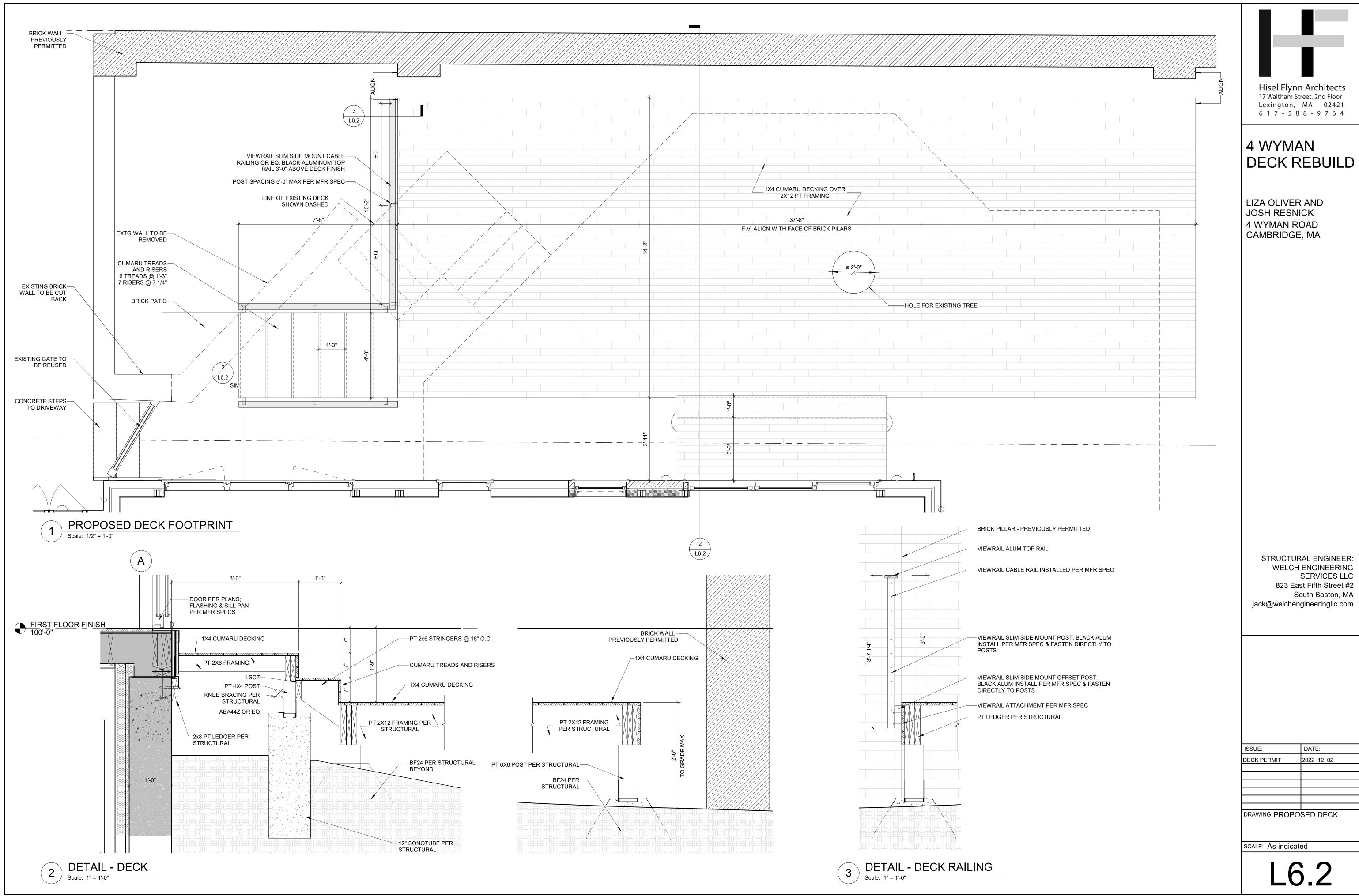
Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

This is the only structure on the lot

- 1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
- 2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
- 3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

about:blank 2/3





Hisel Flynn Architects Lexington, MA 02421

STRUCTURAL ENGINEER: WELCH ENGINEERING SERVICES LLC 823 East Fifth Street #2 South Boston, MA jack@welchengineeringllc.com

WHERE STRUCTURAL ELEMENTS ARE NOT DEFINED ON THE CONTRACT DOCUMENTS, THEY SHALL BE PROVIDED AS PER THE MINIMUM PRESCRIPTIVE REQUIREMENTS OF THE GOVERNING BUILDING CODE.
 ALL EXISTING FRAMING CONDITIONS SHOWN ON THE CONTRACT DRAWINGS ARE ASSUMED BASED UPON LIMITED

CONFIRM ALL FRAMING ASSUMPTIONS MADE ON THESE DRAWINGS PRIOR TO CONSTRUCTION.

DIMENSIONS AND ELEVATIONS INDICATED ON EXISTING STRUCTURES HAVE BEEN OBTAINED FROM DRAWINGS OR FIELD OBSERVATIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS THAT ARE REQUIRED FOR EARDICATION AND INSTALL ATION OF ADDITIONS TO EXISTING STRUCTURES WITH FIELD MEASUREMENTS.

ACCESS TO THE STRUCTURAL FRAMING AT THE TIME OF DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE TO

FABRICATION AND INSTALLATION OF ADDITIONS TO EXISTING STRUCTURES WITH FIELD MEASUREMENTS.

7. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION. MISSING OR CONFLICTING DIMENSIONS SHALL

. UNLESS NOTED OTHERWISE, DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL

CONSTRUCTION PROCEDURES, SHORING, BRACING, MEANS, METHODS AND SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR DOING THE WORK. THE CONTRACT DRAWINGS ARE REPRESENTATIVE OF THE COMPLETE STRUCTURAL SYSTEM.

THE CONTRACTOR SHALL IDENTIFY TO THE ARCHITECT/ENGINEER ANY EXISTING FRAMING CONDITIONS ENCOUNTERED THOUGH THE COURSE OF WORK THAT APPEAR UNSOUND. THESE CONDITIONS SHALL BE REPAIRED TO THE SATISFACTION OF THE ARCHITECT/ENGINEER AND AT MINIMUM MEET CODE STANDARDS AS PART OF THE WORK. CONDITIONS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

A. UNSUPPORTED JOISTS OR BEAMS

BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

DAMAGED JOISTS OR BEAMS
 EXCESSIVE NOTCHING IN A JOIST OR BEAM
 ELICITEDIAN ED POSTO AVITABLE POSTO

D. FLUSH FRAMED JOISTS WITHOUT JOIST HANGERSE. DAMAGED OR MISSING SUBLFOOR SHEATHING

DAMAGED OR MISSING LOAD BEARING STUDS/POSTS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE

# DESIGN LOADS

DEAD LOADS:
 A) FLOOR DEAD LOAD 10 PSF

2. LIVE LOADS: A) DECK

3. SNOW LOADS:
A) GROUND SNOW LOAD (p,) 40 PSF

A) GROUND SNOW LOAD  $(p_g)$ 

B) STAIRS

4. WIND LOADS:

A) BASIC WIND SPEED (V<sub>ul</sub>) 128 MPH

B) EXPOSURE CATEGORY B

# FOUNDATION

1. FOUNDATION DESIGNS ARE BASED UPON THE FOLLOWING PRESUMPTIVE SOIL PARAMETERS

A) BEARING CAPACITY 2000 PSF (IRC TABLE 401.4.1)
B) ACTIVE EARTH PRESSURE 40 PCF

c) AT-REST EARTH PRESSURE 401 CF

2. ALL PRESUMPTIVE SOIL DESIGN PARAMETERS ASSUMED ON THE CONTRACT DRAWINGS SHALL BE CONFIRMED IN THE FIELD BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS (OR THE LOCAL BUILDING OFFICIAL) PRIOR TO CONSTRUCTION OF ANY FOOTINGS WITHIN EXCAVATIONS. STRUCTURAL FILL SHALL ONLY BE PLACED UPON UNDISTURBED MATERIAL CONFORMING TO THE REQUIRED MINIMUM BEARING CAPACITY.

40 PSF (300 LB OVER 4 SQ. IN.)

3. BOTTOM OF FOOTING ELEVATIONS SHOWN ON CONTRACT DRAWINGS ARE MINIMUM DEPTHS AND ARE NOT TO BE CONSTRUED AS LIMITING IN ANY WAY THE AMOUNT OF EXCAVATION REQUIRED TO REACH GOOD BEARING. NO FOOTING ELEVATIONS SHALL BE ADJUSTED WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT/ENGINEER.

4. IF LEDGE OR ROCK ARE ENCOUNTERED DURING EXCAVATION, IT SHALL BE OVER EXCAVATED A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF PROPOSED FOOTINGS. COMPACTED STRUCTURAL FILL SHALL BE PROVIDED AS A BACKFILL ABOVE LEDGE OR ROCK AS NECESSARY TO MEET THE PROPOSED BOTTOM OF FOOTING ELEVATIONS. FOOTINGS ARE NOT PERMITTED TO TRANSITION FROM SOIL BEARING TO LEDGE BEARING WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT/FNGINEFR

D) NO FOOTING SHALL BE PLACED IN WATER, ON FROZEN GROUND, OR ON DISTURBED GROUND.

10-50

0-10

S. STRUCTURAL FILL SHALL BE DEFINED AS FILL MATERIAL USED TO SUPPORT BUILDING FOUNDATIONS AND SLABS. WHERE STRUCTURAL FILL IN EXCESS OF 12" IS REQUIRED TO ACHIEVE DESIGN FOOTING ELEVATIONS, A PROFESSIONAL GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS SHALL DESIGN, OBSERVE INSTALLATION OF AND TEST THE STRUCTURAL FILL IN ACCORDANCE WITH THE IRC. STRUCTURAL FILL SHALL CONSIST OF WELL GRADED SAND AND GRAVEL AND GRAVELY SAND, FREE FROM ICE, SNOW, ROOTS, SOD, RUBBISH, AND OTHER DELETERIOUS OR ORGANIC MATTER, AND SHALL CONFORM TO THE FOLLOWING MATERIAL GRADATION SPECIFICATION UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER:

SIEVE SIZE PERCENT FINER BY WEIGHT 2/3 LOOSE LIFT THICNKESS 100 NO. 4 30-95

WOOD CONSTRUCTION

FLOOR FRAMING

NO. 40

NO. 200

1. ALL WOOD SHALL BE PRE-DRILLED PRIOR TO INSTALLATION OF BOLTS OR LAGS.

2. PROVIDE STANDARD JOIST HANGERS ON ALL JOIST ENDS AND BEAMS ENDS THAT DO NOT BEAR DIRECTLY ON WALLS OR BEAMS. UNLESS OTHERWISE NOTED ON THE PLAN, PROVIDE MINIMUM HANGER TYPES AS FOLLOWS:

A) NOMINAL 2x JOISTS U/HU
B) NOMINAL BUILT-UP 2x BEAMS LUS/HUS
C) STRUCTURAL COMPOSITE LUMBER (LVL/PSL) HUS/HHUS/HGUS
D) RAFTERS LSU/LSSU

3. ALL WOOD FRAMING SHALL BE FASTENED IN ACCORDANCE WITH THE FASTENING SCHEDULE IN TABLE R602.3(1) OF THE IRC OR AS INDICATED IN THE CONTRACT DRAWINGS, THE MORE STRINGENT SHALL APPLY. NAILS FASTENING SHEATHING TO SUPPORTING MEMBERS SHALL BE DRIVEN SO THAT THE NAIL HEAD IS FLUSH WITH THE SHEATHING SURFACE.

4. ALL 2x JOISTS SHALL BE PROVIDED WITH ONE LINE OF BRIDGING FOR EACH 8 FEET OF SPAN. BRIDGING SHALL CONSISTS OF METAL CROSS, WOOD CROSS (1x3 MINIMUM), OR 2x SOLID BLOCKING OF EQUAL DEPTH TO THE JOIST.

5. CUTTING AND NOTCHING SHALL BE AVOIDED WHEREVER POSSIBLE. WHEN ABSOLUTELY NECESSARY, CUTTING AND NOTCHING OF STRUCTURAL FRAMING AND LOAD BEARING ASSEMBLIES SHALL BE LIMITED BY THE PROVISIONS OF THE IRC:

NECESSARILY INDICATE SPECIFIC QUANTITIES OF MATERIALS OR COMPONENTS REQUIRED FOR CONSTRUCTION.

6. ROOF AND FLOOR FRAMING LAYOUTS ARE PROVIDED TO ILLUSTRATE CONDITIONS OF CONSTRUCTION AND DO NOT

R502.8

### WOOD FRAMING

ALL WOOD MEMBER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDED
 PRACTICE OF THE AMERICAN WOOD COUNCIL (AWC) NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).

2. ALL WOOD MEMBERS, ENGINEERED LUMBER, AND PLYWOOD USED IN CONSTRUCTION OF THIS STRUCTURE SHALL BE NEW MATERIAL AND FREE FROM CRACKS, KNOT HOLES, NOTCHES AND OTHER STRUCTURAL DEFICIENCIES.

3. WOOD FRAMING SIZES, VERTICAL FRAMING, HORIZONTAL FRAMING, FIRESTOPS, ANCHORAGE, FURRING AND CONNECTORS NOT SHOWN ON THE CONTRACT DOCUMENTS SHALL BE PER IRC MINIMUM REQUIREMENTS.

4. ALL WOOD USED FOR EXTERIOR CONSTRUCTION OR IN CONTACT WITH CONCRETE (SILL PLATES)
SHALL BE PRESERVATIVE TREATED (PT) LUMBER. WATER-BORNE PRESERVATIVES SHALL BE USED
AND LUMBER SHALL BE TREATED IN ACCORDANCE WITH AWPA U1 AND USE CATEGORY
CONSISTENT WITH THE PROPOSED MEMBER USAGE AS FOLLOWS:

A) UC2: INTERIOR POTENTIALLY DAMP LOCATIONS
B) UC3B: EXTERIOR NOT IN CONTACT WITH GROUND
C) UC4A: EXTERIOR IN CONTACT WITH GROUND

5. ALL FASTENERS AND CONNECTORS IN CONTACT WITH PT LUMBER SHALL BE HOT-DIP, ZINC COATED GALVANIZED STEEL OR STAINLESS STEEL AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

6. ALL WOOD STUDS, JOISTS AND BEAMS SHALL BE MINIMUM #2 HEM-FIR, OR #2 SPRUCE-PINE-FIR (S-P-F), OR BETTER. ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OR AN APPROVED LUMBER TESTING AGENCY IN ACCORDANCE WITH DOC PS-20.

7. ALL JOIST HANGERS, COLUMN CAPS, COLUMN BASES, HOLDOWNS, METAL CONNECTOR PLATES AND OTHER ENGINEERED WOOD CONNECTION PRODUCTS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC. OR AND APPROVED SUBSTITUTE. ALL PRODUCTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.

### CONCRETE ANCHORS

1. ALL ADHESIVE AND MECHANICAL ANCHORS SHALL BE AS MANUFACTURED BY SIMPSON STRONG-TIE OR AN APPROVED EQUAL. ALL SPECIFICATIONS AND RECOMMENDATIONS ARE OUTLINED IN THE SIMPSON "ANCHORING AND FASTENING SYSTEMS" TECHNICAL MANUAL, LATEST EDITION.

2. ALL ADHESIVE AND MECHANICAL ANCHORS SHALL BE LOCATED TO MEET MINIMUM EDGE DISTANCES SPECIFIED FOR THE INSTALLATION LOCATION ENCOUNTERED IN THE FIELD. ALL ANCHORS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.

3. WHERE ADHESIVE AND MECHANICAL ANCHORS ARE SPECIFIED FOR USE IN STRUCTURAL CONCRETE, THE CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH (fc) OF 3000 PSI.

4. ALL BORE HOLES INTO THE ANCHORAGE BASE SHALL BE DRILLED WITH A CARBIDE BIT, CLEANED WITH PRESSURIZED AIR AND A WIRE BRUSH. THE DIAMETER AND TYPE OF DRILL BIT SHALL BE AS SPECIFIED IN THE SIMPSON "ANCHORING AND FASTENING SYSTEMS" TECHNICAL MANUAL, LATEST EDITION.

5. ANCHOR SELECTION SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

A) ADHESIVE CONCRETE ANCHOR
 MECHANICAL CONCRETE ANCHOR

AT, SET-XP WEDGE-ALL, STRONG BOLT, TITEN HD

1 1/2"

# CONCRETE

1. ALL CONCRETE SHALL BE PROPORTIONED, MIXED, AND PLACED CONFORMING TO THE CURRENT AMERICAN CONCRETE INSTITUTE (ACI) 301, 304, AND 308 STANDARDS. THE FOLLOWING MIX DESIGNS SHALL BE USED:

A) GENERAL STRUCTURAL CONCRETE (FOUNDATION WALLS AND FOOTINGS)
28 DAY STRENGTH (MINIMUM)
3000 PSI
COARSE AGGREGATE SIZE (MAXIMUM)
AIR ENTRAINMENT
5" (±1")

2. THE USE OF ADDITIVES SHALL BE AT THE OPTION OF THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER. FOLLOW THE RECOMMENDATIONS OF THE MANUFACTURER FOR THE PROPER USE OF ADDITIVES. THE USE OF CALCIUM CHLORIDE OF OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED.

3. WHEN CONCRETE PLACEMENT IS TO OCCUR DURING HOT OR COLD WEATHER CONDITIONS AS DEFINED BY ACI 305 OR ACI 306, THE CONTRACTOR SHALL SUBMIT PROPOSED CURING METHODS TO THE ARCHITECT/ENGINEER FOR REVIEW AT LEAST 10 DAYS IN ADVANCE OF THE PROPOSED CONCRETE PLACEMENT DATE. PROVIDE MINIMUM 3-DAY FROST PROTECTION FOR CONCRETE PLACED AND/OR CURED IN COLD WEATHER CONDITIONS.

CAST-IN-PLACE CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
 A) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
 B) CONCRETE EXPOSED TO EARTH OR WEATHER

1) NO. 5 BAR, W31 OR D31 WIRE AND SMALLER

5. PROVIDE REINFORCING BAR SUPPORTS, SPACERS, AND ACCESSORIES AS RECOMMENDED IN ACI 315. PROVIDE PLASTIC BOOTED ACCESSORIES IN CONTACT WITH EXPOSED SURFACES. PROVIDE MINIMUM #5 SUPPORT BARS.

6. REINFORCING BARS SHALL CONFORM TO ASTM A 615, GRADE-60. ALL DETAILS SHALL BE IN ACCORDANCE WITH ACI DETAIL STANDARD ACI 315.

7. EXPOSED TO VIEW CONCRETE FINISH SHALL BE A SMOOTH FORM FINISH IN ACCORDANCE WITH ACI REQUIREMENTS. CONCEALED CONCRETE SURFACES MAY BE A ROUGH FORM FINISH. ALL FINISHES SHALL BE COORDINATED WITH ARCHITECTURAL FINISH REQUIREMENTS.

# 9'-6" 9'-3\dangle 9'-3\dangle 9'-3\dangle 9'-3\dangle 9'-3\dangle 9'-6" BIGFOOT BF24 FOOTING W/ 10' DIA. TUBES (TYP. 10 PLACES) 1'-0" DIA. SONOTUBE The state of the state

# FOUNDATION LEVEL PLAN

# SCALE: 1/4"=1'-0"

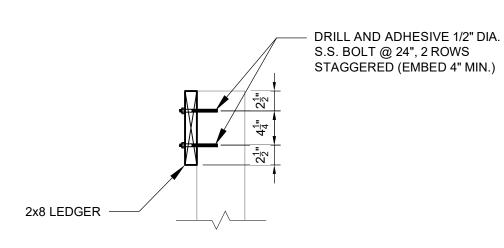
# NOTES:

1. BIGFOOT FOUNDATION FOOTINGS (OR EQUIVALENT) TO BEAR 4'-0" BELOW GRADE MINIMUM.

2. DIMENSIONS AND ELEVATIONS NOT SHOWN ON STRUCTURAL PLANS SHOULD BE TAKEN FROM ARCHITECTURAL

DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

3. ENGINEER TO REVIEW EXISTING FOUNDATION CONDITIONS AFTER EXCAVATION AND PRIOR TO CONCRETE WORK.



ABBREVIATIONS:

MFR

MIN

OC

PCF

PSF

PSI

TYP

ANCHOR BOLT

FLUSH BEAM

GALVANIZE

MAXIMUM

MINIMUM

ON CENTE

TYPICAL

MANUFACTURER

PRESERVATIVE TREATED

POUNDS PER CUBIC FEET

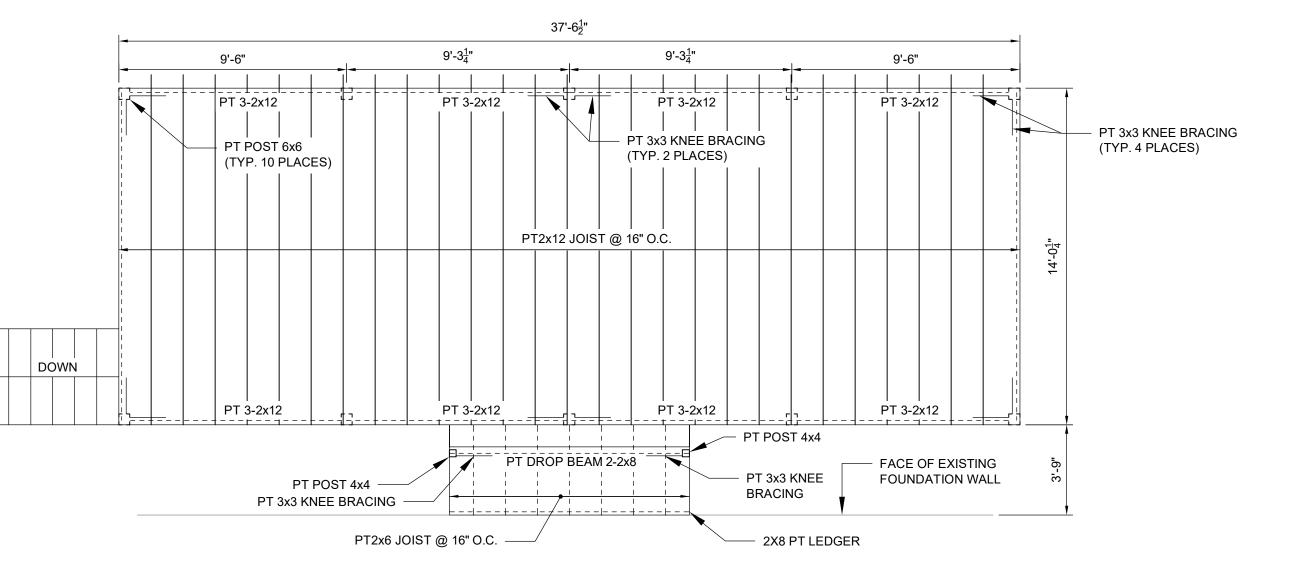
POUNDS PER SQUARE FEET

POUNDS PER SQUARE INCH

JOIST

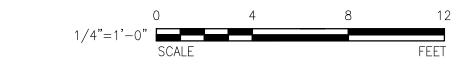
LEDGER TO CONCRETE FOUNDATION WALL

CONNECTION DETAIL



# FIRST LEVEL FRAMING PLAN

<u>SCALE:</u> 1/4"=1'-0"



# WELCH ENGINEERING SERVICES LLC

823 East Fifth Street #2 South Boston, MA 02121

PROJECT

4 WYMAN DECK REBUILD

4 WYMAN ROAD CAMBRIDGE, MA

SEAL



# ISSUE/REVISION

DESCRIPTION

PROJECT NUMBER

I/R DATE

 00000000

 Drawn By:
 JW

 Date:
 DECEMBER 2022

 Scale:
 AS NOTED

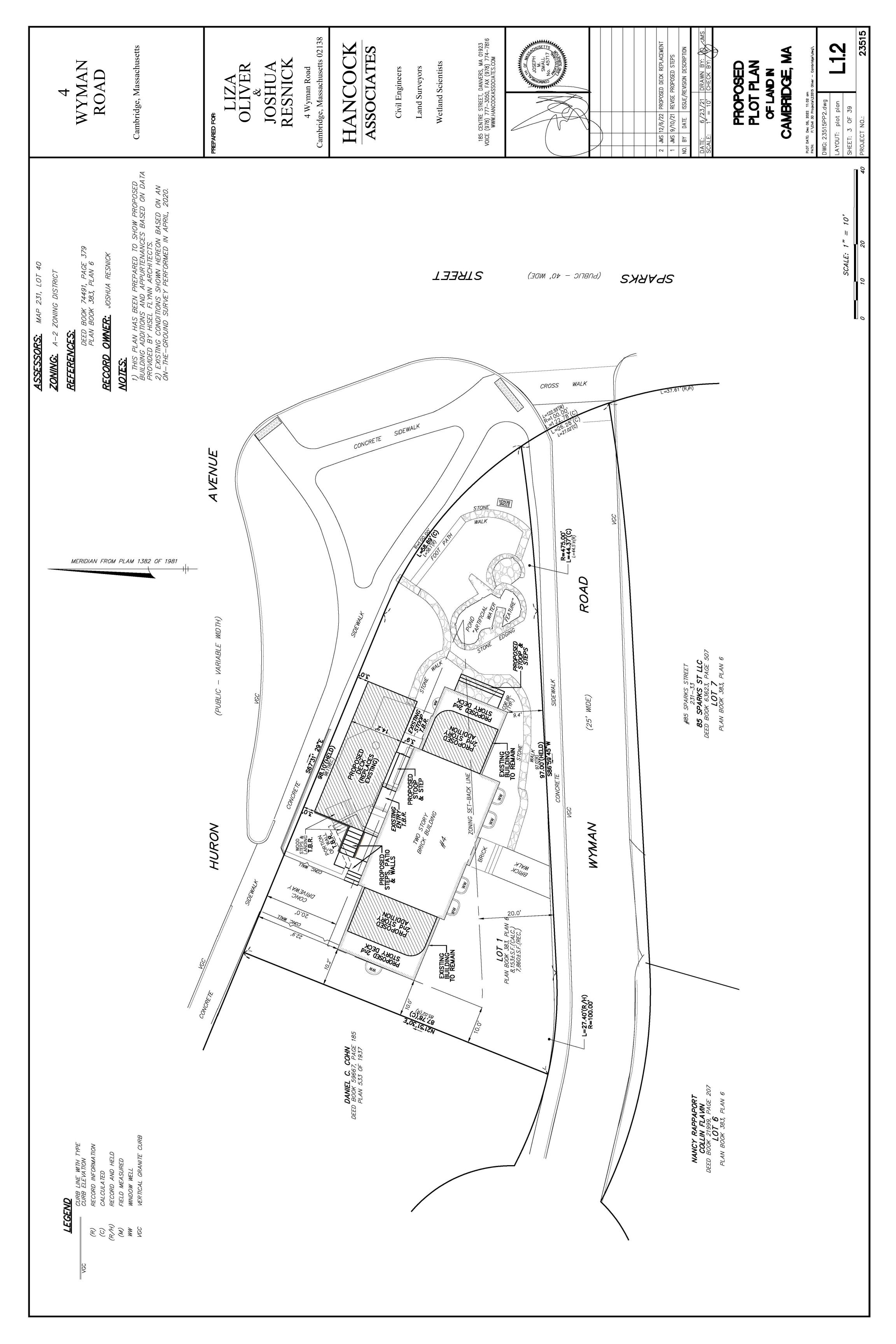
STRUCTURAL

SHEET TITLE

DECK FOUNDATION AND FRAMING PLAN

SHEET NUMBER

S-60







# 4 WYMAN DECK REBUILD

LIZA OLIVER AND JOSH RESNICK 4 WYMAN ROAD CAMBRIDGE, MA



STRUCTURAL ENGINEER:
WELCH ENGINEERING
SERVICES LLC
823 East Fifth Street #2
South Boston, MA
jack@welchengineeringllc.com



E	ISSUE:	DATE:
	DECK PERMIT	2022_12_02
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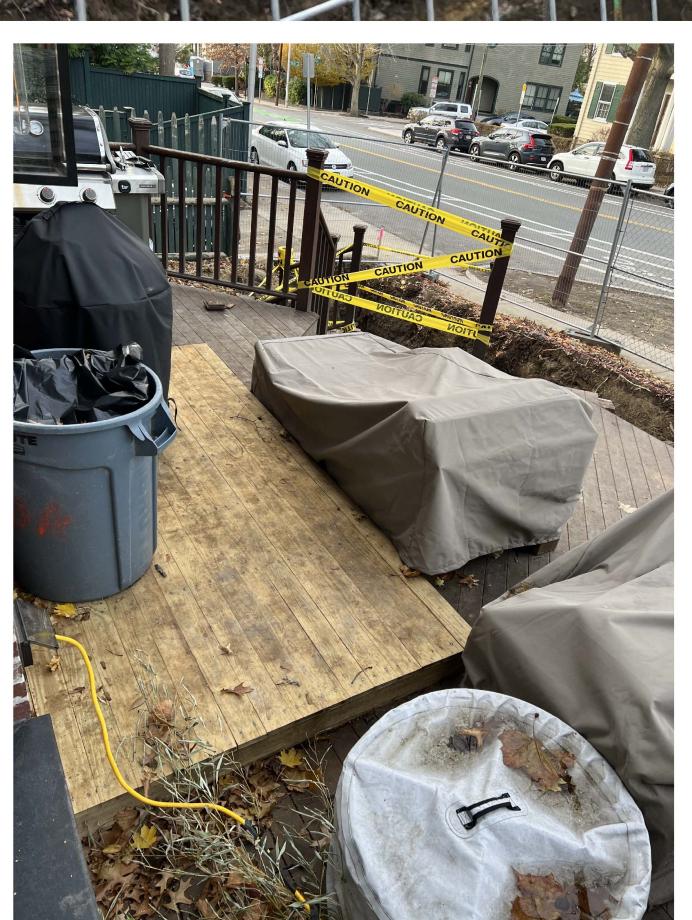
DRAWING: PROPOSED ELEVATIONS

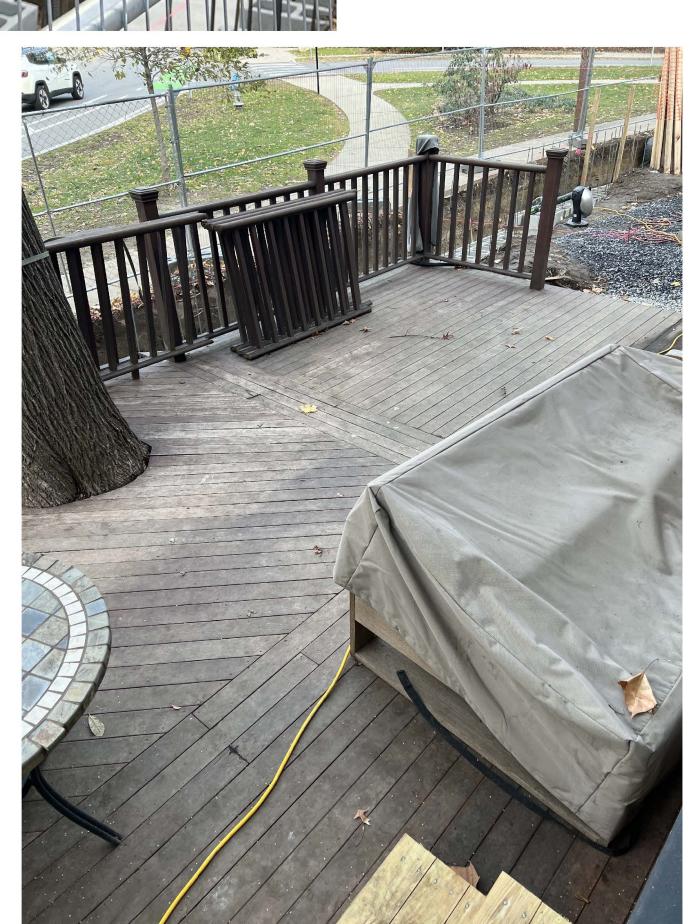
SCALE

L6.3









Hisel Flynn Architects
17 Waltham Street, 2nd Floor
Lexington, MA 02421
6 1 7 - 5 8 8 - 9 7 6 4

# 4 WYMAN DECK REBUILD

LIZA OLIVER AND JOSH RESNICK 4 WYMAN ROAD CAMBRIDGE, MA

STRUCTURAL ENGINEER:
WELCH ENGINEERING
SERVICES LLC
823 East Fifth Street #2
South Boston, MA
jack@welchengineeringllc.com

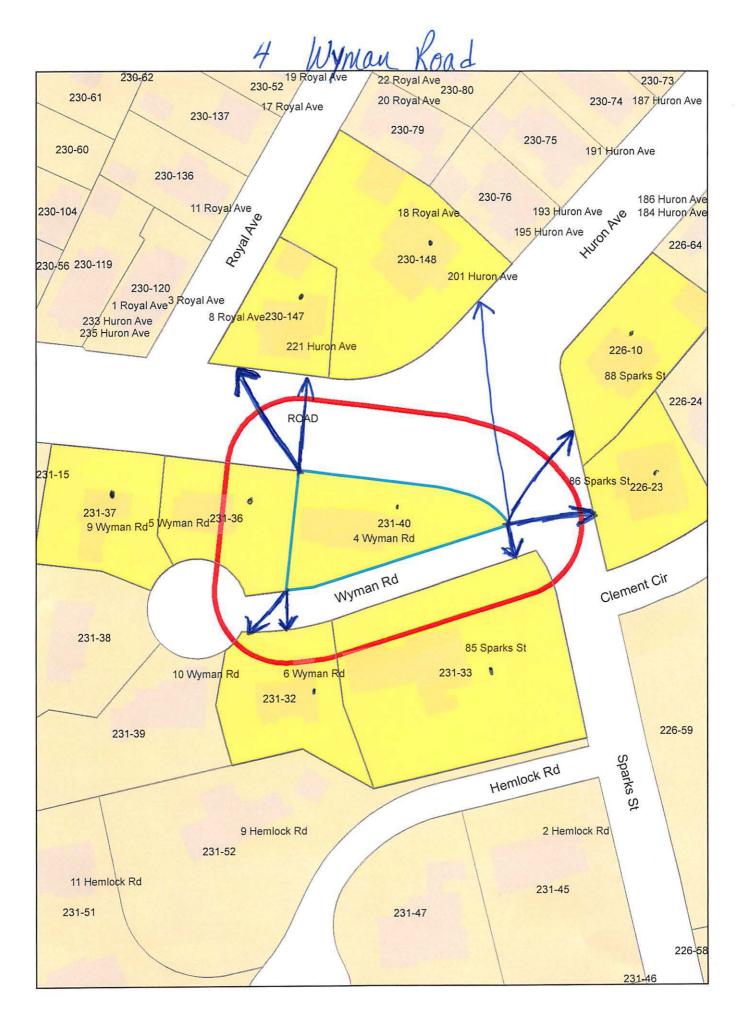


ISSUE:	DATE:
DECK PERMIT	2022_12_02

DRAWING: EXISTING
PHOTOGRAPHS

SCALE:

L6.4



231-37 SOLLORS, WERNER & ALIDE CAGIDEMETRIO 9 WYMAN RD CAMBRIDGE, MA 02138

226-10 HUTCHISON, JAMES M. & JANE D EHRLICH 88 SPARKS ST CAMBRIDGE, MA 02138-2216

231-32
RAPPAPORT NANCY & COLIN FLAVIN CO
TRS NANCY RAPPAPORT 2002 TR
6 WYMAN RD
CAMBRIDGE, MA 02138

231-33 85 SPARKS ST LLC 320 PAANI PL #6A PAIA, HI 96779 4 Wyman Rd

230-147 TIERNEY, SHEILA L. 8 ROYAL AVENUE CAMBRIDGE, MA 02138

226-23 METZER, PATRICIA ANN 86 SPARKS STREET CAMBRIDGE, MA 02138

230-148 LLOYD GEORGE W TRS THE GEORGE W LLOYD REVOCABLE TR 201 HURON AVE CAMBRIDGE, MA 02138 HISEL FLYNN ARCHITECTS
C/O KATHLEEN FLYNN
17 WALTHAM STREET
LEXINTON, MA 02421

231-40 RESNICK JOSHUA OLIVER ELIZABETH LEE 4 WYMAN RD CAMBRIDGE, MA 02138

231-36 COHN, DANIEL C TRS YUNE Z. KUNES TRS 5 WYMAN RD CAMBRIDGE, MA 02138

### Pacheco, Maria

From:

Daniel C. Cohn <dcohn@murthalaw.com>

Sent:

Sunday, January 15, 2023 4:13 PM

To:

Pacheco, Maria

Subject:

4 Wyman Road - Appeal

To the Cambridge Board of Zoning Appeal:

We write in strong support of the application of Josh Resnick and Liza Oliver for zoning relief at 4 Wyman Rd.

We reside at 5 Wyman Rd. We are the direct abutters and share both the Wyman Road and Huron Avenue frontage of 4 Wyman. We are the property owners most affected by the proposed deck. It has our full endorsement and support.

We recognize that due to the unusual shape of the lot there is minimal area for a finished outside deck within a conforming footprint and support the application to rebuild and modestly increase the size of the deck. We note that the deck will be behind a brick wall that is well above eye-level, and so will be invisible from either Huron Avenue or Wyman Road, and so will have no impact on the neighborhood in terms of visible structures.

As neighbors on the Wyman Road cul-de-sac, we recognize the value of having outdoor space where friends, family and neighbors can congregate. As property owners, we believe the proposed deck will not only improve the 4 Wyman Road property, but its beauty and utility will tend to increase values throughout the neighborhood.

Finally, we know that Josh and Liza, like us, are concerned about the health of the large, mature trees on their property. A deck - which allows for normal ground water permeability - is far healthier for the soil than a ground patio. And yet a ground patio in this case is by right whereas a deck requires this variance. We appreciate that Josh and Liza are pursuing a deck instead of a ground level patio - despite the higher expense of the deck - in large part to preserve the health of the trees on the property.

For all these reasons, we urge the BZA to grant their appeal. If you have any questions, feel free to contact us by email or at the address below. Many thanks for considering our views.

Dan Cohn and Yune Kunes

5 Wyman Road Cambridge, MA 02138



# City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA. (617) 349-6100

2 Bds

# BZA

# POSTING NOTICE - PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: William Find	Date: 1/12/2023
Address: 4 Wyman Road	· · · · · · · · · · · · · · · · · · ·
Case No. BTA-204623	
Hearing Date: 1/26/23	×

Thank you, Bza Members