



CITY OF CAMBRIDGE

BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2025 OCT 31 AM 9:53

BZA Application Form

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

BZA Number: 1188742

General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit: X

Variance:

Appeal:

PETITIONER: Peter and Shirley Kuhlmann C/O James Rafferty, Esq.

PETITIONER'S ADDRESS: 907 Massachusetts Avenue, Cambridge, MA 02139

LOCATION OF PROPERTY: 514 Franklin St., Cambridge, MA

TYPE OF OCCUPANCY: Single Family

ZONING DISTRICT: Residence C-1 Zone

REASON FOR PETITION:

/Additions/


DESCRIPTION OF PETITIONER'S PROPOSAL:

Petitioners seek to expand existing single family dwelling by inserting an additional floor between existing basement and first floors and construct three story addition with roof deck by extending existing nonconforming side yard setback. Petitioners also seek to install windows on nonconforming wall.

SECTIONS OF ZONING ORDINANCE CITED:

Article: 5.000	Section: 5.31 (Table of Dimensional Requirements).
Article: 8.000	Section: 8.22.2.d & Sec. 8.22.2.c (Non-Conforming Structure).
Article: 10.000	Section: 10.40 (Special Permit).

Original
Signature(s):


(Petitioner(s) / Owner)

James Rafferty, Attorney for Petitioners

(Print Name)

Address:

907 Massachusetts Avenue, Suite 300
Cambridge, MA 02139

Tel. No.

617.492.4100

E-Mail Address:

jrafferty@adamsrafferty.com

Date: October 29, 2025

OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Peter and Shirley Kuhlmann

(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 514 Franklin Street

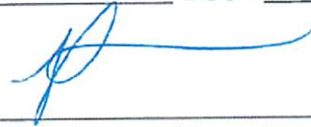
the record title standing in the name of Peter and Shirley Kuhlmann

whose address is 514 Franklin Street, Cambridge MA 02139
(Street) (City or Town) (State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 67285 Page 29 or _____ Registry

District of Land Court Certificate No. _____ Book _____ Page _____

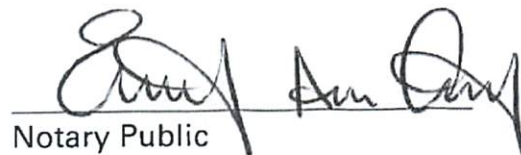


(Owner)

=====

On this 8 day of July, 2025, before me, the undersigned notary public, personally appeared Peter Kuhlmann proved to me through satisfactory evidence of identification, which were Drivers license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.




Notary Public

My commission expires: December 27, 2030

BZA Application Form

SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.

Granting the Special Permit requested for 514 Franklin St., Cambridge, MA (location) would not be a detriment to the public interest because:

- A)** Requirements of the Ordinance can or will be met for the following reasons:
- Section 8.22.2(D) allows for the construction of the proposed additions upon the issuance of a Special Permit since the existing structure currently exceeds the setback requirement.
- B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:
- The proposed additions will not alter traffic patterns on Franklin Street or the surrounding neighborhood.
- C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:
- The adjacent uses are all similarly sized single and two family dwellings.
- D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:
- The proposed additions will be constructed in accordance with all the requirements of the State Building Code.
- E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:
- The intensity and use of this single family dwelling will not be materially altered as a result of the proposed addition. As a result, there will not be any detrimental effect upon the neighborhood.

***If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

BZA Application Form

DIMENSIONAL INFORMATION

Applicant: Peter and Shirley Kuhlmann
Location: 514 Franklin St., Cambridge, MA
Phone: 617.492.4100

Present Use/Occupancy: Single Family
Zone: Residence C-1 Zone
Requested Use/Occupancy: Single Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,249 sf	3,797 sf	N/A	(max.)
<u>LOT AREA:</u>		3,036 sf	no change	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA: ²</u>		.741	1.25	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>		3,036 sf	no change	N/A	
<u>SIZE OF LOT:</u>	WIDTH	28.01'	no change	N/A	
	DEPTH	86'	no change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	8.6' (Franklin)	no change	10'	
	REAR	5.7' (Bay St)	no change	10'	
	LEFT SIDE	1.7'	no change	5'	
	RIGHT SIDE	35'	23.5'	5'	
<u>SIZE OF BUILDING:</u>	HEIGHT	29'	40.9'	45'	
	WIDTH	42.3'	56.4'	N/A	
	LENGTH	20.1'	20.7'	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		46.7	42.6	30	
<u>NO. OF DWELLING UNITS:</u>		1	no change	N/A	
<u>NO. OF PARKING SPACES:</u>		1	no change	N/A	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		13.6'	4.5'	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

ADAMS & RAFFERTY
ATTORNEYS AT LAW
A Professional Association *
907 Massachusetts Avenue, Suite 300
Cambridge, MA 02139

James J. Rafferty, P.C.
jrafferty@adamsrafferty.com

Telephone (617) 492-4100
Fax (617) 492-3131

January 12, 2026

BY HAND

Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA Case No. 1188742
514 Franklin Street

CITY OF CAMBRIDGE
INSPECTIONAL SERVICES
JAN 12 PM 4:33

Dear Chairman Monteverde and Members of the Board:

Attached please find a revised set of elevations in the above-captioned case reflecting a reduction in the proposed number of window openings on the non-conforming left side wall. A detailed description of the changes is set forth in the attached communication from the petitioners.

Since the Special Permit criteria in Section 8.22.2d includes that the Board make a determination that the alteration "shall not be substantially more detrimental than the existing non conforming structure to the *neighborhood* [emphasis added]", I am also enclosing some photographs of homes in very close proximity of the subject property. As you can see, there are several homes in the neighborhood with comparable heights and setbacks as is proposed in the application.

Thank you for your time and attention to this matter.

Very truly yours,


James J. Rafferty

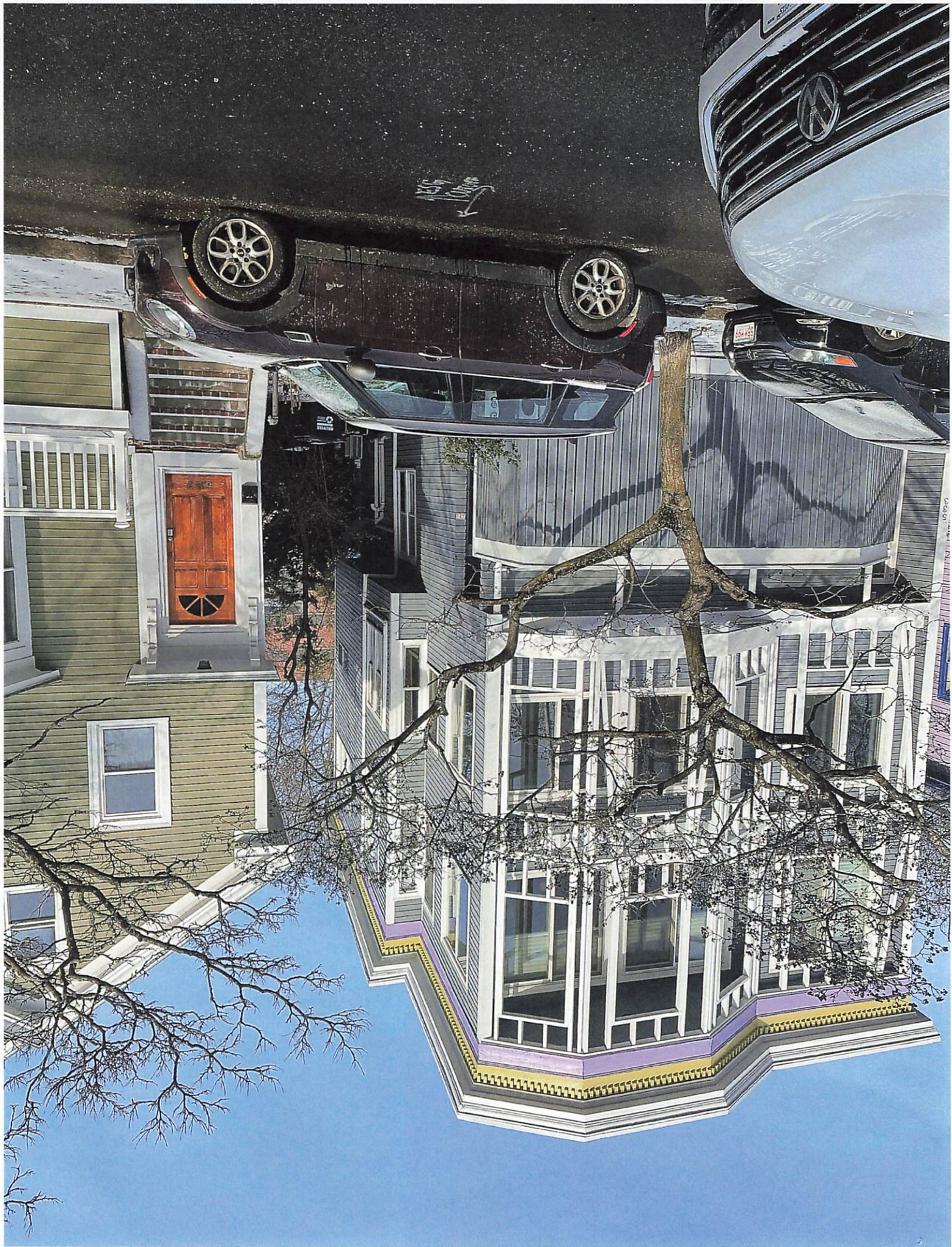
JJR/pwc

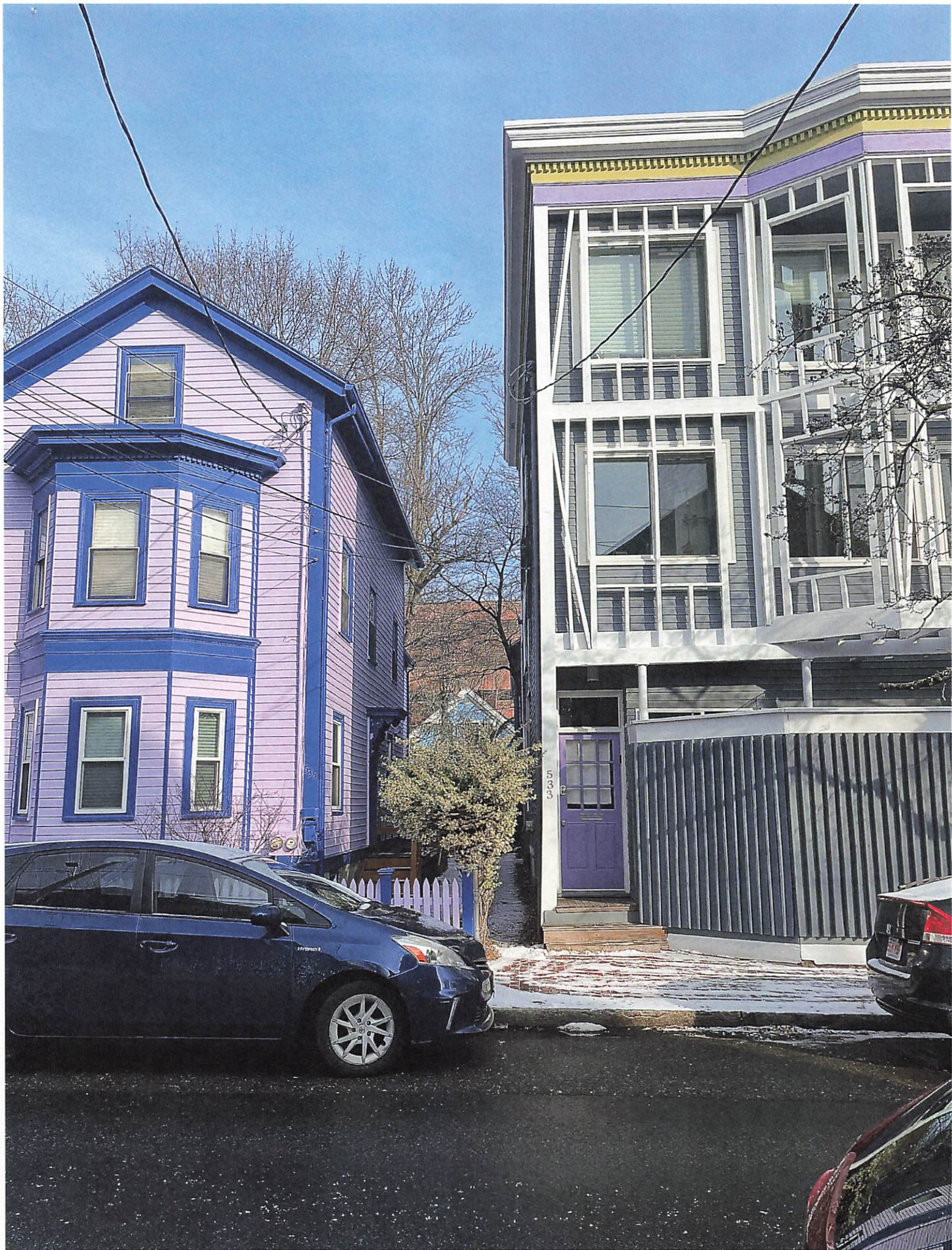
**not a partnership*













KUHLMANN HOUSE

514 FRANKLIN STREET
CAMBRIDGE, MA 02139

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281 Mt. Auburn Street
Watertown, MA 02472
617.744.8722
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NO. REVISION DATE

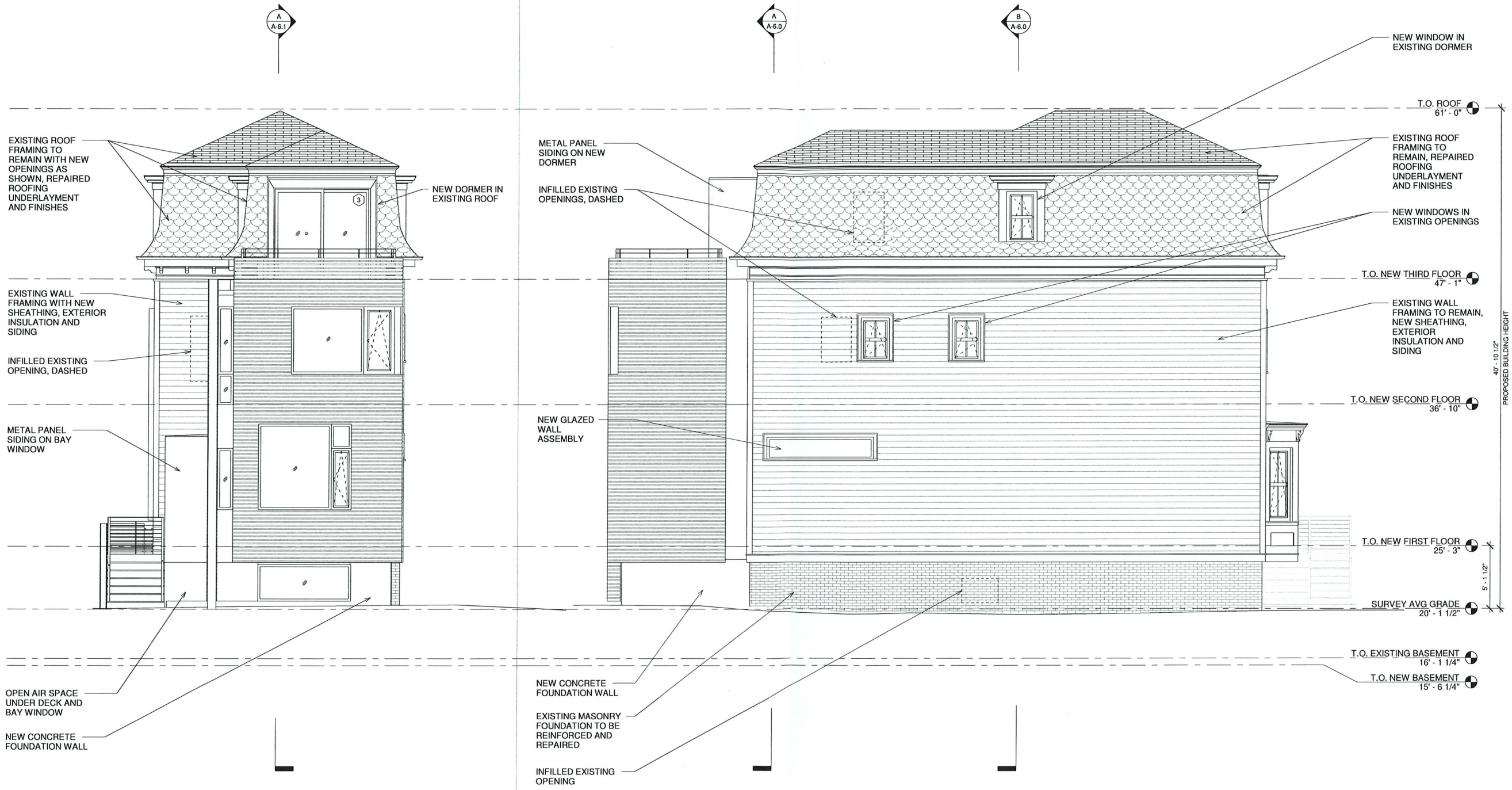


SCALE 1/4" = 1'-0"
DRAWN BY PG
ISSUED 12/19/2025

EXTERIOR
ELEVATIONS -
SOUTH & EAST

A-5.1

SPECIAL PERMIT SET
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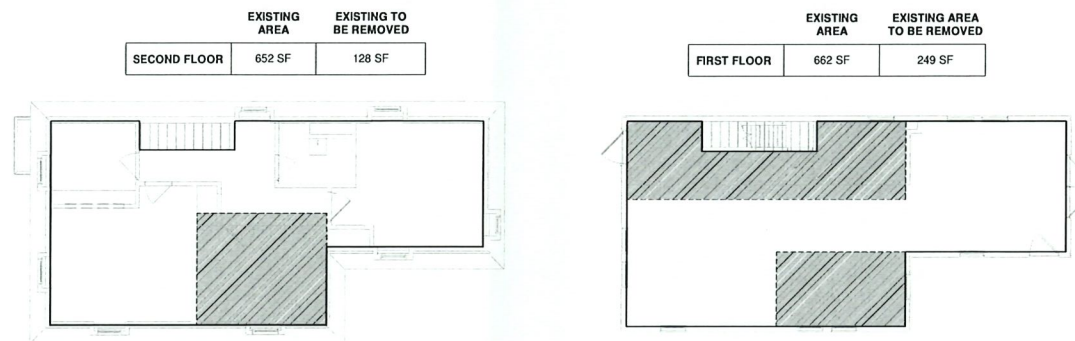


A SOUTH ELEVATION
1/4" = 1'-0"

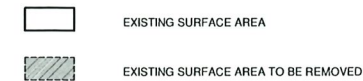
B EAST ELEVATION
1/4" = 1'-0"

2026 JAN 12 P 4:33
CITY OF CAMBRIDGE
INSPECTION SERVICES

C SUBSTANTIAL DESTRUCTION VOLUME
1" = 1'-0"



LEGEND

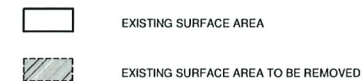


SUBSTANTIAL DESTRUCTION - VOLUME CALCULATIONS

LEVEL	EXISTING VOLUME (CF)	EXISTING VOLUME TO BE REMOVED (CF)	PERCENTAGE (MAX. 25%)
BASEMENT (ABOVE GRADE)	3,528	1,775	
FIRST FLOOR	7,803	578	
SECOND FLOOR + ATTIC	8,032	0	
TOTAL	19,363	2,353	12.2%

B SUBSTANTIAL DESTRUCTION FLOOR PLANS
1/8" = 1'-0"

LEGEND



SUBSTANTIAL DESTRUCTION - FLOOR AREA CALCULATIONS

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED	PERCENTAGE (MAX. 50%)
FLOOR FRAMING AREA	1,314 SF	377 SF	28.7%

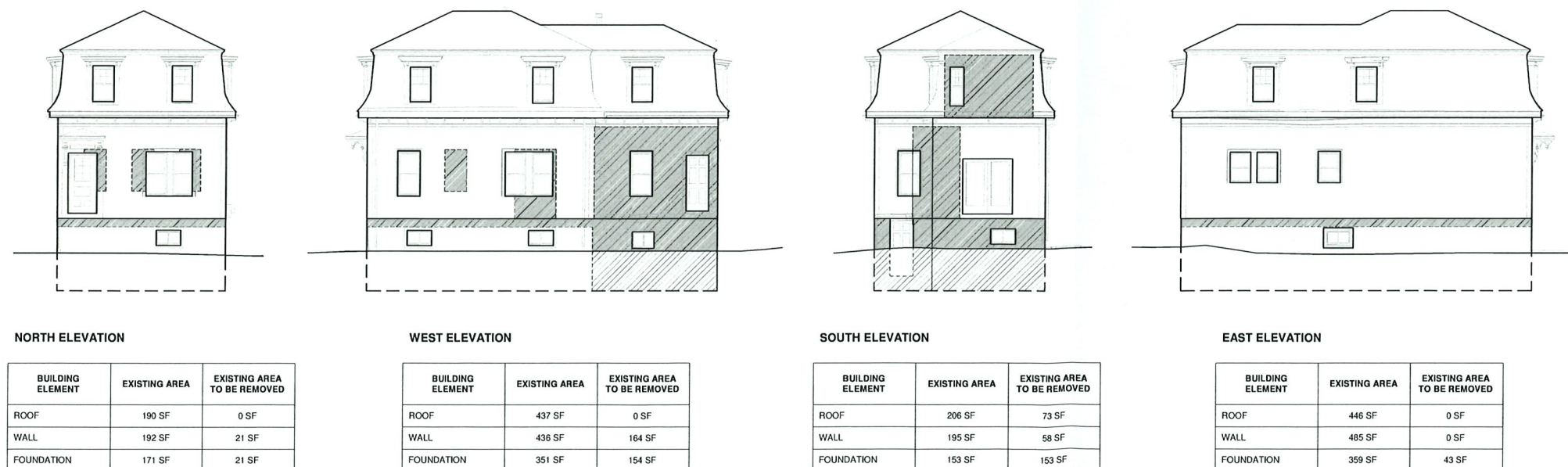
LEGEND



SUBSTANTIAL DESTRUCTION - SURFACE AREA CALCULATIONS

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED	PERCENTAGE (MAX. 50%)
ROOF	1,278 SF	73 SF	5.8%
WALL	1,308 SF	243 SF	18.6%
FOUNDATION	1,034 SF	371 SF	35.9%

A SUBSTANTIAL DESTRUCTION ELEVATIONS
1/8" = 1'-0"





A FIRST FLOOR PLAN
1/4" = 1'-0"

A

$$\frac{1}{4}'' = 1'-0''$$


1. REFER TO G-1 FOR FURTHER ADDITIONAL DETAILED GENERAL NOTES
2. DIMENSIONS ARE TO FACE OF STRUCTURE INDICATED ON FACE OF EXISTING WALL UNLESS NOTED OTHERWISE.
3. REFER TO FINISH PLANS FOR FLOOR FINISH INFORMATION.
4. REFER TO INTERIOR ELEVATIONS FOR SPECIALTY ITEMS AND FINISHES, INCLUDING WALL, AND MILLWORK.
5. REFER TO ELECTRICAL PLANS FOR ALL OUTLET LOCATIONS.
6. VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION. SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
7. NOTIFY ARCHITECT OF ANY FIELD ISSUES THAT COULD INTERFERE WITH DRAWINGS PRIOR TO BEGINNING WORK.
8. REMOVE AND MAKE SAFE ALL WIRING AND ELECTRICAL DEVICES IN CONFLICT WITH NEW WORK.
9. UTILITIES: WHERE INDICATED DISCONNECT AND REMOVE EXISTING PLUMBING, HVAC DUCTS, ELECTRICAL AND GAS SERVICE IN PLACE. ACCORDING TO BUILDING CODE.
10. WHERE EXISTING WALLS AROUND PIPEWORK PENETRATING FLOOR OR CEILING ARE REMOVED, CONTRACTOR IS TO ENSURE THAT PERMANENT FIRE SEPARATION IS PROVIDED PER CODE AND WITHOUT INTERRUPTION.
11. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW FRAMING WITHIN EXISTING STRUCTURE. REMOVE FINISH WALLS AND CEILINGS AS NECESSARY TO PROVIDE ACCESS TO WORK. SEAMLESSLY PATCH AND REPAIR TO MATCH ADJACENT EXISTING FINISHES.

INDICATES NEW WALL

INDICATES EXISTING WALL WITH NEW FINISHES

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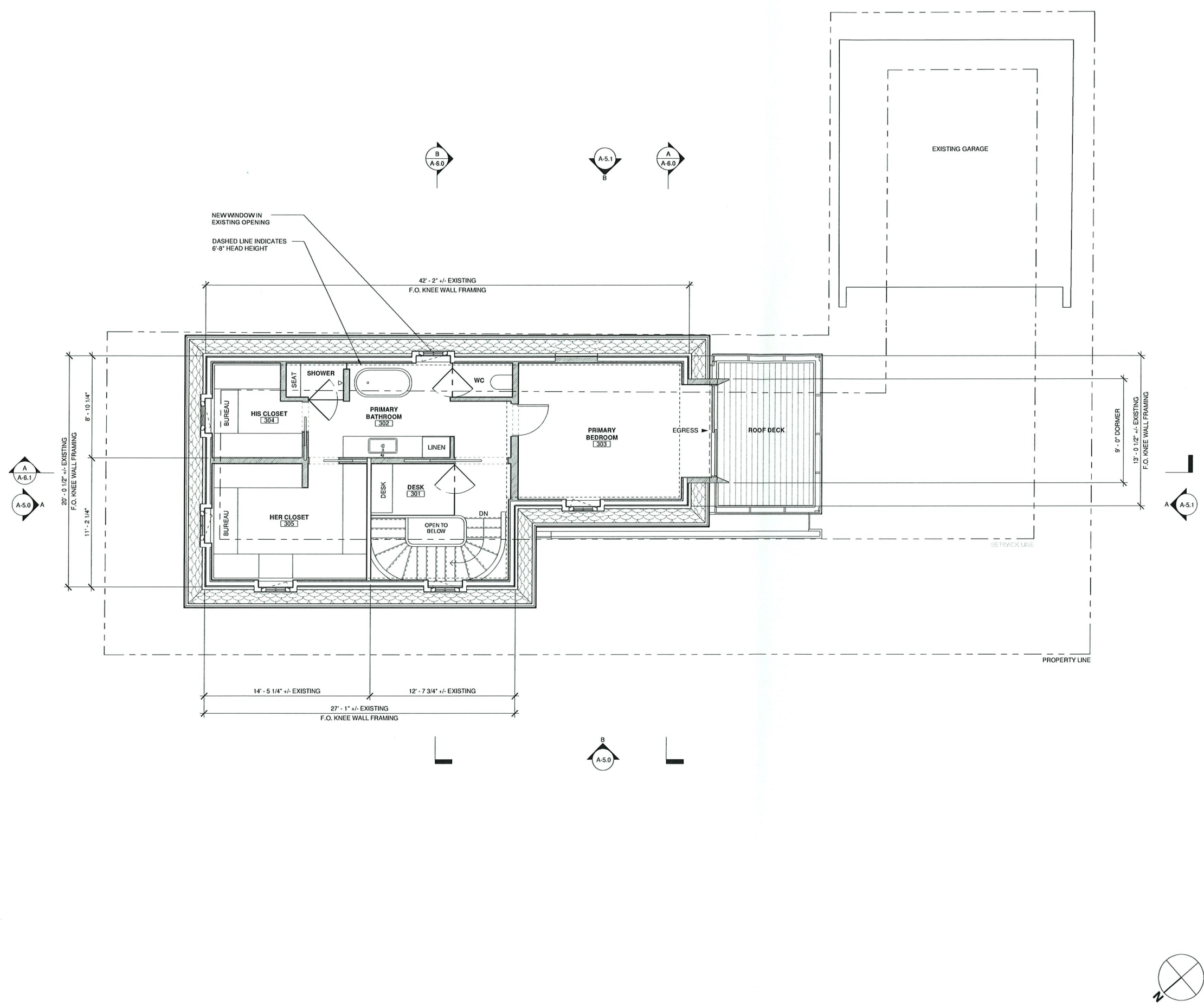
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NO. REVISION	DATE



FLOOR PLAN -
SECOND FLOOR

A-1.2

SPECIAL PERMIT SET



- GENERAL NOTES - FLOOR PLAN**
1. REFER TO G-1 FOR FURTHER ADDITIONAL DETAILED GENERAL NOTES
 2. DIMENSIONS ARE TO FACE OF STRUCTURE INDICATED OR FACE OF EXISTING WALL UNLESS NOTED OTHERWISE.
 3. REFER TO FINISH PLANS FOR FLOOR FINISH INFORMATION.
 4. REFER TO INTERIOR ELEVATIONS FOR SPECIALTY ITEMS AND FINISHES, INCLUDING WALL, AND MILLWORK.
 5. REFER TO ELECTRICAL PLANS FOR ALL OUTLET LOCATIONS.
 6. VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION. SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
 7. NOTIFY ARCHITECT OF ANY FIELD ISSUES THAT CONFLICT WITH DRAWINGS PRIOR TO BEGINNING WORK.
 8. REMOVE AND MAKE SAFE ALL WIRING AND ELECTRICAL DEVICES IN CONFLICT WITH NEW WORK.
 9. UTILITIES: WHERE INDICATED DISCONNECT AND REMOVE EXISTING PLUMBING, HVAC DUCTS, ELECTRICAL AND GAS SERVICE IN PLACE ACCORDING TO BUILDING CODE.
 10. WHERE EXISTING WALLS AROUND PIPEWORK PENETRATING FLOOR OR CEILING ARE REMOVED, CONTRACTOR IS TO ENSURE THAT PERMANENT FIRE SEPARATION IS PROVIDED PER CODE AND WITHOUT INTERRUPTION.
 11. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW FRAMING WITHIN EXISTING STRUCTURE. REMOVE FINISH WALLS AND CEILINGS AS NECESSARY TO PERFORM NEW WORK, SEAMLESSLY PATCH AND REPAIR TO MATCH ADJACENT EXISTING FINISHES.

- LEGEND**
- INDICATES NEW WALL
 - INDICATES EXISTING WALL WITH NEW FINISHES

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CAMBRIDGE, MA 02139

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Watertown, MA 02472
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www.ruhljahnes.com

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NO. REVISION DATE

REGISTERED ARCHITECT
SANDRA A. JAHNES
No. 50043
BOSTON, MA
Seal of the Commonwealth of Massachusetts

SCALE As indicated
DRAWN BY PG
ISSUED 10/23/2025

FLOOR PLAN - THIRD FLOOR

A-1.3
SPECIAL PERMIT SET
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PROJECT IMAGE



DRAWING INDEX

DRAWING INDEX			
SHEET NO.	SHEET NAME	ISSUE DATE	REV. DATE
G-0.0	PROJECT INFORMATION, CODE NOTES, DIMENSIONAL TABLE	10/23/2025	
G-3.0	SUBSTANTIAL DESTRUCTION CALCULATIONS	10/23/2025	
G-3.1	PROPOSED ZONING DRAWINGS	10/23/2025	
G-3.2	EXISTING CONDITIONS PHOTOS	10/23/2025	
EX-1	EXISTING CONDITIONS PLAN	10/21/2025	
PROP-1	PROPOSED PLOT PLAN	10/21/2025	
AE-1.0	EXISTING PLANS	10/23/2025	
AE-1.1	EXISTING ELEVATIONS	10/23/2025	
A-1.0	FLOOR PLAN - BASEMENT	10/23/2025	
A-1.1	FLOOR PLAN - FIRST FLOOR	10/23/2025	
A-1.2	FLOOR PLAN - SECOND FLOOR	10/23/2025	
A-1.3	FLOOR PLAN - THIRD FLOOR	10/23/2025	
A-5.0	EXTERIOR ELEVATIONS - NORTH & WEST	10/23/2025	
A-5.1	EXTERIOR ELEVATIONS - SOUTH & EAST	10/23/2025	

DIMENSIONAL REQUIREMENTS

		EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS	
TOTAL GROSS FLOOR AREA:		2,249 SF	3,797 SF	N/A	
LOT AREA:		3,036 SF	NO CHANGE	N/A	
RATIO OF GROSS FLOOR AREA TO LOT AREA:		74.1%	125.1%	N/A	
LOT AREA FOR EACH DWELLING UNIT:		3,036 SF	NO CHANGE	N/A	
SIZE OF LOT:	WIDTH	28.01'	NO CHANGE	N/A	
	DEPTH	86.0'	NO CHANGE	N/A	
SETBACKS IN FEET:	FRONT-NORTH	8.6'	NO CHANGE	10'	(MIN.)
	FRONT-WEST	5.7'	NO CHANGE	10'	(MIN.)
	SIDE-EAST	1.7'	NO CHANGE	5'	(MIN.)
	SIDE-SOUTH	35'	23.5'	5'	(MIN.)
SIZE OF BUILDING:	HEIGHT	29'	40.9'	45'	(MAX.)
	LENGTH	42.3'	56.4'	N/A	
	WIDTH	20.1'	20.7'	N/A	
RATIO OF USABLE OPEN SPACE TO LOT AREA: (SEE G-3.1 FOR CALCULATIONS)		46.7%	42.6%	30%	(MIN.)
NO. OF DWELLING UNITS:		1	NO CHANGE	N/A	
NO. OF PARKING SPACES:		1	NO CHANGE	NO MAX.	(MAX.)
NO. OF BIKE SPACES:		N/A	N/A	N/A	
NO. OF LOADING AREAS:		N/A	N/A	N/A	
DISTANCE TO NEAREST BUILDING ON SAME LOT:		13.6'	4.5'	N/A	(ORDINANCE ARTICLE 5.13)
SIZE OF BUILDINGS ADJACENT ON SAME LOT:		438 SF	NO CHANGE	N/A	

CURRENT DRAWING ISSUE

BOARD OF ZONING APPEAL
SPECIAL PERMIT SET

10/23/2025

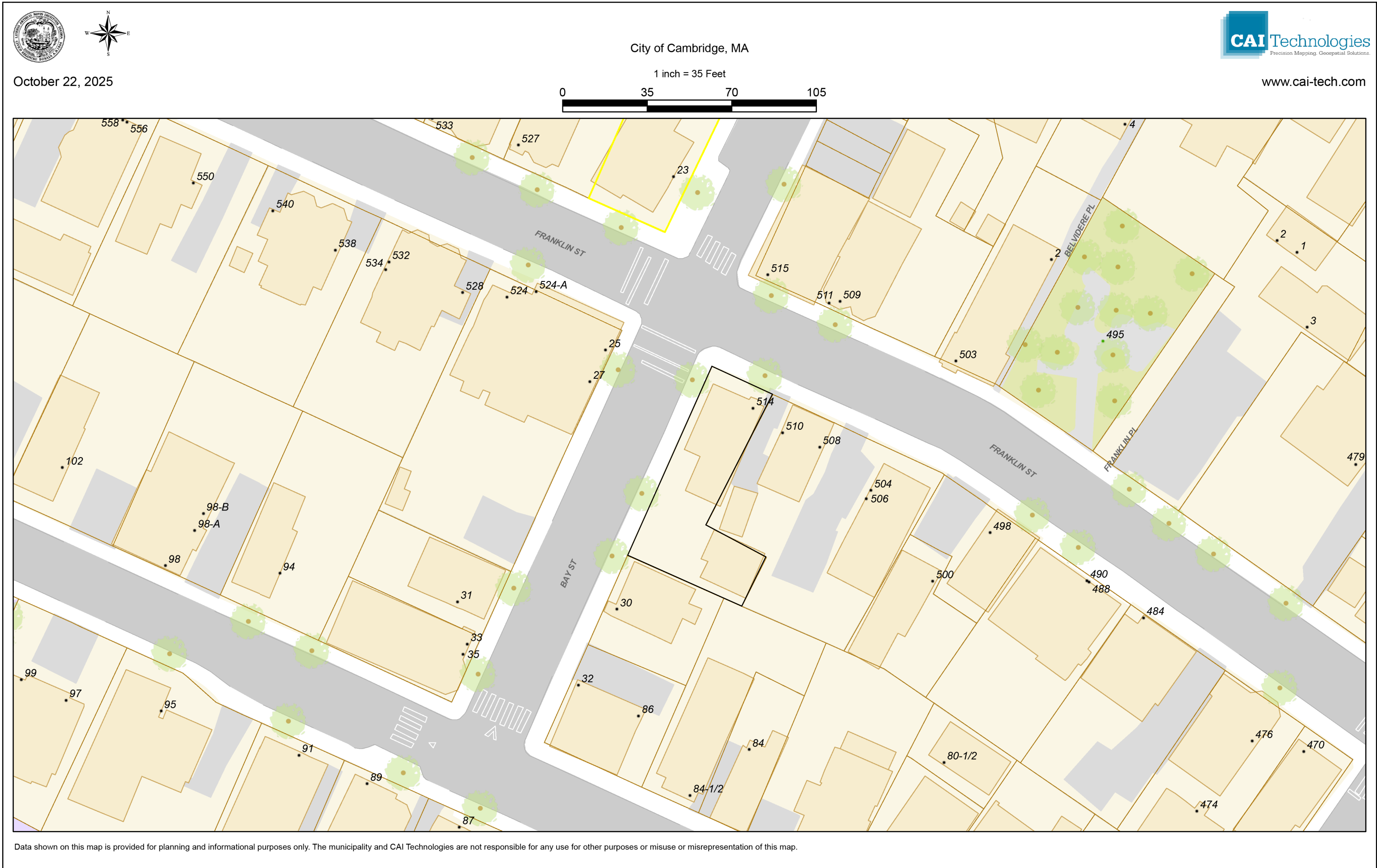
PROJECT CONTACTS

OWNER SHIRLEY AND PETER KUHLMANN 514 FRANKLIN ST CAMBRIDGE, MA 02139 E. PETER.KUHLMANN@GMAIL.COM E. SHIRLEY.KUHLMANN@GMAIL.COM	ARCHITECT SANDRA JAHNES, AIA RUHL JAHNES ARCHITECTS 281 MT AUBURN ST WATERTOWN, MA 02472 P. 617.744.8722 E. SANDRA@RUHLJAHNES.COM	GENERAL CONTRACTOR DOUG BELLOW GILMAN, GUIDELLI & BELLOW 26 FARWELL ST. NEWTON, MA 02460 P. 617.776.7763 E. DOUG@GGBBUILDS.COM
STRUCTURAL ENGINEER STEVEN SIEGEL SIEGEL STRUCTURAL ENGINEERS 860 WALNUT ST NEWTON CENTRE, MA 02459 P. 617.244.1612 E. STEVE@SIEGELSTRUCTURAL.COM	CIVIL ENGINEER BRIAN W. TIMM, PE RJOc & ASSOCIATES, INC. 80 MONTVALE AVE., SUITE 201 STONEHAM, MA 02180 P. 781.279.0180 E. BRIAN.TIMM@RJOCONNELL.COM	GEOTECHNICAL ENGINEER BENJAMIN E. DOWNING, PE MCPHAIL ASSOCIATES, LLC 42 3RD AVE. BURLINGTON, MA 01803 P. 617.868.1420 E. BDOWNING@MCPHAILGEO.COM

PROJECT INFO / CODE REFERENCE

DESCRIPTION:	RENOVATION/NEW CONSTRUCTION, SINGLE FAMILY
REFERENCE CODE:	2021 INTERNATIONAL RESIDENTIAL CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE MASSACHUSETTS AMENDMENTS + SPECIALIZED CODE AMENDMENTS (225 CMR 22.00 AND APPENDIX RG) MASSACHUSETTS BUILDING CODE 780, 10TH EDITION
ZONING ORDINANCE:	THE ZONING ORDINANCE, CITY OF CAMBRIDGE, MA
ZONING USE GROUP:	C-1, SINGLE FAMILY DETACHED DWELLING

ASSESSOR'S GIS MAP



KUHLMANN HOUSE
514 FRANKLIN STREET
CAMBRIDGE, MA 02139

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NO. REVISION DATE



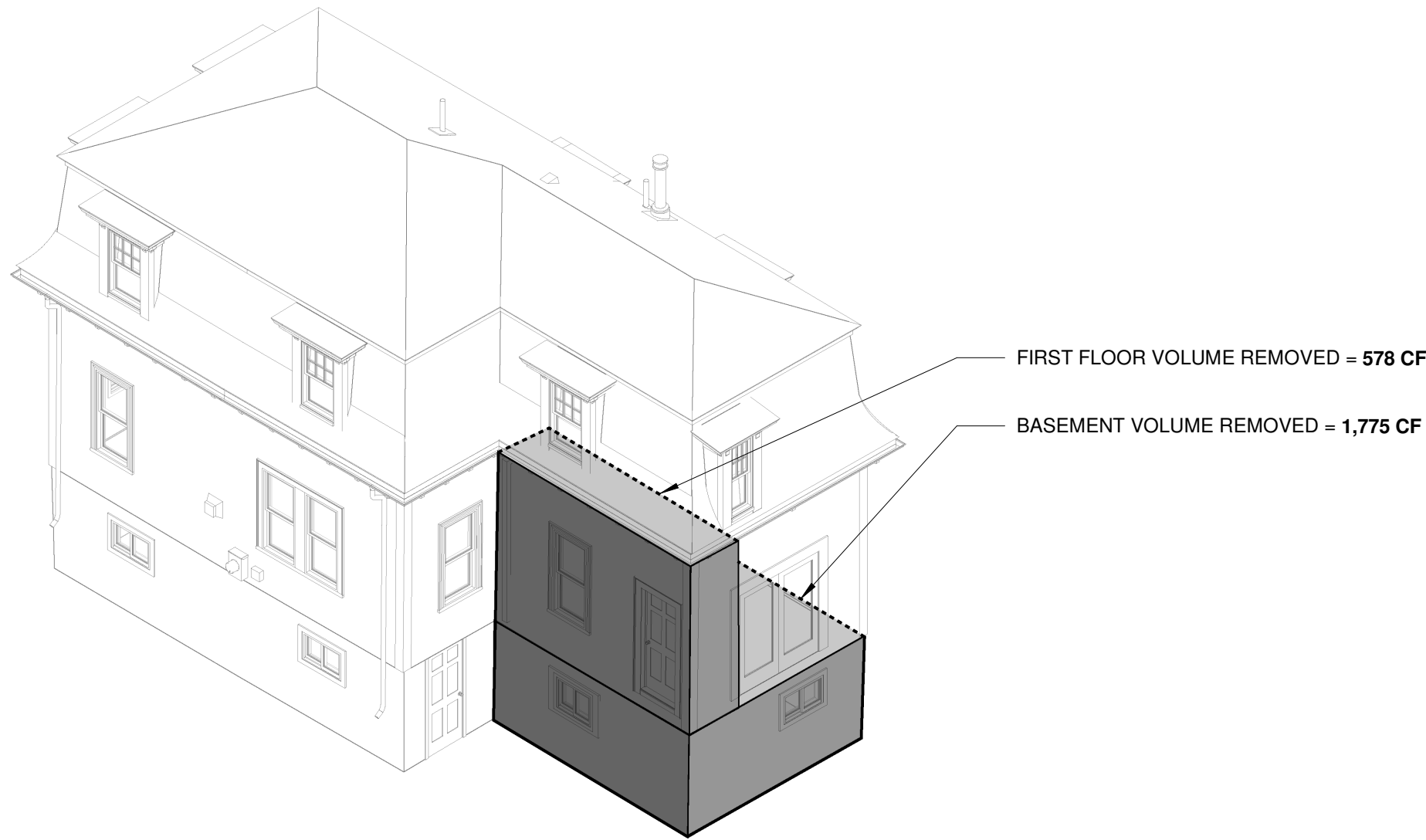
SCALE 1" = 1'-0"
DRAWN BY Author
ISSUED 10/23/2025

PROJECT
INFORMATION,
CODE NOTES,
DIMENSIONAL
TABLE

G-0.0

SPECIAL PERMIT SET

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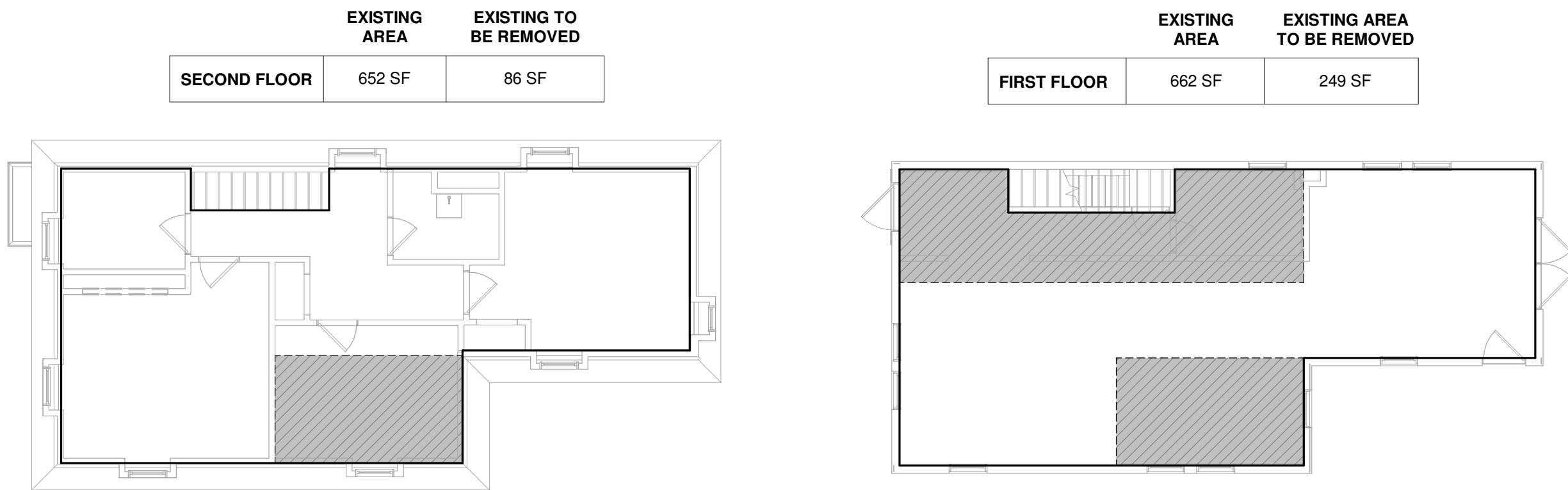
LEGEND

	EXISTING SURFACE AREA
	EXISTING SURFACE AREA TO BE REMOVED

SUBSTANTIAL DESTRUCTION - VOLUME CALCULATIONS

LEVEL	EXISTING VOLUME (CF)	EXISTING VOLUME TO BE REMOVED (CF)	PERCENTAGE (MAX. 25%)
BASEMENT (ABOVE GRADE)	3,528	1,775	
FIRST FLOOR	7,803	578	
SECOND FLOOR + ATTIC	8,032	0	
TOTAL	19,363	2,353	12.2%

C SUBSTANTIAL DESTRUCTION VOLUME
1" = 1'-0"



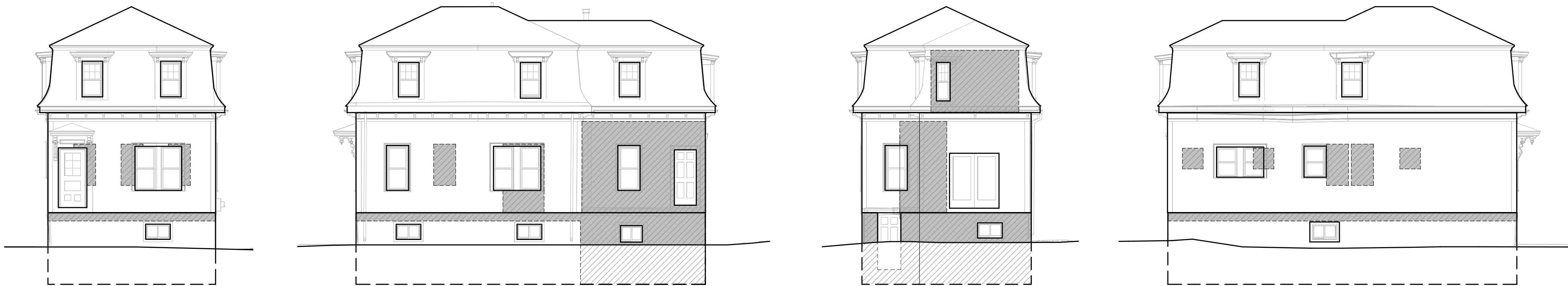
LEGEND

	EXISTING SURFACE AREA
	EXISTING SURFACE AREA TO BE REMOVED

SUBSTANTIAL DESTRUCTION - FLOOR AREA CALCULATIONS

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED	PERCENTAGE (MAX. 50%)
FLOOR FRAMING AREA	1,314 SF	335 SF	25.5%

B SUBSTANTIAL DESTRUCTION FLOOR PLANS
1/8" = 1'-0"



NORTH ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	190 SF	0 SF
WALL	192 SF	21 SF
FOUNDATION	171 SF	21 SF

WEST ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	437 SF	0 SF
WALL	436 SF	164 SF
FOUNDATION	351 SF	154 SF

SOUTH ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	206 SF	73 SF
WALL	195 SF	58 SF
FOUNDATION	153 SF	153 SF

EAST ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	446 SF	0 SF
WALL	483 SF	46 SF
FOUNDATION	359 SF	43 SF

LEGEND

	EXISTING SURFACE AREA
	EXISTING SURFACE AREA TO BE REMOVED

SUBSTANTIAL DESTRUCTION - SURFACE AREA CALCULATIONS

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED	PERCENTAGE (MAX. 50%)
ROOF	1,278 SF	73 SF	5.8%
WALL	1,306 SF	289 SF	22.2%
FOUNDATION	1,034 SF	371 SF	35.9%

A SUBSTANTIAL DESTRUCTION ELEVATIONS
1/8" = 1'-0"



KUHLMANN HOUSE

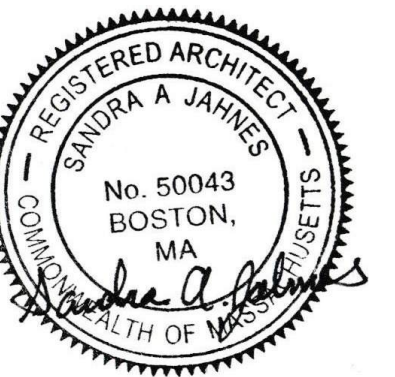
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CAMBRIDGE, MA 02139



JHL | JAHNES

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D. REVISION	DATE
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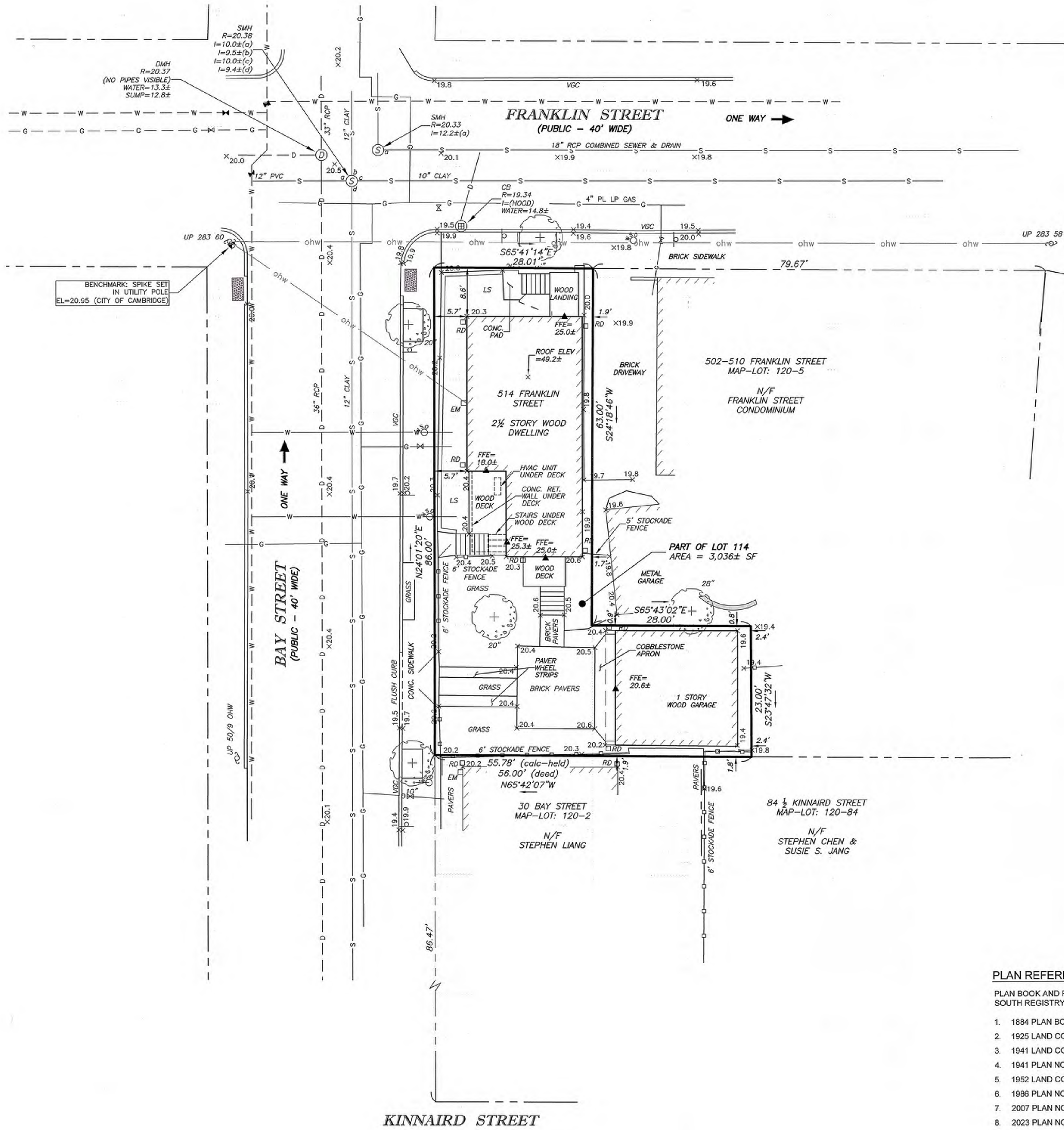
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SUED 10/23/2025

EXISTING
CONDITIONS
PHOTOS

G-3.2

SPECIAL PERMIT SET

Drawing Name: G:\MA\Cambridge\514 Franklin Street - Kuhlmann Survey\DWG\25530_514 Franklin exist cond.dwg



LEGEND

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

	LOT BOUNDARY LINE		RD ROOF DRAIN
	ABUTTING LOT LINE		AD AREA DRAIN
	EASEMENT LINE		CC CONCRETE CURB
	SEWER LINE		VGC VERTICAL GRANITE CURB
	DRAIN LINE		BCC BITUMINOUS CONCRETE CURB
	WATER LINE		BCB BITUMINOUS CONCRETE BERM
	GAS LINE		CONC. CONCRETE
	ELECTRIC LINE		LS LANDSCAPE AREA
	TELECOMMUNICATION LINE		ENTRANCE DOOR
	OVERHEAD WIRES		SIGN
	GUARDRAIL		R= RIM ELEVATION
	CHAIN LINK FENCE		I= PIPE INVERT ELEVATION
	STOCKADE FENCE		X114.7 SPOT GRADE
	FIELDSTONE WALL		DECIDUOUS TREE
	INDEX CONTOUR		CONIFEROUS TREE
	INTERMEDIATE CONTOUR		DETECTABLE WARNING PAD
	UTILITY POLE		
	GUY WIRE		
	GUY POLE		
	LIGHT POLE		
	ELECTRIC HAND HOLE		
	CABLE MANHOLE		
	ELECTRIC MANHOLE		
	SEWER MANHOLE		
	DRAIN MANHOLE		
	CATCH BASIN		
	CLEANOUT		
	WATER VALVE		
	FIRE HYDRANT		
	WATER SHUTOFF		
	BOLLARD		
	GAS METER		
	GAS VALVE		

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS, AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY, OF 514 FRANKLIN STREET IN THE CITY OF CAMBRIDGE. THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BETWEEN 8/11/2025 8/25/2025, BY RJ O'CONNELL & ASSOCIATES, INC. (RJOC).
2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A REVIEW OF A TITLE SEARCH, A LIMITED SEARCH OF AVAILABLE RECORDS WAS PERFORMED TO ESTABLISH BOUNDARY LINES. EASEMENT RIGHTS OVER THE SUBJECT PARCEL AND ON ABUTTING PARCELS MAY EXIST BUT ARE NOT NECESSARILY DEPICTED HEREON.
3. UNDERGROUND UTILITIES, IF SHOWN, ARE FROM OBSERVED SURFACE STRUCTURES, UTILITY MARKINGS, AND COMPILED FROM AVAILABLE RECORD PLANS FROM UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. AS OF THE DATE OF THIS SURVEY, NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
4. PIPES LABELED WITH "H(HOOD)" HAVE A HOOD OR OTHER DEVICE INSTALLED OVER THE PIPE. MEASUREMENTS OF PIPE SIZE AND INVERTS ARE NOT EASILY OBTAINED.
5. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), THE VERTICAL DATUM IS CITY OF CAMBRIDGE. DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
6. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF DIGITAL DATA CONTAINED IN ELECTRONIC VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS THAT ARE NOT SHOWN ON THE WET STAMPED AND SIGNED PHYSICAL SUBMISSION PLAN IS NOT AUTHORIZED AND ANY SUCH USE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO RJ O'CONNELL & ASSOCIATES, INC. (RJOC).

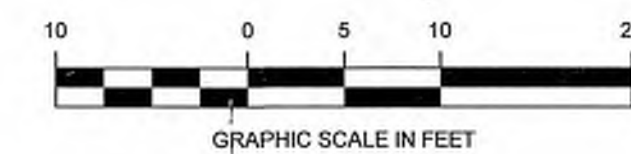
PLAN REFERENCES:

PLAN BOOK AND PAGES REFERENCE THE MIDDLESEX SOUTH REGISTRY OF DEEDS

1. 1884 PLAN BOOK 42 PL. 21
2. 1925 LAND COURT PLAN 10938A
3. 1941 LAND COURT PLAN 18211A
4. 1941 PLAN NO. 121
5. 1952 LAND COURT PLAN 23438A
6. 1986 PLAN NO. 1798
7. 2007 PLAN NO. 1084
8. 2023 PLAN NO. 116

LAYOUT PLANS AND CITY FIELD NOTES ON FILE AT THE CITY OF CAMBRIDGE:

1. 1871 FRANKLIN STREET LAYOUT PLAN
2. CITY FIELD BOOK 25 PG. 143-144
3. CITY FIELD BOOK 83 PG. 53



RJOC

DATE	REVISION
10/21/2025	1
UPDATE NUMBER OF STORIES PER ARCHITECT'S ZONING ANALYSIS	

PROJECT LOCATION:
PARCEL ID: 120-3
514 FRANKLIN STREET
CAMBRIDGE, MA 02139

RECORD OWNER:
PETER KUHLMANN & SHIRLEY KUHLMANN
514 FRANKLIN STREET
CAMBRIDGE, MA 02139
BK. 67285 PG. 29

PREPARED BY:
RJ O'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.0180 RJOC@RJOC.COM

PREPARED FOR:
PETER & SHIRLEY KUHLMANN
514 FRANKLIN STREET
CAMBRIDGE, MA 02139

PROJECT NAME:
514 FRANKLIN STREET
CAMBRIDGE, MASSACHUSETTS

SEAL



Matthew Lowry 10/21/2025
PROFESSIONAL LAND SURVEYOR FOR
RJ O'CONNELL & ASSOCIATES, INC.

DRAWN BY: RJK
REVIEWED BY: ML
SCALE: 1" = 10'
FIELD CREW: TDB / JWS
DATE: 8/28/2025
DRAWING NAME:

EXISTING CONDITIONS PLAN

DRAWING NUMBER:
EX-1

PROJECT NUMBER:
25530

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RJOC

DATE

REVISION

NO.


PROJECT LOCATION:
PARCEL ID: 120-3
514 FRANKLIN STREET
CAMBRIDGE, MA 02139


RECORD OWNER:
PETER KUHLMANN & SHIRLEY KUHLMANN
514 FRANKLIN STREET
CAMBRIDGE, MA 02139
BK . 67285 PG. 29

PREPARED BY:
RJ O'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:
PETER & SHIRLEY KUHLMANN
514 FRANKLIN STREET
CAMBRIDGE, MA 02139

PROJECT NAME:
514 FRANKLIN STREET
CAMBRIDGE, MASSACHUSETTS

SEAL



PROFESSIONAL LAND SURVEYOR FOR
RJ O'CONNELL & ASSOCIATES, INC.
DATE: 10/24/2025

DRAWN BY: RJK

REVIEWED BY: ML

SCALE: 1" = 10'

FIELD CREW: TDB / JWS

DATE: 10/21/2025

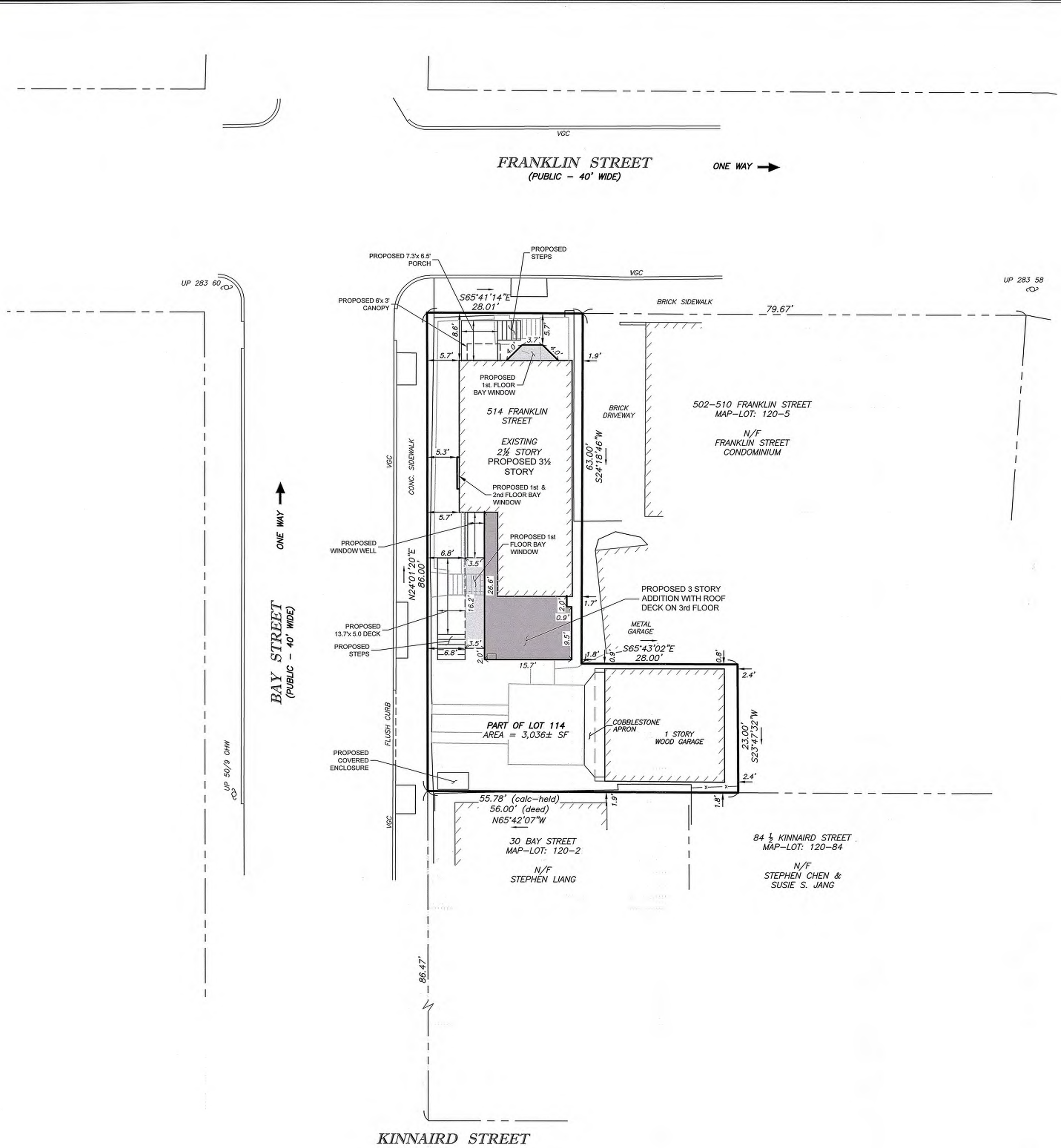
DRAWING NAME:

PROPOSED PLOT PLAN

DRAWING NUMBER:
PROP-1

PROJECT NUMBER:
25530

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NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF THE NEW BUILDING ADDITION, DECK, STAIRS AND WINDOW WELLS AT 514 FRANKLIN STREET IN CAMBRIDGE. THE LOCATION AND DIMENSIONS OF THE PROPOSED BUILDING ADDITION, DECK, STAIRS, LANDINGS, AND WINDOW WELLS WERE PROVIDED BY RUHL-JAHNES ARCHITECTS ON A PLAN DATED 10/7/2025.
- THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BETWEEN 8/11/2025 AND 8/25/2025 BY RJ O'CONNELL & ASSOCIATES, INC (RJOC).
- EXISTING LANDING, DECK AND STEPS ARE TO BE REMOVED.
- LINE OF BUILDING DEPICTED HEREON AND OFFSETS TO LOT LINES WERE MEASURED TO CORNER BOARDS OF THE BUILDING UP 5' FROM GROUND. DISTANCE BETWEEN CORNER BOARD AND FOUNDATION IS IN FROM THE DEPICTED BUILDING LINE 0.15'.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A REVIEW OF A TITLE SEARCH. A LIMITED SEARCH OF AVAILABLE RECORDS WAS PERFORMED TO ESTABLISH BOUNDARY LINES. EASEMENT RIGHTS OVER THE SUBJECT PARCEL AND ON ABUTTING PARCELS MAY EXIST BUT ARE NOT NECESSARILY DEPICTED HEREON.
- THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83). DATUM WAS ESTABLISHED USING RTK GPS METHODS.
- THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF DIGITAL DATA CONTAINED IN ELECTRONIC VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS THAT ARE NOT SHOWN ON THE WET STAMPED AND SIGNED PHYSICAL SUBMISSION PLAN IS NOT AUTHORIZED AND ANY SUCH USE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO RJ O'CONNELL & ASSOCIATES, INC. (RJOC).

PLAN REFERENCES:

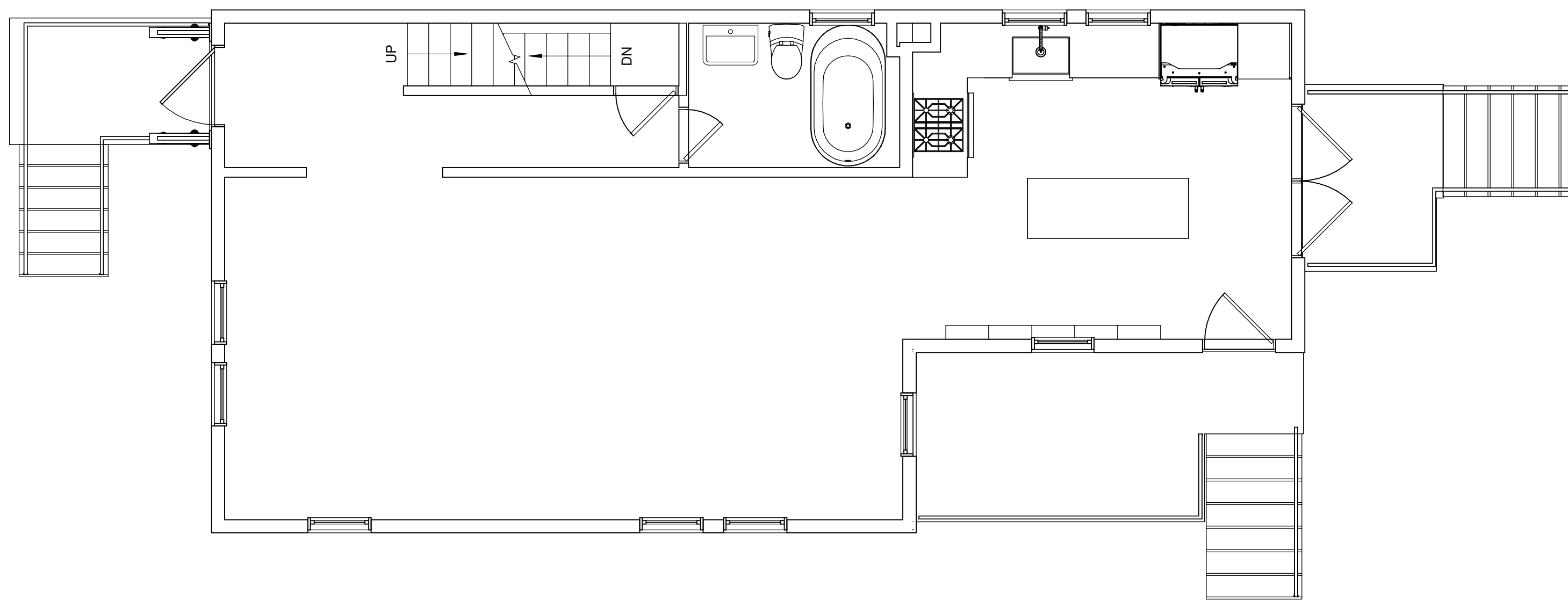
PLAN BOOK AND PAGES REFERENCE THE MIDDLESEX SOUTH REGISTRY OF DEEDS

- 1884 PLAN BOOK 42 PL. 21
- 1925 LAND COURT PLAN 10938A
- 1941 LAND COURT PLAN 18211A
- 1941 PLAN NO. 121
- 1952 LAND COURT PLAN 23438A
- 1986 PLAN NO. 1798
- 2007 PLAN NO. 1084
- 2023 PLAN NO. 116

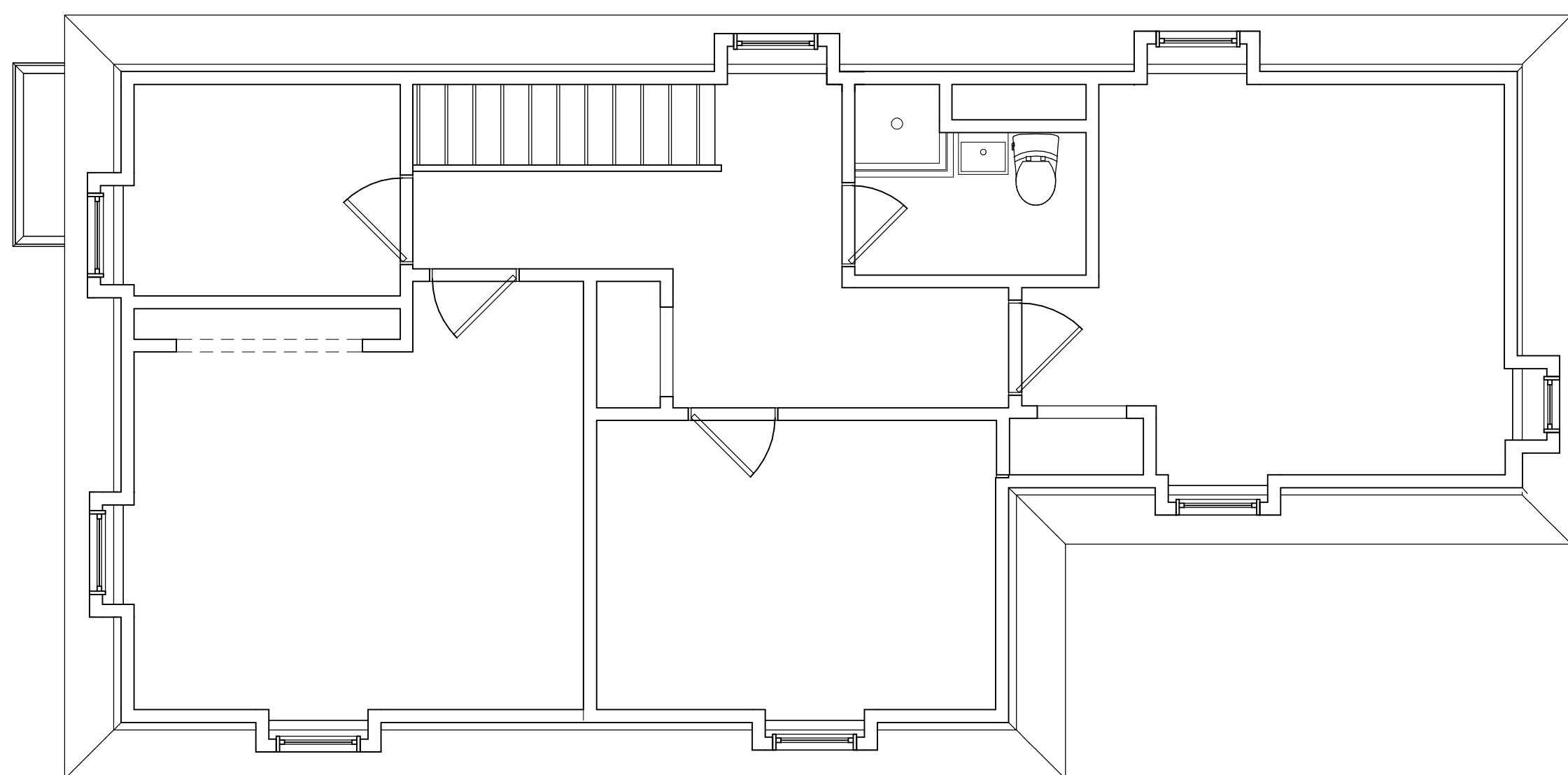
LAYOUT PLANS AND CITY FIELD NOTES ON FILE AT THE CITY OF CAMBRIDGE:

- 1871 FRANKLIN STREET LAYOUT PLAN
- CITY FIELD BOOK 25 PG. 143-144
- CITY FIELD BOOK 83 PG. 53

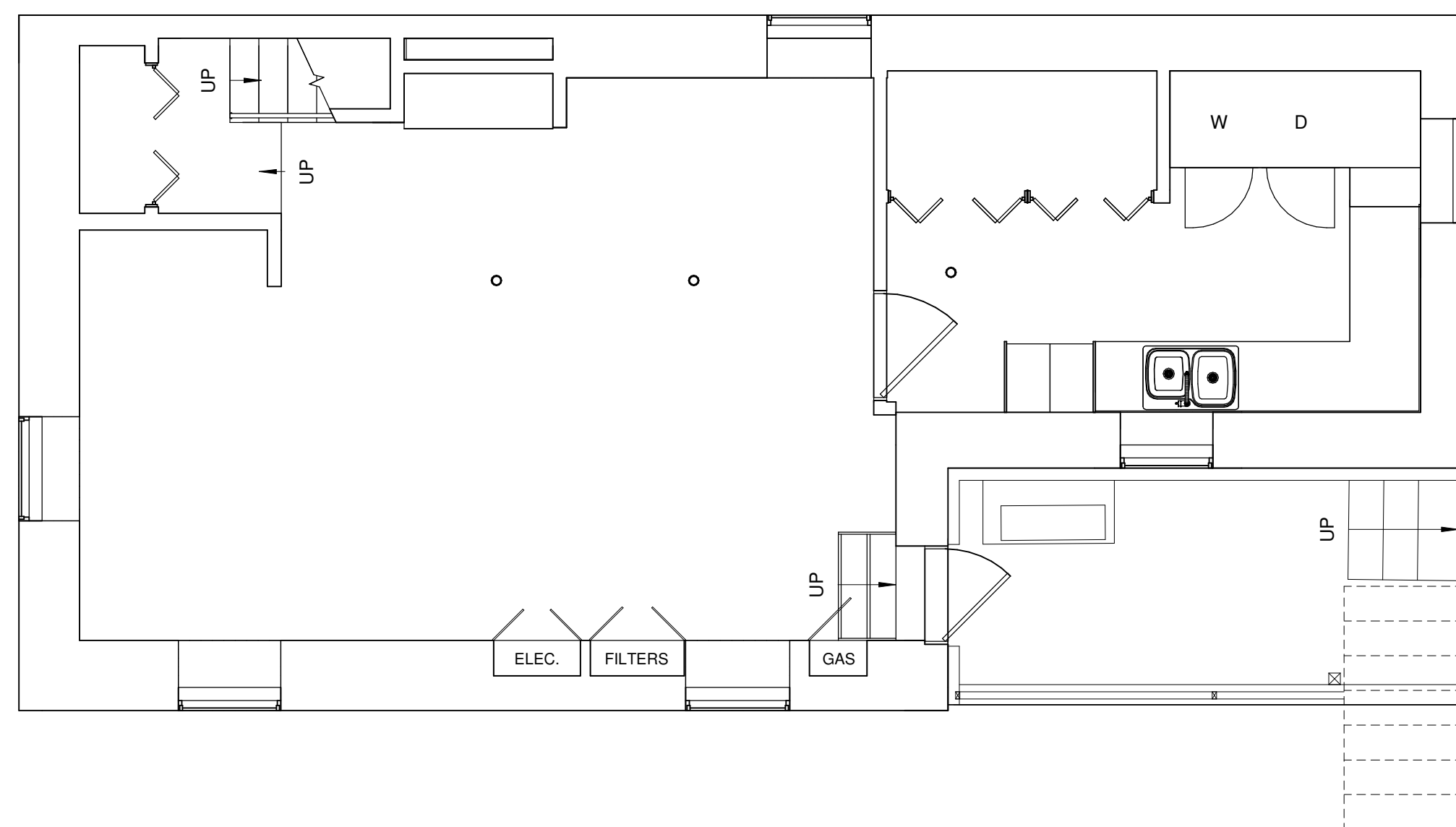
Drawing Name: C:\w1\Cambridge\514 Franklin Street - Kuhlmann\Survey\DWG\25530_514 Franklin_prop plot plan.dwg



B FIRST FLOOR PLAN
1/4" = 1'-0"



C SECOND FLOOR PLAN
1/4" = 1'-0"



A BASEMENT PLAN
1/4" = 1'-0"

KUHLMANN HOUSE

514 FRANKLIN STREET
CAMBRIDGE, MA 02139



281 Mt. Auburn Street
Watertown, MA 02472
617.744.8722

www.ruhljahnes.com

NO.	REVISION	DATE



SCALE	1/4" = 1'-0"
DRAWN BY	PG
ISSUED	10/23/2025

EXISTING PLANS

AE-1.0

SPECIAL PERMIT SET

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514 FRANKLIN STREET
CAMBRIDGE, MA 02139

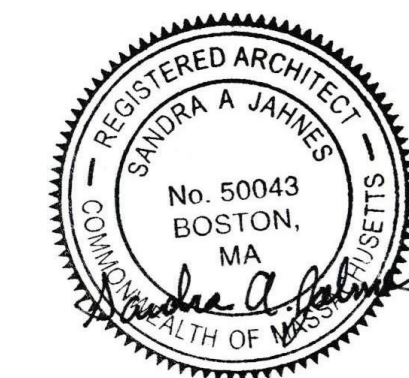
514 FRANKLIN STREET
CAMBRIDGE, MA 02139



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Watertown, MA 02472
617.744.8722

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NO. REVISION	DATE
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SCALE 1/4" = 1'-4"

DRAWN BY Author

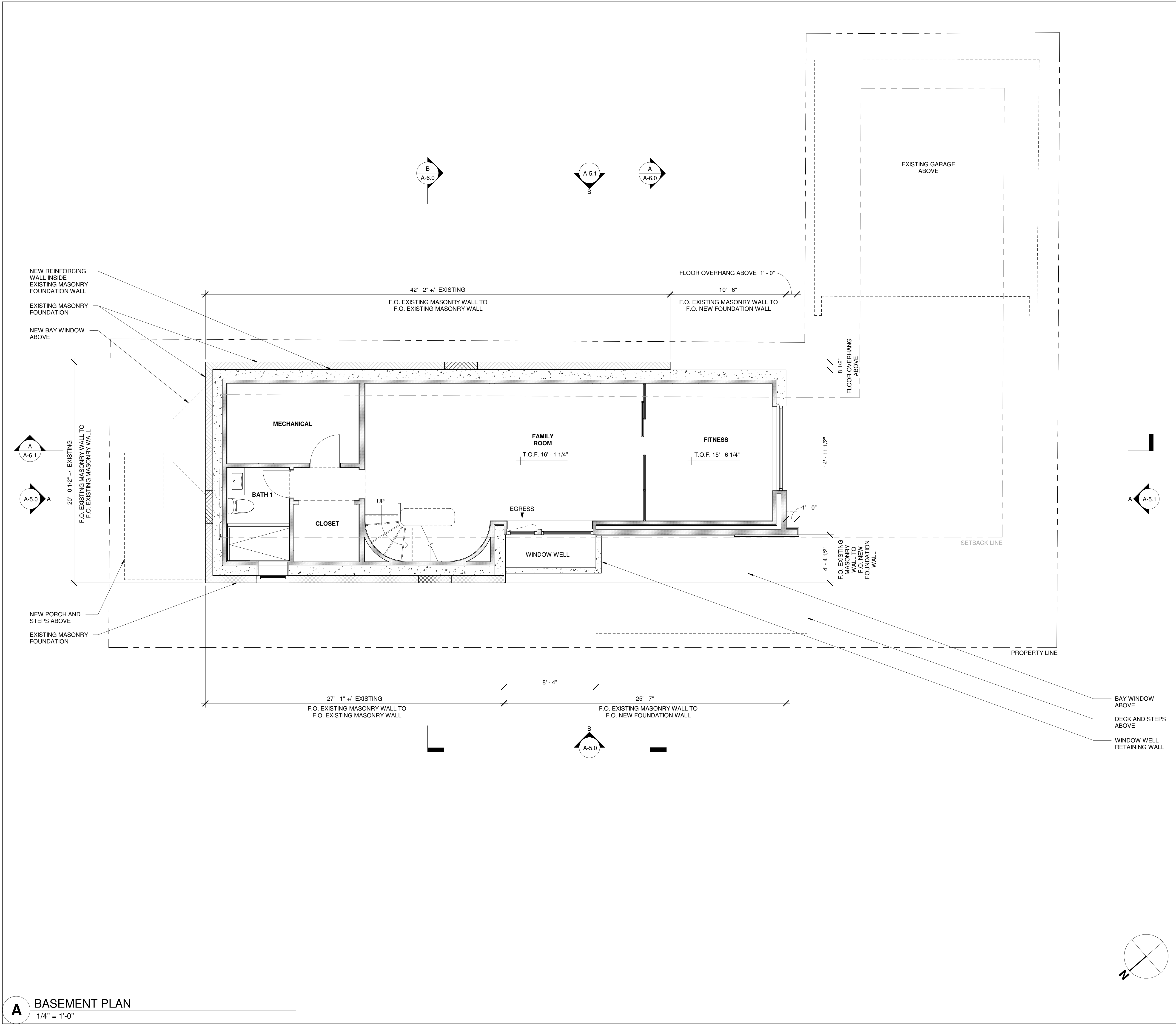
ISSUED 10/23/202

EXISTING
ELEVATIONS

AE-1.1

SPECIAL PERMIT SET

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GENERAL NOTES - FLOOR PLAN

- REFER TO G-1 FOR FURTHER ADDITIONAL DETAILED GENERAL NOTES
- DIMENSIONS ARE TO FACE OF STRUCTURE INDICATED OR FACE OF EXISTING WALL UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR FLOOR FINISH INFORMATION.
- REFER TO INTERIOR ELEVATIONS FOR SPECIALTY ITEMS AND FINISHES, INCLUDING WALL, AND MILLWORK.
- REFER TO ELECTRICAL PLANS FOR ALL OUTLET LOCATIONS.
- VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION. SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMAIN. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
- NOTIFY ARCHITECT OF ANY FIELD ISSUES THAT CONFLICT WITH DRAWINGS PRIOR TO BEGINNING WORK.
- REMOVE AND MAKE SAFE ALL WIRING AND ELECTRICAL DEVICES IN CONFLICT WITH NEW WORK.
- UTILITIES: WHERE INDICATED DISCONNECT AND REMOVE EXISTING PLUMBING, HVAC DUCTS, ELECTRICAL AND GAS SERVICE IN PLACE ACCORDING TO BUILDING CODE.
- WHERE EXISTING WALLS AROUND PIPEWORK PENETRATING FLOOR OR CEILING ARE REMOVED, CONTRACTOR IS TO ENSURE THAT PERMANENT FIRE SEPARATION IS PROVIDED PER CODE AND WITHOUT INTERRUPTION.
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW FRAMING WITHIN EXISTING STRUCTURE, REMOVE FINISH WALLS AND CEILINGS AS NECESSARY TO PERFORM NEW WORK, SEAMLESSLY PATCH AND REPAIR TO MATCH ADJACENT EXISTING FINISHES.

LEGEND

- INDICATES NEW WALL
- INDICATES EXISTING WALL WITH NEW FINISHES

KUHLMANN HOUSE

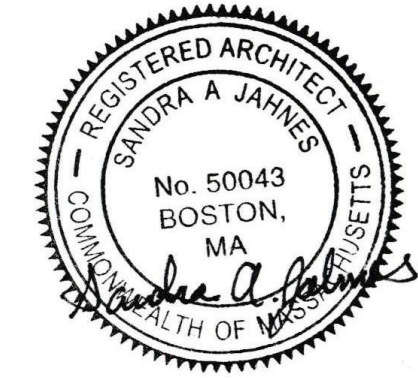
514 FRANKLIN STREET
CAMBRIDGE, MA 02139

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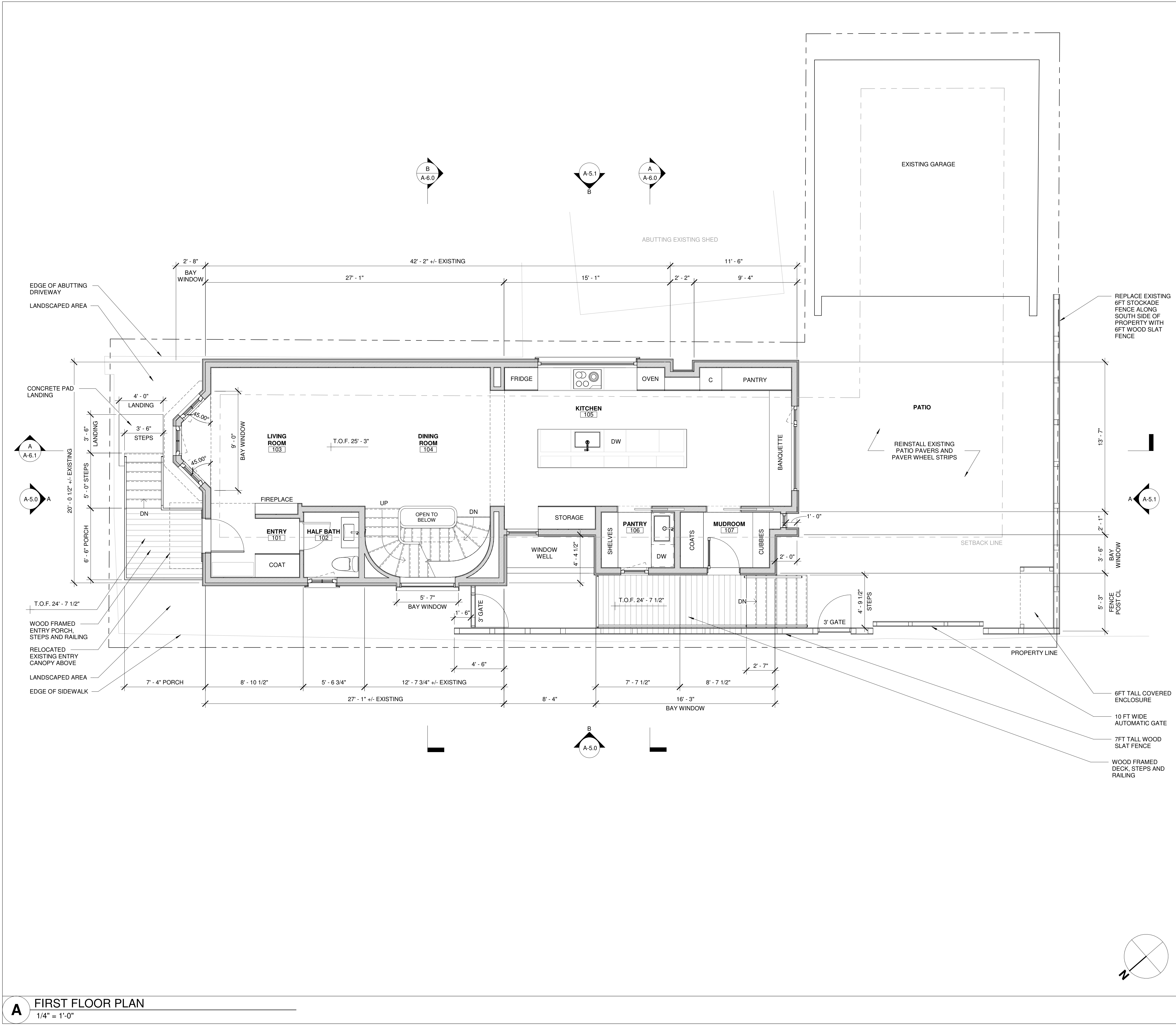
FLOOR PLAN -
BASEMENT

A-1.0

SPECIAL PERMIT SET

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A BASEMENT PLAN
1/4" = 1'-0"



GENERAL NOTES - FLOOR PLAN

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LEGEND

- INDICATES NEW WALL
- INDICATES EXISTING WALL WITH NEW FINISHES

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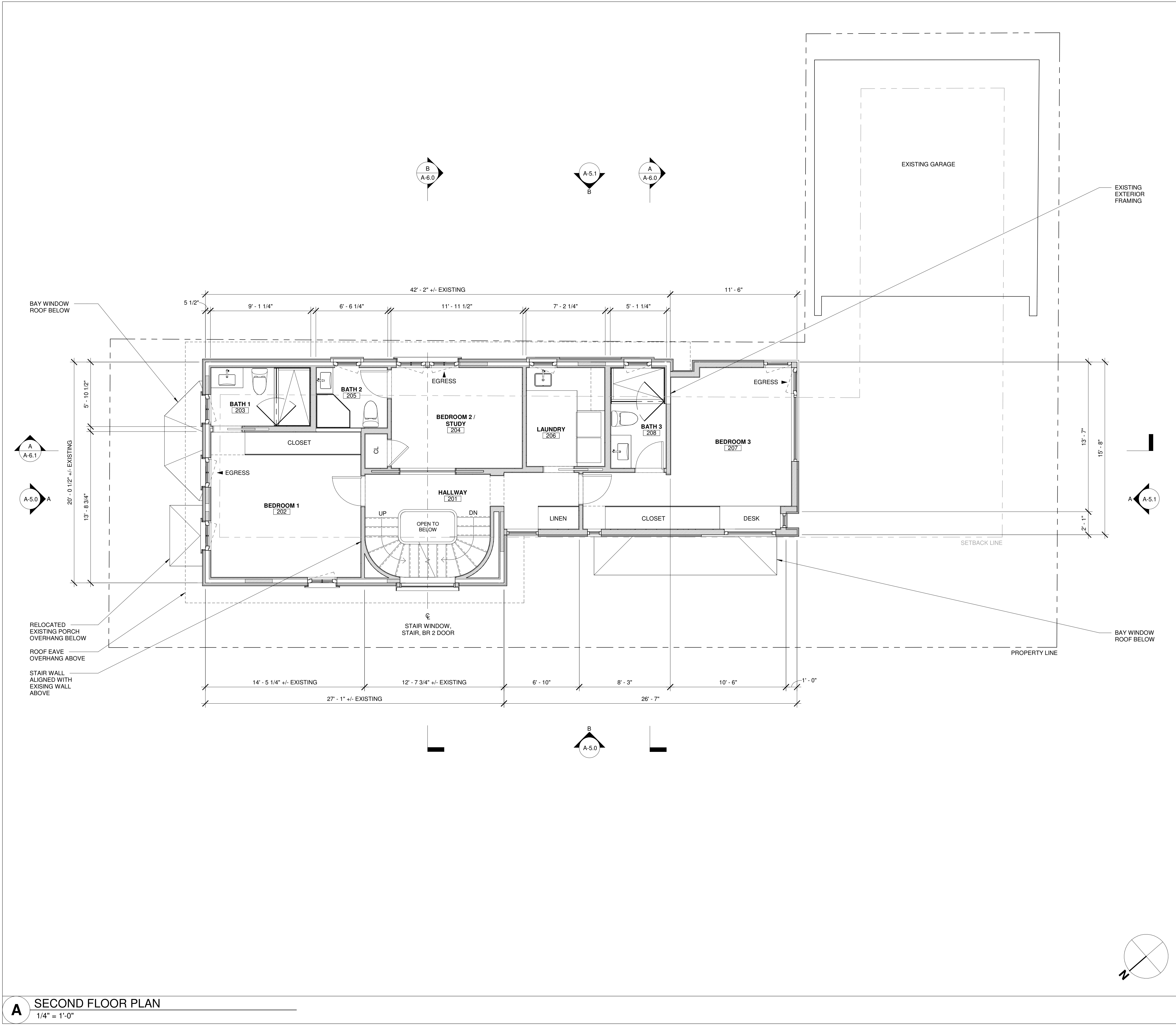
FLOOR PLAN -
FIRST FLOOR

A-1.1

SPECIAL PERMIT SET

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A FIRST FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES - FLOOR PLAN

- REFER TO G-1 FOR FURTHER ADDITIONAL DETAILED GENERAL NOTES
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LEGEND

- INDICATES NEW WALL
- INDICATES EXISTING WALL WITH NEW FINISHES

KUHLMANN HOUSE

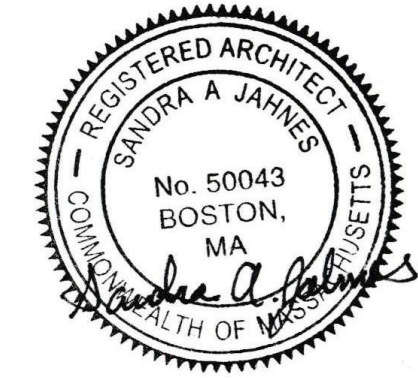
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FLOOR PLAN -
SECOND FLOOR

A-1.2

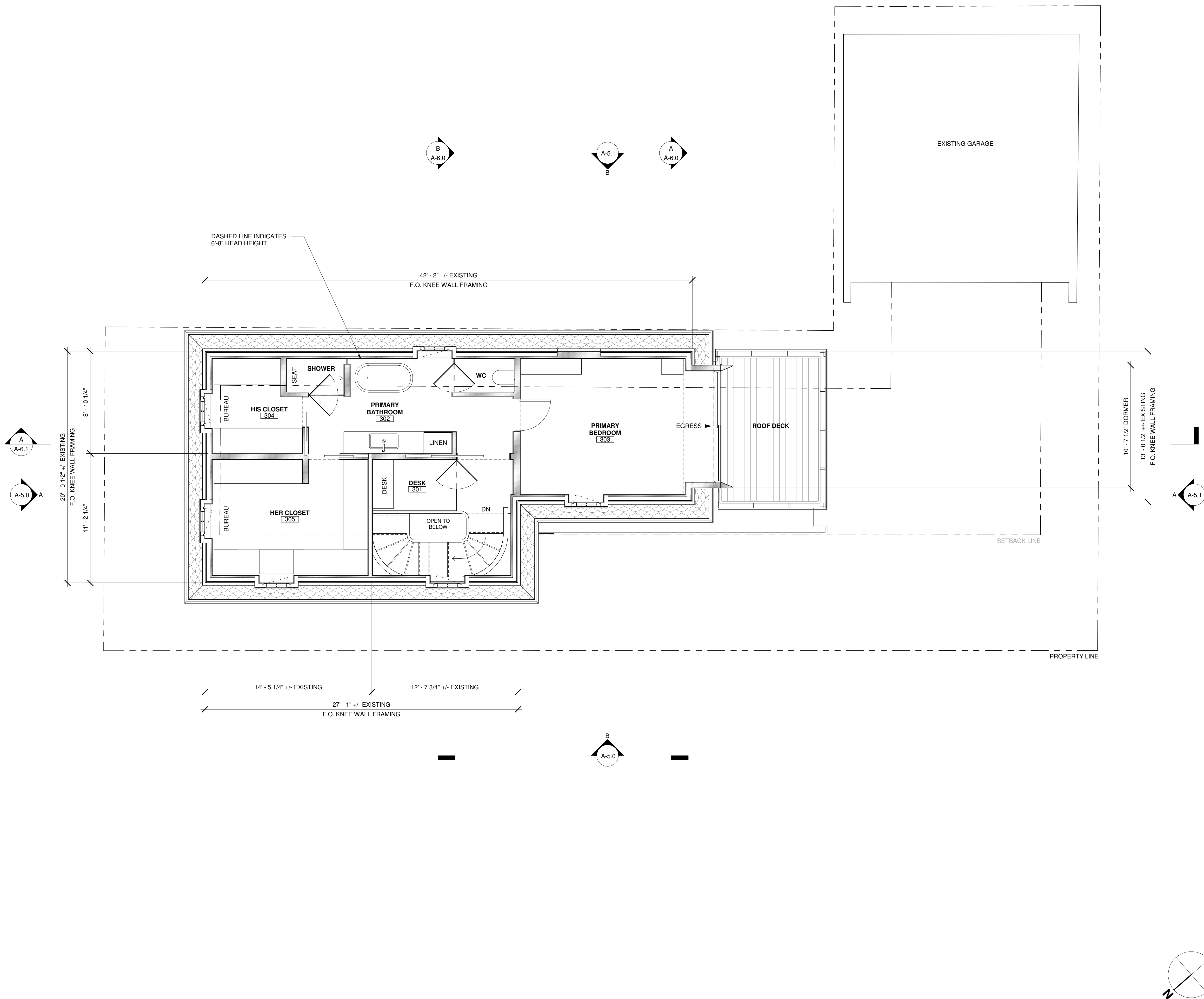
SPECIAL PERMIT SET

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SECOND FLOOR PLAN
1/4" = 1'-0"

A THIRD FLOOR PLAN

1/4" = 1'-0"



GENERAL NOTES - FLOOR PLAN

- REFER TO G-1 FOR FURTHER ADDITIONAL DETAILED GENERAL NOTES
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LEGEND

- INDICATES NEW WALL
- INDICATES EXISTING WALL WITH NEW FINISHES

KUHLMANN HOUSE
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CAMBRIDGE, MA 02139



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**FLOOR PLAN -
THIRD FLOOR**

A-1.3

SPECIAL PERMIT SET

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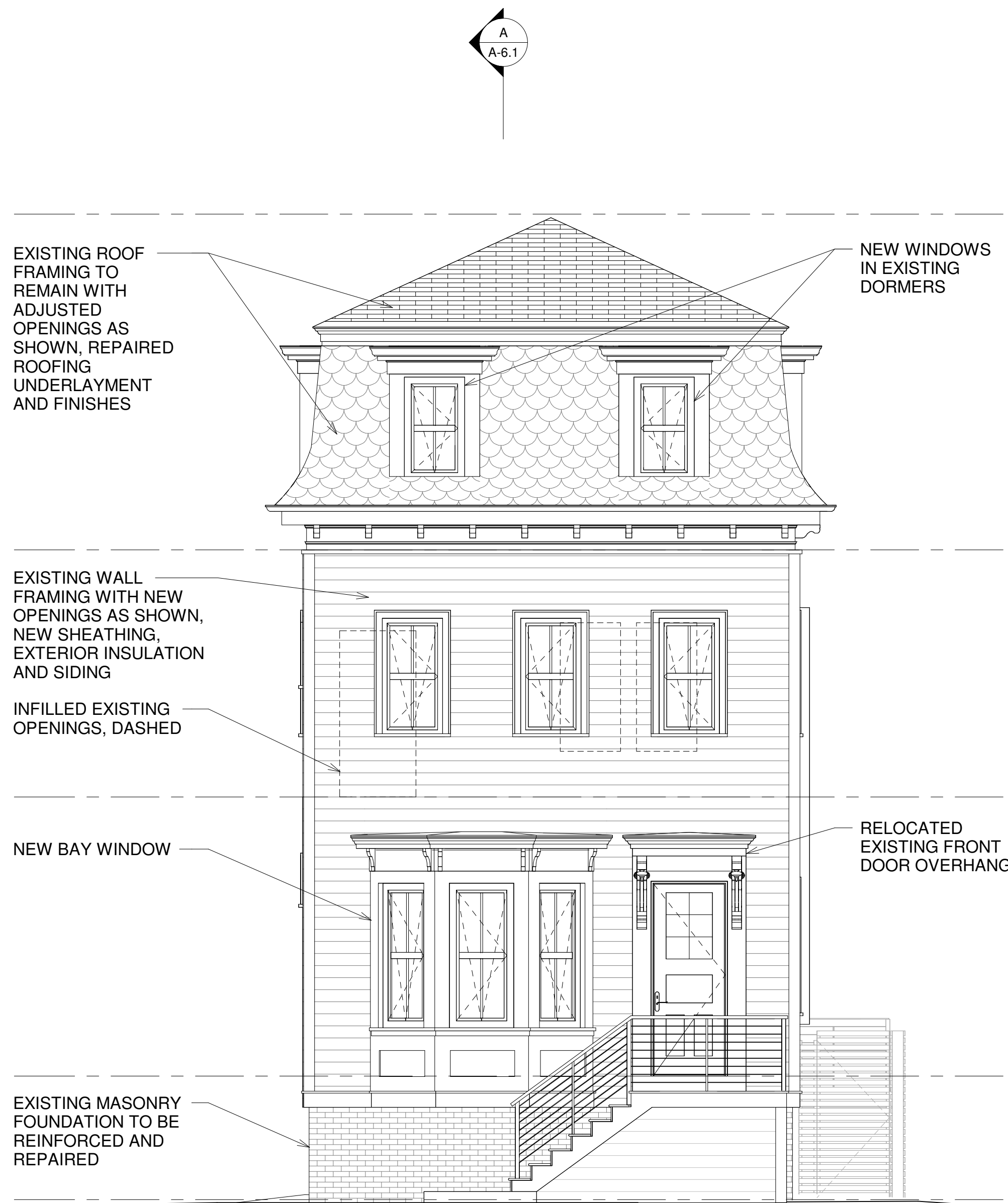


SCALE 1/4" = 1'-0"
DRAWN BY PG
ISSUED 10/23/2025

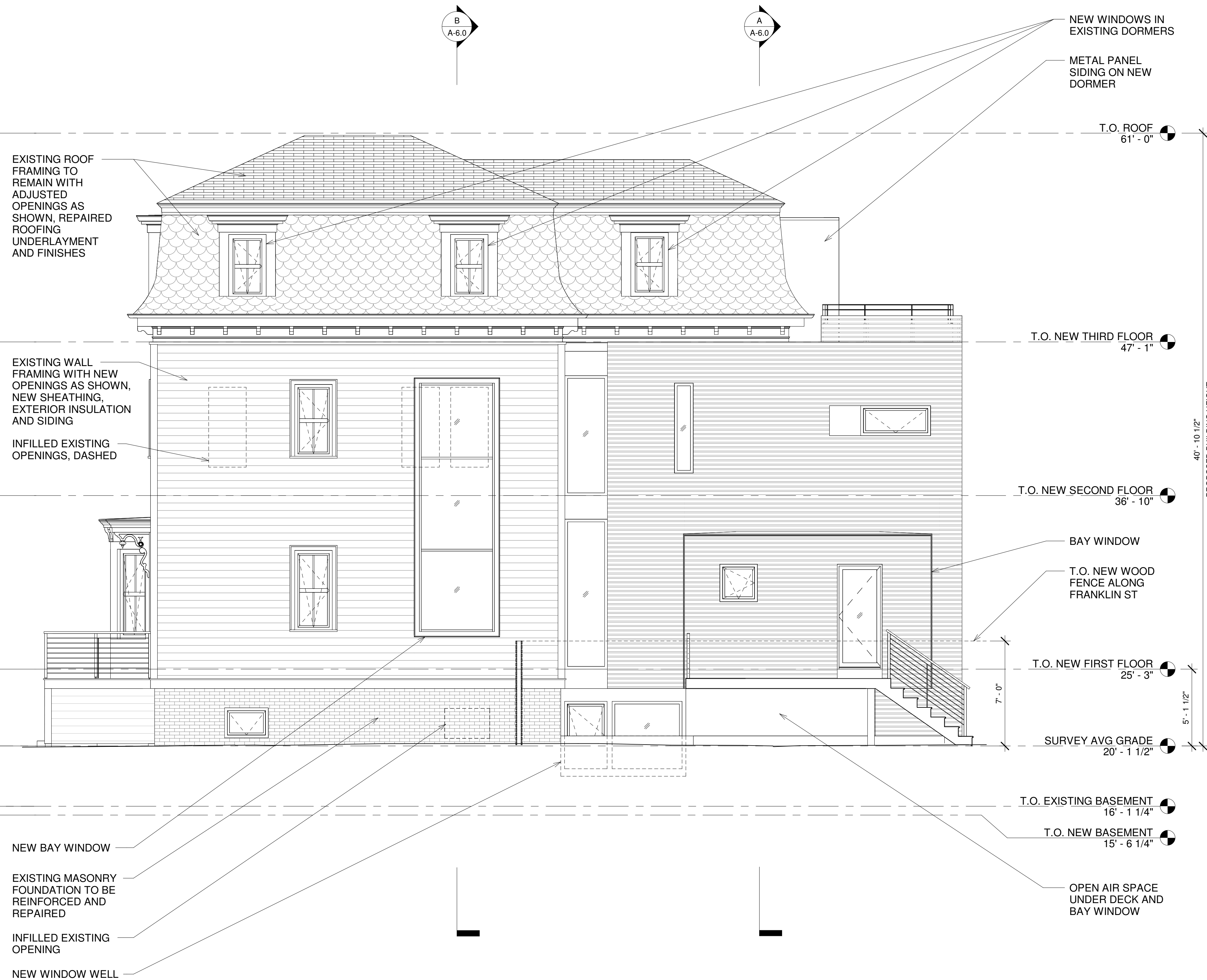
EXTERIOR
ELEVATIONS -
NORTH & WEST

A-5.0

SPECIAL PERMIT SET
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A NORTH ELEVATION
1/4" = 1'-0"



B WEST ELEVATION
1/4" = 1'-0"

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CAMBRIDGE, MA 02139

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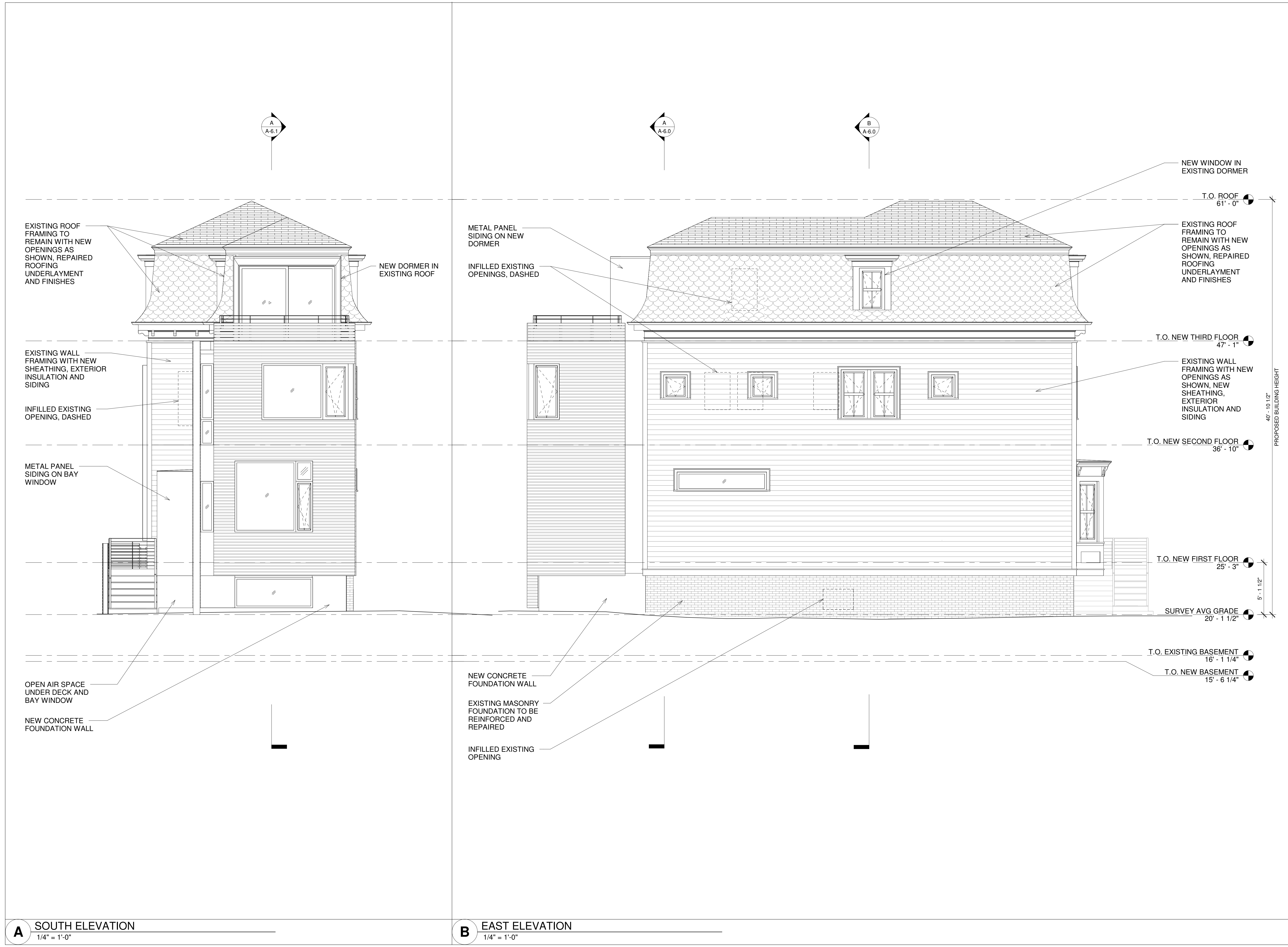


SCALE 1/4" = 1'-0"
DRAWN BY PG
ISSUED 10/23/2025

EXTERIOR
ELEVATIONS -
SOUTH & EAST

A-5.1

SPECIAL PERMIT SET
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[illegible]

514 Franklin St.

Petitioner

120-1
SETO, TOBY KAM-YEE & SHERRY HY CHEN
YUNG-MOU CHEN
426 PUTNAM AVE
CAMBRIDGE, MA 02139

120-3
KUHLMANN, PETER & SHIRLEY KUHLMANN
514 FRANKLIN ST
CAMBRIDGE, MA 02139

JAMES J. RAFFERTY, ESQ
907 MASS AVENUE – SUITE 300
CAMBRIDGE, MA 02139

120-89
MEYERS, JOSHUA & JEREMY FARO
498 FRANKLIN ST
CAMBRIDGE, MA 02139

121-62
KAPTCHUK, TED AND JOYCE P. SINGER
524 FRANKLIN ST
CAMBRIDGE, MA 02139-2924

121-83
WILSON, DANIEL G. & TERRI M. TURNER
31 BAY ST
CAMBRIDGE, MA 02139

120-85
TYLER, MORRIS, II &
BNY MELLON, N.A., TRUSTEES
84 KINNAIRD ST
CAMBRIDGE, MA 02139

120-5
FAST, EVA
506 FRANKLIN ST UNIT 2
CAMBRIDGE, MA 02139

120-5
HALVERSON, COREY & MIN ZENG
508 FRANKLIN ST UNIT 3
CAMBRIDGE, MA 02139

120-15
RINGLER, SUSAN J.,
TR. THE SUSAN J. RINGLER LIV TRUST
82 KINNAIRD ST UNIT 2
CAMBRIDGE, MA 02139

120-5
WITT, MICHAEL J. & JAMES R. MESSINEO
504 FRANKLIN ST UNIT 1
CAMBRIDGE, MA 02139

120-15
CARLINER, HANNAH
82 KINNAIRD ST UNIT 1
CAMBRIDGE, MA 02139

121-30
PEELER, KATHERINE RATZAN &
CRANDALL PEELER
21-23 BAY ST. UNIT 23
CAMBRIDGE, MA 02139

121-30
RUMBLEY, SARAH & RAY LI
21-23 BAY ST. UNIT 21A
CAMBRIDGE, MA 02139

121-30
QIN, MINGYAO KATHY
802 VILLAGE RD
CHARLOTTESVILLE, VA 22903

120-84
CHEN STEVEN T & SUSIE S JANG TRS
84 1/2 KINNAIRD ST
CAMBRIDGE, MA 02139

120-90
NADIS, STEVEN JONATHAN
MELISSA J BURNS TRS
500 FRANKLIN ST
CAMBRIDGE, MA 02139

120-2
LIANG, STEPHEN
CITY OF CAMBRIDGE OF TAX TITLE
30 BAY STREET
CAMBRIDGE, MA 02139

120-110 (UNIT 1, 2 & 515)
509 FRANKLIN STREET LLC
C/O INFANTE PROPERTY MANAGEMENT
392 UNION AVENUE
FRAMINGHAM, MA 01702

120-110
WEICHEE CHEN
509-515 FRANKLIN ST (UNIT 509/5)
CAMBRIDGE, MA 02139



Beth Israel Deaconess
Medical Center



A MAJOR TEACHING HOSPITAL
OF HARVARD MEDICAL SCHOOL

Ted J Kaptchuk

Beth Israel Deaconess Medical Center

Director, Program in Placebo Studies & Therapeutic Encounter

Harvard Medical School

Professor of Medicine

Professor of Global Health and Social Medicine

December 3, 2025

Reference Case: BZA-1188742

Zoning Board
City of Cambridge
Cambridge, Massachusetts

Dear Board:

I have lived at 27 Bay Street in Cambridge since 1980. My home is directly across the street from Peter and Shirley Kuhlmann. They have discussed their reconstruction project with me, and I am pleased that it will allow them to continue living in the community and raising their two children nearby. I believe the proposed improvements will enhance the neighborhood overall. I am writing to support their request for a special permit.

Sincerely,
Ted

Sincerely,

Ted Kaptchuk

Professor of Medicine, HMS

Professor of Global Health & Social Medicine, HMS

Director, Harvard-wide Program in Placebo Studies & Therapeutic Encounter, BIDMC



City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2 Bds

BZA

POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: PETER KUHLMANN Date: 11/21/25
(Print)

Address: 514 Franklin St.

Case No. BZA-1188742

Hearing Date: 12/11/25

Thank you,
Bza Members

Board of Zoning Appeals
831 Massachusetts Avenue
Cambridge, MA 02139

Re: BZA Case No.
514 Franklin Street

Dear Mr. Chair and Members of the Board:

We are writing to provide some background on the application we have filed for an addition to our home, primarily regarding our efforts to engage with, and consider the needs and potential concerns of, our neighbors and community.

We first notified our most impacted neighbors, Min Zeng and Corey Halvorsen at 508 Franklin Street, via an in-person chat; we followed up on this conversation by sending an early architectural rendering in late June 2025 reflecting the same massing as our special permit application (a copy of which is attached as Exhibit A). Based on the positive feedback from Ms. Zeng and Mr. Halvorsen, we pursued further development of our plans.

In early October 2025, we hand-delivered a letter to all who would receive notice from ISD summarizing the nature and purpose of our project; expressing our eagerness to discuss any concerns; providing our contact information; and noting that they should expect to receive a notice letter from the City regarding an upcoming BZA. A copy of that transmission is enclosed, as Exhibit B.

We received primarily positive feedback from this outreach. We shared a draft of the special permit application plans with Ms. Zeng and Mr. Halvorsen, as well as an updated survey, on October 5, 2025. They expressed concern about anticipated disruptions to their tenants during the construction and queries regarding the impact on their driveway, to which we responded. We shared that we expected to submit our special permit application within one month of October 15, 2025. As promised, we sent Ms. Zeng and Mr. Halvorsen the final set of plans on October 27, 2025, shortly before filing our application on October 31, 2025.

We were very surprised to learn that our application came as a surprise to some of our neighbors, given our multiple outreach efforts, the ongoing correspondence (especially in the case of Ms. Zeng and Mr. Halvorsen), the advertisements promptly and prominently posted outside our home, and the Board's notification. Nevertheless, we agreed to a continuance to afford our neighbors additional time to review the proposed renovation.

Since requesting the continuance, our architects conducted a shade study to evaluate the impact on our neighbors' property (a copy which is enclosed as Exhibit C) and we engaged repeatedly with Ms. Zeng and Mr. Halvorsen in an effort to understand and mitigate, where possible, their concerns. Despite emails sent to the other neighbors who requested a continuance ahead of the prior meeting, we have not received any substantive feedback, other than from Ms. Zeng and Mr. Halvorsen, who requested that we consider foregoing our proposed addition altogether (including the portion of it that we can build as a matter of right).

CITY OF CAMBRIDGE
INSPECTION DEPARTMENT
2025 OCT 12 10 46 33

In parallel, we evaluated ways to further reduce the impact of our proposed renovations on our immediate neighbors while still fulfilling our programmatic needs. As a result, we have modified our proposed design such that the number and aggregate size of openings on the non-conforming eastern face of our home have been reduced relative to the existing conditions; only one window has been added on that face, a glazed wall assembly that is above eye-level to ensure maximum privacy for both ourselves, and the residents of 508 Franklin Street.

We look forward to discussing our proposal in greater detail at the upcoming BZA meeting. Thank you for your time and consideration.

Regards,

Peter Kuhlmann

Shirley and Peter Kuhlmann

Exhibit A
June 2025 Conceptual Plans

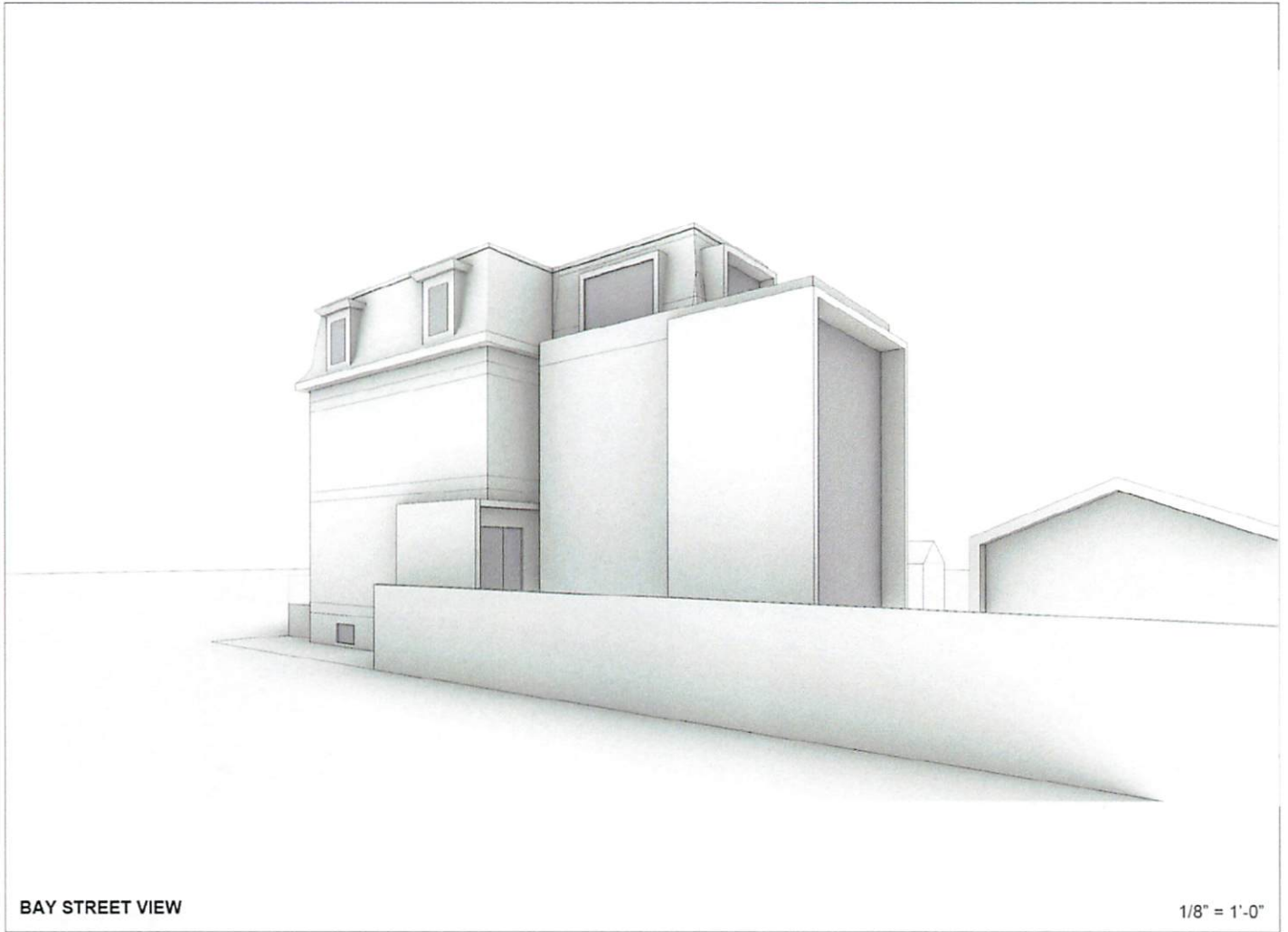


Exhibit B
October 2025 Letter to Neighbors

Dear neighbor,

As some of you are already aware, we are planning a significant renovation to our house at 514 Franklin St. Our immediate issue is that, as Eve and Ari continue to grow, our sharing a single bathroom is becoming increasingly untenable. Unfortunately, our house also has some major structural issues, most seriously a tilting foundation, which means that we must do some major work to stabilize the house in addition to the expansion we would like to do.

We have been working with architects, as well as structural, civil and geotechnical engineers and are close to completing a plan with which we can apply for a special permit from the City. With the new zoning passed in Cambridge, we have more flexibility to proceed with a renovation, but because we have a corner lot, we still need to jump through some hoops with the City. The plan we are preparing to submit is to lift the existing house, reinforce and remediate the foundation, and then insert a new first floor. We will also be adding a new addition in the back which will slightly decrease the size of our backyard, but we have designed it in such a way that we have the same usable space that we currently have. The front of the house will maintain its historic appearance but become three stories instead of the current two. The side portion on Bay Street will have a modern addition. Unfortunately, we will have to remove and replace the weeping cherry tree, which, although still healthy currently, is a grafted ornamental street that is not particularly long-lived.

Because of the need to do some exploratory work to figure out what is going on in the current structure, we've had to move out already and are now renting a place in Huron Village (but we miss Franklin St already and are eager to be back!). We expect to have some plans and renderings to share shortly, and we're available to discuss any questions or comments you have about the project in the meantime.

We can be reached at:

Pete and Shirley Kuhlmann

[REDACTED]@gmail.com

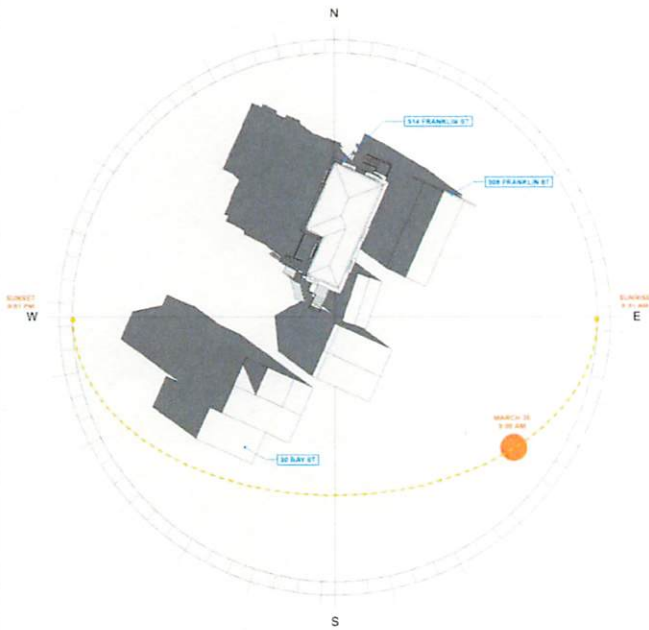
[REDACTED]@gmail.com

Best,

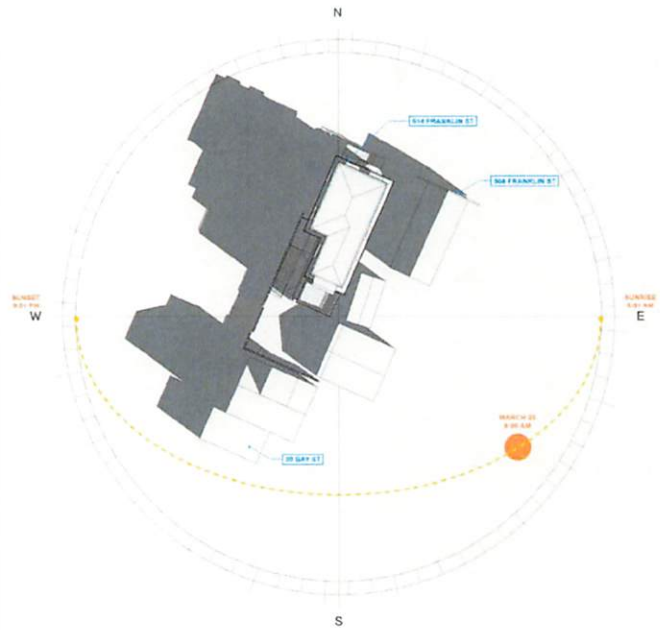
Pete and Shirley

Exhibit C
December 2025 Shade Study

DISCLAIMER
 THE LOCATIONS OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 32 BAY ST ARE BASED ON THE
 REQUESTED EXISTING CONDITIONS SURVEY CONDUCTED BY ALJ CONELLI & ASSOCIATES.
 3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D
 SCAN CONDUCTED BY POINTCLOUD PROVIDED ON 06/17/2021 THAT HAS BEEN MODIFIED TO
 REFLECT THE PROPOSED DESIGN.
 3D BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 32 BAY STREET WERE MODELED WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE EARTH
 AND VISUAL PERMANENCE.



A EXISTING HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 9AM



B PROPOSED HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 9AM

KUHLMANN HOUSE
 514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

RUHL | ZAHNES
 201 Mt. Auburn Street
 Cambridge, MA 02142
 617.744.5722
www.ruhlzahn.com

NO REVISION DATE

PROGRESS SET
 NOT FOR CONSTRUCTION

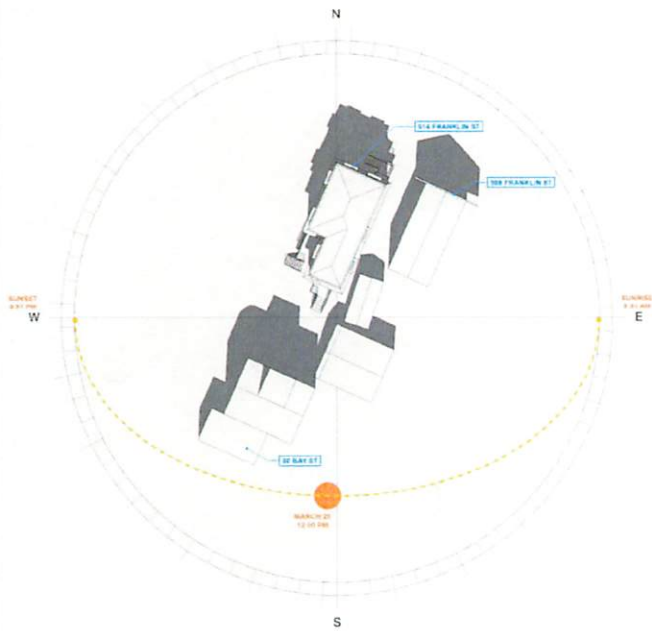
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SHADOW STUDY

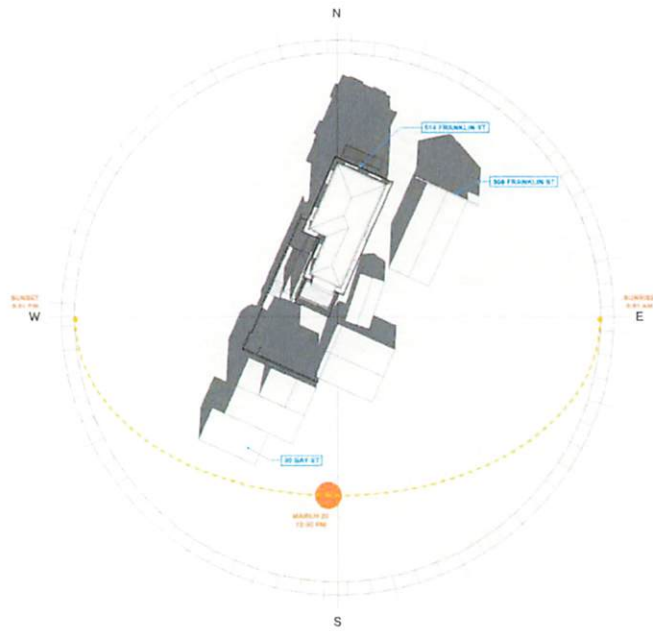
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 © CAMBRIDGE CITY PLANNING DEPARTMENT 12/18/2021

DISCLAIMER:
 THE LOCATION OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE
 RECORDED EXISTING CONDITIONS SURVEY CONDUCTED BY A. J. CONNELL & ASSOCIATES.
 3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON EXISTING CONDITIONS 3D
 SCANS CONDUCTED BY A. J. CONNELL & ASSOCIATES PROVIDED ON 06/17/2023 THAT HAVE BEEN MODIFIED TO
 REFLECT THE PROPOSED DESIGN.
 3D BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 30 BAY STREET WERE MODELED WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VISUAL INFORMATION.



A EXISTING HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 12PM



B PROPOSED HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 12PM

KUHLMANN HOUSE

514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

RUHL | JANNES
 201 St. Rufus Street
 Cambridge, MA 02139
 617.744.5733
 www.ruhljannes.com

REV. NUMBER DATE

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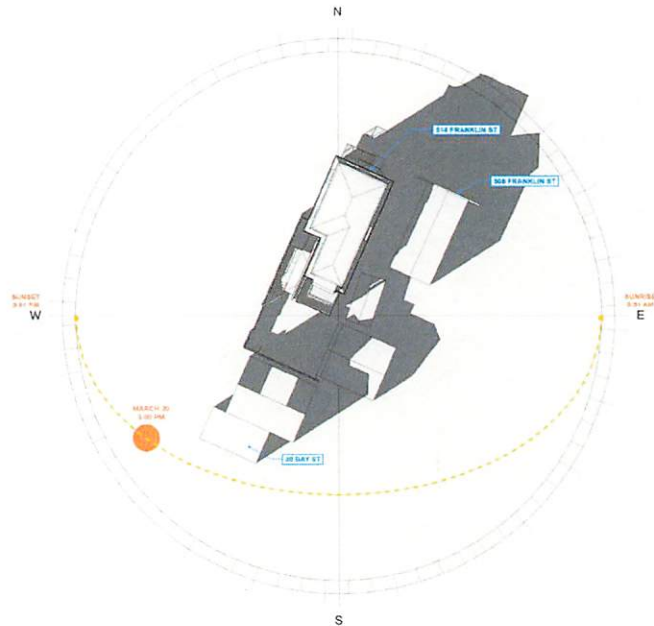
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SHADOW STUDY

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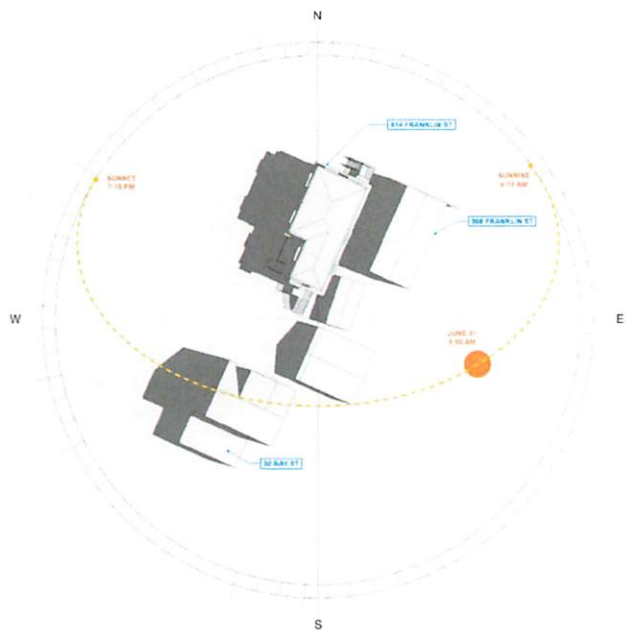
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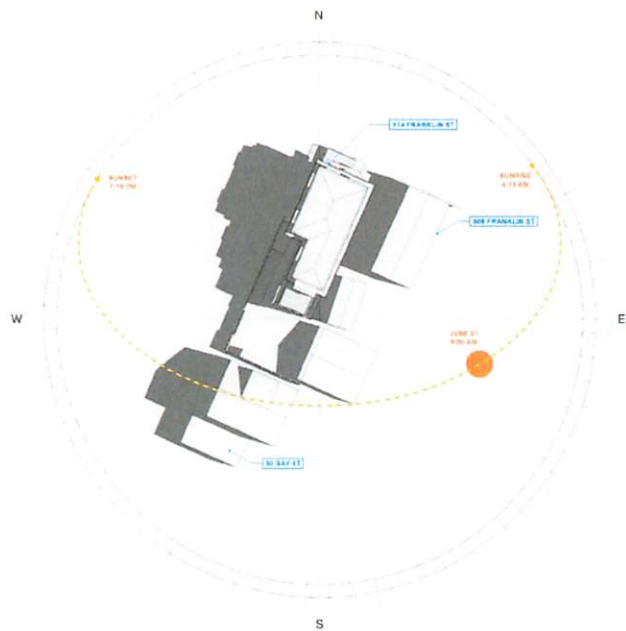
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PROGRESS SET
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 THE LOCATION OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 32 BAY ST ARE BASED ON THE
 BIGGEST EXISTING CONDITIONS SURVEY CONDUCTED BY A.J. CONNELLY & ASSOCIATES.
 3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D
 SCAN CONDUCTED BY HONKINSON PROVIDED ON 06/17/2021 THAT HAS BEEN MODIFIED TO
 REFLECT THE PROPOSED DESIGN.
 3D BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 32 BAY STREET WERE MODELED WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VISUAL INTERPRETATION.



A EXISTING HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 9AM



B PROPOSED HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 9AM

KUHLMANN HOUSE
 514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

RUHL | JAHNES
 201 Mt. Auburn Street
 Cambridge, MA 02139
 617.447.5733
www.ruhl-jahnes.com

NO REVISION DATE

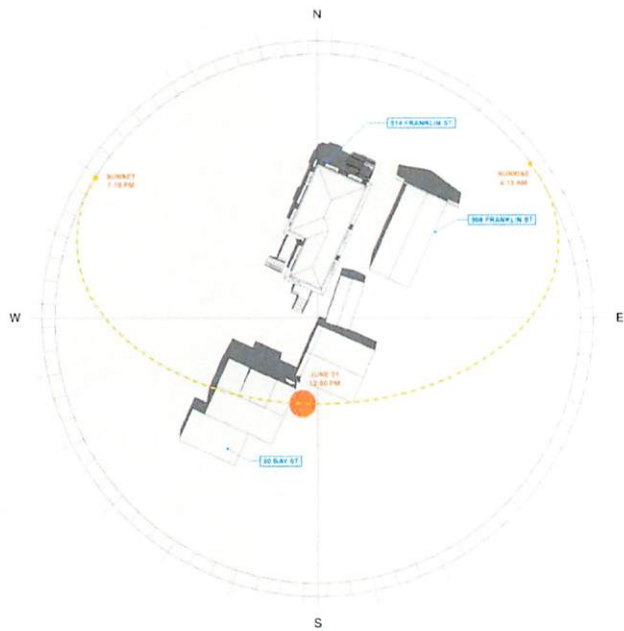
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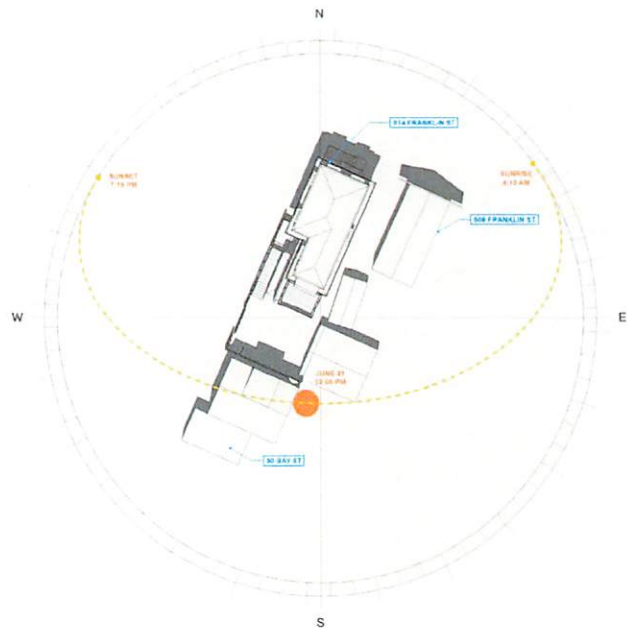
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DISCLAIMER:
 THE LOCATIONS OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 10 BAY ST ARE BASED ON THE
 BIGGEST EXISTING CONDITIONS SURVEY CONDUCTED BY ALDO CORNELI & ASSOCIATES.
 10 BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D
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 10 BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 10 BAY STREET WERE MODELED WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VISUAL INTERPRETATION.



A EXISTING HOUSE SHADOW STUDY - SUMMER SOLSTICE (8/21) AT 12PM



B PROPOSED HOUSE SHADOW STUDY - SUMMER SOLSTICE (8/21) AT 12M

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 514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

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 201 Mt. Auburn Street
 Cambridge, MA 02142
 617.744.8722
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NO REVIEW DATE
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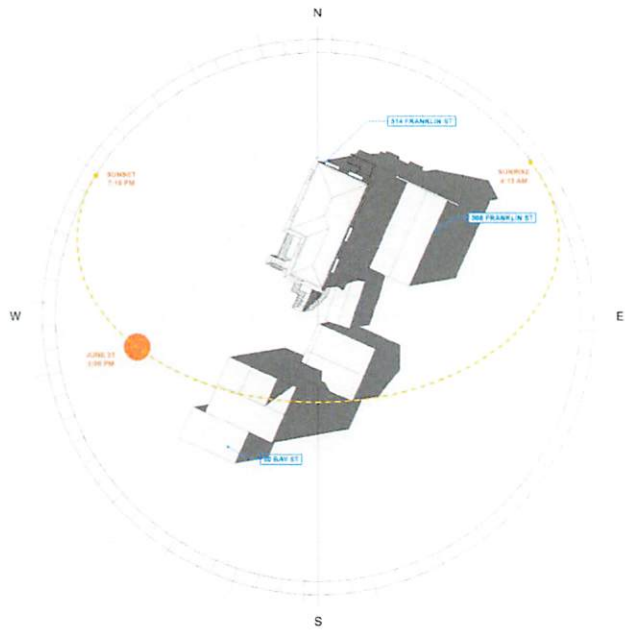
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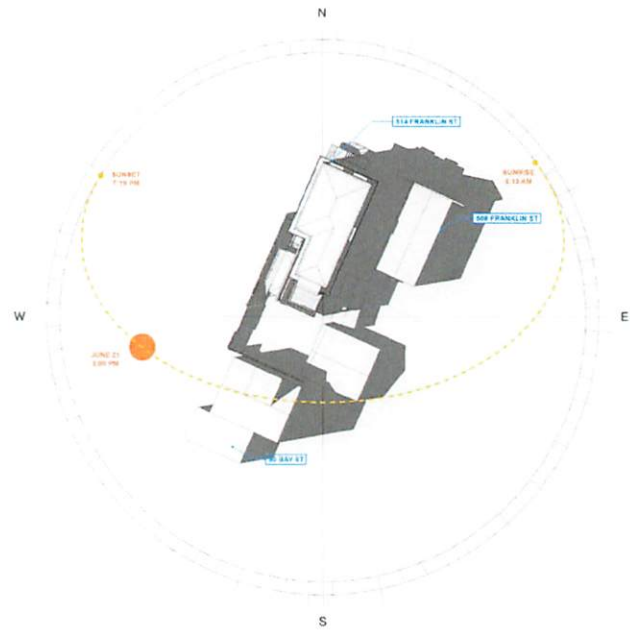
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PROGRESS SET
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DISCLAIMER
 THE LOCATION OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE
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 VISUAL INFORMATION.



A EXISTING HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 3PM



B PROPOSED HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 3PM

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 514 FRANKLIN STREET
 CAMBRIDGE, MA 02138

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 201-451-1000
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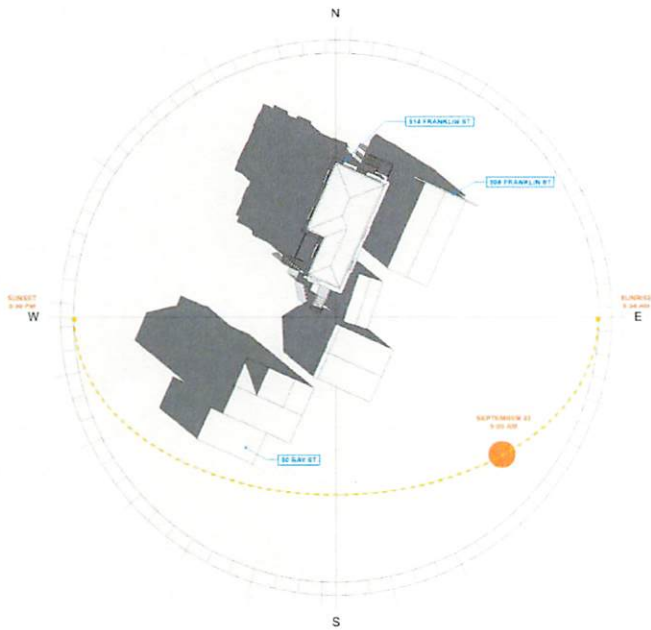
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SHADOW STUDY

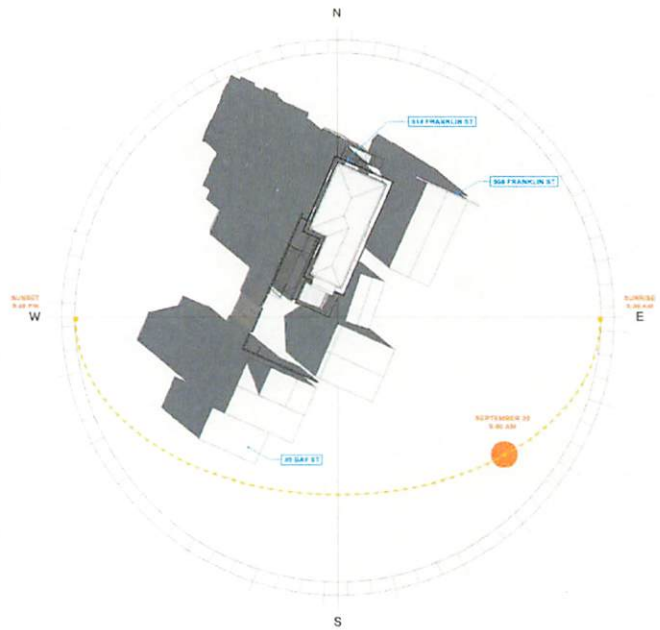
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DISCLAIMER:
 THE LOCATIONS OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 32 BAY ST ARE BASED ON THE
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 3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITION 3D
 MODEL CONDUCTED BY RUBINSTEIN PROVIDED IN 2017 THAT HAS BEEN MODIFIED TO
 REFLECT THE PROPOSED DESIGN.
 3D BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 32 BAY STREET WERE MODELED WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VISUAL OBSERVATION.



A EXISTING HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 9AM



B PROPOSED HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 9AM

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 514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

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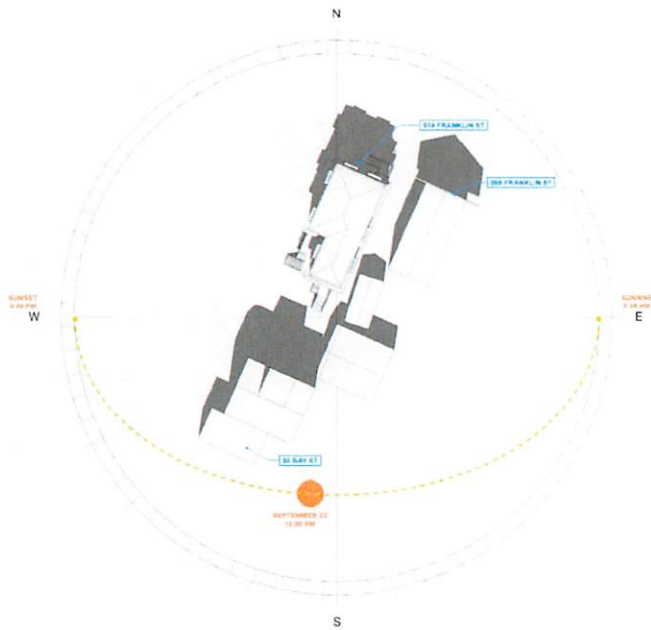
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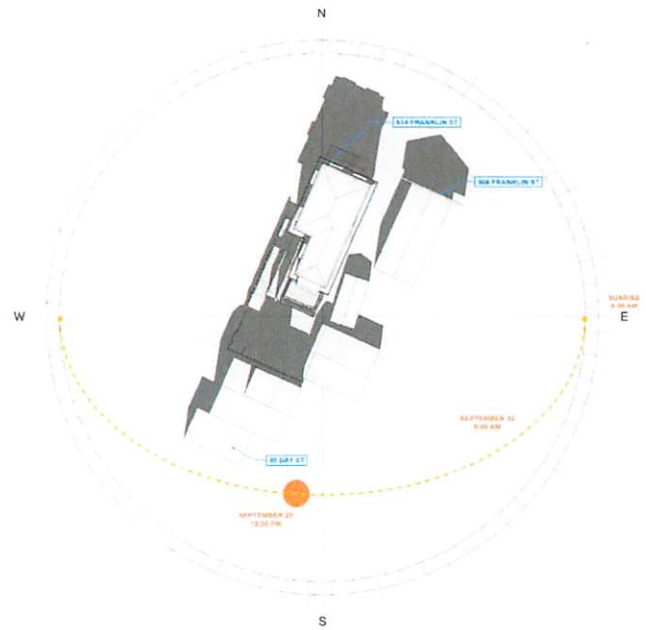
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PRELIMINARY SET
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DISCLAIMER
 THE LOCATIONS OF 514 FRANKLIN ST, 508 FRANKLIN ST AND 32 BAY ST ARE BASED ON THE
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 AND VISUAL OBSERVATION.



A EXISTING HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 12PM



B PROPOSED HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 12PM

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 514 FRANKLIN STREET
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 ISSUED: 12/14/2021
 SHADOW STUDY

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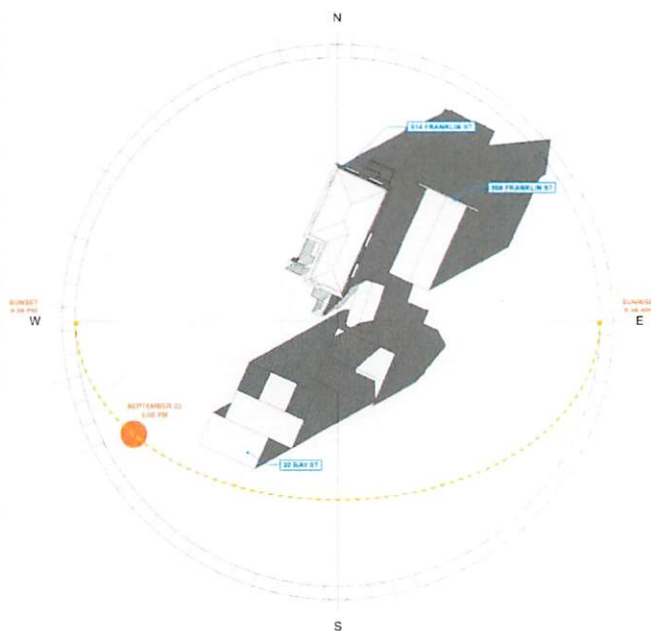
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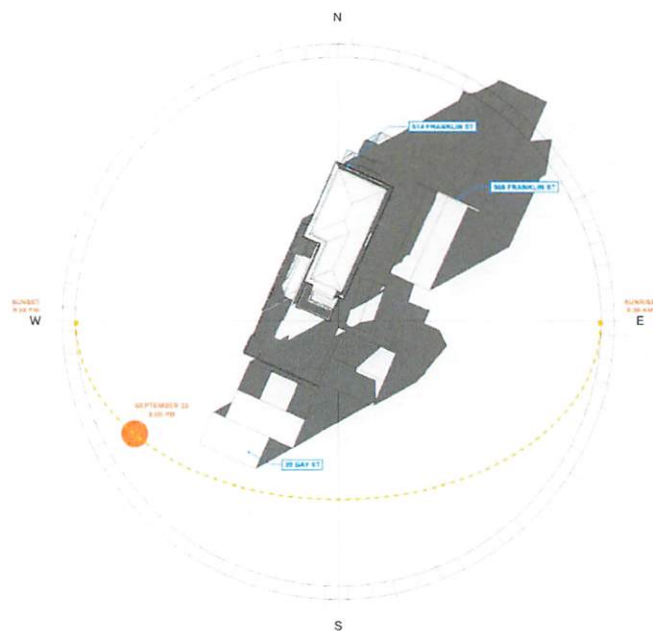
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30 BUILDING GEOMETRY FOR 508 FRANKLIN ST AND 33 BAY ST STREET WERE MODELED WITH THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND VIRTUAL ORIENTATION.



A EXISTING HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 3PM



B PROPOSED HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 3PM

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201 St. Andrew's Street
Vancouver, BC V6A 2K2
617 744 3722
www.ruhl-jahnes.com

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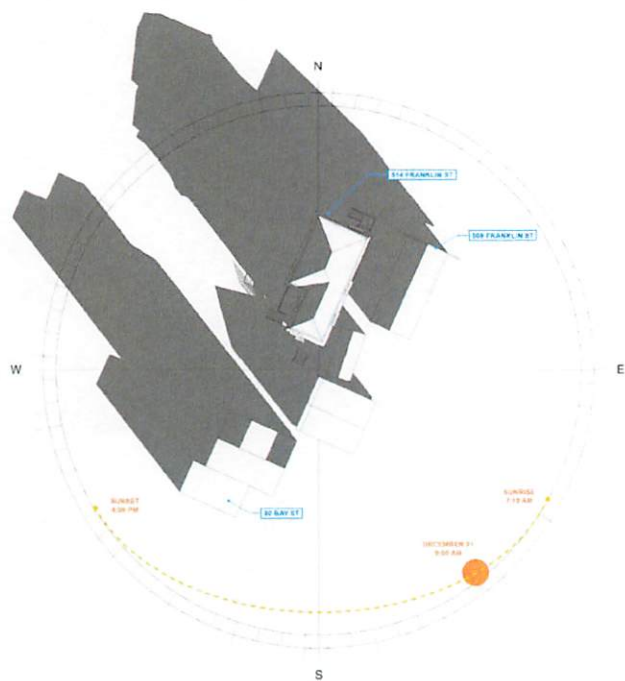
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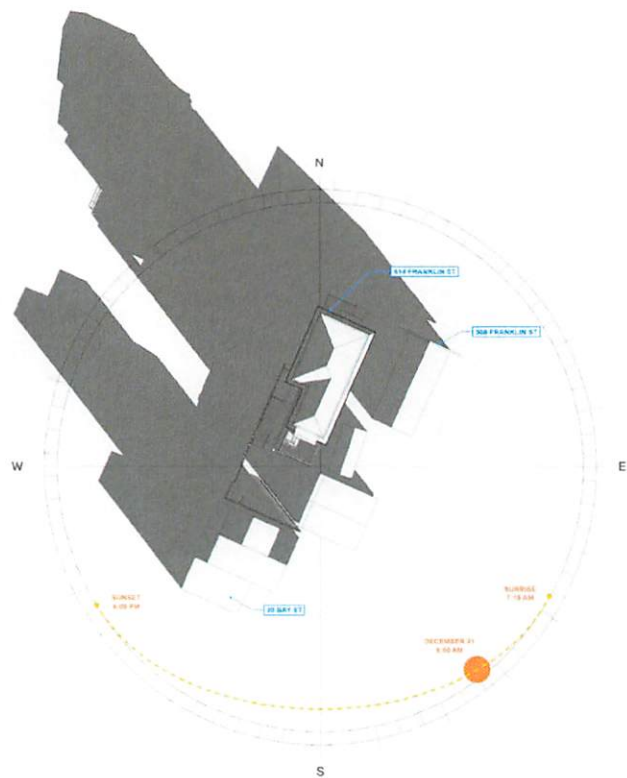
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PROGRESS SET

DISCLAIMER:
 THE LOCATIONS OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE
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 3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D
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 3D BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 30 BAY STREET WERE MODELED INTO
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VISUAL PERCEPTION.



A EXISTING HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 9AM



B PROPOSED HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 9AM

KUHLMANN HOUSE 514 FRANKLIN STREET CAMBRIDGE, MA 02139

KUHL | JAHRES
 201 W. Auburn Street
 Cambridge, MA 02142
 617.764.5722
 www.kuhljahres.com

NO. REVISION DATE

PROPOSED SET
 NOT FOR CONSTRUCTION

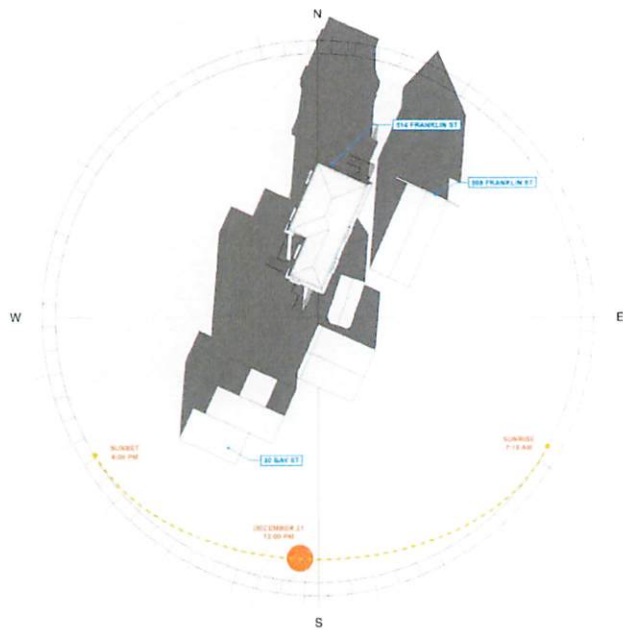
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SHADOW STUDY

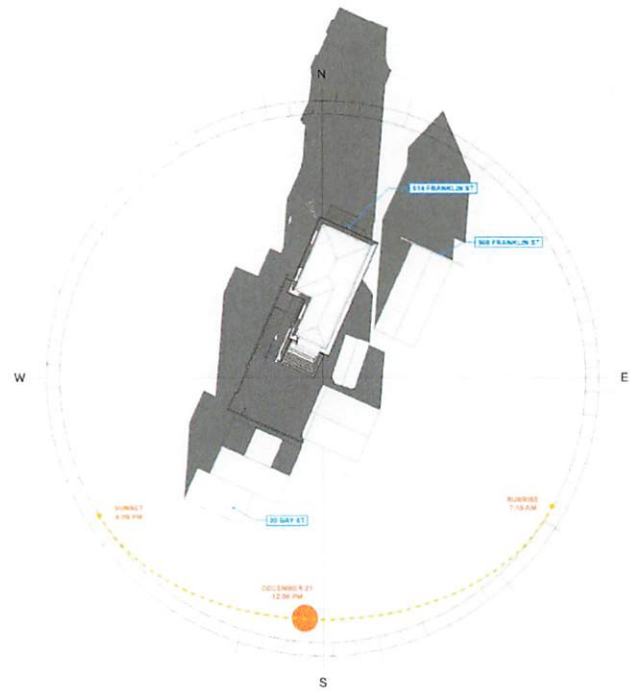
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 8-10-2022 10:00 AM

DISCLAIMER:
 THE LOCATIONS OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE
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 3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D
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 REFLECT THE PROPOSED DESIGN.
 3D BUILDING GEOMETRY FOR 30 BAY STREET DEPTH MODELS WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VISUAL FABRICATION.



A EXISTING HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 12PM



B PROPOSED HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 12PM

KUHLMANN HOUSE
 514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

RUHL | JAHNES
 801 Mt. Auburn Street
 Cambridge, MA 02139
 617.764.5732
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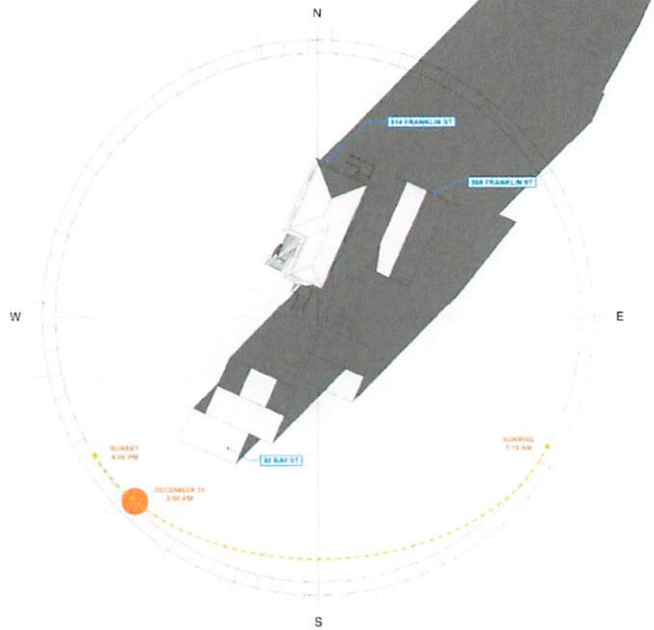
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 NOT FOR CONSTRUCTION

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 08/2021 12/2021
 SHADOW STUDY

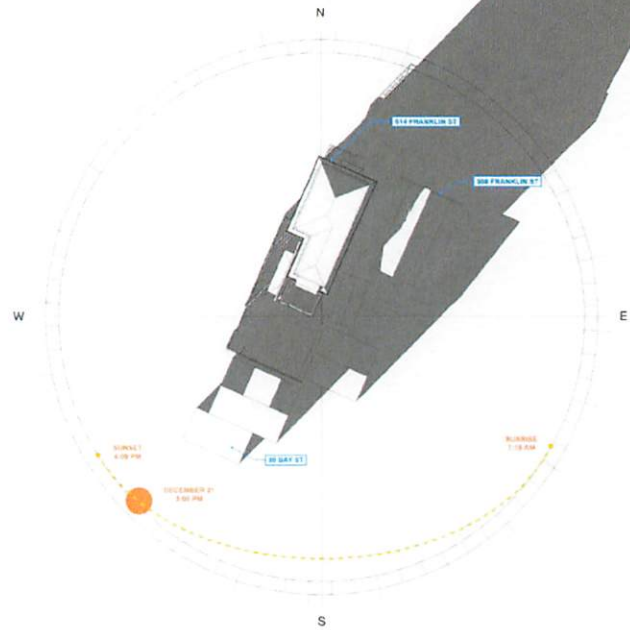
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DISCLAIMER
 THE LOCATIONS OF 114 FRANKLIN ST, 108 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE
 BIGGEST EXISTING CONDITIONS SURVEY CONDUCTED BY A. J. CONNELL & ASSOCIATES.
 10 BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS NO
 SCALE COMPLETED BY INFORMATION PROVIDED ON 06/17/2019 THAT HAS BEEN MODIFIED TO
 REFLECT THE PROPOSED DESIGN.
 10 BUILDING GEOMETRY FOR 108 FRANKLIN ST AND 30 BAY STREET WERE MODELED WITH
 THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND
 VIRTUAL OBSERVATION.



A EXISTING HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 3PM



B PROPOSED HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 3PM

KUHLMANN HOUSE
 514 FRANKLIN STREET
 CAMBRIDGE, MA 02139

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 617.764.8722
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NO REVISION DATE
 PROGRESS SET
 NOT FOR CONSTRUCTION

SCALE
 DRAWN BY: HW
 CHECKED BY: LJW

SHADOW STUDY

A-10.1

PROGRESS SET
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* * * * *

(6:02 p.m.)

Sitting Members: Jim Monteverde, Carol Agate, Zarya
Miranda, Fernando Daniel Hidalgo, and
Michael LaRosa

JIM MONTEVERDE: And the first case I am calling
is Case No. BZA-1188742 for 514 Franklin Street. And we
have a letter from Mr. Rafferty saying the petitioners in
the above-captioned case have been informed by certain
abutters that they did not receive the legal notice for
tonight's hearing, [da-da-da-da-da].

The affected abutters have requested that the
petitioners seek a continuance in this matter to allow time
for discussions and plans. Accordingly, please accept this
correspondence as a request to continue tonight's hearing
until January 15.

[Do you know what our schedule is for January?
That works?]

Okay. That works.

So on a motion to continue, let me make a motion
to continue the matter until January 15, 2026 on the
condition that the petitioner change the posting sign to

1 reflect the new date of January 15, 2026 and the new time of
2 6:00 p.m.

3 Also that the petitioner sign a waiver to the
4 statutory requirements for the hearing. This waiver can be
5 obtained from Maria Pacheco or Olivia Ratay at the
6 Inspectional Services Department.

7 I ask that you sign the waiver and return it to
8 the Inspectional Services Department by a week from this
9 coming Monday. Failure to do so will de facto cause this
10 Board to give an adverse ruling on this case.

11 Also, that if there are any new submittals,
12 changes to the drawings, dimensional forms, or any
13 supporting statements that those be in our files by 5:00
14 p.m. on the Monday prior to the continued meeting date.

15 On the motion to continue this matter until
16 January 15, 2026 by a voice vote of the Board members,
17 please, Carol?

18 CAROL AGATE: In favor.

19 JIM MONTEVERDE: Zarya?

20 ZARYA MIRANDA: Zarya Miranda in favor.

21 JIM MONTEVERDE: Daniel?

22 DANIEL HIDALGO: In favor.

1 JIM MONTEVERDE: Michael?

2 MICHAEL LAROSA: Michael LaRosa in favor.

3 JIM MONTEVERDE: Thank you. And Jim Monteverde in
4 favor.

5 [All vote YES]

6 JIM MONTEVERDE: That's five in favor. The case
7 is continued. Thank you.

8 JAMES RAFFERTY: Thank you.

9 JIM MONTEVERDE: You're welcome.

10 And we now will wait until 6:15 for the next case,
11 so open your Christmas decorations or whatever holiday
12 decorations you're busy with. See you at 6:15.

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City of Cambridge

MASSACHUSETTS

BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.
(617) 349-6100

2025 DEC 17 AM 11:09

OFFICE OF THE CITY CLERK
CAMBRIDGE, MASSACHUSETTS

Board of Zoning Appeal Waiver Form

The Board of Zoning Appeal
831 Mass Avenue
Cambridge, MA 02139

RE: Case # BZA-1188742

Address: 514 Franklin St

☐ Owner, ☐ Petitioner, or ☒ Representative: James J. Rafferty, Esq.
(Print Name)

hereby waives the required time limits for holding a public hearing as required by
Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts,
Massachusetts General Laws, Chapter 40A. The ☐ Owner, ☐ Petitioner, or ☒
Representative further hereby waives the Petitioner's and/or Owner's right to a
Decision by the Board of Zoning Appeal on the above referenced case within the time
period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of
Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the
federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C.
§1455(a), or any other relevant state or federal regulation or law.

Date: 12/12/25

Signature [Signature]

Letter of Opposition

Re: 514 Franklin Street – Application for Special Permit Relief (BZA-1188742)

Chairman Monteverde, Vice Chair Ng, and Members of the Board,

We write as direct abutters at 508 Franklin street to express our opposition to the proposed project at 514 Franklin Street. For the reasons outlined below, we believe the proposal does not satisfy the standards for special permit relief under Article 8.22.2 or the required findings under Section 10.43.

We are represented by attorney Ms. Deborah Fawcett, who will be submitting a separate letter addressing these issues.

I. Special Permit Test Under Article 8.22.2

Article 8.22.2 permits alterations to legally nonconforming structures only where the alteration is not substantially more detrimental than the existing condition. In our view, the proposed rear addition does not meet this standard.

The existing building at 514 Franklin Street already sits approximately 1.7 feet from the shared property line, a legally nonconforming condition. The proposal would extend this same setback an additional 11.5 feet horizontally beyond the current footprint, thereby introducing new violations of nonconformity.

This expansion is compounded by the proposed height. A three-story structure located so close to the property line would create a strong vertical presence immediately adjacent to our yard, significantly reducing sky exposure, daylight, and the sense of openness that currently exists. Together with the existing garage, the proposed addition would create a narrow corridor exceeding 30 feet in height less than two feet from our property line. (see Figures 1, 2, and 3).

The extremely limited setback also makes construction of a three-story structure of this scale physically impracticable without repeated and sustained entry onto our property. This would impose a substantial detriment that does not exist today by forcing us either to permit ongoing intrusion onto our driveway, which is used for off-street parking, or to pursue costly legal action to protect our property rights. Construction at this proximity would also cause significant disruption, including loss of driveway access and noise, potentially interfering with tenants' quiet enjoyment and resulting in financial loss to us. This burden arises directly from the project's scale and placement and represents a significant and unique detriment.

While we understand the applicants' desire to modernize, the zoning ordinance already permits substantial improvements by right when setback requirements are met. Instead, the

applicants seek approval for an oversized single-family residence, including a gym room, five bathrooms, and double walk-in closets. This level of expansion places a disproportionate burden on direct abutters and exceeds the relief contemplated under Article 8.22.2.

II. Failure to Satisfy the Criteria in Section 10.43

A. Section 10.43(c): Adverse Impact on Adjacent Development

Section 10.43(c) requires that the development of adjacent uses not be adversely affected by the nature of the proposed use.

By placing a three-story structure only 1.7 feet from the shared property line and extending it substantially beyond the existing footprint, the proposal would create a lasting condition that materially constrains the reasonable future development of our property. We have long planned to rebuild and modernize our existing shed, and the recent zoning reforms provide additional flexibility for improvements to our home. The immediate presence of a three-story structure at this proximity would significantly diminish light, air, and sky exposure to our property, making such improvements substantially less practical and viable.

The proposal allows the applicants to maximize their own development while imposing long-term constraints on the reasonable future use of an abutting property. This constitutes an adverse effect on adjacent development within the meaning of Section 10.43(c).

B. Section 10.43(d): Nuisance and Hazard Considerations

We also raise concerns under Section 10.43(d) regarding the five proposed windows on the east-side wall, which is set back 1.7 feet from the property line and lies within the 3-foot fire separation distance (FSD).

Under the Massachusetts State Building Code (780 CMR) governing building safety, exterior wall openings within three feet of a property line are subject to strict fire safety limitations. Based on the submitted plans, these windows appear to be new or materially altered, including a “new window in existing dormer” on the proposed third floor (see Figure 4). Such changes would eliminate any grandfathered condition and trigger full code compliance.

While zoning relief is being sought, compliance with the Massachusetts State Building Code remains required. Given the limited fire separation distance, exterior openings raise significant life-safety concerns. We respectfully request that any approval be conditioned on resolving these fire separation issues through a code-compliant design, rather than deferred solely to post-approval ISD review, and that the Board consider whether the proposal meets the requirements of Section 10.43(d).

C. Section 10.43(e): Impairment of District Integrity and Derogation from Ordinance Intent

We are also concerned that the proposal does not satisfy Section 10.43(e), which requires that a special permit not impair the integrity of the district or derogate from the intent and purpose of the Ordinance.

The project would expand their single family residence to approximately 3,797 square feet in gross area, at 230% of the neighborhood average of approximately 1,648 square feet (see Table 1). While size alone is not determinative, this substantial increase relies on dimensional relief applied to an already nonconforming condition, without increasing unit count or advancing housing density.

The recent zoning reforms were intended to encourage additional housing opportunities, particularly multi-unit development, while balancing neighborhood impacts. By contrast, the requested relief would enable a significantly enlarged single-family residence that does not further those objectives. Granting such relief would reinforce a low-density outcome and, in our view, impair the integrity of the Riverside district in a manner inconsistent with the intent and purpose of the Ordinance.

III. Scope of Relief and ISD Zoning Determination

Because the Board hears appeals of zoning determinations issued by the Inspectional Services Department, we respectfully ask the board to review whether relief of this magnitude can be granted via special permit or whether variance relief is required under Section 8.22.2(c) and (d). Our attorney, Ms. Fawcett, will submit a separate letter addressing the legal aspects of this question.

We are not opposed to development in our neighborhood. Just five years ago, we submitted a letter of support for the applicants' garage expansion project, and we value being good neighbors. Our concern here is not change itself, but the scale and placement of this proposal. We believe that a reasonable plan exists, such as a substantially reduced rear extension that respects the constraints of the lot, which would allow the applicants to modernize their home without disproportionate impacts on adjacent properties. Accordingly, we respectfully request that the Board deny the requested special permit as proposed.

Sincerely,
Min Zeng and Corey Halverson

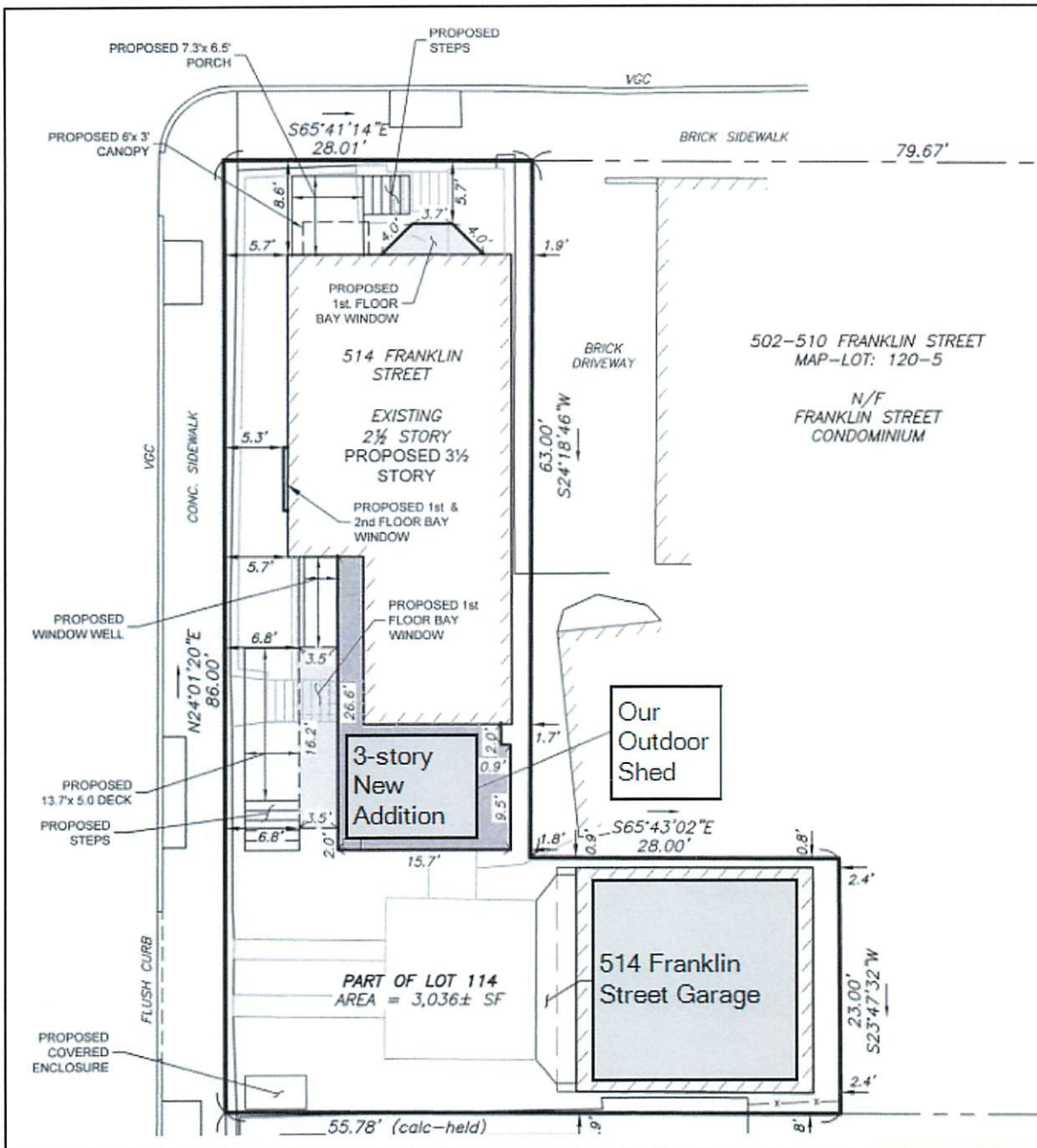


Figure 1: Our property will be enclosed by the existing garage/workshop and the new 3-story addition on the west side. Depriving it of air, light, and skyview.

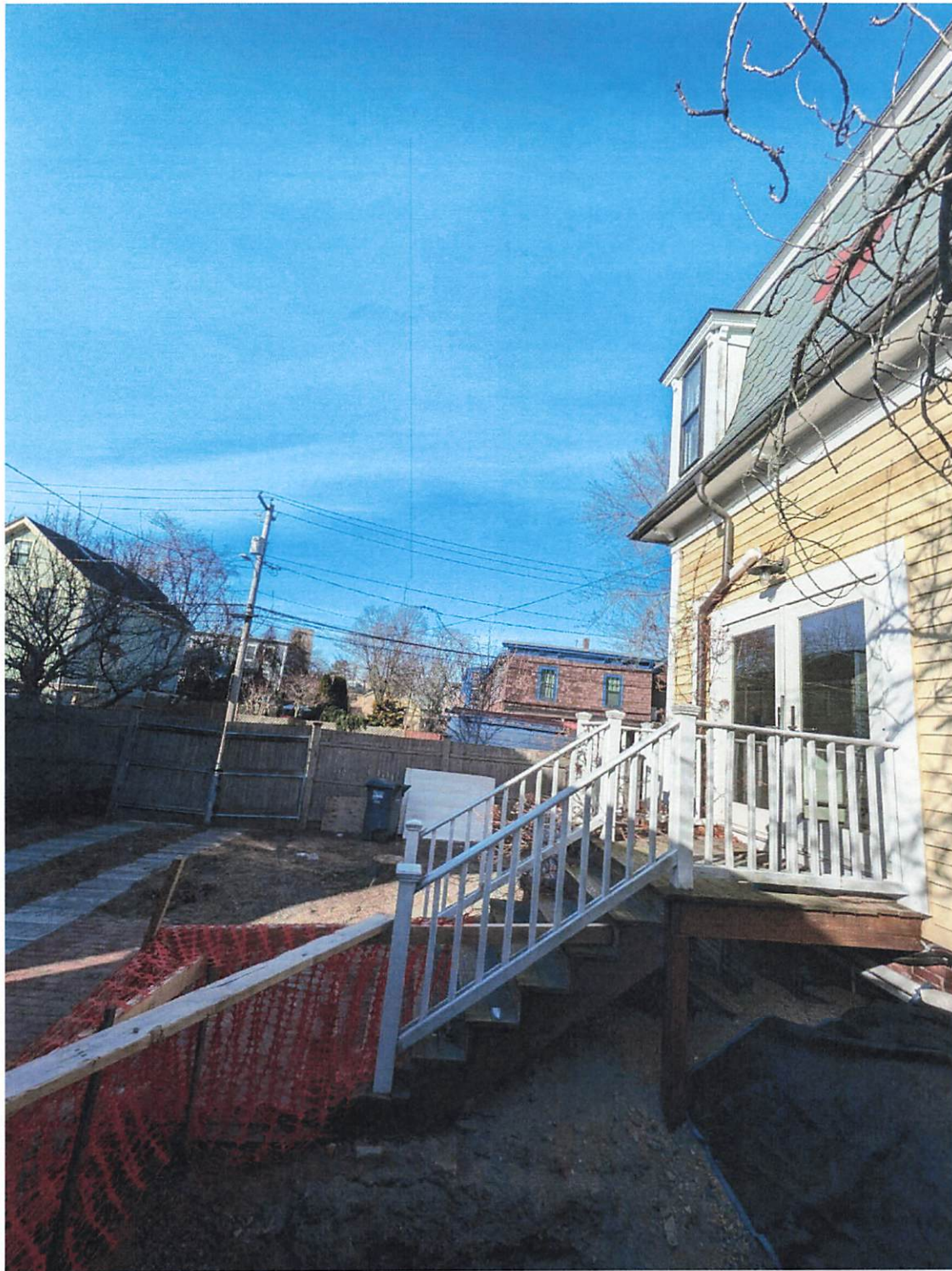


Figure 2. Skyview right by our outdoor shed from our property



Figure 3. Distance between 514 Franklin and our outdoor shed

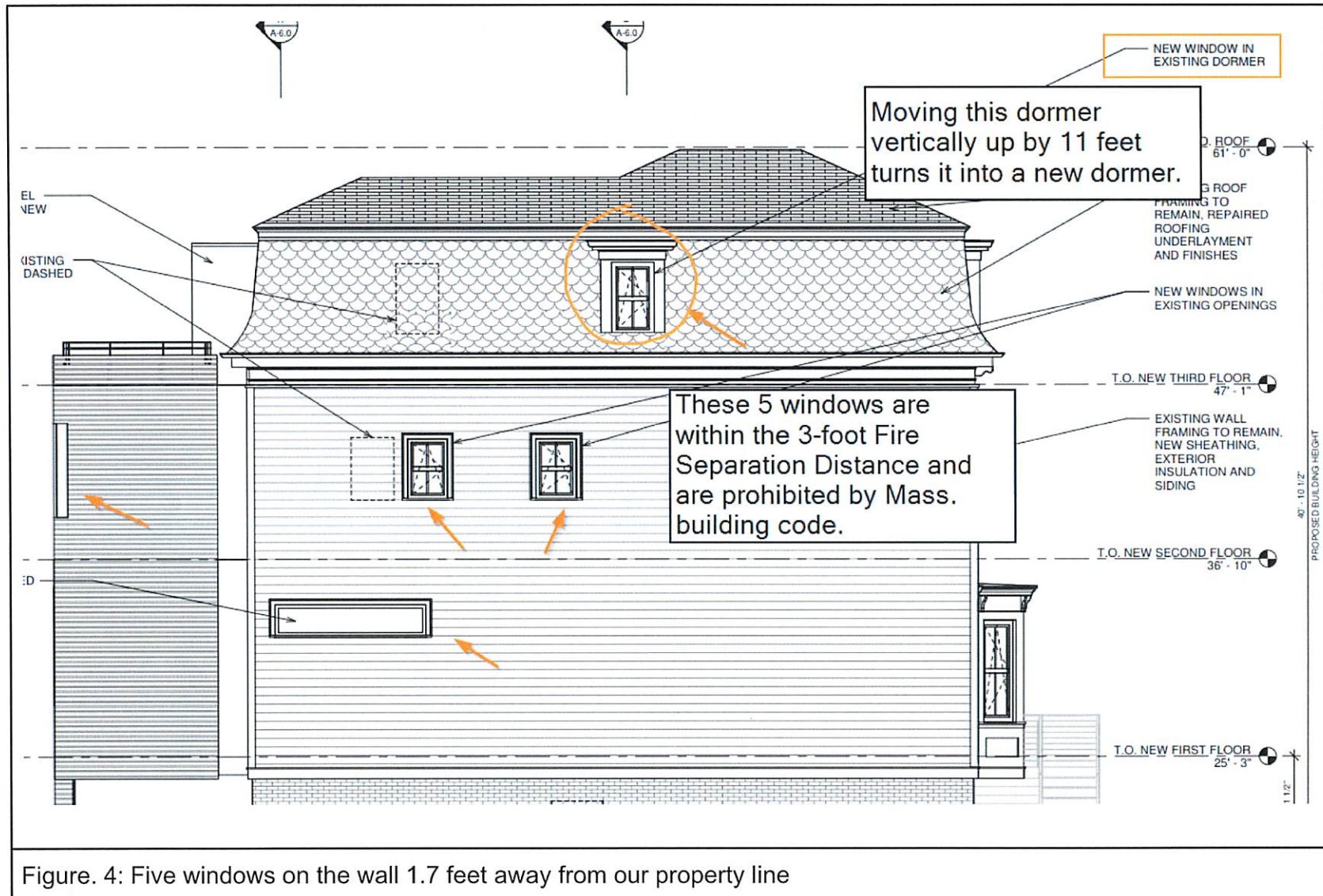


Figure. 4: Five windows on the wall 1.7 feet away from our property line

Address	Gross Area (sf)	Living area (sf)
514 Franklin	2414	1510
508 Franklin	1379	890
506 Franklin	728	728
504 Franklin	959	959
498 Franklin	2309	1406
490 Franklin	3768	2903
509 Franklin Unit 1	1245	1245
510 Franklin Unit 2	1245	1245
511 Franklin Unit 2	773	773
30 Bay	3221	1871
31 Bay	2720	1480
33 Bay	1141	1141
33A Bay	1031	1031
35 Bay	1000	1000
21A Bay	1238	1238
21 Bay	1071	1071
23 Bay	1770	1770
Average	1,648	1,309

Address	Type	Gross Area	Living Area
500 Franklin	Two-Family	2528	1689
482 Franklin	Two-Family	3105	1920
524 Franklin	Two-Family	7021	4213

	Applicants' house
	Our house

Table 1: List of single families or condos, and two families surrounding 514 Franklin Street

To the Members of the Zoning Board:

We are Jim Messineo and Mike Witt, owners of 504 Franklin Street. We are writing to formally oppose the application for Special Permit Relief (BZA-1188742) submitted by our neighbors at 514 Franklin Street.

Previously, we supported these neighbors when they rebuilt and expanded their garage, even providing access to our property for the construction. However, the finished structure demonstrated that even minor height increases have a significant impact in our densely populated area. The scale of the changes currently requested would have substantial consequences for us and our fellow condominium owners at 506 and 508 Franklin Street, directly affecting our quality of life and property values.

We believe that granting a Special Permit, per Article 8.22.2 should not be allowed as it would be substantially more detrimental to us, their abutters. The existing house has a nonconforming setback of less than two feet, and the applicants are proposing to extend the structure more than 11 feet further within that setback. Furthermore, increasing the height by 1.5 stories along our lot line would cause the structure to loom over our property, severely impacting our access to light, air, and sky exposure.

Many structural alterations are now being granted by right under the recently enacted zoning laws, laws that were intended to address the shortage of housing, specifically affordable housing. We believe that C. Section 10.43 isn't met, as this proposal does not increase the number of available housing units; instead, it more than doubles the size of a single-family home from 1,648 to nearly 3,800 square feet in a neighborhood where the average home size is 1,650 square feet.

Thank you for your time and consideration.

Sincerely,

Jim Messineo & Mike Witt

January 12, 2026

Letter of Opposition

Re: 514 Franklin Street – Application for Special Permit Relief (BZA-1188742)

Dear Members of the Zoning Board,

My name is Eva Fast and I'm the owner of 506 Franklin St, which is part of the condo association that abuts 514 Franklin St. I am generally supportive of improvements to 514 Franklin Street and have cooperated in the past, including allowing access to our shared property during the 514 Franklin street garage renovation.

That said, I oppose the current proposal because it seeks to significantly expand an existing setback nonconformity in a manner that is detrimental not only to our property but to the neighborhood as a whole. The house already sits approximately two feet from the shared property line, a nonconforming condition. The proposed three-story addition would extend this nonconformity by roughly eleven feet, creating a long and tall structure directly on the lot line.

In my understanding setback requirements exist to protect light, air, sky exposure and preserve safety, and neighborhood character. Allowing a three-story wall so close to a property boundary erodes these protections and sets a precedent that may encourage further reduction of setbacks throughout the neighborhood. While special permits can allow for limited extensions of nonconforming structures, this proposal substantially intensifies an existing nonconformity and would be more detrimental than existing conditions, contrary to Article 8.22.2.

Given the scale of the proposed expansion and its broader implications for setback enforcement and neighborhood character, I respectfully ask the Board to reconsider whether this request exceeds the appropriate scope of a special permit under Article 8.22.2 and whether the required findings can be made under Section 10.43, with respect to impacts on adjacent properties and neighborhood character. The Cambridge Zoning Ordinance was recently updated and now allows for many alterations by right. Because the proposed development does not result in any increase in housing density, I would ask the Board to consider whether an exception is truly warranted, or whether the owners should instead pursue improvements that comply with the applicable by-right regulations.

Thank you for your time and consideration.

Sincerely,
Eva Fast
Owner, 506 Franklin Street