



# CITY OF CAMBRIDGE

## BOARD OF ZONING APPEAL

831 Massachusetts Avenue, Cambridge MA 02139

617-349-6100

2025 OCT 31 AM 9:53

### BZA Application Form OFFICE OF THE CITY CLERK CAMBRIDGE, MASSACHUSETTS

BZA Number: 1188742

#### General Information

The undersigned hereby petitions the Board of Zoning Appeal for the following:

Special Permit:   X  

Variance: \_\_\_\_\_

Appeal: \_\_\_\_\_

**PETITIONER:** Peter and Shirley Kuhlmann C/O James Rafferty, Esq.

**PETITIONER'S ADDRESS:** 907 Massachusetts Avenue, Cambridge, MA 02139

**LOCATION OF PROPERTY:** 514 Franklin St, Cambridge, MA

**TYPE OF OCCUPANCY:** Single Family

**ZONING DISTRICT:** Residence C-1 Zone

#### **REASON FOR PETITION:**

/Additions/

#### **DESCRIPTION OF PETITIONER'S PROPOSAL:**

Petitioners seek to expand existing single family dwelling by inserting an additional floor between existing basement and first floors and construct three story addition with roof deck by extending existing nonconforming side yard setback. Petitioners also seek to install windows on nonconforming wall.

#### **SECTIONS OF ZONING ORDINANCE CITED:**

Article: 5.000      Section: 5.31 (Table of Dimensional Requirements).  
Article: 8.000      Section: 8.22.2.d & Sec. 8.22.2.c (Non-Conforming Structure).  
Article: 10.000      Section: 10.40 (Special Permit).

Original  
Signature(s):

(Petitioner(s) / Owner)

James Rafferty, Attorney for Petitioners

(Print Name)

907 Massachusetts Avenue, Suite 300  
Cambridge, MA 02139

Address:

617.492.4100

Tel. No.

E-Mail Address:

jrafferty@adamsrafferty.com

Date: October 29, 2025

## OWNERSHIP INFORMATION FOR BOARD OF ZONING APPEAL RECORD

To be completed by OWNER, signed and returned to Secretary of Board of Appeal

Peter and Shirley Kuhlmann

(Owner or Petitioner)

Address: c/o James J. Rafferty 907 Massachusetts Avenue, Cambridge MA 02139

Location of Premises: 514 Franklin Street

the record title standing in the name of Peter and Shirley Kuhlmann

whose address is 514 Franklin Street, Cambridge MA 02139

(Street)

(City or Town)

(State & Zip Code)

by a deed duly recorded in the Middlesex South County Registry of Deeds in

Book 67285 Page 29 or \_\_\_\_\_ Registry

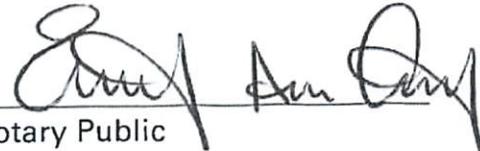
District of Land Court Certificate No. \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_



(Owner)

=====

On this 8 day of July, 2025, before me, the undersigned notary public, personally appeared Peter Kuhlmann, proved to me through satisfactory evidence of identification, which were Drivers license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.

  
Notary Public

My commission expires: December 27, 2030

## **BZA Application Form**

### **SUPPORTING STATEMENT FOR A SPECIAL PERMIT**

**Please describe in complete detail how you meet each of the following criteria referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits which have additional criteria, e.g.; fast food permits, comprehensive permits, etc., which must be met.**

**Granting the Special Permit requested for 514 Franklin St., Cambridge, MA (location) would not be a detriment to the public interest because:**

**A)** Requirements of the Ordinance can or will be met for the following reasons:

Section 8.22.2(D) allows for the construction of the proposed additions upon the issuance of a Special Permit since the existing structure currently exceeds the setback requirement.

**B)** Traffic generated or patterns of access or egress would not cause congestion hazard, or substantial change in established neighborhood character for the following reasons:

The proposed additions will not alter traffic patterns on Franklin Street or the surrounding neighborhood.

**C)** The continued operation of or the development of adjacent uses as permitted in the Zoning Ordinance would not be adversely affected by the nature of the proposed use for the following reasons:

The adjacent uses are all similarly sized single and two family dwellings.

**D)** Nuisance or hazard would not be created to the detriment of the health, safety, and/or welfare of the occupant of the proposed use or the citizens of the City for the following reasons:

The proposed additions will be constructed in accordance with all the requirements of the State Building Code.

**E)** For other reasons, the proposed use would not impair the integrity of the district or adjoining district or otherwise derogate from the intent or purpose of this ordinance for the following reasons:

The intensity and use of this single family dwelling will not be materially altered as a result of the proposed addition. As a result, there will not be any detrimental effect upon the neighborhood.

**\*If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with an attorney.**

## BZA Application Form

### DIMENSIONAL INFORMATION

**Applicant:** Peter and Shirley Kuhlmann  
**Location:** 514 Franklin St., Cambridge, MA  
**Phone:** 617.492.4100

**Present Use/Occupancy:** Single Family  
**Zone:** Residence C-1 Zone  
**Requested Use/Occupancy:** Single Family

		<u>Existing Conditions</u>	<u>Requested Conditions</u>	<u>Ordinance Requirements</u>	
<u>TOTAL GROSS FLOOR AREA:</u>		2,249 sf	3,797 sf	N/A	(max.)
<u>LOT AREA:</u>		3,036 sf	no change	N/A	(min.)
<u>RATIO OF GROSS FLOOR AREA TO LOT AREA:</u> <sup>2</sup>		.741	1.25	N/A	
<u>LOT AREA OF EACH DWELLING UNIT</u>		3,036 sf	no change	N/A	
<u>SIZE OF LOT:</u>	WIDTH	28.01'	no change	N/A	
	DEPTH	86'	no change	N/A	
<u>SETBACKS IN FEET:</u>	FRONT	8.6' (Franklin)	no change	10'	
	REAR	5.7' (Bay St)	no change	10'	
	LEFT SIDE	1.7'	no change	5'	
	RIGHT SIDE	35'	23.5'	5'	
<u>SIZE OF BUILDING:</u>	HEIGHT	29'	40.9'	45'	
	WIDTH	42.3'	56.4'	N/A	
	LENGTH	20.1'	20.7'	N/A	
<u>RATIO OF USABLE OPEN SPACE TO LOT AREA:</u>		46.7	42.6	30	
<u>NO. OF DWELLING UNITS:</u>		1	no change	N/A	
<u>NO. OF PARKING SPACES:</u>		1	no change	N/A	
<u>NO. OF LOADING AREAS:</u>		N/A	N/A	N/A	
<u>DISTANCE TO NEAREST BLDG. ON SAME LOT</u>		13.6'	4.5'	N/A	

Describe where applicable, other occupancies on the same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g; wood frame, concrete, brick, steel, etc.:

N/A

1. SEE CAMBRIDGE ZONING ORDINANCE ARTICLE 5.000, SECTION 5.30 (DISTRICT OF DIMENSIONAL REGULATIONS).
2. TOTAL GROSS FLOOR AREA (INCLUDING BASEMENT 7'-0" IN HEIGHT AND ATTIC AREAS GREATER THAN 5') DIVIDED BY LOT AREA.
3. OPEN SPACE SHALL NOT INCLUDE PARKING AREAS, WALKWAYS OR DRIVEWAYS AND SHALL HAVE A MINIMUM DIMENSION OF 15'.

**ADAMS & RAFFERTY**  
ATTORNEYS AT LAW  
A Professional Association \*  
907 Massachusetts Avenue, Suite 300  
Cambridge, MA 02139

**James J. Rafferty, P.C.**  
*jrafferty@adamsrafferty.com*

Telephone (617) 492-4100  
Fax (617) 492-3131

January 12, 2026

BY HAND

Board of Zoning Appeals  
831 Massachusetts Avenue  
Cambridge, MA 02139

1/26/2026 12:12 PM 4:33  
CITY OF CAMBRIDGE  
INSPECTOR OF BUILDINGS

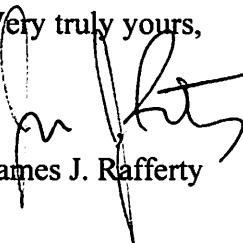
**Re: BZA Case No. 1188742  
514 Franklin Street**

Dear Chairman Monteverde and Members of the Board:

Attached please find a revised set of elevations in the above-captioned case reflecting a reduction in the proposed number of window openings on the non-conforming left side wall. A detailed description of the changes is set forth in the attached communication from the petitioners.

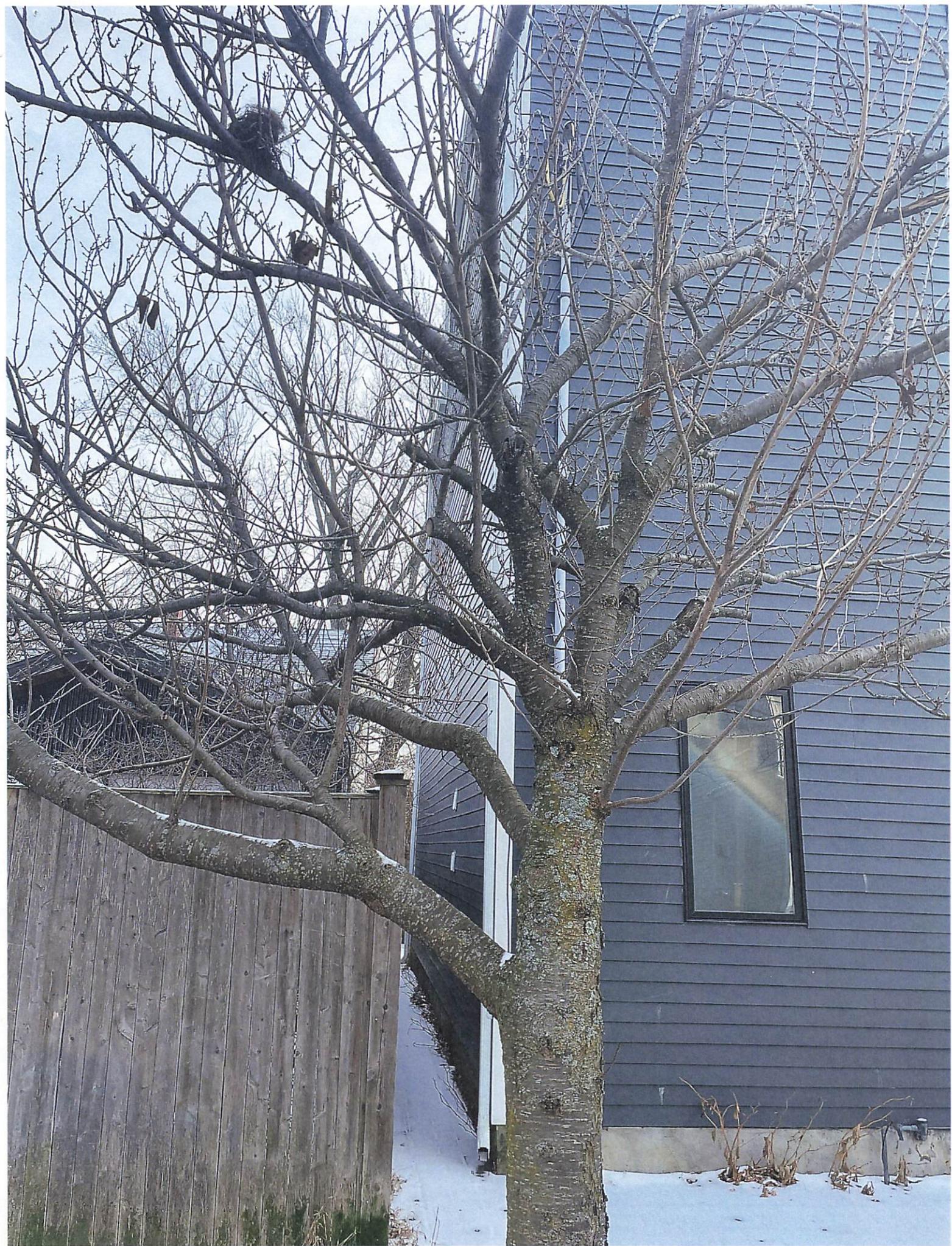
Since the Special Permit criteria in Section 8.22.2d includes that the Board make a determination that the alteration “shall not be substantially more detrimental than the existing non conforming structure to the *neighborhood* [emphasis added]”, I am also enclosing some photographs of homes in very close proximity of the subject property. As you can see, there are several homes in the neighborhood with comparable heights and setbacks as is proposed in the application.

Thank you for your time and attention to this matter.

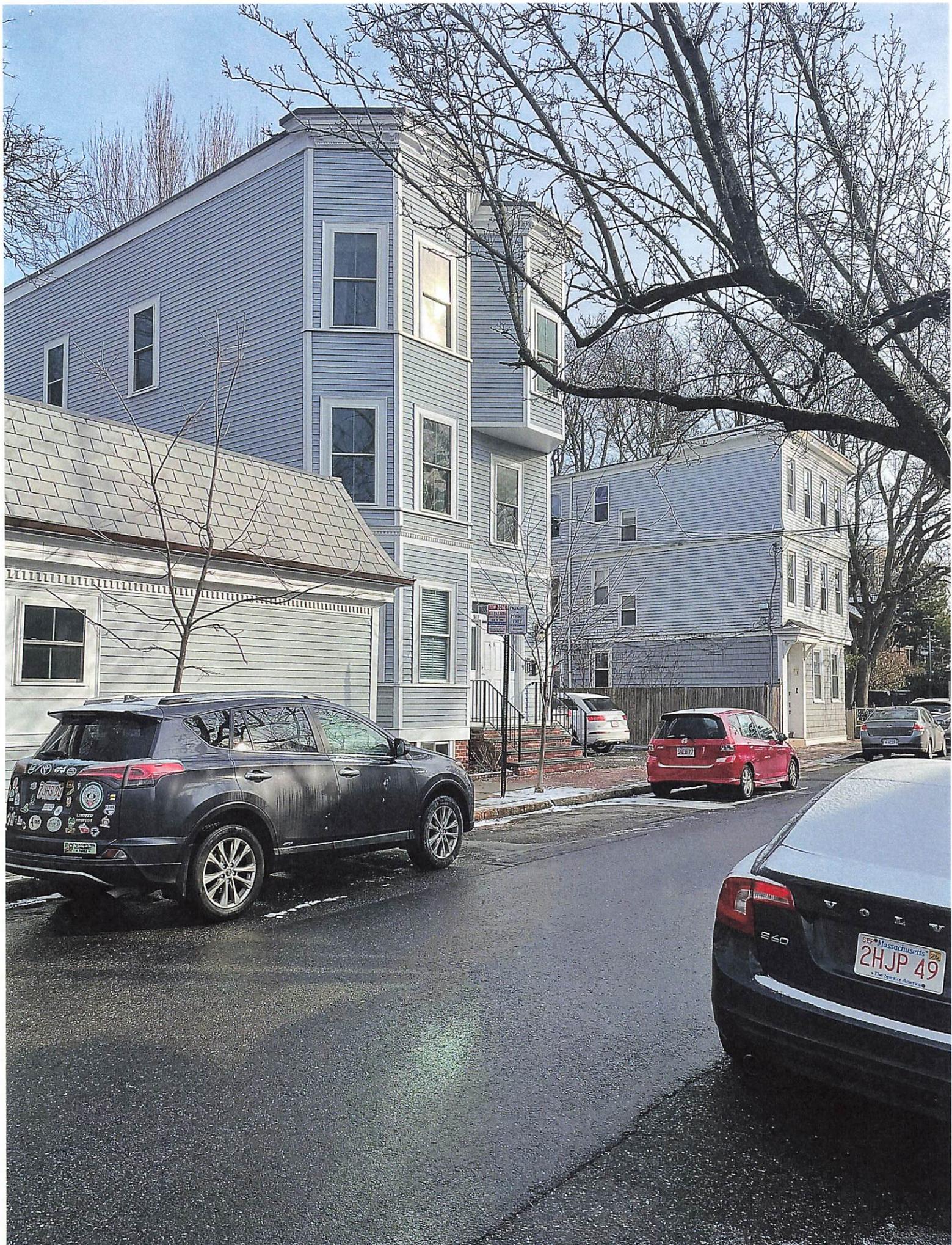
Very truly yours,  
  
James J. Rafferty

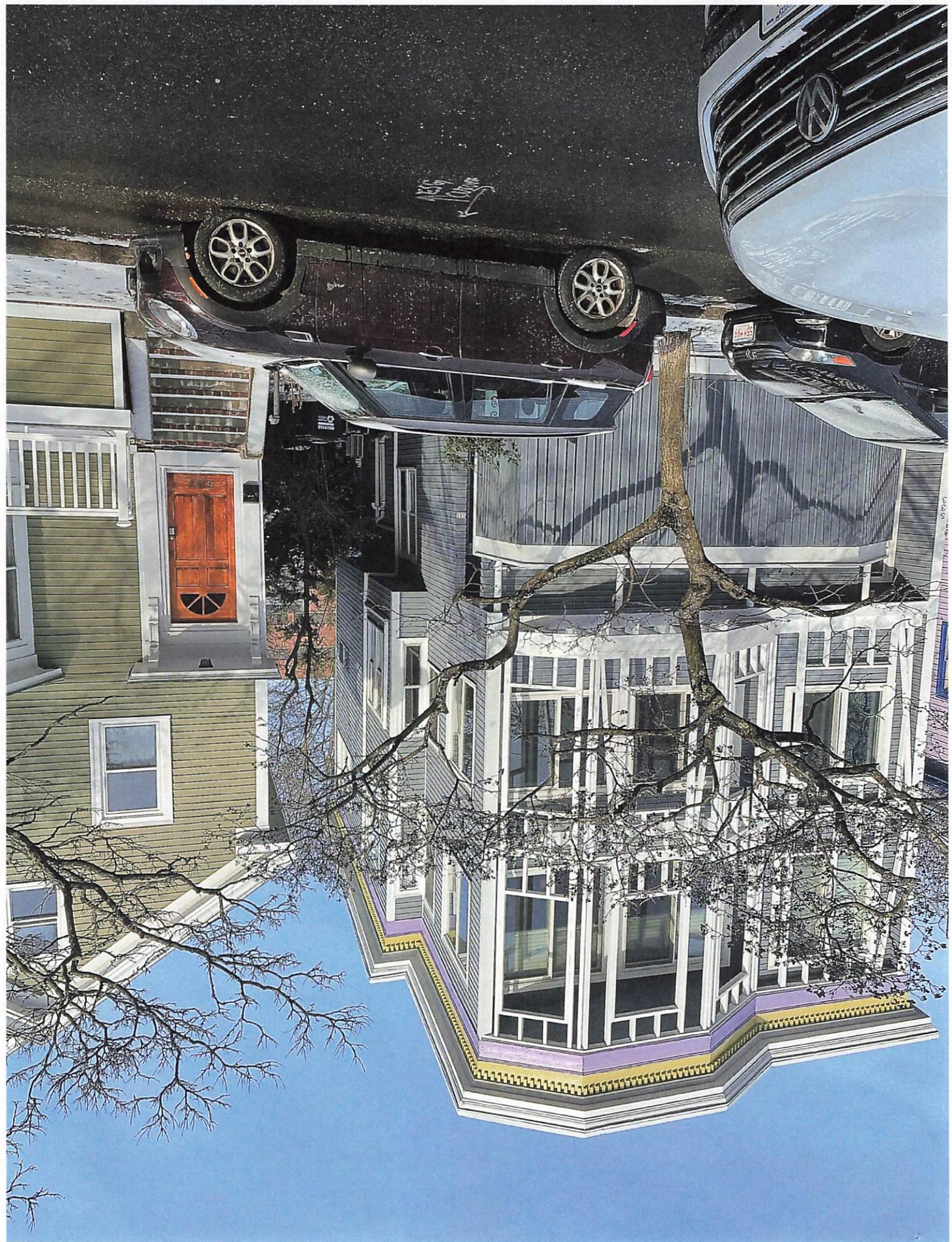
JJR/pwc

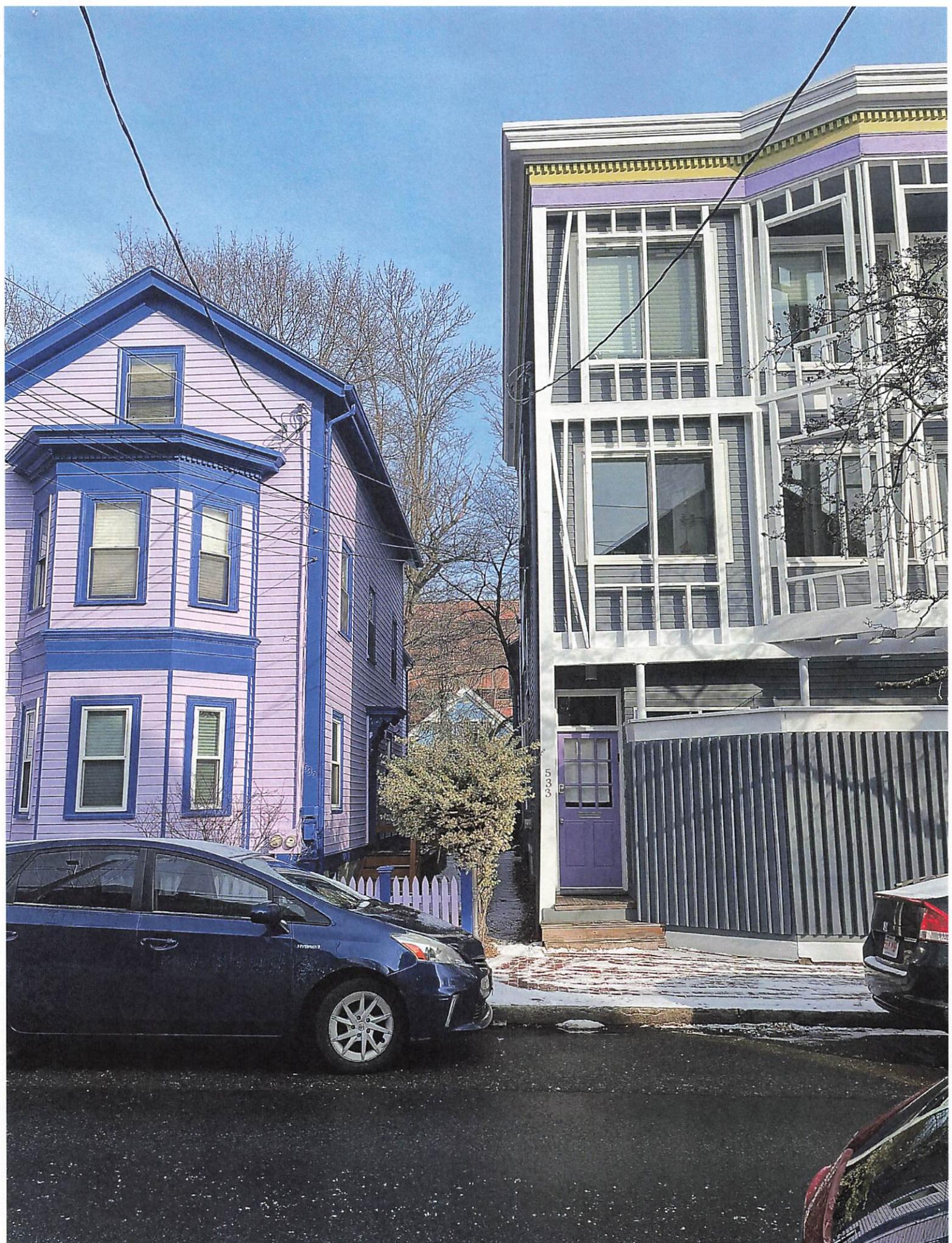
*\*not a partnership*







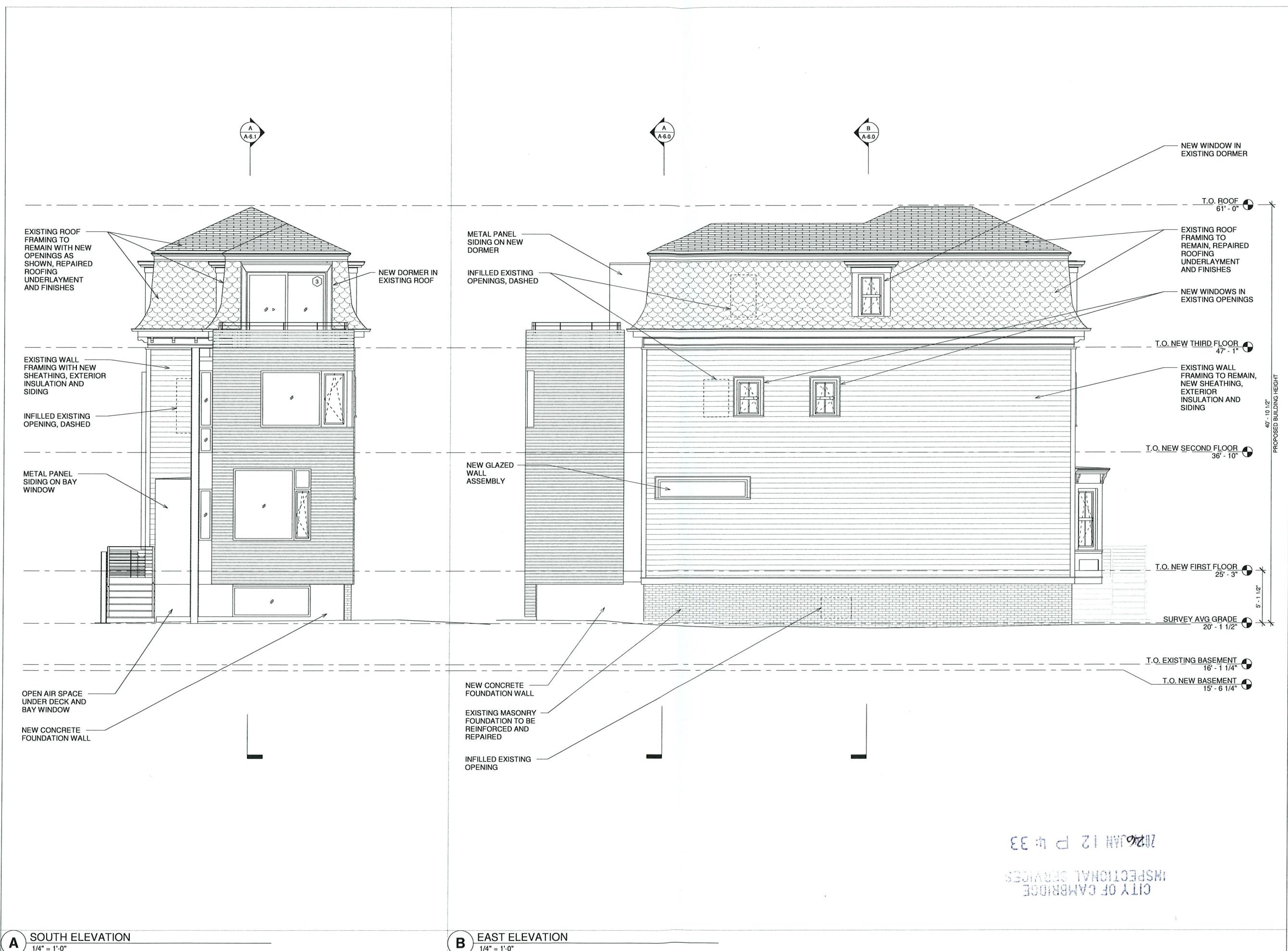






# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



卷之三

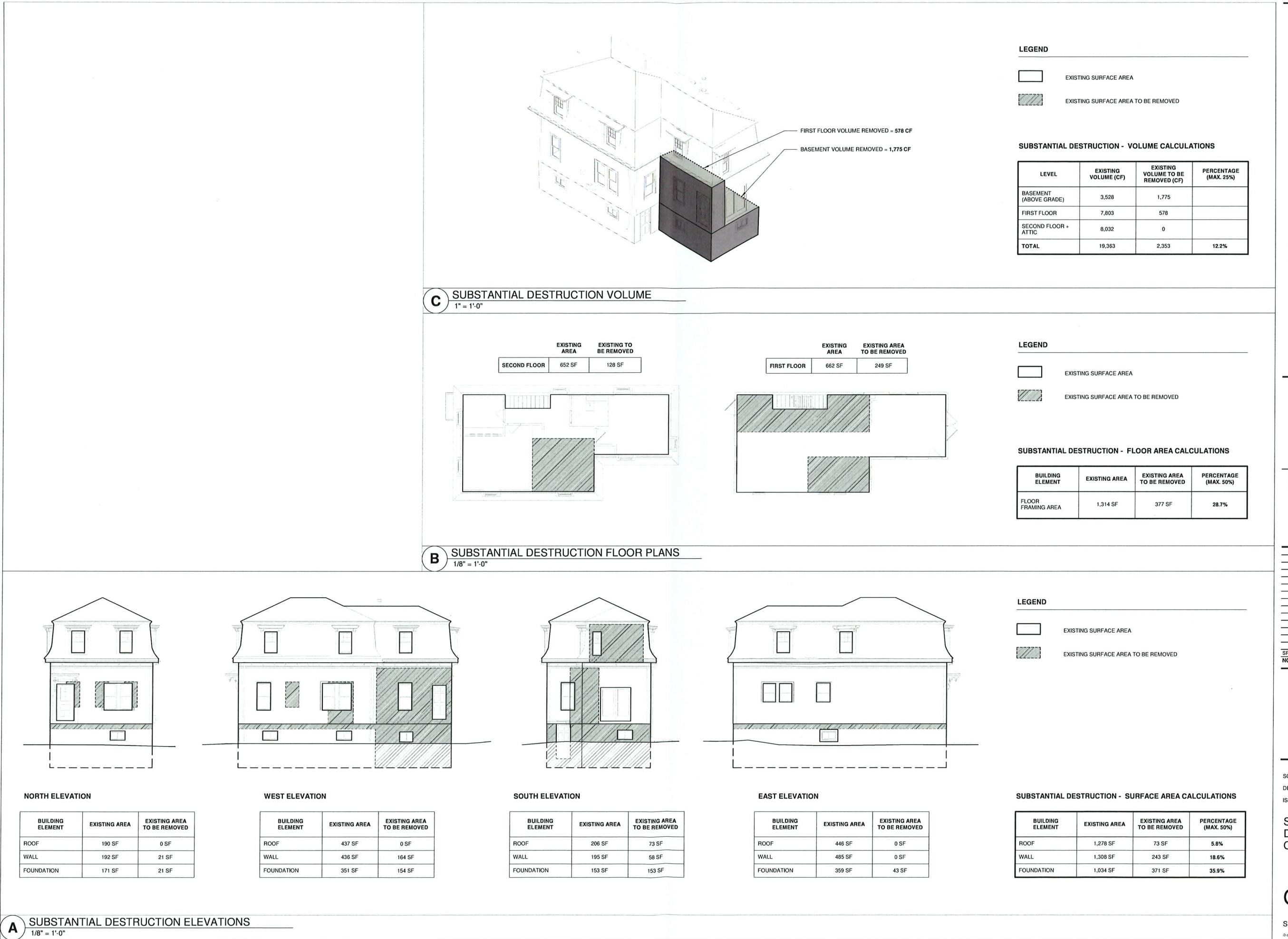
CITY OF CAMBRIDGE  
INSPECTORIAL SERVICES

A-5.1

SPECIAL PERMIT SET

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



GENERAL NOTES - FLOOR PLAN

- REFER TO G-1 FOR FURTHER ADDITIONAL DETAILED GENERAL NOTES
- DIMENSIONS ARE TO FACE OF STRUCTURE INDICATED OR FACE OF EXISTING WALL UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR FLOOR FINISH INFORMATION.
- REFER TO INTERIOR ELEVATIONS FOR SPECIALTY ITEMS AND FINISHES, INCLUDING WALL, AND MILLWORK.
- REFER TO ELECTRICAL PLANS FOR ALL OUTLET LOCATIONS.
- VERIFY BEARING CONDITIONS PRIOR TO DEMOLITION SUPPORT AND PROVIDE ADEQUATE SHORING FOR ALL EXISTING STRUCTURES SCHEDULED TO REMOVE. NOTE THAT SOME EXISTING STRUCTURE MAY HAVE TO REMAIN FOR TEMPORARY SUPPORT OF NEW WORK.
- NOTIFY ARCHITECT OF ANY FIELD ISSUES THAT CONFLICT WITH DRAWINGS PRIOR TO BEGINNING WORK.
- REMOVE AND MAKE SAFE ALL WIRING AND ELECTRICAL DEVICES IN CONFLICT WITH NEW WORK.
- UTILITIES: WHERE INDICATED DISCONNECT AND REMOVE EXISTING PLUMBING, HVAC DUCTS, ELECTRICAL AND GAS SERVICE IN PLACE ACCORDING TO BUILDING CODE.
- WHERE EXISTING WALLS AROUND PIPEWORK PENETRATING FLOOR OR CEILING ARE REMOVED, CONTRACTOR IS TO ENSURE THAT PERMANENT FIRE SEPARATION IS PROVIDED PER CODE AND WITHOUT INTERRUPTION.
- SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW FRAMING WITHIN EXISTING STRUCTURE, REMOVE FINISH WALLS AND CEILINGS AS NECESSARY TO PERFORM NEW WORK, SEAMLESSLY PATCH AND REPAIR TO MATCH ADJACENT EXISTING FINISHES.

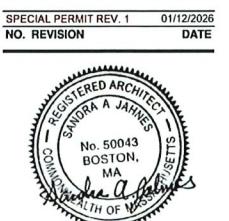
LEGEND

 INDICATES NEW WALL

 INDICATES EXISTING WALL WITH NEW FINISHES

 RUHL JAHNES

281 Mt. Auburn Street  
Watertown, MA 02472  
617.748.8722  
www.ruhljahnnes.com

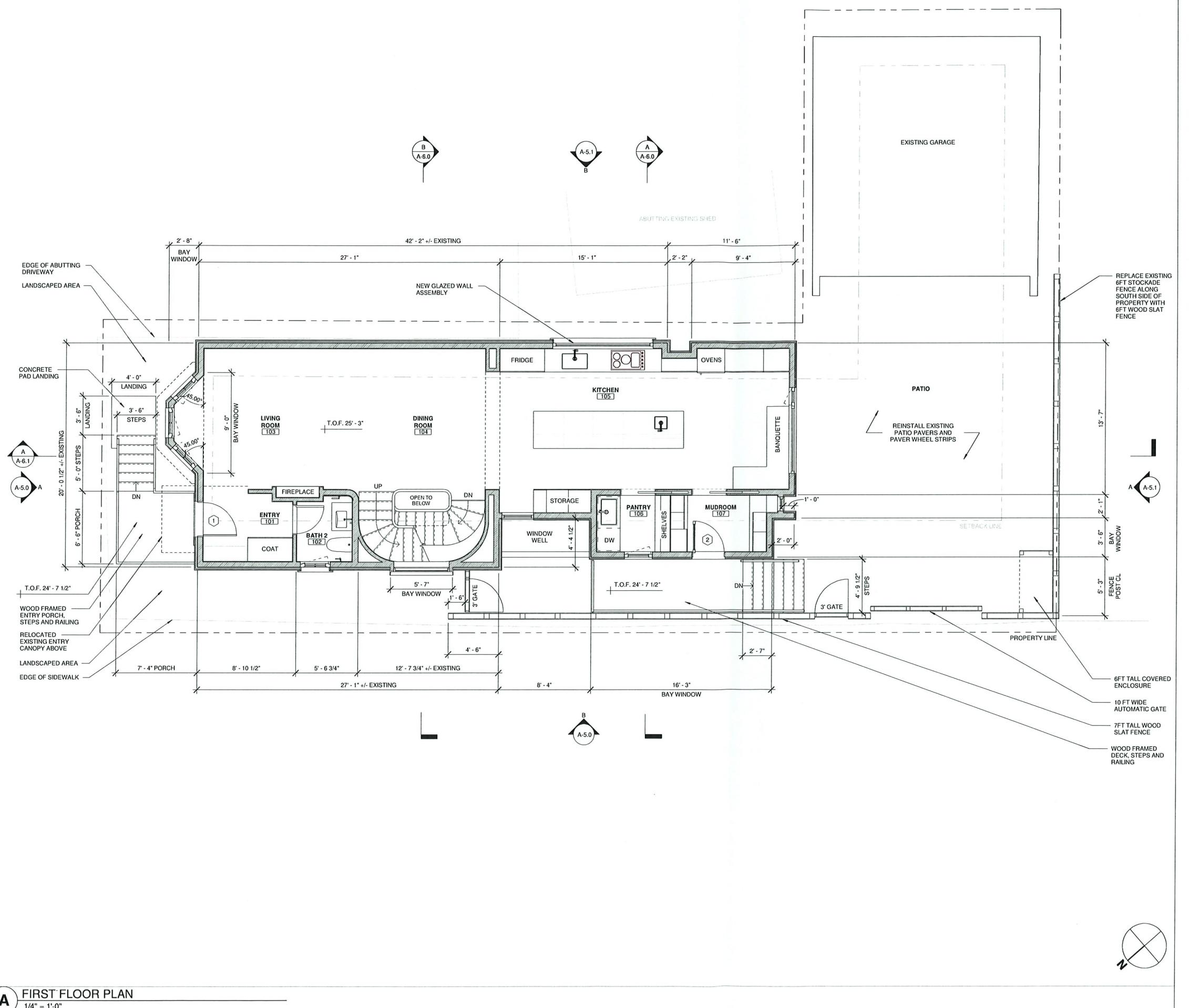


SCALE As indicated  
DRAWN BY PG  
ISSUED 12/19/2025

FLOOR PLAN -  
FIRST FLOOR

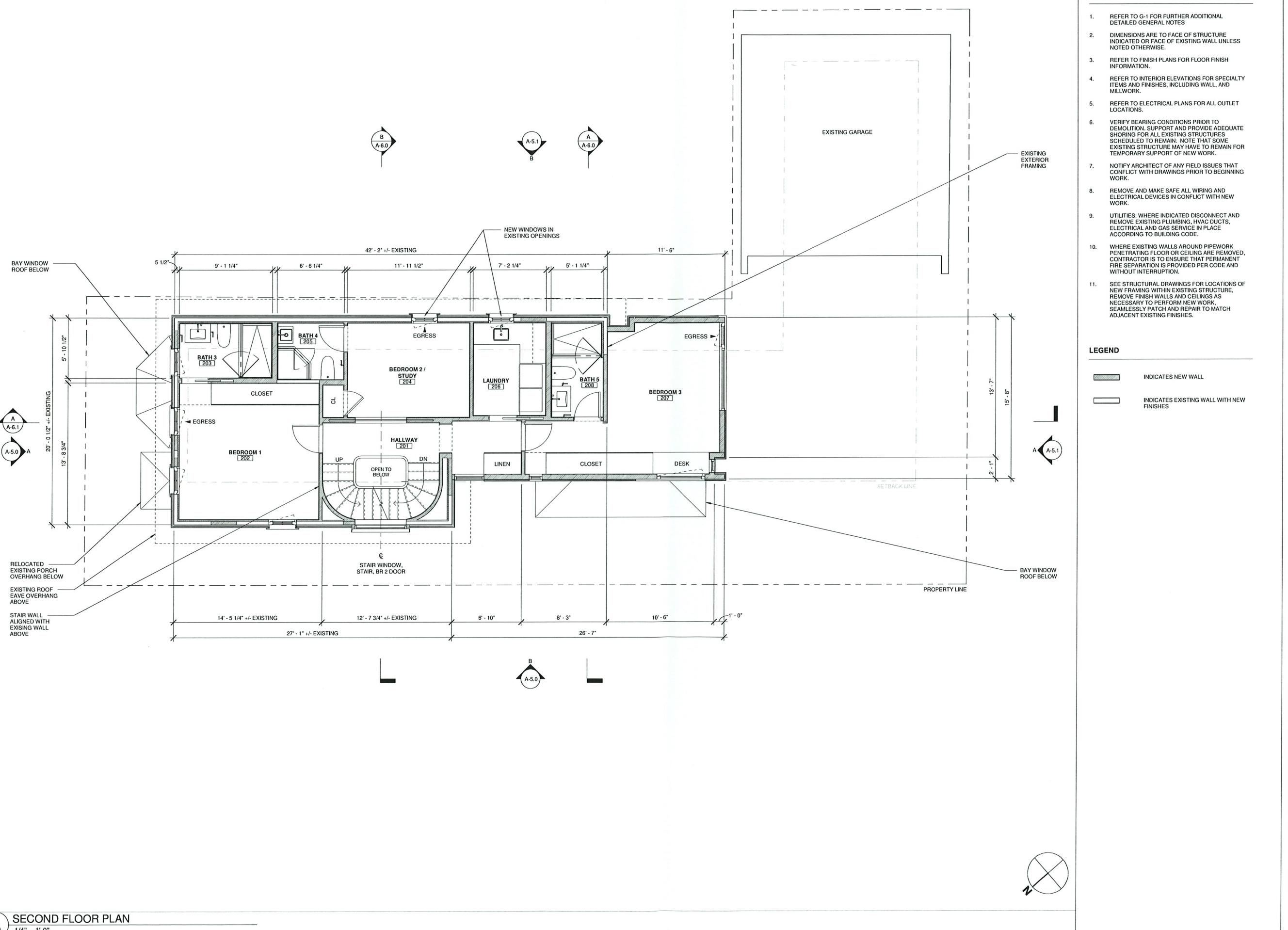
A-1.1

SPECIAL PERMIT SET  
© copyright 2026 RUHL JAHNES ARCHITECTS, LLC.

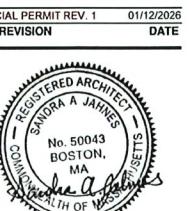


# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



**RUHL JAHNES**  
281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722  
www.ruhljahnes.com



SCALE As indicated  
DRAWN BY PG  
ISSUED 12/19/2025

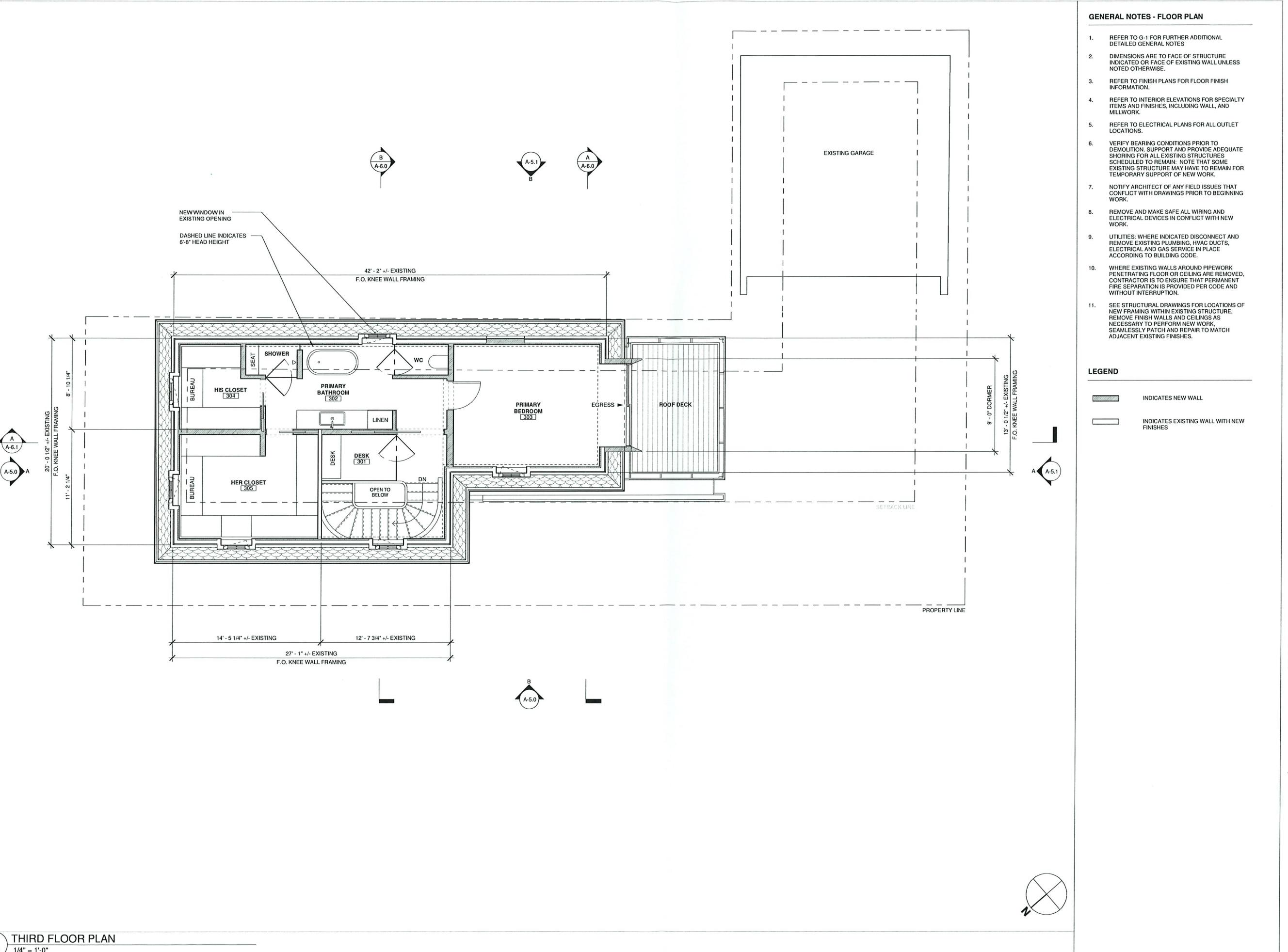
FLOOR PLAN -  
SECOND FLOOR

A-1.2

SPECIAL PERMIT SET  
© copyright 2026 RUHL JAHNES ARCHITECTS, LLC

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



## PROJECT IMAGE



## DRAWING INDEX

DRAWING INDEX			
SHEET NO.	SHEET NAME	ISSUE DATE	REV. DATE
G-0.0	PROJECT INFORMATION, CODE NOTES, DIMENSIONAL TABLE	10/23/2025	
G-3.0	SUBSTANTIAL DEMOLITION CALCULATIONS	10/23/2025	
G-3.1	PROPOSED ZONING DRAWINGS	10/23/2025	
G-3.2	EXISTING CONDITIONS PHOTOS	10/23/2025	
EX-1	EXISTING CONDITIONS PLAN	10/21/2025	
PROP-1	PROPOSED PLOT PLAN	10/21/2025	
AE-1.0	EXISTING PLANS	10/23/2025	
AE-1.1	EXISTING ELEVATIONS	10/23/2025	
A-1.0	FLOOR PLAN - BASEMENT	10/23/2025	
A-1.1	FLOOR PLAN - FIRST FLOOR	10/23/2025	
A-1.2	FLOOR PLAN - SECOND FLOOR	10/23/2025	
A-1.3	FLOOR PLAN - THIRD FLOOR	10/23/2025	
A-5.0	EXTERIOR ELEVATIONS - NORTH & WEST	10/23/2025	
A-5.1	EXTERIOR ELEVATIONS - SOUTH & EAST	10/23/2025	

## DIMENSIONAL REQUIREMENTS

PARCEL ID: #514 FRANKLIN STREET, CAMBRIDGE, MA / MAP 120 LOT 3  
ZONING DISTRICT: C-1

	EXISTING CONDITIONS	REQUESTED CONDITIONS	ORDINANCE REQUIREMENTS	
TOTAL GROSS FLOOR AREA:	2,249 SF	3,797 SF	N/A	
LOT AREA:	3,036 SF	NO CHANGE	N/A	
RATIO OF GROSS FLOOR AREA TO LOT AREA:	74.1%	125.1%	N/A	
LOT AREA FOR EACH DWELLING UNIT:	3,036 SF	NO CHANGE	N/A	
SIZE OF LOT:	WIDTH 28.01'	NO CHANGE	N/A	
	DEPTH 86.0'	NO CHANGE	N/A	
SETBACKS IN FEET:	FRONT-NORTH 8.6'	NO CHANGE	10' (MIN.)	
	FRONT-WEST 5.7'	NO CHANGE	10' (MIN.)	
	SIDE-EAST 1.7'	NO CHANGE	5' (MIN.)	
	SIDE-SOUTH 35'	23.5'	5' (MIN.)	
SIZE OF BUILDING:	HEIGHT 29'	40.9'	45' (MAX.)	
	LENGTH 42.3'	56.4'	N/A	
	WIDTH 20.1'	20.7'	N/A	
RATIO OF USABLE OPEN SPACE TO LOT AREA: (SEE G-3.1 FOR CALCULATIONS)	46.7%	42.6%	30% (MIN.)	
NO. OF DWELLING UNITS:	1	NO CHANGE	N/A	
NO. OF PARKING SPACES:	1	NO CHANGE	NO MAX. (MAX.)	
NO. OF BIKE SPACES:	N/A	N/A	N/A	
NO. OF LOADING AREAS:	N/A	N/A	N/A	
DISTANCE TO NEAREST BUILDING ON SAME LOT:	13.6'	4.5'	N/A (ORDINANCE ARTICLE 5.13)	
SIZE OF BUILDINGS ADJACENT ON SAME LOT:	438 SF	NO CHANGE	N/A	

## KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

## CURRENT DRAWING ISSUE

BOARD OF ZONING APPEAL  
SPECIAL PERMIT SET

10/23/2025

## PROJECT CONTACTS

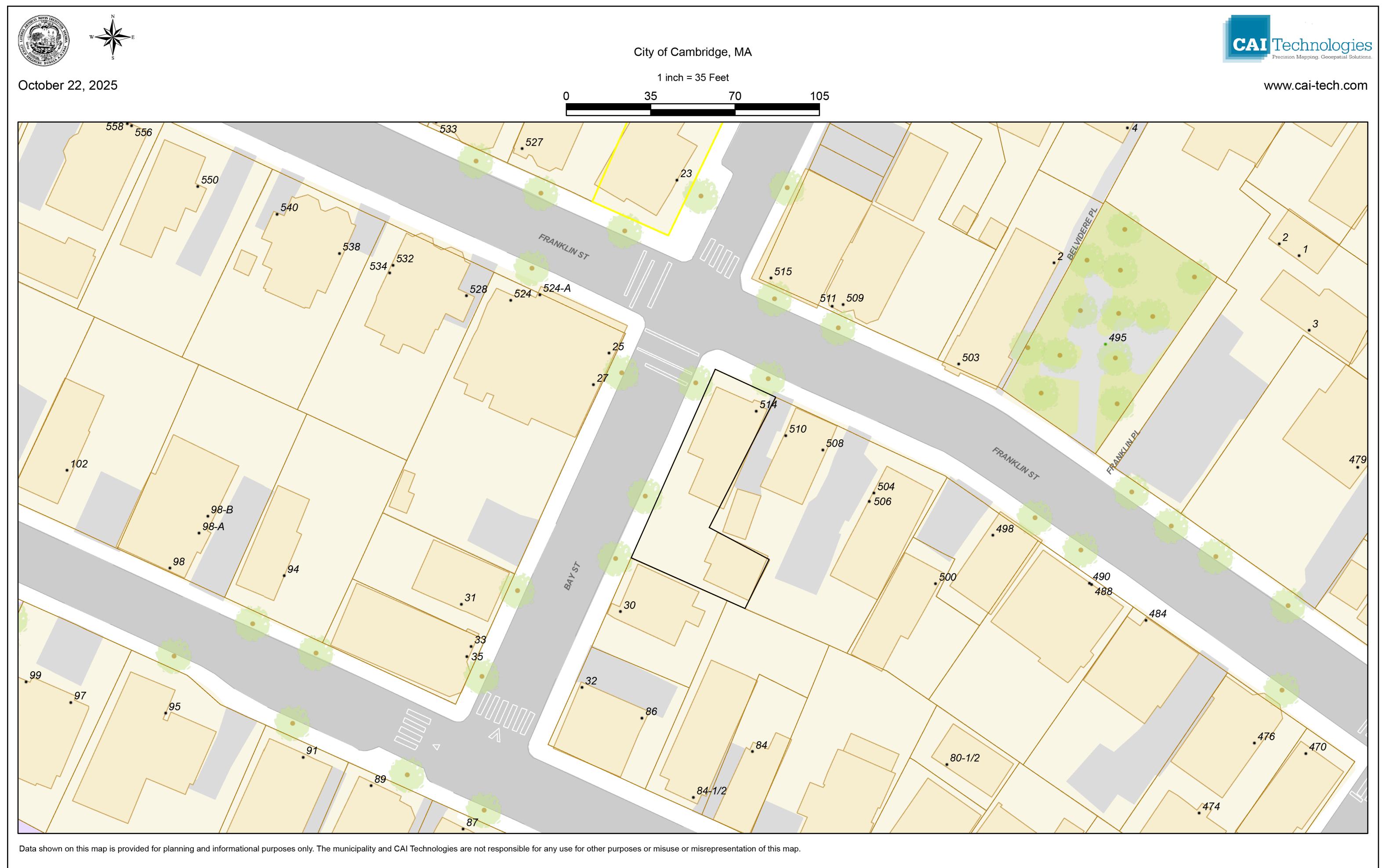
OWNER	ARCHITECT	GENERAL CONTRACTOR
SHIRLEY AND PETER KUHLMANN	SANDRA JAHNES, AIA RUHL JAHNES ARCHITECTS 281 MT AUBURN ST WATERTOWN, MA 02472	DOUG BELLOW GILMAN, GUADELLI & BELLOW 26 FARWELL ST. NEWTON, MA 02460
E. PETER.KUHLMANN@GMAIL.COM E. SHIRLEY.KUHLMANN@GMAIL.COM	P. 617.744.8722 E. SANDRA@RUHLJAHNES.COM	P. 617.776.7763 E. DOUG@GGBUILDS.COM
STRUCTURAL ENGINEER	CIVIL ENGINEER	GEOTECHNICAL ENGINEER
STEVEN SIEGEL SIEGEL STRUCTURAL ENGINEERS 860 WALNUT ST NEWTON CENTRE, MA 02459 P. 617.244.1612 E. STEVE@SIEGELSTRUCTURAL.COM	BRIAN W. TIMM, PE RJOC & ASSOCIATES, INC. 80 MONTVALE AVE., SUITE 201 STONEHAM, MA 01803 P. 781.279.0180 E. BRIAN.TIMM@RJOCONNELL.COM	BENJAMIN E. DOWNING, PE MCPHAIL ASSOCIATES, LLC 42 3RD AVE. BURLINGTON, MA 01803 P. 617.868.1420 E. BDOWNING@MCPHAILGEO.COM

## PROJECT INFO / CODE REFERENCE

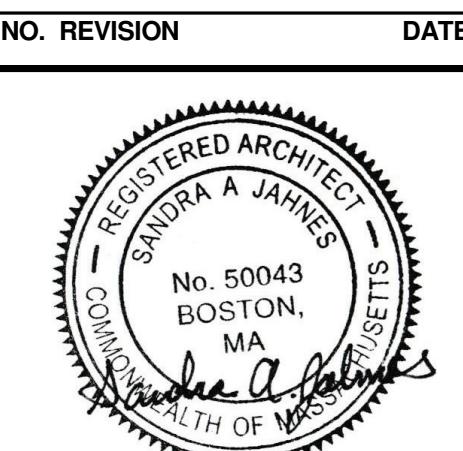
DESCRIPTION: RENOVATION/NEW CONSTRUCTION, SINGLE FAMILY  
REFERENCE CODE: 2021 INTERNATIONAL RESIDENTIAL CODE  
2021 INTERNATIONAL ENERGY CONSERVATION CODE  
MASSACHUSETTS AMENDMENTS + SPECIALIZED CODE  
AMENDMENTS (225 CMR 22.00 AND APPENDIX RC)  
MASSACHUSETTS BUILDING CODE 700, 10TH EDITION

ZONING ORDINANCE: THE ZONING ORDINANCE, CITY OF CAMBRIDGE, MA  
ZONING USE GROUP: C-1, SINGLE FAMILY DETACHED DWELLING

## ASSESSOR'S GIS MAP



**RUHL | JAHNES**  
281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722  
www.ruhljahnes.com



NO. REVISION DATE  
ISSUED 10/23/2025  
DRAWN BY Author  
SCALE 1" = 1'-0"

PROJECT INFORMATION, CODE NOTES, DIMENSIONAL TABLE

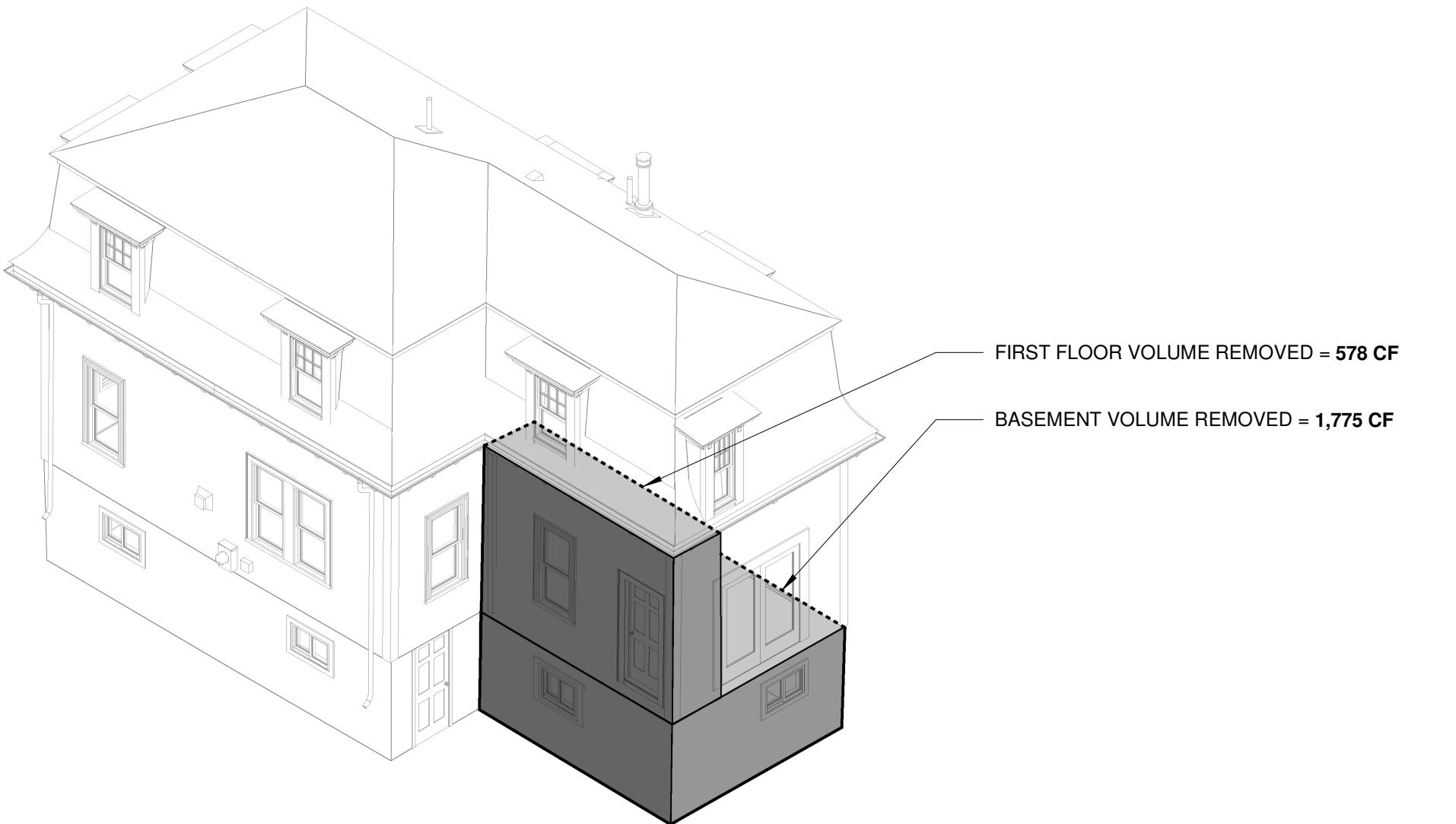
G-0.0

SPECIAL PERMIT SET

© copyright 2025 RUHL | JAHNES ARCHITECTS, LLC.

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



## LEGEND

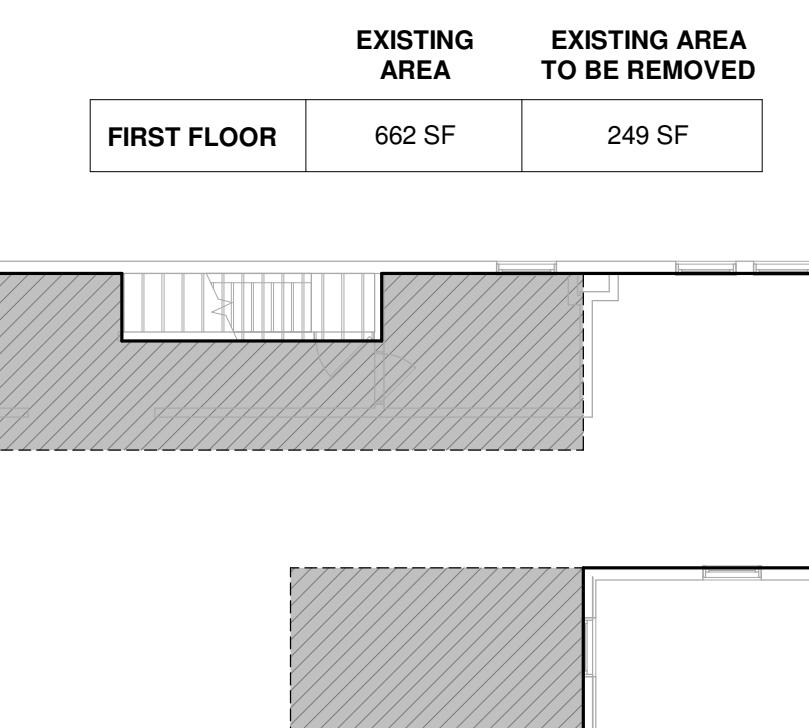
	EXISTING SURFACE AREA
	EXISTING SURFACE AREA TO BE REMOVED

## SUBSTANTIAL DESTRUCTION - VOLUME CALCULATIONS

LEVEL	EXISTING VOLUME (CF)	EXISTING VOLUME TO BE REMOVED (CF)	PERCENTAGE (MAX. 25%)
BASEMENT (ABOVE GRADE)	3,528	1,775	
FIRST FLOOR	7,803	578	
SECOND FLOOR + ATTIC	8,032	0	
<b>TOTAL</b>	<b>19,363</b>	<b>2,353</b>	<b>12.2%</b>

## C SUBSTANTIAL DESTRUCTION VOLUME

1" = 1'-0"



## LEGEND

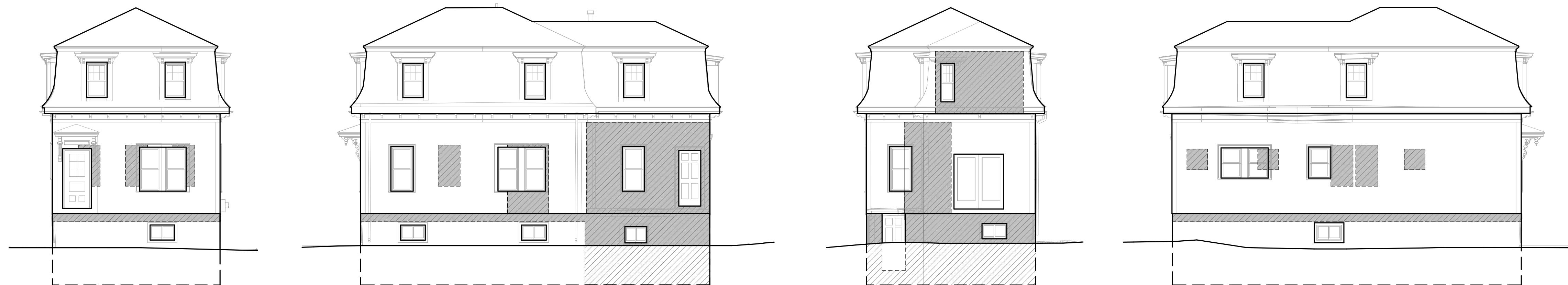
	EXISTING SURFACE AREA
	EXISTING SURFACE AREA TO BE REMOVED

## SUBSTANTIAL DESTRUCTION - FLOOR AREA CALCULATIONS

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED	PERCENTAGE (MAX. 50%)
FLOOR FRAMING AREA	1,314 SF	335 SF	25.5%

## B SUBSTANTIAL DESTRUCTION FLOOR PLANS

1/8" = 1'-0"



### NORTH ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	190 SF	0 SF
WALL	192 SF	21 SF
FOUNDATION	171 SF	21 SF

### WEST ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	437 SF	0 SF
WALL	436 SF	164 SF
FOUNDATION	351 SF	154 SF

### SOUTH ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	206 SF	73 SF
WALL	195 SF	58 SF
FOUNDATION	153 SF	153 SF

### EAST ELEVATION

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED
ROOF	446 SF	0 SF
WALL	483 SF	46 SF
FOUNDATION	359 SF	43 SF

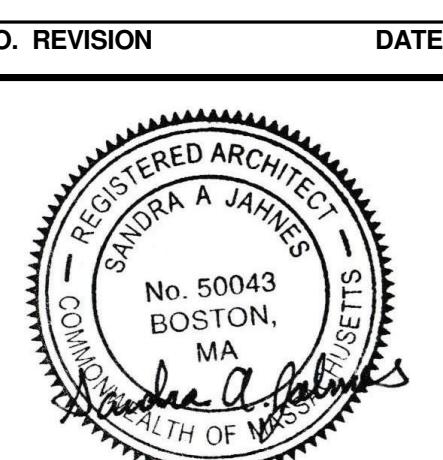
## SUBSTANTIAL DESTRUCTION - SURFACE AREA CALCULATIONS

BUILDING ELEMENT	EXISTING AREA	EXISTING AREA TO BE REMOVED	PERCENTAGE (MAX. 50%)
ROOF	1,278 SF	73 SF	5.8%
WALL	1,306 SF	289 SF	22.2%
FOUNDATION	1,034 SF	371 SF	35.9%

## A SUBSTANTIAL DESTRUCTION ELEVATIONS

1/8" = 1'-0"

RUHL JAHNES  
281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722  
[www.ruhljahnnes.com](http://www.ruhljahnnes.com)



SCALE As indicated  
DRAWN BY Author  
ISSUED 10/23/2023

## SUBSTANTIAL DESTRUCTION CALCULATIONS

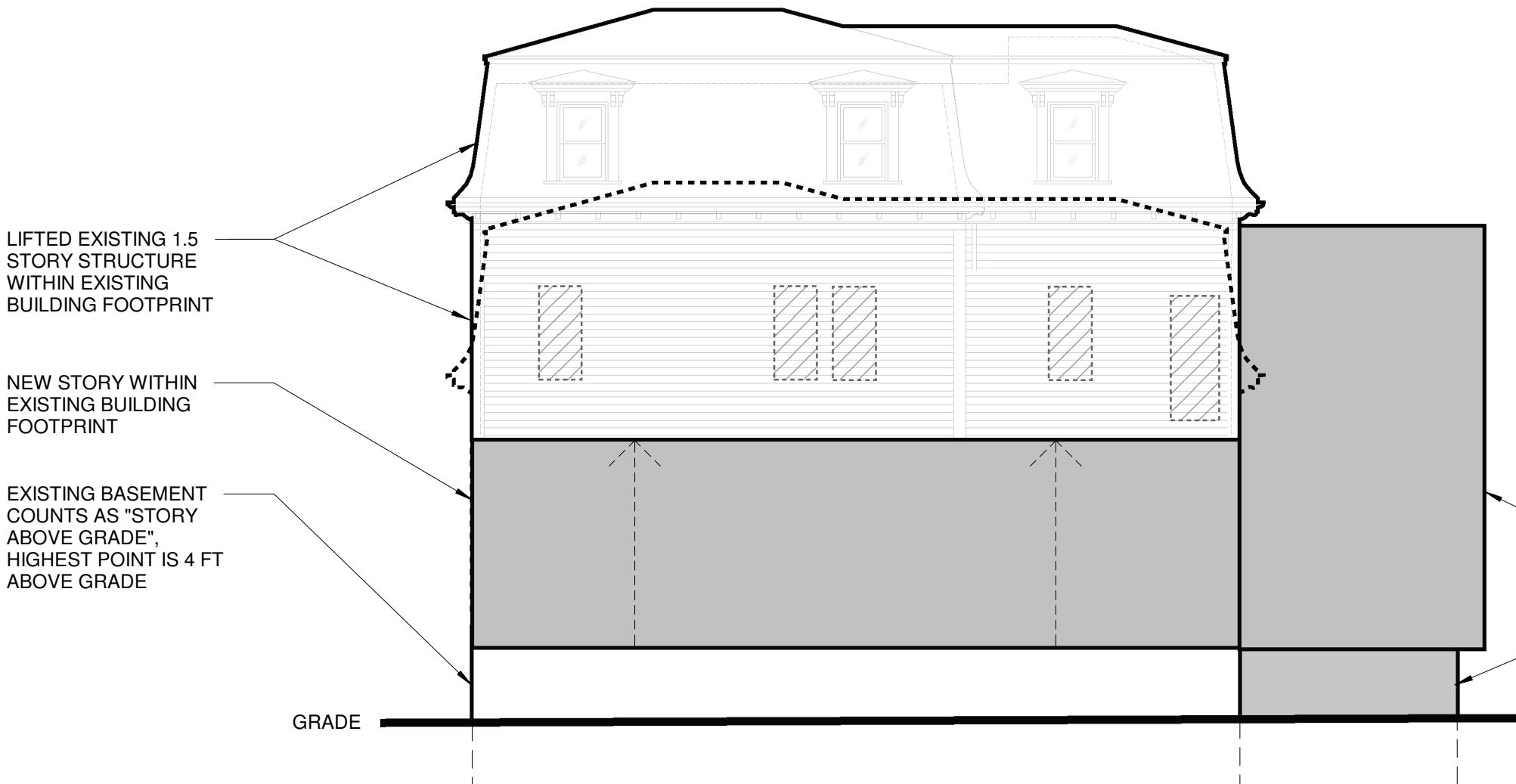
G-3.0

SPECIAL PERMIT SET  
© copyright 2025 RUHL JAHNES ARCHITECTS, LLC.

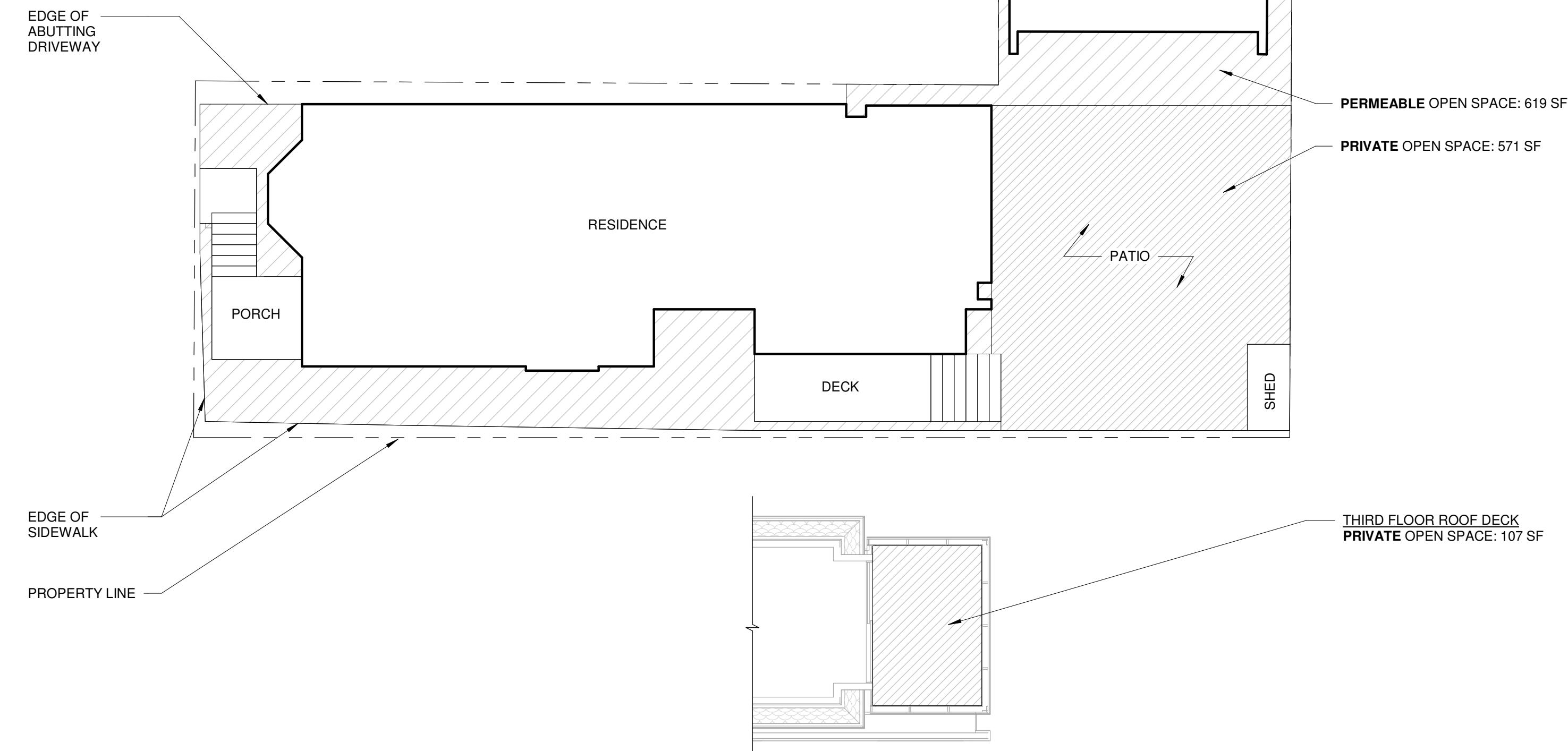
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

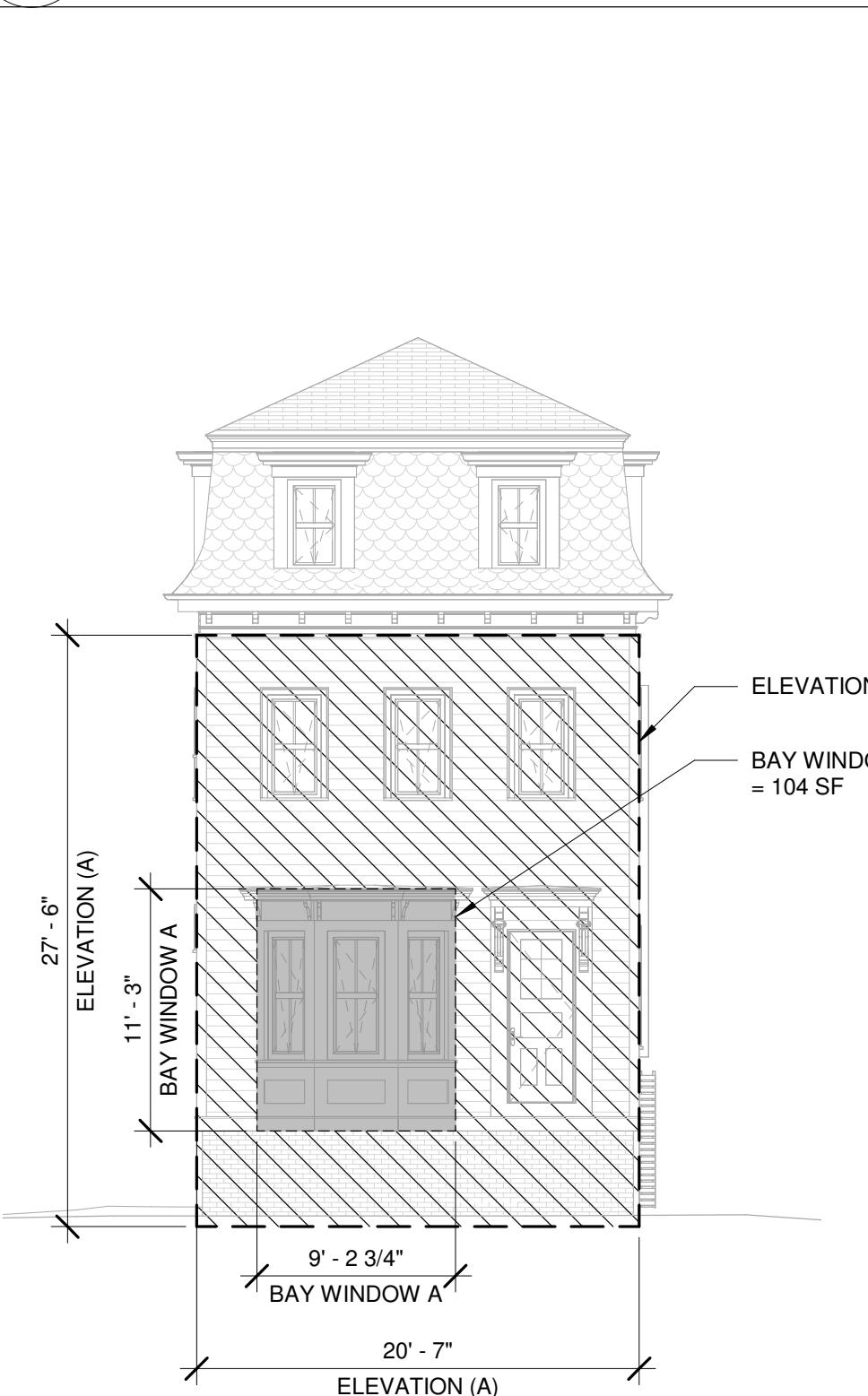


OPEN SPACE CALCULATIONS	REQUIRED	PROPOSED
EXISTING LOT SIZE = 3,036		
30% REQUIRED OPEN SPACE = 50% REQUIRED PRIVATE OPEN SPACE = 50% REQUIRED PERMEABLE OPEN SPACE =	910 455 455	1,292 (42.6%) 673 619



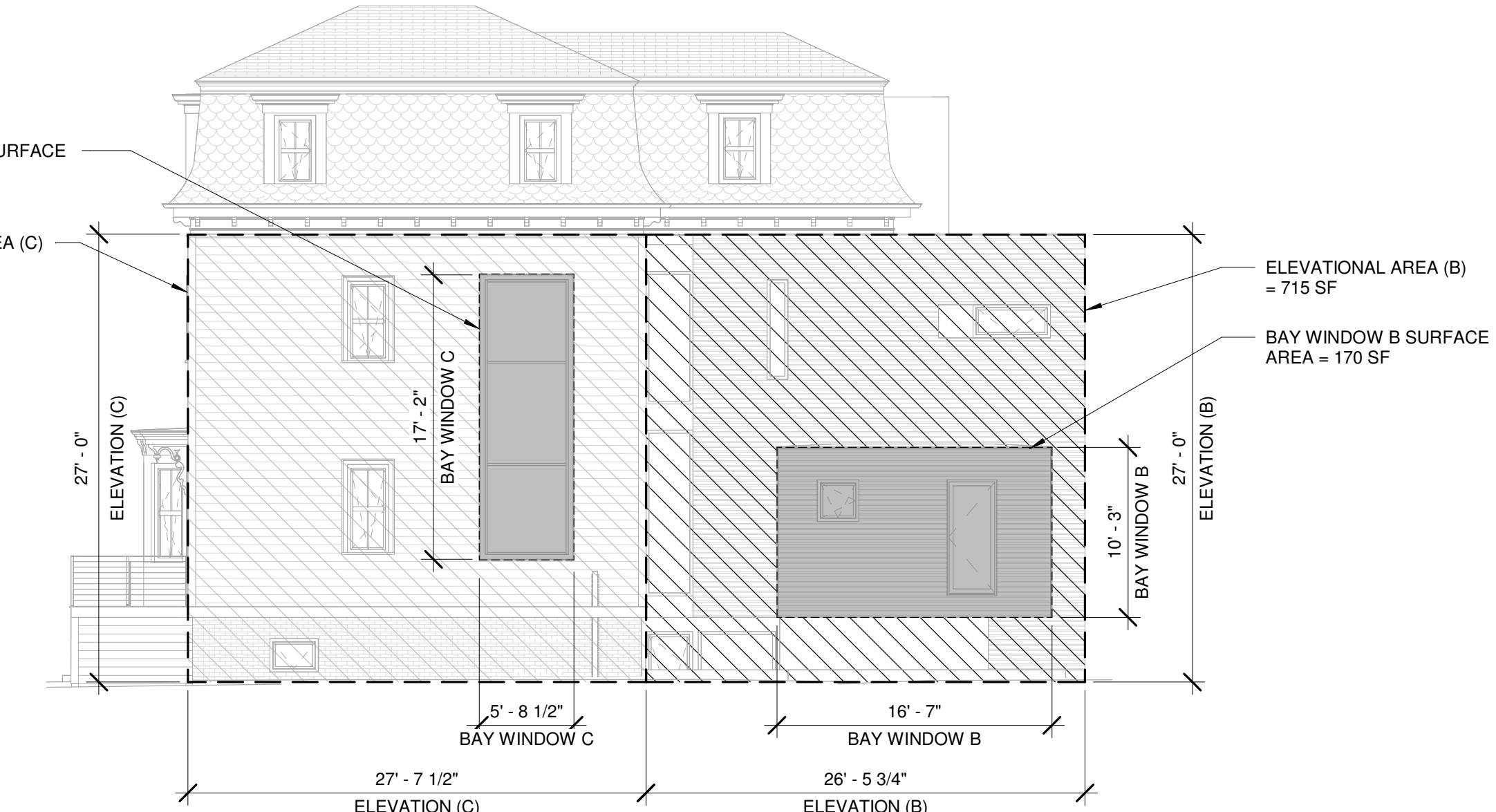
**E** PROPOSED LIFTING DIAGRAM

1/8" = 1'-0"



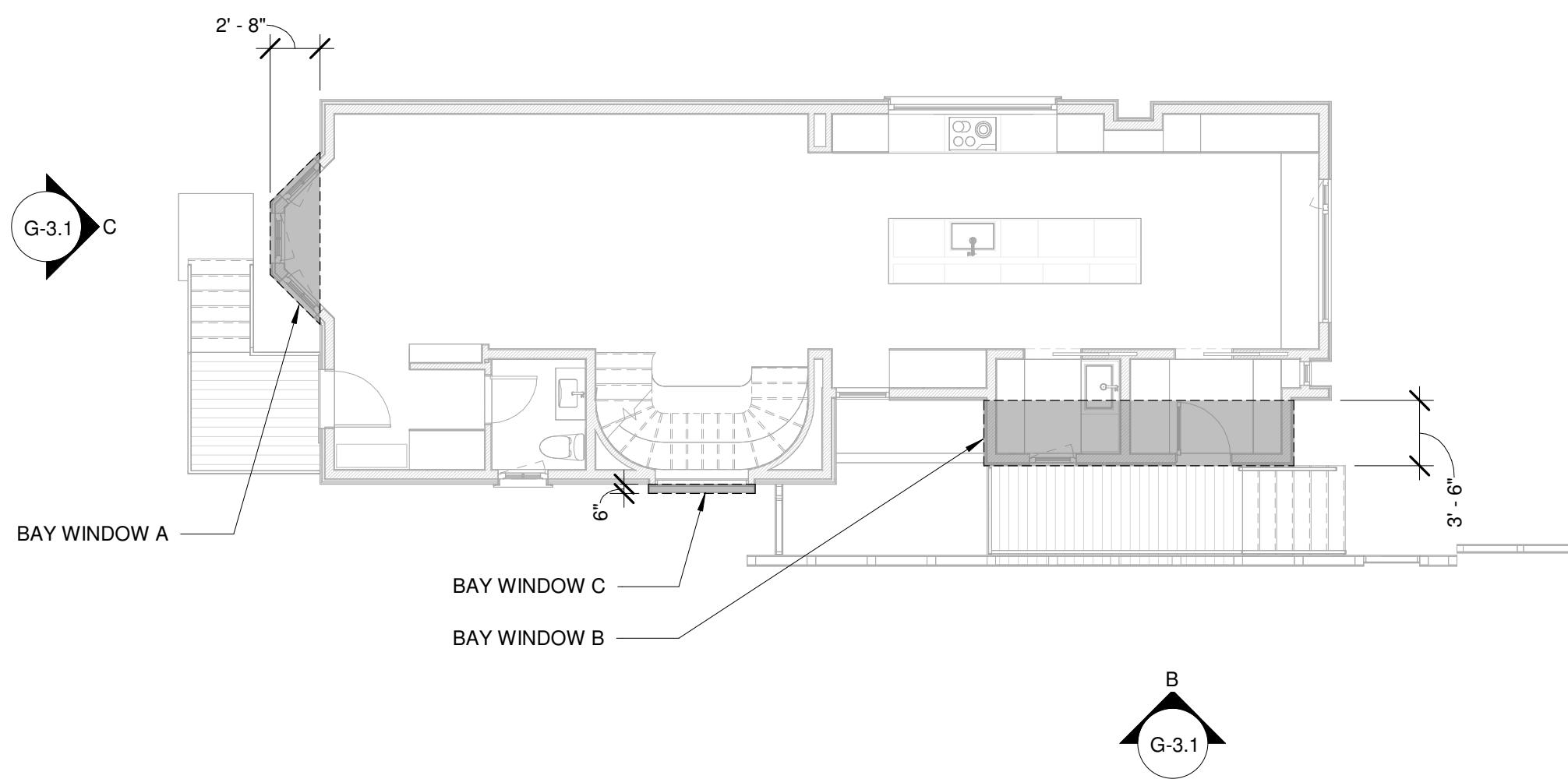
**D** OPEN SPACE DIAGRAM

1/8" = 1'-0"



BAY WINDOW CALCULATIONS

BAY WINDOW	PROPOSED PROJECTION (3'-6" ALLOWED)	BAY WINDOW ELEVATIONAL AREA	WALL AREA	SURFACE AREA PERCENTAGE (MAX. 25%)
BAY WINDOW A	2'-8" FT	104 SF	570 SF	104 SF / 570 SF = 18.25%
BAY WINDOW B	3'-6" FT	170 SF	715 SF	170 SF / 715 SF = 23.8%
BAY WINDOW C	0'-6" FT	99 SF	747 SF	99 SF / 747 SF = 13.3%



**C** PROPOSED NORTH ELEVATION BAY WINDOWS

1/8" = 1'-0"

**B** PROPOSED WEST ELEVATION BAY WINDOWS

1/8" = 1'-0"

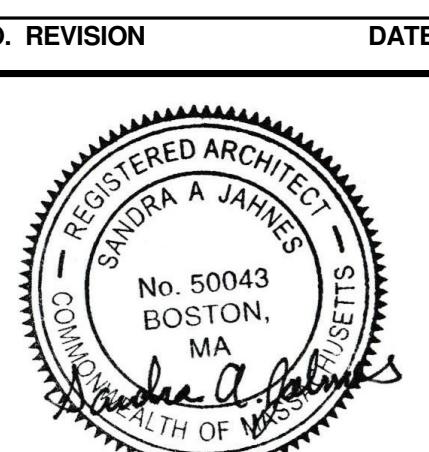
**A** FIRST FLOOR PLAN - BAY WINDOW EXCEPTIONS

1/8" = 1'-0"

**RUHL JAHNES**

281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722

[www.ruhljahnes.com](http://www.ruhljahnes.com)



NO. REVISION DATE  
ISSUED 10/23/2025  
DRAWN BY PG  
SCALE As indicated

PROPOSED  
ZONING  
DRAWINGS

G-3.1

SPECIAL PERMIT SET

© copyright 2025 RUHL JAHNES ARCHITECTS, LLC.

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



EXISTING STRUCTURE - NE VIEW FROM FRANKLIN ST



EXISTING STRUCTURE - NW VIEW FROM FRANKLIN ST



EXISTING STRUCTURE - W VIEW FROM BAY ST



EXISTING STRUCTURE - NW VIEW FROM BAY ST

G-3.2

SPECIAL PERMIT SET

© copyright 2025 RUHL | JAHNES ARCHITECTS, LLC.

 RUHL | JAHNES

281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722

[www.ruhljahnnes.com](http://www.ruhljahnnes.com)

NO. REVISION DATE

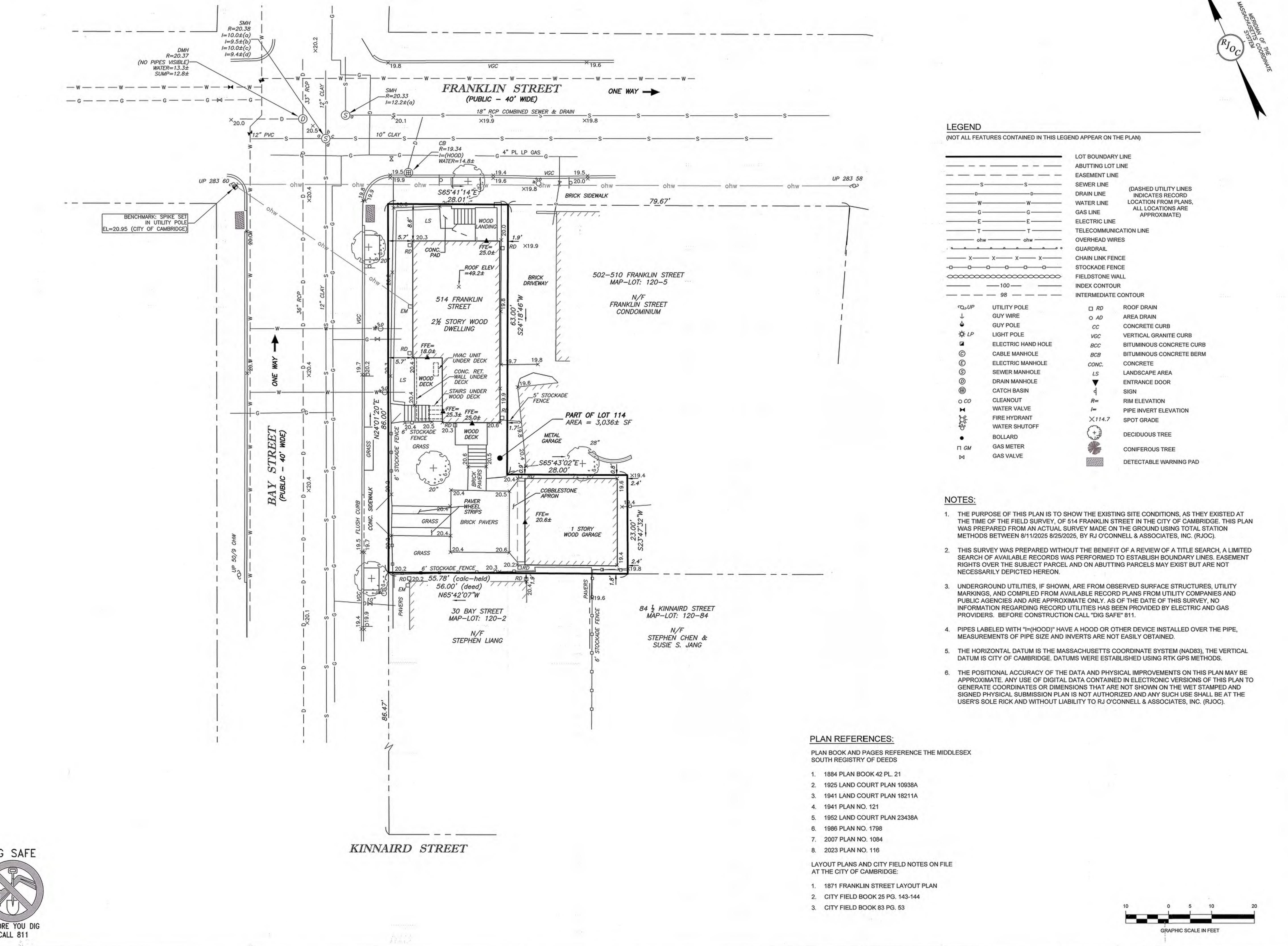


SCALE  
DRAWN BY  
ISSUED

10/23/2025

EXISTING  
CONDITIONS  
PHOTOS

1	UPDATE NUMBER OF STORIES PER ARCHITECTS ZONING ANALYSIS
NO.	10/21/2025
REVISION	

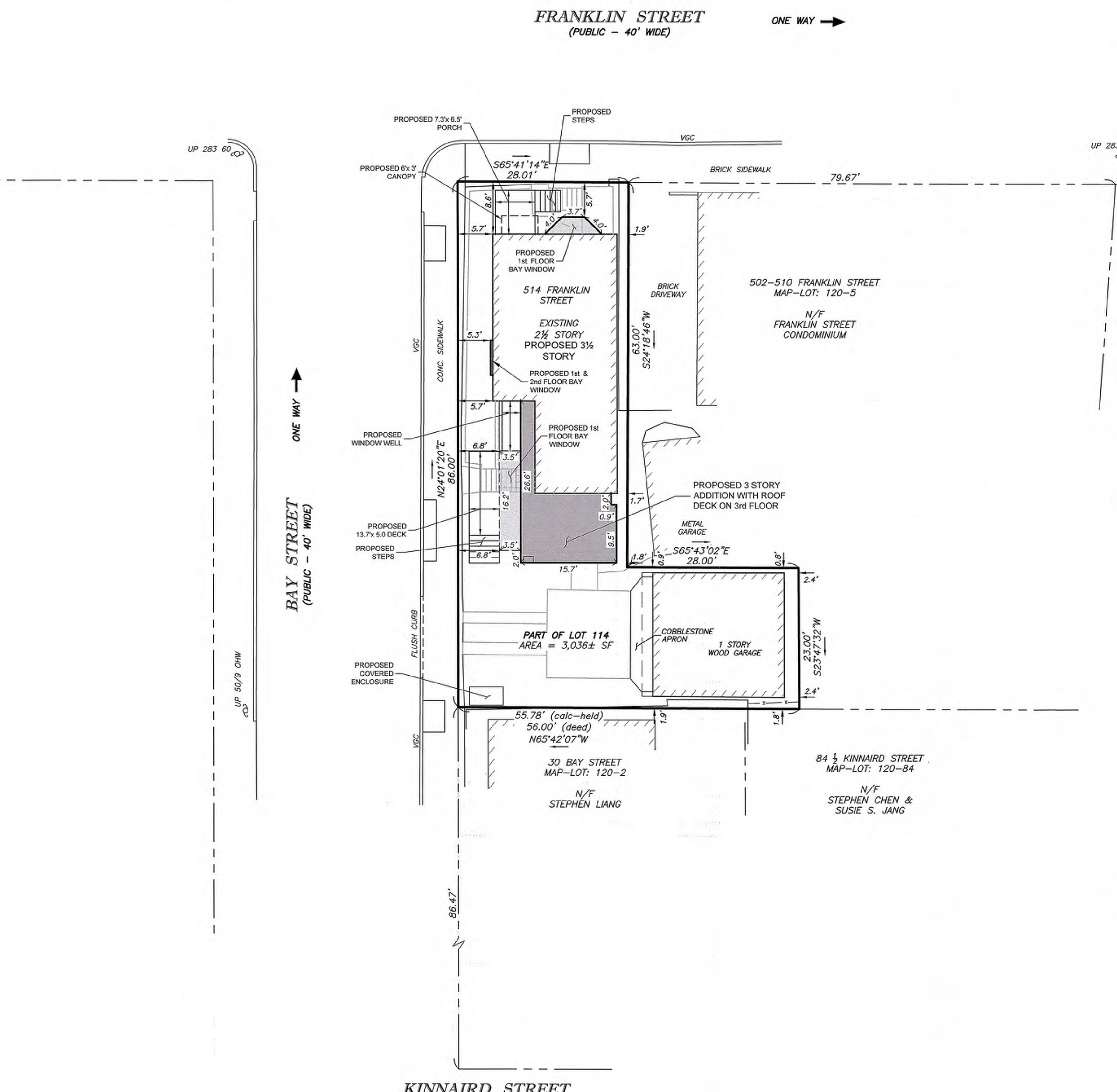


Matthew Lowry 10/26/2025  
 PROFESSIONAL LAND SURVEYOR  
 DRAWN BY: RJK  
 REVIEWED BY: ML  
 SCALE: 1" = 10'  
 FIELD CREW: TDB / JWS  
 DATE: 10/26/2025  
 DRAWING NAME: EX-1

EX-1

Copyright © 2025 by RJ O'Connell & Associates, Inc.

DATE	
REVISION	
NO.	



PROJECT LOCATION:  
PARCEL ID: 120-3  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

RECORD OWNER:  
PETER KUHLMANN & SHIRLEY KUHLMANN  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139  
BK .67285 PG. 29

PREPARED BY:  
**RJ O'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
80 MONMOUTH AVENUE, SUITE 200, CAMBRIDGE, MA 02180  
PHONE: 781.278.9180 RJOCNELL.COM

PREPARED FOR:  
**PETER & SHIRLEY KUHLMANN**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

PROJECT NAME:  
**514 FRANKLIN STREET**  
CAMBRIDGE, MASSACHUSETTS



Matthew Lowry 10/21/2025  
PROFESSIONAL LAND SURVEYOR FOR RJ O'CONNELL & ASSOCIATES, INC.

DRAWN BY: RJK  
REVIEWED BY: ML  
SCALE: 1" = 10'  
FIELD CREW: TDB / JWS  
DATE: 10/21/2025  
DRAWING NAME:

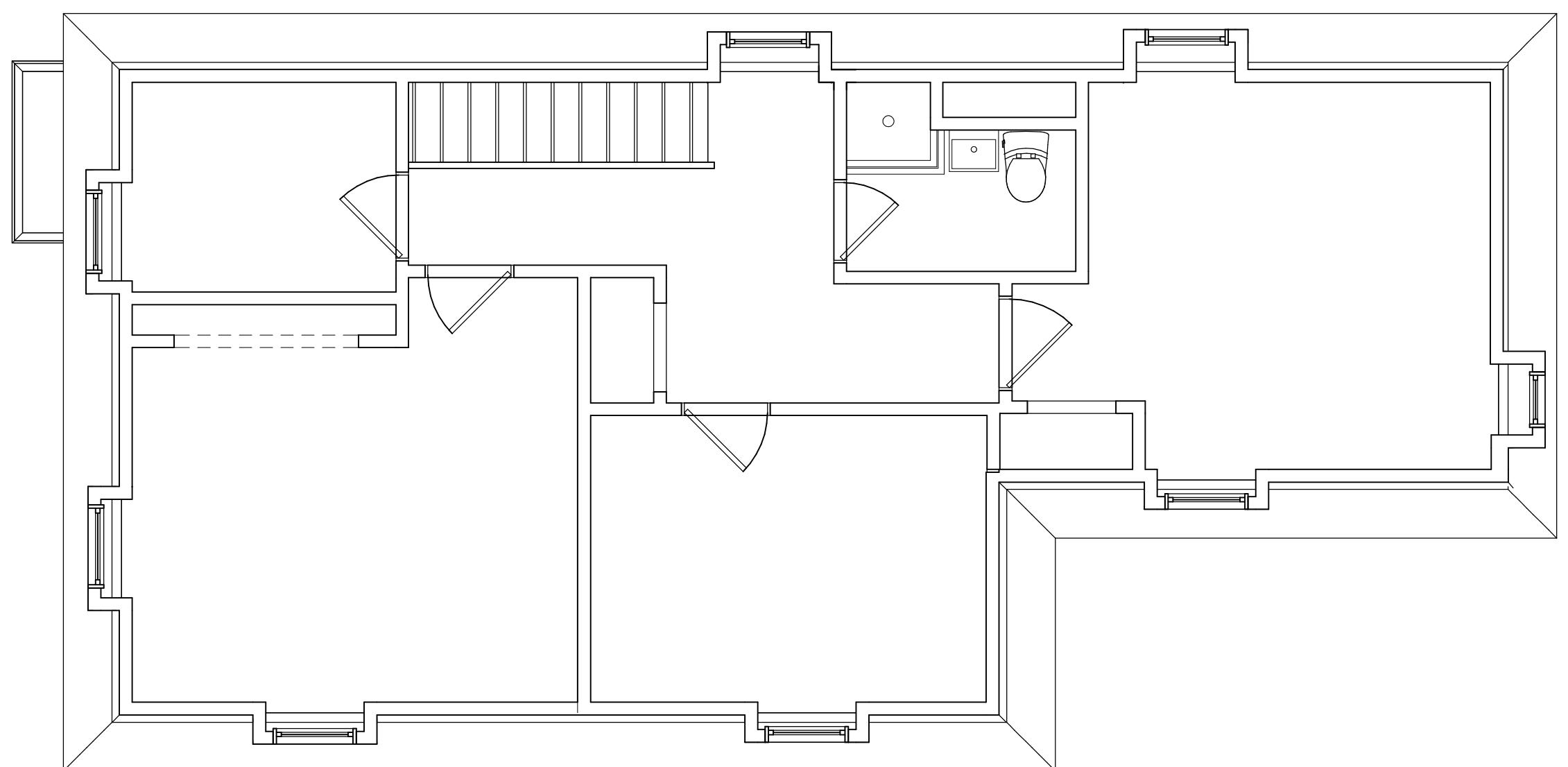
## PROPOSED PLOT PLAN

DRAWING NUMBER: PROP-1  
PROJECT NUMBER: 25530



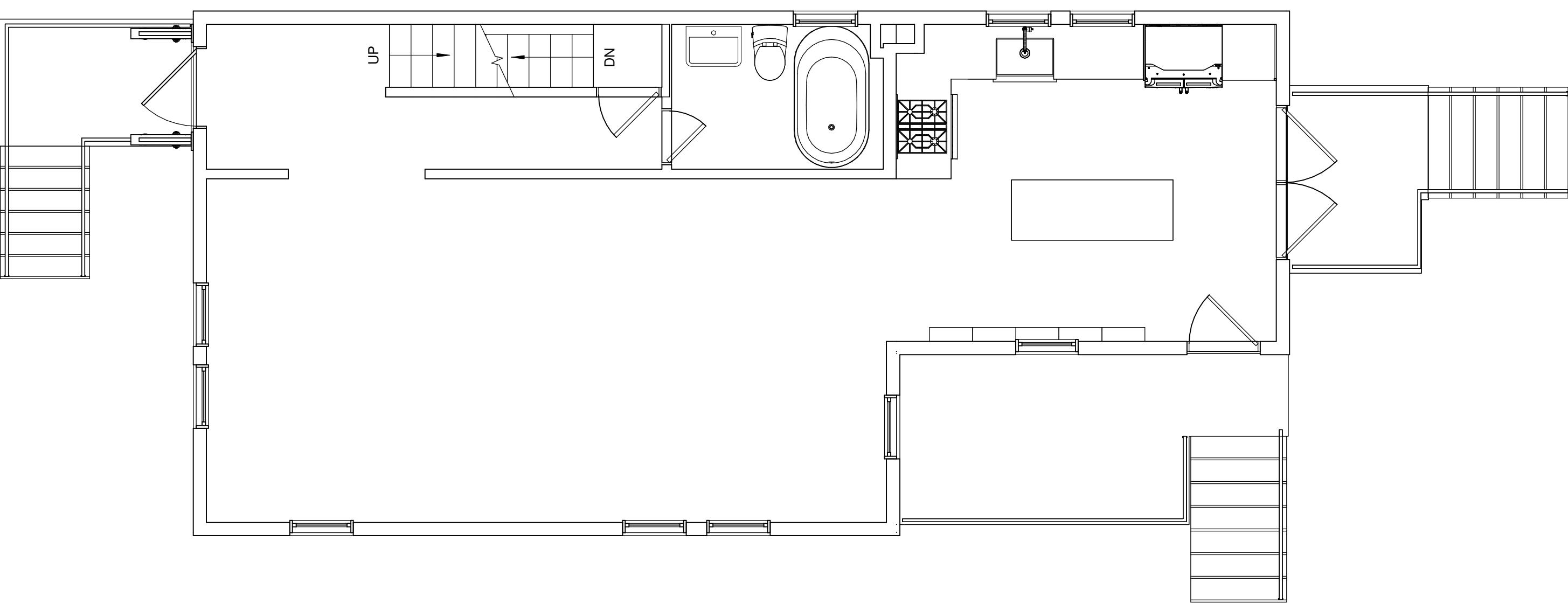
# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



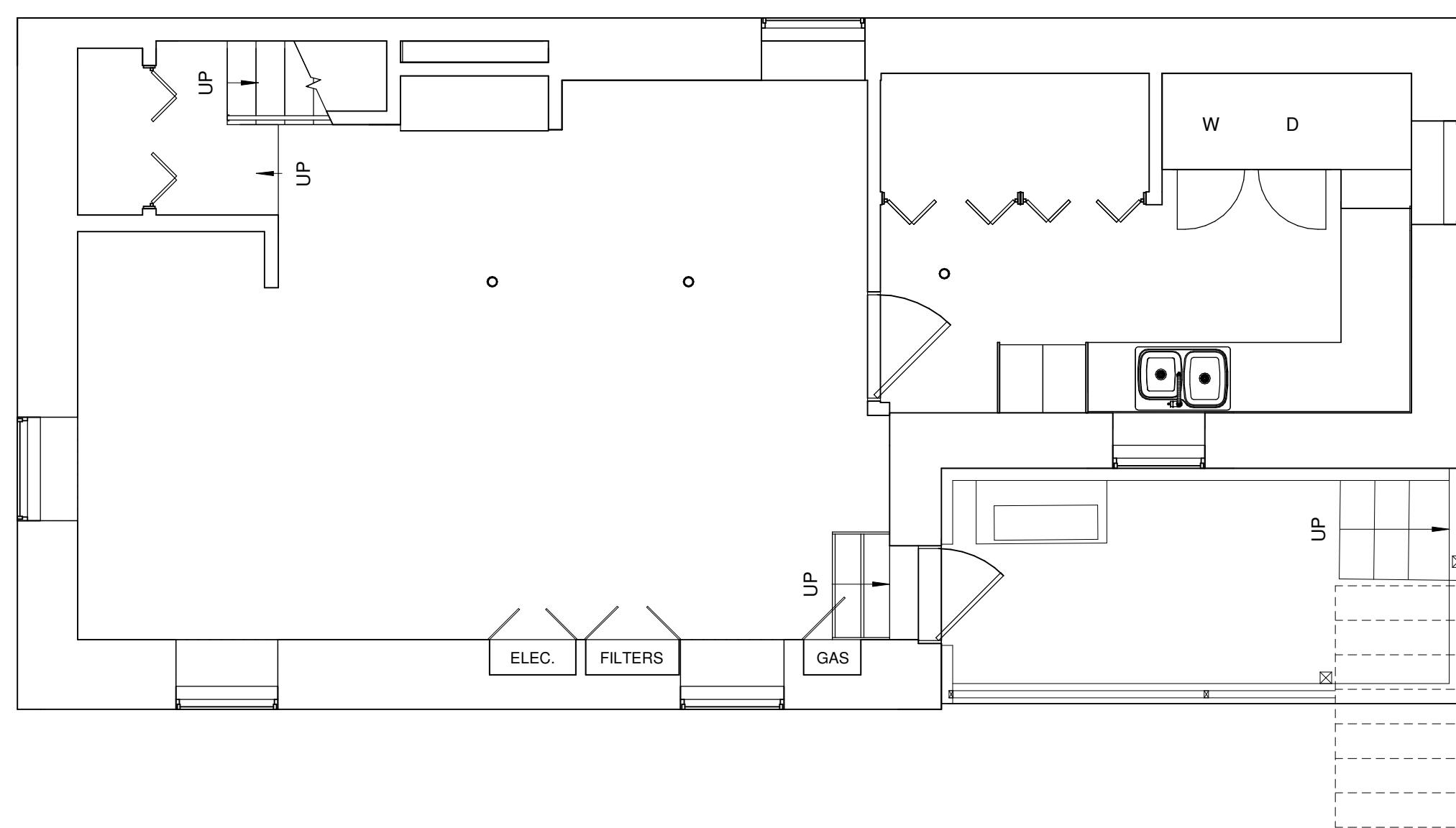
**C** SECOND FLOOR PLAN

1/4" = 1'-0"



**B** FIRST FLOOR PLAN

1/4" = 1'-0"



**A** BASEMENT PLAN

1/4" = 1'-0"

AE-1.0

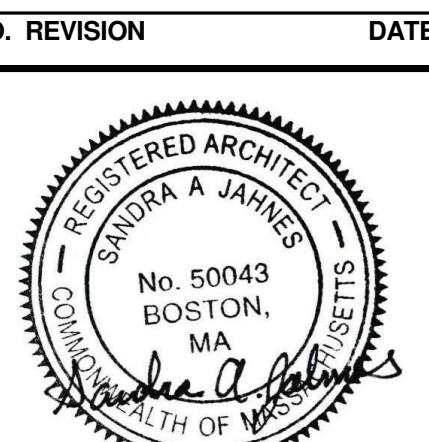
SPECIAL PERMIT SET

© copyright 2025 RUHL | JAHNES ARCHITECTS, LLC.

 RUHL | JAHNES

281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722

[www.ruhljahnes.com](http://www.ruhljahnes.com)

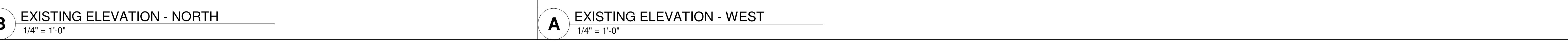
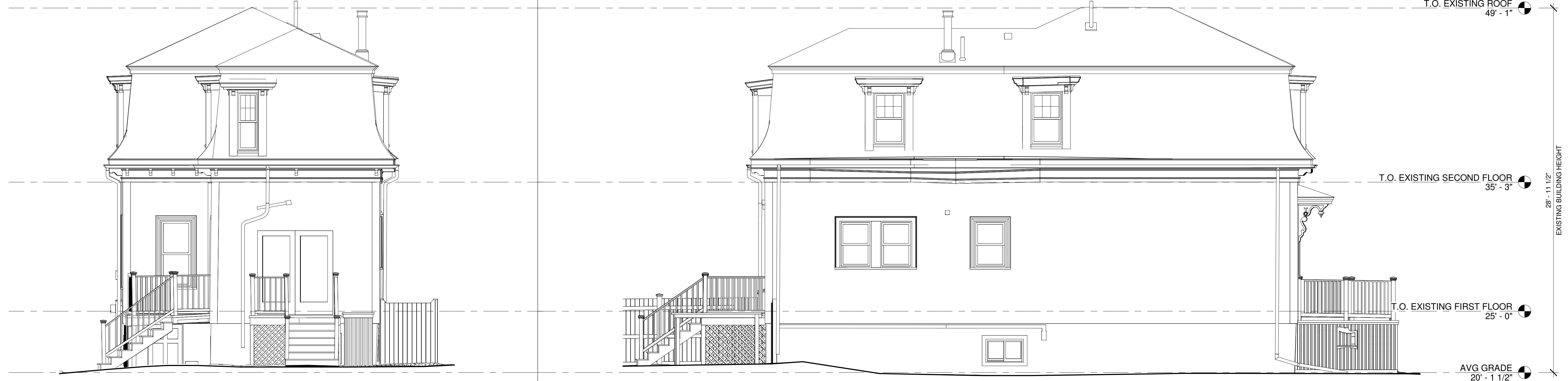


SCALE 1/4" = 1'-0"  
DRAWN BY PG  
ISSUED 10/23/2025

EXISTING PLANS

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



A EXISTING ELEVATION - WEST  
1/4" = 1'-0"

AE-1.1

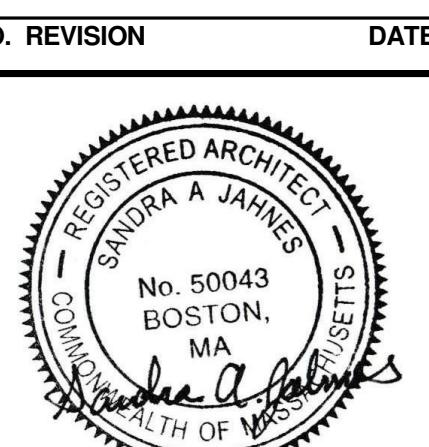
SPECIAL PERMIT SET

© copyright 2025 RUHL | JAHNES ARCHITECTS, LLC.

RUHL | JAHNES

281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722

[www.ruhljahnes.com](http://www.ruhljahnes.com)

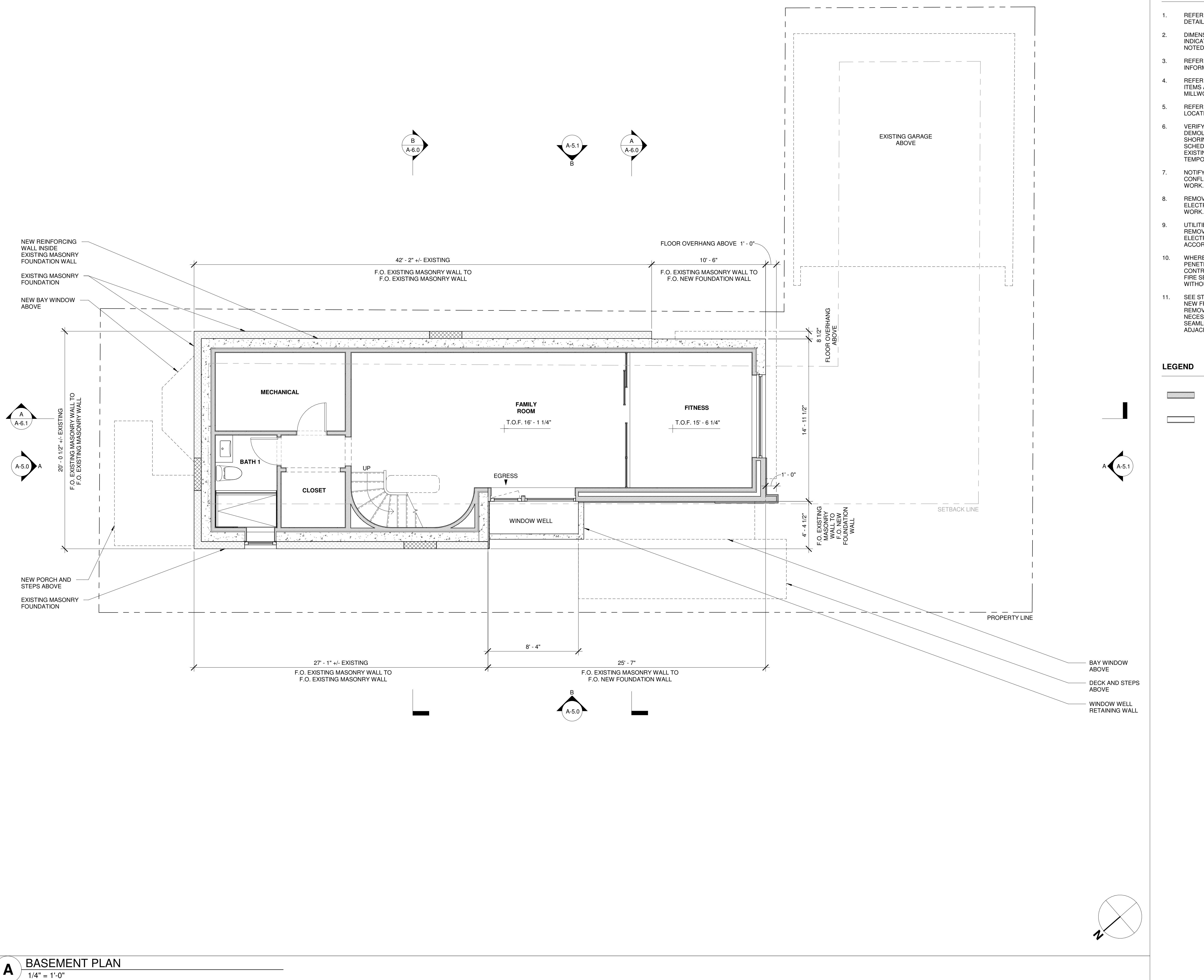


SCALE 1/4" = 1'-0"  
DRAWN BY Author  
ISSUED 10/23/2025

EXISTING ELEVATIONS

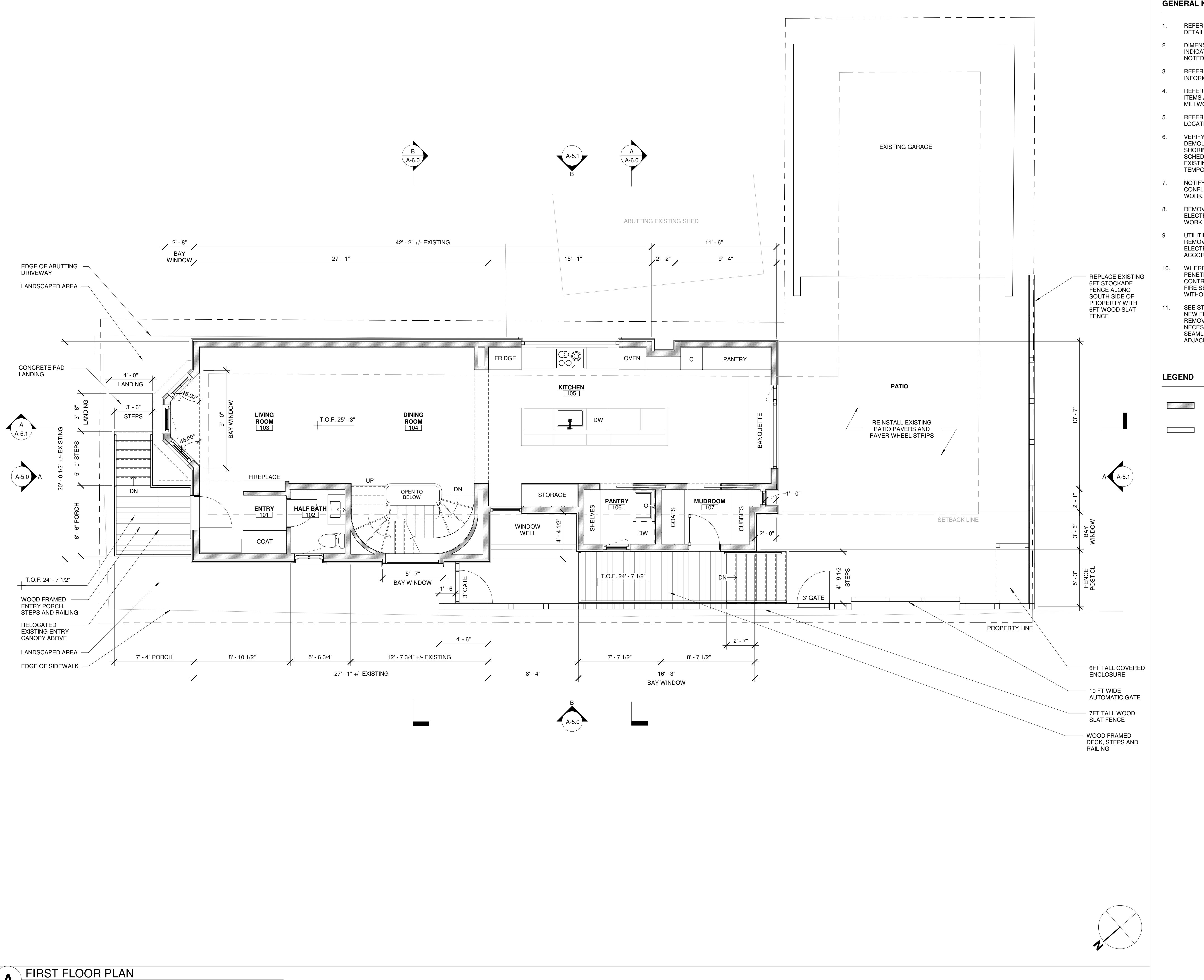
# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

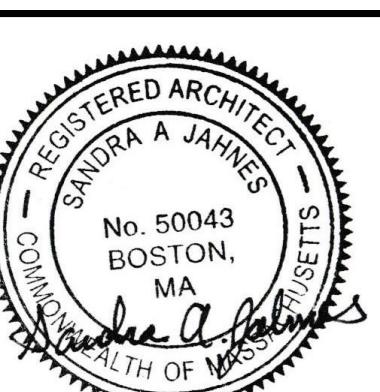


# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

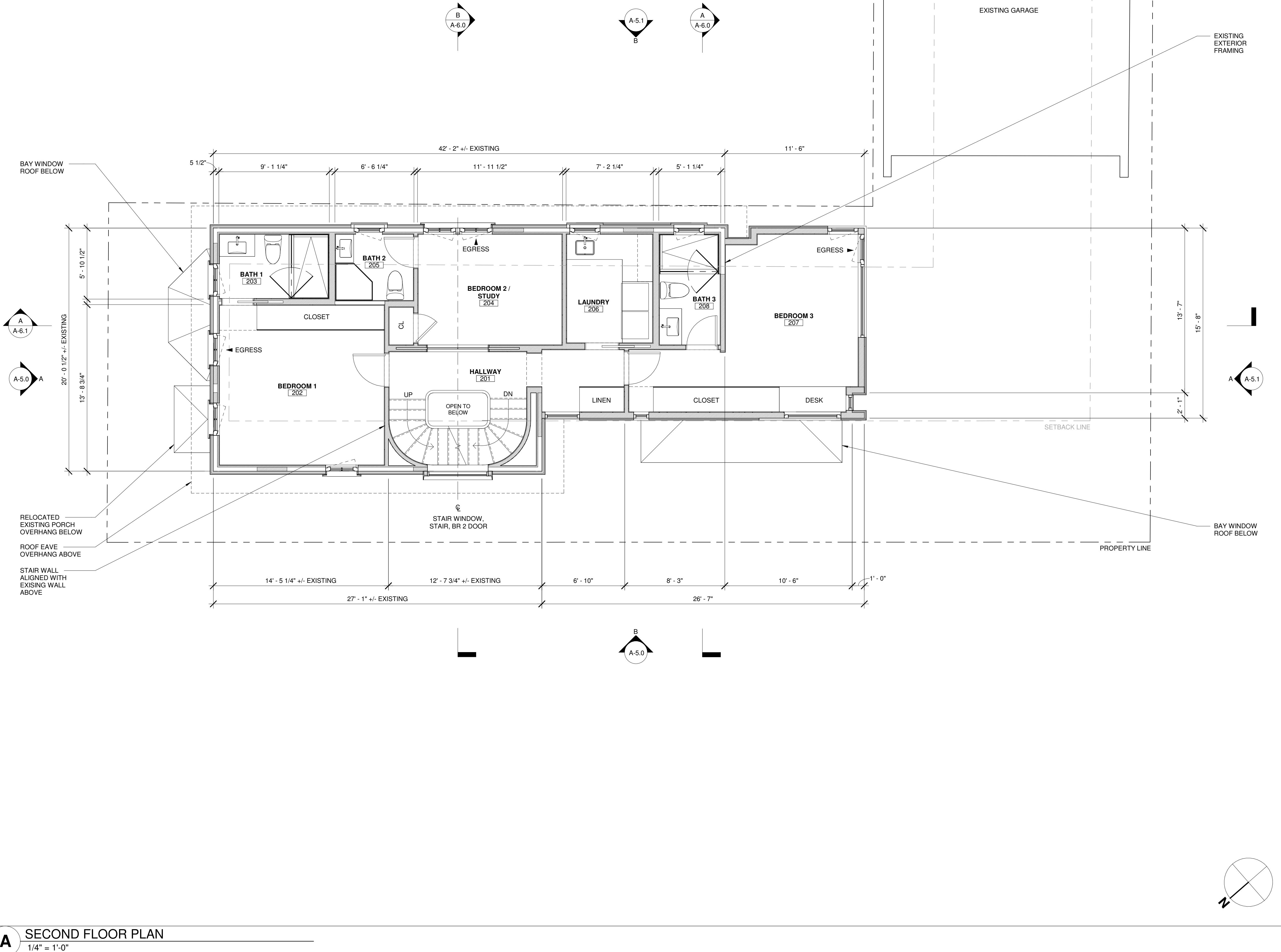


**RUHL | JAHNES**  
281 Mt. Auburn Street  
Watertown, MA 02472  
617.744.8722  
www.ruhljahnes.com



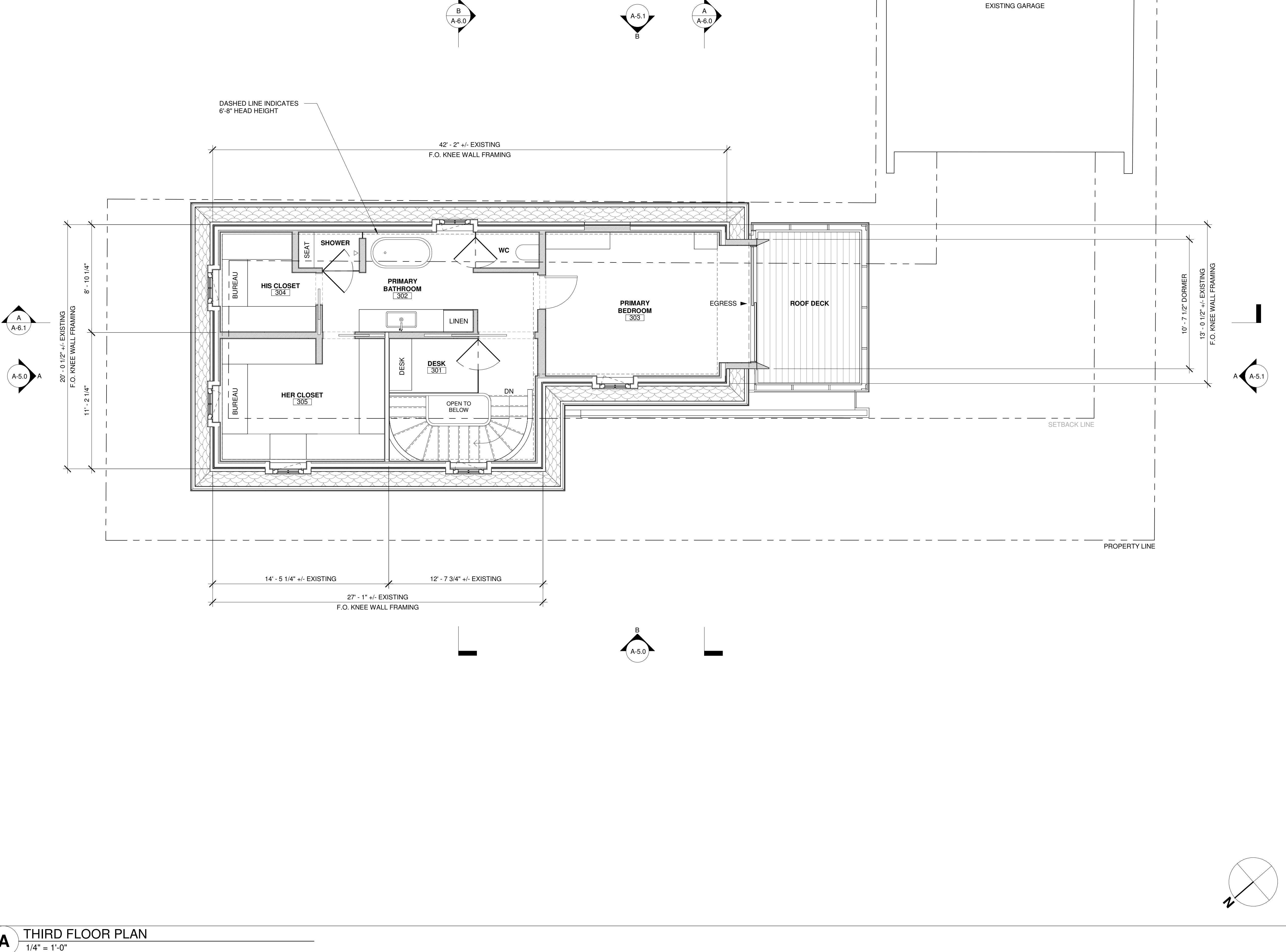
# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

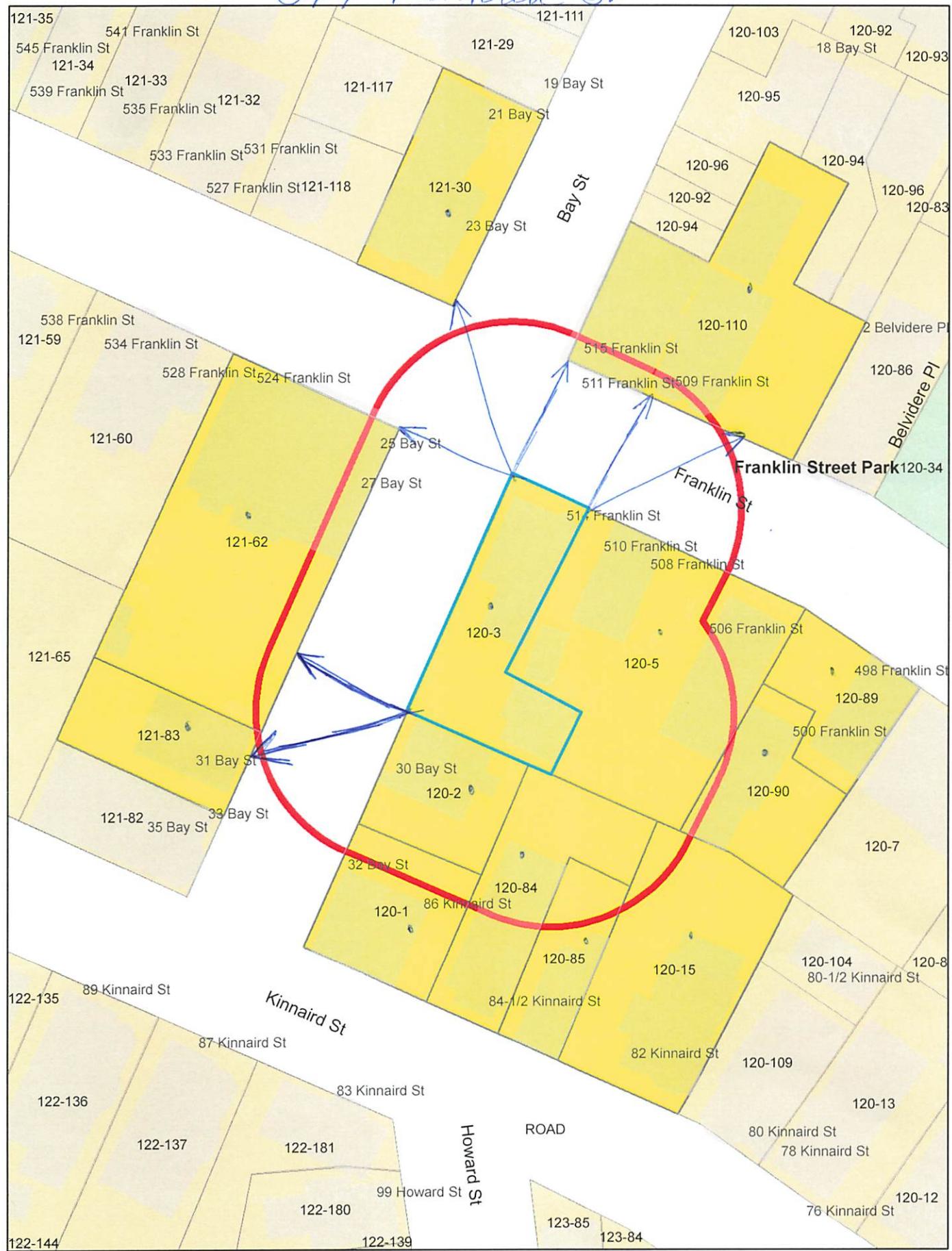


# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139



# 514 Franklin St.



514 Franklin st.

Petitioner

120-1  
SETO, TOBY KAM-YEE & SHERRY HY CHEN  
YUNG-MOU CHEN  
426 PUTNAM AVE  
CAMBRIDGE, MA 02139

120-3  
KUHLMANN, PETER & SHIRLEY KUHLMANN  
514 FRANKLIN ST  
CAMBRIDGE, MA 02139

120-89  
MEYERS, JOSHUA & JEREMY FARO  
498 FRANKLIN ST  
CAMBRIDGE, MA 02139

121-62  
KAPTCHUK, TED AND JOYCE P. SINGER  
524 FRANKLIN ST  
CAMBRIDGE, MA 02139-2924

121-83  
WILSON, DANIEL G. & TERRI M. TURNER  
31 BAY ST  
CAMBRIDGE, MA 02139

120-85  
TYLER, MORRIS, II &  
BNY MELLON, N.A., TRUSTEES  
84 KINNAIRD ST  
CAMBRIDGE, MA 02139

120-5  
FAST, EVA  
506 FRANKLIN ST UNIT 2  
CAMBRIDGE, MA 02139

120-5  
HALVERSON, COREY & MIN ZENG  
508 FRANKLIN ST UNIT 3  
CAMBRIDGE, MA 02139

120-15  
RINGLE, SUSAN J.,  
TR. THE SUSAN J. RINGLE LIV TRUST  
82 KINNAIRD ST UNIT 2  
CAMBRIDGE, MA 02139

120-5  
WITT, MICHAEL J. & JAMES R. MESSINEO  
504 FRANKLIN ST UNIT 1  
CAMBRIDGE, MA 02139

120-15  
CARLINER, HANNAH  
82 KINNAIRD ST UNIT 1  
CAMBRIDGE, MA 02139

121-30  
PEELER, KATHERINE RATZAN &  
CRANDALL PEELER  
21-23 BAY ST. UNIT 23  
CAMBRIDGE, MA 02139

121-30  
RUMBLEY, SARAH & RAY LI  
21-23 BAY ST. UNIT 21A  
CAMBRIDGE, MA 02139

121-30  
QIN, MINGYAO KATHY  
802 VILLAGE RD  
CHARLOTTESVILLE, VA 22903

120-84  
CHEN STEVEN T & SUSIE S JANG TRS  
84 1/2 KINNAIRD ST  
CAMBRIDGE, MA 02139

120-90  
NADIS, STEVEN JONATHAN  
MELISSA J BURNS TRS  
500 FRANKLIN ST  
CAMBRIDGE, MA 02139

120-2  
LIANG, STEPHEN  
CITY OF CAMBRIDGE OF TAX TITLE  
30 BAY STREET  
CAMBRIDGE, MA 02139

120-110 (UNIT 1, 2 & 515)  
509 FRANKLIN STREET LLC  
C/O INFANTE PROPERTY MANAGEMENT  
392 UNION AVENUE  
FRAMINGHAM, MA 01702

120-110  
WEICHEE CHEN  
509-515 FRANKLIN ST (UNIT 509/5)  
CAMBRIDGE, MA 02139



**Ted J Kapchuk**

**Beth Israel Deaconess Medical Center**

*Director, Program in Placebo Studies & Therapeutic Encounter*

**Harvard Medical School**

*Professor of Medicine*

*Professor of Global Health and Social Medicine*

December 3, 2025

Reference Case: BZA-1188742

Zoning Board  
City of Cambridge  
Cambridge, Massachusetts

Dear Board:

I have lived at 27 Bay Street in Cambridge since 1980. My home is directly across the street from Peter and Shirley Kuhlmann. They have discussed their reconstruction project with me, and I am pleased that it will allow them to continue living in the community and raising their two children nearby. I believe the proposed improvements will enhance the neighborhood overall. I am writing to support their request for a special permit.

Sincerely,  
Ted

Sincerely,

Ted Kapchuk  
Professor of Medicine, HMS  
Professor of Global Health & Social Medicine, HMS  
Director, Harvard-wide Program in Placebo Studies & Therapeutic Encounter, BIDMC



# City of Cambridge

MASSACHUSETTS

## BOARD OF ZONING APPEAL

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

2 Bds

BZA

### POSTING NOTICE – PICK UP SHEET

The undersigned picked up the notice board for the Board of Zoning Appeals Hearing.

Name: PETER KULMANN (Print) Date: 11/21/25

Address: 514 Franklin St.

Case No. BZA-1188742

Hearing Date: 12/11/25

Thank you,  
BZA Members

Board of Zoning Appeals  
831 Massachusetts Avenue  
Cambridge, MA 02139

7/20  
CITY OF CAMBRIDGE  
BUILDING PERMIT  
121-2025-00000  
CCS

Re: BZA Case No.  
514 Franklin Street

Dear Mr. Chair and Members of the Board:

We are writing to provide some background on the application we have filed for an addition to our home, primarily regarding our efforts to engage with, and consider the needs and potential concerns of, our neighbors and community.

We first notified our most impacted neighbors, Min Zeng and Corey Halvorsen at 508 Franklin Street, via an in-person chat; we followed up on this conversation by sending an early architectural rendering in late June 2025 reflecting the same massing as our special permit application (a copy of which is attached as Exhibit A). Based on the positive feedback from Ms. Zeng and Mr. Halvorsen, we pursued further development of our plans.

In early October 2025, we hand-delivered a letter to all who would receive notice from ISD summarizing the nature and purpose of our project; expressing our eagerness to discuss any concerns; providing our contact information; and noting that they should expect to receive a notice letter from the City regarding an upcoming BZA. A copy of that transmission is enclosed, as Exhibit B.

We received primarily positive feedback from this outreach. We shared a draft of the special permit application plans with Ms. Zeng and Mr. Halvorsen, as well as an updated survey, on October 5, 2025. They expressed concern about anticipated disruptions to their tenants during the construction and queries regarding the impact on their driveway, to which we responded. We shared that we expected to submit our special permit application within one month of October 15, 2025. As promised, we sent Ms. Zeng and Mr. Halvorsen the final set of plans on October 27, 2025, shortly before filing our application on October 31, 2025.

We were very surprised to learn that our application came as a surprise to some of our neighbors, given our multiple outreach efforts, the ongoing correspondence (especially in the case of Ms. Zeng and Mr. Halvorsen), the advertisements promptly and prominently posted outside our home, and the Board's notification. Nevertheless, we agreed to a continuance to afford our neighbors additional time to review the proposed renovation.

Since requesting the continuance, our architects conducted a shade study to evaluate the impact on our neighbors' property (a copy which is enclosed as Exhibit C) and we engaged repeatedly with Ms. Zeng and Mr. Halvorsen in an effort to understand and mitigate, where possible, their concerns. Despite emails sent to the other neighbors who requested a continuance ahead of the prior meeting, we have not received any substantive feedback, other than from Ms. Zeng and Mr. Halvorsen, who requested that we consider foregoing our proposed addition altogether (including the portion of it that we can build as a matter of right).

In parallel, we evaluated ways to further reduce the impact of our proposed renovations on our immediate neighbors while still fulfilling our programmatic needs. As a result, we have modified our proposed design such that the number and aggregate size of openings on the non-conforming eastern face of our home have been reduced relative to the existing conditions; only one window has been added on that face, a glazed wall assembly that is above eye-level to ensure maximum privacy for both ourselves, and the residents of 508 Franklin Street.

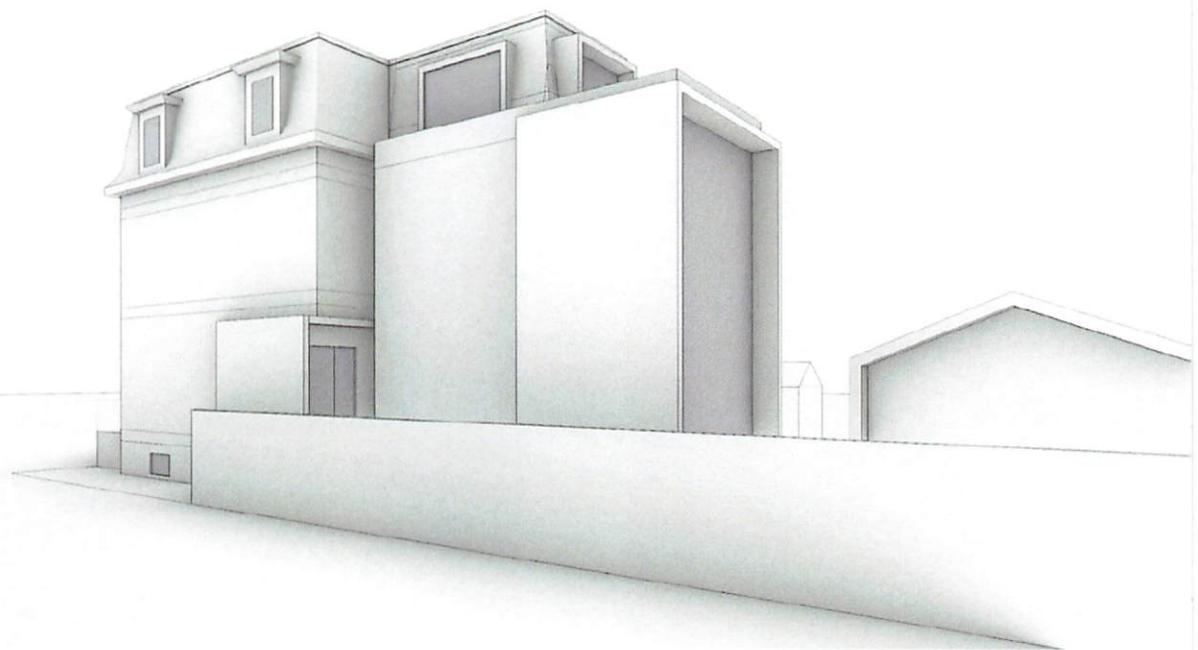
We look forward to discussing our proposal in greater detail at the upcoming BZA meeting. Thank you for your time and consideration.

Regards,

*Peter Kuhlmann*

Shirley and Peter Kuhlmann

**Exhibit A**  
**June 2025 Conceptual Plans**



BAY STREET VIEW

1/8" = 1'-0"

Exhibit B  
October 2025 Letter to Neighbors

Dear neighbor,

As some of you are already aware, we are planning a significant renovation to our house at 514 Franklin St. Our immediate issue is that, as Eve and Ari continue to grow, our sharing a single bathroom is becoming increasingly untenable. Unfortunately, our house also has some major structural issues, most seriously a tilting foundation, which means that we must do some major work to stabilize the house in addition to the expansion we would like to do.

We have been working with architects, as well as structural, civil and geotechnical engineers and are close to completing a plan with which we can apply for a special permit from the City. With the new zoning passed in Cambridge, we have more flexibility to proceed with a renovation, but because we have a corner lot, we still need to jump through some hoops with the City. The plan we are preparing to submit is to lift the existing house, reinforce and remediate the foundation, and then insert a new first floor. We will also be adding a new addition in the back which will slightly decrease the size of our backyard, but we have designed it in such a way that we have the same usable space that we currently have. The front of the house will maintain its historic appearance but become three stories instead of the current two. The side portion on Bay Street will have a modern addition. Unfortunately, we will have to remove and replace the weeping cherry tree, which, although still healthy currently, is a grafted ornamental street that is not particularly long-lived.

Because of the need to do some exploratory work to figure out what is going on in the current structure, we've had to move out already and are now renting a place in Huron Village (but we miss Franklin St already and are eager to be back!). We expect to have some plans and renderings to share shortly, and we're available to discuss any questions or comments you have about the project in the meantime.

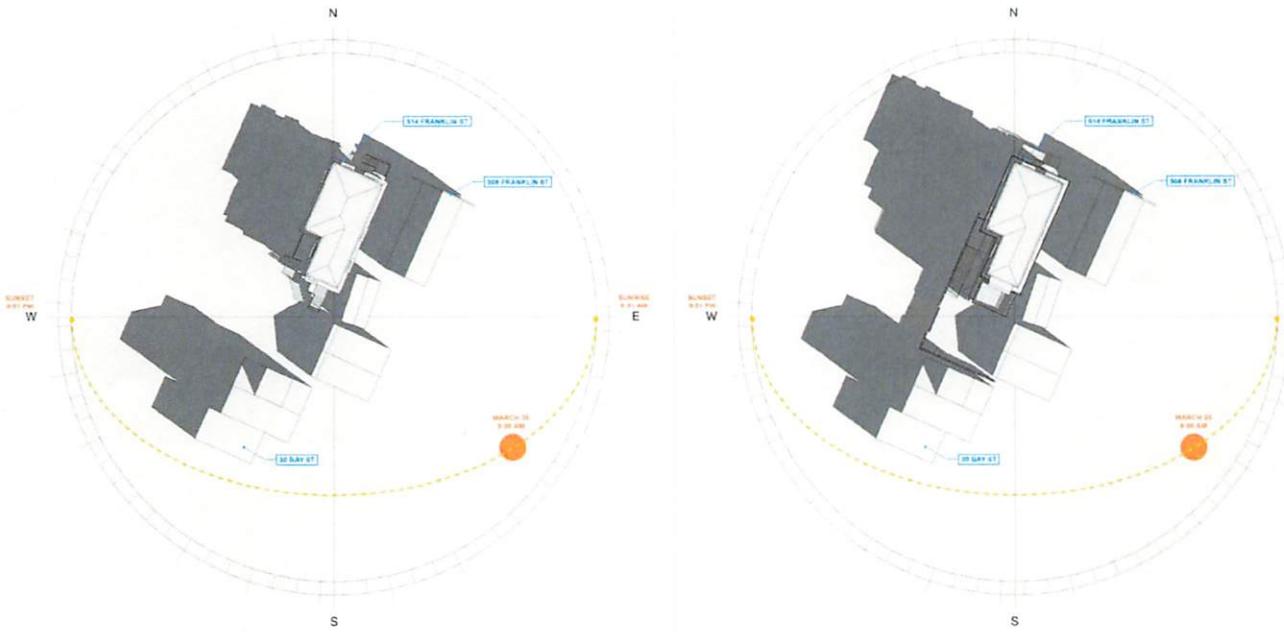
We can be reached at:  
Pete and Shirley Kuhlmann  
[REDACTED] @gmail.com  
[REDACTED] @gmail.com

Best,  
Pete and Shirley

**Exhibit C**  
**December 2025 Shade Study**

**KUHLMANN HOUSE**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER**  
THE LOCATIONS OF 514 FRANKLIN ST AND 518 FRANKLIN ST AND 32 BAY STREET BASED ON THE  
EXISTING CONDITIONS AS DETERMINED BY A 3D CONSTRUCTION MODEL.  
THE EXISTING GEOMETRY OF 514 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D  
SCAN CONDUCTED BY POINTVISION PROVIDED ON 06/17/2019 THAT HAS BEEN MODIFIED TO  
REFLECT THE PROPOSED DESIGN OF 514 FRANKLIN ST.  
THE PROPOSED DESIGN OF 514 FRANKLIN ST AND 518 FRANKLIN ST AND 32 BAY STREET WERE MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
VIAVIA OBSERVATION.



**A** EXISTING HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 9AM

**B** PROPOSED HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 9AM

**A-10.1**

PROGRESS SET  
NOT FOR CONSTRUCTION

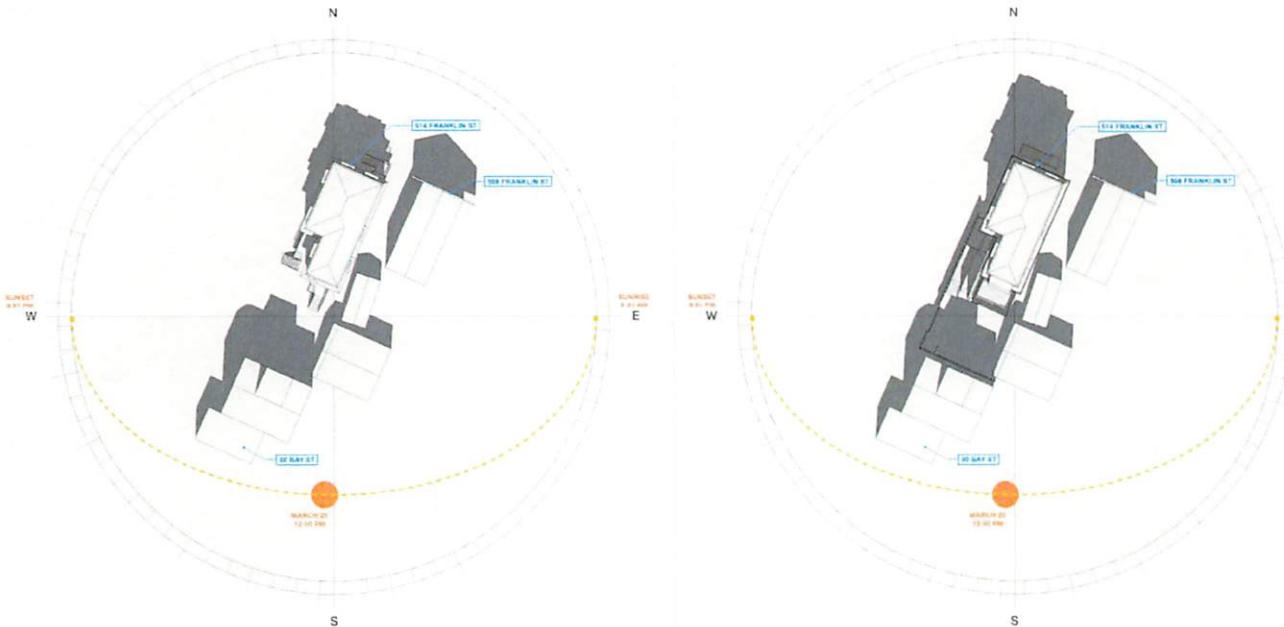
SCALE  
DRAWN BY  
ISSUED  
DATE  
SHADOW STUDY

**RUHL | JAHNES**  
2814 Andrew Street  
Wellesley, MA 02481  
617.264.4720  
[www.rjh.com](http://www.rjh.com)

REV. REVISION DATE

**KUHLMANN HOUSE**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER:**  
THE COORDINATES OF THE FRAMES IN 3D ARE BASED ON THE  
MOST RECENT EXISTING CONDITIONS SURVEY CONDUCTED BY A. O'CONNELL & ASSOCIATES.  
3D BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D  
SCANS CONDUCTED BY KUHLMANN PROVIDED ON 06/17/2020 THAT HAS BEEN MODIFIED TO  
REFLECT CHANGES SINCE THAT DATE.  
3D BUILDING GEOMETRY FOR 514 FRANKLIN ST AND 35 BAY STREET HAVE BEEN MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
AERIAL SURVEY DATA.



**A** EXISTING HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 12PM

**B** PROPOSED HOUSE SHADOW STUDY - SPRING EQUINOX (3/20) AT 12PM

A-10.1

PROGRESS SET  
NOT FOR CONSTRUCTION

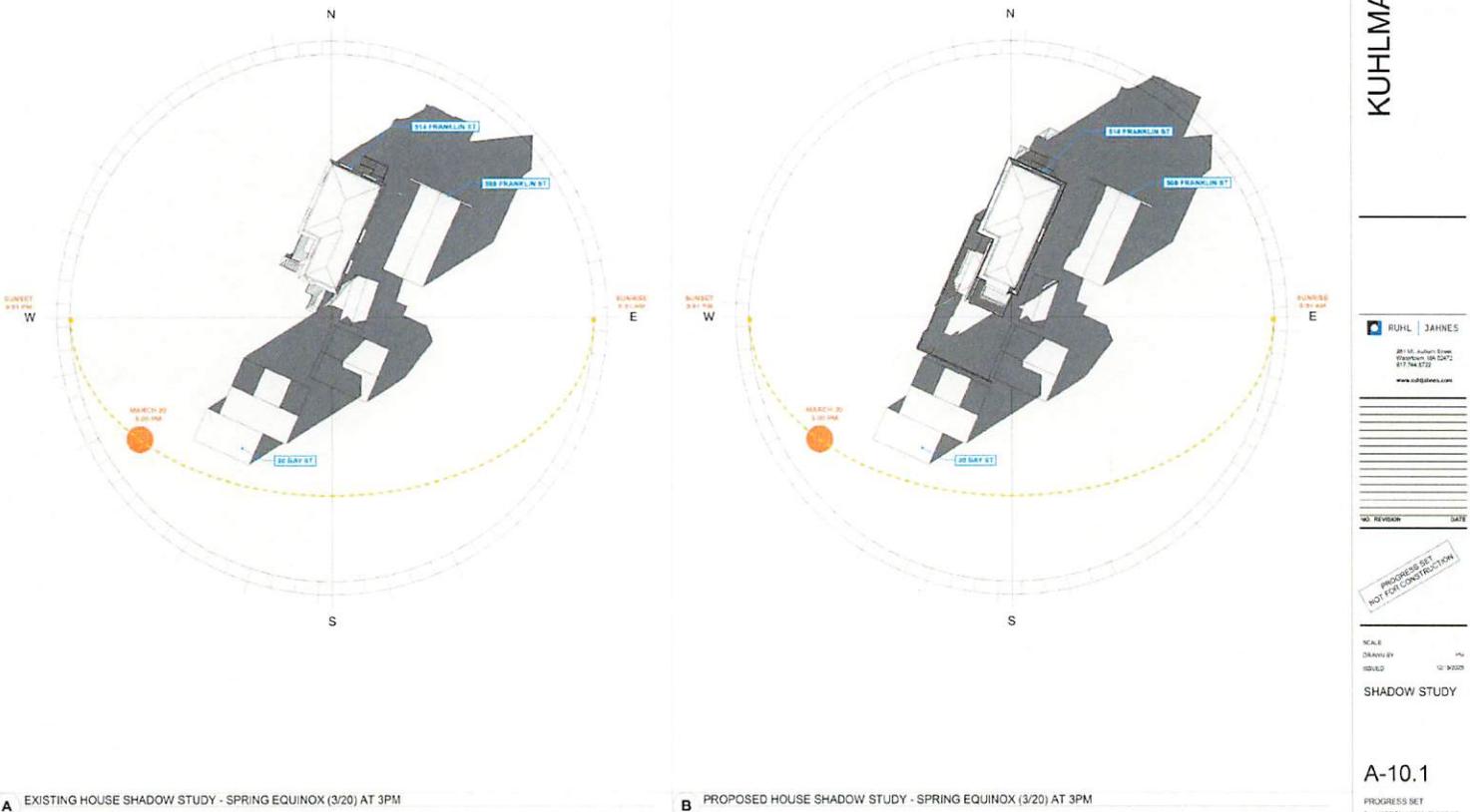
SCALE  
DRAWN BY  
REVIEWED  
SHADOW STUDY

**RUHL JAHNES**  
391 Mt. Auburn Street  
Cambridge, MA 02139  
617.451.1000  
www.rjh.com  
REV. 03/2020

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

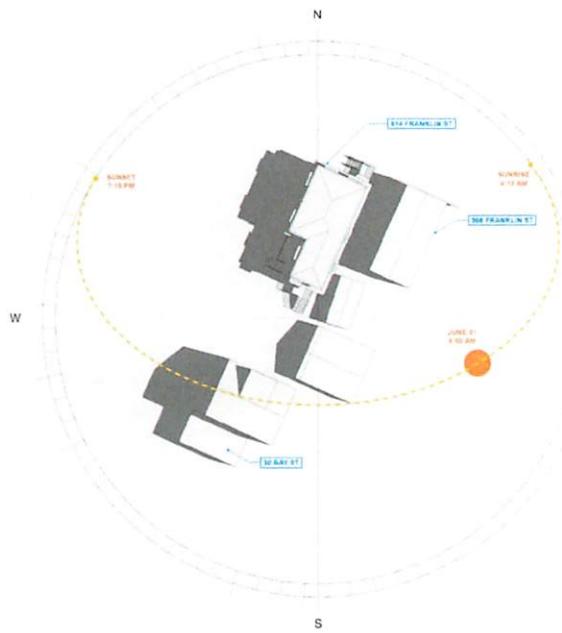
**DISCLAIMER**  
THE LOCATIONS OF 514 FRANKLIN ST, 508 FRANKLIN ST AND 32 BAY ST ARE BASED ON THE  
MOST RECENT EXISTING CONDITIONS SURVEY CONDUCTED BY A. O'CONNELL & ASSOCIATES.  
3D BUILDING GEOMETRY FOR 514 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D  
SURVEY CONDUCTED BY PONTOKIAN PROVIDED ON 06/17/2013 THAT HAS BEEN MODIFIED TO  
REFLECT THE PROPOSED DESIGN.  
3D BUILDING GEOMETRY FOR 508 FRANKLIN ST AND 32 BAY STREET WERE MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE SURVEY INCLUDING GOOGLE AND



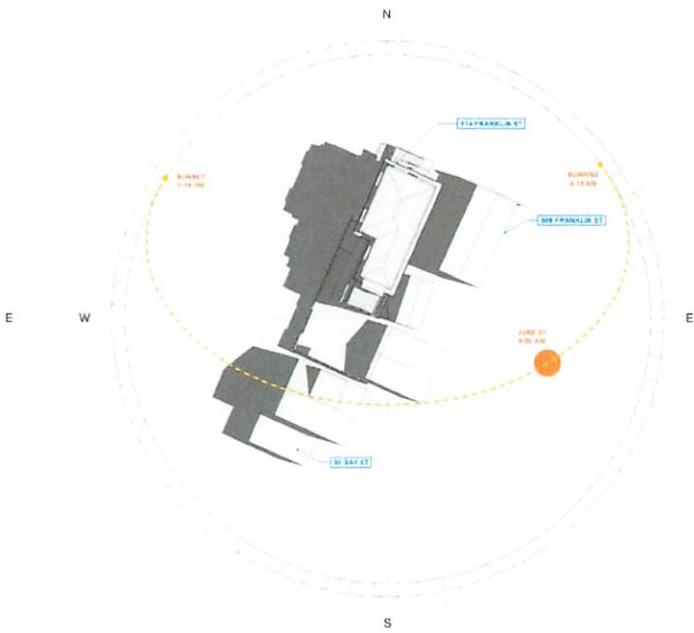
**KUHLMANN HOUSE** 514 FRANKLIN STREET  
CAMDEN, MASS.

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER:**  
THE LOCATIONS OF 314 FRANKLIN ST, 508 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE 06/20/2021 EXISTING CONDITIONS SURVEY CONDUCTED BY AL Q. CONNEL & ASSOCIATES INC.  
30 BUILDING GEOMETRY OF 314 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS SURVEY CONDUCTED BY HUNTINGTON PROVIDED ON 06/17/2021 THAT HAS BEEN MODIFIED TO REFLECT THE PROPOSED DESIGN.  
30 BUILDING GEOMETRY FOR 508 FRANKLIN ST AND 30 BAY STREET WERE INCLUDED WITH THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY. THIS INFORMATION INCLUDES GOOGLE AND VIRTUAL INFORMATION.



**A EXISTING HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 9AM**



**B** PROPOSED HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 9AM

A-10.1

PROGRESS SET

SCALE  
DRAWN BY  
ISSUED

---

RUHL | JAHNES

Washington, D.C. 20412  
817-516-5722

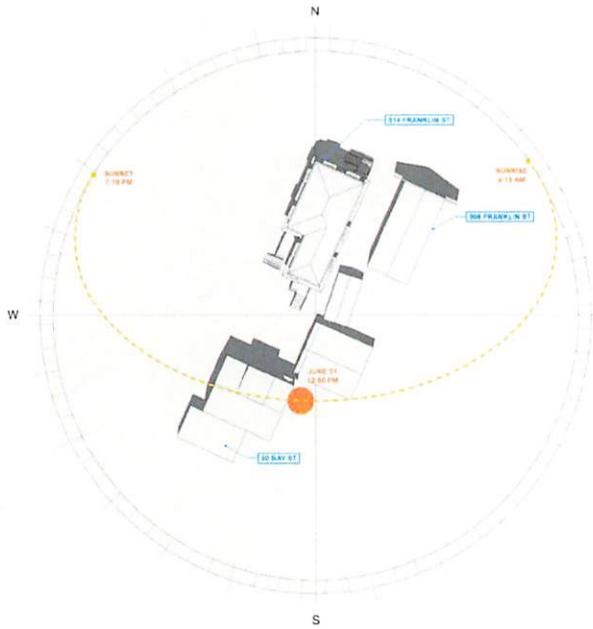
PROGRESS SET  
NOT FOR CONSTRUCTION

SCALE  
DRAWN BY  
ISSUED

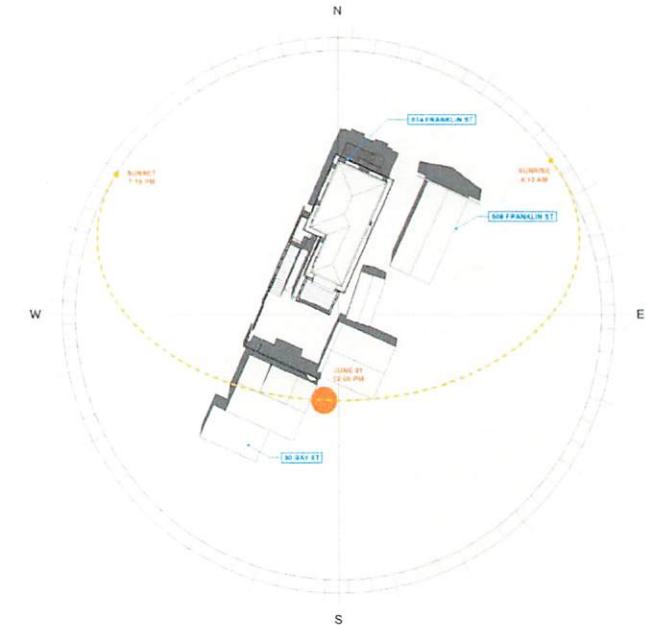
# KUHLMANN HOUSE

511 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER:**  
THE LOCATIONS OF 511 FRANKLIN ST, 508 FRANKLIN ST, AND 50 BAY ST ARE BASED ON THE  
MOSCOTT EXISTING CONDITIONS SURVEY CONDUCTED BY A. O'CONNELL & ASSOCIATES.  
THE PROPOSED GEOMETRY OF 511 FRANKLIN ST IS BASED ON AN EXISTING CONDITIONS 3D  
BUILDING MODEL BY RUHL + JAHNES. THIS DRAWING IS NOT INTENDED TO REFLECT THE PROPOSED DESIGN.  
3D BUILDING GEOMETRY FOR 511 FRANKLIN ST AND 50 BAY STREET WERE MODELED WITH  
THE AIA FURNITURE INFORMATION AT THE TIME OF THE ST. 507 POLLUTION SOURCE AND  
VISUAL OBSERVATION.



A EXISTING HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 12PM



B PROPOSED HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 12PM

**RUHL + JAHNES**  
281 Main, Suite 300  
Wellesley, MA 02481  
617.744.8732  
[www.rjpartners.com](http://www.rjpartners.com)

100% REVISION DATE

PROGRESS SET  
NOT FOR CONSTRUCTION

SCALE DRAWN BY ISSUED DATE  
SHADOW STUDY

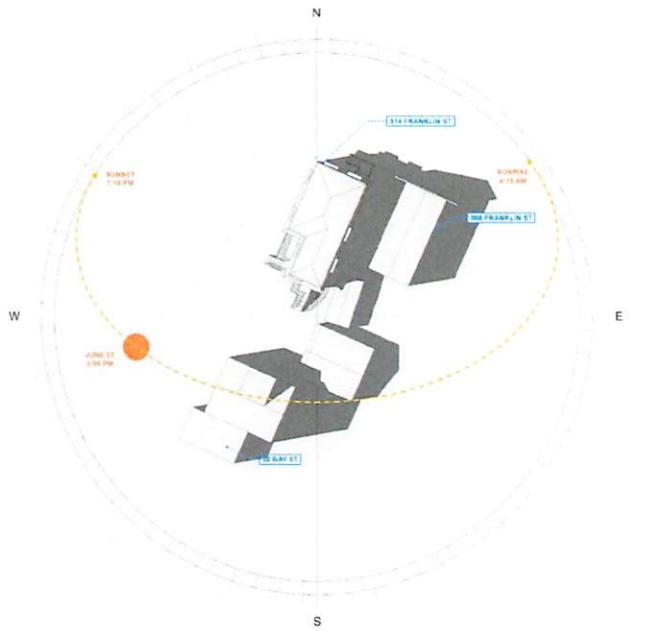
A-10.1

PROGRESS SET  
NOT FOR CONSTRUCTION

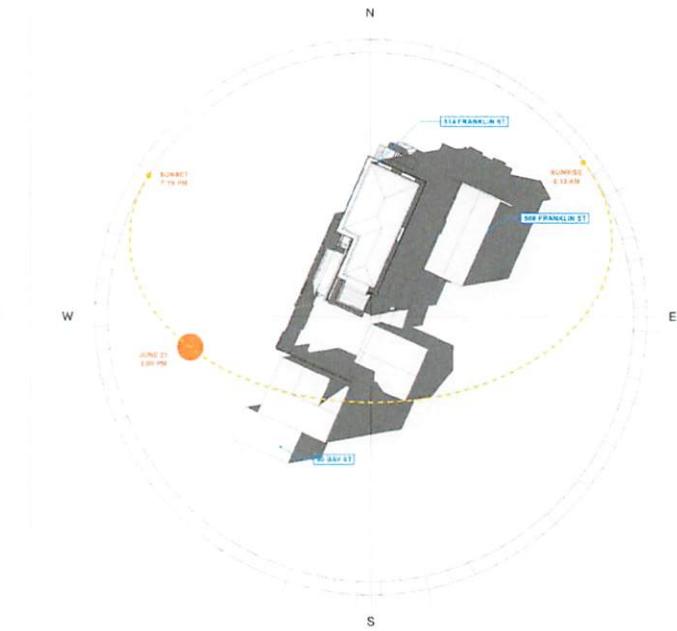
# KUHLMANN HOUSE

51A FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER:**  
THE SHADOW STUDY OF 51A FRANKLIN ST AND 51B FRANKLIN ST ARE BASED ON THE  
EXISTING CONDITIONS SURVEY CONDUCTED BY A. O'CONNELL & ASSOCIATES.  
THE BUILDING GEOMETRY OF 51A FRANKLIN ST IS BASED ON EXISTING CONDITIONS 3D  
SCANS CONDUCTED BY KUHLMANN PROVIDED ON 06/17/2020 THAT HAVE BEEN VERIFIED TO  
BE 95% ALONG GEOMETRY FOR 51A FRANKLIN ST AND 51B FRAY STREET. MODELS WITH  
THE REST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
AERIAL IMAGERY.



**A** EXISTING HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 3PM



**B** PROPOSED HOUSE SHADOW STUDY - SUMMER SOLSTICE (6/21) AT 3PM

**RUHL | JAHNES**  
28-10, Auburn Street  
Woburn, MA 01888  
978.274.8720  
[www.rjhernes.com](http://www.rjhernes.com)

100-REVISON DATE

PROGRESS SET  
NOT FOR CONSTRUCTION

SCALE  
DRAWN BY  
SIGNED  
12/2020

SHADOW STUDY

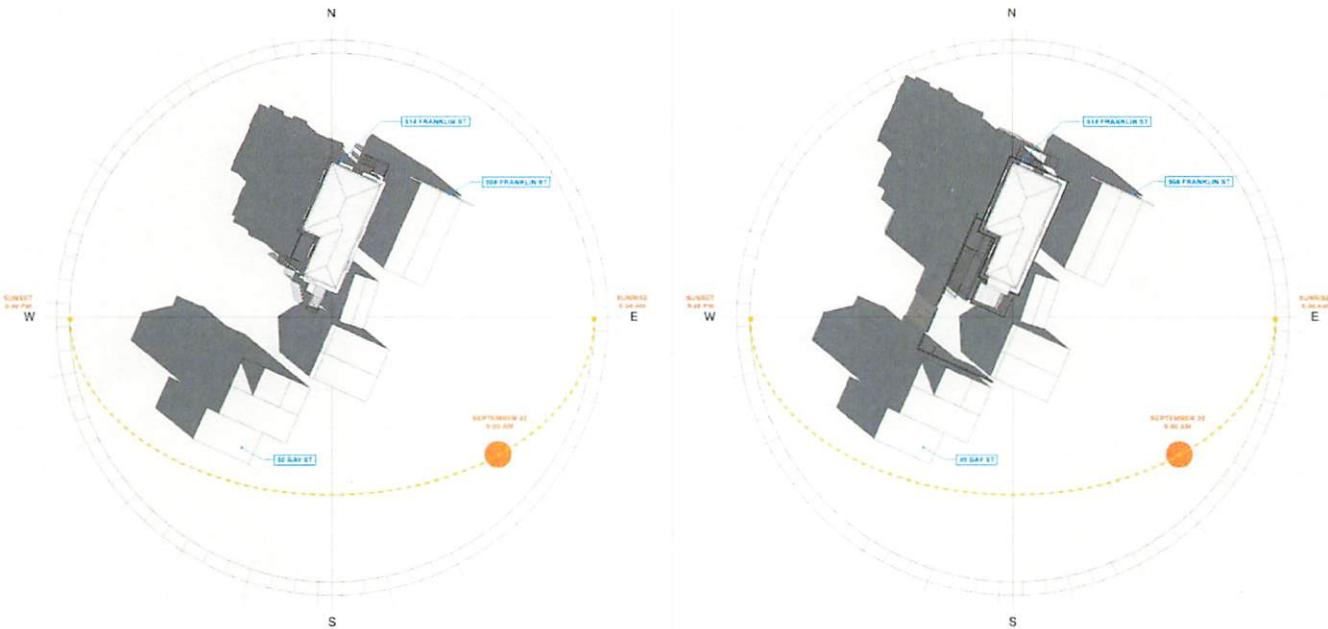
A-10.1

PROGRESS SET  
NOT FOR CONSTRUCTION

# KUHLMANN HOUSE

514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMERS**  
THE LOCATIONS OF THE FRANKLIN ST AND 32 BAY ST ARE BASED ON THE  
2010 EXISTING CONDITIONS SURVEY CONDUCTED BY ALO CONNELL & ASSOCIATES.  
32 BAY STREET GEOMETRY IS BASED ON EXISTING CONDITIONS 3D  
SCANS CONDUCTED BY POINTVISION PROVIDED ON 08/15/2010 THAT HAS BEEN MODIFIED TO  
REFLECT CONSTRUCTION ACTIVITIES.  
THE SHADING GEOMETRY FOR 514 FRANKLIN ST AND 32 BAY STREET WERE MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
AERIAL OBSERVATION.



**RUHL | JAHNES**  
20-10 Andrew Street  
Wellesley, MA 02481  
617.264.8721  
[www.rjhodes.com](http://www.rjhodes.com)

REV. DATE

PROGRESS SET  
NOT FOR CONSTRUCTION

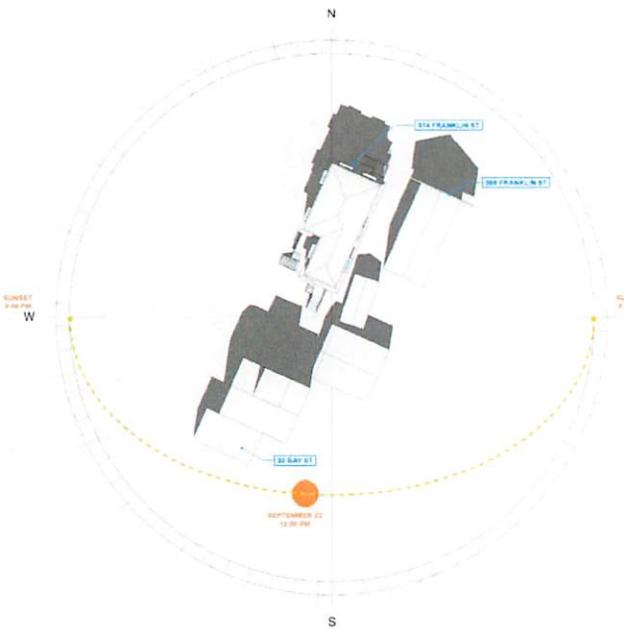
SCALE  
DRAWN BY  
RELEASER  
SHADOW STUDY

**A-10.1**

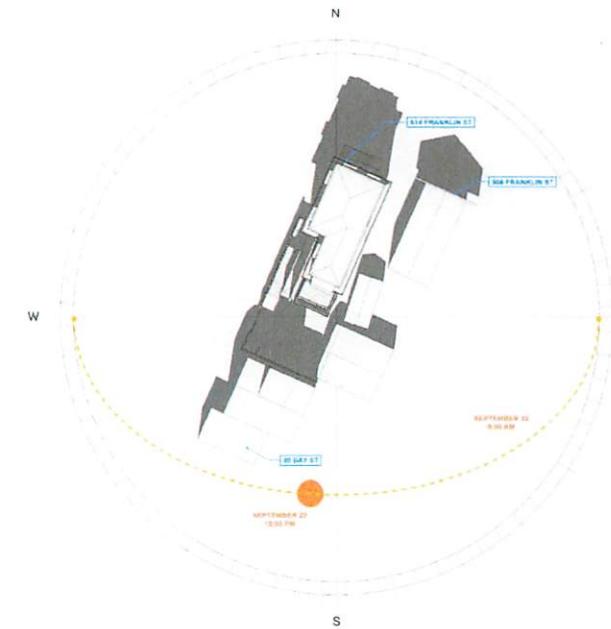
PROGRESS SET  
NOT FOR CONSTRUCTION

**KUHLMANN HOUSE**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER**  
THE LOCATIONS OF THE FRANKLIN ET AND BAY ET FIRE PLACES IN THE  
SHADOW STUDY ARE CONDITIONS SURVEY CONDUCTED BY A.G. CONNELL & ASSOCIATES  
ON ALADIN (SIGHTIFY) OF 514 FRANKLIN ST IS BASED ON EXISTING CONDITIONS. 3D  
SCAN CONDUCTED BY POINTVISION PROVIDED ON 06/17/2020 THAT HAS BEEN MODIFIED TO  
REFLECT THE CONDITIONS AS OF 09/22/2020.  
THE ELEVATION AND ROOFLINE FOR 514 FRANKLIN ET AND BAY STREET WERE MOBBED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
VIRAL OBSERVATION.



**A** EXISTING HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 12PM



**B** PROPOSED HOUSE SHADOW STUDY - FALL EQUINOX (9/22) AT 12PM

**RUHL | JAHNES**  
2114A Auburn Street  
Wellesley, MA 02481  
617.464.3722  
[www.ruhlnj.com](http://www.ruhlnj.com)  
  
NOT REVISION DATE  
  
PROGRESS SET  
NOT FOR CONSTRUCTION  
  
SCALE DRAWN BY  
ISSUED  
10/14/2020  
  
SHADOW STUDY

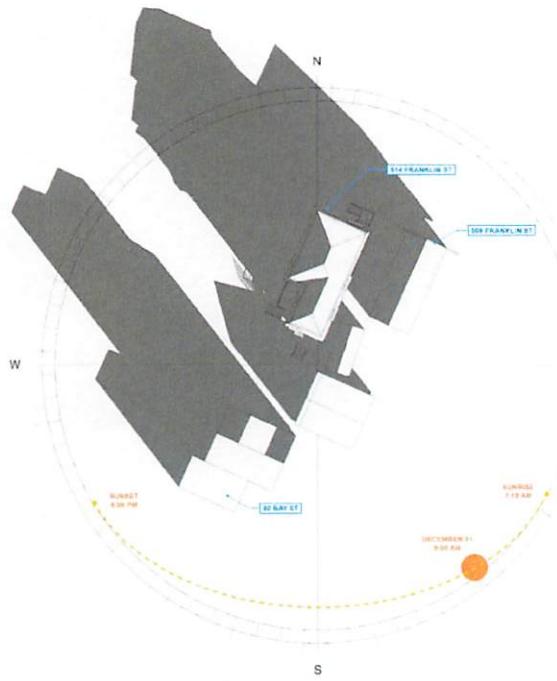
**A-10.1**

PROGRESS SET  
RUMBLEY, LUTHER HERZOG

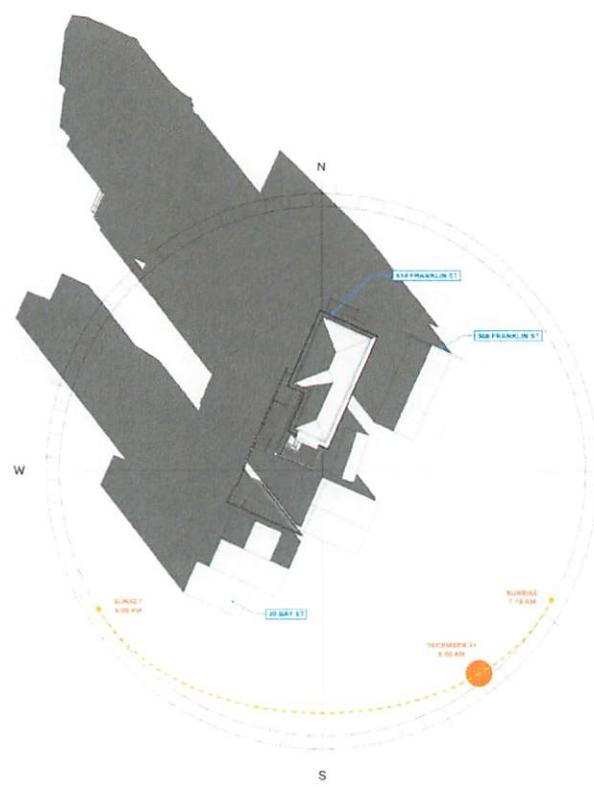


**KUHLMANN HOUSE**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02138

**DISCLAIMER:**  
THE SHADOWS OF 114 FRANKLIN ST AND 514 FRANKLIN ST ARE BASED ON THE  
WORST CASE CONDITIONS SURVEY CONDUCTED BY A-C CORNELL & ASSOCIATES.  
10 BUILDING GEOMETRY OF 114 FRANKLIN ST IS BASED ON AN EXISTING CONDITION 10  
SCAN CONDUCTED BY RONKINIAN PROVIDED ON 9/6/17/2022 THAT HAS BEEN MODIFIED TO  
REFLECT THE PROPOSED DESIGN.  
10 BUILDING GEOMETRY FOR 514 FRANKLIN ST AND 35 BAY STREET WERE MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
OPEN SOURCE DATA.



**A** EXISTING HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 9AM



**B** PROPOSED HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 9AM

**RUHL JAHNES**  
391 H. Author Street  
Somerville, MA 02142  
617.861.8800  
[www.rjarchitects.com](http://www.rjarchitects.com)

100. REVISION DATE

PROGRESS SET  
NOT FOR CONSTRUCTION

SCALE  
DRAWN BY  
SHED  
12/2022

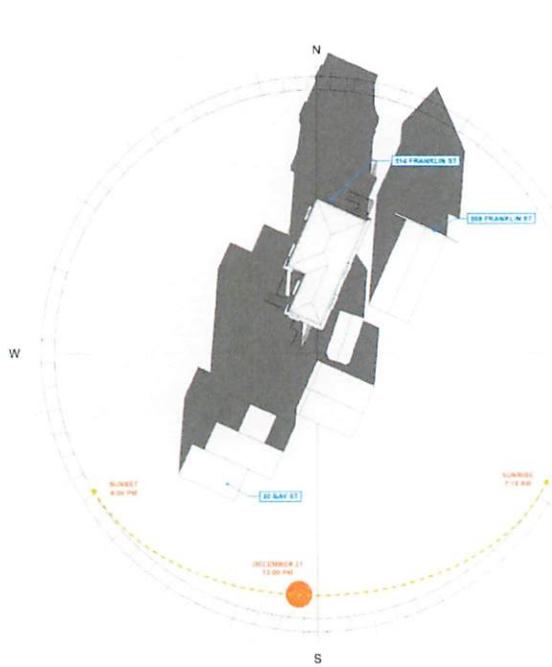
SHADOW STUDY

**A-10.1**

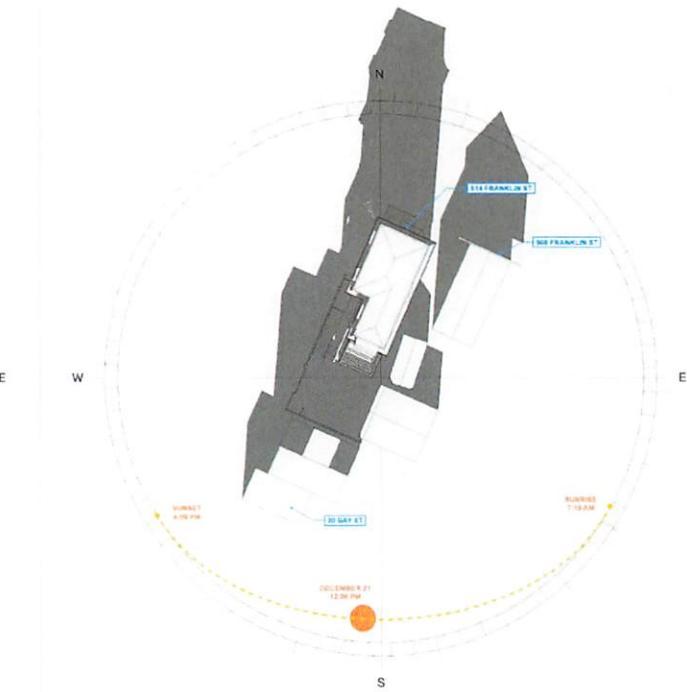
PROGRESS SET  
NOT FOR CONSTRUCTION

**KUHLMANN HOUSE**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER:**  
THE COORDINATES OF 514 FRANKLIN ST AND 35 MAY ST ARE BASED ON THE  
DISMANTLED EXISTING CONDITIONS SURVEY CONDUCTED BY A.J. O'CONNELL & ASSOCIATES.  
3D BUILDING GEOMETRY OF 514 FRANKLIN ST IS BASED ON EXISTING CONDITIONS 3D  
SCANS CONDUCTED BY HOMERICKIN PROVIDED ON 08/10/2019 THAT HAS BEEN MODIFIED TO  
REFLECT CHANGES SINCE THE SURVEY.  
3D BUILDING GEOMETRY FOR 35 MAY STREET WAS MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
AERIAL IMAGERY.



A EXISTING HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 12PM



B PROPOSED HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 12PM

**RUHL JAHNES**  
281 M. Auburn Street  
Wellesley, MA 02481  
617.431.7400  
www.rjhernes.com

100-REVISION DATE

PROGRESS SET  
NOT FOR CONSTRUCTION

SCALE  
DRAWN BY  
REVIEWED  
12/10/2019

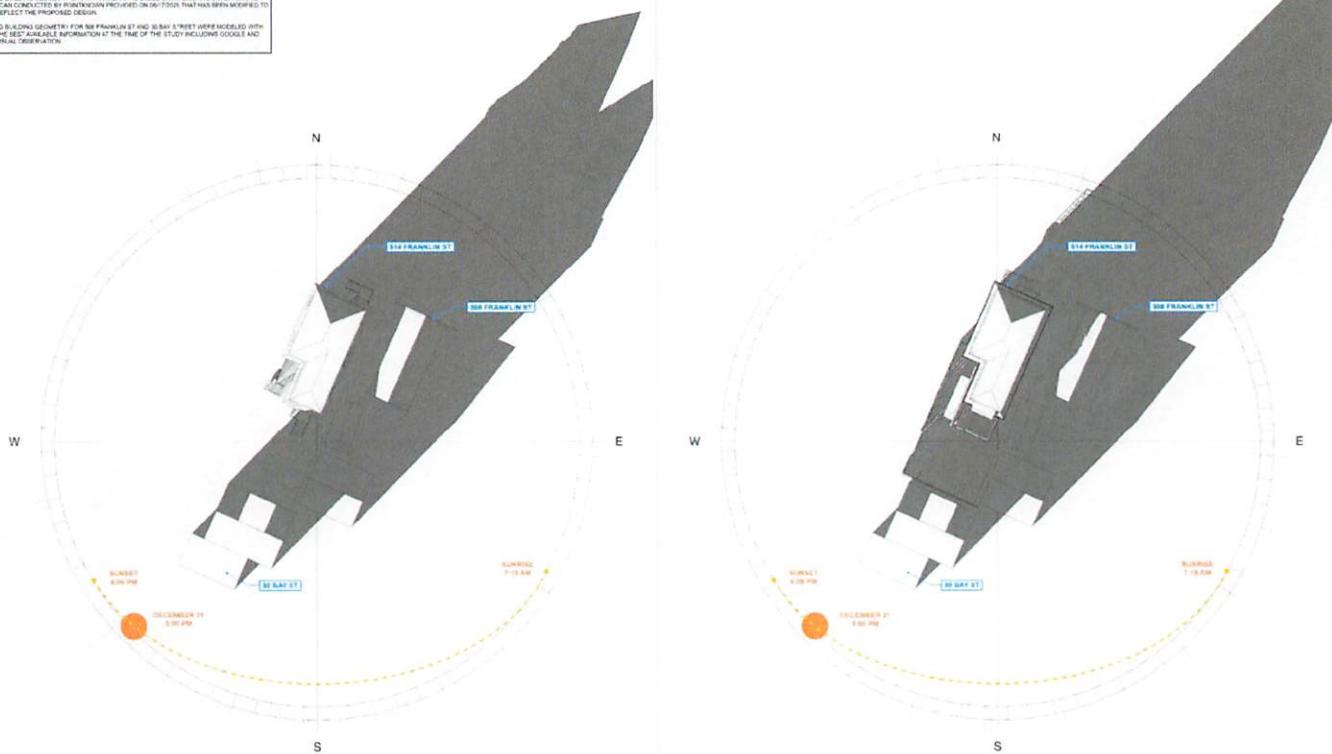
SHADOW STUDY

A-10.1

PROGRESS SET

**KUHLMANN HOUSE**  
514 FRANKLIN STREET  
CAMBRIDGE, MA 02139

**DISCLAIMER:**  
THE COORDINATES OF 514 FRANKLIN ST AND 30 BAY ST ARE BASED ON THE  
MOSQUITO EXISTING CONDITIONS SURVEY CONDUCTED BY A. O'CONNELL & ASSOCIATES.  
3D BUILDING GEOMETRY OF 514 FRANKLIN ST IS BASED ON EXISTING CONDITIONS 3D  
SCANS CONDUCTED BY RUMTENIAN PROVIDED ON DAY 10/10/19 THAT HAS BEEN MODIFIED TO  
REFLECT CHANGES SINCE THAT DATE.  
3D BIM GEOMETRY FOR 514 FRANKLIN ST AND 30 BAY STREET WERE MODELED WITH  
THE BEST AVAILABLE INFORMATION AT THE TIME OF THE STUDY INCLUDING GOOGLE AND  
AERIAL OBSERVATION.



**A** EXISTING HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 3PM

**B** PROPOSED HOUSE SHADOW STUDY - WINTER SOLSTICE (12/21) AT 3PM

**A-10.1**

PROGRESS SET  
© 2019 KUHLMANN HOUSE LLC

1

\* \* \* \* \*

2 (6:02 p.m.)

3 Sitting Members: Jim Monteverde, Carol Agate, Zarya  
4 Miranda, Fernando Daniel Hidalgo, and  
5 Michael LaRosa

6 JIM MONTEVERDE: And the first case I am calling  
7 is Case No. BZA-1188742 for 514 Franklin Street. And we  
8 have a letter from Mr. Rafferty saying the petitioners in  
9 the above-captioned case have been informed by certain  
10 abutters that they did not receive the legal notice for  
11 tonight's hearing, [da-da-da-da-da].

12 The affected abutters have requested that the  
13 petitioners seek a continuance in this matter to allow time  
14 for discussions and plans. Accordingly, please accept this  
15 correspondence as a request to continue tonight's hearing  
16 until January 15.

17 [Do you know what our schedule is for January?  
18 That works?]

19 Okay. That works.

20 So on a motion to continue, let me make a motion  
21 to continue the matter until January 15, 2026 on the  
22 condition that the petitioner change the posting sign to

1 reflect the new date of January 15, 2026 and the new time of  
2 6:00 p.m.

3                 Also that the petitioner sign a waiver to the  
4 statutory requirements for the hearing. This waiver can be  
5 obtained from Maria Pacheco or Olivia Ratay at the  
6 Inspectional Services Department.

7                 I ask that you sign the waiver and return it to  
8 the Inspectional Services Department by a week from this  
9 coming Monday. Failure to do so will de facto cause this  
10 Board to give an adverse ruling on this case.

11                 Also, that if there are any new submittals,  
12 changes to the drawings, dimensional forms, or any  
13 supporting statements that those be in our files by 5:00  
14 p.m. on the Monday prior to the continued meeting date.

15                 On the motion to continue this matter until  
16 January 15, 2026 by a voice vote of the Board members,  
17 please, Carol?

18                 CAROL AGATE: In favor.

19                 JIM MONTEVERDE: Zarya?

20                 ZARYA MIRANDA: Zarya Miranda in favor.

21                 JIM MONTEVERDE: Daniel?

22                 DANIEL HIDALGO: In favor.

1           JIM MONTEVERDE: Michael?

2           MICHAEL LAROSA: Michael LaRosa in favor.

3           JIM MONTEVERDE: Thank you. And Jim Monteverde in  
4 favor.

5           [All vote YES]

6           JIM MONTEVERDE: That's five in favor. The case  
7 is continued. Thank you.

8           JAMES RAFFERTY: Thank you.

9           JIM MONTEVERDE: You're welcome.

10           And we now will wait until 6:15 for the next case,  
11 so open your Christmas decorations or whatever holiday  
12 decorations you're busy with. See you at 6:15.

13

14

15

16

17

18

19

20

21

22



# City of Cambridge

MASSACHUSETTS

2025 DEC 17 AM 11:09

## BOARD OF ZONING APPEAL

OFFICE OF THE CITY CLERK  
CAMBRIDGE, MASSACHUSETTS

831 Mass Avenue, Cambridge, MA.  
(617) 349-6100

### Board of Zoning Appeal Waiver Form

*The Board of Zoning Appeal  
831 Mass Avenue  
Cambridge, MA 02139*

RE: Case # B7A - 1188742

Address: 514 Franklin St

Owner,  Petitioner, or  Representative: James J. Rafferty, Esq.  
(Print Name)

hereby waives the required time limits for holding a public hearing as required by  
Section 9 or Section 15 of the Zoning Act of the Commonwealth of Massachusetts,  
Massachusetts General Laws, Chapter 40A. The  Owner,  Petitioner, or  Representative further hereby waives the Petitioner's and/or Owner's right to a  
Decision by the Board of Zoning Appeal on the above referenced case within the time  
period as required by Section 9 or Section 15 of the Zoning Act of the Commonwealth of  
Massachusetts, Massachusetts General Laws, Chapter 40A, and/or Section 6409 of the  
federal Middle Class Tax Relief and Job Creation Act of 2012, codified as 47 U.S.C.  
§1455(a), or any other relevant state or federal regulation or law.

Date: 12/12/25

Signature

# Letter of Opposition

## Re: 514 Franklin Street – Application for Special Permit Relief (BZA-1188742)

Chairman Monteverde, Vice Chair Ng, and Members of the Board,

We write as direct abutters at 508 Franklin street to express our opposition to the proposed project at 514 Franklin Street. For the reasons outlined below, we believe the proposal does not satisfy the standards for special permit relief under Article 8.22.2 or the required findings under Section 10.43.

We are represented by attorney Ms. Deborah Fawcett, who will be submitting a separate letter addressing these issues.

### I. Special Permit Test Under Article 8.22.2

Article 8.22.2 permits alterations to legally nonconforming structures only where the alteration is not substantially more detrimental than the existing condition. In our view, the proposed rear addition does not meet this standard.

The existing building at 514 Franklin Street already sits approximately 1.7 feet from the shared property line, a legally nonconforming condition. The proposal would extend this same setback an additional 11.5 feet horizontally beyond the current footprint, thereby introducing new violations of nonconformity.

This expansion is compounded by the proposed height. A three-story structure located so close to the property line would create a strong vertical presence immediately adjacent to our yard, significantly reducing sky exposure, daylight, and the sense of openness that currently exists. Together with the existing garage, the proposed addition would create a narrow corridor exceeding 30 feet in height less than two feet from our property line. (see Figures 1, 2, and 3).

The extremely limited setback also makes construction of a three-story structure of this scale physically impracticable without repeated and sustained entry onto our property. This would impose a substantial detriment that does not exist today by forcing us either to permit ongoing intrusion onto our driveway, which is used for off-street parking, or to pursue costly legal action to protect our property rights. Construction at this proximity would also cause significant disruption, including loss of driveway access and noise, potentially interfering with tenants' quiet enjoyment and resulting in financial loss to us. This burden arises directly from the project's scale and placement and represents a significant and unique detriment.

While we understand the applicants' desire to modernize, the zoning ordinance already permits substantial improvements by right when setback requirements are met. Instead, the

applicants seek approval for an oversized single-family residence, including a gym room, five bathrooms, and double walk-in closets. This level of expansion places a disproportionate burden on direct abutters and exceeds the relief contemplated under Article 8.22.2.

## **II. Failure to Satisfy the Criteria in Section 10.43**

### **A. Section 10.43(c): Adverse Impact on Adjacent Development**

Section 10.43(c) requires that the development of adjacent uses not be adversely affected by the nature of the proposed use.

By placing a three-story structure only 1.7 feet from the shared property line and extending it substantially beyond the existing footprint, the proposal would create a lasting condition that materially constrains the reasonable future development of our property. We have long planned to rebuild and modernize our existing shed, and the recent zoning reforms provide additional flexibility for improvements to our home. The immediate presence of a three-story structure at this proximity would significantly diminish light, air, and sky exposure to our property, making such improvements substantially less practical and viable.

The proposal allows the applicants to maximize their own development while imposing long-term constraints on the reasonable future use of an abutting property. This constitutes an adverse effect on adjacent development within the meaning of Section 10.43(c).

### **B. Section 10.43(d): Nuisance and Hazard Considerations**

We also raise concerns under Section 10.43(d) regarding the five proposed windows on the east-side wall, which is set back 1.7 feet from the property line and lies within the 3-foot fire separation distance (FSD).

Under the Massachusetts State Building Code (780 CMR) governing building safety, exterior wall openings within three feet of a property line are subject to strict fire safety limitations. Based on the submitted plans, these windows appear to be new or materially altered, including a "new window in existing dormer" on the proposed third floor (see Figure 4). Such changes would eliminate any grandfathered condition and trigger full code compliance.

While zoning relief is being sought, compliance with the Massachusetts State Building Code remains required. Given the limited fire separation distance, exterior openings raise significant life-safety concerns. We respectfully request that any approval be conditioned on resolving these fire separation issues through a code-compliant design, rather than deferred solely to post-approval ISD review, and that the Board consider whether the proposal meets the requirements of Section 10.43(d).

### **C. Section 10.43(e): Impairment of District Integrity and Derogation from Ordinance Intent**

We are also concerned that the proposal does not satisfy Section 10.43(e), which requires that a special permit not impair the integrity of the district or derogate from the intent and purpose of the Ordinance.

The project would expand their single family residence to approximately 3,797 square feet in gross area, at 230% of the neighborhood average of approximately 1,648 square feet (see Table 1). While size alone is not determinative, this substantial increase relies on dimensional relief applied to an already nonconforming condition, without increasing unit count or advancing housing density.

The recent zoning reforms were intended to encourage additional housing opportunities, particularly multi-unit development, while balancing neighborhood impacts. By contrast, the requested relief would enable a significantly enlarged single-family residence that does not further those objectives. Granting such relief would reinforce a low-density outcome and, in our view, impair the integrity of the Riverside district in a manner inconsistent with the intent and purpose of the Ordinance.

### **III. Scope of Relief and ISD Zoning Determination**

Because the Board hears appeals of zoning determinations issued by the Inspectional Services Department, we respectfully ask the board to review whether relief of this magnitude can be granted via special permit or whether variance relief is required under Section 8.22.2(c) and (d). Our attorney, Ms. Fawcett, will submit a separate letter addressing the legal aspects of this question.

---

We are not opposed to development in our neighborhood. Just five years ago, we submitted a letter of support for the applicants' garage expansion project, and we value being good neighbors. Our concern here is not change itself, but the scale and placement of this proposal. We believe that a reasonable plan exists, such as a substantially reduced rear extension that respects the constraints of the lot, which would allow the applicants to modernize their home without disproportionate impacts on adjacent properties. Accordingly, we respectfully request that the Board deny the requested special permit as proposed.

Sincerely,  
Min Zeng and Corey Halverson

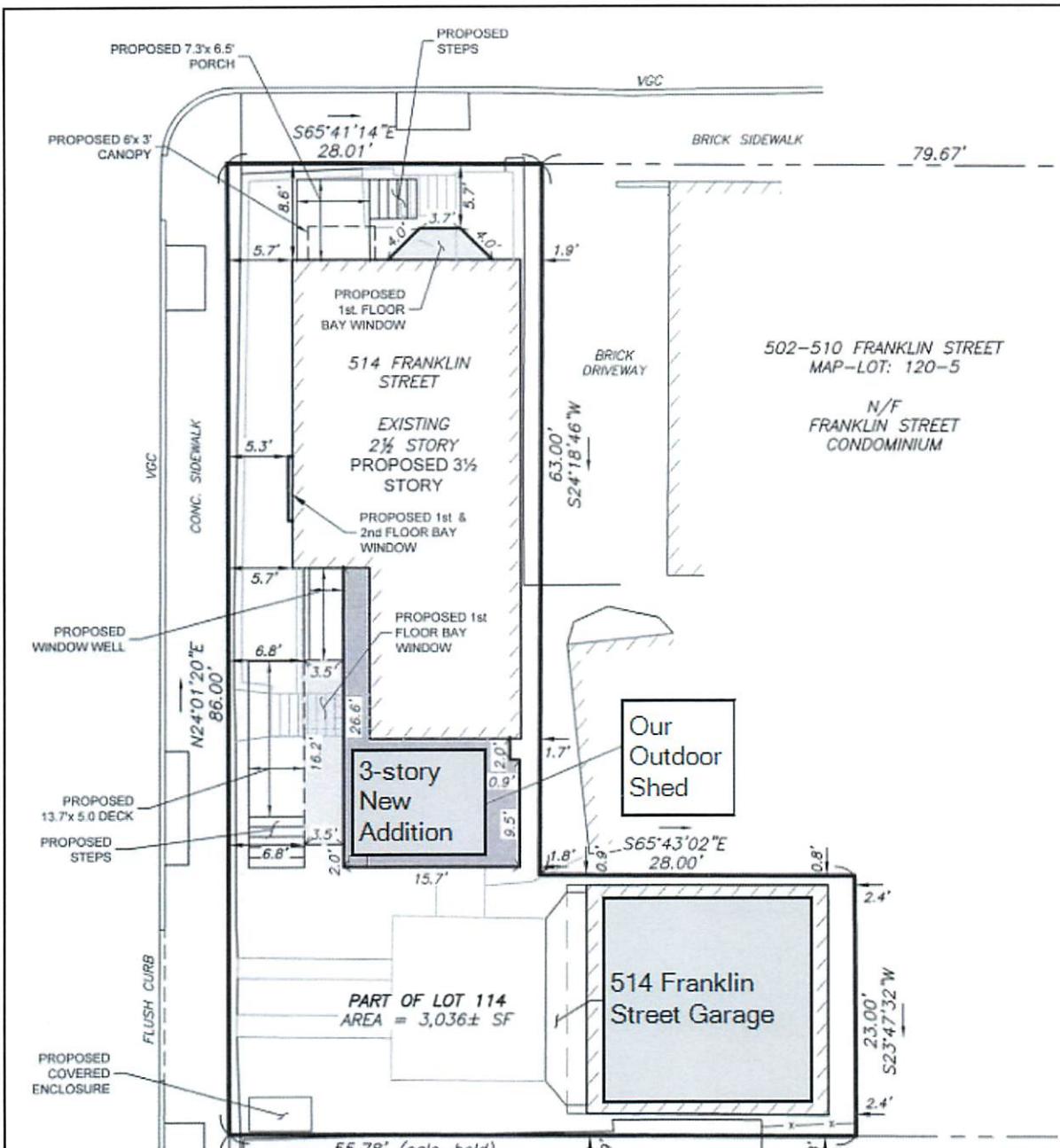


Figure 1: Our property will be enclosed by the existing garage/workshop and the new 3-story addition on the west side. Depriving it of air, light, and skyview.

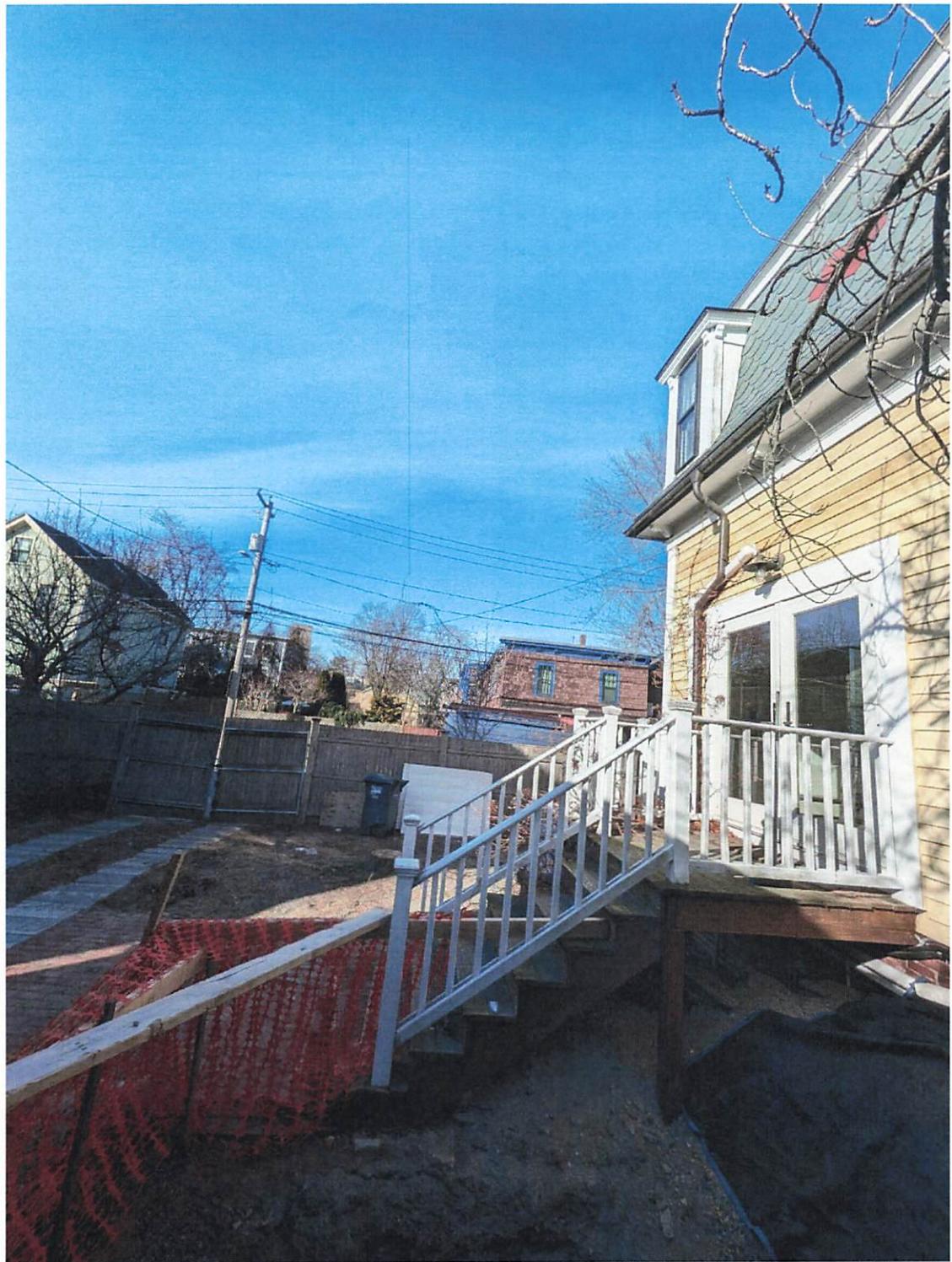
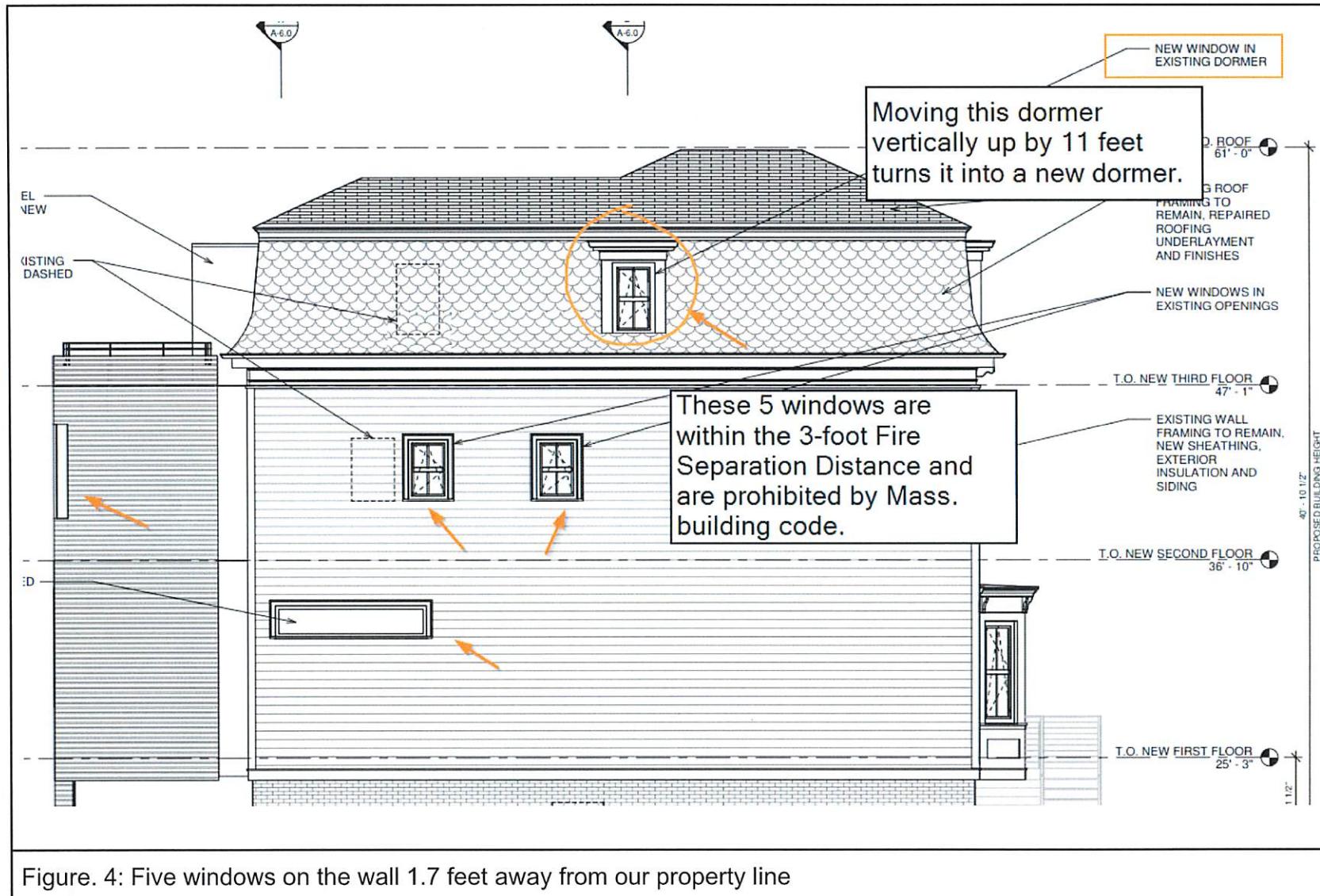


Figure 2. Skyview right by our outdoor shed from our property



Figure 3. Distance between 514 Franklin and our outdoor shed



Address	Gross Area (sf)	Living area (sf)	Address	Type	Gross Area	Living Area
514 Franklin	2414	1510	500 Franklin	Two-Family	2528	1689
508 Franklin	1379	890	482 Franklin	Two-Family	3105	1920
506 Franklin	728	728	524 Franklin	Two-Family	7021	4213
504 Franklin	959	959				
498 Franklin	2309	1406				
490 Franklin	3768	2903				
509 Franklin Unit 1	1245	1245				
510 Franklin Unit 2	1245	1245				
511 Franklin Unit 2	773	773				
30 Bay	3221	1871				
31 Bay	2720	1480				
33 Bay	1141	1141				
33A Bay	1031	1031				
35 Bay	1000	1000				
21A Bay	1238	1238				
21 Bay	1071	1071				
23 Bay	1770	1770				
<b>Average</b>	<b>1,648</b>	<b>1,309</b>				

Table 1: List of single families or condos, and two families surrounding 514 Franklin Street

To the Members of the Zoning Board:

We are Jim Messineo and Mike Witt, owners of 504 Franklin Street. We are writing to formally oppose the application for Special Permit Relief (BZA-1188742) submitted by our neighbors at 514 Franklin Street.

Previously, we supported these neighbors when they rebuilt and expanded their garage, even providing access to our property for the construction. However, the finished structure demonstrated that even minor height increases have a significant impact in our densely populated area. The scale of the changes currently requested would have substantial consequences for us and our fellow condominium owners at 506 and 508 Franklin Street, directly affecting our quality of life and property values.

We believe that granting a Special Permit, per Article 8.22.2 should not be allowed as it would be substantially more detrimental to us, their abutters. The existing house has a nonconforming setback of less than two feet, and the applicants are proposing to extend the structure more than 11 feet further within that setback. Furthermore, increasing the height by 1.5 stories along our lot line would cause the structure to loom over our property, severely impacting our access to light, air, and sky exposure.

Many structural alterations are now being granted by right under the recently enacted zoning laws, laws that were intended to address the shortage of housing, specifically affordable housing. We believe that C. Section 10.43 isn't met, as this proposal does not increase the number of available housing units; instead, it more than doubles the size of a single-family home from 1,648 to nearly 3,800 square feet in a neighborhood where the average home size is 1,650 square feet.

Thank you for your time and consideration.

Sincerely,

Jim Messineo & Mike Witt

January 12, 2026

**Letter of Opposition**

Re: 514 Franklin Street – Application for Special Permit Relief (BZA-1188742)

Dear Members of the Zoning Board,

My name is Eva Fast and I'm the owner of 506 Franklin St, which is part of the condo association that abuts 514 Franklin St. I am generally supportive of improvements to 514 Franklin Street and have cooperated in the past, including allowing access to our shared property during the 514 Franklin street garage renovation.

That said, I oppose the current proposal because it seeks to significantly expand an existing setback nonconformity in a manner that is detrimental not only to our property but to the neighborhood as a whole. The house already sits approximately two feet from the shared property line, a nonconforming condition. The proposed three-story addition would extend this nonconformity by roughly eleven feet, creating a long and tall structure directly on the lot line.

In my understanding setback requirements exist to protect light, air, sky exposure and preserve safety, and neighborhood character. Allowing a three-story wall so close to a property boundary erodes these protections and sets a precedent that may encourage further reduction of setbacks throughout the neighborhood. While special permits can allow for limited extensions of nonconforming structures, this proposal substantially intensifies an existing nonconformity and would be more detrimental than existing conditions, contrary to Article 8.22.2.

Given the scale of the proposed expansion and its broader implications for setback enforcement and neighborhood character, I respectfully ask the Board to reconsider whether this request exceeds the appropriate scope of a special permit under Article 8.22.2 and whether the required findings can be made under Section 10.43, with respect to impacts on adjacent properties and neighborhood character. The Cambridge Zoning Ordinance was recently updated and now allows for many alterations by right. Because the proposed development does not result in any increase in housing density, I would ask the Board to consider whether an exception is truly warranted, or whether the owners should instead pursue improvements that comply with the applicable by-right regulations.

Thank you for your time and consideration.

Sincerely,  
Eva Fast  
Owner, 506 Franklin Street